



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

Date: 6/5/2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services
FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission
SUBJECT: Historic Area Work Permit #1114601 - Fence Installation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the May 28, 2025 HPC meeting.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Rebecca and Rob Nicholas
Address: 5918 Cedar Parkway, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Dan Bruechert at 301-563-3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.

GENERAL NOTES

- Boundary information and two-foot contour data are based upon surveys performed by CAS Engineering, dated September, 2023.
- Total lot area: Parcel 620 = 34,374 sq. ft. (0.789 acres) per SDAT.
- Property is located on Tax Map HN341 and WSSC 2007 Sheet 208NW04.
- Property is located on Sols Survey Map Number 27.
Soil type(s): 1C, Galia Silt Loam, HSC "B",
ZUC, Glenelg-Urban land complex, HSG "B".
- Flood zone "X" per F.E.M.A. Firm Maps, Community Panel Number 24031C0455D.
- Property is located in the Little Falls Branch Watershed, Use Class I.P.
- Water Category - 1, Sewer Category - 1
- Local utilities include:
Water / Sewer - Washington Suburban Sanitary Commission
Electric - PEPCO
Telephone - Verizon
Gas - Washington Gas
- Property is not located in a Special Protection Area.
- Property is located in the Chevy Chase Village Historic District.
- Property is located in the incorporated municipality of Chevy Chase Village.
- This plan was created without the benefit of a title report.

ZONING DATA

- Zoning: R-60**
Minimum Lot Area = 6,000 sq ft
Minimum Lot Width at R/W = 25 ft
Minimum Lot Width at B.R.L. = 60 ft
Front B.R.L. = 25 ft (Per CCV & MoCo) (1)(2)
Rear B.R.L. = 20 ft min. (Per CCV & MoCo) (1)
Side B.R.L. = 7 ft min. (Per CCV & MoCo) (4)(5)(6)
[1] Per Montgomery County Code Section 4-4.1.A.1, the established building line only applies to new buildings and does not apply to an alteration or addition to an existing building.
[2] Per Chevy Chase Village Code Section 8-16(c), no structure of any description shall be erected within twenty-five (25) feet of the front lot line of any lot.
[3] Per Chevy Chase Village Code Section 8-16(h), no part of any main building shall be erected within twenty (20) feet of the rear lot line of the property upon which it is located.
[4] Per Montgomery County Code Section 7-7.1.D.2.c, a detached house on a platted lot, parcel, or part of a previously platted lot that has not changed in size or shape since June 1, 1958, exclusive of changes due to public acquisition, may be constructed or reconstructed in a manner that satisfies the maximum building height, lot coverage and established building line of its zone when the building permit is submitted and the side yard and rear setback required by its pre-1958 zoning in effect when the lot, parcel or part of a lot was first created.
[5] This property was created prior to January 1, 1954, therefore 7 foot side setbacks are permitted.
[6] Per Chevy Chase Village Code Section 8-16(g), no part of any building or structure shall be erected or maintained within seven (7) feet of the side or rear lot lines, not within ten (10) feet of the nearest adjacent dwelling, provided, however, that externally attached gutters shall not be considered part of any building or structure for purposes of this subsection (see Sec. 8-19.)

- Verify (Non-Infill) lot coverage in accordance with the Montgomery County Zoning Ordinance.**

Coverage is the area of a lot or site occupied by a building, including an accessory building, structured parking, or other roofed structure such as a porch, patio, deck, or steps.

Coverage does not include paved areas such as a driveway, a pedestrian walkway, a bay window measuring 10 feet in width or less and 3 feet in depth or less, an uncovered porch or patio, deck, a swimming pool, or roof overhang.

Allowable Lot Coverage: 35% of total lot area.

Parcel 620 = 34,374 sq. ft.

34,374 x 0.35 = 12,030.9 sq. ft.

Allowable area to be covered by buildings = 12,030.9 sq. ft.

Total Area Covered by Buildings = 4,888.1 sq. ft.

- Verify lot coverage in accordance with the Chevy Chase Village Ordinance, Section 8-16(m).**

Per Chevy Chase Village: Lot coverage is the portion of a lot which is covered by buildings, accessory buildings, and raised structures such as covered and uncovered porches, balconies, and docks, covered and uncovered steps, stairways, and steps, and bay and bow windows. Lot coverage does not include: (1) eaves, gutters, and similar overhangs; and (2) features that are not raised such as walkways, patios, terraces, driveways, swimming pools and tennis courts.

Allowable lot coverage 35% of total lot area.

Parcel 620 = 34,374 sq. ft.

34,374 x 0.35 = 12,030.9 sq. ft.

Allowable area to be covered by buildings = 12,030.9 sq. ft.

Total Area Covered by Buildings = 5,698.1 sq. ft.

