



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

Date: May 1, 2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Devon Murtha
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1113502 - Roof replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** by HPC Staff.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Elizabeth Baer
Address: 7200 Maple Avenue, Takoma Park, MD

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Devon Murtha at 301-495-1328 or devon.murtha@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: 1113502 at: 7200 Maple Avenue, Takoma Park, MD

submitted on: 4/17/2025

has been reviewed and determined that the proposal fits into the following category/categories:

☐ Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

☐ Installation of vents or venting pipes in locations not visible from the public right-of-way;

☐ New gutters and downspouts;

☐ Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

☐ Removal of accessory buildings that are not original to the site or non-historic construction;

☐ Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

☐ Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

☒ Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

☐ Installation of storm windows or doors that are compatible with the historic resource or district;

☐ Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

☐ Construction of fences that are compatible with the historic site or district in material, height, location, and design;

☐ Fence is lower than 48" in front of rear wall plane;

☐ Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

☐ Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

☐ Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

☐ Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

☐ Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

☐ Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

☐ Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

☐ Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

☐ Replacement tree required as a condition; and,

☐ Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by Devon Murtha on 5/1/2025. The approval memo and stamped drawings follow.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

This is a 2-story Craftsman-style house, built in 1923, located in the Takoma Park Historic District, at the corner of Maple and Tulip Avenues. The house had a 1990s rear-porch addition, which is in process of being removed as part of a renovation project and replaced with a new rear addition (Montgomery County permit #995193).

Description of Work Proposed: Please give an overview of the work to be undertaken:

This application is for work we already completed, not realizing a HAWP was required. We repaired several portions of the roof of the primary house and ultimately replaced the entire roof with asphalt architectural shingle, including roofing over the front sun porch (facing Maple Ave.) as well as the small roof over the entrance (facing Tulip Ave.). We initially planned to repair problematic areas, but in the course of repair, determined the roof should be replaced in its entirety. We also added new roofing to the addition (of the same kind). The integrity of the underlying structure is improved and roof shingle has been replaced before installing a new solar array (Montgomery County permit #1055354).



REVIEWED

By Devon.Murtha at 1:16 pm, May 01, 2025

Work Item 1: Roof replacement

Description of Current Condition:

We had experienced roof leaks into our attic in a few areas and observed rotting wood on the underside of overhangs, as well as failing paint. When we purchased the house, the inspection report also noted several areas in need of repair. As roof repairs were taking place, we determined it was best to simply replace the entire roof to be sure all rotting wood was addressed and because the roof was nearer to the end of its expected life than we realized. Existing roof was 3-tab asphalt shingle.

Proposed Work:

We replaced areas where rotting wood was observed, repaired chimney flashing, and replaced all shingle with architectural asphalt shingle.

Shingle product is CertainTeed Landmark PRO in color Max Def Colonial Slate. Technical specification sheet is attached.

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

APPROVED

Montgomery County

Historic Preservation Commission

Karen B. Smith

REVIEWED

By Devon.Murtha at 1:16 pm, May 01, 2025

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



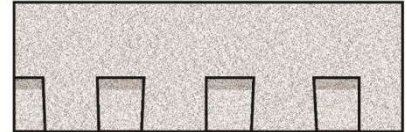
REVIEWED

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Landmark® PRO Shingles

PRODUCT INFORMATION

Landmark® PRO shingles reflect the same high manufacturing standards and superior warranty protection as the rest of CertainTeed's line of roofing products. Landmark PRO (and Algae Resistant-AR) are built with the industry's toughest fiber glass mat base, and their strict dimensional tolerance assures consistency. Complex granule color blends and subtle shadow lines produce a distinctive color selection. Landmark PRO is produced with the unique NailTrak® nailing feature.



Landmark PRO algae-resistant (AR) shingles are algae-resistant and help protect against dark or black discoloration, sometimes called staining or streaking, caused by blue-green algae (*gloeocapsa magma*). AR shingles are not available in all regions.

Colors: Please refer to the product brochure or CertainTeed website for the colors available in your region.

Limitations: Use on roofs with slopes greater than 2" per foot. Low-slope applications (2:12 to < 4:12) require additional underlayment. In areas where icing along eaves can cause the back-up of water, apply CertainTeed WinterGuard® Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

Product Composition: Landmark PRO shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. Two pieces of the shingle are firmly laminated together in a special, tough asphaltic cement. All Landmark shingles have self-sealing adhesive strips.

