



## HISTORIC PRESERVATION COMMISSION

**Marc Elrich**  
*County Executive*

**Karen Burditt**  
*Chair*

Date: April 30, 2025

### **MEMORANDUM**

TO: Rabbiah Sabbakhan  
Department of Permitting Services

FROM: Laura DiPasquale  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1113366– Rehabilitation of schoolhouse

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** by HPC staff.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Warren Historic Site Committee, c/o Elsie Thomas; Thomas J. Taltavull, Architect  
Address: 22625 Whites Ferry Road, Dickerson

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or [laura.dipasquale@montgomeryplanning.org](mailto:laura.dipasquale@montgomeryplanning.org) to schedule a follow-up site visit.





## HISTORIC PRESERVATION COMMISSION

HAWP #: 1113366 at: 22625 Whites Ferry Road, Dickerson

submitted on: 4/16/2025

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by *Laurel D. Spagnale* on \_\_\_\_\_. The approval memo and stamped drawings follow.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The Warren Historic Site is a designated historic district comprising of three key structures, the Warren UM Church (built in 1903), the one-room Martinsburg Negro School (built in 1886), and the Loving Charity Lodge Hall (built in 1914). These buildings comprise what was the nucleus for most African American communities founded in Maryland following the end of the Civil War through the beginning of the twentieth century. The Warren Site is the last in Maryland to retain all three structures. While the church and school continue to be used, the Loving Charity Hall which was in a dilapidated condition and was on Maryland's list of Endangered Sites has recently been reconstructed. The Warren Historic Site Committee is working to save this last vestige of a dying community that speaks to the resilience and determination of a people who, having started with nothing, managed to create a once thriving community.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The proposed work is to rehabilitate the original schoolhouse by removing non-contributing vinyl siding, and repair existing wood siding, soffits, rake, fascia wood trim and painting. Restore wood windows, and replace two metal exterior doors with wood doors and trim. Rebuilding original brick masonry chimney with related roof flashing. The existing septic system has failed and a new sewage holding tanks system is proposed to be installed. The holding tank system has been approved by the Maryland Department of Environment and the Montgomery County Well and Septic division.

The Site has an Easement held by the Maryland Historic Trust and the work has been reviewed and approved with conditions. See attached MHT Director's letter for approval conditions.

See attached MHT Easement Change application for detailed overview of proposed work and photographs.

**\*\*HAWP not required for septic tank relocation.**

**REVIEWED**

*By Laura DiPasquale at 3:54 pm, Apr 30, 2025*

APPROVED

Montgomery County

Historic Preservation Commission

*Karen B. Bullock*

Work Item 1: \_\_\_\_\_

Description of Current Condition:

SEE  
ATTACHED  
MARYLAND  
HISTORIC  
TRUST  
EASEMENT  
CHANGE  
APPLICATION  
FOR ALL  
WORK ITEMS

Proposed Work:

Work Item 2: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

Work Item 3: \_\_\_\_\_

Description of Current Condition:

Proposed Work:



# HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Wes Moore, Governor  
Aruna Miller, Lt. Governor



Rebecca L. Flora, AICP, LEED ND / BD+C, Secretary  
Elizabeth Hughes, MHT Director and  
State Historic Preservation Officer

---

**Maryland**  
**DEPARTMENT OF PLANNING**  
**MARYLAND HISTORICAL TRUST**

April 15, 2025

Thomas Taltavull  
20650 Plum Creek Court  
Gaithersburg, Maryland 20882

Re: Warren Historic Site, Montgomery County - Change/Alteration  
Maryland Historical Trust Preservation Easement  
FY2024 MHAA Grant

Dear Mr. Taltavull:

The Maryland Historical Trust (MHT) is in receipt of your application, received on March 11, 2025, submitted in conjunction with FY2024 MHAA grant funds, requesting approval of the location of the two sewage holding tanks, removal of the vinyl siding and repair of the wood siding underneath; repair and restoration of the wood windows; rebuilding of the chimney; replacing two metal doors with two wood doors to match historic images; and repairs to floor and wall framing at the Warren Historic Site. MHT's Easement Committee (Committee) reviewed the information on April 1, 2025.

Based on the review and recommendation of the Committee, I grant conditional approval of the location of the two sewage holding tanks, provided the following conditions are met:

- A qualified archeologist must monitor all ground disturbance associated with the project.
  - The archeologist will have the authority to stop the excavation if any significant archeological features are encountered. If features are found, work should cease immediately and the MHT must be consulted regarding the treatment of the features; and a report of the archeological excavation meeting the Standards and Guidelines for Archeological Investigations in Maryland (Shaffer and Cole, 1994, [https://mht.maryland.gov/Documents/archaeology/Archeology\\_standards\\_investigations.pdf](https://mht.maryland.gov/Documents/archaeology/Archeology_standards_investigations.pdf)) must be submitted to MHT for review upon the conclusion of the work. If the excavation and monitoring results yield evidence of previous disturbance that, in the opinion of the investigating archaeologist, would preclude the preservation of intact archaeological deposits, then a formal letter will be acceptable in lieu of a full report.

This work is consistent with the Secretary of the Interior's *Standards for the Treatment of Historic Properties*, specifically *General Rehabilitation Standard 8*.

Based on the review and recommendation of the Committee, I grant conditional approval to remove the vinyl siding and repair the wood siding underneath; repair and restore the wood windows; rebuild the chimney; and replace two metal doors with two wood doors to match historic images, provided the following condition is met:

---

Maryland Historical Trust • 100 Community Place • Crownsville • Maryland • 21032

Tel: 410.697.9591 • toll free 877.767.6272 • TTY users: Maryland Relay • MHT.Maryland.gov

- Any historic siding and trim should be repaired rather than replaced, per the Secretary of the Interior's Standard #6. Documentation of the need for, and extent of, siding and trim replacement must be reviewed and approved by MHT before proceeding with this work. Replacement of siding or trim must be done selectively, based on the condition of individual elements. Where elements are missing or deteriorated beyond repair, replacement wood elements must match the existing historic wood pieces in detail, form, texture, and finish.

This work is consistent with the Secretary of the Interior's *Standards for the Treatment of Historic Properties*, specifically *General Rehabilitation Standard 5 and 6*.

MHT's Deed of Easement does not protect the interior of the structures so the request to complete repairs to floor and wall framing may move ahead without MHT approval as MHT does not have purview over interior work.

These approvals are valid for a period of six months from the date of this letter. Should you need additional time to complete the project, have any changes to the scope of work, or have any questions regarding this letter, please contact MHT Easement Staff via email at [mht.easements@maryland.gov](mailto:mht.easements@maryland.gov).

Sincerely,

A handwritten signature in black ink, appearing to read "Elizabeth Hughes", with a long horizontal flourish extending to the right.

Elizabeth Hughes  
Director  
Maryland Historical Trust

EH/CN

cc: Andrew Arvizu, MHAA

## Historic Preservation Easement Program Change/Alteration Request Application

*This form is intended to be used by Maryland Historical Trust (MHT) Easement Property Owners and/or the Authorized Project Contact to initiate review of projects which require approval of the Director of the MHT as per the Deed of Easement. All **Change/Alteration Request Applications** must be submitted along with pertinent supplemental information in hard copy with an original signature. Easement Program staff will evaluate the application for completeness and may require additional information to facilitate review by the Easement Committee and Director. The application review period (as specified by each Deed of Easement) will not commence until Easement Program staff has deemed the application to be complete.*

**Return the Change/Alteration Request Application, and other information to:**  
**Kate Bolasky, Administrator, Historic Preservation Easement Program**  
**Maryland Historical Trust, 100 Community Place, Crownsville, MD 21032**  
**(410) 697-9537/kate.bolasky@maryland.gov**

### Easement Property Information:

Name of Easement Property:		Warren United Methodist Church and Martinsburg School	
Alternative Name:		Warren Historic Site	
Address of Property:		22625 Whites Ferry Road	
		Dickerson , Maryland 20842	County: Montgomery
Maryland Inventory of Historic Places # (if known): (for more information visit <a href="http://mht.maryland.gov/research_survey.shtml">http://mht.maryland.gov/research_survey.shtml</a> )		M-16-12-12 Martinsburg School	
Scope of Easement:  What does the Easement protect? (Check all that apply)	<input checked="" type="checkbox"/> Exterior	Is the scope of work located inside the easement boundary?	Yes <input checked="" type="checkbox"/>
	<input type="checkbox"/> Interior		No <input type="checkbox"/>
<input type="checkbox"/> Archaeology			

\*For a copy of the easement document, please contact Kathy Monday (410) 697-9575/ [kathy.Monday@maryland.gov](mailto:kathy.Monday@maryland.gov)

### Property Owner Information:

Name of Current Property Owner:		Warren Historic Site Committee, Inc. c/o Elsie Thomas	
Address of Property Owner: (If different than property address)		PO Box 44 Poolesville, Maryland 20837	
		Date of Purchase:	
Work/Home Telephone:	301.972.7263	Fax:	
Mobile Telephone:	301.466.6802	Email:	kianacierra@verizon.net

*If application is completed by someone other than owner (only complete if applicable):*

Name of Authorized Project Contact:		Thomas J. Taltavull,	
Relationship to owner:		Architect	
Address of Authorized Project Contact:		20650 Plum Creek Court, Gaithersburg, Maryland 20882	
Daytime Telephone:	301-840-1847	Fax:	
Mobile Telephone:	301-466-5270	Email:	tom@tjtarchitects.com

### Project Funding Information:

Is this project being funded by any of the following sources?  <i>Please check all that apply:</i>	<input type="checkbox"/> MHT Capital Grant (FY ____) <input type="checkbox"/> MHT Loan <input type="checkbox"/> MHAA Capital Grant (FY ____) <input type="checkbox"/> AAHPP Grant (FY 2020 ) <input type="checkbox"/> Historic Tax Credits ( <input type="checkbox"/> Residential/ <input type="checkbox"/> Commercial) <input type="checkbox"/> Bond Bill (Chapter ____/Year ____) <input type="checkbox"/> Other State/Federal Funding ____ <input type="checkbox"/> Other Funding <u>Montgomery County</u>
--	--

**Please check that you have included the following information as part of your complete application:**

<b>Required:</b> <input checked="" type="checkbox"/> Change/Alteration Request Application <input checked="" type="checkbox"/> Detailed Work Description <input checked="" type="checkbox"/> Printed Photographs & CD; properly labeled/identified	<b>As Necessary (Recommended):</b> <input checked="" type="checkbox"/> Site Plan/Drawings/Plans (dated ____) <input checked="" type="checkbox"/> Product Information/Specifications <input type="checkbox"/> Other ____
---	--

The Easement Property Owner and/or the Authorized Proposal Contact is encouraged to keep a duplicated copy of all application information sent to the MHT, including photos and plans, as the MHT staff may need to discuss the application with the applicant prior to submission to the Easement Committee.

Signature of Owner or Authorized Representative/Date: Thomas J. Kattar / March 5, 2025

**Detailed Work Description Form**

(Include all construction, reconstruction, improvement, enlargement, painting and decorating, alteration, demolition, maintenance or repair, and excavation)

**Work Item # 1**

<b>Architectural/Landscape feature:</b> Existing Septic System Tank	<b>Describe, in detail, the proposed work and impact on existing feature:</b>	
<b>Approximate date of feature:</b> 1970's	<b>Be sure to include details and specifications on proposed products</b>	
<b>Describe existing feature and its condition:</b>  Current septic system consisting of an underground concrete septic tank and leachfield has failed. The only solution to allow continued use of the building was determined by the Maryland Department of Environment and the Montgomery County Department of Health to install sewage holding tanks.	<b>Photo no.</b> 10	<b>Drawing no.</b> HTP 1
	Abandon existing septic tank and install two(2) underground sewage holding tanks, connect new sanitary sewage piping to existing school house. Connect new piping to existing exterior sanitary drain pipe. All ground work will be monitored by a qualified archeologist.	

**REVIEWED**

*By Laura DiPasquale at 3:57 pm, Apr 30, 2025*

APPROVED Montgomery County Historic Preservation Commission 
---

**Work Item # 2**

<b>Architectural/Landscape feature:</b> Vinyl Siding	<b>Describe, in detail, the proposed work and impact on existing feature:</b>	
<b>Approximate date of feature:</b> 1980's	<b><i>Be sure to include details and specifications on proposed products</i></b>	
<b>Describe existing feature and its condition:</b>	<b>Photo no.</b> 1 - 5	<b>Drawing no.</b> A200, A201
Vinyl siding and trim are in fair condition. Siding was installed over existing wood siding and corner boards.	Remove non contributing vinyl siding to exposed wood german drop siding and wood corner boards. Repair any found damaged or deteriorated wood siding, corner boards, soffit, fascia and rake trim. Any boards found not repairable to be replaced with in kind material to match existing. Wood siding to be repainted.	

**Work Item # 3**

<b>Architectural/Landscape feature:</b> Wood Double Hung Windows	<b>Describe, in detail, the proposed work and impact on existing feature:</b>	
<b>Approximate date of feature:</b> Early 20th Century	<b><i>Be sure to include details and specifications on proposed products</i></b>	
<b>Describe existing feature and its condition:</b>	<b>Photo no.</b> 2,3,5,6	<b>Drawing no.</b> A200, A201,A400
Existing seven six over six and one two over two wood double hung windows are in poor condition.	Repair/restore wood window sashes, frames and trim. Re-glaze and Repaint. Restore existing hardware. See drawings for additional information.	

