



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

Date: 4/29/2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1050805 – REVISION - Construction of new single-family home, grading, hardscape and other alterations

The Montgomery County Historic Preservation Commission (HPC) reviewed a Historic Area Work Permit (HAWP) application for construction of a new single-family house, grading, hardscape and other alterations at its July 10, 2024 meeting. The application was **approved with seven (7) conditions**:

1. The driveway must be gravel and marked accordingly on the site plan.
2. The material of the path to the front and right-side entrances must be marked on the site plan.
3. The Hardieplank siding must be smooth and cannot have a faux wood grain as proposed.
4. The applicant must provide either a specification or detailed drawing for the ledgerstone cladding; the exterior doors; the lites surrounding the front door; sliding doors on the left elevation; front porch columns; Gothic-style window; vents; and downspouts.
5. Gutters and downspouts must be drawn on the elevations.
6. The HVAC pad location must be indicated on the site plan.
7. A window and door schedule must be provided that lists the size and material of the fenestration.

Minor material changes were approved by Staff on September 11, 2024 and November 25, 2024.

An additional HAWP revision was approved by the HPC at the January 8, 2025 meeting with two conditions:

1. The same stamped concrete must be used around the base of the entire main block, including the front elevation. The porch cladding may remain as proposed.
2. Pictures of the specific trees to be removed will be provided to staff.

An additional revision, for a change to the site plan as required post-approval by the Zoning division of the Department of Permitting Services, was approved by Staff. The HPC staff has reviewed and stamped the attached submission materials.





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THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Danilza Garcia
Address: 19820 White Ground Road, Boyds

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: _____ at: _____

submitted on: _____

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by Laura D. Paquale on _____. The approval memo and stamped drawings follow.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The property is a 2 acres L shape lot (88,000 sq. ft) is larger in relationship to other properties in Boyds, located in a non contributing resource in the Boyds Historis District.
The property has 3 existing barns.

Description of Work Proposed: Please give an overview of the work to be undertaken:

2 acres lot to build our forever home in a Modern Revival Style.

The house will be constructed facing White Groung Rd at about 150 ft to 200 ft. of distance from road.

Approved New Construction Site Plan on HAWP # 1050805 has a distance of 208 ft. from the road, new site plan has a distance of 176 ft. from the road to comply with zoning review that any accessory structure must be located behind the rear building line of the principal building.

REVIEWED

By Laura DiPasquale at 10:33 am, Apr 29, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

Work Item 1: HAWP Revision

Description of Current Condition:

Approved site plan on HAWP # 1050805 has a construction distance of 208 ft. from the road.

Proposed Work:

To change the distance from 208 ft to 176 ft. from the road.

REVIEWED

By Laura DiPasquale at 10:33 am, Apr 29, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Karen Buelit

Work Item 3: _____

Description of Current Condition:

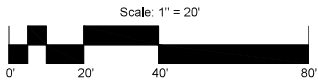
Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Professional Certification:
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed landscape architect registered to practice in the State of Maryland.

Signature Date Exp. Date
04-14-2025 10-21-2026



P396
MDR-RCS LLC
White Ground Road
L.20108 F.126

Ex. Well
Per Available Records

P297
Brian Skoog
19910 White Ground Road
L.59743 F.431

P325
Presbyterian Church Trust
19904 White Ground Road
L.542 F.489

Ex. Septic
Per Records

P352
Elena Shuvalov
19900 White Ground Road
L.51268 F.225

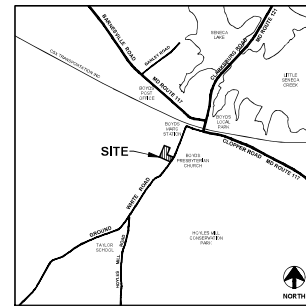
Ex. Well
Per Available Records

P457
Donna L. Shaw &
M. C. Shaw
19810 White Ground Road
L.18371 F.63

P540
Presbyterian Church
19821 White Ground Road
L.2392 F.435

REVISED

PREPARED FOR:
**Danilza Del Carmen Garcia
& Jaime Antonio Garcia**
11134 Newport Mill Road
Kensington, MD 20895
Danilza: 301-725-9839
Jaime: 301-755-4862
danilzag@yahoo.com
Chiry829@gmail.com



VICINITY MAP
SCALE: 1" = 2,000'

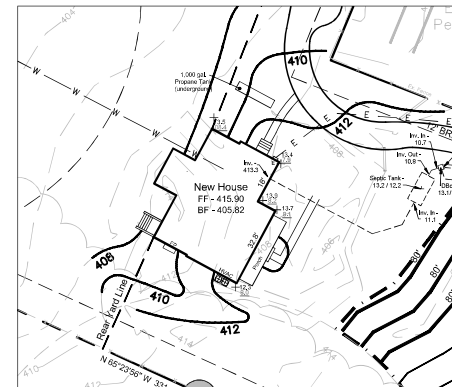
GENERAL NOTES:

1. L.57100 F.126
2. Area of property - 2.06 ac, (90,103 sf)
3. Zoning - R-200
4. Property served by private on-site well and septic system.

ZONING NOTES:

1. Setbacks-
Front - 40' or EBL, whichever is greater*
Side - 25', min. one side 12'
Rear - 30'
2. Minimum Lot Frontage-
25' at street
100' at front building line
3. Maximum Building Height - 50' if lot area is 40,000 sf or more.
Calculations -
32.8' section x avg. elev. 408.05 (pre-development) = 13,384.04'
18.0' section x avg. elev. 408.05 (pre-development) = 7,344.90'
20,728.94 / 50.80' = 408.05' (average post-development front elevation)
FFE 415.9 + 28.37' (height from FFE to peak height of roof per architectural drawings) = 444.27'
444.27' - 408.05' = 36.22' (Average front elevation of building to peak height of roof)
4. Lot Coverage - 25% (including accessory buildings)
90,103 x 25% = 22,525 sf (maximum allowed)
New House footprint - 1,923 sf
Ex. Barns - 3,872 sf
Total - 5,795 sf (6.4%)
5. Maximum area allowed for parking in front yard (R-200) - 30%
Area of front yard - 25,303 sf
Area of proposed driveway - 2,290 sf
2,290 sf / 25,303 sf = 9%

*EBL not applicable (R-200 lot served by well and septic)



DETAIL VIEW: BUILDING HEIGHT EXHIBIT
1" = 30'

LEGEND:

- | | |
|----------------------------------------|---------------|
| BUILDING RESTRICTION LINE | 17' BRL |
| EX. OVERHEAD UTILITY | E |
| INDEX CONTOUR (2' INTERVAL) | 300 |
| INTERMEDIATE CONTOUR | 304 |
| NEW UNDERGROUND UTILITY | E |
| PROPERTY LINE (SUBJECT) | N 67°04'00" W |
| PROPERTY LINE | |
| PROPOSED CONTOUR | 350 |
| PROPOSED HOUSE | |
| SEPTIC TANK | |
| SEPTIC TRENCHES | |
| WATER HOUSE CONNECTION | W |
| WELL SITE W/ 100' NON-POLLUTION RADIUS | |
| EXISTING SPOT ELEVATION | 45.2 |
| PROPOSED SPOT ELEVATION | 45.7 |

SOURCE OF BOUNDARY & TOPOGRAPHIC DATA:
GOODE SURVEYS, LLC.
PO BOX 599
DAMASCUS, MD 20872
301-368-3700

REVIEWED

By Laura DiPasquale at 10:32 am, Apr 29, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Karen Bunkit

Sheet 1 of 1
Revisions



date: 04/14/2025

scale: 1" = 20'

Benning & Associates, Inc.
11000 Rockville Pike
8933 Shady Grove Court
Gaithersburg, MD 20877
(301) 944-0240

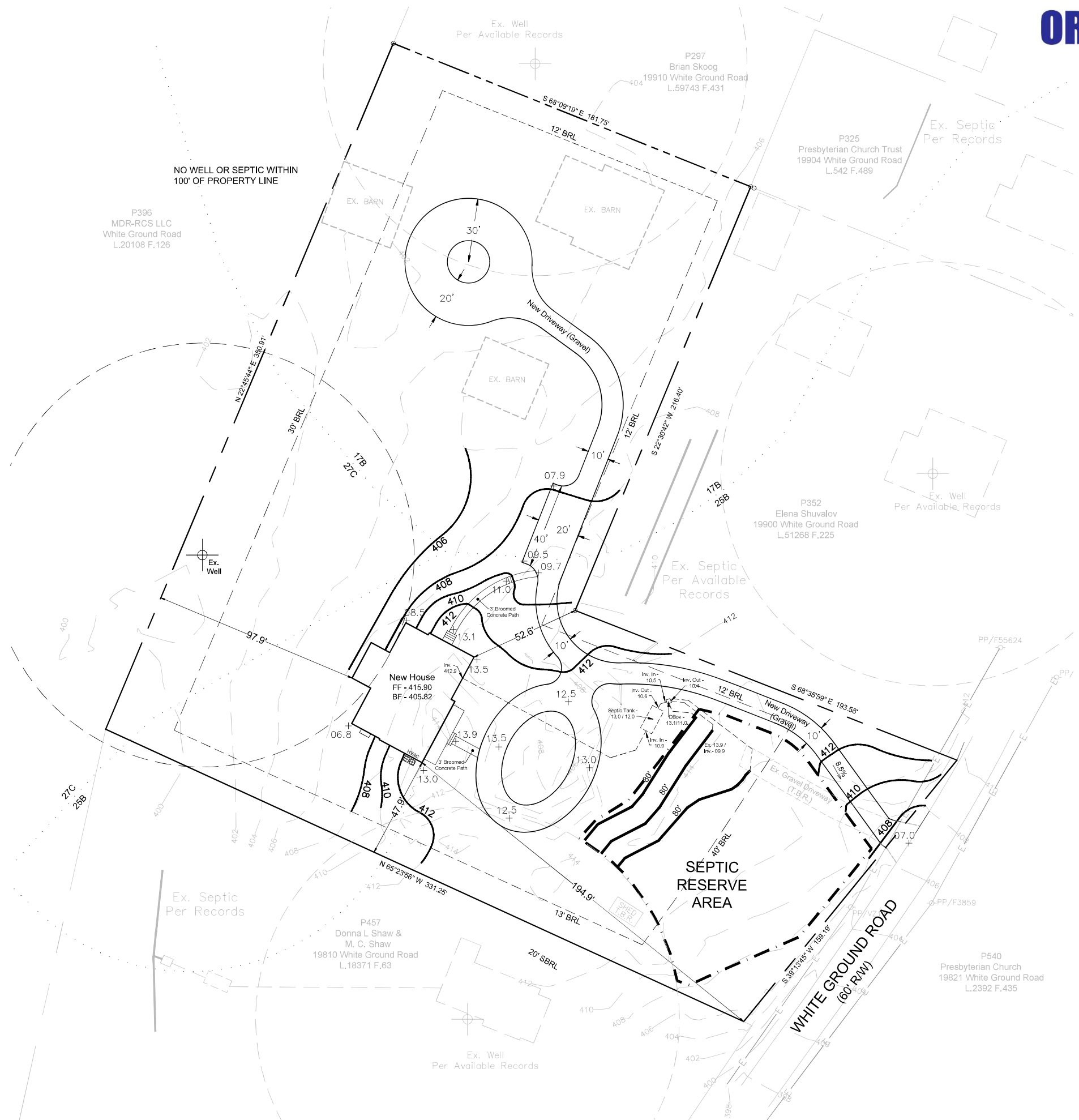
SITE PLAN
19820 White Ground Road
Election District 11
Parcel 404; Tax Map DU562
Montgomery County, Maryland

WSSC GRID 22TNH15

TAX MAP DU562

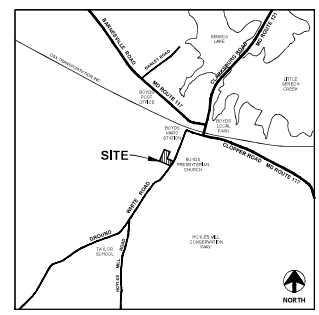
ELECTION DISTRICT - 11

SHEET 1 OF 1



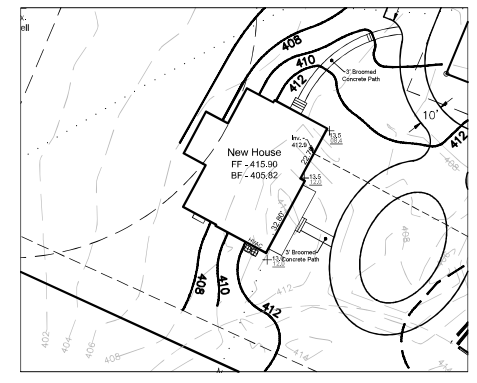
ORIGINAL

PREPARED FOR:
**Danilza Del Carmen Garcia
& Jaime Antonio Garcia**
11134 Newport Mill Road
Kensington, MD 20895
Danilza: 301-726-883
Jaime: 301-755-4862
danilzag@yahoo.com
Chiry829@gmail.com



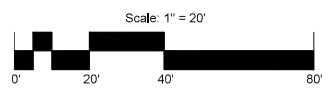
VICINITY MAP
SCALE: 1" = 2,000'

- GENERAL NOTES:**
1. L67100 F.128
 2. Area of property - 2.06 ac. (80,103 sf)
 3. Zoning: R-200
 4. Property served by private on-site well and septic system.
- ZONING NOTES:**
1. Setbacks:
Front - 40' or EBL, whichever is greater
Side - 25' min, one side 12'
Rear - 30'
 2. Minimum Lot Frontage - 25' at street
100' at front building line
 3. Maximum Building Height - 50' if lot area is 40,000 sf or more.
Calculations -
32.8' section x avg. elev. 412.0 (pre-development) = 13,513.60'
22.7' section x avg. elev. 410.2 (post-development) = 9,311.54'
22,825.14 / 55,250 = 411.26' (average post-development front elevation)
FFE 415.8 + 26.33' (height from FFE to peak height of roof per architectural drawings) = 444.23'
444.23' - 411.26' = 32.97' (Average front elevation of building to peak height of roof)
 4. Lot Coverage - 25% (including accessory buildings)
90,103 x 25% = 22,525 sf (maximum allowed)
New House footprint - 2,234 sf
Ex. Barns - 3,872 sf
Total - 6,106 sf (6.8%)
 5. Maximum area allowed for parking in front yard (R-200) - 30%
Area of front yard - 6,969 sf
Area of proposed driveway - 1,376 sf
1,376 sf / 6,969 sf = 19.74%



DETAIL VIEW: BUILDING HEIGHT EXHIBIT
1" = 30'

- LEGEND:**
- BUILDING RESTRICTION LINE
 - EX. OVERHEAD UTILITY
 - INDEX CONTOUR (2' INTERVAL)
 - INTERMEDIATE CONTOUR
 - NEW UNDERGROUND UTILITY
 - PROPERTY LINE (SUBJECT)
 - PROPERTY LINE
 - PROPOSED CONTOUR
 - PROPOSED HOUSE
 - SEPTIC TANK
 - SEPTIC TRENCHES
 - WATER HOUSE CONNECTION
 - WELL SITE W/ 100' NON-POLLUTION RADIUS
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION



Professional Certification:
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed landscape architect registered to practice in the State of Maryland.
Signature: [Signature] Date: 08-15-2024 Exp. Date: 10-21-2024

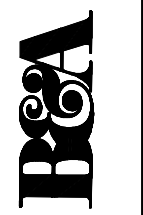


SOURCE OF TWO-FOOT CONTOUR INTERVAL TOPOGRAPHY:
GOODE SURVEYS, LLC.
PO BOX 599
DAMASCUS, MD 20872
301-368-3700

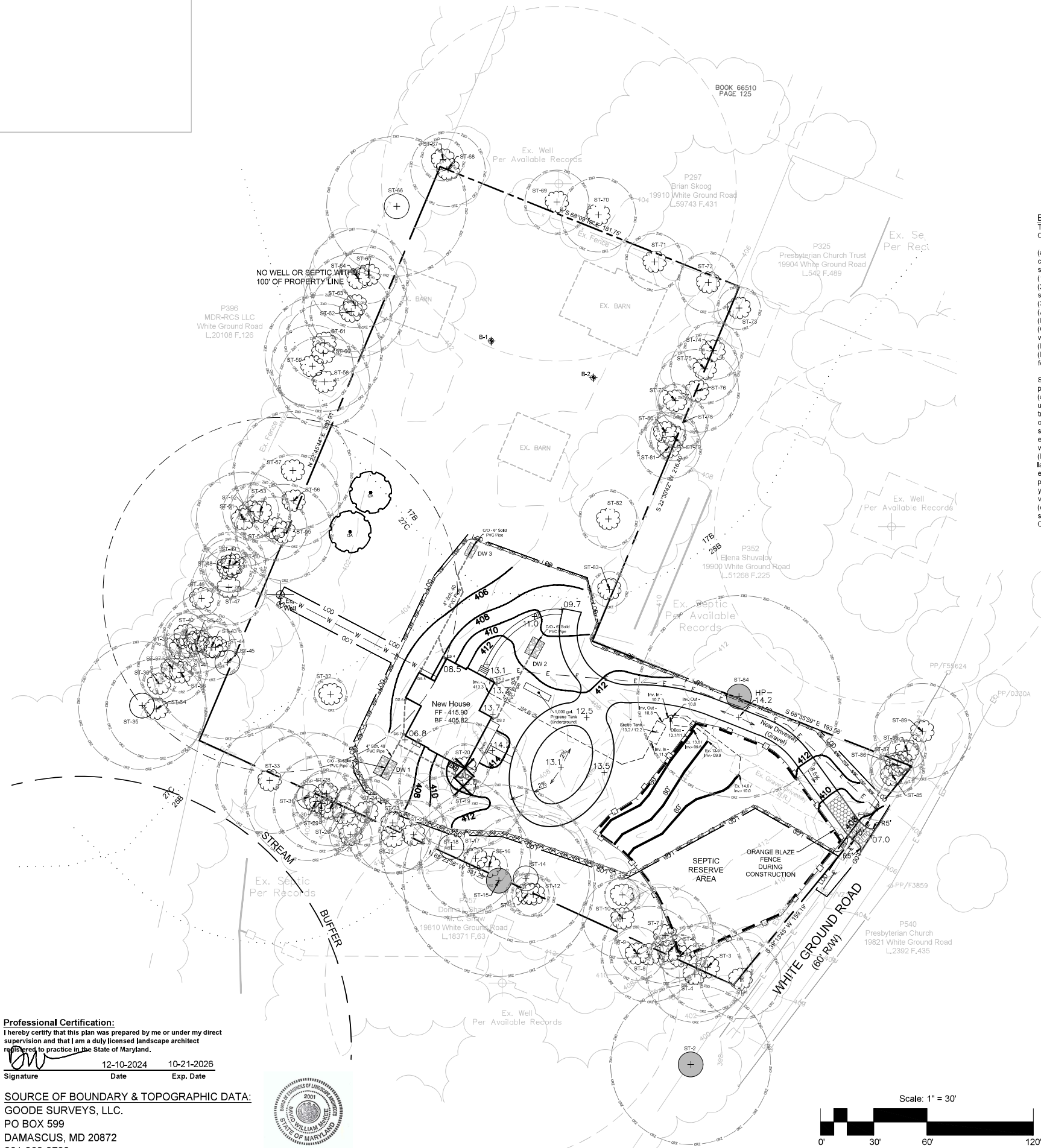


date: 08/15/2024
scale: 1" = 20'

Benning & Associates, Inc.
Landscape Architects
8933 Shady Grove Court
Gaithersburg, MD 20877
(301) 944-0240



SITE PLAN
19820 White Ground Road - P404
L.67100 F.128
Montgomery County, Maryland



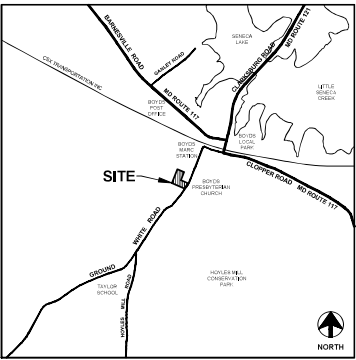
Professional Certification:
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed landscape architect registered to practice in the State of Maryland.

Signature: *[Signature]* Date: 12-10-2024 Exp. Date: 10-21-2026

SOURCE OF BOUNDARY & TOPOGRAPHIC DATA:
GOODE SURVEYS, LLC.
PO BOX 599
DAMASCUS, MD 20872
301-368-3700



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& Jaime Antonio Garcia**
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Kensington, MD 20895
Danilza: 301-728-9839
Jaime: 301-755-4862
danilzag@yahoo.com
Chiry829@gmail.com



VICINITY MAP
SCALE: 1" = 2,000'

EXEMPTION NARRATIVE
THIS PROPERTY QUALIFIES FOR AN EXEMPTION FROM THE FOREST CONSERVATION LAW PER SECTION 22A-5(a) & 22A-6:

(a) an activity conducted on an existing single lot of any size that is required to construct a dwelling house or accessory structure (such as a pool, tennis court, or shed) intended for the use of the owner, if the activity:

- (1) does not require a special exemption;
- (2) does not occur within an environmental buffer, except for the allowable uses stated in the environmental guidelines;
- (3) does not result in the cutting, clearing, or grading of:
- (A) more than a total of 20,000 square feet of forest;
- (B) any forest in a stream buffer;
- (C) any forest on property located in a special protection area which must submit a water quality plan;
- (D) any specimen or champion tree; or
- (E) any tree or forest that is subject to the requirements of a previously approved forest conservation plan or tree save plan.

Sec. 22A-6, Special provisions — Exemptions; tree save plans; and highway projects.

(a) Tree save plan requirements. An activity or development that would be exempt under Section 22A-5, and that would impact a significant, specimen, or champion tree, requires the approval of a tree save plan, which may require tree preservation or mitigation for loss of individual trees. The plan requirements must be based on the size and character of the trees to be cleared. If trees to be cleared are part of an existing scenic buffer between public parkland and a proposed development, trees which are smaller than specimen size may be included in the plan.

(b) Exemption expiration. A confirmed exemption that has not started any authorized land disturbance within 5 years from the date of approval of the exemption is expired, unless the confirmed exemption pertains to a subdivision with a validity period of more than 5 years. If the subdivision has a validity period of more than 5 years, the confirmed exemption does not expire until the end of the subdivision validity period.

(c) Tree save plan violations. A violation of any requirement of a tree save plan or similar condition of approval may be enforced using any remedy provided under this Chapter.

Tree Removal:

1. Trees designated for removal outside of the LOD are to be flush cut to the ground and the stump left in place.
2. Additional hazard tree pruning outside the LOD can be approved by the M-NCPPC forest conservation inspector at the pre-construction meeting provided this tree pruning is done by a Maryland-Licensed Tree Expert.
3. The Limits-of-Disturbance may be adjusted with M-NCPPC forest conservation inspector's prior approval.
4. Additional root pruning may be required by the M-NCPPC inspector if determined necessary to mitigate construction related damage to adjacent save trees.

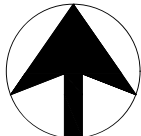
LEGEND:	
CANOPY COVERAGE	
CRITICAL ROOT ZONE	
DRYWELL	
ELECTRIC METER LOCATION	
EXISTING BUILDING	
EXISTING FENCE	
EX. TREE ON-SITE TO BE REMOVED	
INDEX CONTOUR (2' INTERVAL)	
INTERMEDIATE CONTOUR	
LIMITS-OF-DISTURBANCE	
MITIGATION PLANTING	
PROPERTY LINE (SUBJECT)	
PROPERTY LINE	
PROPOSED CONTOUR	
PROPOSED HOUSE	
ROOT PRUNING	
SEPTIC TANK	
SEPTIC TRENCHES	
SIGNIFICANT TREE	
SIGNIFICANT TREE TO BE REMOVED	
SOIL BORING TEST SITE	
SPECIMEN TREE	
STABILIZED CONSTRUCTION ENTRANCE	
SUPER SILT FENCE	
TREE PROTECTION FENCE	
UTILITY POLE	
WATER HOUSE CONNECTION	
EX. WELL	

REVIEWED
By Laura DiPasquale at 10:08 am, Jan 14, 2025

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

Revisions



date: 12/10/2024
scale: 1" = 30'

Benning & Associates, Inc.
Land Planning Consultants
8933 Shady Grove Court
Gaithersburg, MD 20877
(301) 948-0240



TREE SAVE PLAN
19820 White Ground Road
Election District 11
Parcel 404; Tax Map DU562
Montgomery County, Maryland

FIXED 2030 GOTHIC
WINDOW w/ TRIM
SURROUND

TOP OF RIDGE
MIDPOINT OF ROOF
TOP OF PLATE
TOP OF 2ND FLOOR
TOP OF 1ST FLOOR
APPROX. GRADE
30'-2" +/-
27'-0" +/-
8'-1" +/-
10'-1" +/-
1'-10" +/-

50' - 9 1/2"



GARCIA RESIDENCE

ARCHITECTURE COLLABORATIVE

DETAILS AND DIMENSIONS SHOWN ON THESE FLOOR PLANS
AND ELEVATION ARE APPROXIMATE AND SUBJECT TO CHANGE.
ILLUSTRATIONS ARE ARTIST CONCEPTS AND MAY VARY IN
DETAIL FROM FLOOR PLAN AND SPECIFICATIONS.