Applicable Standards

ASTM D3018 Type I
ASTM D3462
ASTM E108 Class A Fire Resistance
ASTM D3161 Class F Wind Resistance
ASTM D7158 Class H Wind Resistance
UL 790 Class A Fire Resistance

ICC-ES ESR-1389 and ESR-3537
CSA Standard A123.5 (Regional)
Miami-Dade Product Control Approved (Regional)
Florida Product Approval # FL5444
Meets TDI Windstorm Requirements
UL 2218 Class 3 Impact Resistance
(at time of manufacture)

Technical Data:

	Landmark PRO (and AR)
Weight/Square (approx.)	231 to 240 lb *
Dimensions (overall)	13 1/4" x 38 3/4"
Weather Exposure	5 5/8"
Shingles/Square (approx.)	66
Bundles per square	3
Coverage per square	100 square feet

*Dependent on manufacturing location. Weight per 100 square feet



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INSTALLATION

Detailed installation instructions are supplied on each bundle of Landmark PRO shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

Hips and Ridges: For capping hip and ridge apply CertainTeed Shadow Ridge®, Cedar Crest® or Mountain Ridge® shingles of a like color.

MAINTENANCE

These shingles do not require maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

WARRANTY

Landmark PRO (and AR) shingles carry a lifetime limited, transferable warranty to the consumer against manufacturing defects when applied to stated CertainTeed application instructions for this product. In addition, Landmark PRO (and AR) shingles carry up to 10-years of SureStart™ Protection. Landmark PRO AR shingles carry a 30-year algae resistance warranty if installed with CertainTeed Hip and Ridge Accessories mentioned above. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at www.certainteed.com).

TECHNICAL SUPPORT

Technical Service Department: 800-345-1145

e-mail: RPG.T.Services@saint-gobain.com

FOR MORE INFORMATION

Customer Experience Team: 800-233-8990

e-mail: gethelp@saint-gobain.com

Web site: www.certainteed.com

CertainTeed

20 Moores Road
Malvern, PA 19355

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By Devon.Murtha at 1:16 pm, May 01, 2025

APPLICATION NARRATIVE:

a. Very briefly describe your property. (Example: 1920s bungalow with a 1960s garage and 1980s porch addition). Include a front façade photo of the property as well as an overall photo of the area in which work was completed.

This is a 2-story Craftsman-style house, built in 1923, located in the Takoma Park Historic District, at the corner of Maple and Tulip Avenues. The house had a 1990s rear-porch addition, which is in process of being removed as part of a renovation project and replaced with a new rear addition (Montgomery County permit #995193).



Side elevation, from Tulip Ave.



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By Devon.Murtha at 1:16 pm, May 01, 2025



View from corner of Maple Ave. & Tulip Ave.