\* Please print this page again to include as many work items as necessary.

**REVIEWED**

**By Laura DiPasquale at 3:57 pm, Apr 30, 2025**

APPROVED

Montgomery County

Historic Preservation Commission

*Karen Bunkle*

**Work Item # 4**

<b>Architectural/Landscape feature:</b> School Room Floor & wall Framing	<b>Describe, in detail, the proposed work and impact on existing feature:</b>	
<b>Approximate date of feature:</b> Late 19th early 20th Century.	<b><i>Be sure to include details and specifications on proposed products</i></b>	
<b>Describe existing feature and its condition:</b>	<b>Photo no.</b> 2,8	<b>Drawing no.</b> A100
Existing east school room floor and wall framing exhibit signs of damage or deterioration possibly due to water infiltration or insect damage.	Remove portion of existing interior wall and floor finishes to exposed floor and wall framing. Repair any found framing member damage with in kind framing, repair wall and floor finishes to match original in kind. Refinish to match adjacent existing finishes.	

**Work Item # 5**

<b>Architectural/Landscape feature:</b> Brick Chimney	<b>Describe, in detail, the proposed work and impact on existing feature:</b>	
<b>Approximate date of feature:</b> 1900's	<b><i>Be sure to include details and specifications on proposed products</i></b>	
<b>Describe existing feature and its condition:</b>	<b>Photo no.</b> 2,3, & 7	<b>Drawing no.</b> A100, A200, A201
Existing flashing and mortar had failed at chimney above roof and bricks where falling to ground. Water was infiltrating at chimney location. Owner took chimney down to below the roof and installed temporary roofing. Investigation revealed remaining portion of existing brick chimney only extends down to top of ceiling and is improperly supported. Original portion of original brick chimney located in school room was removed at an unknown date.	Rebuild chimney with existing brick on site down to foundation in crawl space. Mortar to match the color, texture, strength, joint width, and joint profile of the existing mortar that is remaining in existing attic. Chimney to be flashed to recently installed asphalt shingle roofing.	

\* Please print this page again to include as many work items as necessary.

**REVIEWED**

*By Laura DiPasquale at 3:57 pm, Apr 30, 2025*

APPROVED

Montgomery County

Historic Preservation Commission

*Karen Bunkle*

**Work Item # 6**

<b>Architectural/Landscape feature:</b> Exterior Metal Doors	<b>Describe, in detail, the proposed work and impact on existing feature:</b>	
<b>Approximate date of feature:</b> 1980's	<b><i>Be sure to include details and specifications on proposed products</i></b>	
<b>Describe existing feature and its condition:</b>	<b>Photo no.</b> 1 & 4	<b>Drawing no.</b> A100,A200,A201,A400
Existing metal entry doors and wood frames. Doors are in fair condition.	Remove non contributing metal doors and wood frames. Install solid wood four lite doors, wood frames and trim. Early photos show the four lite wood doors.	

**Work Item #**

<b>Architectural/Landscape feature:</b>	<b>Describe, in detail, the proposed work and impact on existing feature:</b>	
<b>Approximate date of feature:</b>	<b><i>Be sure to include details and specifications on proposed products</i></b>	
<b>Describe existing feature and its condition:</b>	<b>Photo no.</b>	<b>Drawing no.</b>

\* Please print this page again to include as many work items as necessary.

**REVIEWED**

By Laura DiPasquale at 3:57 pm, Apr 30, 2025

APPROVED  
Montgomery County  
Historic Preservation Commission

*Karen Bunkle*





Photo 1 -Martinsburg School- South Elevation View - June 24, 2020

**REVIEWED**

*By Laura DiPasquale at 3:55 pm, Apr 30, 2025*

APPROVED  
Montgomery County  
Historic Preservation Commission

*Karen Bunkle*



Photo 2- Martinsburg School - East Elevation View - June 24, 2020

**REVIEWED**

*By Laura DiPasquale at 3:55 pm, Apr 30, 2025*





Photo 3- Martinsburg School - East Elevation View - October 6, 2020

**REVIEWED**

By Laura DiPasquale at 3:55 pm, Apr 30, 2025

APPROVED  
Montgomery County  
Historic Preservation Commission

*Karen Buelit*



Photo 4- Martinsburg School - North Elevation View - June 24, 2020

**REVIEWED**

*By Laura DiPasquale at 3:55 pm, Apr 30, 2025*

APPROVED

Montgomery County

Historic Preservation Commission

*Karen Binkley*





Photo 5- Martinsburg School - West Elevation View - June 24, 2020

**REVIEWED**

*By Laura DiPasquale at 3:55 pm, Apr 30, 2025*

APPROVED  
Montgomery County  
Historic Preservation Commission

*Karen Buelit*



Photo 6- Martinsburg School - West Kitchen Addition View of Siding & Window- June 24, 2020

**REVIEWED**

*By Laura DiPasquale at 3:55 pm, Apr 30, 2025*

APPROVED

Montgomery County

Historic Preservation Commission

*Karen Buelit*





Photo 7- Martinsburg School - Attic Chimney View - June 24, 2020

**REVIEWED**

By Laura DiPasquale at 3:55 pm, Apr 30, 2025

APPROVED

Montgomery County

Historic Preservation Commission

*Karen Boudit*



Photo 8- Martinsburg School - East Elevation View of Vinyl Siding - June 24, 2020

**REVIEWED**

*By Laura DiPasquale at 3:55 pm, Apr 30, 2025*

APPROVED

Montgomery County

Historic Preservation Commission

*Karen Buelit*





Photo 9- Martinsburg School - Oblique NorthEast Elevation View - Oct 5, 2020

**REVIEWED**

*By Laura DiPasquale at 3:55 pm, Apr 30, 2025*

APPROVED  
Montgomery County  
Historic Preservation Commission

*Karen Buelit*



Photo 10- Martinsburg School - Proposed Holding Tank Location View - Oct 5, 2020

**REVIEWED**

*By Laura DiPasquale at 3:55 pm, Apr 30, 2025*

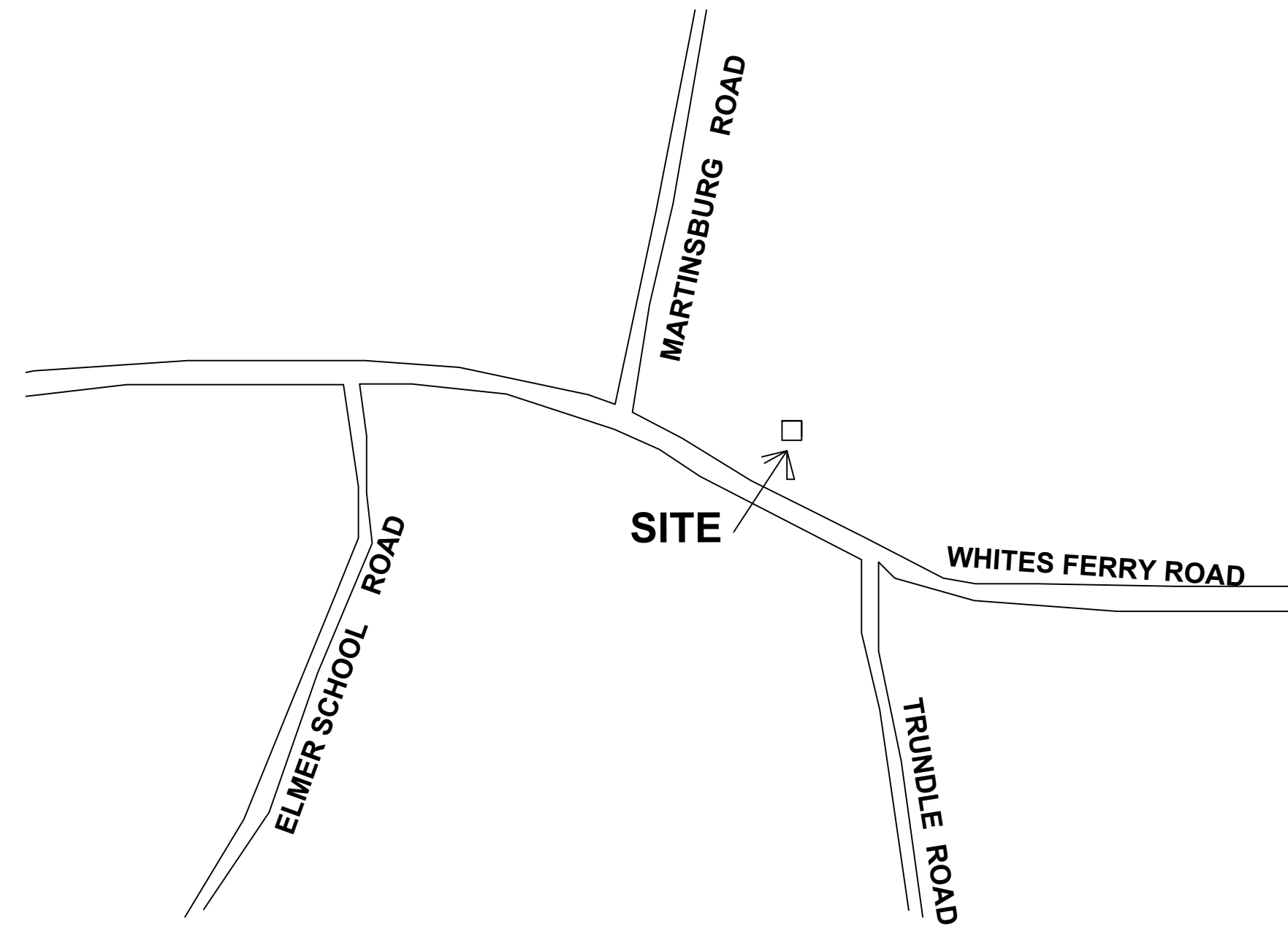
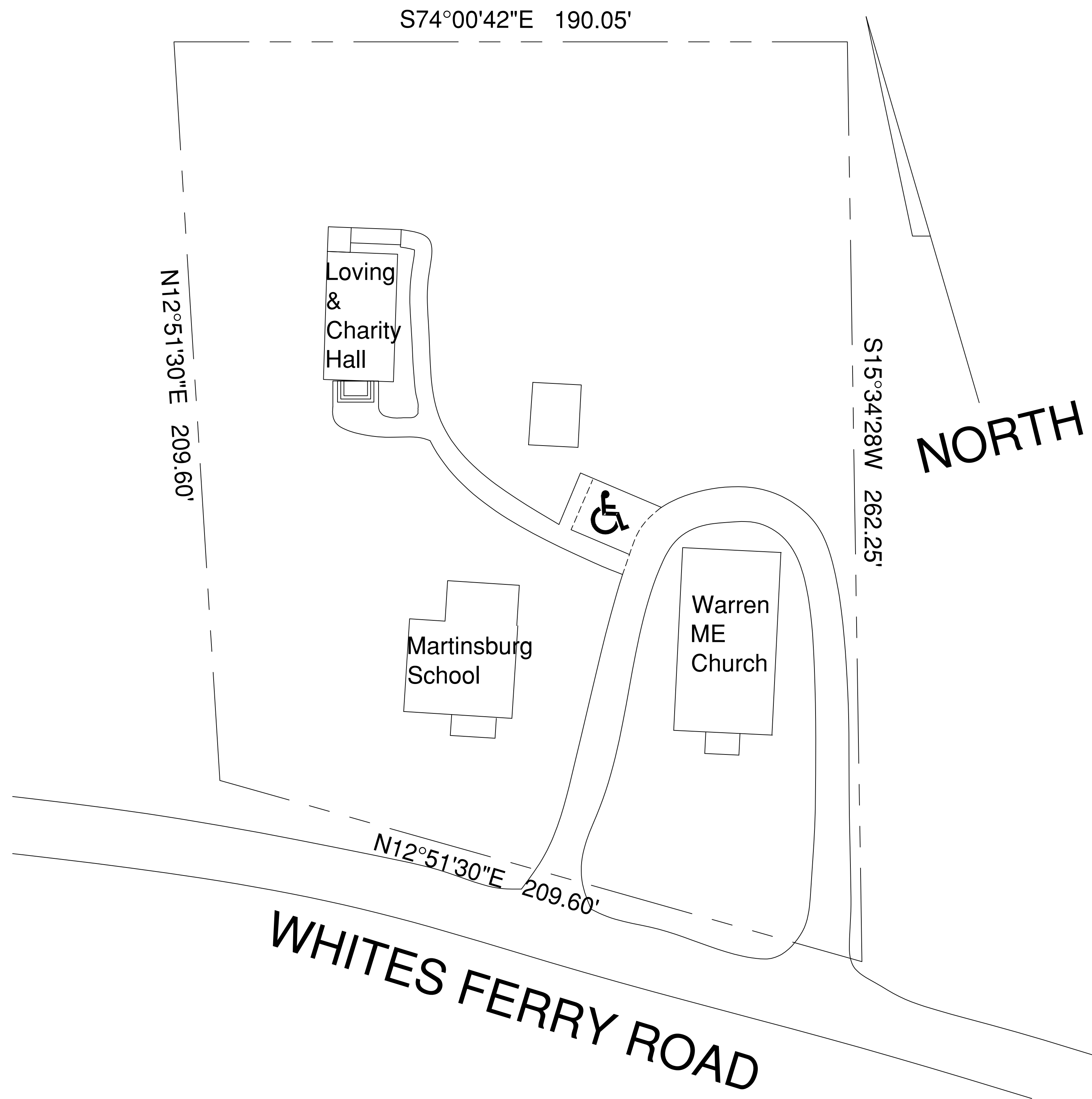
APPROVED  
Montgomery County  
Historic Preservation Commission

*Karen Benoit*









GENERAL NOTES:

1. The subject is a deed consisting of P919
2. Total Area of Property 1 Acre
3. Zoning: R - 200
4. The proposed project involves Rehabilitation of an existing historic Schoolhouse building. NO changes to the footprint of the existing building are planned.
5. The project involves less than 5,000 square feet of land disturbance and less than 100 cubic yards of earthwork. A sediment control permit is not required.

