



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

Date: 6/13/2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1116733– Hardscape alterations and fence installation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached applications for a Historic Area Work Permit (HAWP). This application was **approved with one (1) condition** at the June 11, 2025 HPC meeting:

1. The applicant must consult with and implement the recommendation(s) of an arborist regarding the tree protection plan prior to issuance of the HAWP.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Elizabeth Williams; Avantika Dalal, Agent.
Address: 20 W Kirke Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

REVIEWED

By Laura DiPasquale at 11:12 am, Jun 13, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen B. Smith

Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

REVIEWED
By Laura DiPasquale at 11:12 am, Jun

Proposed Work:

APPROVED

Montgomery County

Historic Preservation Commission

Karen B. Buntz

13, 2025

REVIEWED
By Laura DiPasquale at 11:12 am, Jun 13, 2025

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By Laura DiPasquale at 11:12 am, Jun 13, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

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Karen Benoit

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Karen Benoit










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LEGEND

-  EXISTING HARDSCAPE TO BE REMOVED
-  5' SILT FENCE
-  TREE PROTECTION FENCE
-  EXISTING FENCE
-  EXISTING DECIDUOUS PLANT TO REMAIN
(DASHED LINE = CRITICAL ROOT ZONE)
-  EXISTING EVERGREEN PLANT TO REMAIN
(DASHED LINE = CRITICAL ROOT ZONE)
-  EXISTING VINE TO REMAIN
-  EXISTING PLANT TO BE REMOVED
-  SHRUB OR TREE TO BE TRANSPLANTED
(SHOWN IN EXISTING LOCATION)

TREE CARE NOTES

REMOVAL

In the District Of Columbia private property trees between 44" and 99.9" in circumference are considered Special Trees. Trees that are greater than 100" in circumference are considered Heritage Trees.

The removal of Special Trees requires a Special Tree Removal Permit. Heritage trees in healthy condition cannot be removed.

Species exempt from this permit are *Ailanthus altissima*, *Morus sp.*, and *Acer platanoides*. Trees in Public Space in Washington DC require a permit prior to removal.