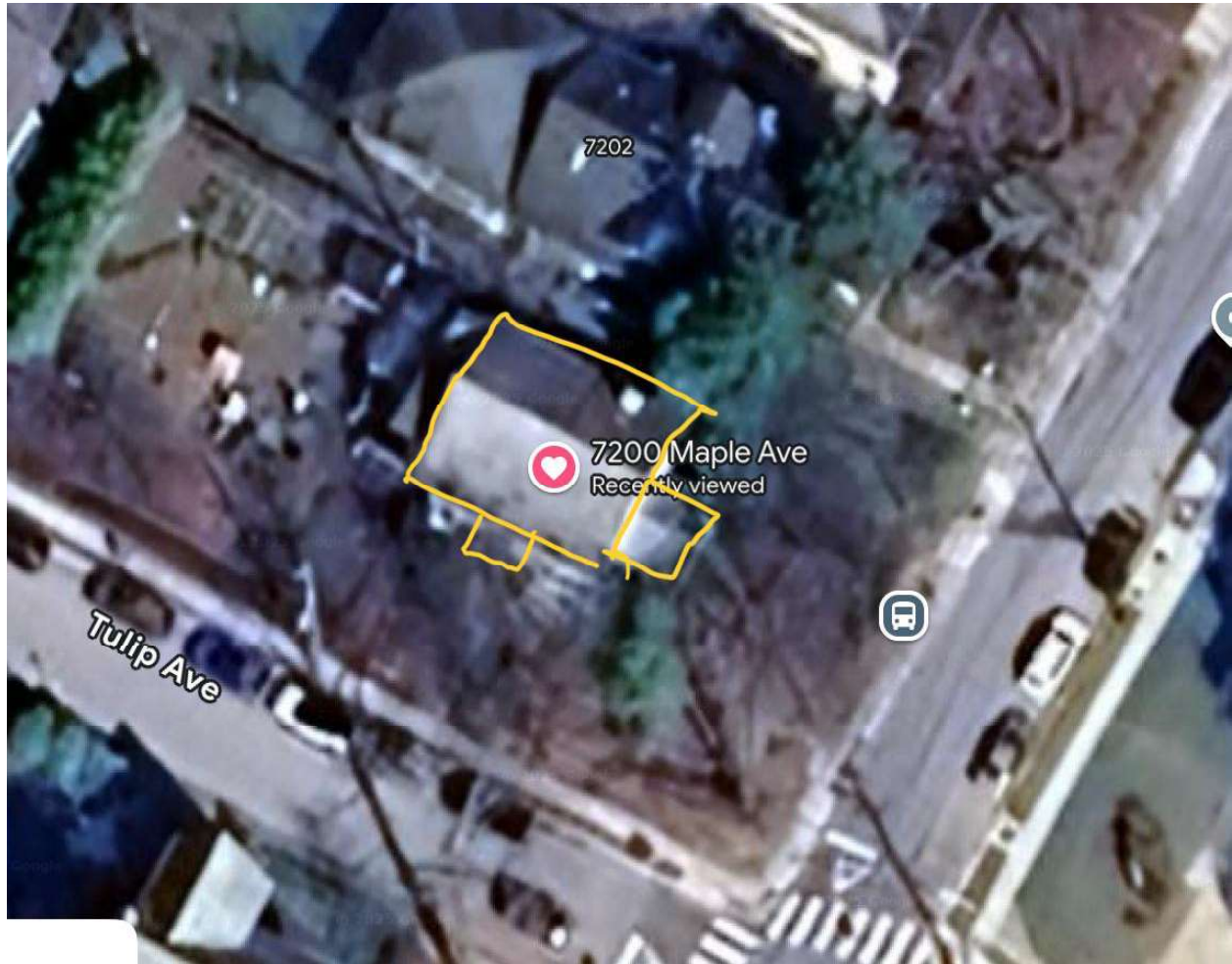
b. What portion of the property does this project affect? (Ex: worked on the side porch, located on the north façade of the house)

We repaired several portions of the roof of the primary house and ultimately replaced the entire roof in-kind, including roofing over the front sun porch (facing Maple Ave.) as well as the small roof over the entrance (facing Tulip Ave.). We initially planned to repair problematic areas, but in the course of repair, determined the roof should be replaced in-kind, but that is not part of the project.



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Portion of roof that was replaced

c. What rehabilitation/maintenance problem were you trying to solve? (i.e. roof leaking, paint failing, etc.)

We had experienced roof leaks into our attic in a few areas and observed rotting wood on the underside of overhangs, as well as failing paint. When we purchased the house, the inspection report also noted several areas in need of repair. As in-kind repairs were not feasible, we determined it was best to simply replace the entire roof to be safe and because the roof was nearer to the end of its life span.

d. What materials or design were in place before you undertook the project? (For example, design refers to the dimensions or location of a feature. For example, if you replaced one inch muntins and you repaired them with new one inch muntins, the muntin and the profile are design features characteristic of the house. If you repaired your board and batten garage with new boards of the same material, you preserved the garage's integrity of design).



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The existing roof was not original, but was asphalt shingle with an estimated 20-year life span.

e. What materials or design are currently in place after you completed the project?

We replaced the roof in-kind with asphalt shingle.

f. Did you attempt to restore a missing feature that was in place historically? If so, what types of documentation did you use to accomplish this? (Examples of acceptable documentation include historic photographs, historic letters or diary entries, evidence uncovered on the building itself, and other primary source documentation).

No.

g. (Optional Question) Did this approach solve the rehabilitation problem? (Note: answering this question allows us to better serve our preservation consumers. Consider helping other homeowners out by giving us an honest assessment of what you did and whether you might do it differently in the future. A negative experience WILL NOT prevent you from receiving the county historic preservation tax credit).