NOTE:

Site plan information on this plan from plat of survey prepared by Snider and Associates, Inc. Surveyors, Dated April 2, 2001.

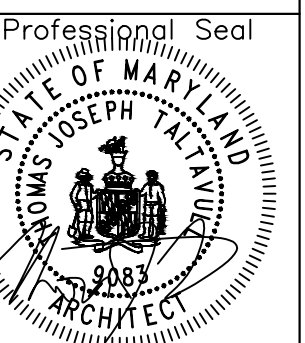
**REVIEWED**  
By Laura DiPasquale at 3:55 pm, Apr 30, 2025

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Karen Boudit*



THOMAS J. TALTAVULL  
ARCHITECT  
20850 PLUM CREEK COURT  
GATHERSBURG, MARYLAND 20882  
301.840.1847

Professional Certification.  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 9083, Expiration Date: 6-13-2022.



Revisions

Drawing Title

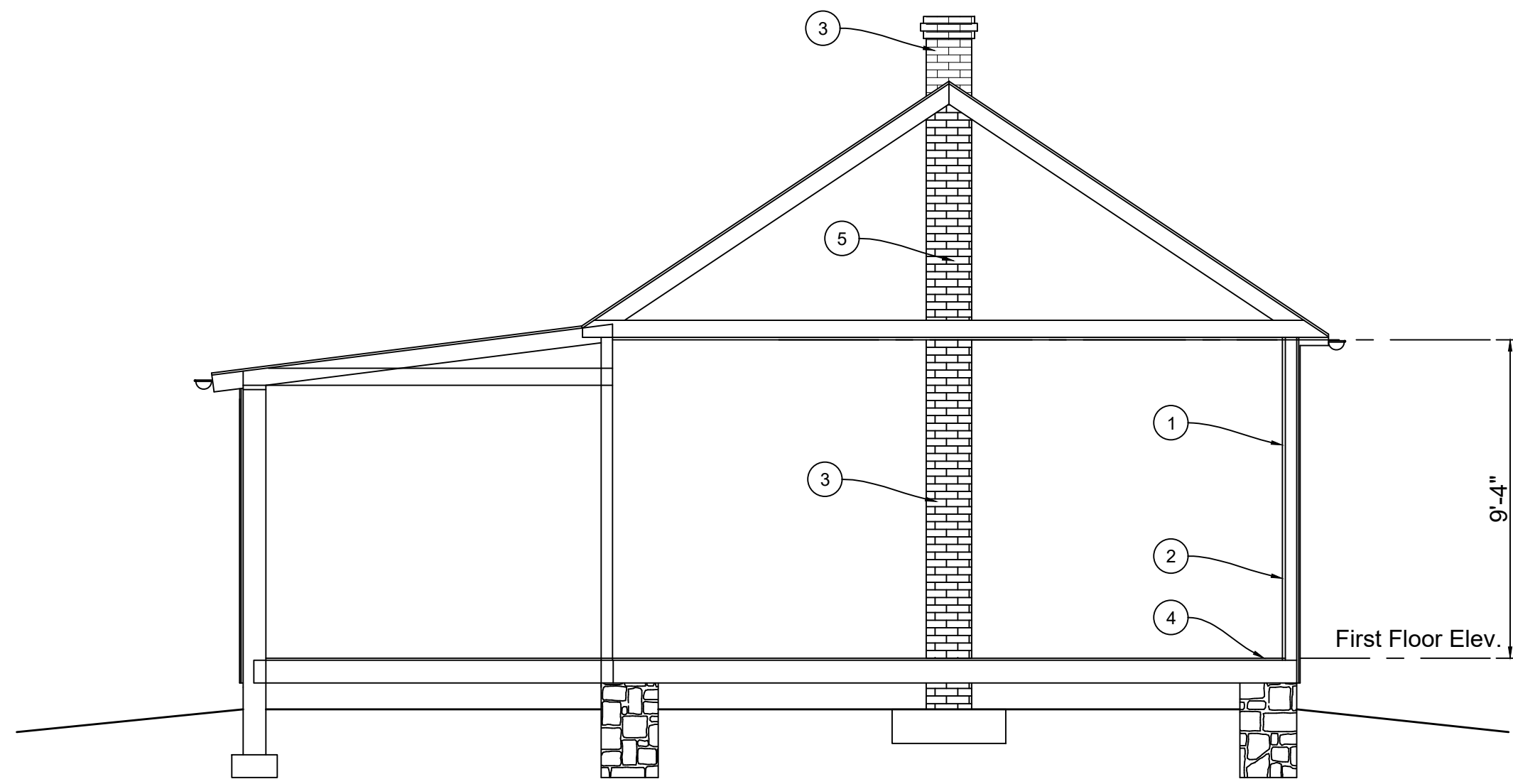
EXISTING SITE PLAN

Date: March 4, 2025

Rehabilitations to :  
MARTINSBURG SCHOOL  
WARREN HISTORIC SITE COMMITTEE, INC.  
22625 Whites Ferry Road  
Dickerson, Maryland 20842

Drawing Number

Z100



EXISTING SECTION NOTES:

- 1 REMOVE EXISTING WALL FINISHES ALONG EAST WALL TO EXPOSE EXISTING DAMAGED OR DETERIORATED FRAMING.

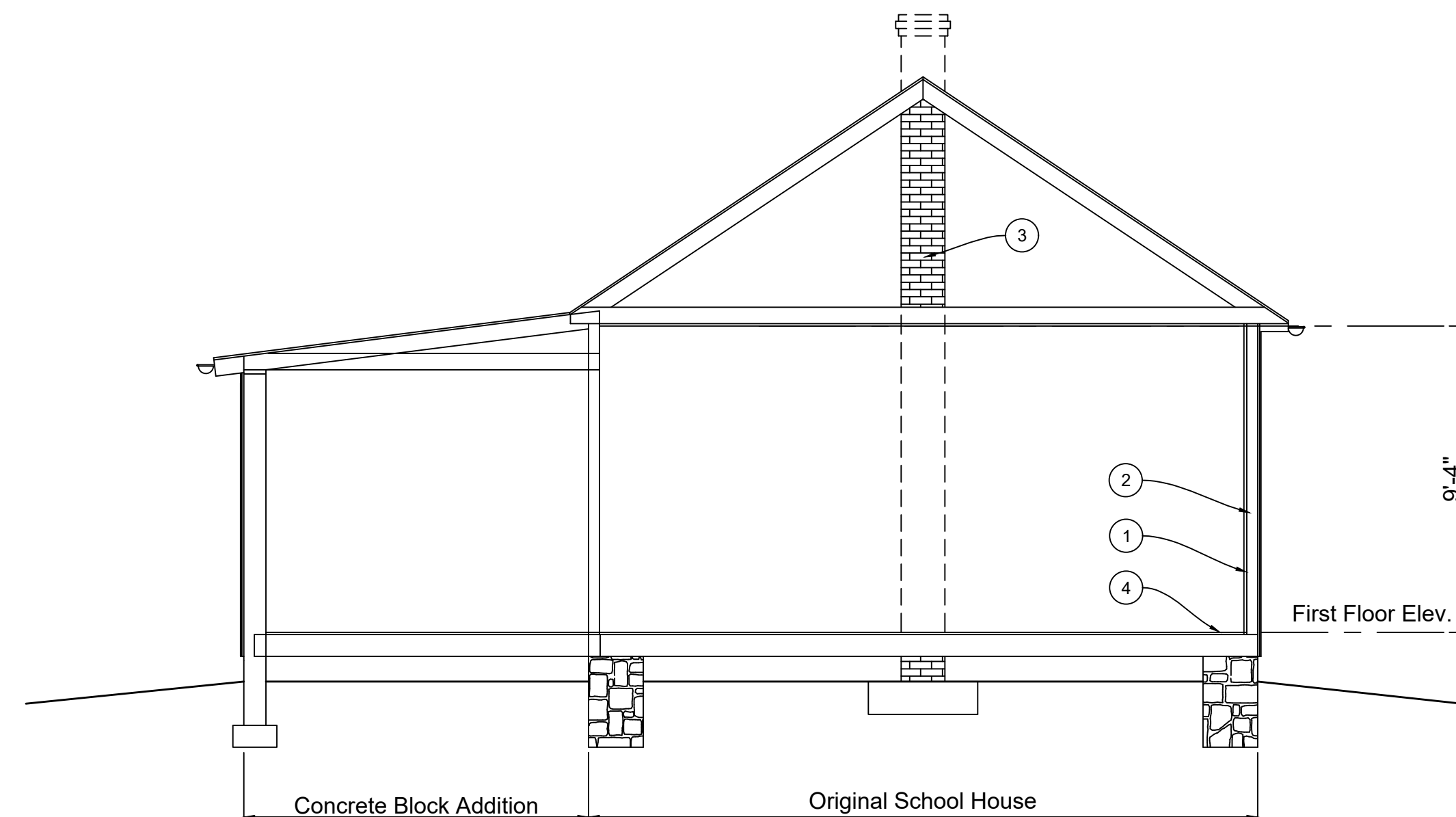
2 REPAIR FRAME WALLS AND WINDOW FRAMING WHERE DAMAGED OR ROTTED WOOD ALONG EAST WALL. INSTALL NEW 5/8" GYPSUM DRYWALL, PAINT EAST WALL.

3 EXISTING BRICK CHIMNEY IN EXISTING ATTIC. EXTEND CHIMNEY UP THROUGH ROUGH TO ORIGINAL HEIGHT. INSTALL ROOF FLASHING. REMOVE PORTION OF EXISTING CEILING AND FLOOR BELOW TO ALLOW FOR CHIMNEY TO BE REBUILT DOWN TO EXISTING FOUNDATION. CONTRACTOR TO VERIFY EXISTING FOOTING AND REPORT TO STRUCTURAL ENGINEER.
- 4 REMOVE EXISTING FINISH AND PLYWOOD SUBFLOOR IN ALONG EAST WALL IN SCHOOL ROOM TO ALLOW FOR INSPECTION BY STRUCTURAL ENGINEER.

5 PORTION OF EXISTING CHIMNEY IN ATTIC.

PROPOSED BUILDING SECTION

1/4" = 1' - 0"

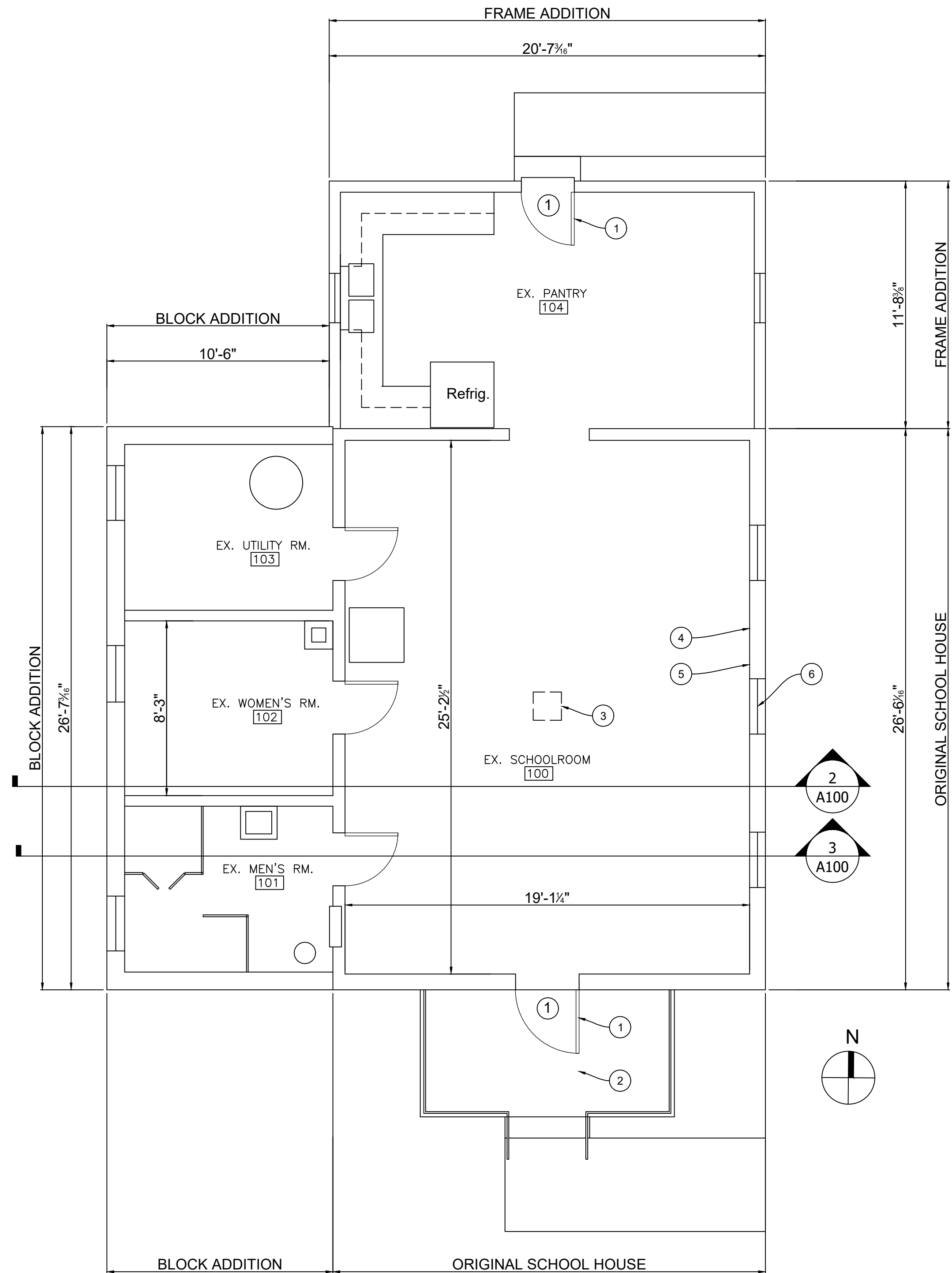


EXISTING SECTION NOTES:

- 1 REMOVE EXISTING WALL FINISHES ALONG EAST WALL TO EXPOSE EXISTING DAMAGED OR DETERIORATED FRAMING.
- 2 REPAIR FRAME WALLS AND WINDOW FRAMING WHERE DAMAGED OR ROTTED WOOD ALONG EAST WALL. INSTALL NEW 5/8" GYPSUM DRYWALL, PAINTED AT EAST WALL.
- 3 EXISTING BRICK CHIMNEY IN EXISTING ATTIC. CHIMNEY IS IMPROPERLY SUPPORTED. CHIMNEY WAS TAKEN DOWN TO JUST BELOW EXISTING ROOF. DASHED LINE INDICATES PORTION OF CHIMNEY TO BE REBUILT.

EXISTING BUILDING SECTION

1/4" = 1' - 0"



EXISTING FLOOR PLAN NOTES:

- 1 EXISTING DOOR, FRAME AND TRIM TO BE REMOVED TO ALLOW FOR INSTALLATION OF NEW DOOR, FRAME AND HARDWARE.

2 EXISTING CONCRETE PORCH TO REMAIN.

3 EXISTING BRICK MASONRY CHIMNEY IN CEILING ABOVE. TEMPORARY SHORE EXISTING STRUCTURE AND REBUILD EXISTING MASONRY CHIMNEY. CHIMNEY TO EXTEND TO ORIGINAL HEIGHT ABOVE ROOF. REUSE CLEANED SALVAGED BRICK UNITS. SEE BUILDING SECTION FOR ADDITIONAL INFORMATION. PATCH ALL DISTURBED FINISHES, TYPICAL. CHIMNEY TO SET ON NEW REINFORCED CONCRETE FOUNDATION IN CRAWL SPACE AND EXTEND THROUGH ROOF TO ORIGINAL HEIGHT. CHIMNEY WILL BE NON- FUNCTIONAL. SEAL TOP WITH 2.25" CONCRETE CAP - 1" OVERHANG ALL SIDES.
- 4 REMOVE EXISTING WALL FINISHES ALONG EAST WALL OF SCHOOL ROOM TO EXPOSE EXISTING DAMAGED OR ROTTED FRAMING.

5 REPAIR FRAME WALLS AND WINDOW FRAMING WHERE DAMAGED OR ROTTED WOOD ALONG EAST WALL. INSTALL NEW 5/8" GYPSUM DRYWALL, PAINT AT EAST WALL.

6 EXISTING WOOD WINDOWS TO BE RESTORED. TYPICAL OF ALL EIGHT (8) WINDOWS

APPROVED  
Montgomery County  
Historic Preservation Commission

*Karen Boudit*

REVIEWED

By Laura DiPasquale at 3:55 pm, Apr 30, 2025

EXISTING FIRST FLOOR PLAN

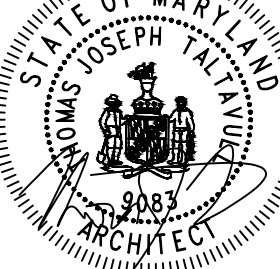
1/4" = 1' - 0"

ARCHITECTS  
PLANNERS  
HISTORIC  
PRESERVATION

THOMAS J. TALTAVULL  
ARCHITECT  
20850 PLUM CREEK COURT  
GATHERSBURG, MARYLAND 20882  
301.840.1847

Professional Certification.  
I hereby certify that these  
documents were prepared or  
approved by me, and that  
I am a duly licensed  
architect under the laws of  
the State of Maryland,  
License No. 9083,  
Expiration Date: 6-13-2022.

Professional Seal



Revisions  
Drawing Title  
EXISTING FLOOR PLAN

Date: March 4, 2025

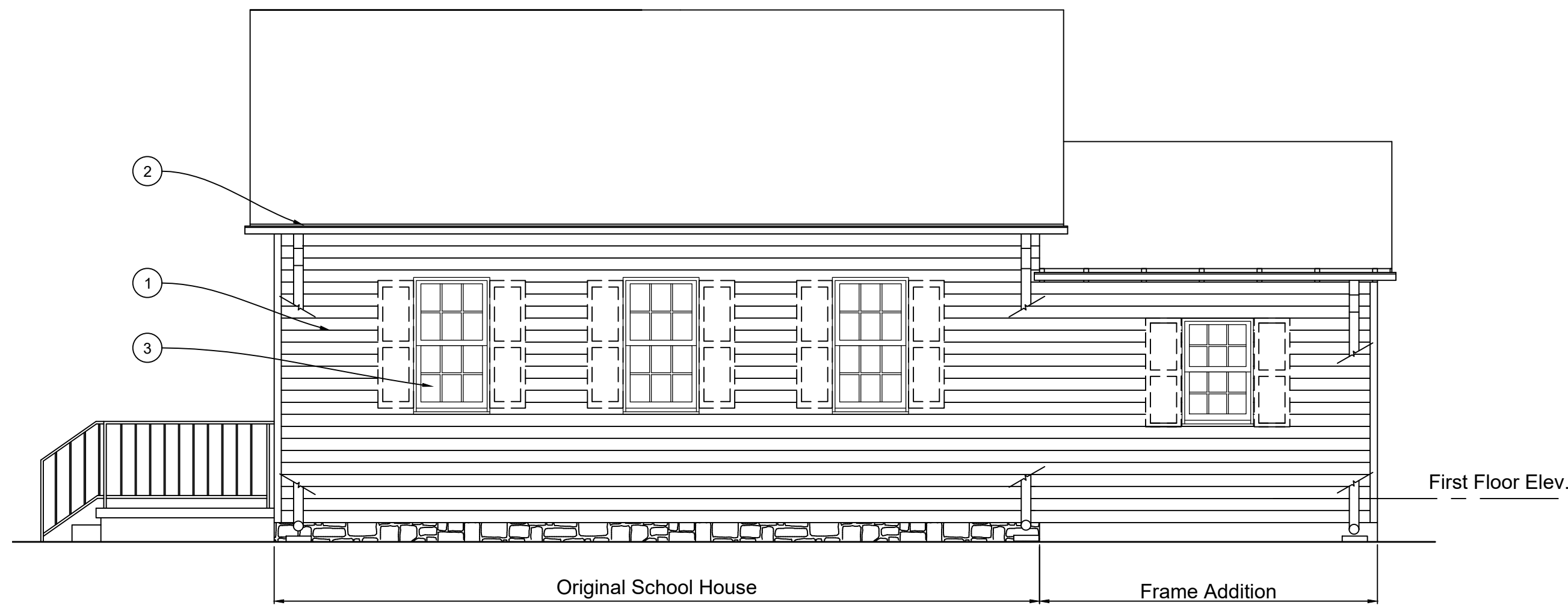
Rehabilitations to :  
MARTINSBURG SCHOOL  
WARREN HISTORIC SITE COMMITTEE, INC.  
22625 Whites Ferry Road  
Dickerson, Maryland 20842

Drawing Number

A100



© Thomas J. Taltavull, Architect 2025 All Rights Reserved.



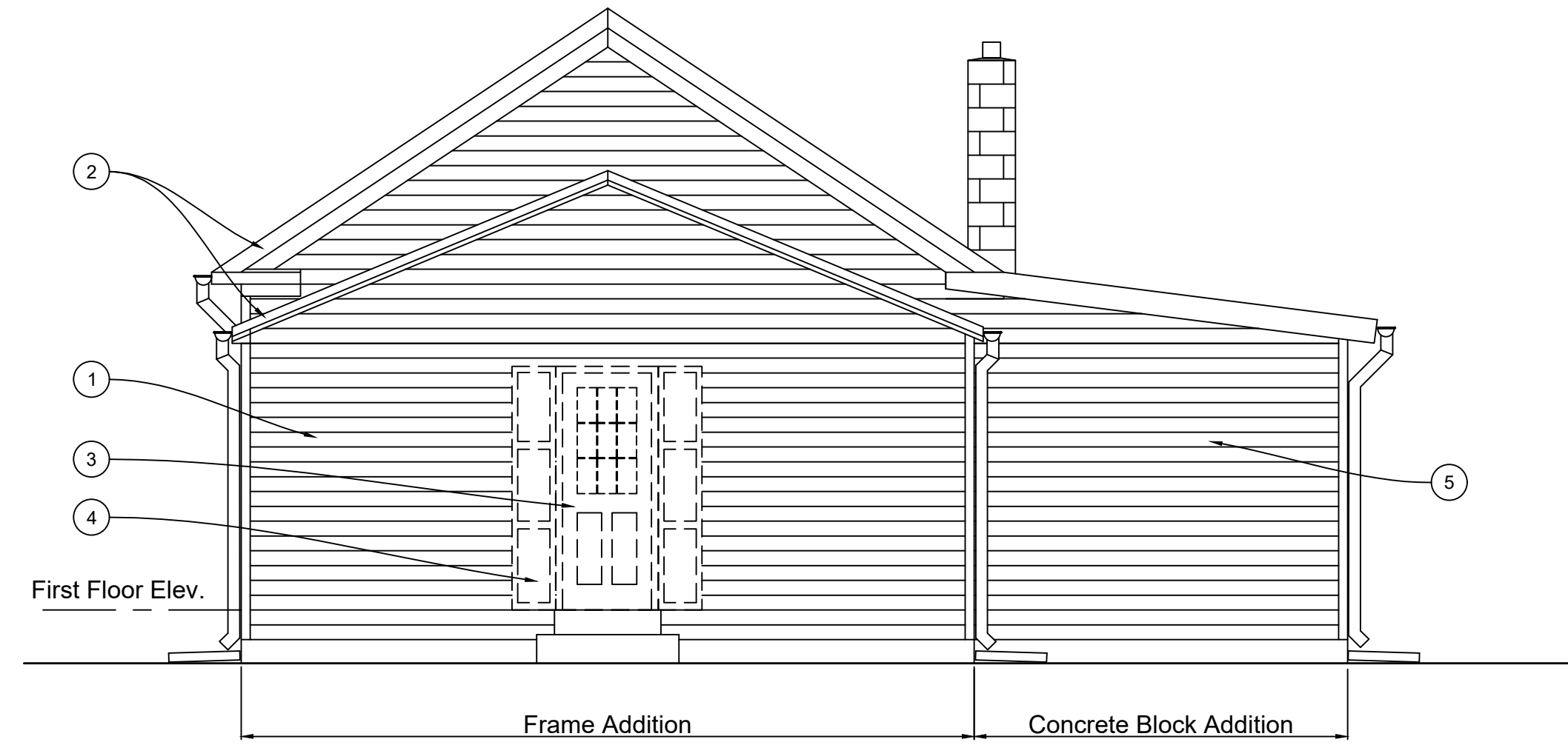
EXISTING ELEVATION NOTES:

- 1 REMOVE VINYL SIDING TO EXPOSE ORIGINAL WOOD DROP SIDING, REPAIR ANY DAMAGED, MISSING OR DETERIORATED SIDING TO MATCH ORIGINAL IN KIND.
- 2 REPAIR EXISTING WOOD FASCIA, RAKE & FRIEZE TRIM AND SOFFIT BOARDS, REPLACE ANY DAMAGED OR DETERIORATED TRIM TO MATCH ORIGINAL IN KIND.
- 3 EXISTING WOOD DOUBLE HUNG WINDOWS TO BE RESTORED. REMOVE NON CONTRIBUTING VINYL SHUTTERS.

