



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

Date: April 9, 2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Devon Murtha
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1112262 - Vent installation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** by HPC Staff.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Brian Levy
Address: 7129 Maple Avenue, Takoma Park, MD

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Devon Murtha at 301-495-1328 or devon.murtha@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: _____ at: _____

submitted on: _____

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

e proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by Devon Murtha on _____. The approval memo and stamped drawings follow.



APPLICATION FOR
HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:

HAWP# _____

DATE ASSIGNED _____

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? ☐ Yes/District Name _____

☐ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

☐ New Construction

☐ Deck/Porch

☐ Shed/Garage/Accessory Structure

☐ Addition

☐ Fence

☐ Solar

☐ Demolition

☐ Hardscape/Landscape

☐ Tree removal/planting

☐ Grading/Excavation

☐ Roof

☐ Window/Door

☐ Other: _____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

LEVY-BHATTACHARYYA INTERIOR RENOVATIONS

7129 MAPLE AVE. TAKOMA PARK, MD 20912

Parcel/Tax Account #: 01076642



PROJECT TEAM

PROPERTY OWNER
Bidisha Bhattacharyya + Brian Levy
7129 Maple Ave
Takoma Park, MD 20912
202-247-5106

ARCHITECT OF RECORD
W. William Hutchins
7108 Holly Ave
Takoma Park, MD 20912
301-404-5578

STRUCTURAL ENGINEER
Norton Consulting Engineers
5718 Nottingham Place
Adamstown, MD 21710
240-393-3672

CONTRACTOR
TBD

DRAWING INDEX

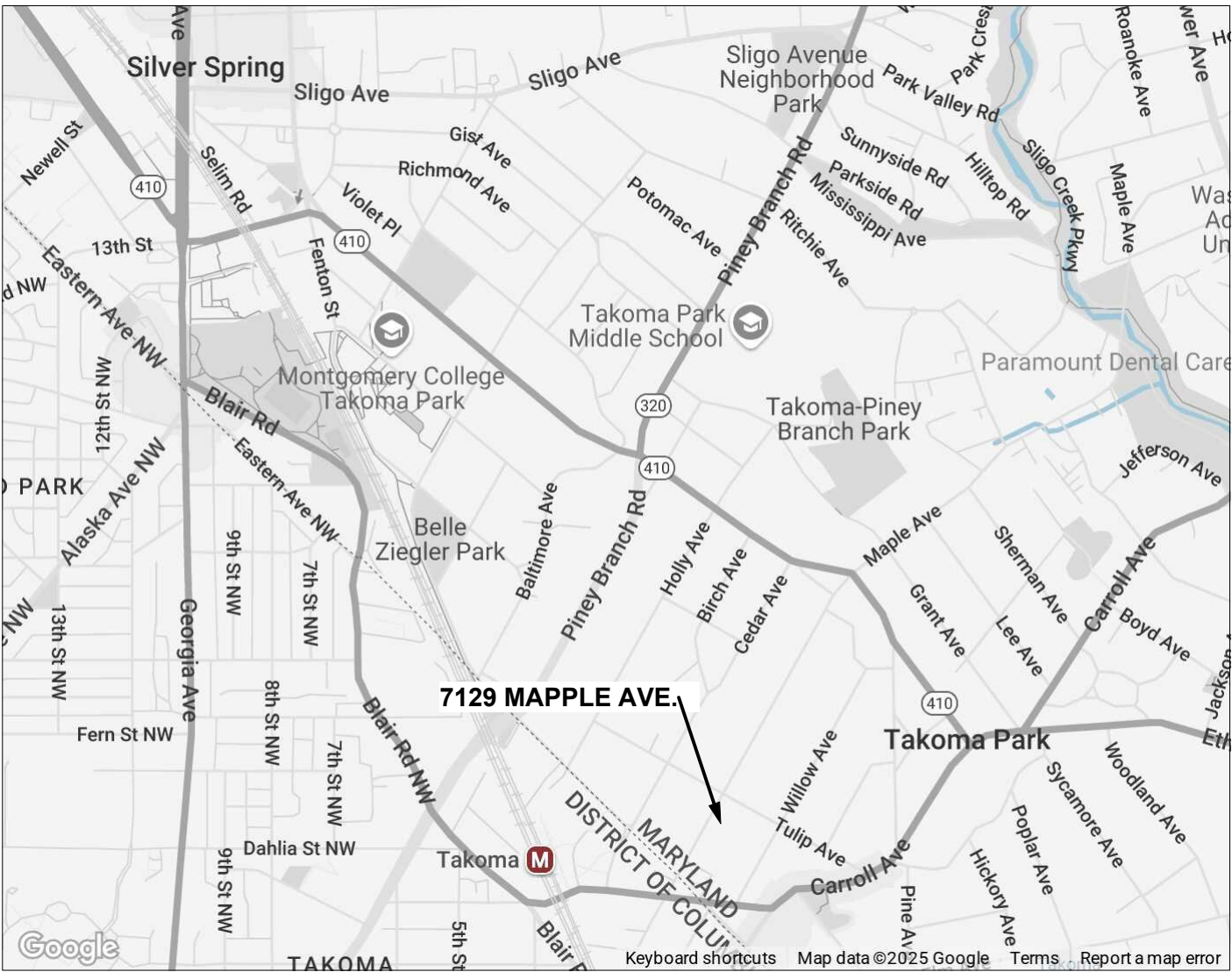
CS	COVER
C-1.0	SURVEY + SITE PLAN
D-1.0	DEMOLITION PLANS
A-1.0	ARCHITECTURAL PLANS
MEP-1.0	MEP PLANS