'19820 WHITE GROUND ROAD'

- CONTINUOUS RIDGE VENT
- ARCHITECTURAL GRADE FIBER GLASS SHINGLES CHARCOAL GREY
- 4" WHITE HARDIE CORNER BOARD
- 6" ALUMINUM WRAPPED FACIAS w/ VINTAGE VINYL BEADED SOFFIT & DECORATIVE CROWN FRIEZE BOARD (TYP. ALL 4 SIDES)
- 1 OVER 1 WINDOWS w/ VINYL & ALUMINUM WRAPPED 4" TRIM SURROUND w/ 6" WINDOW HEAD AND 2" CAP
- 7" WHITE HORIZONTAL HARDIE-PLANK SIDING (ALL SIDES)
- STACKED STONE @ FRONT PORCH AND FOUNDATION WALL

2-PANEL DOOR w/ TOP
ARCHED PANEL. 12"
SIDLITES & TRANSOM w/ 4"
HARDIE BOARD TRIM

10" SQUARE WHITE
COLUMNS

WHITE 14"x30" LOUVERED VENT
(TYP. OF 4)

1 OVER 1 WINDOWS w/
VINYL & ALUMINUM WRAPPED
4" TRIM SURROUND w/
6" WINDOW HEAD AND 2" CAP

6" ALUMINUM WRAPPED RAKE
& DECORATIVE SUB-RAKE
(TYP. ALL 4 SIDES)

10" SQUARE
WHITE COLUMNS

CONCRETE PORCH w/
STACKED STONE FACE &
BROOM BRUSHED TOP
FINISH

FRONT ELEVATION



REVIEWED

By Rebecca Ballo at 2:56 pm, Sep 11, 2024

NOTE:

COMMENTS IN RED INDICATE
RECOMMENDATIONS FROM H.C.C.
DATED 4/03/2024



RIGHT ELEVATION

6'-0"

48'-0"

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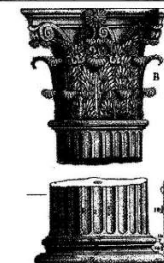
Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

GARCIA RESIDENCE
scale 3/16" = 1' FILE# 2024.01.15 date 01/15/24
19820 WHITE GROUND ROAD
title

revisions	CLIENT REVIEW COMMENT
01/16/24	HISTORICAL REVIEW COMMENT
01/23/24	HISTORICAL REVIEW COMMENT
02/23/24	BUILDER COMMENT
02/26/24	CLIENT / BUILDER & H.R. COMMENTS
03/07/24	CLIENT / BUILDER & H.R. COMMENTS
03/12/24	HISTORICAL REVIEW COMMENT
04/23/24	HISTORICAL REVIEW COMMENT
04/23/24	REVIEW COMMENT
06/18/24	REMOVE SILLERS

HPC COMMENTS & REVISIONS
06/26/24
CLIENT COMMENTS
06/09/24

SHEET #



CONTINUOUS RIDGE VENT

GABLE PITCH AND WIDTH TO
MATCH FRONT ELEVATION

4" WHITE HARDIE
CORNER BOARD

1 OVER 1 WINDOWS w/
4" ALUMINUM WRAPPED OR
VINYL SURROUND w/ 6"
WINDOW HEAD AND 2" CAP

GROUPED TWIN WINDOWS
@ REAR ELEATIONS



49' - 3 1/2"

REAR ELEVATION

6" ALUMINUM WRAPPED RAKE
& DECORATIVE SUB-RAKE
(TYP. ALL 4 SIDES)
WHITE 14"X30" LOUVERED VENT
(TYP. OF 4)
ARCHITECTURAL GRADE FIBER
GLASS SHINGLES CHARCOAL GREY
6" ALUMINUM WRAPPED
FACIAS w/ VINTAGE VINYL
BEADED SOFFIT &
DECORATIVE CROWN
FRIEZE BOARD

1 OVER 1 WINDOWS w/
4" ALUMINUM WRAPPED OR VINYL
SURROUND w/ 6" WINDOW HEAD
AND 2" CAP

7" WHITE HORIZONTAL
HARDIE-PLANK SIDING
(ALL SIDES)

ROCK STAMPED
CONCRETE FOUNDATION
@ BOTH SIDES AND REAR



48' - 0"

LEFT ELEVATION

GARCIA RESIDENCE

ARCHITECTURE
COLLABORATIVE

DETAILS AND DIMENSIONS SHOWN ON THESE FLOOR PLANS
AND ELEVATION ARE APPROXIMATE AND SUBJECT TO CHANGE.
ILLUSTRATIONS ARE ARTIST CONCEPTS AND MAY VARY IN
DETAIL FROM FLOOR PLAN AND SPECIFICATIONS.



'19820 WHITE GROUND ROAD'

NOTE:
COMMENTS IN RED INDICATE
RECOMMENDATIONS FROM H.C.C.
DATED 4/03/2024

REVIEWED

By Rebecca Ballo at 2:56 pm, Sep 11, 2024

APPROVED
Montgomery County
Historic Preservation Commission

TOP OF RIDGE

MIDPOINT OF ROOF

TOP OF PLATE

TOP OF 2ND FLOOR

TOP OF 1ST FLOOR

APPROX. GRADE

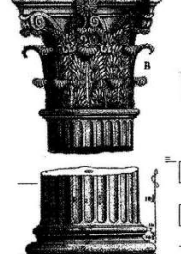
8'-1" +/-
27'-0" +/-
10'-1" +/-
1'-10" +/-
30'-2" +/-

Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

GARCIA RESIDENCE
content
scale 3/16" = 1'
date 01/15/24
FILE# 2024.01.15
title 19820 WHITE GROUND ROAD

revisions	CLIENT REVIEW COMMENT
01/16/24	CLIENT REVIEW COMMENT
01/23/24	HISTORICAL REVIEW COMMENT
02/23/24	HISTORICAL REVIEW COMMENT
02/26/24	BUILDER COMMENT
03/07/24	CLIENT / BUILDER & H.R. COMMENTS
03/12/24	CLIENT / BUILDER & H.R. COMMENTS
04/23/24	HISTORICAL REVIEW COMMENT
04/23/24	REVIEW COMMENT
06/18/24	REMOVE SPLITTERS

SHEET #



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SECOND FLOOR
PLAN (1,807 S.F.)



FIRST FLOOR
PLAN (1,831 S.F.)



NOTE:
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DATED 4/03/2024

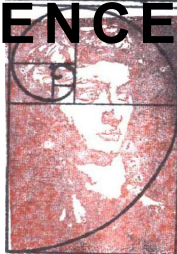
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Historic Preservation Commission

Rebecca Ballo

GARCIA RESIDENCE

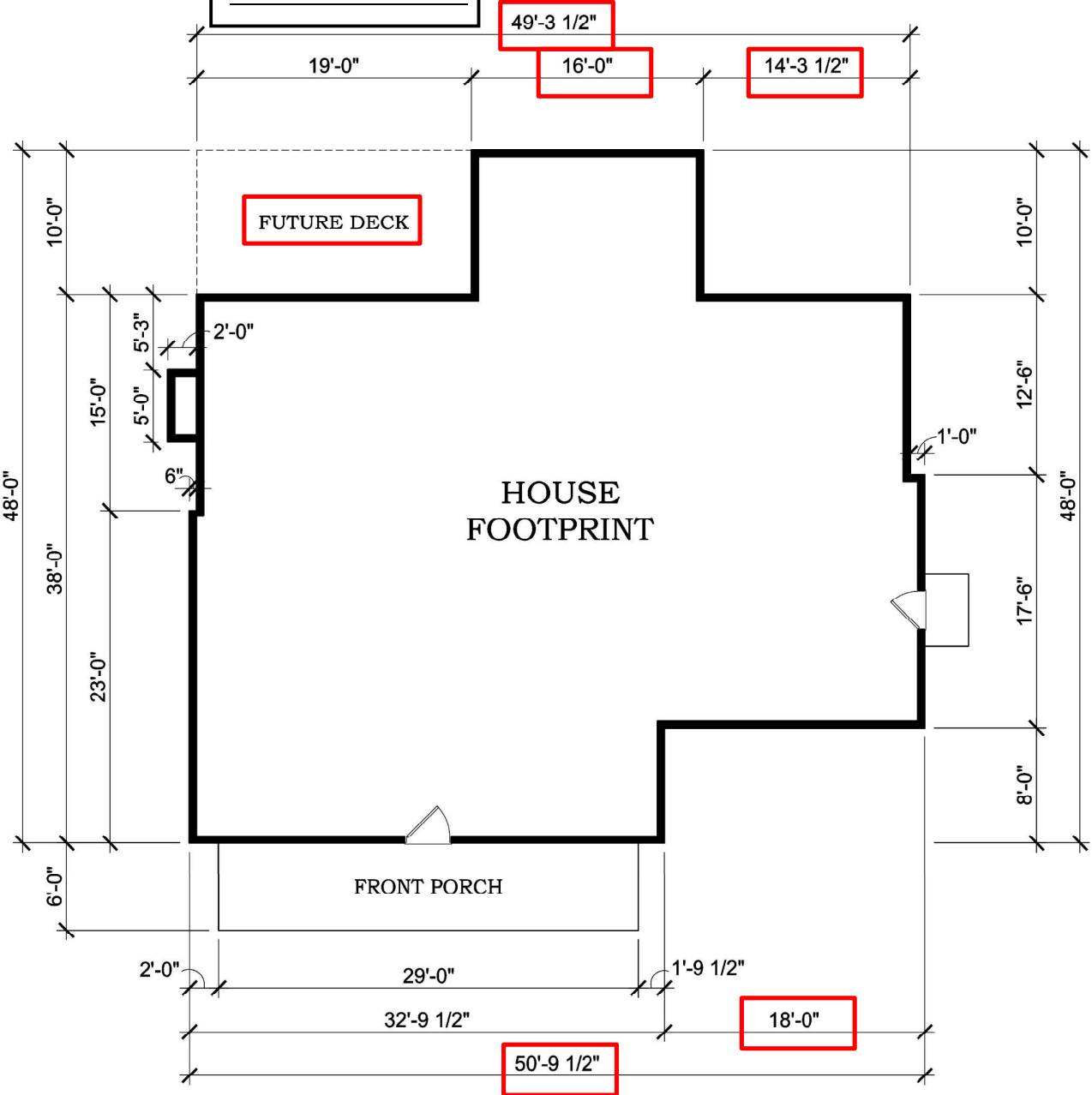
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REVIEWED

By Rebecca Ballo at 2:56 pm, Sep 11, 2024



FOOTPRINT

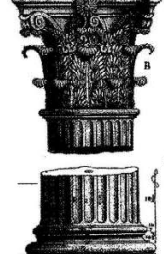
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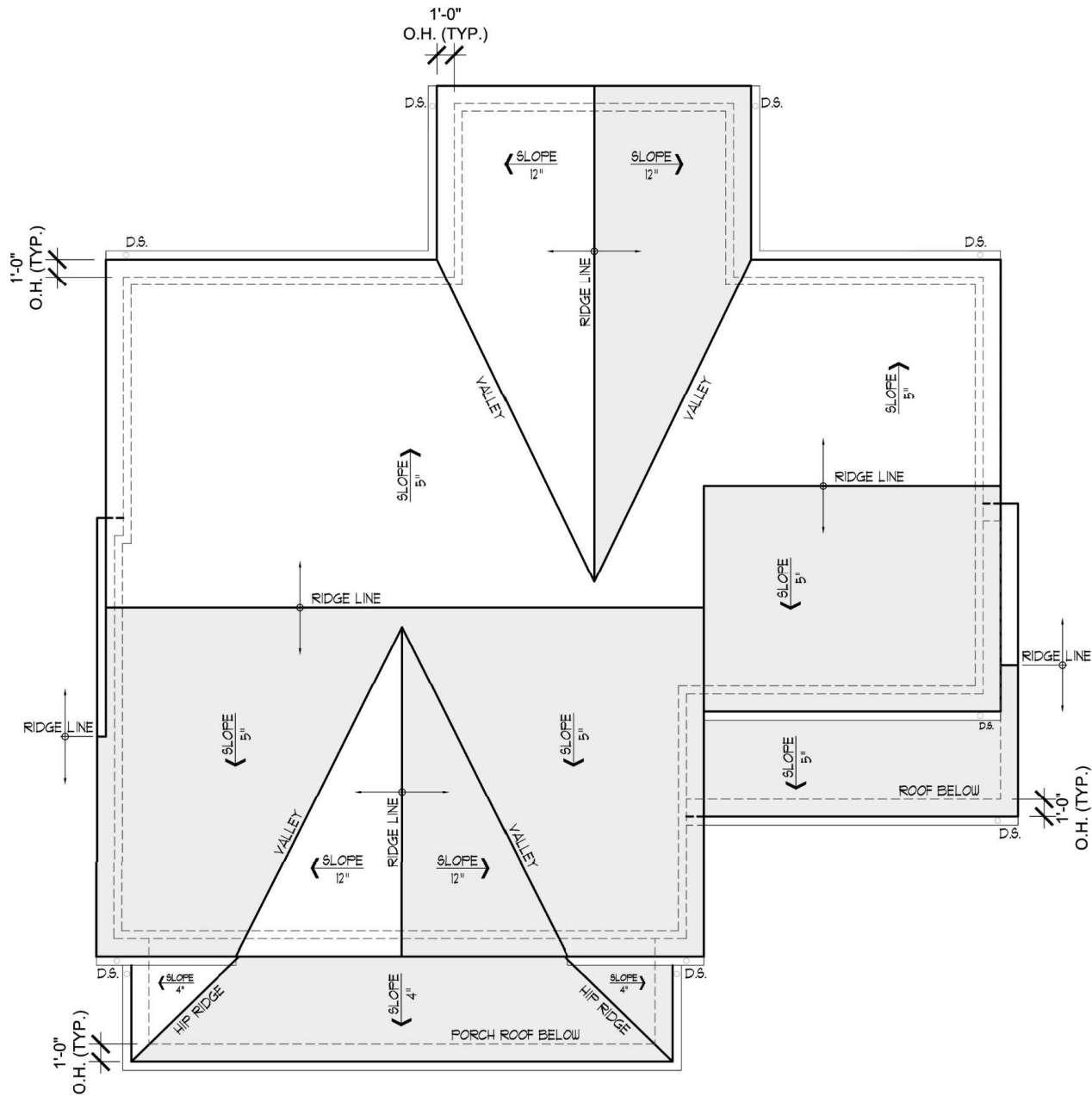
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8334 Main Street
Ellicott City, MD 21043
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Tel.: (410) 465-7500 Fax: (410) 465-0903

GARCIA RESIDENCE
content
scale 3/16" = 1'
FILE # 2024.01.15
date 01/15/24
title
19820 WHITE GROUND ROAD

revisions	CLIENT REVIEW COMMENT
01/16/24	CLIENT REVIEW COMMENT
01/23/24	HISTORICAL REVIEW COMMENT
02/23/24	BUILDER COMMENT
02/26/24	CLIENT / BUILDER & H.R. COMMENTS
03/07/24	CLIENT / BUILDER & H.R. COMMENTS
03/12/24	CLIENT / BUILDER & H.R. COMMENTS
04/23/24	HISTORICAL REVIEW COMMENT
04/29/24	REVIEW COMMENT
06/18/24	REMOVE SUIFERS

SHEET #





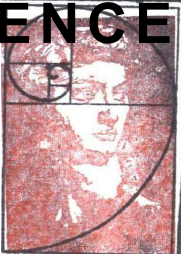
ROOF PLAN

REVIEWED
By Rebecca Ballo at 2:55 pm, Sep 11, 2024

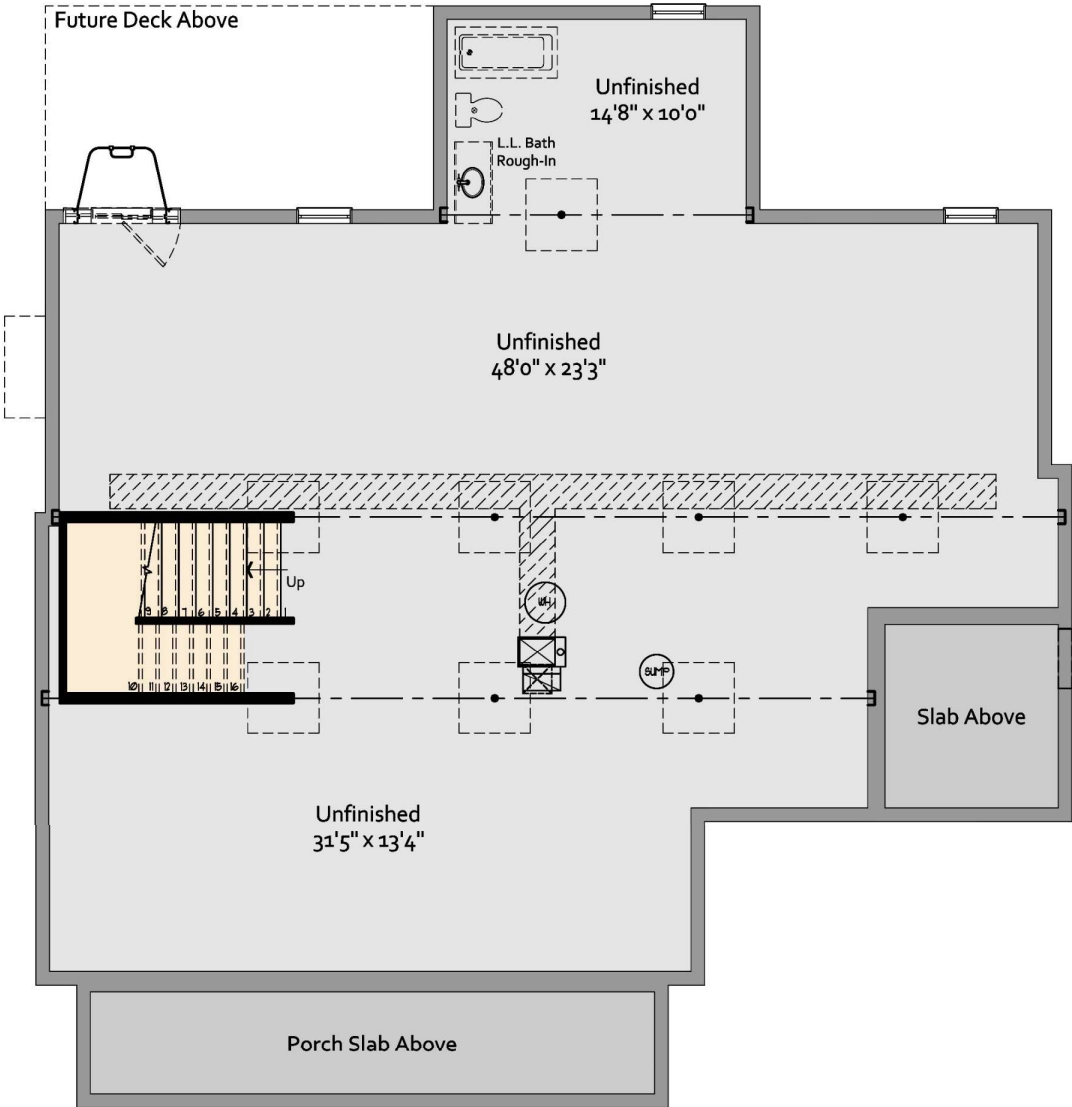
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'19820 WHITE GROUND ROAD'
3,638 ✓

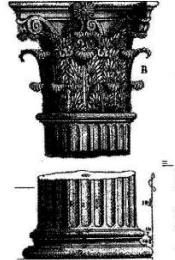


UNFINISHED LOWER LEVEL PLAN

content	
GARCIA RESIDENCE	scale 3/16" = 1'
GarciaResidence_Linden_Rendings	date 01/15/24
FILE# 2024.01.15	drawn
19820 WHITE GROUND ROAD	title

revisions	
01/16/24	CLIENT REVIEW COMMENT
01/23/24	HISTORICAL REVIEW COMMENT
02/23/24	BUILDER COMMENT
02/26/24	CLIENT / BUILDER & H.R. COMMENTS
03/07/24	CLIENT / BUILDER & H.R. COMMENTS
03/12/24	CLIENT / BUILDER & H.R. COMMENTS
04/23/24	HISTORICAL REVIEW COMMENT
04/29/24	REVIEW COMMENT
06/18/24	REMOVE SHUTTERS

SHEET #	



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JAIME & DANILZA GARCIA

19820 WHITE GROUND ROAD
BOYDS, MARYLAND 20841

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"GARCIA RESIDENCE"
MONTGOMERY COUNTY

'LINDEN' Square Footages		
Area		Square Footage
FINISHED	First Floor	1926 SF
	Second Floor	1807 SF
	Total (First & Second)	3733 SF
UNFINISHED	Garage	N/A
		1648 SF
	Basement Utility/ Storage	152 SF
	Total (Unfinished)	1800 SF
Foyer		6' X 13'-6"

WINDOW MANUFACTURE: SILVERLINE
SERIES: 2900

WINDOW IS SELF FLASHING W/ AN 1-1/4" PERIMETER FLANGE

ALL WORK SHALL COMPLY WITH 2018 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS
WALL BRACING SHALL BE IN ACCORDANCE WITH ENGINEERED DESIGN and
CONTINUOUSLY SHEATHED W/ 7/16" WOOD SHEATHING
FLOOR FRAMING TO BE 2 x 12 FLOOR JOISTS @ 16" O.C. OR 12" O.O. (AS NOTED) -
HEM FIR #2 - Fb=918 psi (OR BETTER)

** THE LOCAL JURISDICTION SHALL FILL IN THIS TABLE WITH LOCAL CLIMATIC AND GEOGRAPHIC CRITERIA **

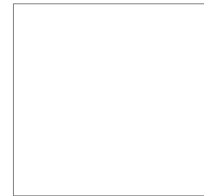
2018 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:									MONTGOMERY COUNTY MARYLAND				
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	Speed (mph)	Topographic Effects	Special Wind Region	Windborne Debris Zone		Weathering	Frost Line Depth	Termites					
30 PSF	115	B			A/B	SEVERE	30"	MODERATE TO HEAVY	13° F	YES	JULY 2, 1979	300	55° F

Sheet List Table	
SHEET	ARCHITECTURAL DRAWINGS
001	COVER SHEET
002	GENERAL NOTES
EC1	THERMAL
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A302	LEFT ELEVATION
A303	REAR ELEVATION
A304	RIGHT ELEVATION
A401	FOUNDATION
A501	FIRST FLOOR
A601	SECOND FLOOR
A701	WALL SECTION
A801	SECTION A-A
A802	SECTION B-B
A803	SECTION C-C
E101	ELECTRICAL_1ST
E201	ELECTRICAL_2ND
S101	FRAMING_1ST
S201	FRAMING_2ND
S301	ROOF FRAMING
S401	LATERAL DETAILS
S402	LATERAL_FOUND
S403	LATERAL_1ST
S404	LATERAL_2ND

REVISIONS		
DATE	COMMENTS	BY
02-26-2019	MID-POINT	SJS
04-23-2019	TOLL BROTHERS REVIEW	SJS
06-07-2019	PERMIT SET	ACI
09-26-2024	GARCIA RESIDENCE MID-POINT REVIEW	TPF
10-30-2024	FINAL REVIEW	TPF
12-2-2024	PERMIT SET	TPF

REVIEWED
By Laura DiPasquale at 9:42 am, Jan 14, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bunkle



Professional Certification
I hereby certify that these documents
were prepared or approved by me, and
that I am a duly licensed
professional architect under the laws
of the State of Maryland.
license number 5921
expiration date 04-03-2026

STRUCT. REVIEW	11-15-2024
PROJECT REVIEW	11-15-2024



Architecture Collaborative, Inc.
8334 Main Street Ellicott City, MD 21043
ArchitectureCollaborative.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

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GARCIA RESIDENCE

TLM73454

GENERAL NOTES

* ALL WORK SHALL COMPLY TO ALL APPLICABLE LOCAL CODES.