EXISTING EAST ELEVATION

1/4 = 1' - 0"

4



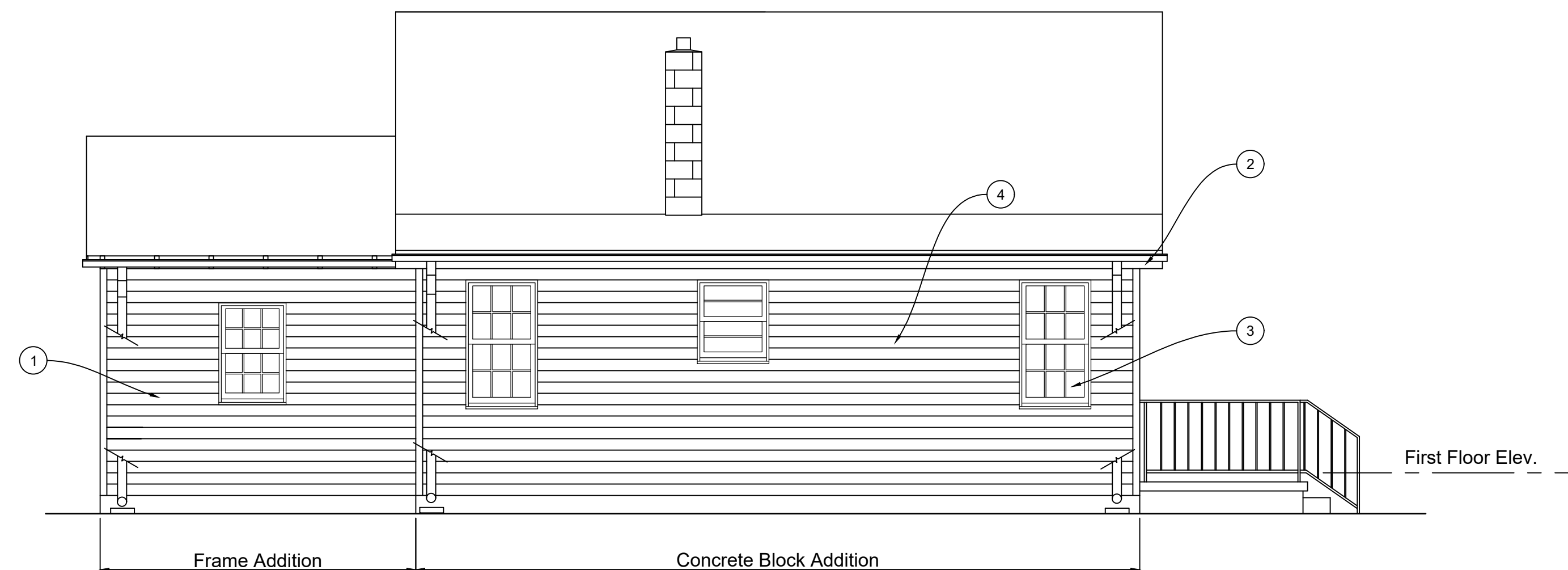
EXISTING ELEVATION NOTES:

- 1 REMOVE VINYL SIDING TO EXPOSE ORIGINAL WOOD DROP SIDING, REPAIR ANY DAMAGED, MISSING OR DETERIORATED SIDING TO MATCH ORIGINAL IN KIND.
- 2 REPAIR EXISTING WOOD FASCIA, RAKE & FRIEZE TRIM AND SOFFIT BOARDS, REPLACE ANY DAMAGED OR DETERIORATED TRIM TO MATCH ORIGINAL IN KIND.
- 3 REMOVE EXISTING NON ORIGINAL METAL DOOR, FRAME AND TRIM TO ALLOW FOR INSTALLATION OF NEW WOOD DOOR, FRAME AND TRIM TO MATCH ORIGINAL.
- 4 REMOVE NON CONTRIBUTING VINYL SHUTTERS AT DOOR.
- 5 REMOVE VINYL SIDING OVER ORIGINAL CONCRETE MASONRY UNITS. CLEAN MASONRY AND REPAINT.

EXISTING NORTH ELEVATION

1/4 = 1' - 0"

3



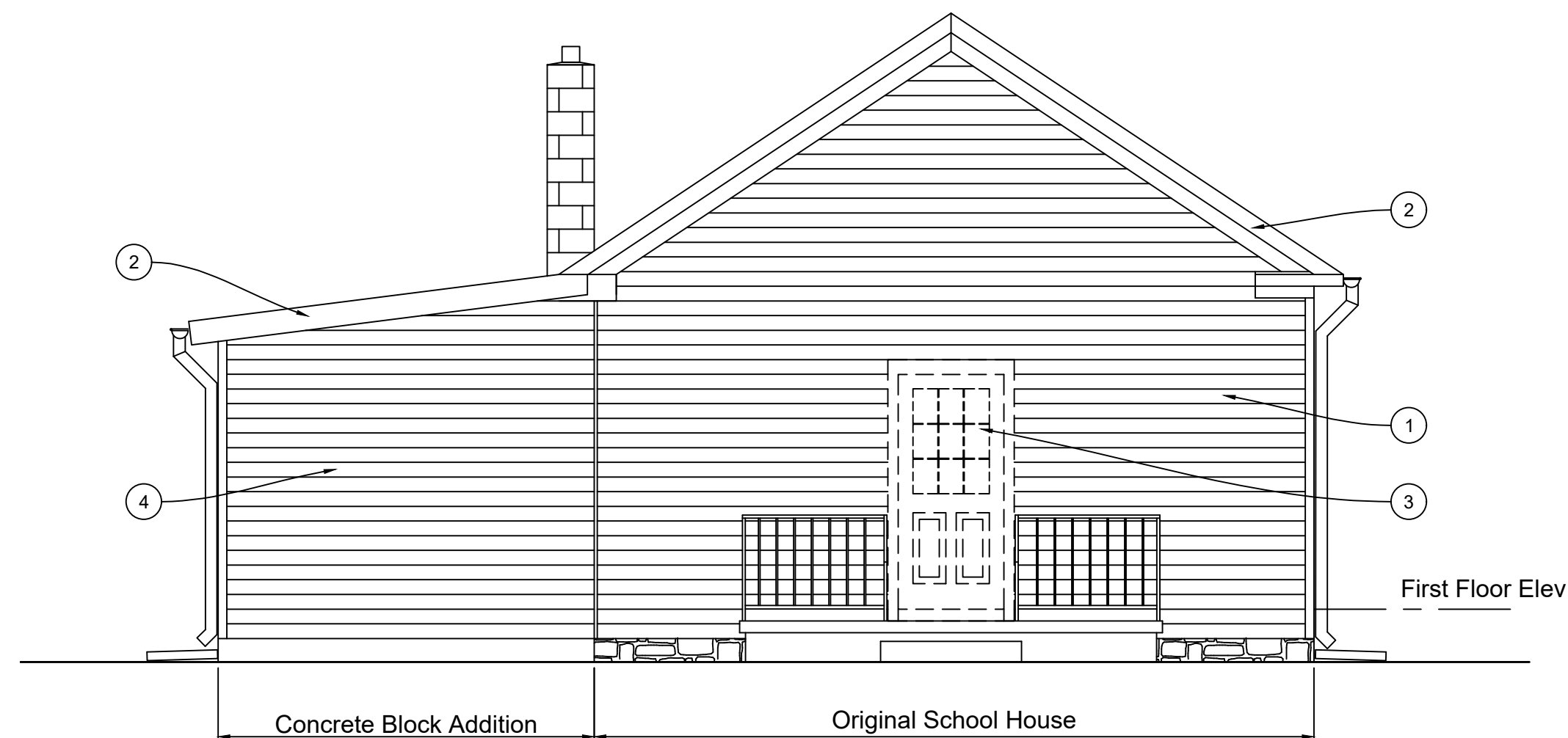
EXISTING ELEVATION NOTES:

- 1 REMOVE VINYL SIDING TO EXPOSE ORIGINAL WOOD DROP SIDING, REPAIR ANY DAMAGED, MISSING OR DETERIORATED SIDING TO MATCH ORIGINAL IN KIND.
- 2 REPAIR EXISTING WOOD FASCIA, RAKE & FRIEZE TRIM AND SOFFIT BOARDS, REPLACE ANY DAMAGED OR DETERIORATED TRIM TO MATCH ORIGINAL IN KIND.
- 3 EXISTING WOOD DOUBLE HUNG WINDOWS TO BE RESTORED.
- 4 REMOVE VINYL SIDING OVER ORIGINAL CONCRETE MASONRY UNITS. CLEAN MASONRY AND REPAINT.

EXISTING WEST ELEVATION

1/4 = 1' - 0"

2



EXISTING ELEVATION NOTES:

- 1 REMOVE VINYL SIDING TO EXPOSE ORIGINAL WOOD DROP SIDING, REPAIR ANY DAMAGED, MISSING OR DETERIORATED SIDING TO MATCH ORIGINAL IN KIND.
- 2 REPAIR EXISTING WOOD FASCIA, RAKE & FRIEZE TRIM AND SOFFIT BOARDS, REPLACE ANY DAMAGED OR DETERIORATED TRIM TO MATCH ORIGINAL IN KIND.
- 3 REMOVE EXISTING NON ORIGINAL METAL DOOR, FRAME AND TRIM TO ALLOW FOR INSTALLATION OF NEW WOOD DOOR, FRAME AND TRIM TO MATCH ORIGINAL.
- 4 REMOVE VINYL SIDING OVER ORIGINAL CONCRETE MASONRY UNITS. CLEAN MASONRY AND REPAINT.

EXISTING SOUTH ELEVATION

1/4 = 1' - 0"

1



THOMAS J. TALTAVULL  
ARCHITECT  
20850 PLUM CREEK COURT  
GATHERSBURG, MARYLAND 20882  
301.840.1847

Professional Certification.  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 9083, Expiration Date: 6-13-2022.



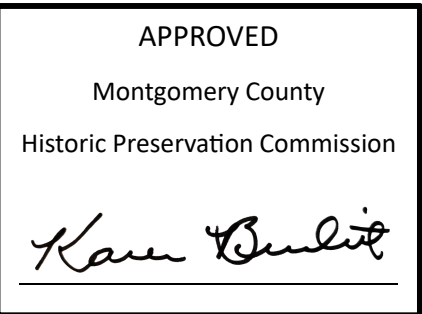
Revisions  
Drawing Title  
EXISTING ELEVATIONS

Date: March 4, 2025

Rehabilitations to :  
MARTINSBURG SCHOOL  
WARREN HISTORIC SITE COMMITTEE, INC.  
22625 Whites Ferry Road  
Dickerson, Maryland 20842

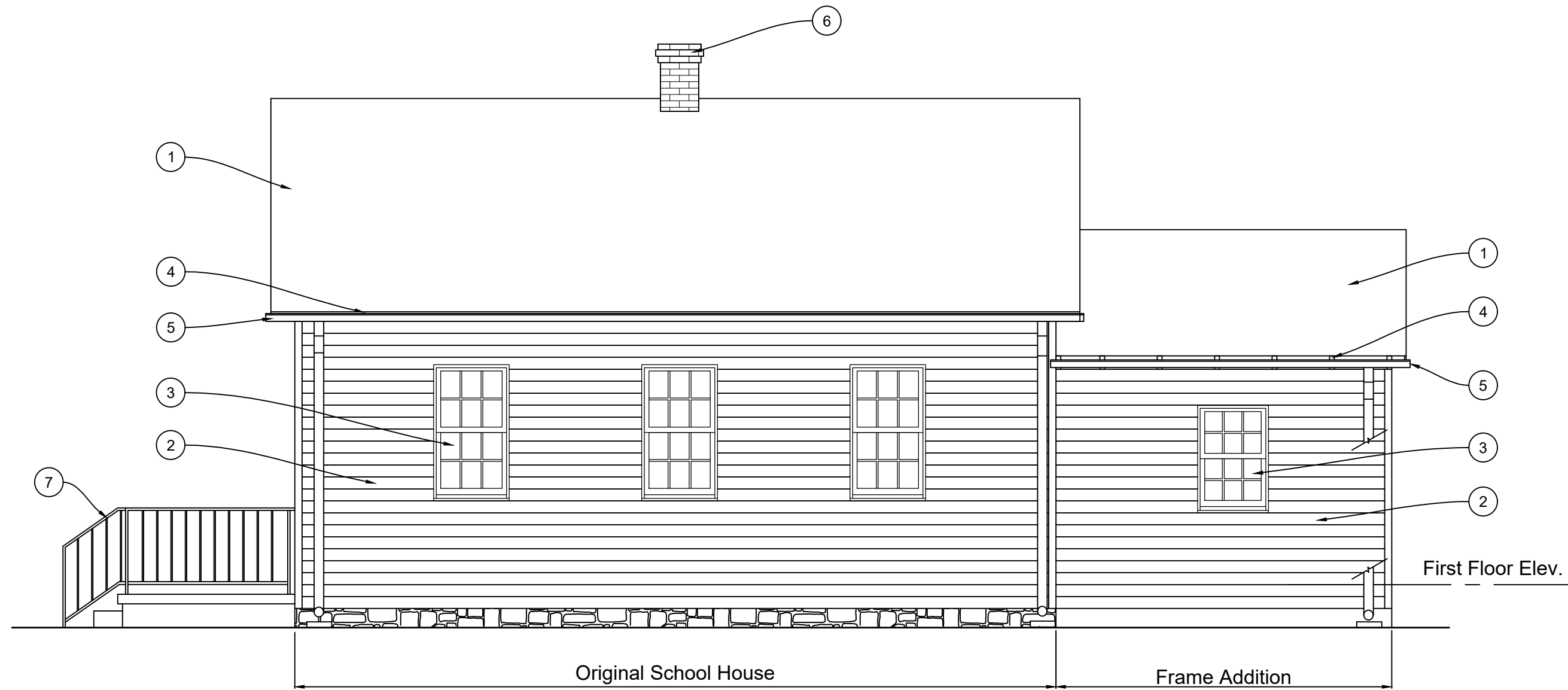
Drawing Number

A200



REVIEWED  
By Laura DiPasquale at 3:55 pm, Apr 30, 2025

© Thomas J. Taltavull, Architect 2025 All Rights Reserved.