LEGEND

| EXISTING FEATURES | |
|-------------------|--------------------------------|
| | Ex. Storm Drain with Manhole |
| | Ex. Sewer Line with Cleanout |
| | Ex. Sewer Manhole and Invert |
| | Ex. Water Line with Valve |
| | Ex. Gas Line with Valve |
| | Ex. Overhead Utility with Pole |
| | Ex. Downspout Pipe and Spilled |
| | Ex. Underground Utility Line |
| | Ex. Two- and Ten-foot Contours |
| | Ex. Spot Elevation |
| | Ex. Chain Link or Wire Fence |
| | Ex. Wood or Stockade Fence |
| | Ex. Retaining Wall |
| | Ex. Drainage Divide |
| | Ex. Soil Line with Soil Types |
| | Ex. Tree |
| | Ex. Tree To Be Removed |

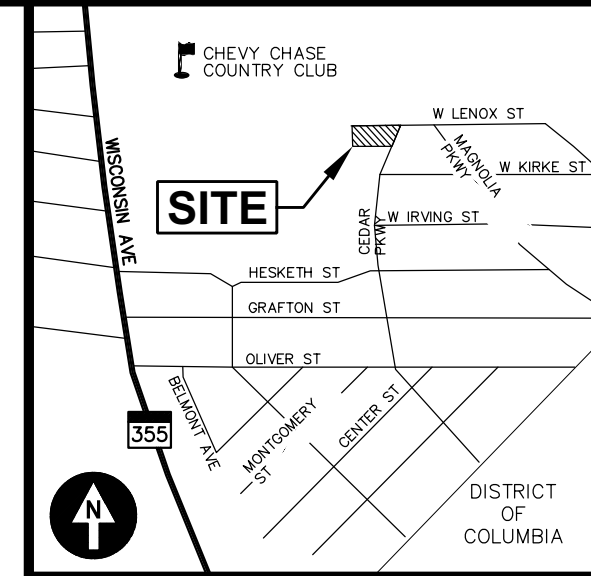
| PROPOSED FEATURES | |
|-------------------|--|
| | Limit Of Disturbance (L.O.D.) |
| | Prop. Contour with Elevation |
| | Prop. Spot Elevation |
| | Prop. Retaining Wall |
| | Prop. 4" PVC Drain Pipe |
| | Prop. Surface Flow Direction |
| | Prop. Pipe Flow Direction |
| | Dry Well with Perforated Pipe Layout, Downspout Leader, Pipe Flow Direction, and Pipe Invert Elevation |

FRONT YARD PARKING AREA COVERAGE

R-60: 35% MAXIMUM
FRONT YARD PARKING AREA: 2,639.9 SF
FRONT YARD AREA: 18,961.2 SF
COVERAGE: 13.9% (< 35%)

UTILITY INFORMATION

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.
FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.AT 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 30A OF THE MONTGOMERY COUNTY CODE.



VICINITY MAP
ADC MAP 5407, GRID G-5, SCALE: 1" = 200'

CAS JOB NO.: 23-0580
DATE: 07/2024

| DATE | REVISION |
|----------|---|
| 05/2024 | LAK: SDA Updated to reflect Initial Plan Review by MCPDS-WRS. |
| 07/01/24 | LAK: BPSP to CDV for 2nd Time Protection Review. |
| 07/11/24 | LAK: BPSP (Prep) 2nd Review. |



PROFESSIONAL ENGINEER CERTIFICATION:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 07000, expiration date 06/04/2025, and that this plan meets MDPS criteria for building and sediment control permit applications.

Parcel 620, Chevy Chase, Section 2
Beltseda (7th) Election District, Montgomery County, MD
5918 Cedar Parkway
Chevy Chase, Maryland 20815

APPROVED
Montgomery County
Historic Preservation Commission

Karen Buelit

REVIEWED

By Dan Bruschert at 4:22 pm, Jun 05, 2025

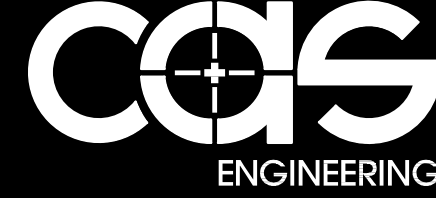
OWNER/APPLICANT

Rebecca Nichols
5918 Cedar Parkway
Chevy Chase, MD 20815
(202) 236-4093 Phone
rebecanichols@yahoo.com

LANDSCAPE ARCHITECT

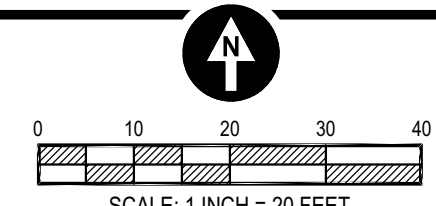
Horn & Company
Angela Koloszar
1408 N. Filmore Street, Suite 17
Arlington, VA 22201
574-283-9512 cell
angela@hornandco.com