* All construction shall be classified as One- and Two-Family Dwellings and comply to the 2018 INTERNATIONAL RESIDENTIAL CODE w/ AMENDMENTS.

* All construction shall comply to the 2018 INTERNATIONAL ENERGY CONSERVATION CODE (or as required by local code).

* These plans and notes are the property of Architecture Collaborative, Inc. Use of these plans without the written consent of Architecture Collaborative, Inc. is prohibited.

* These are conceptual plans and schematic in nature. Their purpose is to develop a proto-type house.

* These plans are subject to modification as necessary to meet code requirements or to facilitate mechanical/plumbing installations or to incorporate design improvements. The Architect reserves the right to make any changes, for any reason, at any time.

* The Owner shall defend, indemnify and save harmless the Architect and Architecture Collaborative, Inc. from and against all suits, actions, claims, liabilities, losses and/or expenses, including attorney's fees, arising out of or resulting from the performance of any work by the Owner or its employees, subcontractors, agents or representatives, caused in whole or in part by any act or omission, whether negligent or otherwise, on the part of the Owner or its employees, subcontractors, agents or representatives.

* The Contractor shall compare and coordinate all drawings. When a discrepancy or an error/omission exists, he shall comply with the code and contact the Architect and Owner in writing for proper adjustment.

* These plans are NOT to be scaled for Construction purposes. Written dimensions and notes supercede all scale references. Contact the Architect and Owner prior to work when any discrepancy arises.

* In the event certain features of construction are not fully shown on the drawings, their construction shall be of the same character as for similar conditions that are shown or noted.

* Habitable space, hallways, and portions of basements containing these spaces shall have a ceiling height of not less than 7'-0", except as required by code.

* Beams, girders, ducts or other obstructions in basements containing habitable space shall be permitted to project to within 6'-4" of the finish floor.

* Integral garages in dwelling units shall be separated from all adjacent living space w/ fire separation as required by local code.

* These drawings do not include structural details.

DESIGN LIVE LOADS

* RECOMMENDED MINIMUMS:

Roof	30 PSF	(40 PSF per JURISDICTION)
Sleeping Floors	30 PSF	
Living Floors	40 PSF	
Attic Floors	30 PSF	
Exterior Decks	40 PSF	
Garage Slabs	50 PSF	
Exterior Balcony's	40 PSF	

Stairs 40 PSF
Individual treads designed for uniformly distributed live load or 300-pound concentrated load over a 4 square inch area, whichever produces greatest stress.

Guard Rails 200 LB
A single concentrated load applied in any direction at any point along the top.

SITE

* GENERAL: These drawings do NOT cover sitework, grading, landscaping or zoning.

* Building foundations have been designed based on an assumed soil bearing capacity of 2,000 PSF (or as noted). Additional engineering may be required if soil bearing capacity is less than 2,000 PSF (or as noted), or if there is no Geotechnical report available.

* In lieu of a complete geotechnical evaluation, load-bearing values per Table R401.4.1 shall be assumed

* Provide continuous perimeter foundation drainage in accordance with local code requirements. Where both interior and exterior drains are required, provide minimum 1-1/2" dia. bleeder pipes through mid-line of footing at 8' o.c. (max.). Typically, drains shall be lead to sump pits or to positive daylight discharge points.

* Slope all stoops, porches, walks and garage slabs away from building 1/8" minimum per foot.

* All work shall comply with local codes.

STAIR NOTES

* INTERIOR and EXTERIOR STAIRS:

* All stairs shall comply with the code and all local amendments.
= Minimum finish width: 36"
= Minimum finished headroom height: 6'-8"
= Maximum riser height to be 7 3/4" or per local code.
= Minimum tread depth to be 10" or per local code.
= Maximum space between balusters to be 4" or per local code.
= Handrail height shall NOT be less than 34" or greater than 38" and may not project more than 3 1/2" into stair width.

* Stair winders shall have a minimum inside width of 6" and a minimum tread (10") or as per code, when measured 12" from the inside corner.

* Stair landings shall be a minimum of 36" x 36" finished.

* Stairways with (3) or more risers are required to have a handrail.

* Guard rails:
Porches, balconys or raised floor surfaces located more than 30" above the floor or grade below shall have guard rails not less than 36" in height. Guard rail spacing shall be designed not to allow passage of an object of 4" or more in diameter.

* The stair manufacturer is responsible for the design and construction of the stair. All work shall comply with local code.

CONCRETE

* Bottom of footings shall be located at minimum frost line below finished grade, as per local code. Steps or depth of footing/ foundation may vary according to local site or frost conditions.

* All interior concrete slabs 30'-0" or greater in any direction shall have 6"x6"x10 welded wire mesh or control joints. Monolithic turned down slabs for Townhouses shall have a control joint between units when required by local code.

* Concrete used in exposed areas implicit to freezing and thawing (both during construction and service life) shall be air-entrained in accordance with local code. Exterior flat-work shall be coated with an approved curing compound.

* Foundation walls of habitable space located below grade shall be water-proofed or damp-proofed using materials and methods approved by the local building jurisdiction.

* Garage / Exterior slabs shall be 5% to 7% air entrained concrete.

Type of Concrete Construction: Minimum Specified Compressive Strength:

Footings	2500 PSi (MIN.)
Foundation Walls	3000 PSi
Interior Concrete Slabs	3000 PSi
Garage Slabs	3500 PSi
Exterior Concrete Slabs (as per local code)	3500 PSi

* The concrete contractor is responsible for the design and construction of all concrete work. All work shall comply with code.

MASONRY

* The maximum vertical distance of unbalanced fill, measured from the top of the lower level floor slab to outside finished grade, shall not exceed the following and shall be re-inforced with #5 bars @ 16" o.c.

Type of Wall: Height of Fill:

8" CMU.	4'-0"
12" CMU. (hollow)	5'-0"
12" CMU. (solid)	6'-0"
8" Poured Concrete	5'-0"
10" Poured Concrete (as per local code)	7'-0"

* Presumptive Load-Bearing Values of Foundation Materials shall not be less than 2,000 PSF or greater than 60 PCF lateral pressure. Additional engineering may be required if lateral pressure or load-bearing values are not within the above values.

* All backfill shall consist of sand and/or gravel.

* Top courses of CMU foundation walls shall be filled solid, including the courses under any steel beam or corbelled CMU, as per local code.

* Stone and Masonry veneer shall be attached and anchored in accordance with Section 103 (with Amendments.)

* The masonry contractor is responsible for the design and construction of all masonry work. All work shall comply with local codes.

SPECIALTIES

* Pre-Built fireplace units shall be UL approved and installed according to code and manufacturers specifications and recommendations.

* Wood burning fireplaces shall have tight-fitting flue dampers and outdoor combustion air.

* Chimneys shall extend a minimum of 2'-0" above any roof structure within 10'-0".

* Provide overflow pans and drains for wet appliances when located above a finished space.

* Provide a 22"x30" (Min.) attic access with switched light or 22"x48" pull down stair. Seal and insulate as per local code.

* Kitchen and Bath plans are approximate. See manufacturers plans for exact layout and dimensions.

* The drywall contractor is responsible for the design and construction of the party walls, fire walls and fire separation assemblies. All work shall comply with local codes.

* The fire suppression contractor is responsible for the design and construction of the suppression systems. All work shall comply with local codes.

THERM. PROTECTION

R-Value:	Thickness:	Location:
R-46	--	Duct Insulation in uncond. sp.
R-6	--	Duct Insulation in uncond. sp.
R-6	--	Duct Insul. below conc. slab.
R-8	--	Duct Insulation in Attic. sp.
R-10	2"	Slab Insulation at Perimeter
R-11 (blanket)	3.5"	Basement Walls - Unfinished
R-13	3.5"	Basement Walls - 2x4 Finished
R-13 + 5	3.5"	2x4 Walls - Exterior
R-21	5.5"	2x6 Walls - Exterior
R-19	6.25"	Crawl space / Floors exposed to unconditioned space

R-30	12"	Ceiling (w/ Energy heel)
R-30 C	10.25"	Vaulted Ceiling
R-38	12"	Ceiling (w/ Energy heel)
R-49	15" (min.)	Ceiling (w/ standard heel)

* When using blown insulation, the manufacturer's settled R-value shall be used and the blown insulation shall be installed per manuf. specs.

* The building thermal envelope shall meet the requirements of the IECC Sections R402.1.1 through R402.1.5.

* Prescriptive R-values in IECC Table R402.1.2 are shown above.
* Per IECC Section R402.1.4, Alternate U-values of an assembly may be substituted as the U-factor Alternative method to meet building thermal envelope requirements.
* Per IECC Section R402.1.5, the Total UA Alternative method may be used to meet the building thermal envelope requirements.

* Insulation for slab-on-grade construction shall begin at the inside intersection of the slab and foundation wall and shall extend for a minimum distance of 24" down the inside face of the foundation wall and horizontally under the slab.

* Provide continuous soffit vents and ridge vents as shown on drawings and as per code. Install insulation baffles in accordance with local code, in each truss/rafter bay to maintain free air flow.

* Flashing shall be of pre-finished aluminum (or equal), installed at all roof offsets, chimneys, roof openings, hips, valleys, ridges, dormers and where roof intersects wall (as per local code).

* Contractor shall maintain, in all instances, proper fire, sound and insul. ratings when penetrating through walls, floors, ceilings and roofs.

METAL

* Straps/bolts shall be per code and building inspector approved:

Min. (2) straps/bolts per section of plating 12" max. from each end with intermediate straps/bolts at:
- 1/2" bolts spaced per code.
- Straps spaced per code or per manuf.'s spec.'s

* Galvanized metal brick ties shall be installed as per local codes.

* Gutters, downspouts, and bleeders shall be installed by the contractor as required by local codes.

* All structural steel shall be detailed, fabricated and erected in accordance with the latest edition of AISC (American Institute of Steel Construction) "Specification for Structural Steel Buildings - Allowable Stress Design and Plastic Design" and AISC code of standard practice, shall be of domestic origin and conform to:

- Wideflange = ASTM A992, Fy = 50 ksi
- Plates and Angles = ASTM A36
- HSS Round ASTM A53, Grade B Fy = 35 ksi

WINDOWS and DOORS

* Provide safety glazing as required by local code.

* All doors and windows shall be sealed and flashed on all sides and installed in accordance with manufacturers specifications and per local code.

* Garage door into dwelling shall have a minimum fire rating of 20 minutes (or per local code). The threshold of the door opening between the garage and adjacent interior space shall not be less than 4" above the garage floor (or per local code).

* Every sleeping room shall have at least one operable window or exterior door approved for emergency egress or rescue. The sill height shall not be more than 44" above the floor. Egress windows must have a minimum net clear opening of 5.7 ft², or per local code.

* Window sill height shall be a minimum 24" above finished floor at all sills greater than 12" above finished grade, or per local code.

WOOD

* Wall bracing shall be installed as per local code.

* All roof trusses and floor systems shall be engineered by others.

* All roof trusses and floor systems shall be braced and installed per manufacturers specifications and per local code. See manufacturers plans for exact layout and construction.

* Fire-stopping shall be provided to cut off concealed draft openings and to form an effective fire barrier between stories, as per local code:

- At the intersection of Kitchen bulkhead and wall.
- At the top of all heat chases.
- At bathtub trap openings.
- 2x fire-stopping / blocking at every floor or 8'-0" o.c. vert.

* LVL Beams: 1-3/4" wide - 20E Microlam LVL
* LSL Beams: 3-1/2" wide - 155E Timberstrand LSL
* PSL Beams: 3-1/2" wide - 20E Parallam PSL
* PSL Columns: (as noted) - 18E Parallam PSL Columns

* All walls to be 16" o.c. (stud thickness per plan), minimum 5FF stud grade unless otherwise noted. Interior non-load bearing partitions may be 2x4 studs at 24" o.c.

* All interior and exterior load bearing walls shall have lapping top plates where walls intersect.

* All wood less than 8" from grade shall be treated lumber. All sole plates on slabs and foundations shall be treated lumber.

* Provide bearing at all structural members as required by code.

* Provide floor and wall blocking as shown on framing plans as required by local codes.

* See drawings for type of floor construction.
- Tongue and groove floor decking, glued and fastened on floor joists shall meet the American Plywood Assoc. Stud-I Floor System.

* All materials shall be installed per manufacturers specifications and per applicable local codes.

MECH. PLUMB. ELEC.

* Mechanical contractor is responsible for the design and installation of the mechanical systems including duct sizes, trunk and register sizes for air conditioning, heating and ventilation. Systems shall be installed per manufacturers specifications and recommendations and per all applicable codes.

* Mechanical systems shall provide a minimum of (3) air exchanges per hour (or per local code). The building shall be provided with ventilation that meets the requirements of the International Residential Code or International Mechanical Code, as applicable.

* Per IRC R303.4, when the air infiltration rate of a dwelling unit is 5 air changes per hour or less, the dwelling unit shall be provided with whole-house mechanical ventilation in accordance with IRC section M1507.3. Outdoor air intakes or exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating.

* Mechanical systems in unconditioned space shall have a manufacturer's designation for an air leakage of no more than 2% of the design air flow rate when tested in accordance w/ ASHRAE 193.

* Plumbing contractor is responsible for the design and installation of plumbing and piping. All plumbing, piping and fixtures shall be installed per manufacturers specifications and recommendations and per all applicable codes.

* Each sump shall be sealed and vented as per code, vented through roof with 3" Diameter vent.

* Electrical contractor is responsible for the design and installation of all electrical systems. All electrical work shall meet the requirements of the National Electric Code, the local power company and all applicable codes. Fixtures and apparatus are selected by the builder and shall be UL approved.

* Install programmable thermostats.

* Smoke detectors and Carbon Monoxide detectors:

- Provide a minimum of (1) ceiling mounted fixture per floor, hard wired to a nearby circuit and interconnected for simultaneous activation with battery backup.

- Provide Smoke detectors at each sleeping room.

* Not less than 90% of the lamps in permanently installed lighting fixtures shall be high efficiency lamps or not less than 90% of permanently installed lighting fixtures shall contain only high-efficiency lamps.

* Sprinkler system (when required) shall be NFPA-13D, installed per manufacturers specifications and recommendations and per all applicable local codes.

* Floor assemblies such as manufactured I-Joist or open web joists, other than minimum 2x10 dimensional lumber or structural composite lumber, located directly over a space that is not protected by an automatic sprinkler system shall be protected by 1/2" gypsum board to the underside of the TJI floor framing members, or other code approved method.

TABLE 103.B.3.1 ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER a,b,c,d

SIZE OF STEEL ANGLE (inches)	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	NO. OF 1/2" (OR EQUIVALENT) REIN. BARS c
3 X 3 X 1/4	6'-0"	4'-6"	3'-0"	1
4 X 3 X 1/4	8'-0"	6'-0"	4'-6"	1
5 X 3 1/2 X 5/16	10'-0"	8'-0"	6'-0"	2
6 X 3 1/2 X 5/16	14'-0"	9'-6"	7'-0"	2
2-6 X 3 1/2 X 5/16	20'-0"	12'-0"	9'-6"	4

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm

- Long leg of the angle shall be placed in the vertical position.
- Depth of the re-inforced lintels shall not be less than 8" and all cells of hollow masonry lintels shall be grouted solid. Re-inforcing bars shall extend not less than 8" into the support.
- Steel members indicated are adequate typical examples: Other steel members meeting structural design requirements may be used.
- Either steel angle or re-inforced lintel shall span opening.

REVIEWED
By Laura DiPasquale at 9:42 am, Jan 14, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Kara Boudit

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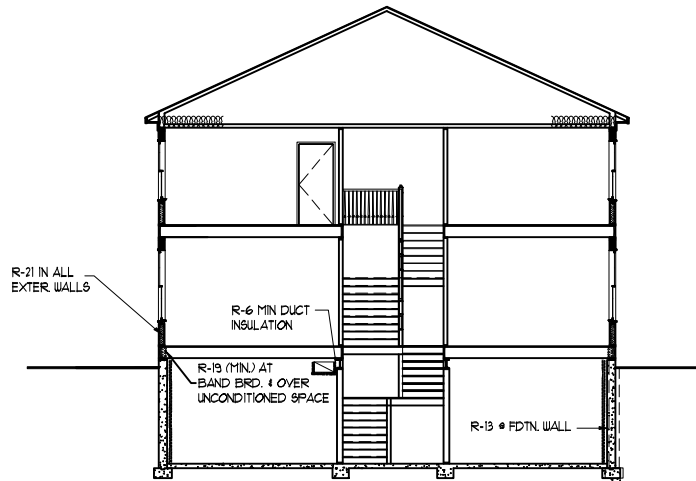
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GENERAL NOTES
scale: 1"=4' (34x22) file: 10/13/18
U.N.O. 1"=8' (17x11) 2.0
JAIME & DANILZA GARCIA
GARCIA RESIDENCE

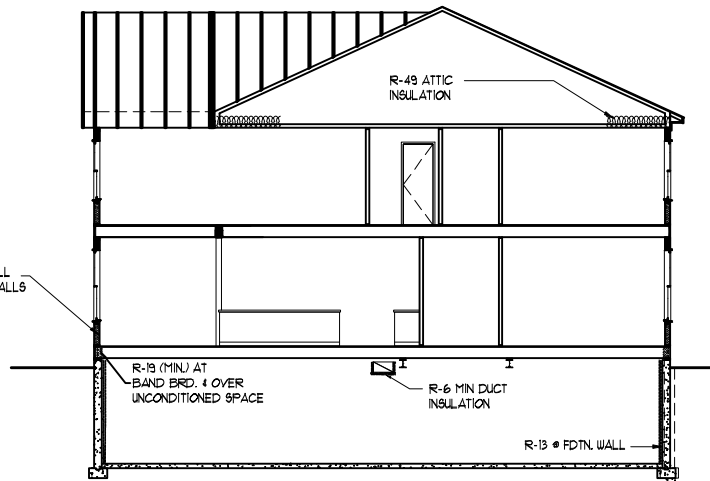
date	revision	by

SHEET #
002

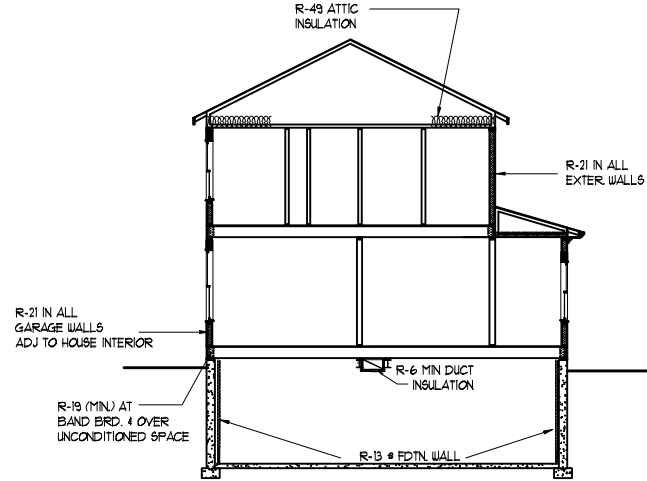
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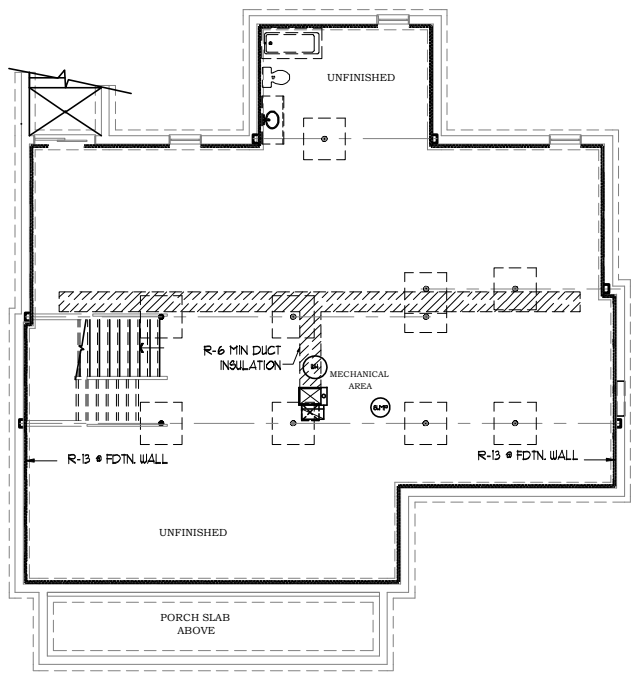
SECTION A-A ENERGY PLAN



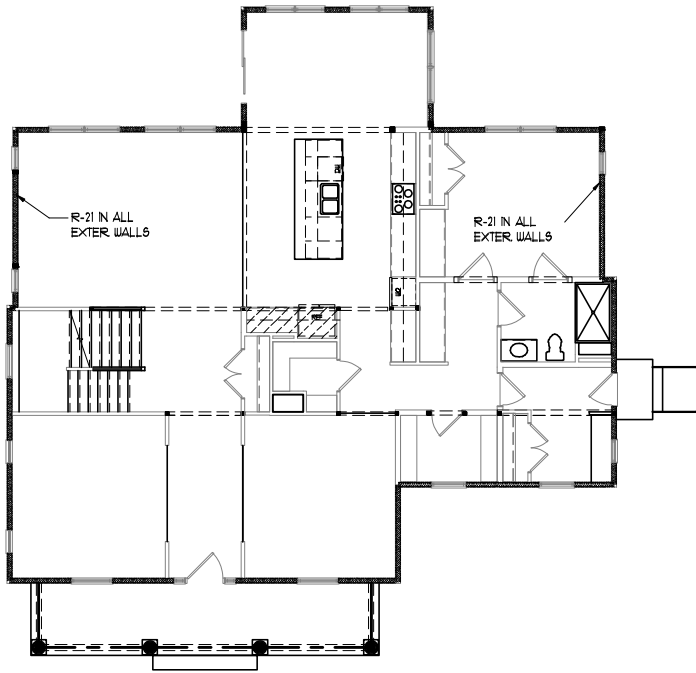
SECTION B-B ENERGY PLAN



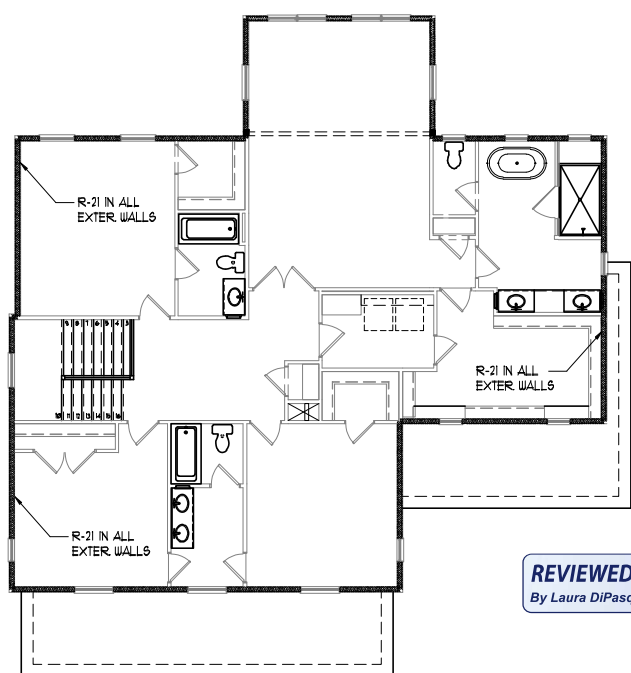
SECTION C-C ENERGY PLAN



FOUNDATION ENERGY PLAN



FIRST FLOOR ENERGY PLAN



SECOND FLOOR ENERGY PLAN

NOTE:
BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT FILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:

1. ALL JOINTS, SEAMS AND PENETRATIONS,
2. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS,
3. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING
4. UTILITY PENETRATIONS,
5. DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE,
6. KNEE WALLS,
7. WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES,
8. BEHIND TUBS AND SHOWERS IN EXTERIOR WALLS,
9. COMMON WALLS BETWEEN DWELLING UNITS,
10. ATTIC ACCESS OPENINGS,
11. RM. JOIST JUNCTION,
12. OTHER SOURCES OF INFILTRATION.