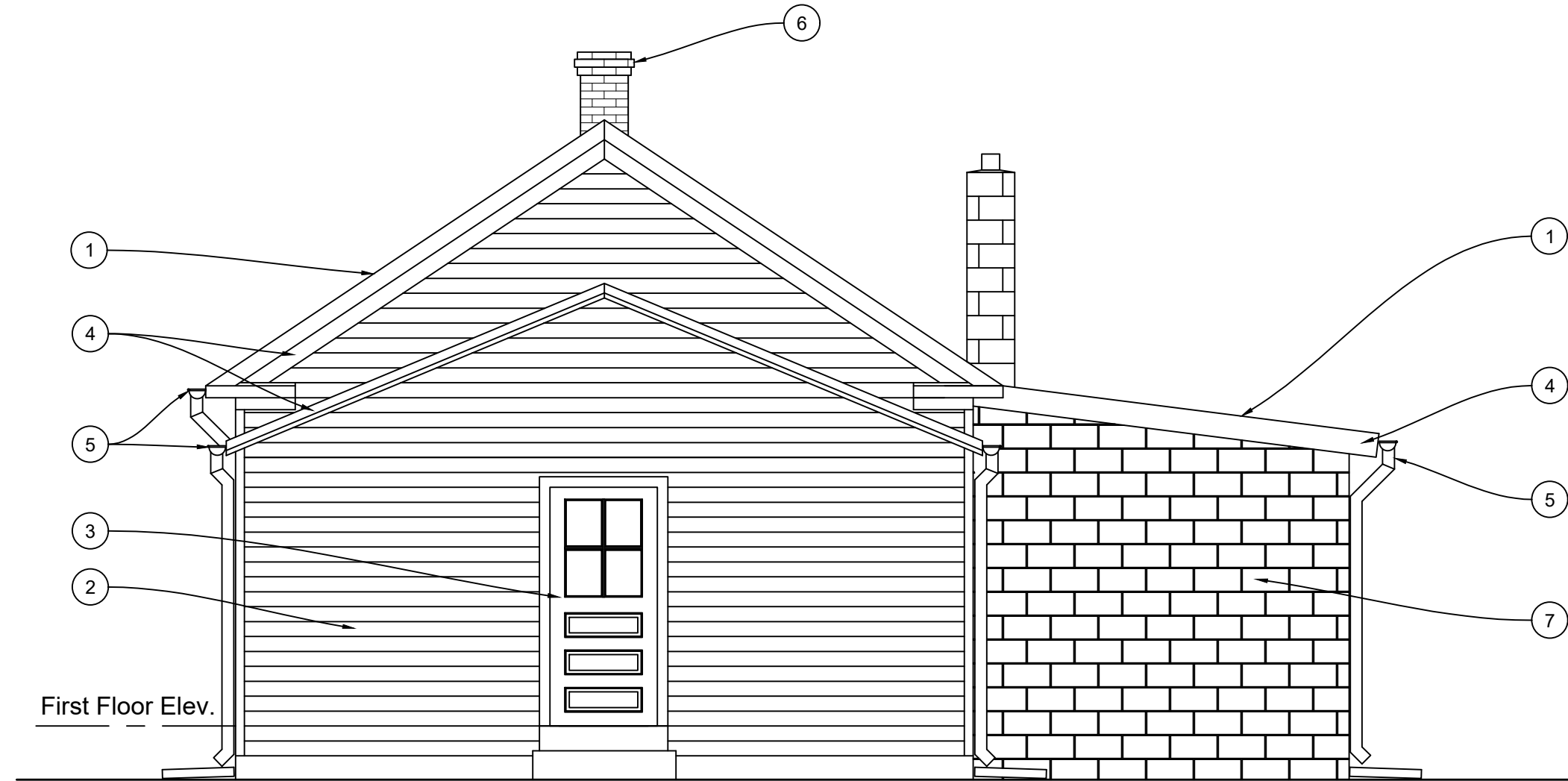
ELEVATION NOTES:

- 1 EXISTING ASHALT SHINGLE ROOFING TO REMAIN.
- 2 EXISTING WOOD SIDING & CORNER BOARDS, TO BE RESTORED, REPLACE ANY DAMAGED OR DETERIORATED SIDING WITH NEW SIDING TO MATCH ORIGINAL, PAINT.
- 3 EXISTING WINDOWS & TRIM TO BE RESTORED AND PAINT. TYPICAL OF ALL EIGHT (8) WINDOWS
- 4 REPAIR EXISTING WOOD FASCIA, RAKE & FRIEZE TRIM AND SOFFIT BOARDS, REPLACE ANY DAMAGED OR DETERIORATED TRIM TO MATCH ORIGINAL IN KIND
- 5 EXISTING HALF ROUND GUTTERS AND ROUND DOWNSPOUTS TO BE CAREFULLY REMOVED TO ALLOW FOR REPAIRS AND REFINISHING OF EXISTING WOOD FASCIA BOARD. REINSTALL.
- 6 EXISTING MASONRY CHIMNEY TO BE EXTENDED UP TO ORIGINAL HEIGHT ABOVE ROOF AND DOWN TO EXISTING FOUDATION BELOW EXISTING SCHOOL ROOM FLOOR.
- 7 REPAINT EXISTING METAL RAILING.

PROPOSED EAST ELEVATION

1/4 = 1' - 0"

4



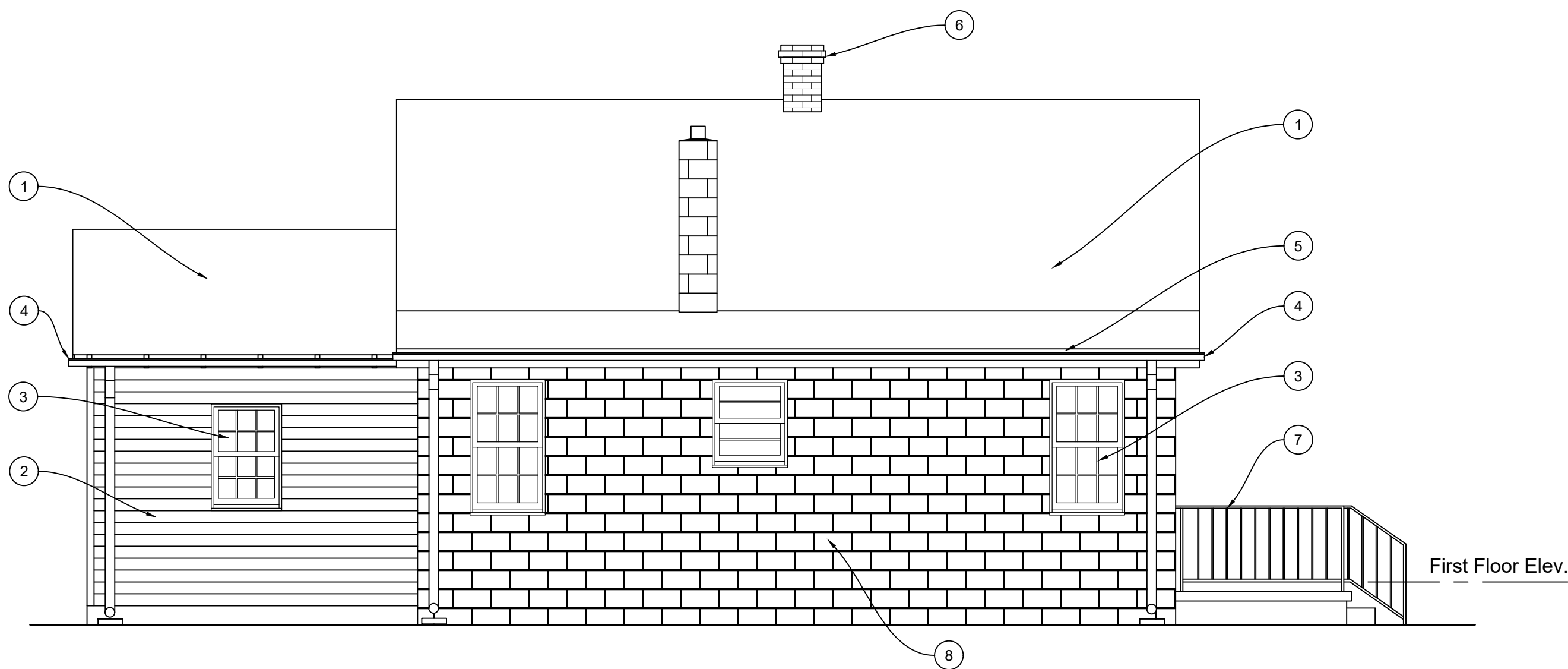
ELEVATION NOTES:

- 1 EXISTING ASHALT SHINGLE ROOFING TO REMAIN.
- 2 EXISTING WOOD SIDING & CORNER BOARDS, TO BE RESTORED, REPLACE ANY DAMAGED OR DETERIORATED SIDING WITH NEW SIDING TO MATCH ORIGINAL, PAINT.
- 3 NEW SOLID EXTERIOR WOOD PANEL DOOR WITH TWO OVER TWO LITE, FRAME AND TRIM, PAINT. PROVIDE NEW DOOR HARDWARE.
- 4 REPAIR EXISTING WOOD FASCIA, RAKE & FRIEZE TRIM AND SOFFIT BOARDS, REPLACE ANY DAMAGED OR DETERIORATED TRIM TO MATCH ORIGINAL IN KIND
- 5 EXISTING HALF ROUND GUTTERS AND ROUND DOWNSPOUTS TO BE CAREFULLY REMOVED TO ALLOW FOR REPAIRS AND REFINISHING OF EXISTING WOOD FASCIA BOARD. REINSTALL GUTTERS AND DOWNSPOUTS.
- 6 EXISTING MASONRY CHIMNEY TO BE EXTENDED UP TO ORIGINAL HEIGHT ABOVE ROOF AND DOWN TO EXISTING FOUDATION BELOW EXISTING SCHOOL ROOM FLOOR.
- 7 CLEAN AND REPAINT EXISTING CONCRETE MASONRY UNITS.

PROPOSED NORTH ELEVATION

1/4 = 1' - 0"

3



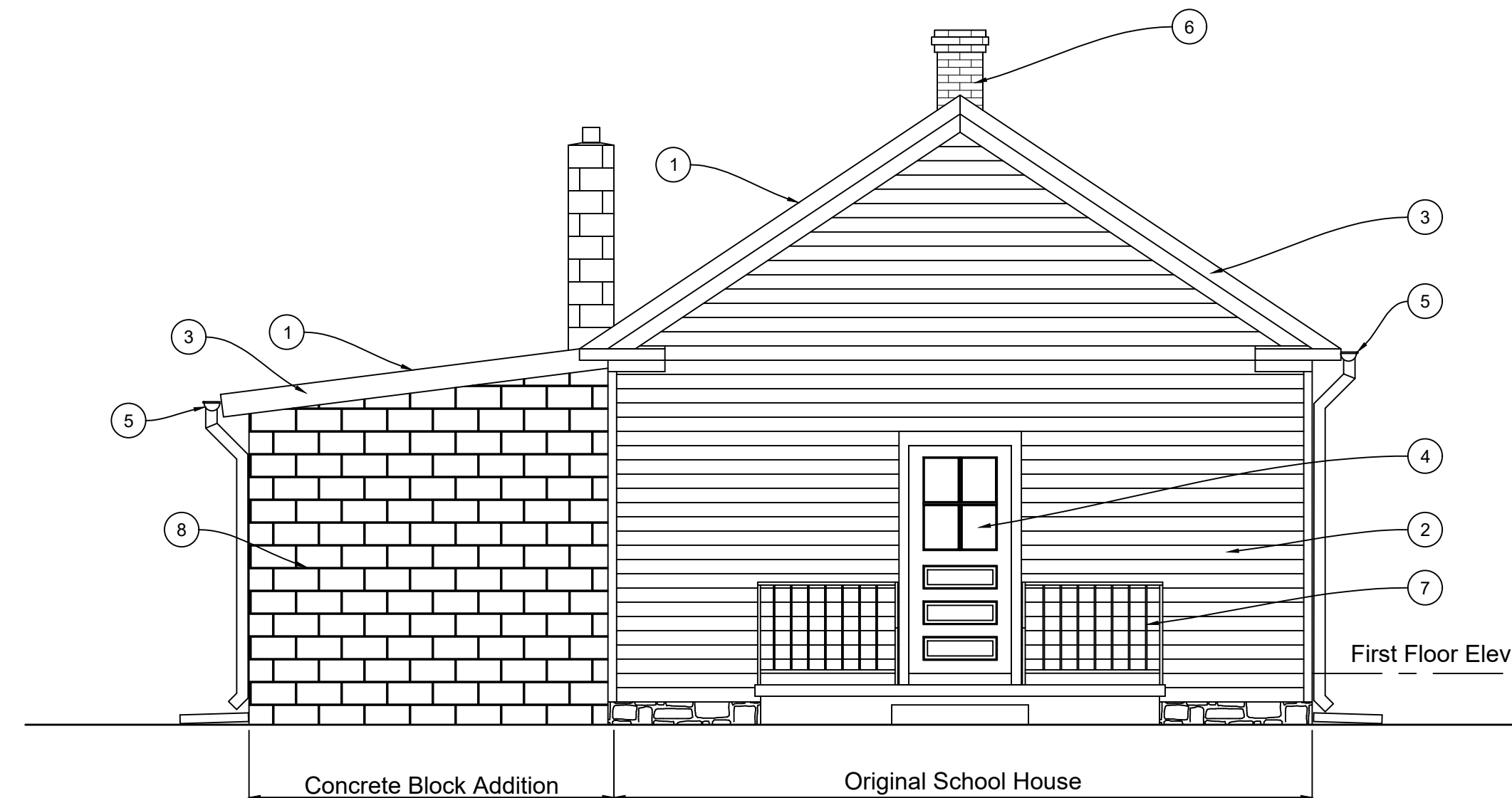
ELEVATION NOTES:

- 1 EXISTING ASHALT SHINGLE ROOFING TO REMAIN.
- 2 EXISTING WOOD SIDING, TO BE RESTORED, REPLACE ANY DAMAGED OR DETERIORATED SIDING WITH NEW SIDING TO MATCH ORIGINAL, PAINT.
- 3 EXISTING WINDOWS & TRIM TO BE RESTORED AND PAINT.
- 4 EXISTING HALF ROUND GUTTERS AND ROUND DOWNSPOUTS TO BE CAREFULLY REMOVED TO ALLOW FOR REPAIRS AND REFINISHING OF EXISTING WOOD FASCIA BOARD. REINSTALL.
- 5 REPAIR EXISTING WOOD FASCIA, RAKE & FRIEZE TRIM AND SOFFIT BOARDS, REPLACE ANY DAMAGED OR DETERIORATED TRIM TO MATCH ORIGINAL IN KIND
- 6 EXISTING MASONRY CHIMNEY TO BE EXTENDED UP TO ORIGINAL HEIGHT ABOVE ROOF AND DOWN TO EXISTING FOUDATION BELOW EXISTING SCHOOL ROOM FLOOR.
- 7 REPAINT EXISTING METAL RAILING.
- 8 CLEAN AND REPAINT EXISTING CONCRETE MASONRY UNITS.

PROPOSED WEST ELEVATION

1/4 = 1' - 0"

2



ELEVATION NOTES:

- 1 EXISTING ASHALT SHINGLE ROOFING TO REMAIN.
- 2 EXISTING WOOD SIDING & CORNER BOARDS TO BE RESTORED, REPLACE ANY DAMAGED OR DETERIORATED SIDING WITH NEW SIDING TO MATCH ORIGINAL, PAINT.
- 3 REPAIR EXISTING WOOD FASCIA, RAKE & FRIEZE TRIM AND SOFFIT BOARDS, REPLACE ANY DAMAGED OR DETERIORATED TRIM TO MATCH ORIGINAL IN KIND
- 4 NEW SOLID EXTERIOR WOOD PANEL DOOR WITH TWO OVER TWO LITE, FRAME AND TRIM, PAINT. PROVIDE NEW DOOR HARDWARE.
- 5 EXISTING HALF ROUND GUTTERS AND ROUND DOWNSPOUTS TO BE CAREFULLY REMOVED TO ALLOW FOR REPAIRS AND REFINISHING OF EXISTING WOOD FASCIA BOARD. REINSTALL GUTTERS AND DOWNSPOUTS.
- 6 EXISTING MASONRY CHIMNEY TO BE EXTENDED UP TO ORIGINAL HEIGHT ABOVE ROOF AND DOWN TO EXISTING FOUDATION BELOW EXISTING SCHOOL ROOM FLOOR. PROVIDE CHIMNEY STEP AND CAP FLASHING.
- 7 REPAINT EXISTING METAL RAILING.
- 8 CLEAN AND REPAINT EXISTING CONCRETE MASONRY UNITS.

PROPOSED SOUTH ELEVATION

1/4 = 1' - 0"

1

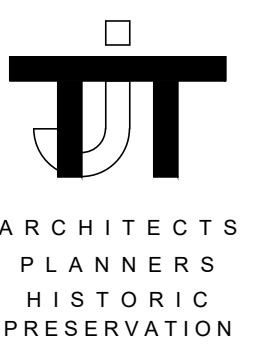
Revisions  
Drawing Title  
PROPOSED ELEVATIONS

Date: March 4, 2025

Rehabilitations to :  
MARTINSBURG SCHOOL  
WARREN HISTORIC SITE COMMITTEE, INC.  
22625 Whites Ferry Road  
Dickerson, Maryland 20842

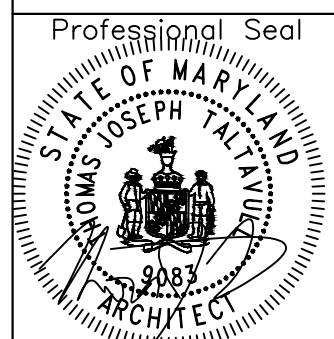
Drawing Number

A201



THOMAS J. TALTAVULL  
ARCHITECT  
20650 PLUM CREEK COURT  
GATHERSBURG, MARYLAND 20882  
301.840.1847

Professional Certification.  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 9083, Expiration Date: 6-13-2022.



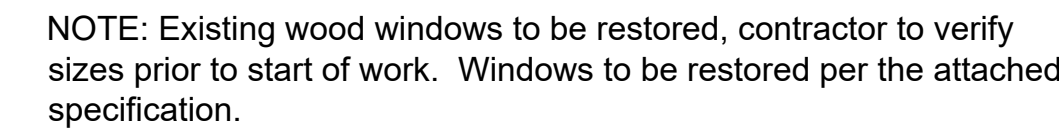
REVIEWED

By Laura DiPasquale at 3:56 pm, Apr 30, 2025

APPROVED  
Montgomery County  
Historic Preservation Commission

Karen Buelit




$$1/4 = 1' - 0''$$

## 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Section, apply to this Section.
- B. U.S. Department of the Interior - National Park Service publication - "*The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings*"
- C. U.S. Department of the Interior - National Park Service publication - Technical Preservation Services - "*Preservation Brief 9 - The Repair of Historic Wooden Windows*"

## 1.2 DESCRIPTION

- A. This Section includes: all labor, materials, equipment, handling, transportation, and services necessary to complete the work of historic wood window restoration as specified herein, including, but not limited to, the following:
  1. Remove and restoration of the existing window sashes.
  2. In-place restoration of the existing window frames.
  3. Provide temporary closure for window openings from which window sashes have been removed for restoration.
  4. Remove and salvage all original window hardware.
  5. Remove glass and salvage glass panes.
  6. Strip glazing putty, coatings, debris, and other contaminants from all wood window sashes and frames.
  7. Consolidate deteriorated wood and repair and epoxy all minimally to moderately deteriorated wood sashes and frames.

8. Replace entire components or provide wood Dutchman repairs for all severely deteriorated wood sashes and frames.
9. Tighten all loose joints in sashes and frames.
10. Prepare, prime, and paint stripped existing components and new components, including sashes and frames.
11. Reglaze windows using salvaged existing glass and replace all broken or missing glass.
12. Restore existing original hardware and replace damaged, missing, and modern (non-original) hardware.
13. Reinstall sashes with restored hardware and/or new hardware.
14. Remove all existing weather stripping and provide new weather stripping.
15. Remove all existing sealant at window perimeter, prepare substrates, and provide new sealant.

### B. Related Sections

- ## 1. Exterior Painting

### 1.3 DEFINITIONS

- A. Wood Window and Door Component Terminology: Wood window and door components for historic treatment work include the following classifications:
1. Window: Includes window frame, sash, hardware, unless otherwise indicated by context.
  2. Frame Components: Head, jamb, and sill.
  3. Sash Components: Stile and rails, pricking bead, stop, muntins, and glazing stops.
  4. Exterior Trim: Exterior casing, sill, bark mould, drip cap, and transom bar.
  5. Interior Trim: Casing, stool, apron, and interior shutters. Interior trim is not included in this Section.
  6. Glazing: Includes glass, glazing points, glazing tapes, glazing sealants, and glazing compounds.



Professional Certification.  
I hereby certify that these  
documents were prepared  
and approved by me, and that  
I am a duly licensed  
architect under the laws of  
the State of Maryland,  
License No. 9083,  
Expiration Date: 6-13-2022.



2

## WINDOW AND DOOR DETAILS

ate: March 4, 2025

Renovations to .  
MARTINSBURG SCHOOL  
WARREN HISTORIC SITE COMMITTEE, INC.  
22625 Whites Ferry Road  
Dickerson, Maryland 20842

Drawing Number

A400

1



3'-0" x 6'-8" x 1<sup>3</sup>/<sub>4</sub>"  
Solid Wood Paneled  
Self Closing Door w/  
Tempered Insulating  
True Divided Glass  
Lites, with Wood  
Frame.

## WOOD DOORS

PART 1      GENERAL

## 1.1 SUMMARY

- A. Provide wood doors.

## 1.2 SUBMITTALS

- A. Product Data: Submit manufacturer's product data and installation instructions for each material and product used.
- B. Warranty: Submit manufacturers standard warranty. Include labor and materials to repair or replace defective materials.
  1. Solid-Core Exterior Doors: 5 years.

### 1.3 QUALITY ASSURANCE

- A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.
- B. Quality Standards for Stile and Rail Doors: NWWDA I.S. 6.

## PART 2      PRODUCTS

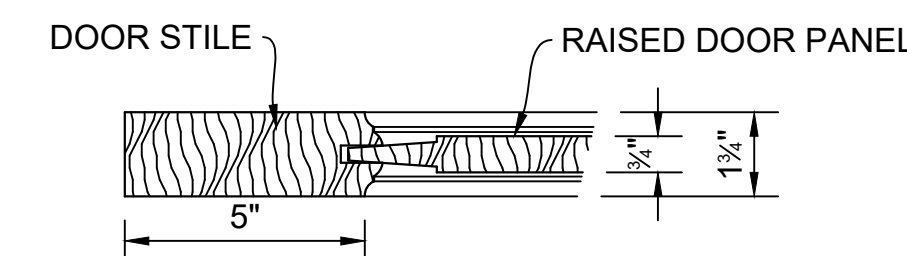
## 2.1 MATERIALS

- A. Exterior Stile and Rail Wood Doors:
1. Manufacturers: Simpson doors.
  2. Thickness: 1-3/4 inches thick exterior.
  3. Grade: Premium.
  4. Frames: Wood.
  5. Species: Douglas Fir.
  6. Finish: Opaque.

## PART 3 EXECUTION

### 3.1 INSTALLATION

- A. Comply with NWMA I.S. 1A and specified quality standard.
- B. Prefit doors to frames. Premachine doors for hardware. Factory bevel doors.
- C. Install doors with not more than 1/8 inch clearance at top and sides, 1/4 inch at bottom. Adjust, clean, and protect.



APPROVED

Montgomery County

Historic Preservation Commission

*Karen Benoit*

**REVIEWED**  
By Laura DiPasquale at 3:56 pm, Apr 30, 2025

$$1/4 = 1' - 0''$$



FLOATATION COMPUTATIONS

HEIGHT OF HOLDING TANK  
# ASSUMED HOLDING TANK IS EMPTY #  
TOTAL HEIGHT OF HOLDING TANK = 11,000 LBS  
HEIGHT OF SOIL OVER TANK  
# ASSUMED AVERAGE COVER OVER TANK IS 2.0 FT #  
# ASSUMED UNIT WEIGHT OF COMPACTED SOIL IS 100 LB / FT³ #  
SOIL = (156 IN)(61 IN)(24 IN) / 1,728 IN³(100 LBS / FT³) = 17,550 LBS  
TOTAL HEIGHT OF SOIL = 17,550 LBS  
TOTAL HEIGHT OF TANK + SOIL = 36,550 LBS

HEIGHT OF DISPLACED WATER  
# ASSUMED WATER LEVEL IS AT TOP OF STRUCTURE #  
WATER = (156 IN)(61 IN)(24 IN) / 1,728 IN³(62.4 LBS / FT³) = 30,116 LBS  
TOTAL HEIGHT OF DISPLACED WATER = 30,116 LBS

FLOTATION RESISTANCE (30,116 LBS) < HEIGHT OF HOLDING TANK + SOIL (36,550)  
ADDITIONAL CONCRETE IN HOLDING TANK IS NOT NECESSARY.