PROJECT INFORMATION

PROJECT DESCRIPTION
INTERIOR RENOVATION LEVEL 1. REMOVE INTERIOR WALLS (LOAD BEARING AND NON-LOAD BEARING); RECONFIGURE KITCHEN; RE-LOCATE EXISTING FULL BATH.

APPLICABLE CODES
MARYLAND BUILDING PERFORMANCE STANDARDS (MBPS); 2018 I.C.C. CODES, + 2017 NATIONAL ELECTRIC CODE (NFPA70)
SEE www.aacounty.org/inspections-and-permits/building-codes

ZONING DISTRICT	R-60
HISTORIC DISTRICT	TAKOMA PARK HISOTRIC DISTRICT



VICINITY MAP

ELEMENT
DESIGN + BUILD

1422 VARNUM ST N.W.,
WASHINGTON, DC 20011
202-436-0956

LEVY-BHATTACHARYYA
RENOVATION
7129 Maple Ave
Takoma Park, MD 20912

DRAWING LOG:
Schematics: 02/23/25
DD: 03/10/25
Permit (draft): 03/16/25

DATE:
03/16/25

SHEET INFO:
Cover Sheet
Project Info.

SHEET #:

CS

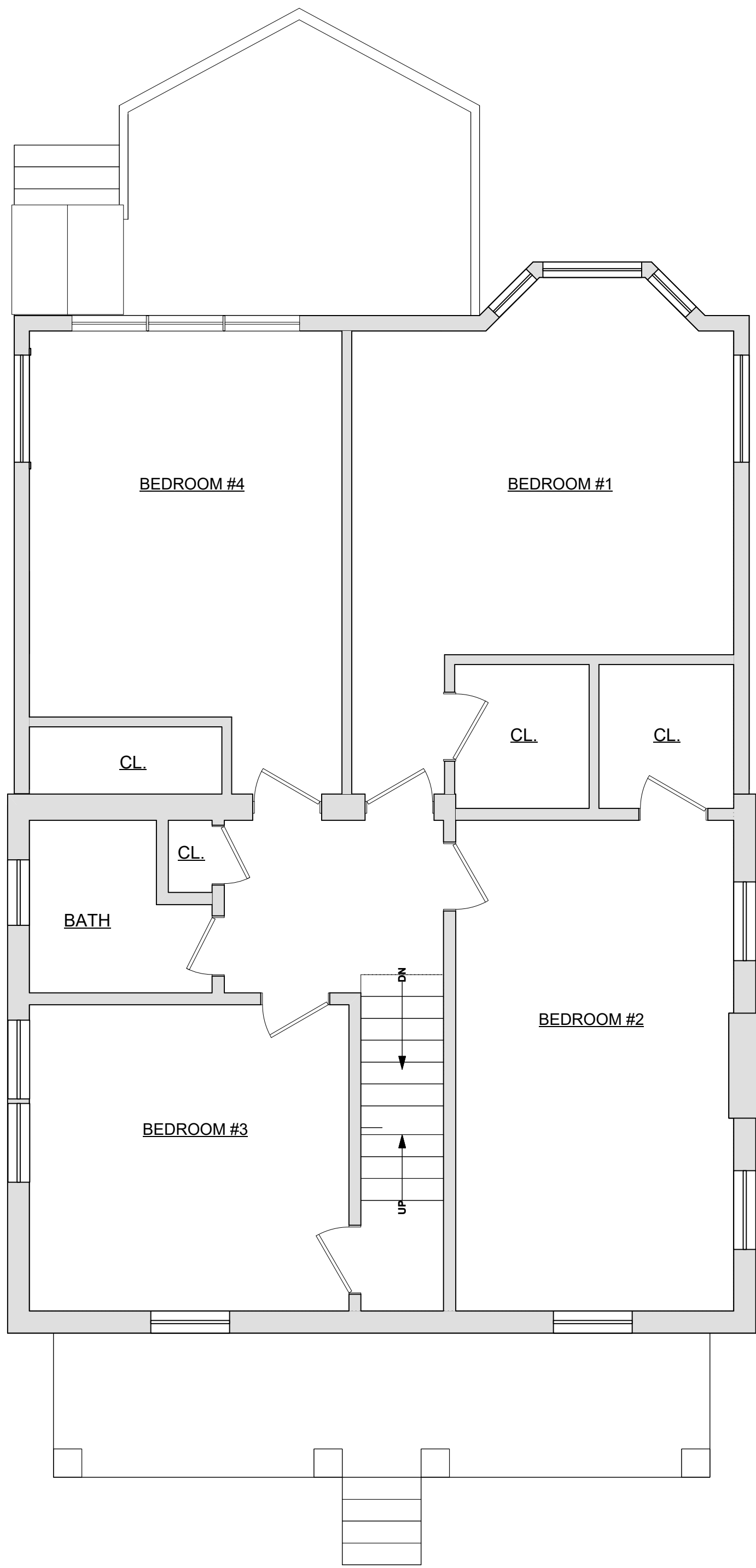
LEVY-BHATTACHARYYA
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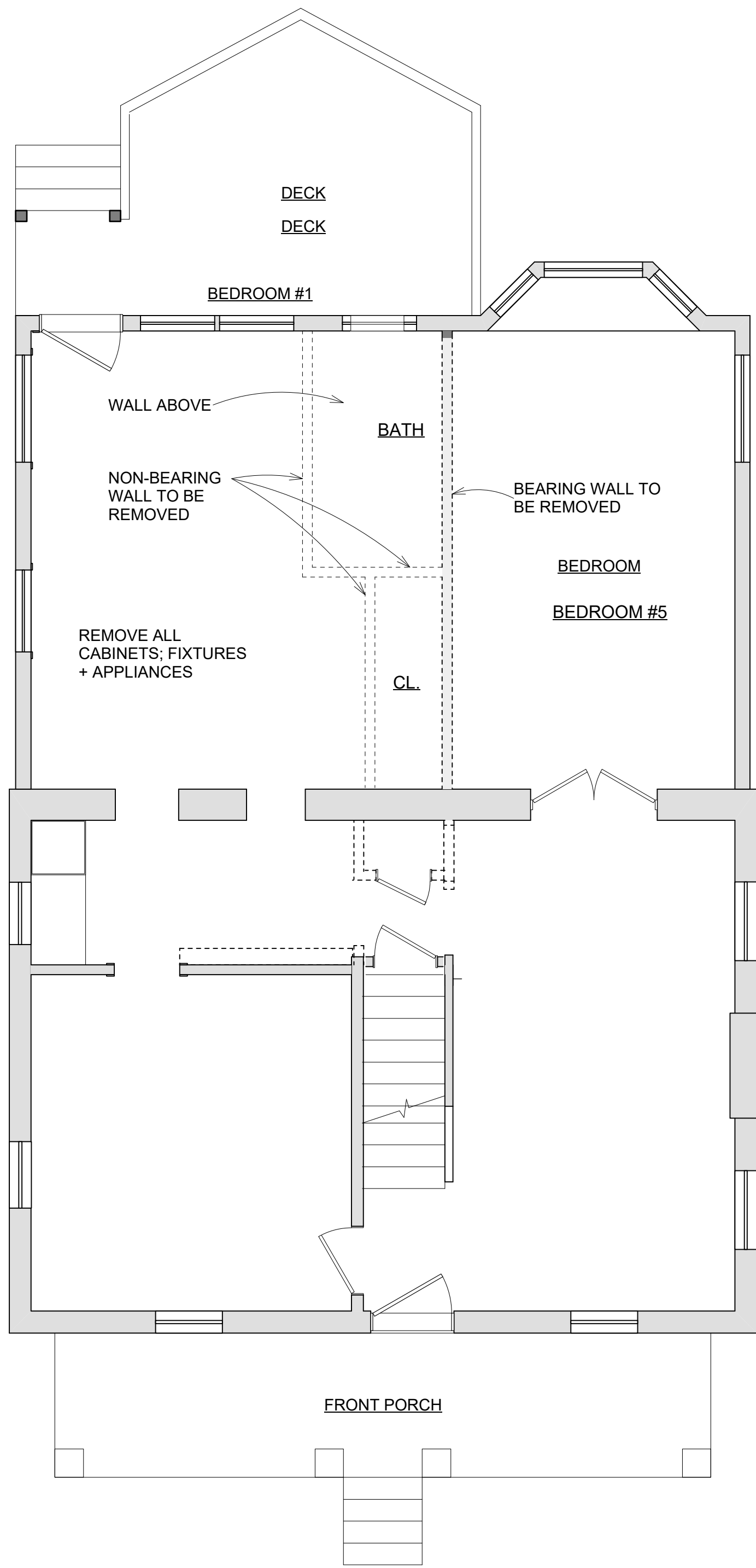
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SHEET INFO:
Demolition Plans