BUILDING THERMAL CRITERIA:		REQUIRED	PROVIDED
WINDOWS - MAXIMUM U-FACTOR	U-FACTOR	32	32
DOORS - MAXIMUM U-FACTOR		32	32
SKYLIGHTS - MAXIMUM U-FACTOR		60	N/A
CEILING	R-FACTOR	R-38	R-49
WALLS (WOOD FRAMING)		R-20	R-21
MASS WALLS		R-5/10	N/A
BASEMENT WALLS		R-13/13	R-13/13
FLOORS		R-19	R-19
SLAB PERIMETER - R-VALUE & DEPTH		R-10, 2 ft.	N/A

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content
THERMAL
scale: 1" = 4' (34x22) file: 10/13/18
U.N.O. 1" = 8' (17x11) 2.1
drawn: SLF
date: 10/13/18
title
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APPROVED
Montgomery County
Historic Preservation Commission
Kara Buleit

REVIEWED
By Laura DiPasquale at 9:42 am, Jan 14, 2025



FRONT ELEVATION

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

REVIEWED
By Laura DiPasquale at 9:42 am, Jan 14, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bunkin

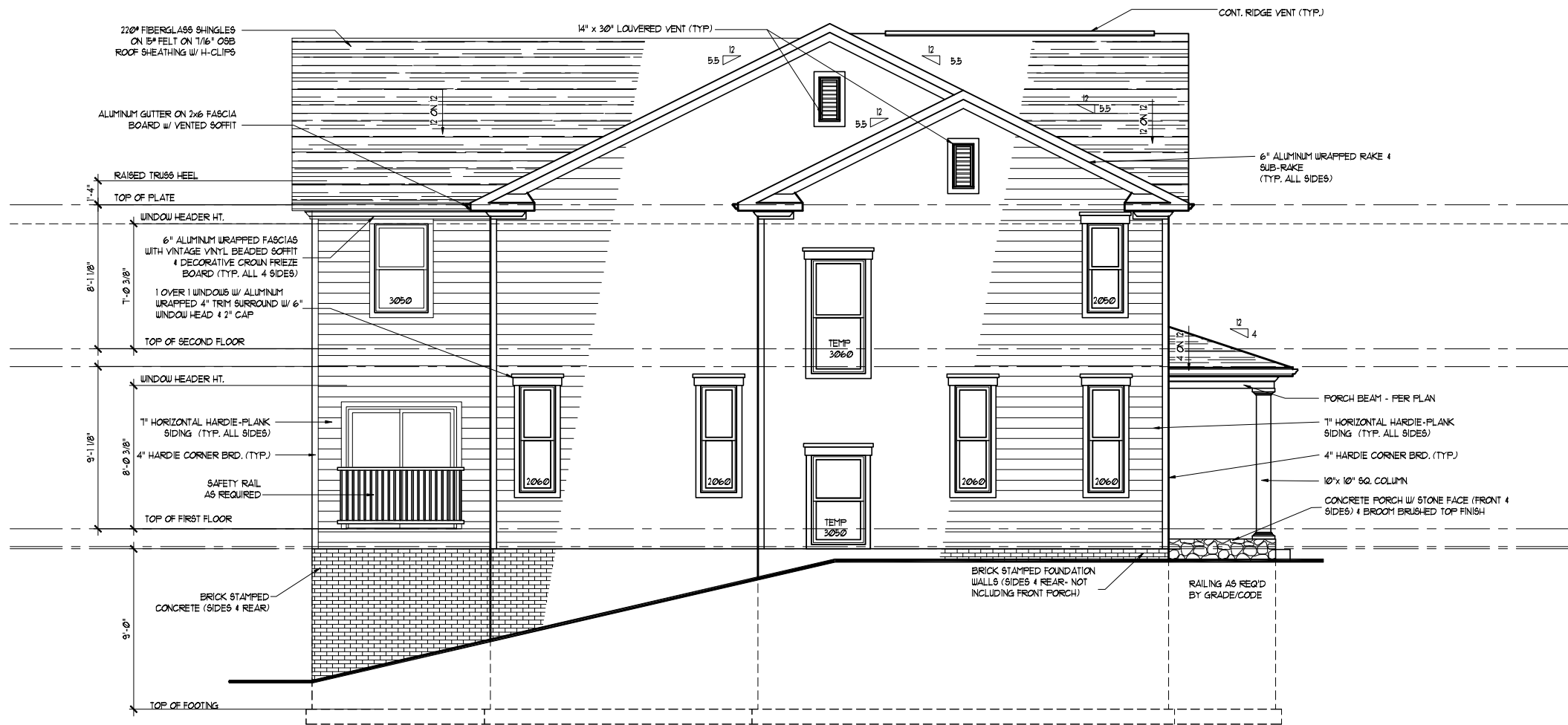
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content FRONT ELEVATION
scale: 1"=4' (34x22) file: 10/13/18
U.N.O. 1"=8' (17x11) 3.1_ELEV drawn: SLF date: 10/13/18
JAIME & DANILZA GARCIA
GARCIA RESIDENCE title

date	revision	by

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LEFT SIDE ELEVATION
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

REVIEWED
By Laura DiPasquale at 9:42 am, Jan 14, 2025

APPROVED
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Historic Preservation Commission
Karen Bunkin

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LEFT ELEVATION
scale: 1" = 4' (34x22) file: U.N.O. 1" = 8' (17x11)
date: 10/13/18
drawn: SLF
title: JAIME & DANILZA GARCIA
GARCIA RESIDENCE

date	revision	by

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REAR ELEVATION

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

REVIEWED

By Laura DiPasquale at 9:42 am, Jan 14, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Bunkin

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SHEET #

A303

content

scale: 1"=4' (34x22) file: U.N.O. 1"=8' (17x11)

drawn: SLF

date: 10/13/18

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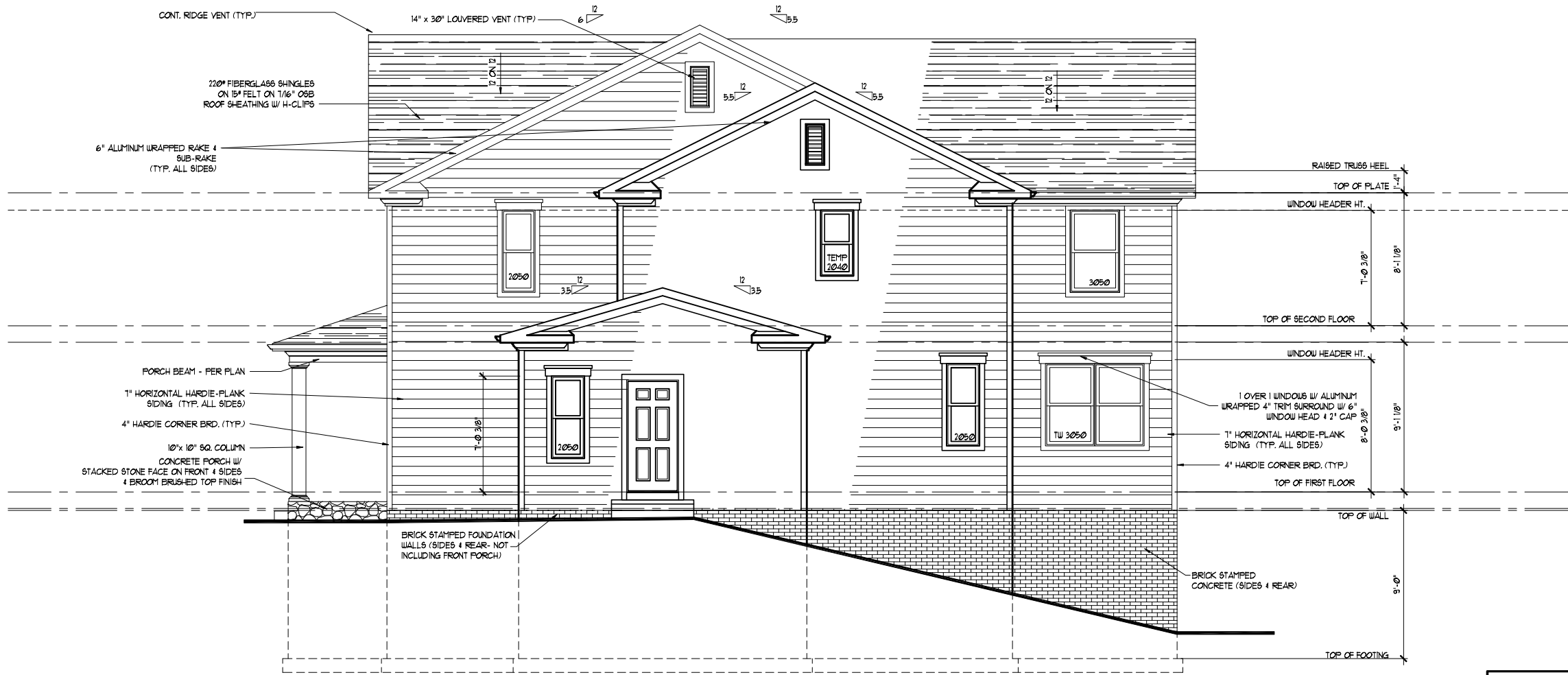
title

by

revision

date

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RIGHT SIDE ELEVATION

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

REVIEWED

By Laura DiPasquale at 9:42 am, Jan 14, 2025

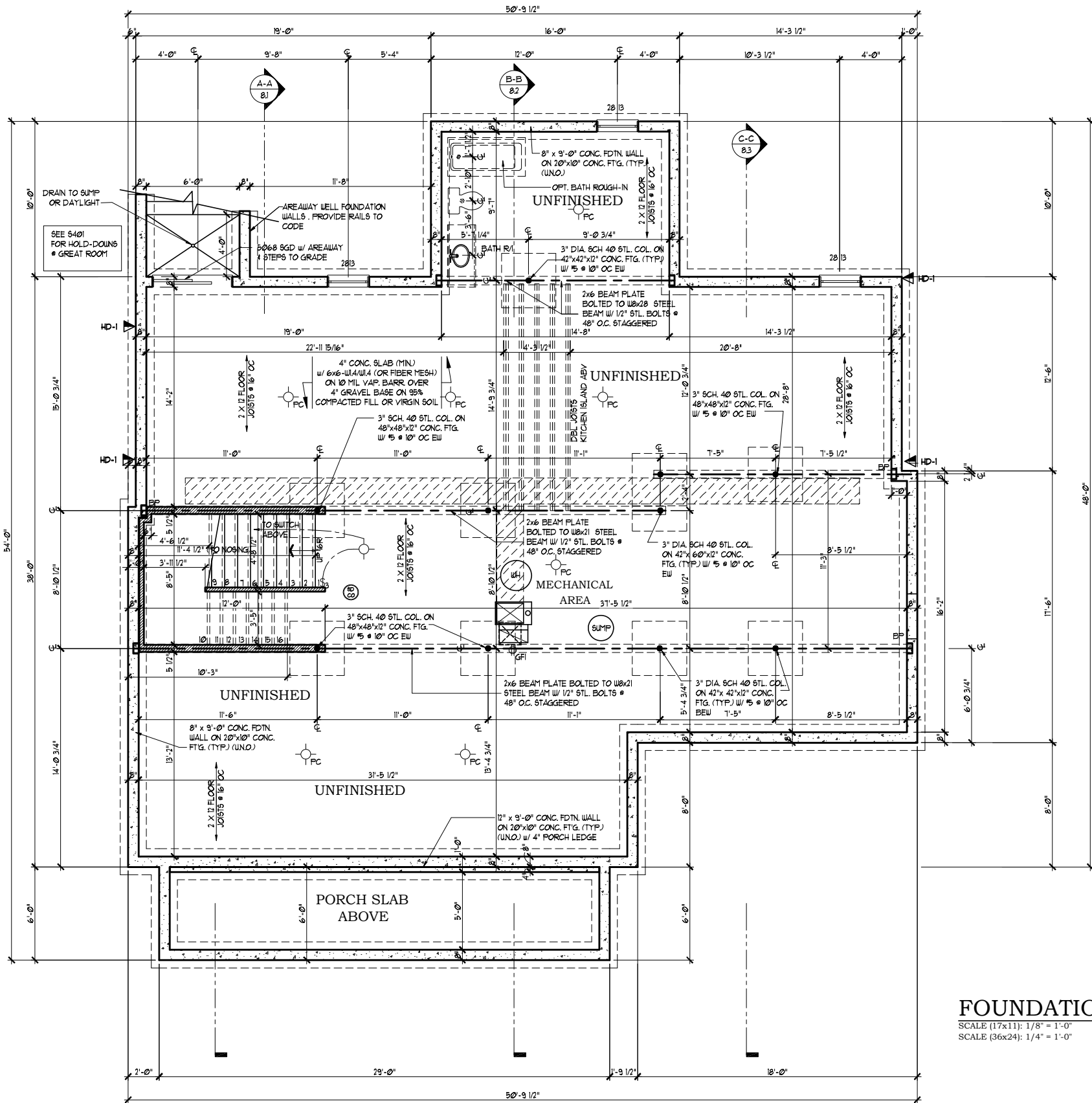


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RIGHT ELEVATION			
content	scale: 1"=4' (34x22) file: (17x11) 3.1C	drawn: SLF	date: 10/13/18
by	JAIME & DANILZA GARCIA		
revision	GARCIA RESIDENCE		

date	revision	by

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expiration date	04-09-2028



FRAMING NOTES:

1. ALL EXTERIOR WALLS ARE TO BE 2x6 STUDS FRAMED @ 24" O.C., UNLESS NOTED OTHERWISE.
2. ALL INTERIOR WALLS ARE TO BE 2x4 STUDS FRAMED @ 16" O.C., UNLESS NOTED OTHERWISE.
3. SOLID BLOCK ALL BEAMS & HEADERS (GREATER THAN 4") w/ (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED (TYP.) UNLESS NOTED OTHERWISE.
4. (2) 2 x 10 HEADERS (TYP.) AT OPENINGS LESS THAN 12" UNLESS NOTED OTHERWISE.
5. (3) 2 x 10 HEADERS AT OPENINGS 12" or GREATER, UNLESS NOTED OTHERWISE.
6. SUB-FLOOR SHALL BE 3/4" THICK (MIN.) TONGUE & GROOVE TO MEET APA STANDARD.

FOUNDATION NOTES

SECTION R-5026
FOOTINGS AND SLABS ON GRADE SHALL BEAR ON UNDISTURBED VIRGIN SOIL OR 95% COMPACTED FILL.

SECTION R-3102
1. BASEMENTS SHALL HAVE A MINIMUM OF ONE EMERGENCY ESCAPE AND RESCUE OPENING THAT SHALL OPEN DIRECTLY INTO A PUBLIC WAY.
2. SLEEPING ROOMS IN BASEMENTS THAT ARE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM ARE NOT REQUIRED TO HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING (AS PER CODE).

SECTION R-30213
FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE THAT IS NOT PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE:
(A) CONSTRUCTED OF NOMINAL 2"x 10" OR GREATER DIMENSIONAL LUMBER
-OR-
(B) PROVIDED WITH 1/2" GYPSUM WALLBOARD MEMBRANE OR AN APPROVED FIRE-PROTECTIVE COVERING (AS PER CODE)

REVIEWED
By Laura DiPasquale at 9:42 am, Jan 14, 2025

APPROVED
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Historic Preservation Commission
Karen Buelit

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FOUNDATION

content
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date: 10/13/18
drawn: SLF

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revision
date

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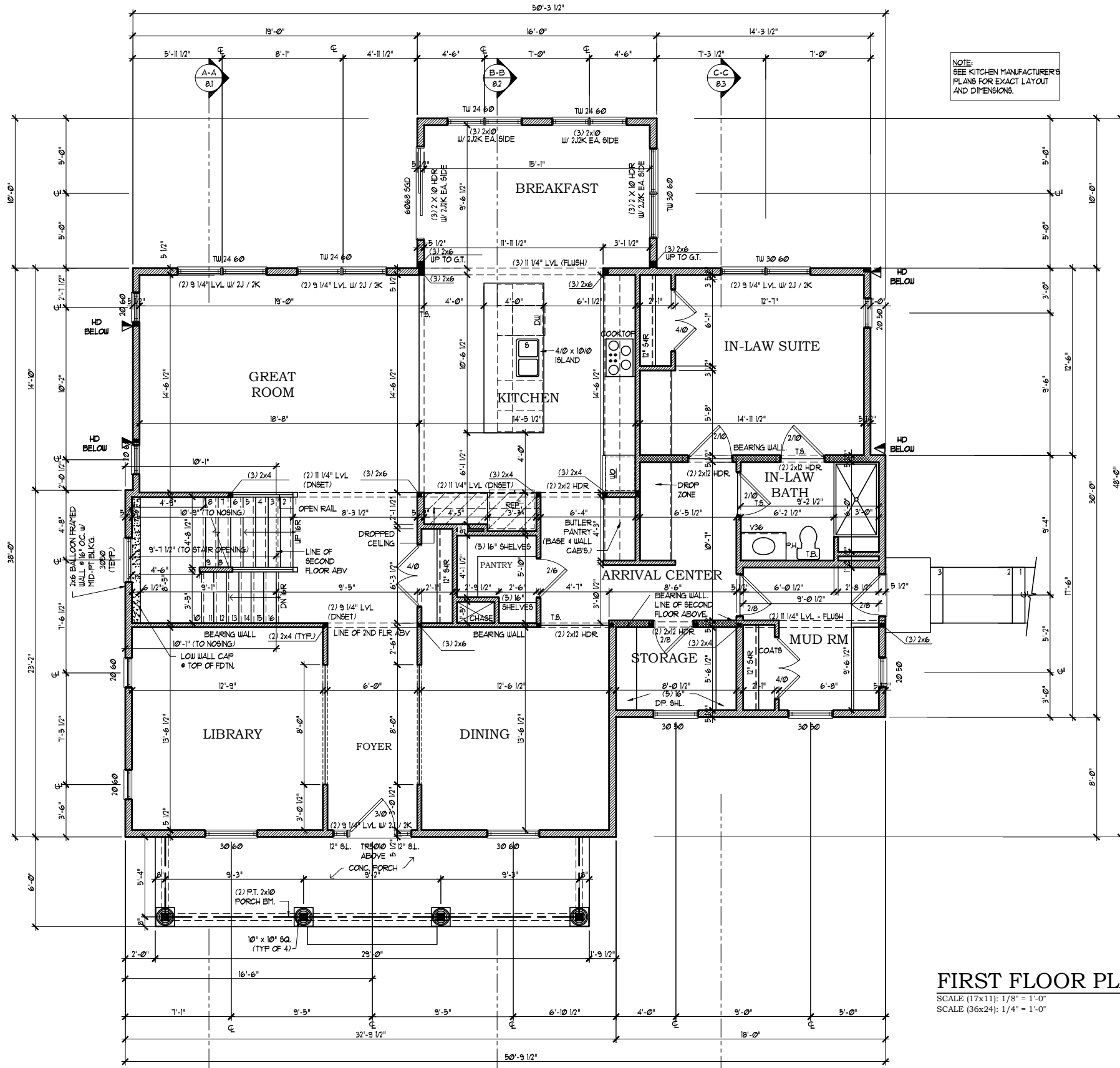
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12/2/2024 9:51:15 AM, Architecture Collaborative, Inc.

File Name: Z:\CLIENT\JIMBERLA\CUSTOM\12173454\SHEETS\4.1.DWG



NOTE:
SEE KITCHEN MANUFACTURER'S
PLANS FOR EXACT LAYOUT
AND DIMENSIONS.

- FRAMING NOTES:**
1. ALL EXTERIOR WALLS ARE TO BE 2X6 STUDS FRAMED @ 24" O.C., UNLESS NOTED OTHERWISE.
 2. ALL INTERIOR WALLS ARE TO BE 2X4 STUDS FRAMED @ 16" O.C., UNLESS NOTED OTHERWISE.
 3. SOLID BLOCK ALL BEAMS & HEADERS (GREATER THAN 4") w/ (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED (TYP.) UNLESS NOTED OTHERWISE.
 4. (2) 2 x 10 HEADERS (TYP.) AT OPENINGS LESS THAN 12" UNLESS NOTED OTHERWISE.
 5. (3) 2 x 10 HEADERS AT OPENINGS 12" or GREATER UNLESS NOTED OTHERWISE.
 6. SUB-FLOOR SHALL BE 3/4" THICK (MIN) TONGUE & GROOVE TO MEET APA STANDARD.

REVIEWED
By Laura DiPasquale at 9:42 am, Jan 14, 2025

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Montgomery County
Historic Preservation Commission
Karen Boudit

FIRST FLOOR PLAN
SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"

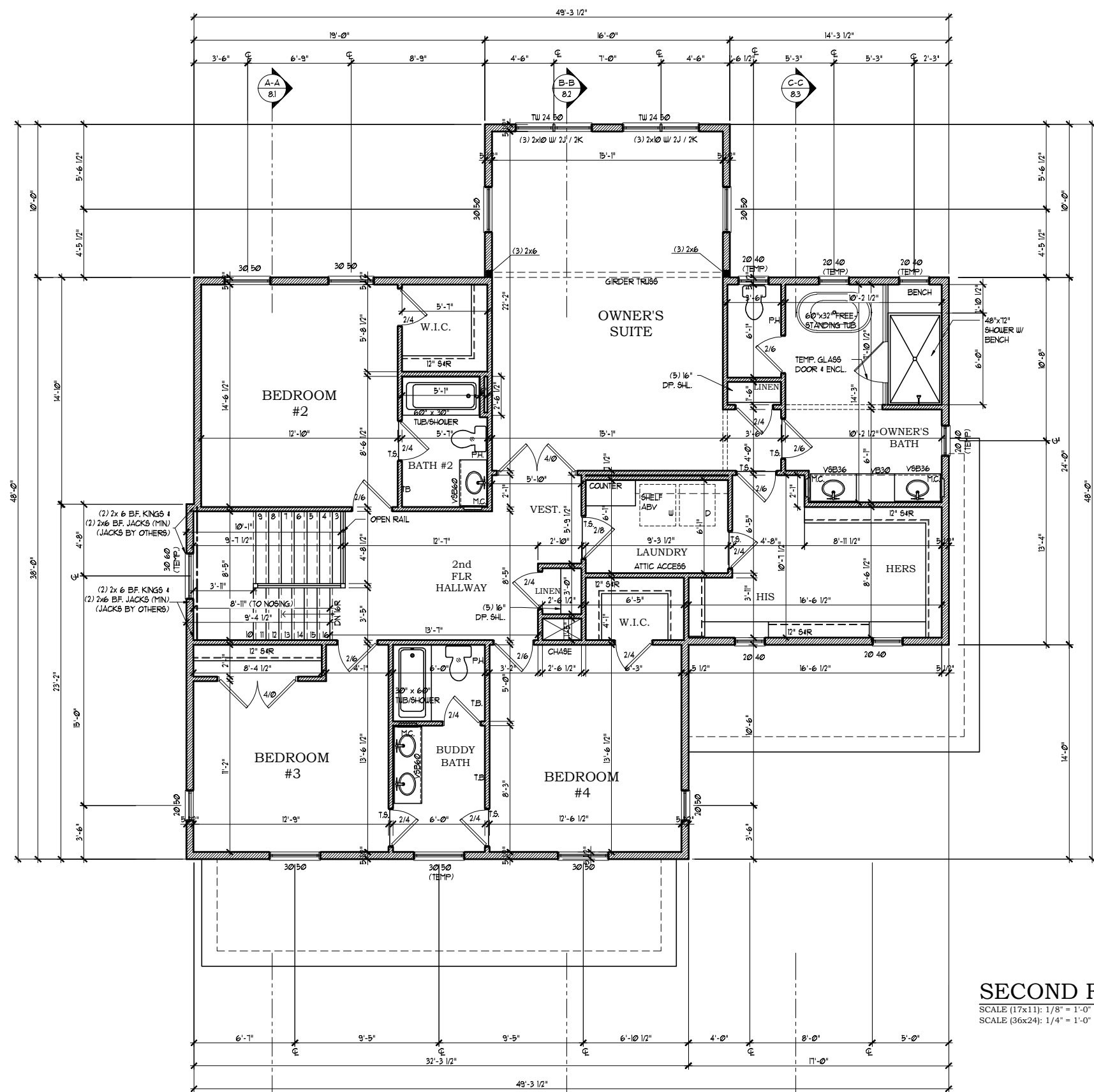
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FIRST FLOOR
content
scale: 1" = 4' (34x22) file: 10/13/18
drawn: SLF date: 10/13/18
U.N.O. 1" = 8' (17x11) 5.1
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- FRAMING NOTES:**
1. ALL EXTERIOR WALLS ARE TO BE 2x6 STUDS FRAMED @ 24" O.C., UNLESS NOTED OTHERWISE.
 2. ALL INTERIOR WALLS ARE TO BE 2x4 STUDS FRAMED @ 16" O.C., UNLESS NOTED OTHERWISE.
 3. SOLID BLOCK ALL BEAMS & HEADERS (GREATER THAN 4") w/ (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED (TYP.) UNLESS NOTED OTHERWISE.
 4. (2) 2 x 10 HEADERS (TYP.) @ OPENINGS LESS THAN 12" UNLESS NOTED OTHERWISE.
 5. (3) 2 x 10 HEADERS @ OPENINGS 12" or GREATER UNLESS NOTED OTHERWISE.
 6. SUB-FLOOR SHALL BE 3/4" THICK (MIN) TONGUE & GROOVE TO MEET APA STANDARD.