5918 Cedar Parkway
Parcel 620, Chevy Chase, Section 2
-- Chevy Chase Village --
Building Permit Site Plan
Building Permit No. 000000



CAS ENGINEERING-MD
10 South Bentz Street
Frederick, Maryland 21701
301-607-8031 Phone
info@caseng.com
www.caseng.com

CAS ENGINEERING-DC, LLC
4836 Massachusetts Boulevard NW, 2nd Floor
Washington, DC 20007
202-393-7200 Phone
info@cas-dc.com
www.cas-dc.com



SHEET TITLE:

Building Permit Site Plan

HORN & C o.

Landscape Architecture
1408 N Fillmore St, Suite 17 Arlington VA 22201
hornandco.com 202 573-7581

Nichols Residence

5918 Cedar Parkway
Chevy Chase, MD 20815

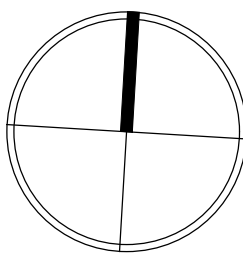
SEAL:



| # | Date: | Description: | BY: |
|----|------------|---------------------------|-----|
| 1 | 2024-02-01 | MASONRY PRICING SET | NB |
| 2 | 2024-03-11 | MASONRY PRICING SET REVS | AK |
| 3 | 2024-03-20 | MASONRY PRICING SET REVS | AK |
| 4 | 2024-04-18 | MASONRY PRICING SET REVS | TM |
| 5 | 2024-05-10 | 90% CONSTR. DOC. SET | AK |
| 6 | 2024-06-11 | 90% CONSTR. DOC. SET | AK |
| 7 | 2024-06-25 | 90% CONSTR. DOC. SET REV. | AK |
| 8 | 2024-07-18 | 90% CONSTR. DOC. SET REV. | AK |
| 9 | 2024-10-02 | 90% CONSTR. DOC. SET REV. | MH |
| 10 | 2024-10-14 | 90% CONSTR. DOC. SET REV. | AK |

All designs and ideas contained in these drawings are the sole property of JHLA. Jennifer Horn Landscape Architecture and are not to be duplicated or put to bid without express written consent. Graphic representations are for illustrative purposes; field adjustments may be made during installation in keeping with the design intent.

North:



DESIGN: JH

DRAFTED: TM

CHECKED: JH

Scale: 1/16" = 1'-0"