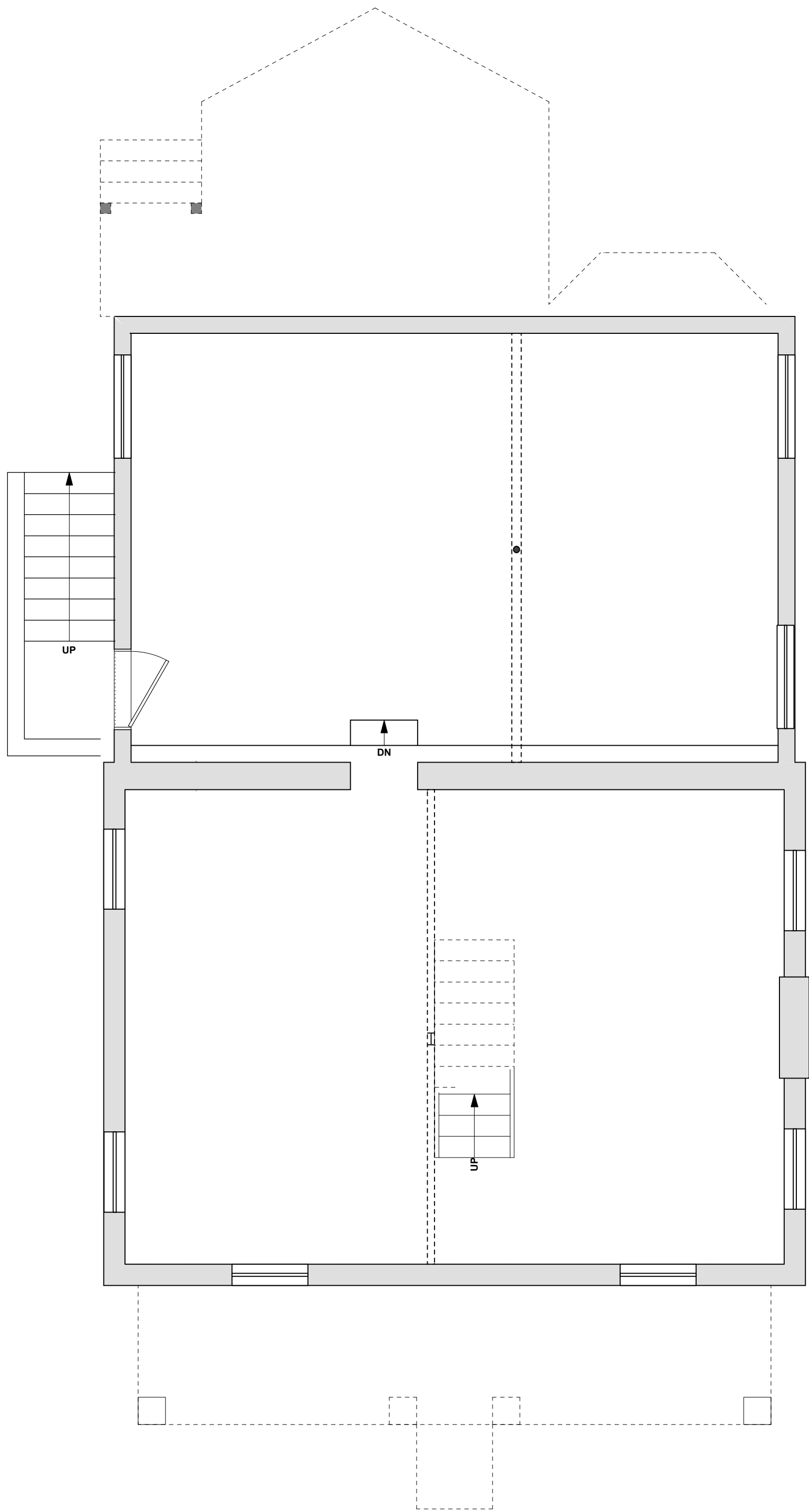
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D-1.0



C LEVEL 2 DEMO PLAN
SCALE 1/4"=1'-0"



B LEVEL 1 DEMO PLAN
SCALE 1/4"=1'-0"



A BASEMENT - DEMO PLAN
SCALE 1/4"=1'-0"