REVIEWED
By Laura DiPasquale at 9:42 am, Jan 14, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bunkin

SECOND FLOOR PLAN
SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"

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SECOND FLOOR
content
scale: 1" = 4' (34x22) file: 10/13/18
U.N.O. 1" = 8' (17x11) 6.1
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FIBERGLASS SHINGLES ON
1/2" ROOF FELT ON 1/4" OSB
ROOF SHEATHING w/ H-CLIPS

ALUMINUM DRIP EDGE (TYP)

RAKE BOARD PER PLAN

T.P.I. APPROVED WOOD ROOF
TRUSSES # 24" O.C. BRACED
AND INSTALLED ACCORDING
TO MANUF. SPECIFICATIONS.

R-38 BLOWN OR BATT INSULATION

(2) 2x6 TOP PLATE

WINDOW, INSTALL PER MANF. SPEC.
R-21 FIBERGLASS WALL INSULATION
OR WALL INSULATION PER
RES-CHECK w/ VAPOR BARRIER
HOUSEWRAP OVER 1/4" OSB
WOOD SHEATHING OVER 2x6
FRAMING # 16" O.C. (OR PER PLAN)

HORIZONTAL SIDING
PROVIDE BLOCKING # 48" O.C.
BETWEEN LAST ROW OF JOIST -
INSTALL PER MANF. SPEC. (OR
PER PLAN)
3/4" T & G FLOOR SHEATHING
GLUED & NAILED ON FLOOR
JOIST- INSTALL PER MANF. SPEC.
(OR PER PLAN)
RIMBOARD - INSTALL PER
MANF. SPEC. (OR PER PLAN)

(2) 2x6 TOP PLATE

PROVIDE FLASHING AROUND
WINDOWS AND DOORS

PROVIDE BLOCKING # 48" O.C.
BETWEEN LAST ROW OF JOIST -
INSTALL PER MANF. SPEC. (OR
PER PLAN)
3/4" T & G FLOOR SHEATHING
GLUED & NAILED ON FLOOR
JOIST- INSTALL PER MANF. SPEC.
(OR PER PLAN)

R-19 (MIN) INSULATION w/ VAPOR
BARRIER AT BAND BOARD
(2) 2x6 PRESSURE TREATED SILL
PLATES w/ STD. 8" CEILING
(1) 2x6 PRESSURE TREATED PLATE
w/ OPT. 9" CEILING w/ SEAL AND
ANCHORS AS PER CODE.

METAL FLASHING
PROVIDE CODE APPROVED
BACKFILL MATERIALS AND SLOPE
GRADE AWAY FROM BUILDING MIN.
6" IN 10'-0" (ALL SIDES)

IN LIEU OF GEOTECH REPT, ASSUME
60 PCF WALL DESIGN PER TABLE
R404(12)(8) FOR VERTICAL REIN:
8" x 8'-0" CONC. WALL w/ MAX. 1"
BACKFILL #4@3' O.C. OR #4@2' O.C.
8" x 9'-0" CONC. WALL w/ MAX. 8"
BACKFILL #4@3' O.C. OR #5@2' O.C.
HORIZ. REIN: (1) #4 BAR WITHIN 12"
FROM TOP OF WALL & (1) #4 BAR
NEAR THIRD POINTS IN WALL.

BUTYNOUS WATERPROOFING FROM
TOP OF FOOTING TO GRADE
4" CONCRETE SLAB ON 6 MIL.
VAPOR BARRIER ON 4"
POUROUS FILL

SLOPE w/ MORTAR OR USE
NONBIODEGRADABLE "CANT" STRIP.
16" x 8" CONTINUOUS CONCRETE
FOOTING # 8" WIDE WALL w/ (2) #4
BARS 3" FROM BOTTOM.
PROVIDE FROST FIG. # WALK-OUT
AS REQD. BY CODE

4" PERFORATED EXTERIOR DRAIN
TILE w/ FILTER PAPER OVER IN
GRAVEL AS REQD. BY CODE w/
BLEEDERS THRU FIG. TO INTERIOR
DRAIN TILE TO SUMP, SIZE AND
SPACING AS REQD. BY CODE.

PREFOLDED JOINT FILLER w/
SEALANT # EXPANSION JOINT

BASEMENT WALL SECTION

SCALE (17x11): 3/8" = 1'-0" SCALE (36x24): 3/4" = 1'-0"
(TYPICAL GABLE END WALL)

5/5/2022

FIBERGLASS SHINGLES ON
1/2" ROOF FELT ON 1/4" OSB
ROOF SHEATHING w/ H-CLIPS

T.P.I. APPROVED WOOD ROOF
TRUSSES # 24" O.C. BRACED
AND INSTALLED ACCORDING
TO MANUF. SPECIFICATIONS.

R-38 BLOWN OR BATT
INSULATION w/ Baffle. EXTEND
OVER DOUBLE TOP PLATE TO
OUTSIDE EDGE OF WALL.

HURRICANE CLIPS
EACH END OF TRUSS
OR PER LOCAL CODE

ICE BARRIER UNDERLAYMENT
FROM EAVE EDGE TO 24"
BACK FROM INSIDE FACE OF
EXTERIOR WALL.

MIN. 2-1/4" METAL DRIP EDGE

ALUM. GUTTER ON FASCIA
BOARD PER PLAN

VINYL VENTED SOFFIT

FRIEZE BOARD PER PLAN

(2) 2x6 TOP PLATE

WINDOW CROSSHEAD OR TRIM

WINDOW, INSTALL PER MANF. SPEC.

R-21 FIBERGLASS WALL INSULATION
OR WALL INSULATION PER
RES-CHECK w/ VAPOR BARRIER
HOUSEWRAP OVER 1/4" OSB
WOOD SHEATHING OVER 2x6
FRAMING # 16" O.C. (OR PER PLAN)

3/4" T & G FLOOR SHEATHING
GLUED & NAILED ON FLOOR
JOIST- INSTALL PER MANF. SPEC.
(OR PER PLAN)

RIMBOARD - INSTALL PER
MANF. SPEC. (OR PER PLAN)

(2) 2x6 TOP PLATE

PROVIDE FLASHING AROUND
WINDOWS AND DOORS

WATERTABLE / STONE SILL
3/4" T & G FLOOR SHEATHING
GLUED & NAILED ON FLOOR
JOIST- INSTALL PER MANF. SPEC.
(OR PER PLAN)

R-19 (MIN) INSULATION w/ VAPOR
BARRIER AT BAND BOARD

(2) 2x6 PRESSURE TREATED SILL
PLATES w/ STD. 8" CEILING
(1) 2x6 PRESSURE TREATED PLATE
w/ OPT. 9" CEILING w/ SEAL AND
ANCHORS AS PER CODE.

PROVIDE WEEP SCREED /
FLASHING WHERE REQUIRED

PROVIDE CODE APPROVED
BACKFILL MATERIALS AND SLOPE
GRADE AWAY FROM BUILDING MIN.
6" IN 10'-0" (ALL SIDES)

IN LIEU OF GEOTECH REPT, ASSUME
60 PCF WALL DESIGN PER TABLE
R404(12)(8) FOR VERTICAL REIN:
8" x 8'-0" CONC. WALL w/ MAX. 1"
BACKFILL #4@3' O.C. OR #4@2' O.C.
8" x 9'-0" CONC. WALL w/ MAX. 8"
BACKFILL #4@3' O.C. OR #5@2' O.C.
HORIZ. REIN: (1) #4 BAR WITHIN 12"
FROM TOP OF WALL & (1) #4 BAR
NEAR THIRD POINTS IN WALL.

BUTYNOUS WATERPROOFING FROM
TOP OF FOOTING TO GRADE
4" CONCRETE SLAB ON 6 MIL.
VAPOR BARRIER ON 4"
POURIOUS FILL

FOIL FACED R-11 INSUL.
(IN UNFINISHED SPACE)
STD. R-13 IN CAVITIES
(FINISHED SPACE)

16" x 8" CONTINUOUS CONCRETE
FOOTING # 8" WIDE WALL w/ (2) #4
BARS 3" FROM BOTTOM.
PROVIDE FROST FIG. # WALK-OUT
AS REQD. BY CODE

4" PERFORATED EXTERIOR DRAIN
TILE w/ FILTER PAPER OVER IN
GRAVEL AS REQD. BY CODE w/
BLEEDERS THRU FIG. TO INTERIOR
DRAIN TILE TO SUMP, SIZE AND
SPACING AS REQD. BY CODE.

FIBER EXPANSION JOINT

BASEMENT WALL SECTION

SCALE (17x11): 3/8" = 1'-0" SCALE (36x24): 3/4" = 1'-0"
(SYNTHETIC STONE VENEER BASE w/ SIDING ABOVE)

5/5/2022

FIBERGLASS SHINGLES ON
1/2" ROOF FELT ON 1/4" OSB
ROOF SHEATHING w/ H-CLIPS

T.P.I. APPROVED WOOD ROOF
TRUSSES # 24" O.C. BRACED
AND INSTALLED ACCORDING
TO MANUF. SPECIFICATIONS.

R-38 BLOWN OR BATT
INSULATION w/ Baffle. EXTEND
OVER DOUBLE TOP PLATE TO
OUTSIDE EDGE OF WALL.

HURRICANE CLIPS
EACH END OF TRUSS
OR PER LOCAL CODE

ICE BARRIER UNDERLAYMENT
FROM EAVE EDGE TO 24"
BACK FROM INSIDE FACE OF
EXTERIOR WALL.

MIN. 2-1/4" METAL DRIP EDGE

ALUM. GUTTER ON FASCIA
BOARD PER PLAN

VINYL VENTED SOFFIT

FRIEZE BOARD PER PLAN

(2) 2x6 TOP PLATE

WINDOW CROSSHEAD OR TRIM

WINDOW, INSTALL PER MANF. SPEC.

R-21 FIBERGLASS WALL INSULATION
OR WALL INSULATION PER
RES-CHECK w/ VAPOR BARRIER
HOUSEWRAP OVER 1/4" OSB
WOOD SHEATHING OVER 2x6
FRAMING # 16" O.C. (OR PER PLAN)

3/4" T & G FLOOR SHEATHING
GLUED & NAILED ON FLOOR
JOIST- INSTALL PER MANF. SPEC.
(OR PER PLAN)

RIMBOARD - INSTALL PER
MANF. SPEC. (OR PER PLAN)

(2) 2x6 TOP PLATE

PROVIDE FLASHING AROUND
WINDOWS AND DOORS

HORIZONTAL SIDING
3/4" T & G FLOOR SHEATHING
GLUED & NAILED ON FLOOR
JOIST- INSTALL PER MANF. SPEC.
(OR PER PLAN)

R-19 (MIN) INSULATION w/ VAPOR
BARRIER AT BAND BOARD

(2) 2x6 PRESSURE TREATED SILL
PLATES w/ STD. 8" CEILING
(1) 2x6 PRESSURE TREATED PLATE
w/ OPT. 9" CEILING w/ SEAL AND
ANCHORS AS PER CODE.

METAL FLASHING
PROVIDE CODE APPROVED
BACKFILL MATERIALS AND SLOPE
GRADE AWAY FROM BUILDING MIN.
6" IN 10'-0" (ALL SIDES)

IN LIEU OF GEOTECH REPT, ASSUME
60 PCF WALL DESIGN PER TABLE
R404(12)(8) FOR VERTICAL REIN:
8" x 8'-0" CONC. WALL w/ MAX. 1"
BACKFILL #4@3' O.C. OR #4@2' O.C.
8" x 9'-0" CONC. WALL w/ MAX. 8"
BACKFILL #4@3' O.C. OR #5@2' O.C.
HORIZ. REIN: (1) #4 BAR WITHIN 12"
FROM TOP OF WALL & (1) #4 BAR
NEAR THIRD POINTS IN WALL.

BUTYNOUS WATERPROOFING FROM
TOP OF FOOTING TO GRADE
4" CONCRETE SLAB ON 6 MIL.
VAPOR BARRIER ON 4"
POURIOUS FILL

FOIL FACED R-11 INSUL.
(IN UNFINISHED SPACE)
STD. R-13 IN CAVITIES
(FINISHED SPACE)

16" x 8" CONTINUOUS CONCRETE
FOOTING # 8" WIDE WALL w/ (2) #4
BARS 3" FROM BOTTOM.
PROVIDE FROST FIG. # WALK-OUT
AS REQD. BY CODE

4" PERFORATED EXTERIOR DRAIN
TILE w/ FILTER PAPER OVER IN
GRAVEL AS REQD. BY CODE w/
BLEEDERS THRU FIG. TO INTERIOR
DRAIN TILE TO SUMP, SIZE AND
SPACING AS REQD. BY CODE.

FIBER EXPANSION JOINT

BASEMENT WALL SECTION

SCALE (17x11): 3/8" = 1'-0" SCALE (36x24): 3/4" = 1'-0"
(FULL SIDING)

5/5/2022

REVIEWED

By Laura DiPasquale at 9:42 am, Jan 14, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Kam Oulit

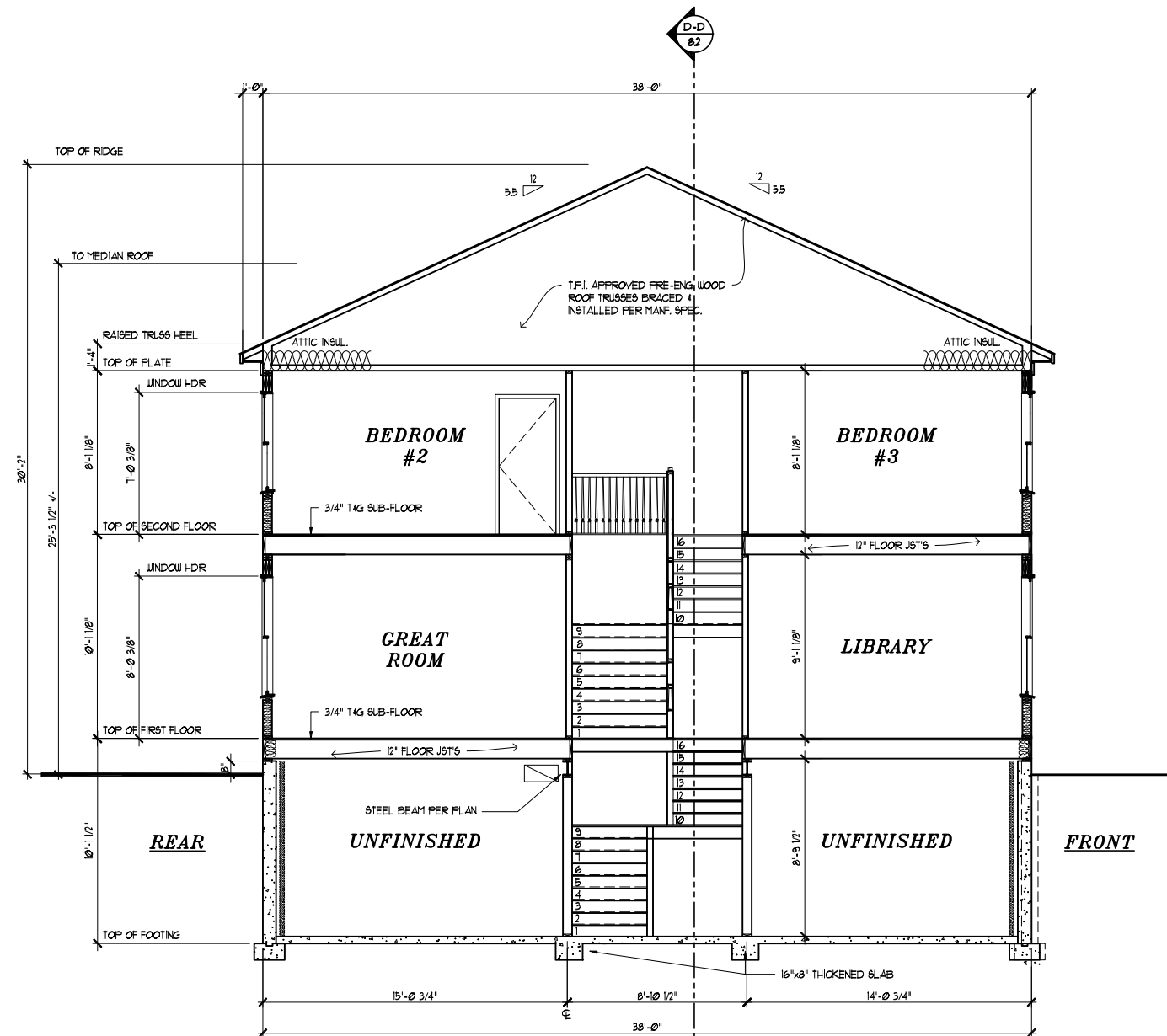
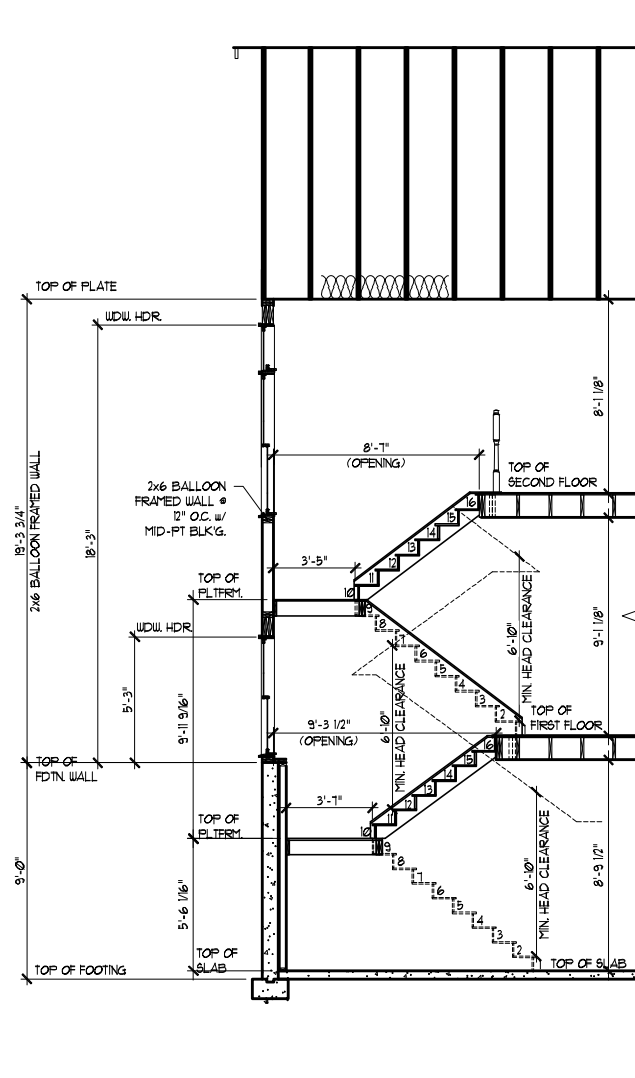
Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
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WALL SECTION
scale: 1" = 4' (34x22) file: 10/13/18
drawn: SLF date: 10/13/18
U.N.O. 1" = 8' (17x11) 8.04
JAIME & DANILZA GARCIA
GARCIA RESIDENCE
title

by
date
revision

SHEET #
A701

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expiration date 04-09-2028



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By Laura DiPasquale at 9:42 am, Jan 14, 2025

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Historic Preservation Commission

Karen Benoit

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SHEET #

A801

date _____ revision _____ by _____

SECTION A-A

scale: 1" = 4' (34x22) file: _____
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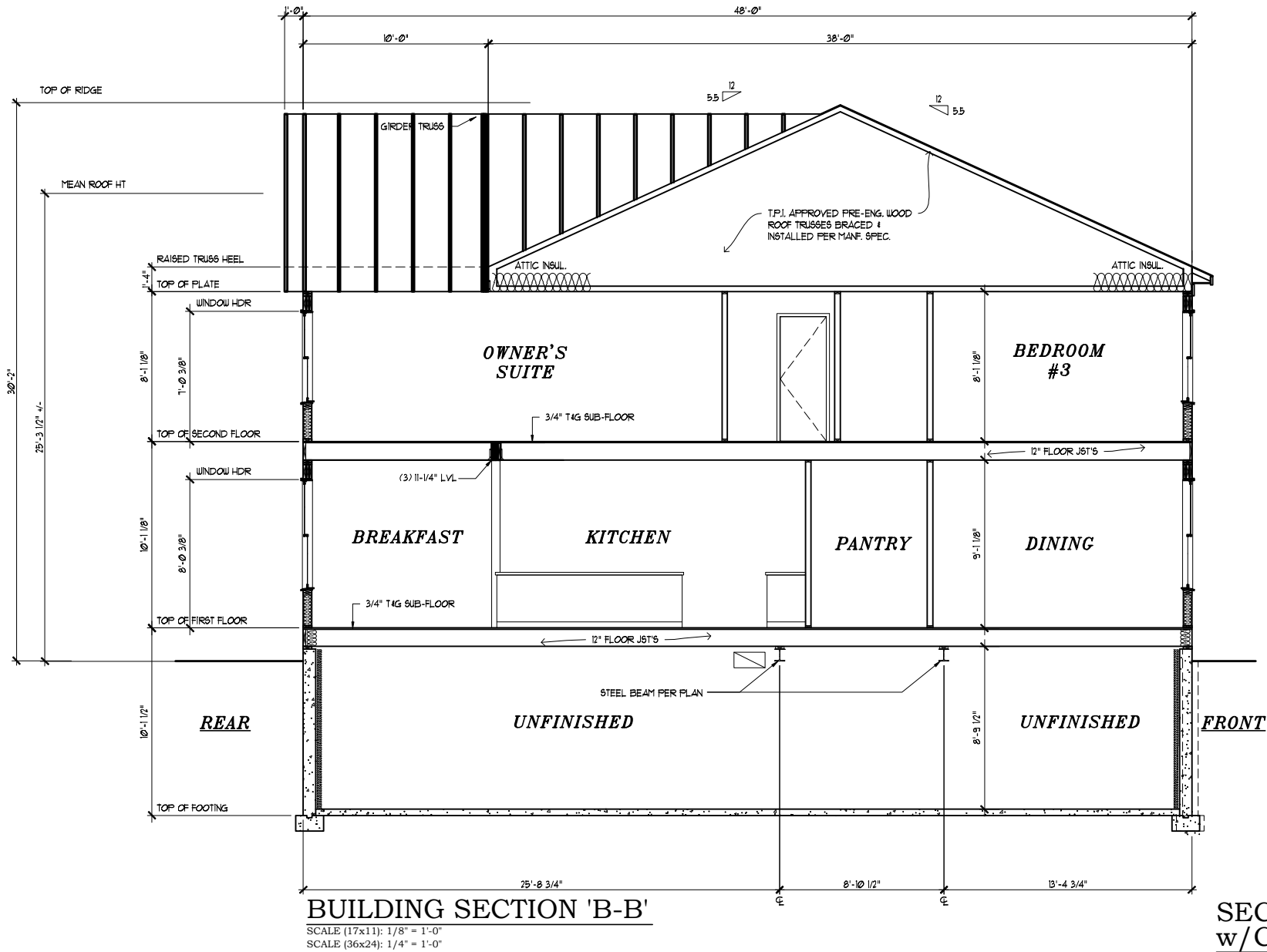
drawn: SLP date: 10/13/18

JAIMÉ & DANILZA GARCIA

GARCIA RESIDENCE

title _____

content _____



SECTION THRU FOYER
w/COVERED PORCH
ELEVATIONS #2 & 3
SCALE (36x24): 1/4" = 1'-0"

REVIEWED
By Laura DiPasquale at 9:42 am, Jan 14, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bulleit

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SHEET #
A802

SECTION B-B
content
scale: 1"=4' (34x22) file: U.N.O. 1"=8' (17x11) 8.2
date: 10/13/18
drawn: SLF
date: 10/13/18
JAIME & DANILZA GARCIA
GARCIA RESIDENCE
title

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12/2/2024 9:51:40 AM, Architecture Collaborative, Inc.