Issue Date: 2024-10-14

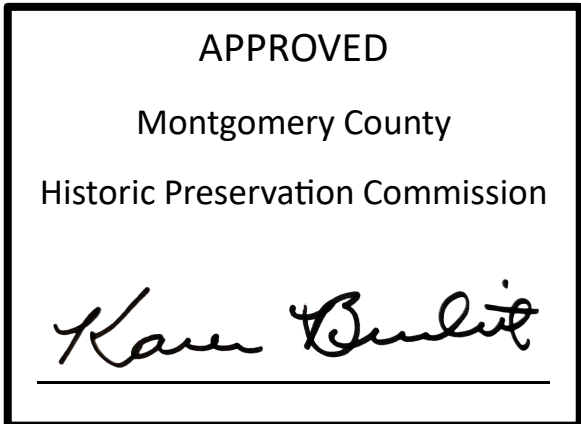
Project No: NICHOLS

MATERIALS PLAN

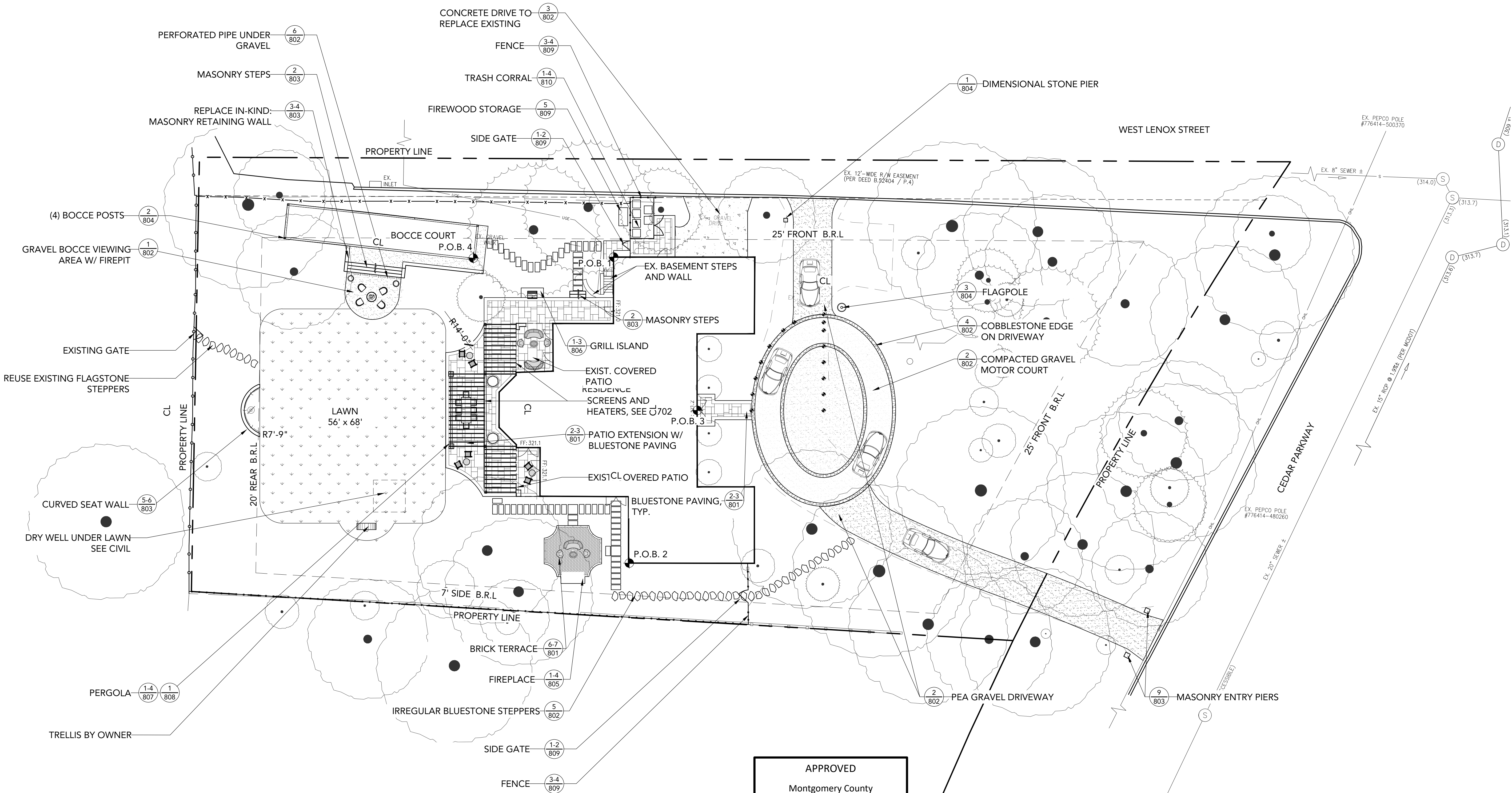
L-203

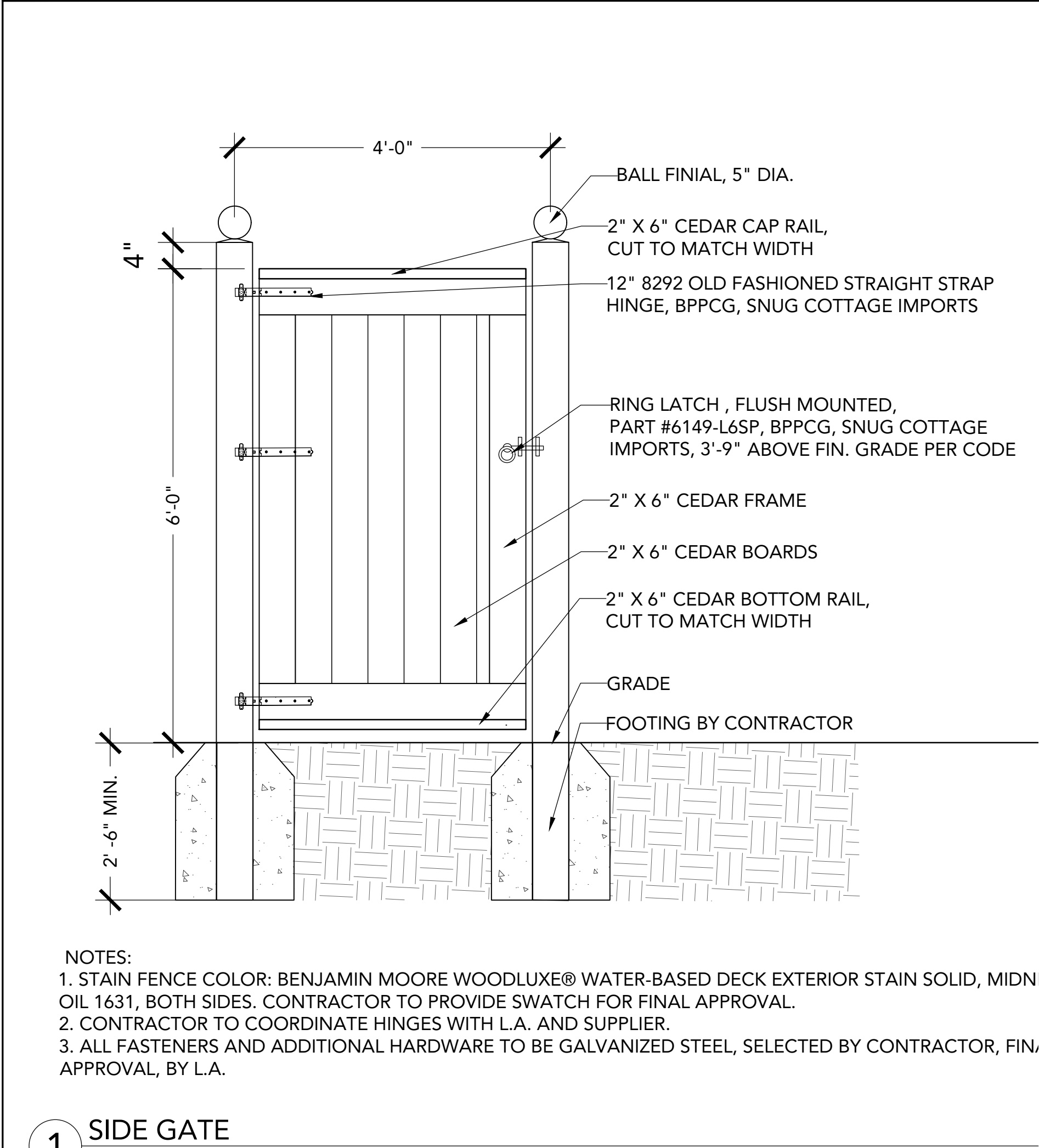
NOTES:

- ALL EXISTING DOOR LOCATIONS ARE APPROXIMATE
- FOR ALL PAVING, CONTRACTOR TO PROVIDE PRICING FOR NATURAL CLEFT SELECT BLUE AND THERMAL
- LARGE BOULDERS FROM EXISTING ADDRESS SIGN TO BE RE-USED, VERIFY WIT L.A.

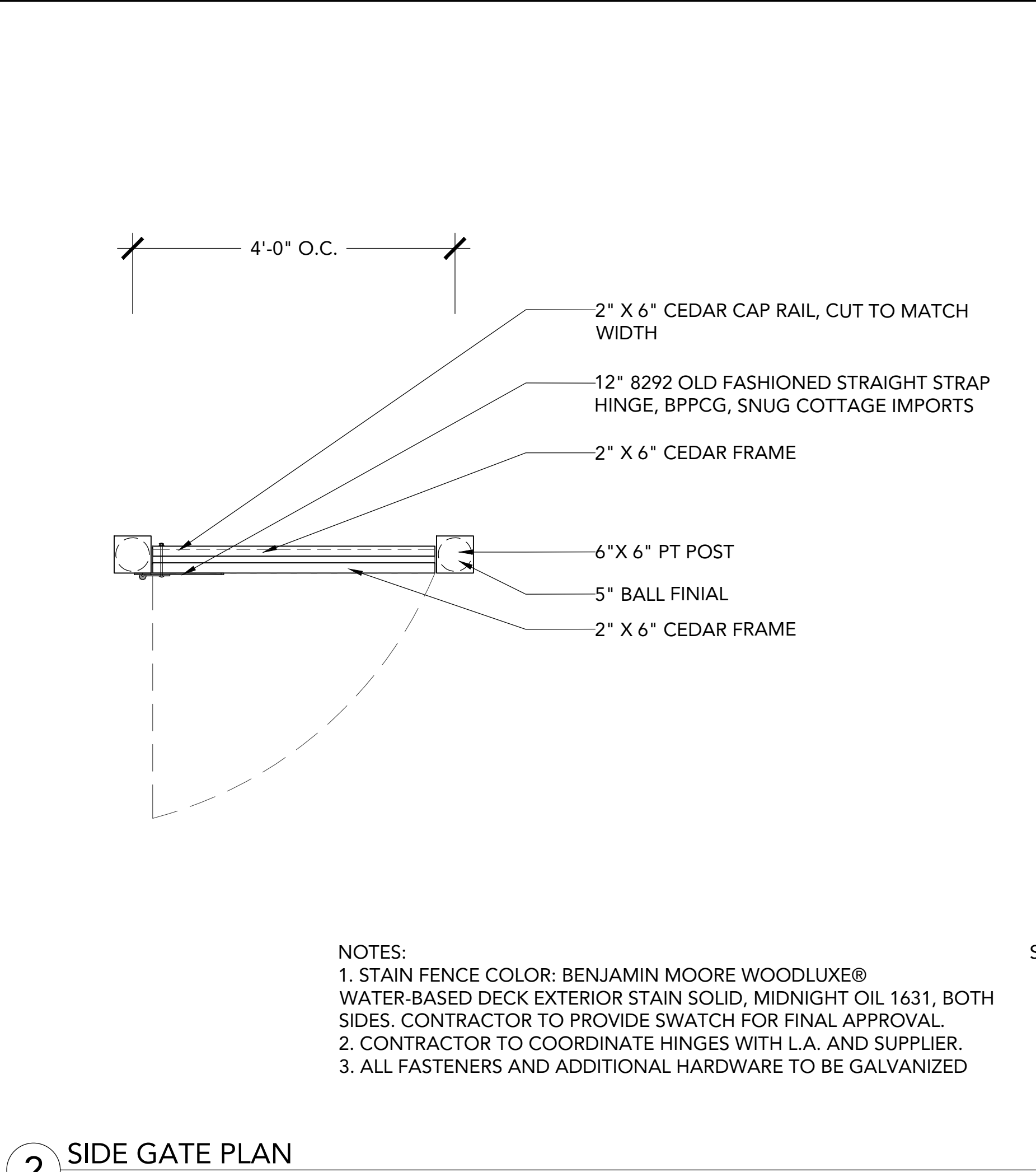


REVIEWED
By Dan Bruechert at 4:22 pm, Jun 05, 2025

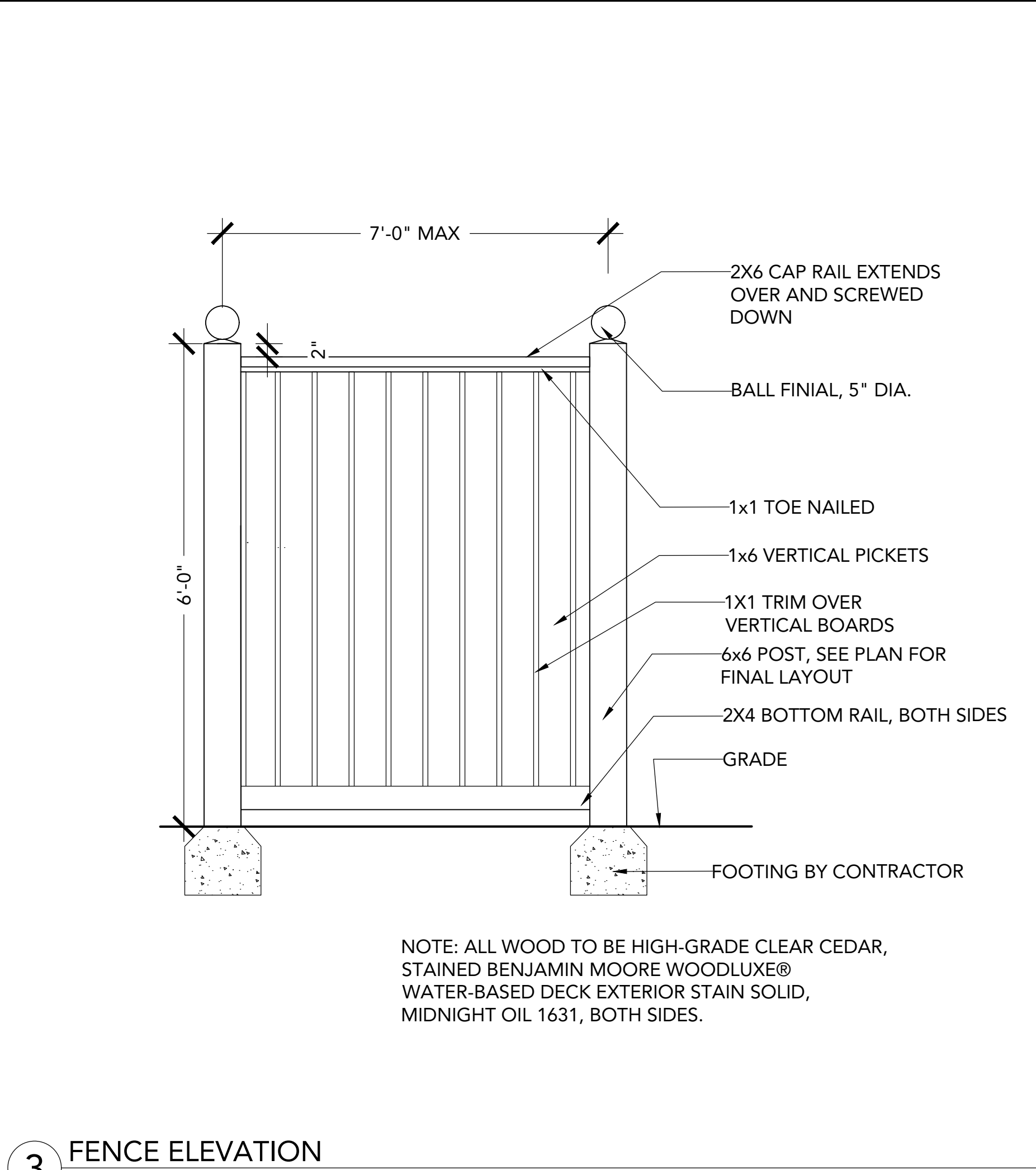




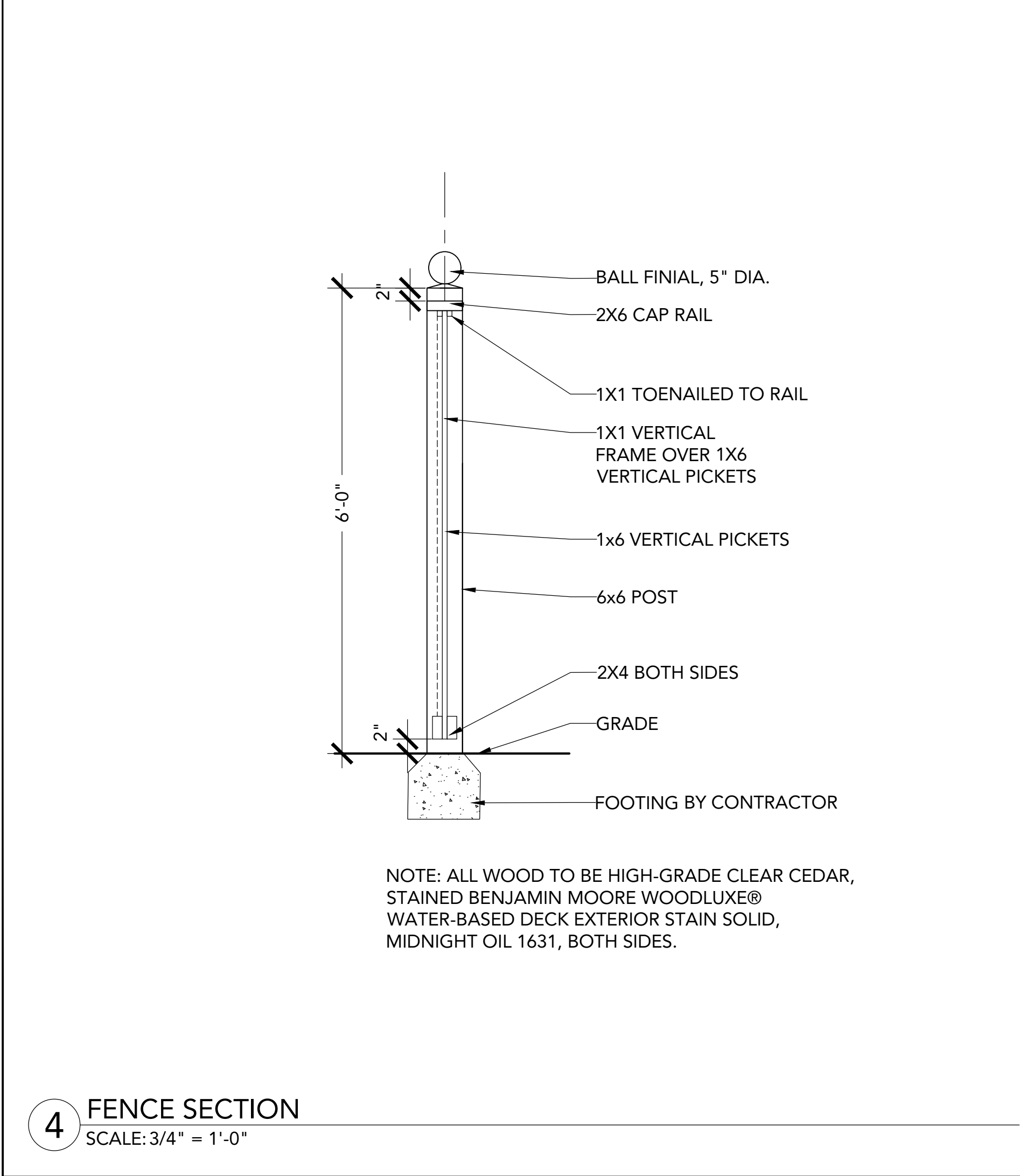
1 SIDE GATE
SCALE: 3/4" = 1'-0"