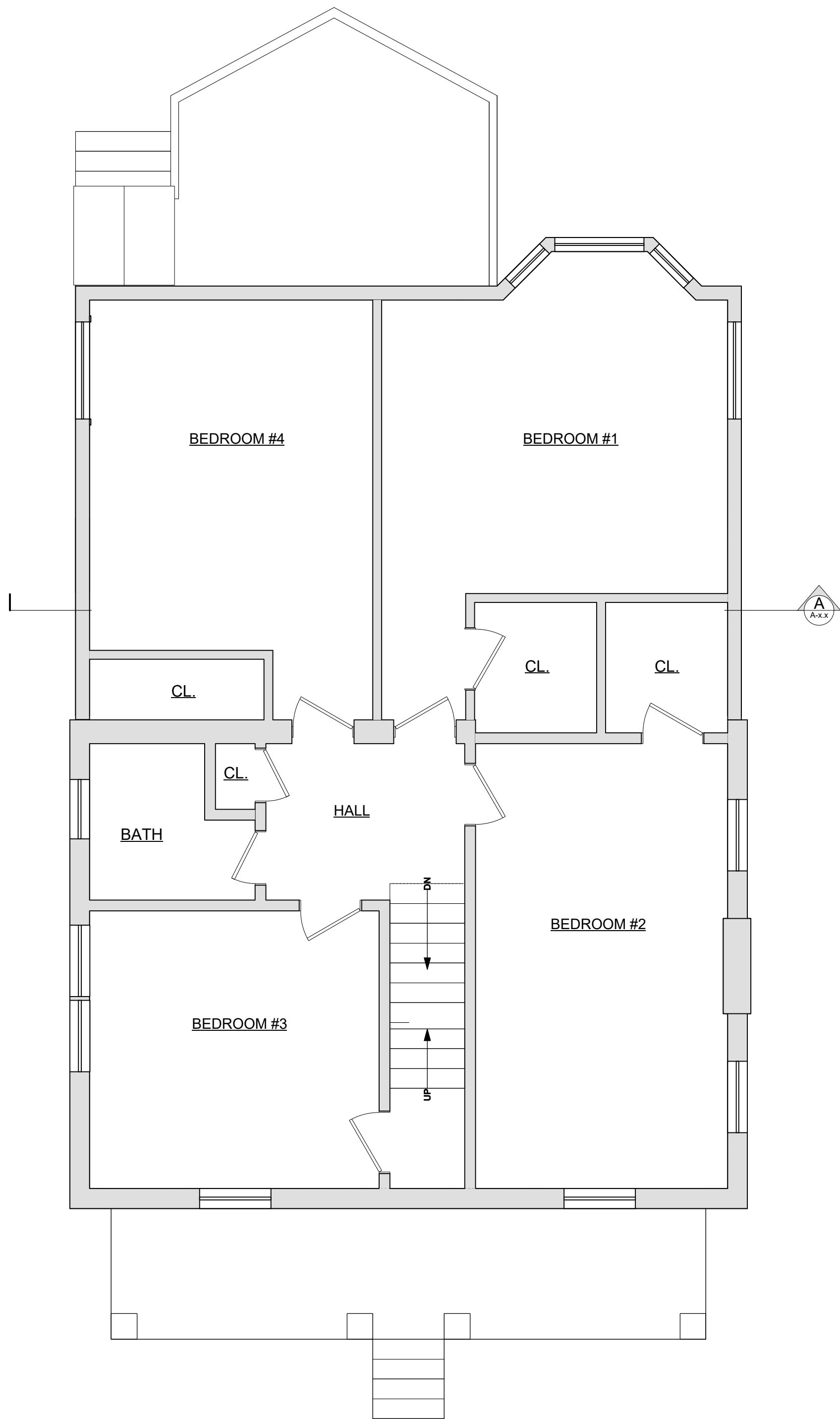
LEVY-BHATTACHARYYA
RENOVATION
7129 Maple Ave
Takoma Park, MD 20912

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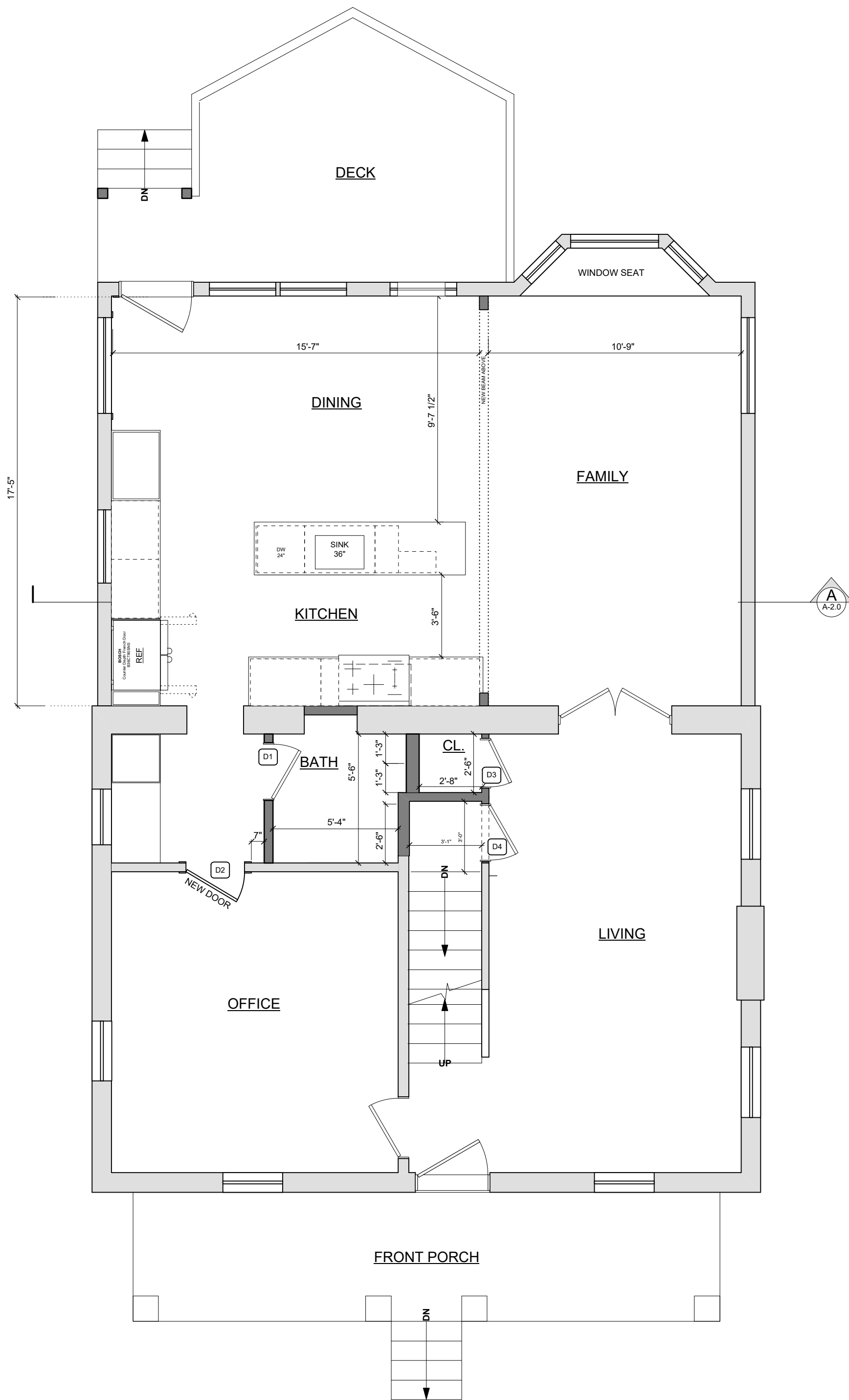
DATE:
03/16/25