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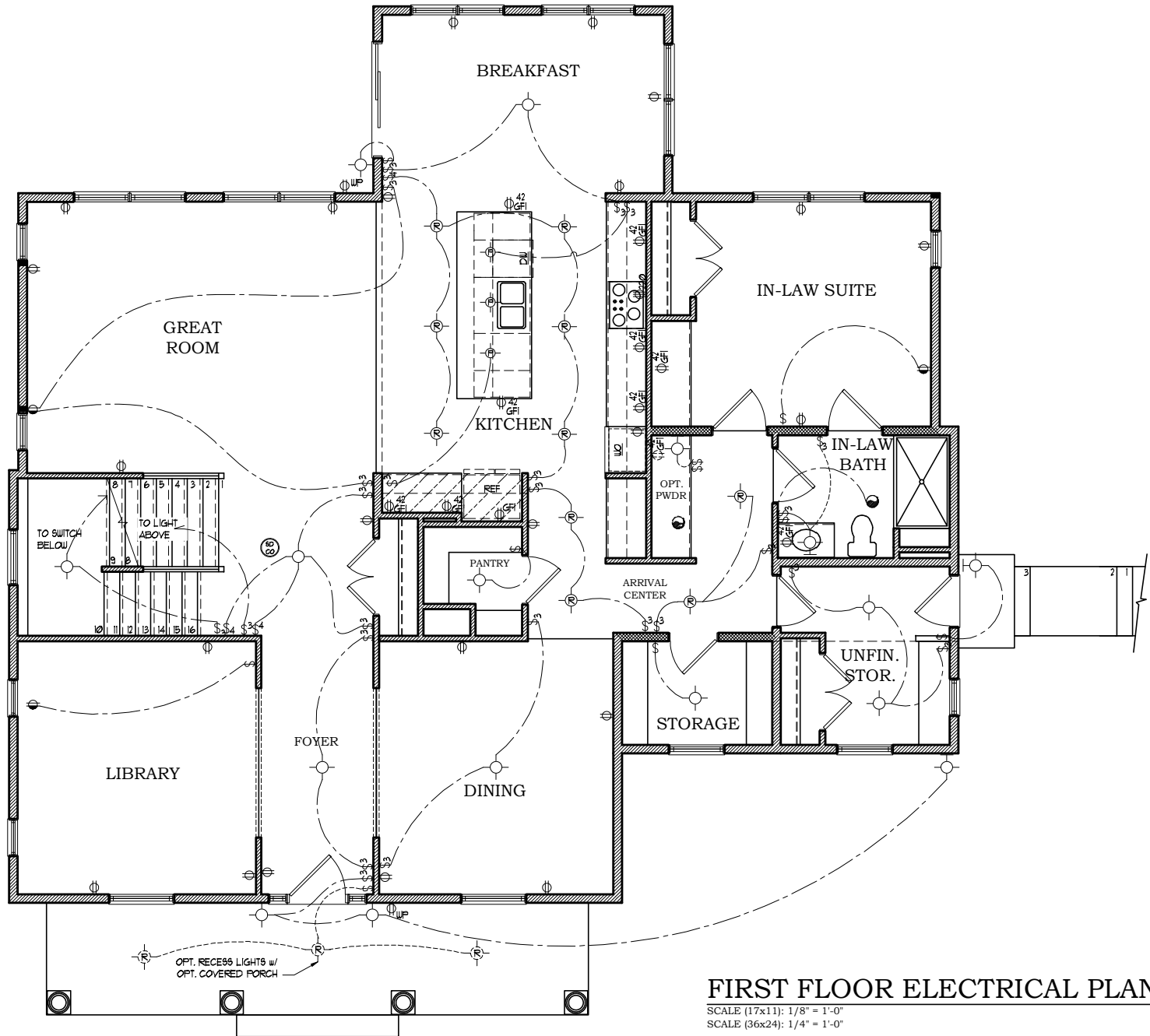
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FIRST FLOOR ELECTRICAL PLAN

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"

PROVIDE SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS AS REQUIRED BY LOCAL CODE, WIRED TO A NEARBY CIRCUIT (WITH BATTERY BACKUP) AND INTER-CONNECTED FOR SIMULTANEOUS ACTIVATION.

THESE DRAWINGS ARE SCHEMATIC ONLY. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS. ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE CODES. FIXTURES AND APPARATUS ARE SELECTED BY THE BUILDER AND SHALL BE UL APPROVED.

ELECTRICAL SYMBOLS

- Φ DUPLEX OUTLET 18" AFF.
- Φ DUPLEX OUTLET 42" AFF.
- Φ 220 220 VOLT DUPLEX OUTLET
- Φ WP WATERPROOF RECEPTACLE
- Φ GFI GROUND FAULT INTERRUPTER
- Φ 42 GFI GROUND FAULT INTERRUPTER 42" AFF.
- \$ WALL SWITCH
- \$ 3 3-WAY WALL SWITCH
- \$ 4 4-WAY WALL SWITCH
- \$ D DIMMER WALL SWITCH
- EXHAUST FAN
- FL FAN/LIGHT COMBO
- LIGHT FIXTURE CEILING MOUNTED
- LIGHT FIXTURE RECESSED LIGHT
- PC FIXTURE FULL CHAIN FLUORESCENT LIGHT FIXTURE
- ▽ FLOOD LIGHTS
- LIGHT FIXTURE WALL MOUNTED
- ⊕ THERMOSTAT
- ⊕ JUNCTION BOX
- CHIME DOOR CHIME
- TELEPHONE JACK
- TELEVISION JACK
- GARBAGE DISPOSAL
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- COMBINATION SMOKE + CARBON DETECTOR
- EP ELECTRIC PANEL
- EM ELECTRIC METER
- I INTERCOM
- IC INTERCOM CONSOLE

REVIEWED

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Historic Preservation Commission

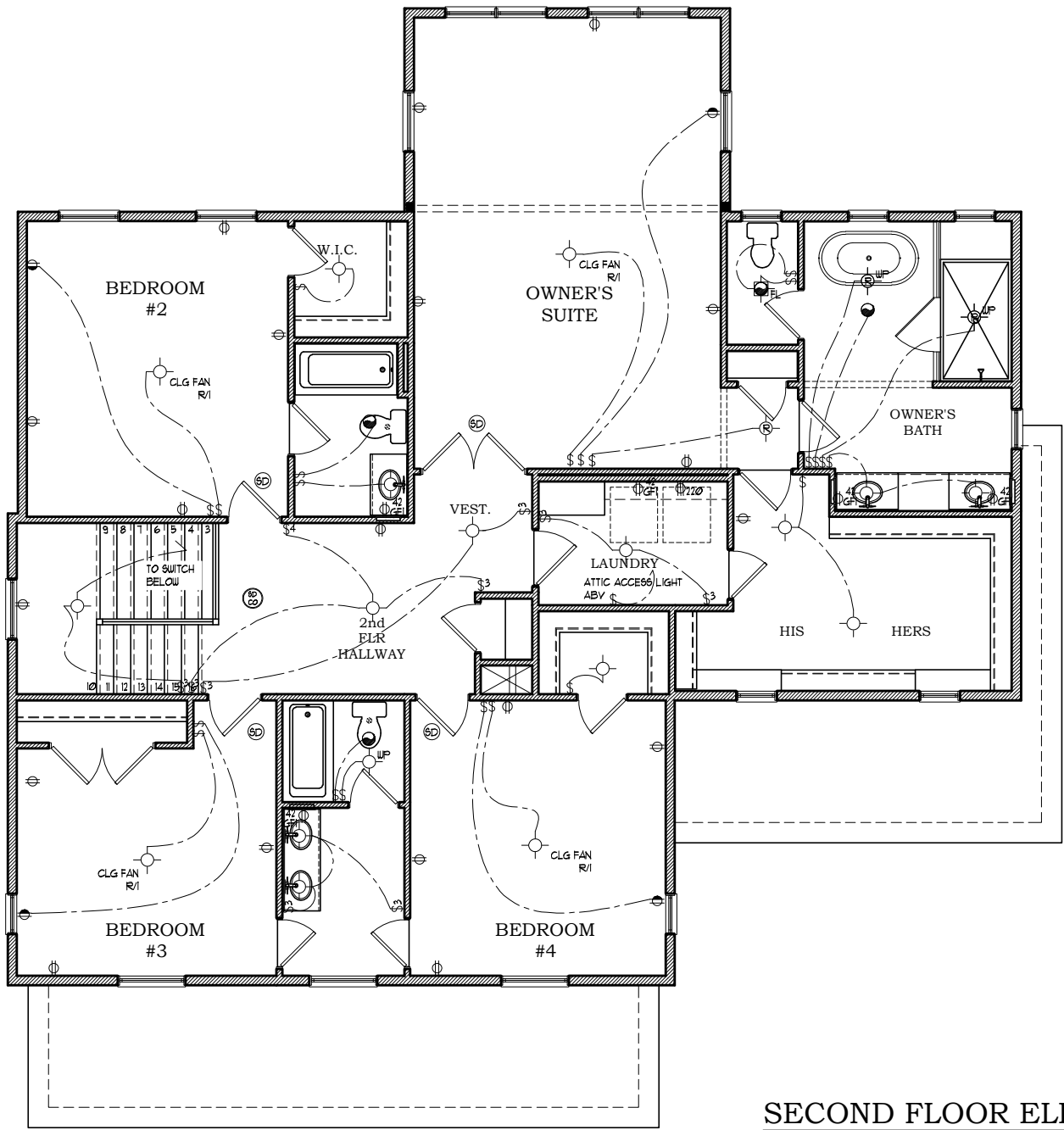
Karen Quint

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content ELECTRICAL_1ST
scale: 1"=4' (34x22) file: U.N.O. 1"=8' (17x11) E1.1
date: 10/13/18
drawn: SLF
title: JAIME & DANILZA GARCIA
GARCIA RESIDENCE

date	revision	by

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E101
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SECOND FLOOR ELECTRICAL PLAN

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"

PROVIDE SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS AS REQUIRED BY LOCAL CODE, WIRED TO A NEARBY CIRCUIT (WITH BATTERY BACKUP) AND INTER-CONNECTED FOR SIMULTANEOUS ACTIVATION.

THESE DRAWINGS ARE SCHEMATIC ONLY. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS. ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE CODES. FIXTURES AND APPARATUS ARE SELECTED BY THE BUILDER AND SHALL BE UL APPROVED.

ELECTRICAL SYMBOLS

- ⊕ DUPLEX OUTLET 18" AFF.
- ⊕ DUPLEX OUTLET 42" AFF.
- ⊕ 220 220 VOLT DUPLEX OUTLET
- ⊕ WP WATERPROOF RECEPTACLE
- ⊕ GFI GROUND FAULT INTERRUPTER
- ⊕ 42 GFI GROUND FAULT INTERRUPTER 42" AFF.
- \$ WALL SWITCH
- \$ 3 3-WAY WALL SWITCH
- \$ 4 4-WAY WALL SWITCH
- \$ D DIMMER WALL SWITCH
- ⊕ EXHAUST FAN
- ⊕ FL FAN/LIGHT COMBO
- ⊕ LIGHT FIXTURE CEILING MOUNTED
- ⊕ RECESSED LIGHT
- ⊕ PC FIXTURE FULL CHAIN
- ⊕ FLOODESCENT LIGHT FIXTURE
- ⊕ FLOOD LIGHTS
- ⊕ LIGHT FIXTURE WALL MOUNTED
- ⊕ THERMOSTAT
- ⊕ JUNCTION BOX
- ⊕ CHIME DOOR CHIME
- ⊕ TELEPHONE JACK
- ⊕ TELEVISION JACK
- ⊕ GARBAGE DISPOSAL
- ⊕ SMOKE DETECTOR
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ COMBINATION SMOKE-CARBON DETECTOR
- ⊕ EP ELECTRIC PANEL
- ⊕ EM ELECTRIC METER
- ⊕ I INTERCOM
- ⊕ IC INTERCOM CONSOLE

REVIEWED

By Laura DiPasquale at 9:42 am, Jan 14, 2025

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Historic Preservation Commission

Karen Bulleit

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content: ELECTRICAL_2ND
scale: 1"=4' (34x22) file: U.N.O. 1"=8' (17x11)
date: 10/13/18
drawn: SLF
E2.1

JAIME & DANILZA GARCIA
GARCIA RESIDENCE

by:

date	revision

SHEET #
E201

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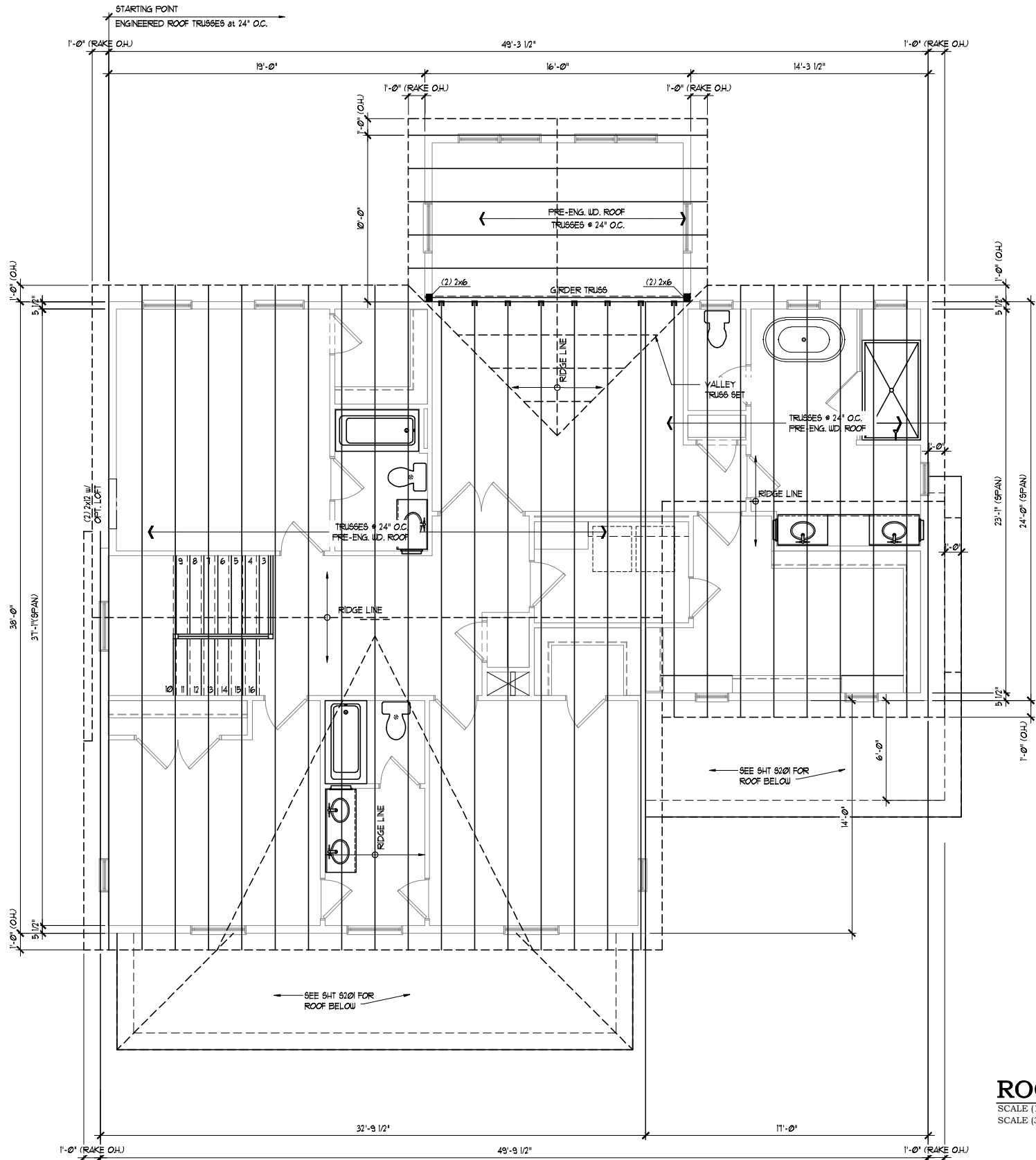
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												FRAMING_1ST	
												scale: 1" = 4' (34x22) file: U.N.O. 1" = 8' (17x11) S1.1	
												drawn: SLP date: 10/13/18	
												JAIME & DANILZA GARCIA	
												title GARCIA RESIDENCE	

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ROOF FRAMING PLAN
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

REVIEWED
By Laura DiPasquale at 9:42 am, Jan 14, 2025

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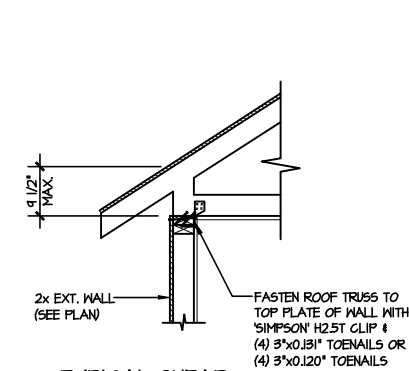
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license number **5621**
expiration date **04-09-2028**

SHEET #
S301

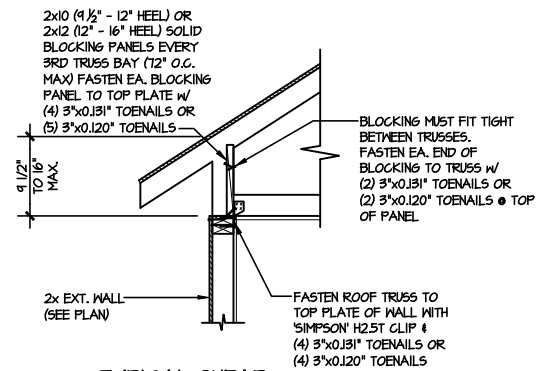
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date: 10/13/18
drawn: SLF
title **JAIME & DANILZA GARCIA GARCIA RESIDENCE**

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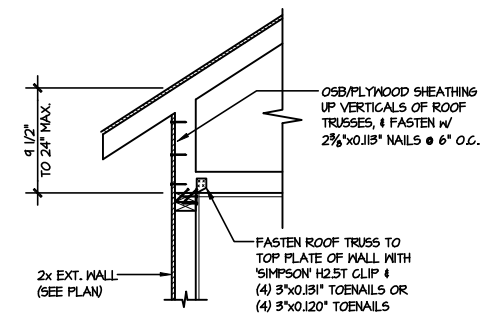
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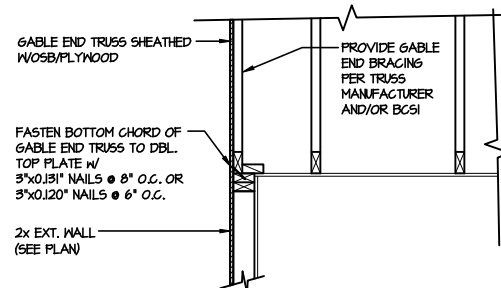
Typical Shear Transfer Detail @ Roof
 SCALE: 3/4"=1'-0"
 HEEL HEIGHT LESS THAN 4 1/2"
 NO BLOCKING REQ'D



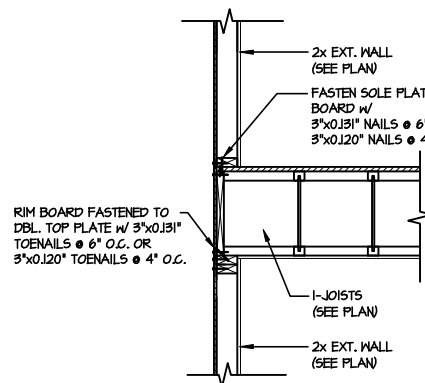
Typical Shear Transfer Detail @ Roof
 SCALE: 3/4"=1'-0"
 HEEL HEIGHT BETWEEN 4 1/2" - 16"
 BLOCKING REQ'D



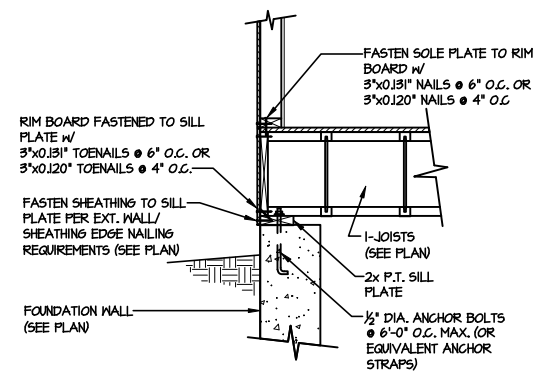
Typical Shear Transfer Detail @ Raised Heel Truss
 SCALE: 3/4"=1'-0"
 HEEL HEIGHT UP TO 24" MAX.