Yes. The integrity of the underlying structure is improved and roof shingle has been replaced before installing a new solar array (Montgomery County permit #1055354).

h. If your project has more than one major rehabilitation effort, then include a narrative for each rehabilitation effort. Include Before and After photos for each project(s).

REMEMBER: your application must be clear regarding what you did, why you did it, to what portion of the property, what materials or design was there before, and what is there now.



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“BEFORE” PHOTOS:



Google Earth image of roof before work was completed



Sub-standard repairs made to old roof where leaking had occurred (atop old shingles)

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

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By Devon.Murtha at 1:16 pm, May 01, 2025



Shingles and failing flashing at Maple Ave. end of sun porch roof



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Montgomery County
Historic Preservation Commission

Karen Buelit

Shingles and failing flashing at Maple Ave. end of sun porch

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One of several "nail pops" observed

Poorly installed flashing at chimney



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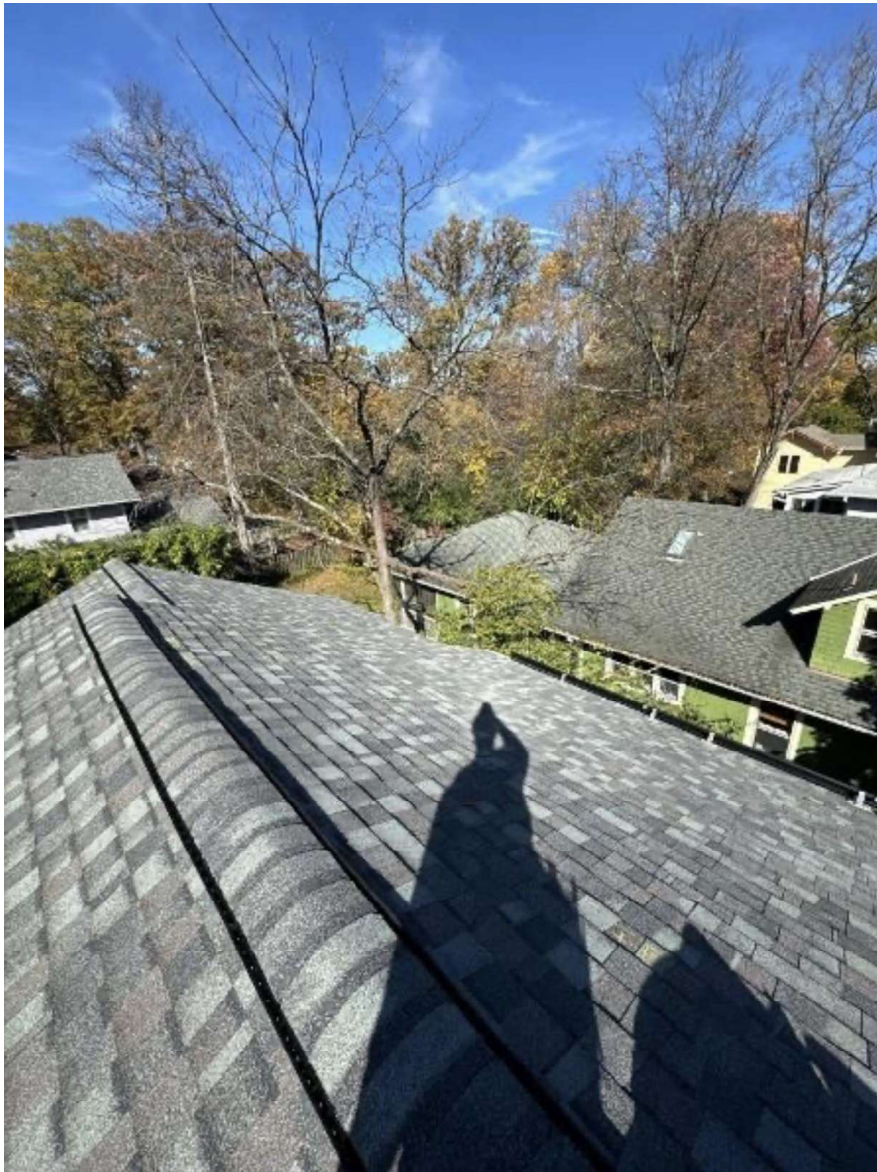
Karen Buelit