SHEET INFO:
Proposed
Architectural Plans

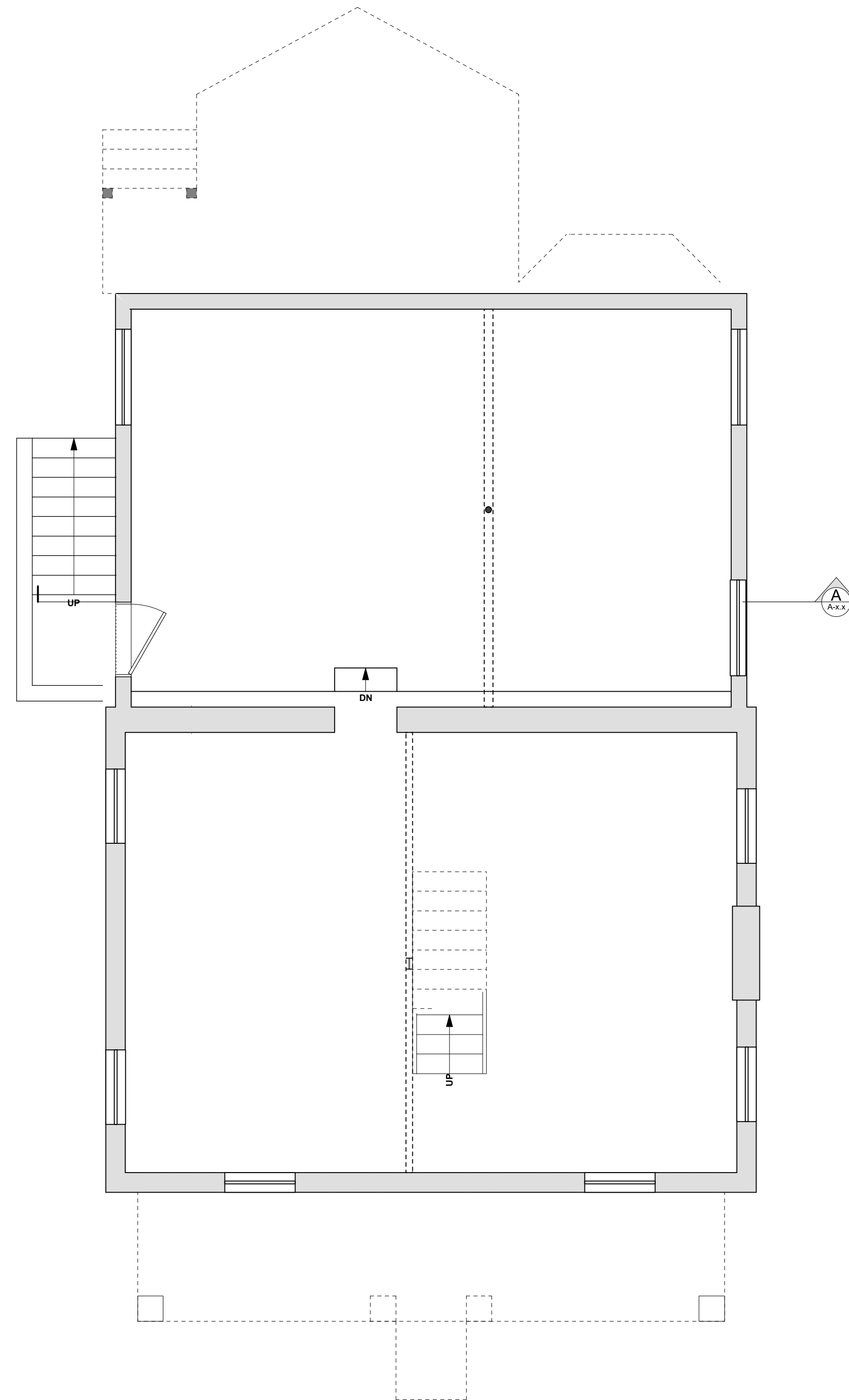
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A-1.0