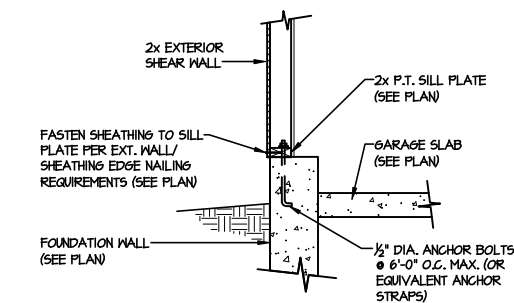
Typical Gable End Detail
 SCALE: 3/4"=1'-0"



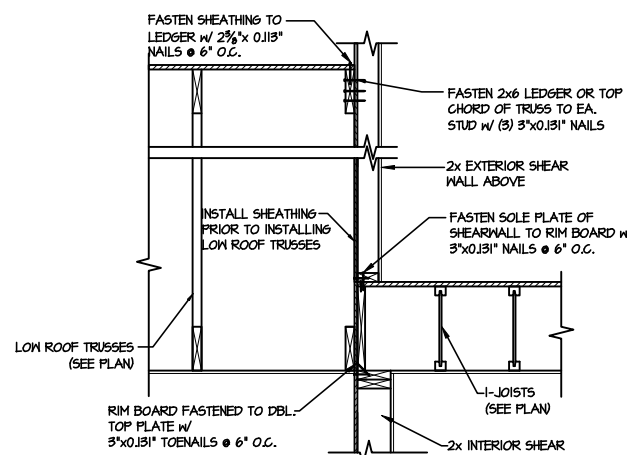
Typical Shear Transfer Detail Between Floors @ Exterior Wall
 SCALE: 3/4"=1'-0"



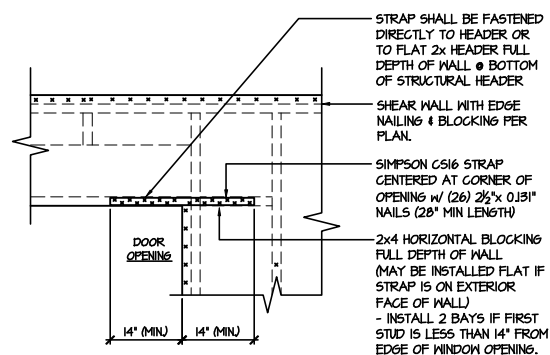
Typical Shear Transfer Detail @ Exterior Basement Wall
 SCALE: 3/4"=1'-0"



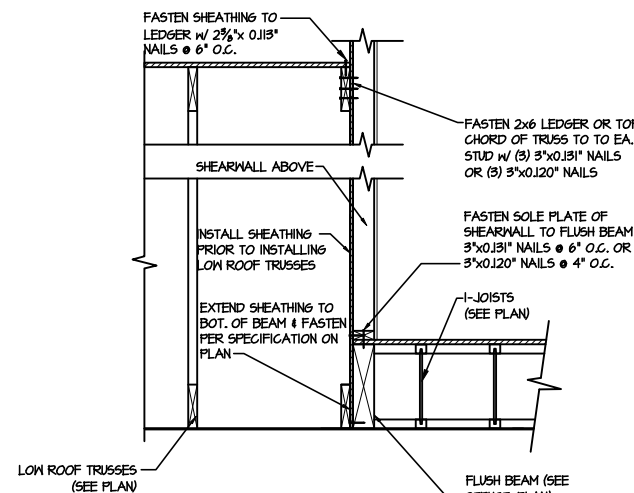
Typical Shear Transfer Detail @ Exterior Garage Wall
 SCALE: 3/4"=1'-0"



Typical Shear Transfer Detail Between Floors @ Interior Wall
 SCALE: 3/4"=1'-0"



Typical Ext. Wall & Int. Shearwall Opening Elevation
 SCALE: NTS



Shear Transfer Detail @ Exterior Shearwall Above
 SCALE: 3/4"=1'-0"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:
115 MPH WIND IN 2018 IRC MAP
 (115 MPH WIND SPEED IN ASCE 7-16 WIND MAP, PER IRC R301.2.1.1)
 EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2018 IRC (SECTION 1604) & ASCE 7-16, AS PERMITTED BY R301.1.3 OF THE 2018 IRC, OR THE SIMPLIFIED PREScriptive PROCEDURE IN ACCORDANCE WITH THE 2018 IRC IF THE PARAMETERS OF SECTION R602.12 COMPLY. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:
 FASTEN SHEATHING W/ 2 1/2" x 0.131" NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN PANEL FIELD. (TYP. U.N.O.)
- HORIZONTAL BLOCKING OF EXT. WALL/SHEAR WALL PANEL EDGES IS NOT REQUIRED BY THIS DESIGN EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W/ 2 1/2" x 0.131" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

- INDICATES EXTENT OF INT. OSB SHEARWALL, BLOCKED PANEL EDGES, AND/OR 3" O.C. EDGE NAILING
- INDICATES HOLDOWN

REVIEWED

By Laura DiPasquale at 9:42 am, Jan 14, 2025

APPROVED

Montgomery County
 Historic Preservation Commission

Karen Boudie

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG. ELEMENT	3"x0.131" NAILS	3"x0.120" NAILS
JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*
SOLE PLATE TO JOIST/BL'G.	(3) NAILS @ 4" o.c.	(3) NAILS @ 4" o.c.
STUD TO SOLE PLATE	(2) TOENAILS	(3) TOENAILS*
TOP OR SOLE PLATE TO STUD	(2) NAILS	(3) NAILS
RIM TO TOP PLATE	TOENAILS @ 8" o.c.	TOENAILS @ 6" o.c.*
BL'G. BTWN. JOISTS TO TOP PL.	(3) TOENAILS	(3) TOENAILS*
DOUBLE STUD	NAILS @ 24" o.c.	NAILS @ 16" o.c.
DOUBLE TOP PLATE	NAILS @ 24" o.c.	NAILS @ 16" o.c.
DOUBLE TOP PLATE LAP SPLICE	(4) NAILS IN LAPPED AREA	(4) NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2) NAILS	(2) NAILS

* 2 1/2"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE * ARE SHOWN)

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 RESIDENTIAL STRUCTURAL ENGINEERING
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 P 215-946-8001 • mulhern+kulp.com

NGK project number:

093-24013

project mgr:

JTR

drawn by:

TEW

issue date: 10-24-24

REVISIONS:

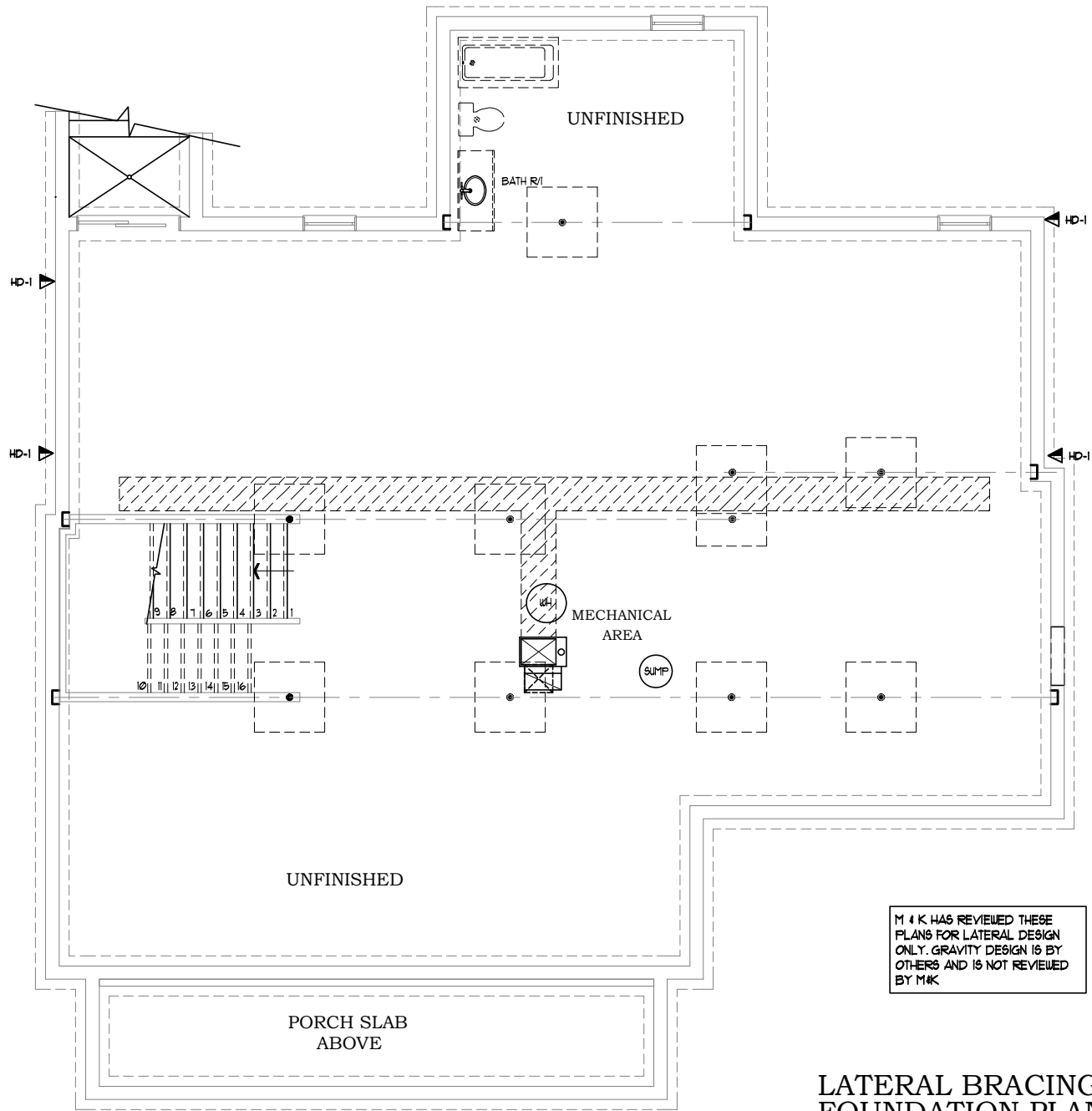
date: initial:

ARCHITECTURE
 COLLABORATIVE, INC.

SHEAR TRANSFER DTLS
 GARCIA RESIDENCE
 MONTGOMERY CO., MD

sheet:

S401



M & K HAS REVIEWED THESE
PLANS FOR LATERAL DESIGN
ONLY. GRAVITY DESIGN IS BY
OTHERS AND IS NOT REVIEWED
BY M&K

LATERAL BRACING FOUNDATION PLAN

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"

REVIEWED
By Laura DiPasquale at 9:42 am, Jan 14, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Benoit

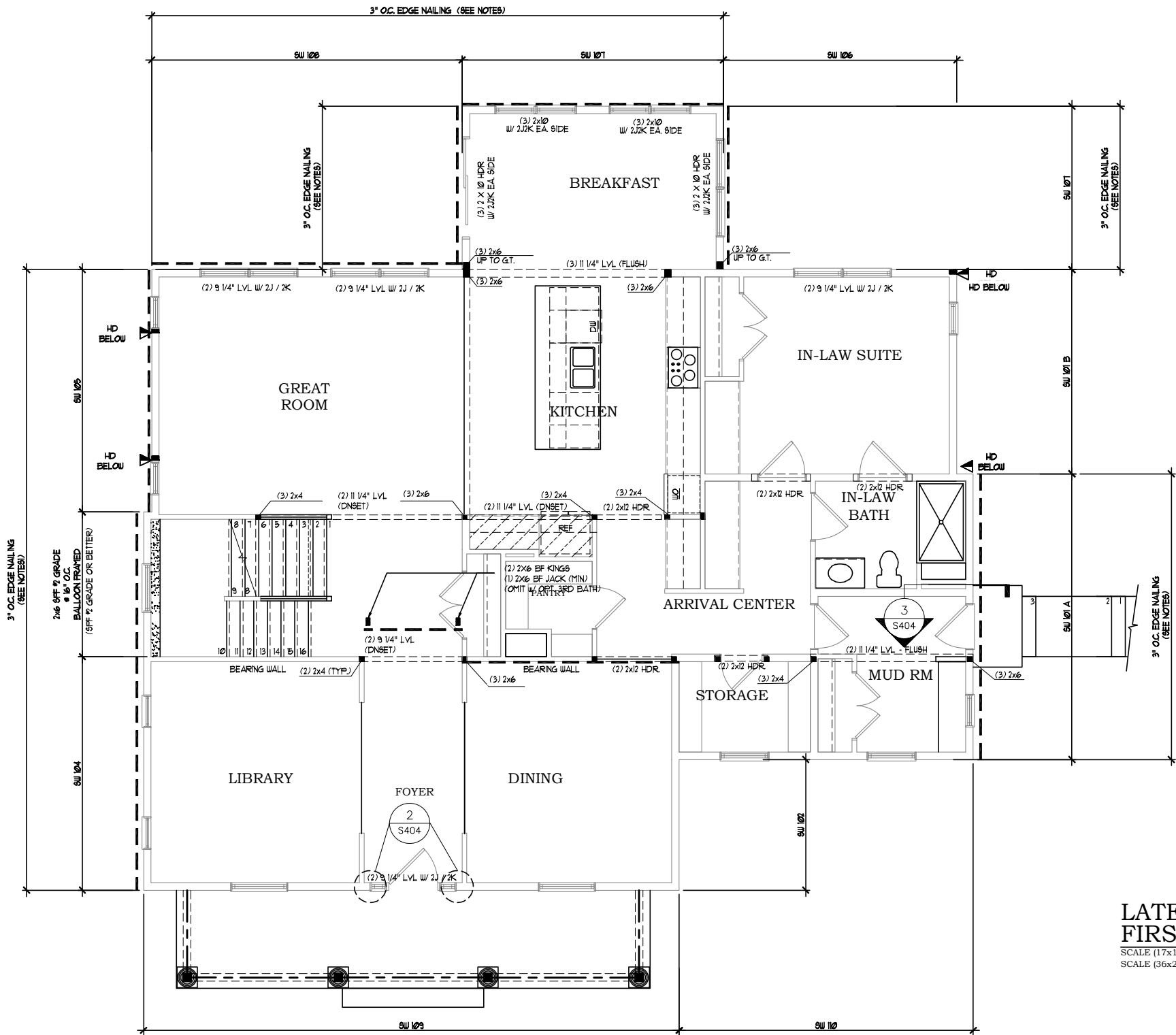
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license number **5621**
expiration date **04-09-2028**

SHEET #
S402

date
revision
by

content
LATERAL FOUND
scale: 1"=4' (34x22) file: **LB-3**
U.N.O. 1"=8' (17x11)
drawn: **SLF**
date: **10/13/18**
title
JAIME & DANILZA GARCIA
GARCIA RESIDENCE

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Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903



LATERAL BRACING
FIRST FLOOR PLAN

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"

M & K HAS REVIEWED THESE
PLANS FOR LATERAL DESIGN
ONLY. GRAVITY DESIGN IS BY
OTHERS AND IS NOT REVIEWED
BY M&K

SEE S401 & S402 FOR LATERAL
BRACING NOTES

REVIEWED
By Laura DiPasquale at 9:42 am, Jan 14, 2025

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Historic Preservation Commission

Karen Benoit

Professional Certification

I hereby certify that these documents were prepared or approved by me, and I am a duly licensed Professional Architect under the laws of the State of Maryland.

license number 5621

expiration date 04-09-2028

SHEET #

S403

content

LATERAL_1ST

scale: 1"=4' (34x22) file: 10/13/18

U.N.O. 1"=8' (17x11) LB-4

drawn: SLF

date: 10/13/18

by

revision

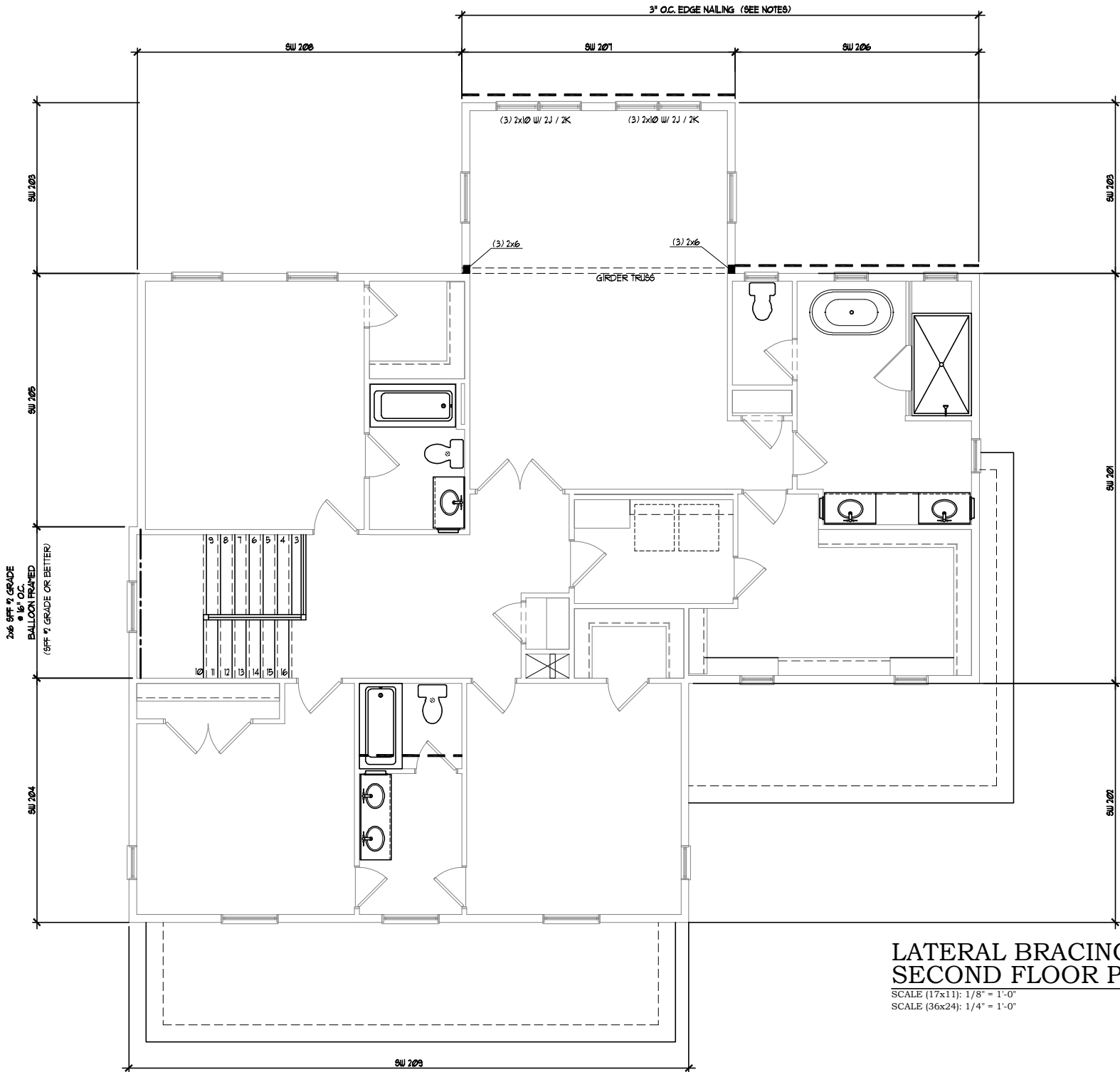
date

JAIME & DANILZA GARCIA

GARCIA RESIDENCE

title

Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903



LATERAL BRACING
SECOND FLOOR PLAN

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"

M & K HAS REVIEWED THESE
PLANS FOR LATERAL DESIGN
ONLY. GRAVITY DESIGN IS BY
OTHERS AND IS NOT REVIEWED
BY M&K

SEE S401 & S402 FOR LATERAL
BRACING NOTES

REVIEWED
By Laura DiPasquale at 9:42 am, Jan 14, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Karen Benoit

Professional Certification

I hereby certify that these documents were prepared or approved by me, and I am a duly licensed Professional Architect of the State of Maryland.

license number **5621**

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SHEET #

S404

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Architecture Collaborative, Inc.
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Ellicott City, MD 21043
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content: **LATERAL_2ND**

scale: 1"=4' (34x22) file: **U.N.O. 1"=8' (17x11) LB-5**

drawn: **SLF**

date: **10/13/18**

title: **JAIME & DANILZA GARCIA
GARCIA RESIDENCE**

SIGNIFICANT / SPECIMEN TREE TABLE							
TREE NUMBER	BOTANICAL NAME	COMMON NAME	SIZE (D.B.H.)	TREE CONDITION	COMMENTS	%OF CRZ IMPACTED	STATUS
ST-1	<i>Ailanthus altissima</i>	Tree of Heaven	15.0" & 15.0" (Estimate)	Moderate		0%	To Remain
ST-2*	<i>Ilex opaca</i>	American Holly	30,1"	Moderate	Overhead utilities through canopy, off-site, adventitious limbs	0%	To Remain
ST-3	<i>Pinus strobus</i>	White Pine	16,7"	Moderate	Lower broken & pruned limbs, low dead limbs	0%	To Remain
ST-4	<i>Ailanthus altissima</i>	Tree of Heaven	18,1"	Moderate-Poor	Off-site	0%	To Remain
ST-5	<i>Acer rubrum</i>	Red Maple	8,1"	Good-Moderate	Rope holding up fence, co-dominant leaders	0%	To Remain
ST-6	<i>Acer rubrum</i>	Red Maple	6,7"	Good-Moderate	Co-dominant leaders	0%	To Remain
ST-7	<i>Pinus strobus</i>	White Pine	16,1"	Moderate	Phototopic lean	0%	To Remain
ST-8	<i>Carya glabra</i>	Pignut Hickory	18,0" (Estimate)	Moderate	Off-site, broken dead limbs, galls on trunk	0%	To Remain
ST-9	<i>Picea rubens</i>	Red Spruce	10,0" (Estimate)	Good	Off-site	0%	To Remain
ST-10	<i>Acer rubrum</i>	Red Maple	15,0"	0,0 AC	Multi-stem, multiple vine species climbing trunk	0%	To Remain
ST-11	<i>Juglans nigra</i>	Black Walnut	6,5"	Moderate	Broken limbs	0%	To Remain
ST-12	<i>Prunus serotina</i>	Black Cherry	8,0" & 4,0"	Moderate	Off-site, not located, broken limbs	0%	To Remain
ST-13	<i>Prunus serotina</i>	Black Cherry	8,0" (Estimate) & 3,0"	Moderate	Off-site, not located, phototropic lean	0%	To Remain
ST-14	<i>Ailanthus altissima</i>	Tree of Heaven	24,0" (Estimate)	Moderate	Multiple vine species climbing trunk, adventitious limbs, broken dead limbs with decay, phototropic lean, co-dominant leaders	20%	To Remain
ST-15*	<i>Ailanthus altissima</i>	Tree of Heaven	36,0" (Estimate)	Poor	Off-site, not located, vine species climbing trunk, co-dominant leaders, broken dead limbs with decay, broken leaders	25%	To Remain
ST-16	<i>Ailanthus altissima</i>	Tree of Heaven	7,0"	Moderate-Poor	Phototropic lean, hanger, broken dead limbs & leader with decay	0%	To Remain
ST-17	<i>Ailanthus altissima</i>	Tree of Heaven	20,7"	Poor	Lost scaffold limb, sap sucker damage, broken dead limbs with decay & leaders	25%	To Remain
ST-18	<i>Ailanthus altissima</i>	Tree of Heaven	26,6"	Poor	Possible basal rot, oozing sap, leaders have grown together, included wood, adventitious limbs, broken dead limbs & leader with decay	35%	To Remain
ST-19	<i>Ailanthus altissima</i>	Tree of Heaven	24,0" (Estimate)	Moderate	With Poison Ivy, phototropic lean, adventitious limbs, unbalanced canopy, broken dead limbs with decay	92%	To Be Removed
ST-20	<i>Acer negundo</i>	Boxelder	7,8" & 8,8"	Moderate-Poor	Canker with decay, basal rot, adventitious limbs	100%	To Be Removed
ST-21	<i>Ulmus pumila</i>	Siberian Elm	12,9"	Moderate	Phototropic lean, multiple vine species climbing trunk, broken dead limbs with decay, enrolled wound, hanger	26%	To Remain
ST-22	<i>Acer rubrum</i>	Red Maple	14,0" (Estimate)	Moderate-Poor	Off-site, not located, phototropic lean, adventitious limbs, lost scaffold limb now column of decay	15%	To Remain
ST-23	<i>Prunus serotina</i>	Black Cherry	18,8"	Poor	Not located, phototropic lean, English Ivy climbing trunk, broken dead limbs with decay & leaders, partially failed limb	34%	To Remain
ST-24	<i>Acer negundo</i>	Boxelder	12,4"	Moderate	Not located, adventitious limbs, phototropic lean, co-dominant leaders, broken dead limbs with decay	19%	To Remain
ST-25	<i>Picea glauca</i>	White Spruce	8,0" (Estimate)	Moderate	Off-site, not located, sap sucker damage, phototropic lean	0%	To Remain
ST-26	<i>Acer rubrum</i>	Red Maple	9,2"	Poor	Basal rot, sap sucker damage, co-dominant leaders, adventitious limbs	0%	To Remain
ST-27	<i>Ulmus pumila</i>	Siberian Elm	14,1"	Poor	Off-site, not located, English Ivy climbing trunk, phototropic lean, wound oozing with decay, adventitious limbs, co-dominant leaders	0%	To Remain
ST-28	<i>Prunus serotina</i>	Black Cherry	9,0" (Estimate)	Poor	Not located, across from Gazebo, phototropic lean, broken dead limbs with decay	0%	To Remain
ST-29	<i>Robinia pseudacacia</i>	Black Locust	18,0"	Moderate-Poor	Off-site, not located, adventitious limbs, conks on leader, broken dead limbs, co-dominant leaders	1%	To Remain
ST-30	<i>Prunus serotina</i>	Black Cherry	8,0" (Estimate)	Moderate-Poor	Phototropic lean, adventitious limbs, co-dominant leaders	0%	To Remain
ST-31	<i>Ulmus pumila</i>	Siberian Elm	24,0" (Estimate) & 11,2"	Moderate-Poor	Shared tree, not located, broken dead limbs, sap rot, broken dead limbs with decay, co-dominant leaders	3%	To Remain
ST-32	<i>Ulmus americana</i>	American Sycamore	6,1"	Good	Pruned, adventitious limbs, co-dominant leaders	0%	To Remain
ST-33	<i>Prunus serotina</i>	Black Cherry	20,0" (Estimate)	Moderate-Poor	Off-site, not located, phototropic lean, multiple vine species in canopy, hangers, broken dead limbs with decay	0%	To Remain
ST-34	<i>Ulmus pumila</i>	Siberian Elm	18,8"	Moderate-Poor	Exposed wounded girdling roots, phototropic lean, cavity oozing fluid, was multi-stem, included wood, broken dead limbs with decay, adventitious limbs	0%	To Remain
ST-35	<i>Ailanthus altissima</i>	Tree of Heaven	24,0" (Estimate)	Moderate-Poor	Broken dead scaffold limb, broken dead limbs with decay, vine species in canopy	0%	To Remain
ST-36	<i>Ulmus rubra</i>	Slippery Elm	6,0"	Moderate-Poor	Multi-stem, probable basal rot, broken dead limbs	0%	To Remain
ST-37	<i>Ailanthus altissima</i>	Tree of Heaven	13,0"	Moderate-Poor	Multiple vine species climbing trunk, broken dead limbs with decay, lost one of co-dominant leaders	0%	To Remain
ST-38	<i>Ulmus rubra</i>	Slippery Elm	7,4"	Moderate-Poor	Vine species climbing trunk, broken dead limbs with decay, co-dominant leaders	0%	To Remain
ST-39	<i>Ulmus rubra</i>	Slippery Elm	6,0"	Moderate-Poor	Phototropic lean, vine species climbing trunk, adventitious limbs, co-dominant leaders, broken leaders	0%	To Remain
ST-40	<i>Morus alba</i>	White Mulberry	8,3"	Moderate	Phototropic lean, broken dead limbs with decay, co-dominant leaders	0%	To Remain
ST-41	<i>Prunus serotina</i>	Black Cherry	6,3"	Moderate-Poor	Multiple vine species, climbing trunk, phototropic lean, broken dead limbs with decay	0%	To Remain
ST-42	<i>Morus alba</i>	White Mulberry	12,0"	Moderate-Poor	Was multi-stem, included wood, multiple vine species climbing trunk, tree was pruned, adventitious limbs, broken dead limbs with decay	0%	To Remain
ST-43	<i>Ulmus americana</i>	American Elm	12,3"	Poor	Phototropic lean, basal rot, multiple vine species, adventitious limbs, broken dead limbs with decay	0%	To Remain
ST-44	<i>Ulmus rubra</i>	Slippery Elm	7,7"	Poor	Multiple vine species climbing tree, adventitious limbs, phototropic lean, broken dead limbs	0%	To Remain
ST-45	<i>Robinia pseudocacia</i>	Black Locust	28,6"	Moderate	Multiple vine species climbing trunk, broken dead limbs, hangers, co-dominant leaders, adventitious limbs	0%	To Remain
ST-46	<i>Morus alba</i>	White Mulberry	6,7"	Moderate-Poor	Phototropic lean, broken dead limbs, co-dominant leaders, multiple vine species	0%	To Remain
ST-47	<i>Prunus serotina</i>	Black Cherry	14,0" (Estimate)	Moderate-Poor	Multiple vine species on trunk, broken dead limbs with decay, co-dominant leaders	0%	To Remain
ST-48	<i>Morus alba</i>	White Mulberry	8,6"	Moderate	Multiple vine species, adventitious limbs, leader topped	0%	To Remain