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“AFTER” PHOTOS:

All photos show finished roof condition before installation of solar arrays



APPROVED

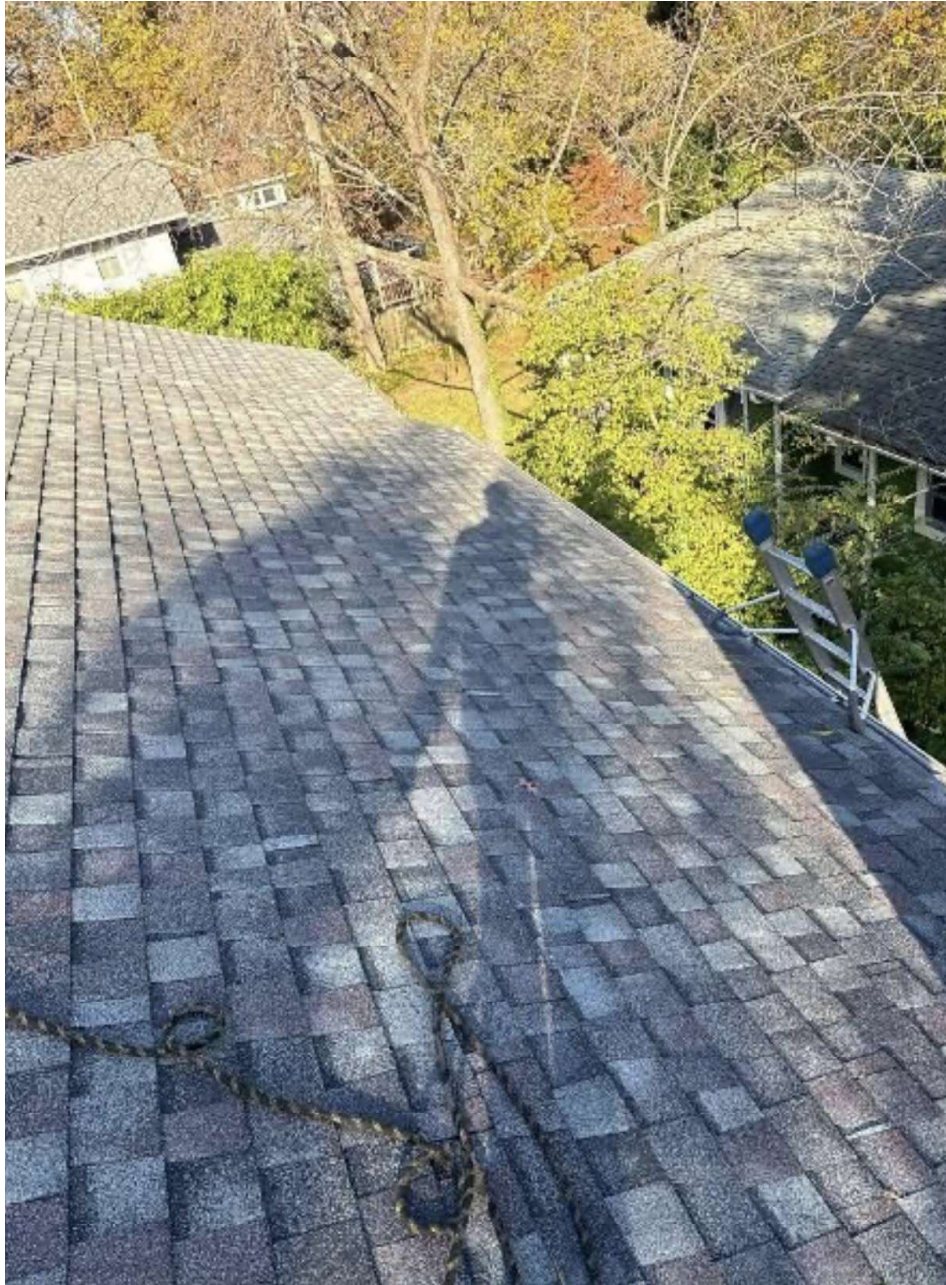
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