C PROPOSED LEVEL 2 PLAN
SCALE 1/4"=1'-0" 0 1 2 3 4 5 NORTH



B PROPOSED LEVEL 1 PLAN
SCALE 1/4"=1'-0" 0 1 2 3 4 5 NORTH



A PROPOSED BASEMENT PLAN
SCALE 1/4"=1'-0" 0 1 2 3 4 5 NORTH

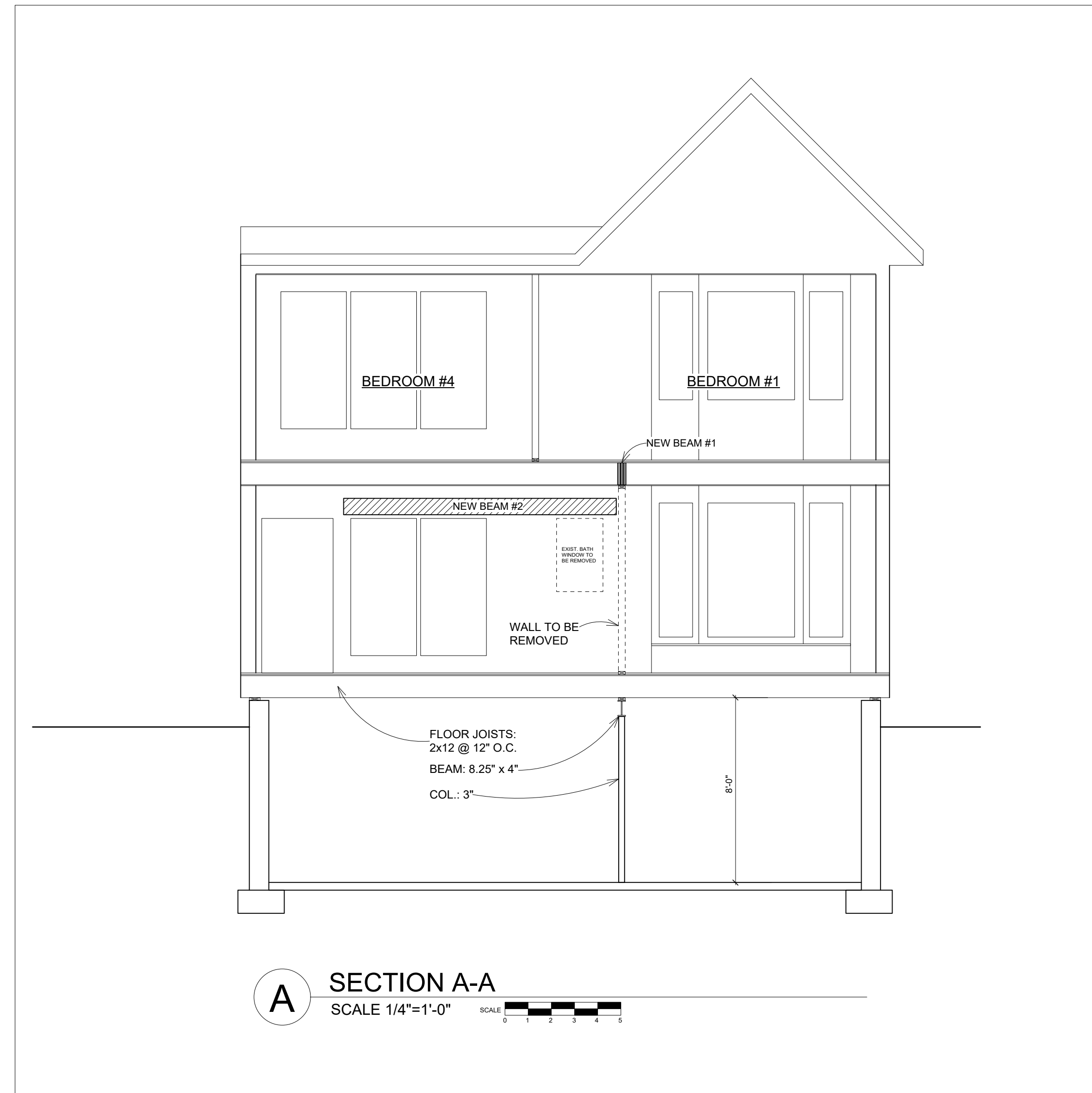
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RENOVATION
7129 Maple Ave
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DRAWING LOG:
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DD: 03/10/25
Permit (draft): 03/16/25