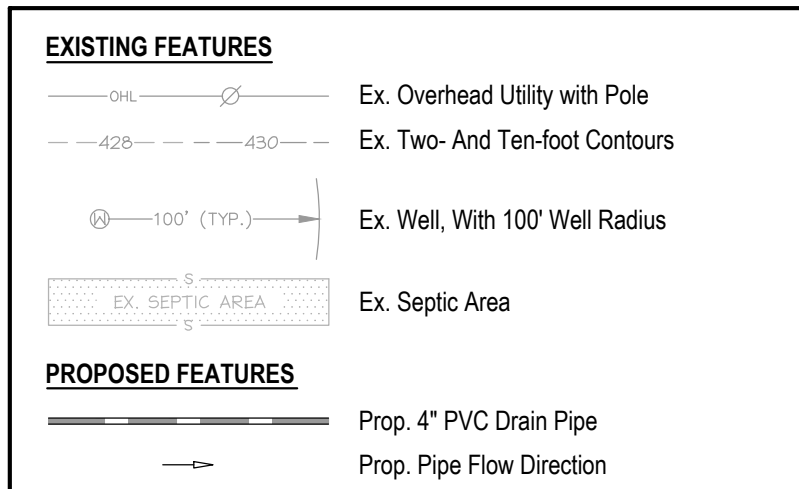
HOLDING TANK VOLUME COMPUTATIONS

HOLDING TANK VOLUME REQUIRED  
400 GPD (COMMERCIAL MINIMUM PER COPAR 26.04.02.05.J)  
NUMBER OF DAYS REQUIRED TO HOLD WASTE FLOW = 7 (PER EXEC. REG 26-48A1)  
TOTAL VOLUME REQUIRED = (7 DAYS)(400 GPD) 2,800 GALLONS  
TOTAL VOLUME REQUIRED = 2,800 GALLONS

HOLDING TANK VOLUME PROVIDED

NUMBER OF HOLDING TANKS = 2  
VOLUME OF HOLDING TANK NO. 1 = (148 IN)(73 IN)(48 IN) / 1 GALLON / 231 IN³ = 2,246 GALLONS  
VOLUME OF HOLDING TANK NO. 2 = (148 IN)(73 IN)(31 IN) / 1 GALLON / 231 IN³ = 1,824 GALLONS  
TOTAL VOLUME PROVIDED = 4,064 GALLONS

LEGEND



UTILITY INFORMATION

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.  
FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET FOR MORE INFORMATION. IF ANY WORK IN THE VICINITY OF THE EXISTING UTILITY IS REQUIRED, THE EXISTING UTILITY COMPANIES MUST BE NOTIFIED. THE EXISTING UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO COMMENCING EXCAVATION. THE EXISTING UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO COMMENCING EXCAVATION. THE EXISTING UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO COMMENCING EXCAVATION.

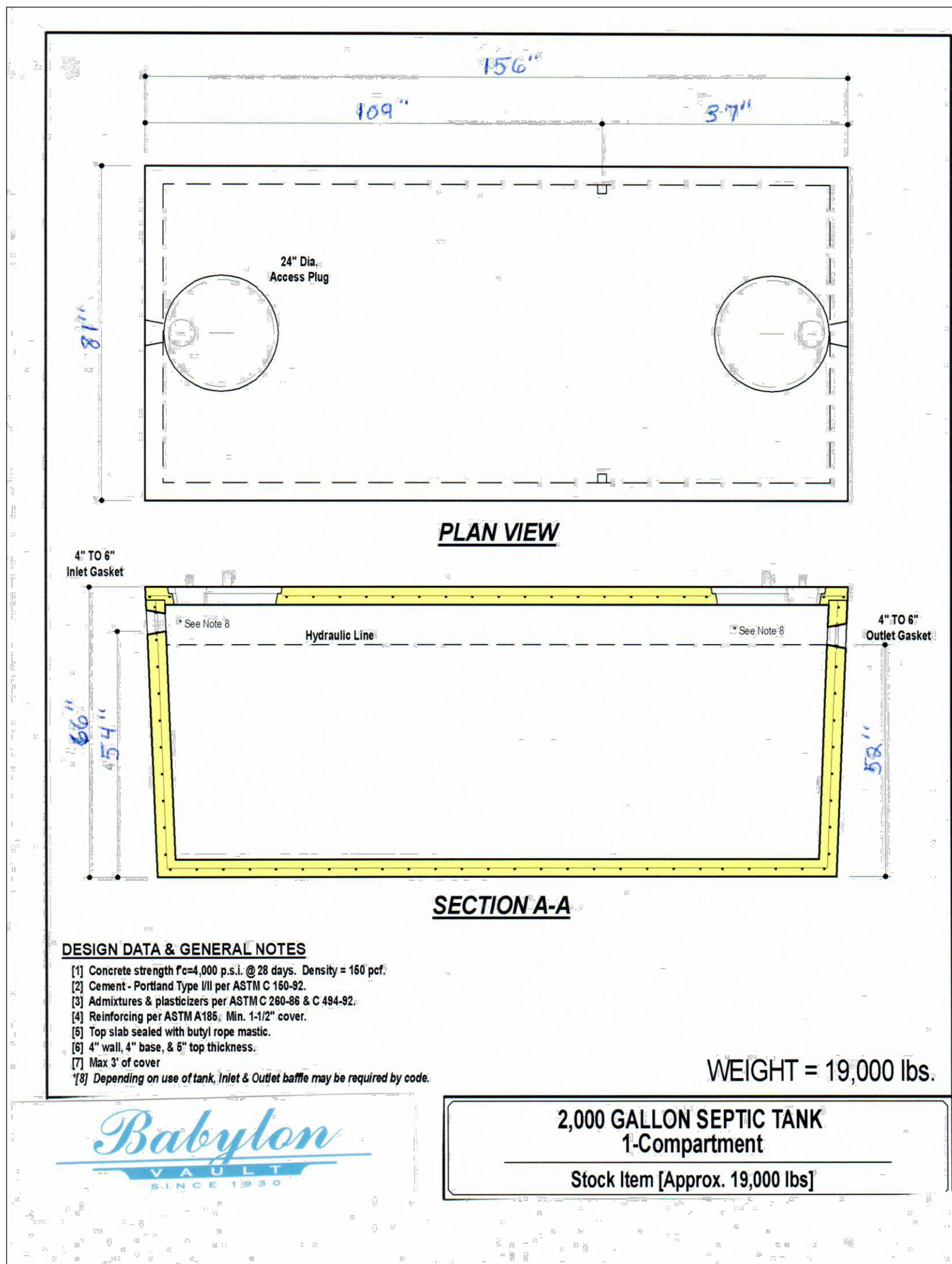
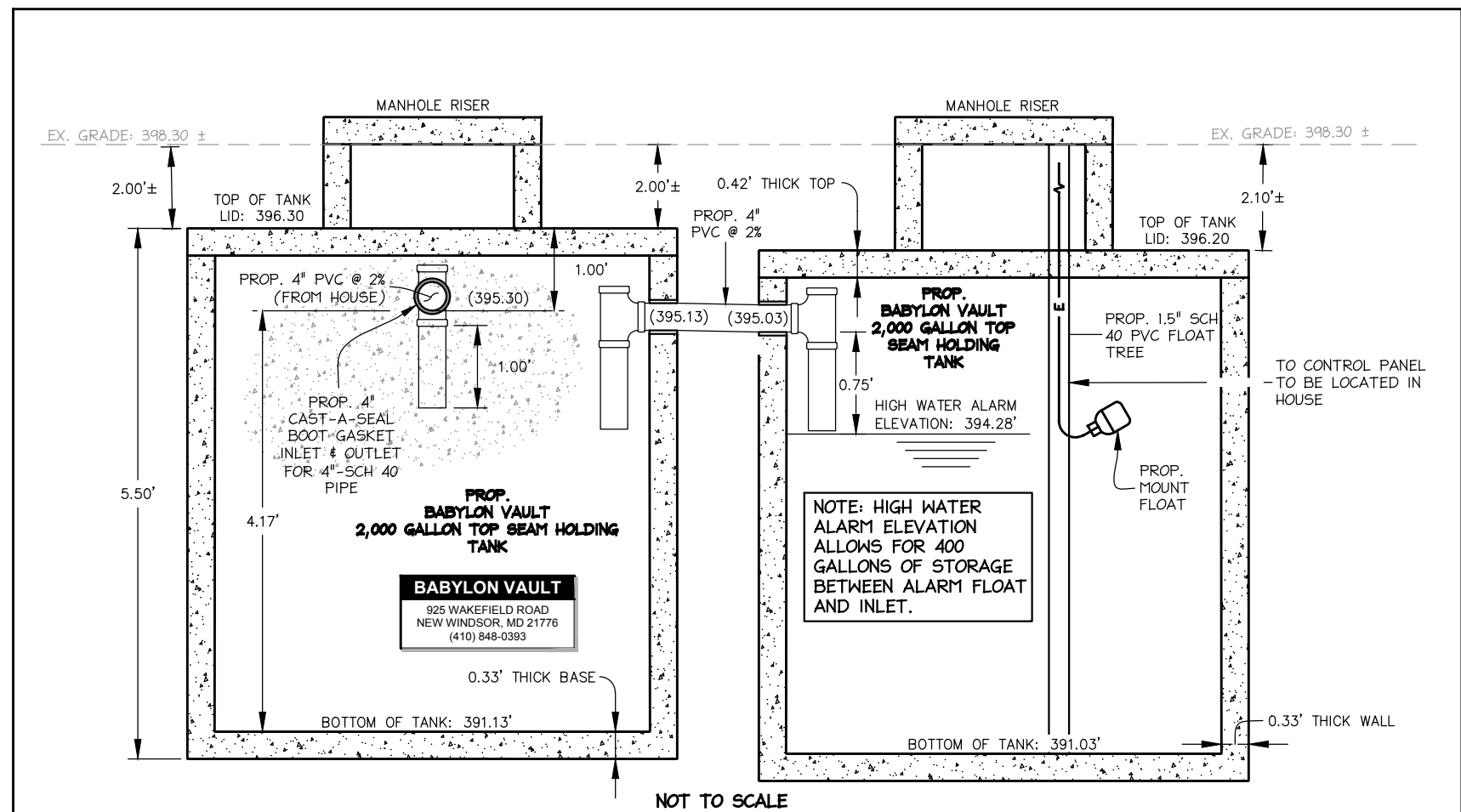
GENERAL NOTES

- Boundary information and two-foot contour data are based upon available land records and MNCPPC aerial topography, flown in 2020.
- Total lot area: Parcel P919 = 43,506 sq. ft. (0.999 acres)
- Property is located on Tax Map BU and WSSC 200' Sheet 226N1W22.
- Soil type(s): Z3A, Croton Silt Loam, HSG "D"; G3B, Corvallis and Bucks Soil, HSG "B"; C"; H3A, Hbier Silt Loam, HSG "D".  
Source: National Resource Conservation Service (NRCS) Soil Data Mart, a part of the National Soil Information System.
- Flood zone "X" per F.E.M.A. Firm Maps, Community Panel Number 24031C0140D.
- Property is located in the Potomac Watershed (I-P).
- Water Category - 6, Sewer Category - 6
- Local utilities include:  
Water / Sewer - Private Facilities  
Electric - Potomac Edison  
Telephone - Verizon  
Gas - Washington Gas
- Property is not located in a Special Protection Area.
- Property is located on the Warren Methodist Episcopal Church Historical Site.
- This plan was created without the benefit of a title report.
- Property is located in R-200 Zone.

WELL & SEPTIC NOTES

- All wells and septic systems within 100' of the subject property have been shown on the plan.
- Water Category - 6, Sewer Category - 6
- Property utilizes private water systems and private sewage systems.
- Topographic information is based upon available MNCPPC aerial topography, flown in 2020.
- This plan is a sewage disposal permit for holding tanks.

HOLDING TANK SYSTEM PROFILE



WEIGHT = 19,000 lbs.

2,000 GALLON SEPTIC TANK  
1-Compartment  
Stock Item [Approx. 19,000 lbs]

REVIEWED

By Laura DiPasquale at 3:55 pm, Apr 30, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Kara Bunk

THIS PLAN IS FOR A  
SEWAGE DISPOSAL PERMIT  
FOR HOLDING TANKS

OWNER/APPLICANT  
Warren Historic Site, Inc.  
Attn: Elsie Thomas  
22625 Whites Ferry Road  
Dickerson, MD 20842  
(301) 972-7263  
kianacierra@verizon.net

22625 Whites Ferry Road  
Parcel P919, Johns Delight  
Holding Tank Design Plan  
Sewage Disposal Permit No.: XXXXXX

CAS JOB NO.: 24-814  
DATE: 01/2025

DATE REVISION

DATE	REVISION

VICINITY MAP  
ADC MAP 5043, GRID E-4, SCALE: 1" = 200'

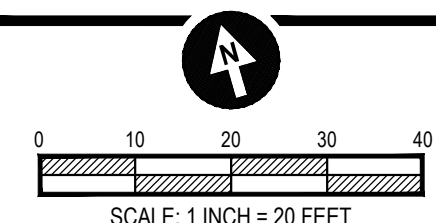
Parcel P919, Johns Delight  
Liber 19401 at Folio 252 Recorded 07/10/2001  
Poolesville (3rd) Election District, Montgomery County, MD

22625 Whites Ferry Road  
Dickerson, Maryland 20842

CAS  
ENGINEERING

CAS ENGINEERING-MD  
10 South Bentz Street  
Frederick, Maryland 21701  
301-507-8031 Phone  
info@casengineering.com  
www.casengineering.com

CAS ENGINEERING-DC, LLC  
1001 Connecticut Avenue, NW, Suite 401  
Washington, DC 20036  
202-393-7200 Phone  
info@cas-dc.com  
www.cas-dc.com



SHEET TITLE:

HTP 1

1 OF 1