*SPECIMEN TREE

SIGNIFICANT / SPECIMEN TREE TABLE							
TREE NUMBER	BOTANICAL NAME	COMMON NAME	SIZE (D.B.H.)	TREE CONDITION	COMMENTS	% OF CRZ IMPACTED	STATUS
ST-49	<i>Ulmus rubra</i>	Slippery Elm	10,0" (Estimate)	Poor	Multiple vine species, tree has been pruned, adventitious limbs, broken dead limbs with decay	0%	To Remain
ST-50	<i>Prunus serotina</i>	Black Cherry	12,3" & 10,0" (Estimate)	Poor	Dead broken leader, dead broken limbs with decay, multiple vine species in canopy	0%	To Remain
ST-51	<i>Morus alba</i>	White Mulberry	17,7"	Moderate-Poor	Phototropic lean, multiple vine species climbing trunk, tree has been pruned, co-dominant leaders, broken dead limbs with decay	0%	To Remain
ST-52	<i>Ailanthus altissima</i>	Tree of Heaven	10,5"	Moderate-Poor	Possible basal rot, multiple vine species, phototropic lean, co-dominant leaders, broken dead limbs	0%	To Remain
ST-53	<i>Ailanthus altissima</i>	Tree of Heaven	11,3"	Moderate-Poor	Possible basal rot, galls on trunk, co-dominant leaders, broken dead limbs	0%	To Remain
ST-54	<i>Ailanthus altissima</i>	Tree of Heaven	11,9"	Moderate-Poor	Probable basal rot, vertical crack, broken dead limbs with decay, co-dominant leaders	0%	To Remain
ST-55	<i>Ailanthus altissima</i>	Tree of Heaven	18,1"	Poor	Wire fence in trunk, several enrolled wounds with decay on trunk, galls, response wood growth below branch union, co-dominant leaders, broken dead limbs with decay	0%	To Remain
ST-56	<i>Juglans nigra</i>	Black Walnut	17,3"	Moderate	Pruned, co-dominant leaders, hangers	0%	To Remain
ST-57	<i>Prunus serotina</i>	Black Cherry	22,2"	Poor	Lost scaffold limb, cavity with decay, dead broken limbs, adventitious limbs, multiple vine species, large wound with decay on upper trunk, lost leader, dead leader	0%	To Remain
ST-58	<i>Prunus serotina</i>	Black Cherry	17,0"	Poor	Probable basal rot, cavity with decay, multiple vine species climbing trunk, pruned, adventitious limbs, broken dead limbs with decay	0%	To Remain
ST-59	<i>Morus alba</i>	White Mulberry	15,4"	Moderate-Poor	Phototropic lean, 15% visible girdling roots, broken dead limbs with decay, co-dominant leaders, pruned, vine species in canopy	0%	To Remain
ST-60	<i>Ailanthus altissima</i>	Tree of Heaven	21,9"	Moderate	Basal rot, 15% visible girdling roots, vine species climbing trunk, co-dominant leaders		To Remain
ST-61	<i>Fraxinus americana</i>	White Ash	14,7"	Poor	Pruned, broken dead limbs with decay, vine species in canopy, large wound on fence side of trunk, co-dominant leaders	0%	To Remain
ST-62	<i>Prunus serotina</i>	Black Cherry	15,2"	Poor	Canker, basal rot, vine species climbing trunk, phototropic lean, lost scaffold limb, wound cavity with decay, broken dead limbs with decay, adventitious limbs, co-dominant leaders	0%	To Remain
ST-63	<i>Prunus serotina</i>	Black Cherry	19,5"	Moderate	Vine species on trunk, phototropic lean, broken dead limbs with decay, adventitious limbs, co-dominant leaders	0%	To Remain
ST-64	<i>Juglans nigra</i>	Black Walnut	18,6"	Moderate	Multiple vine species in canopy, broken dead limbs, co-dominant leaders	0%	To Remain
ST-65	<i>Prunus serotina</i>	Black Cherry	16,7"	Poor	Canker with decay, basal rot, multiple vine species in canopy, broken dead limbs with decay, co-dominant leaders	0%	To Remain
ST-66	<i>Prunus serotina</i>	Black Cherry	26,3"	Poor	Basal rot, phototropic lean, broken dead limbs with decay, multiple dead vine species in canopy, dead leader	0%	To Remain
ST-67	<i>Ulmus americana</i>	American Elm	8,0" (Estimate)	Moderate	Off-site, not located, covered in vine species, co-dominant leaders, broken dead limbs with decay	0%	To Remain
ST-68	<i>Fraxinus americana</i>	White Ash	14,0" (Estimate)	Moderate-Poor	Off-site, not located, broken dead limbs with decay, hangers, adventitious limbs, multiple partially failed limbs	0%	To Remain
ST-69	<i>Juglans nigra</i>	Black Walnut	12,0" (Estimate)	Moderate	Off-site, not located, broken dead limbs with decay, co-dominant leaders	0%	To Remain
ST-70	<i>Acer negundo</i>	Boxelder	14,0" & 12,0" (Estimate)	Moderate	Multi-stem, off-site, not located, broken dead limbs with decay, co-dominant leaders	0%	To Remain
ST-71	<i>Juglans nigra</i>	Black Walnut	10,7"	Moderate	Not located, broken dead limbs with decay, co-dominant leaders	0%	To Remain
ST-72	<i>Quercus coccinea</i>	Scarlet Oak	11,2"	Moderate	Broken dead limbs with decay, adventitious limbs, co-dominant leaders	0%	To Remain
ST-73	<i>Ailanthus altissima</i>	Tree of Heaven	8,0"	Good	Broken dead limbs, co-dominant leader	0%	To Remain
ST-74	<i>Juniperus virginiana</i>	Eastern Red Cedar	10,8"	Moderate	Tree pruned, dead vine species in canopy, co-dominant leaders	0%	To Remain
ST-75	<i>Juniperus virginiana</i>	Eastern Red Cedar	12,9"	Moderate	Multi-stem, tree pruned, co-dominant leaders, dead vines in canopy	0%	To Remain
ST-76	<i>Juniperus virginiana</i>	Eastern Red Cedar	15,8"	Moderate	Pruned, co-dominant leaders, dead lower limbs	0%	To Remain
ST-77	<i>Juniperus virginiana</i>	Eastern Red Cedar	6,3"	Moderate		0%	To Remain
ST-78	<i>Morus alba</i>	White Mulberry	9,5"	Moderate	Dead broken lower limbs, co-dominant leaders	0%	To Remain
ST-79	<i>Acer rubrum</i>	Red Maple	9,0"	Moderate	Phototropic lean, dead broken limbs, co-dominant leaders	0%	To Remain
ST-80	<i>Pinus strobus</i>	White Pine	7,8"	Moderate		0%	To Remain
ST-81	<i>Quercus pelustris</i>	Pin Oak	11,9"	Good-Moderate	Dead broken lower limbs, Grapevine in canopy, co-dominant leaders	0%	To Remain
ST-82	<i>Pinus strobus</i>	White Pine	10,7"	Moderate	Multi-stem, pruned, oozing sap, Grapevine	0%	To Remain
ST-83	<i>Juniperus virginiana</i>	Eastern Red Cedar	6,7"	Moderate		0%	To Remain
ST-84*	<i>Morus alba</i>	White Mulberry	38,0" (Estimate)	Poor	Pruned, broken dead limbs, co-dominant leaders	49%	To Remain
ST-85	<i>Juniperus virginiana</i>	Eastern Red Cedar	8,2"	Moderate	Canker with decay, broken lower limbs	80%	To Remain
ST-86	<i>Ailanthus altissima</i>	Tree of Heaven	10,0" & 8,0" (Estimate)	Moderate		48%	To Remain
ST-87	<i>Ailanthus altissima</i>	Tree of Heaven	8,0" (Estimate)	Moderate	Dead broken limbs	44%	To Remain
ST-88	<i>Ailanthus altissima</i>	Tree of Heaven	7,2" (Estimate)	Moderate	Broken limbs	10%	To Remain
ST-89	<i>Ailanthus altissima</i>	Tree of Heaven	14,0" & 18,0" Estimate	Moderate		4%	To Remain

*SPECIMEN TREE

REVIEWED
By Laura DiPasquale at 10:08 am, Jan 14, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bunkit



Professional Certification:
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed landscape architect registered to practice in the State of Maryland.

Signature: *[Signature]* Date: 12-10-2024 Exp. Date: 10-21-2026

Revisions

date: 12/10/2024
scale:

Benning & Associates, Inc.
Landscape Planning Consultants
8933 Shady Grove Court
Gaithersburg, MD 20877
(301) 948-0240



TREE SAVE PLAN
19820 White Ground Road
Election District 11
Parcel 404; Tax Map DU562
Montgomery County, Maryland

Sequence of Events for Properties Required to Comply With Forest Conservation Plans, Exemptions from Submitting Forest Conservation Plans, and Tree Save Plans

The property owner is responsible for ensuring all tree protection measures are performed in accordance with the approved final forest conservation plan or tree save plan, and as modified in the field by a Planning Department Forest Conservation Inspector. The measures must meet or exceed the most recent standards published by the American National Standards Institute (ANSI A300).

Pre-Construction

- An on-site pre-construction meeting is required after the limits of disturbance have been staked and flagged and before any land disturbance.
- The property owner must arrange for the meeting and following people should must participate at the pre-construction meeting: the property owner or their representative, construction superintendent, International Society of Arboriculture (ISA) certified arborist/Maryland Licensed Tree Expert (representing owner) that will implement the tree protection measures, The Planning Department Forest Conservation Inspector, and Montgomery County Department of Permitting Services (DPS) Sediment Control Inspector. The purpose of this meeting is to verify the limits of disturbance and discuss specific tree protection and tree care measures shown on the approved plan. No land disturbance shall begin before tree protection and stress-reduction measures have been implemented and approved by the Planning Department's Forest Conservation Inspector.
 - Typical tree protection devices include:
 - Chain link fence (four feet high)
 - Super silt fence with wire strung between the support poles (minimum 4 feet high) with high visibility flagging
 - 14 gauge, 2 inch x 4 inch welded wire fencing supported by steel T-bar posts (minimum 4 feet high) with high visibility flagging
 - Typical stress reduction measures may include, but are not limited to:
 - Root pruning with a root cutter or plow designed for that purpose. Trenches are not allowed, unless approved by the Forest Conservation Inspector
 - Crown Reduction or pruning
 - Watering
 - Fertilizing
 - Vertical mulching
 - Root aeration systemsMeasures not specified on the Forest Conservation Plan may be required as determined by the Forest Conservation Inspector in coordination with the property owner's arborist.
- A Maryland Licensed Tree expert must perform, or directly supervise, the implementation of all stress reduction measures. Documentation of the process (including

- g. Clean up of retention areas, including trash removal
- After the final inspection and completion of all corrective measures the Forest Conservation Inspector will request all temporary tree and forest protection devices be removed from the site. Removal of tree protection devices that also operate for erosion and sediment control must be coordinated with both DPS and the Forest Conservation Inspector and cannot be removed without permission of the Forest Conservation Inspector. No additional grading, sodding, or burial may take place after the tree protection fencing is removed.
 - Long-term protection measures, including permanent signage, must be installed per the approved plan. Installation will occur at the appropriate time during the construction project. Refer to the approved plan drawing for the long-term protection measures to be installed.

INSPECTIONS

All field inspections must be requested by the applicant.

Field inspections must be conducted as follows:

Plans without Planting Requirements

- After the limits of disturbance have been staked and flagged, but before any clearing or grading begins.
- After necessary stress reduction measures have been completed and protection measures have been installed, but before any clearing and grading begins and before release of the building permit.
- After completion of all construction activities, but before removal of tree protection fencing, to determine the level of compliance with the provision of the forest conservation.

Additional Requirements for Plans with Planting Requirements

- Before the start of any required reforestation and afforestation planning.
- After the required reforestation and afforestation planning has been completed to verify that the planting is acceptable and prior to the start of the maintenance period.
- 2 years after reforestation and afforestation have been completed, to determine survival and assess necessary maintenance activities for the remaining duration of the maintenance and management period.
- At the end of the maintenance period to determine the level of compliance with the provisions of the planting plan, and if appropriate, release of the performance bond.

photographs) may be required by the Forest Conservation Inspector, and will be determined at the pre-construction meeting.

- Temporary tree protection devices must be installed per the approved Forest Conservation Plan, Exemption Plan, or Tree Save Plan and prior to any land disturbance. The Forest Conservation Inspector, in coordination with the DPS Sediment Control Inspector, may make field adjustments to increase the survivability of trees and forest shown as saved on the approved plan.
- Tree protection fencing must be installed and maintained by the property owner for the duration of construction project and must not be altered without prior approval from the Forest Conservation Inspector. All construction activity within protected tree and forest areas is prohibited. This includes the following activities:
 - Parking or driving of equipment, machinery or vehicles of any type
 - Storage of any construction materials, equipment, stockpiling, fill, debris, etc.
 - Dumping of any chemicals (i.e. paint thinner), mortar or concrete remainder, trash, garbage, or debris of any kind
 - Felling of trees into a protected area
 - Trenching or grading for utilities, irrigation, drainage, etc.
- Forest and tree protection signs must be installed as required by the Forest Conservation Inspector. The signs must be waterproof and wording provided in both English and Spanish.

During Construction

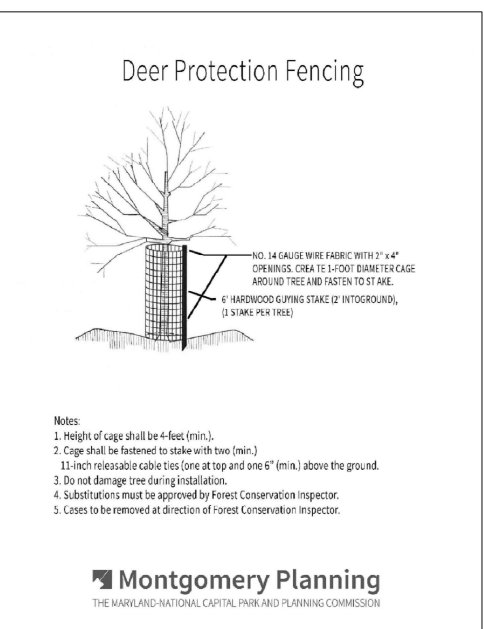
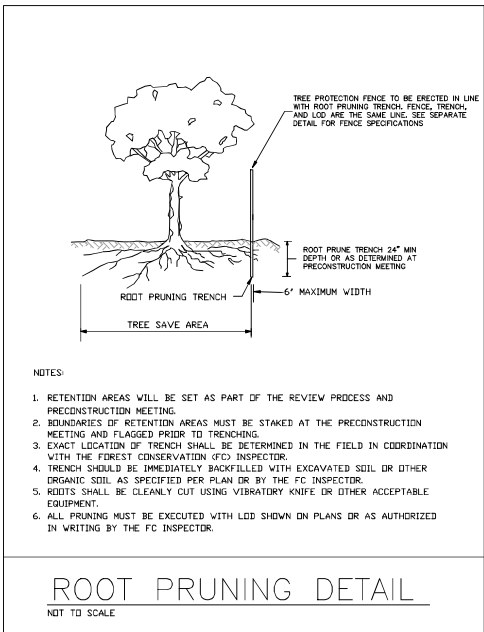
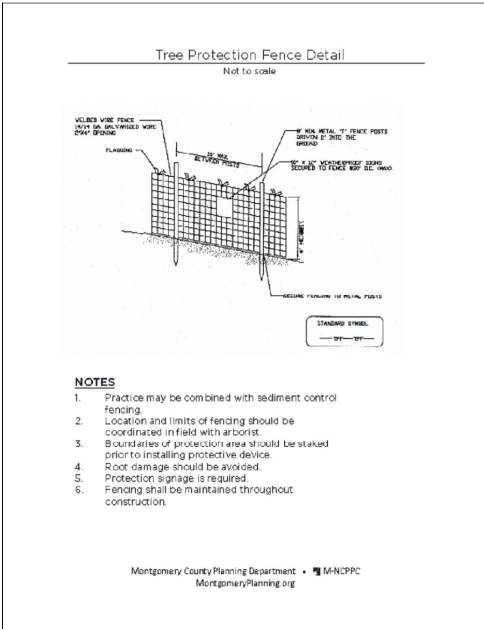
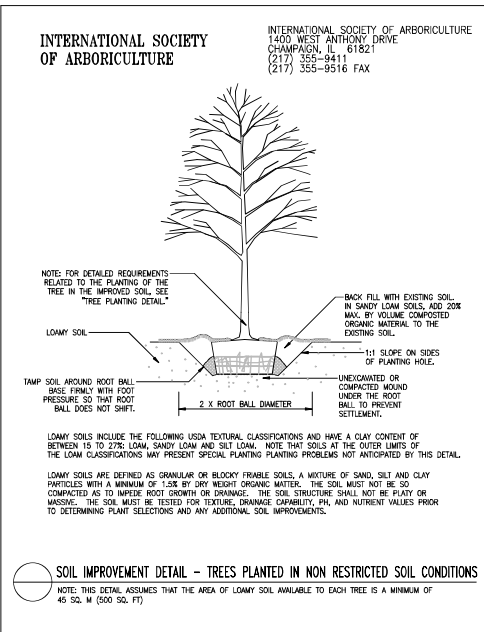
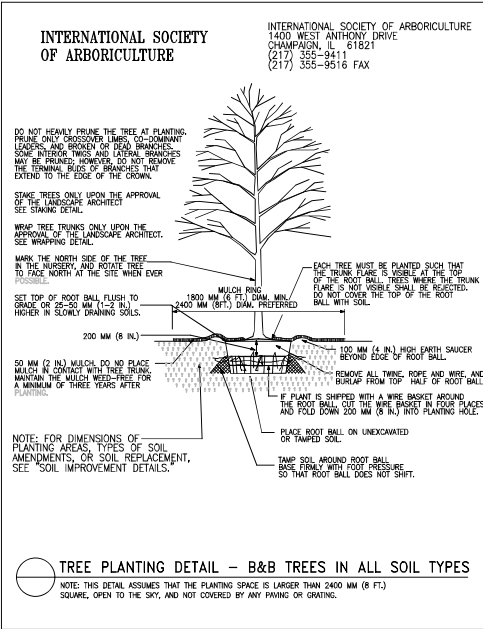
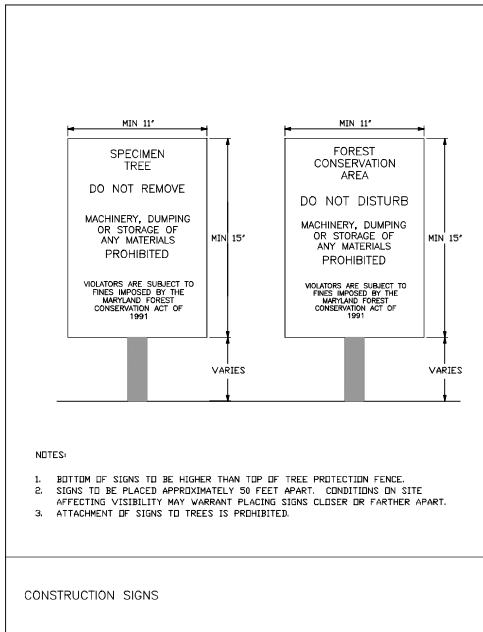
- Periodic inspections will be made by the Forest Conservation Inspector. Corrections and repairs to tree protection devices must be completed within the timeframe given by the Inspector.
- The property owner must immediately notify the Forest Conservation Inspector of any damage to trees, forests, understorey, ground cover, and any other undisturbed areas shown on the approved plan. Remedial actions, and the relative timeframes to restore these areas, will be determined by the Forest Conservation Inspector.

Post-Construction

- After construction is completed, but before tree protection devices have been removed, the property owner must request a final inspection with the Forest Conservation Inspector. At the final inspection, the Forest Conservation Inspector may require additional corrective measures, which may include:
 - Removal, and possible replacement, of dead, dying, or hazardous trees
 - Pruning of dead or declining limbs
 - Soil aeration
 - Fertilization
 - Watering
 - Wound repair

Significant Tree Mitigation			
Spec. Tree T.B.R.	DBH	Mitigation Required (@25% of DBH)	
ST-19	24"	6"	
Total Caliper Inches of Mitigation Required		6"	

TREE PLANTING SCHEDULE					
QUANTITY	TREE ID	BOTANICAL NAME	COMMON NAME	SIZE (D.B.H.)	COMMENTS
2	QA	Quercus alba	White Oak	3"	B&B



REVIEWED
By Laura DiPasquale at 10:08 am, Jan 14, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bulleit

Professional Certification:
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed landscape architect registered to practice in the State of Maryland.
Signature: *DM* Date: 12-10-2024 Exp. Date: 10-21-2026



Revisions

date: 12/10/2024
scale:

Benning & Associates, Inc.
Lead Planning Consultants
8033 Shady Grove Court
Gaithersburg, MD 20877
(301)948-0240



TREE SAVE PLAN
19820 White Ground Road
Election District 11
Parcel 404; Tax Map DU562
Montgomery County, Maryland

WSSC GRID 227NW15
TAX MAP DU562
ELECTION DISTRICT - 11
M-NCPPC FILE NO.
42025088E
SHEET 3 OF 3