DATE:
03/16/25

SHEET INFO:
Building Section
Exterior Elevation

SHEET #:
A-2.0



7129 Maple Ave
Takoma Park, MD 20912

Permit (draft): 03/16/25

03/16/25

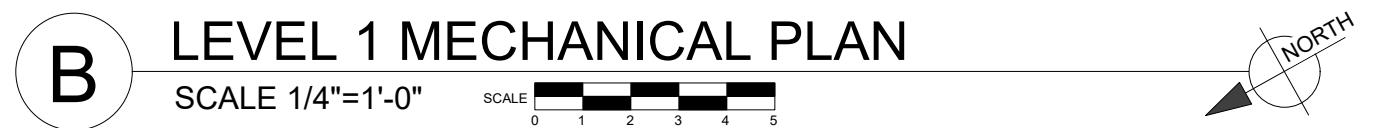
Electrical Plan
Mechanical Plan
Plumbing Plan

MEP-1.0








PLUMBING KEY

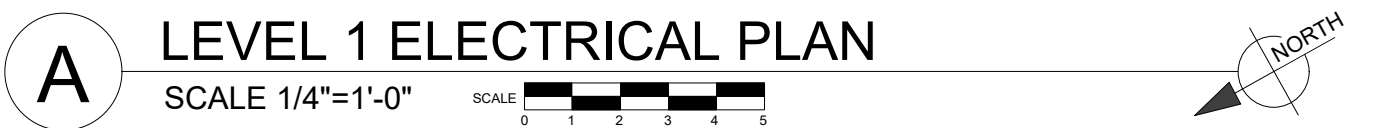
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2. x
3. x
4. x























MECHANICAL KEY

	FLOOR REGISTER, EXISTING
	FLOOR REGISTER, NEW
	FLOOR REGISTER, DEMO
	FLOOR REGISTER, DEMO
	DUCT

1. ALL RE-ROUTED EXHAUST DUCT WORK TO MAINTAIN ORIGINAL SIZE AND NUMBER OF BENDS.
2. VENTS AND EXHAUSTS SHALL BE PROVIDED WITH APPROVED TERMINATION KIT.
3. VENTS AND EXHAUSTS SHALL BE LOCATED MIN. 10 FT. FROM MECHANICAL OUTSIDE AIR INTAKE.
4. EXHAUST TERMINATIONS TO BE AT LEAST 3 FEET FROM ANY GRAVITY AIR INTAKE OPENINGS, OPERABLE WINDOWS, AND DOORS.
5. FOR RANGE HOODS OVER 400 CFM, PROVIDE MAKE UP AIR.
MD MECH CODE: 505.4 Makeup Air Requirement - Exhaust hood systems capable of exhausting in excess of 400 CFM shall be provided with makeup air at a rate approximately equal to the exhaust air rate. Such makeup air systems shall be equipped with a means of closure and shall be automatically controlled to start and operate simultaneously with the exhaust system.



ELECTRICAL KEY

	STANDARD DUPLEX & RECEPTACLE CENTER AT 16' A.F.F. UNLESS NOTED OTHERWISE
	GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE @ 16' A.F.F. UNLESS NOTED OTHERWISE
	DUPLEX RECEPTACLE - 1/8\"
	DUPLEX RECEPTACLE - 1/2\"
	SURFACE OUTLET
	FLOOR OUTLET
	SINGLE POLE SWITCH WALL MOUNT AT 48\" A.F.F. UNLESS NOTED OTHERWISE
	SINGLE POLE SWITCH WALL MOUNT AT 48\" A.F.F. UNLESS NOTED OTHERWISE
	SINGLE POLE SWITCH WALL MOUNT AT 48\" A.F.F. UNLESS NOTED OTHERWISE
	THREE WAY DIMMABLE SWITCH WALL MOUNT AT 48\" A.F.F. UNLESS NOTED OTHERWISE
	CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED PENDANT
	WALL MOUNTED BATHROOM FAN
	WALL MOUNTED LIGHT FIXTURE
	WALL MOUNTED SCONCE
	CEILING FAN w/ LIGHT
	SMOKE DETECTOR - HARDWIRED & INTERCONNECTED
	CARBON MONOXIDE - HARDWIRED & INTERCONNECTED
	LOW VOLTAGE TRAC
	LOW VOLTAGE MONO POINT
	MRW RECESSIONED
	RECESSIONED w/ DIRECT R/W
	RECESSIONED w/ CAN & CONDUIT
	SURFACE MOUNTED 1/2\"
	UNDER CABINET

ELECTRICAL NOTES:

1. SMOKE DETECTORS TO BE INSTALLED PER IRC R313.
2. ALL ELECTRICAL EQUIPMENT TO BE UL LISTED + APPROVED.
3. 75% LAMPS IN PERMANENT FIXTURES TO BE HIGH EFFICIENCY.
4. IC-RATED RECESSED LIGHT FIXTURES SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE ≤ 2.0 CFM LEAKAGE AT 75 PA.
5. CONFIRM ALL LIGHT FIXTURE LOCATIONS WITH OWNER PRIOR TO ROUGH WIRING



existing
range hood
fan (no
change)

proposed 4"
exterior bath vent