PRUNING

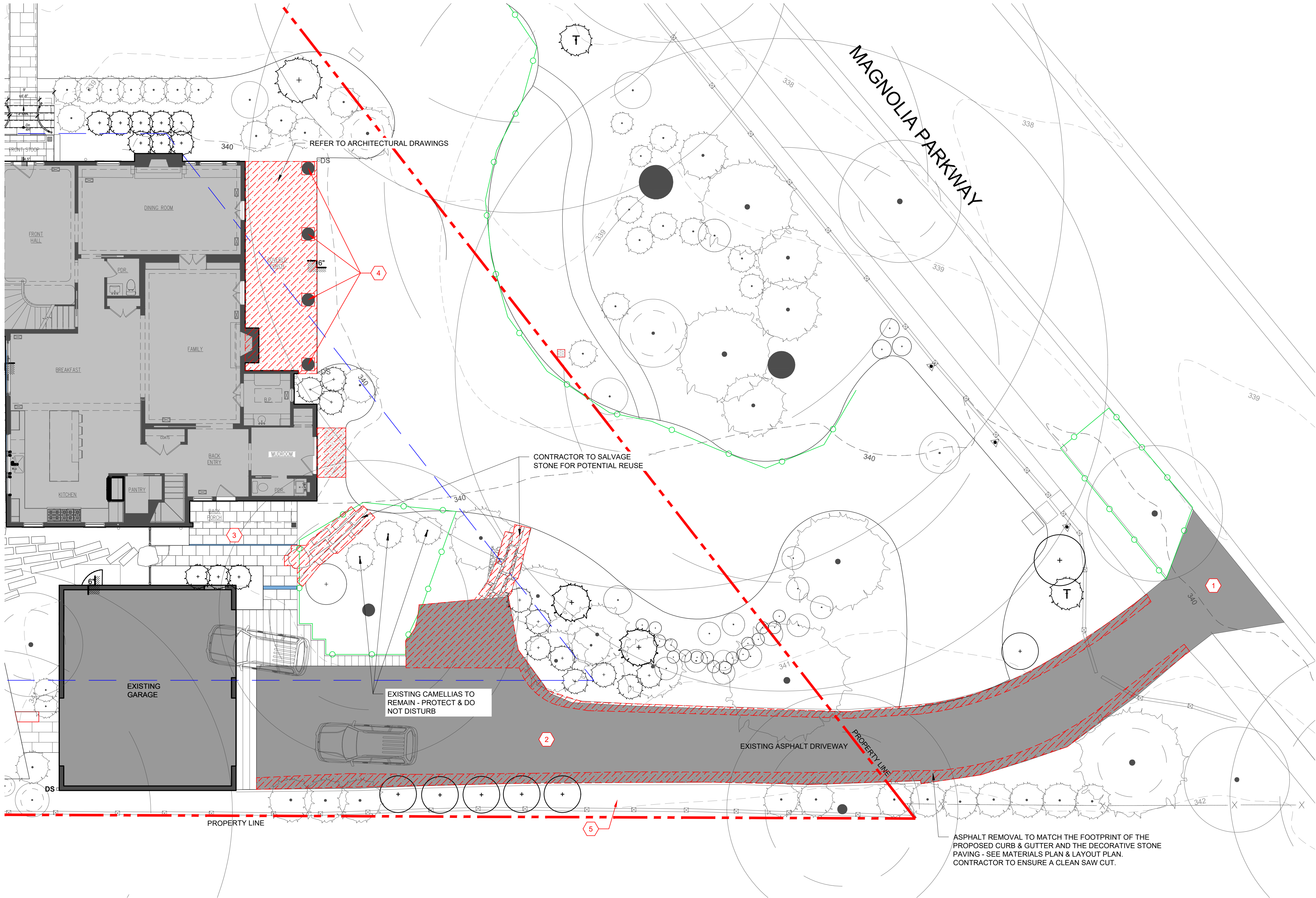
- All tree pruning and removal performed shall be executed by a company, having in full-time employment, a certified Arborist. Pruning shall be performed to the standards of the International Society of Arborists Pruning Guidelines, and to ANSI A-300.
- Tree pruning shall be performed to balance the crown and eliminate hazards. The main work performed shall be to reduce the sail effect through thinning, reducing end weights, shortening long heavy limbs, removing deadwood, weak limbs and sucker growth. Limbs shall be pruned back to an appropriate lateral branch.
- Tree roots should be root pruned to avoid tearing and shredding by grading equipment. Root pruning shall be to a depth of 18". The contractor shall trench around the tree beyond the edge of the tree protection area and then clear the soil by hand to the edge of the tree protection area and hand prune the roots. Roots shall be cut cleanly, as far from the trunk of the tree as possible.
- Trenching shall be performed using a Vermeer trenching machine, vibratory plow or equivalent. Root pruning shall be completed prior to base or subgrade preparation, or to any excavation adjacent to the tree.
- Excavation in an area where roots are present shall not cause the tearing or ripping of tree roots. Roots must be cleanly severed prior to continuing with excavation, or tunneled around to prevent damage to the root.
- At sites where root pruning or excavation has taken place near trees to remain, and many living roots remain exposed to the air, the contractor shall cover the exposed roots with sand, soil, or moist burlap within 2 hours. Root ends shall be covered with soil or burlap and kept moist until the final backfill or grade is established.

TREE PROTECTION

- Where called for on the plans, place storm fence or other approved protective barriers around existing trees to remain before any construction begins. Tree protection shall remain in place until all construction is complete.
- Construction materials, debris, and supplies shall not be stored within the drip line or protective fencing area under any tree. If damaging construction operations are done under the drip line or within the protective fencing area of any tree (for example, mixing mortar or dumping of paint or solvents) the Arborist shall be contacted immediately to evaluate the potential impact on the trees health, at the Contractor's expense. The Contractor will be liable for the full cost of replacement of the tree or trees of the same caliper size should this be deemed necessary by the Arborist.
- Vehicles shall not be parked within the drip line or protective fencing area.
- Blasting mats or a thick layer of woodchips or another cushioning surface material approved by the Landscape Architect shall be placed over areas where roots are present and construction traffic occurs. Cushioning materials shall be removed at the completion of construction.