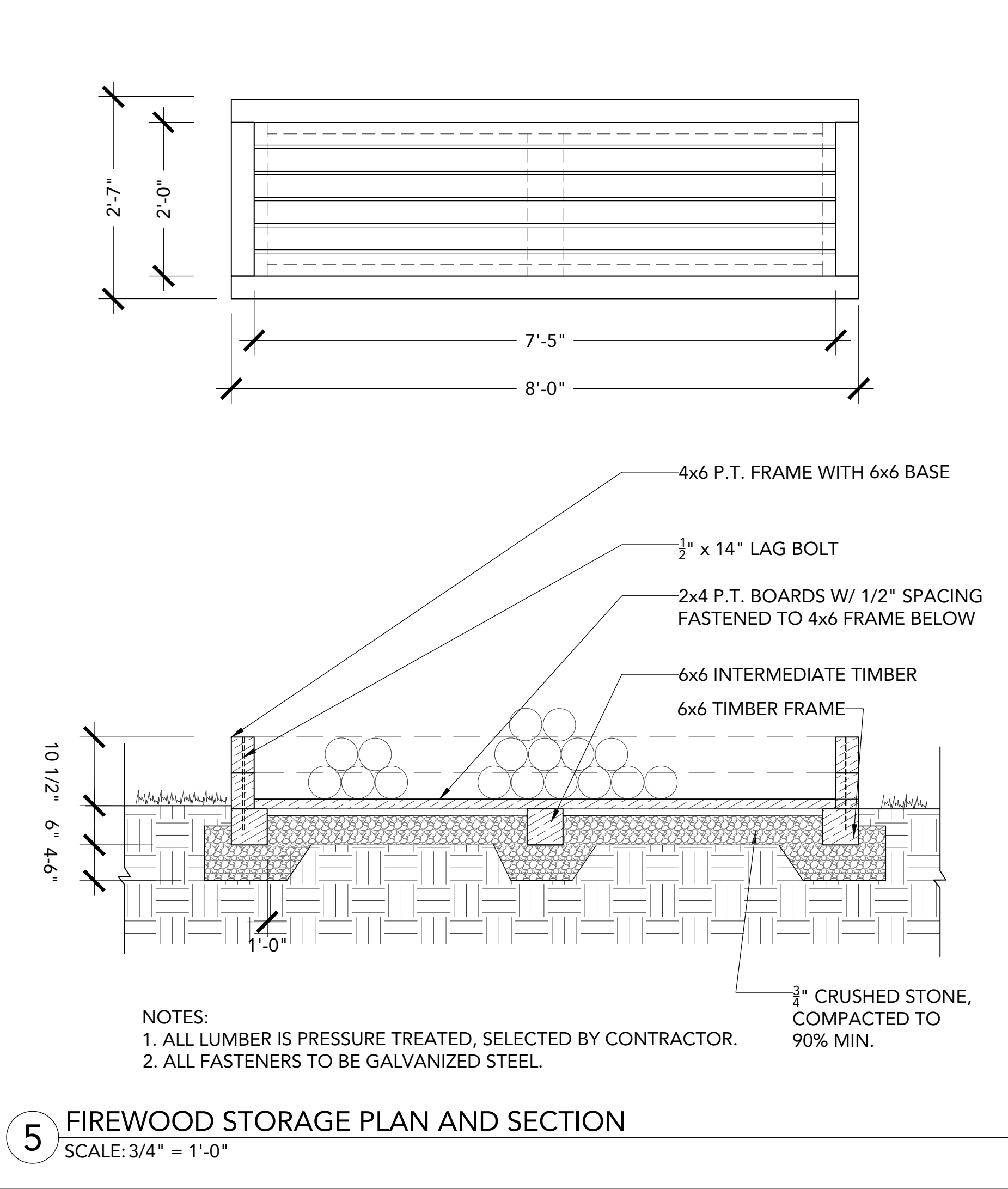
2 SIDE GATE PLAN
SCALE: 3/4" = 1'-0"



3 FENCE ELEVATION
SCALE: 3/4" = 1'-0"



4 FENCE SECTION
SCALE: 3/4" = 1'-0"



5 FIREWOOD STORAGE PLAN AND SECTION
SCALE: 3/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Karen Boudit

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1408 N Fillmore St, Suite 17 Arlington VA 22201
hornandco.com 202 573-7581

Nichols Residence
5918 Cedar Parkway
Chevy Chase, MD 20815

SEAL:

| | | | |
|----|------------|---------------------------|-----|
| 10 | 2024-10-16 | 90% CONSTR. DOC. SET REV. | AK |
| # | Date: | Description: | BY: |
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North:

DESIGN: JH

DRAFTED: AK

CHECKED: JH

Scale: SEE DETAILS

Issue Date: 2024-10-10

Project No: NICHOLS

CARPENTRY DETAILS

L-809



H O R N & C o.

L-810