TRANSPLANTING NOTES

- Immediately after harvesting plants, protect from drying and damage until plants can be re-planted. Plants that cannot be planted immediately shall be kept in the shade, well protected with soil, wet mulch, or other acceptable material, and kept well watered. Plants shall be lifted and handled with suitable support of the soil ball to avoid damaging it. Rootballs shall be checked regularly and watered sufficiently to maintain root viability.
- Contractor shall provide labor to care for trees, shrubs, perennials, ornamental grasses, and lawn areas until site is ready for installation.
- If applicable, Contractor shall provide labor to water trees, shrubs, perennials, ornamental grasses, and lawn areas until irrigation system is installed and fully operational.



SITE PREPARATION

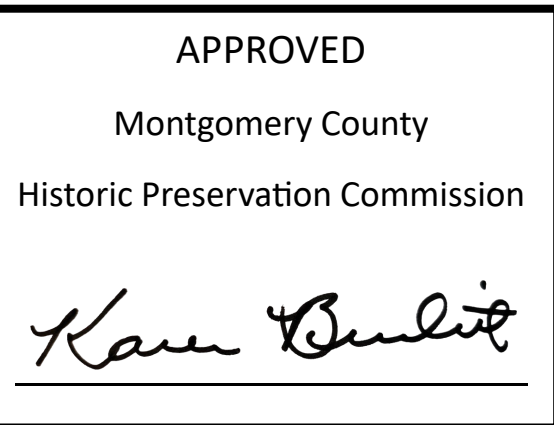
- Install temporary tree protection and temporary erosion control measures prior to any land disturbance as required by local codes. Refer to TREE CARE NOTES. In areas of existing trees to remain, the Contractor has the option of providing an extra one foot length of filter fabric at the base of the fencing and securing it in place with straw bales.
- The Contractor shall inspect all tree protection and erosion control devices and correct any deficiencies at the end of each work day to ensure their performance. The Contractor shall remove soil trapped by the erosion control fence if the soil level is near the top of the fabric or bulging at any point during construction.
- The Contractor shall strip and stock pile 6" topsoil from all construction areas prior to grading operations. Protect stock pile with silt fencing or other erosion control measures. Topsoil shall not be placed in piles higher than 4' above existing grade.
- No erosion control device shall be removed without prior approval of the Landscape Architect and local inspector.
- Before final grading and planting begins the landscape architect will inspect tree protection areas for compaction and mechanical damage. If the landscape architect determines that either of these exist, the contractor will remedy at his expense. Measures may include but are not limited to evaluation by a licensed arborist, airspading, bioplex treatment, cabling, root pruning and pruning of canopy/limbs.

EXISTING CONDITIONS KEYNOTES:

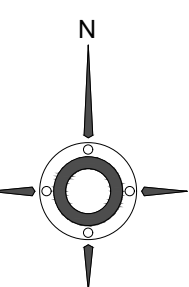
- Existing Concrete Apron to Remain
- Existing Asphalt to Remain.
- Existing Stone Paving to Remain
- Existing Columns to Remain.
- Neighboring Fence to Remain.

REVIEWED

By Laura DiPasquale at 11:12 am, Jun 13, 2025



0 4 8 16
SCALE: 1/8" = 1'-0"



Project Name / Client

WILLIAMS MOORE
PHASE 2

20 West Kirke St.
Chevy Chase, MD
20815

Client Emergency Contact Number:
(111) 111-1111

Landscape Architect



609 H Street NE, Suite 600
Washington, DC 20002
(202) 543-1286
www.moodygraham.com

© 2024 Moody Graham Landscape Architecture

Note:

Scope of work noted below has been already approved by HPC under HAWP # 1109308

Restoration/ reconstruction of side porch and interior renovations to (2) second floor bedroom suites, including bathrooms. Adding stone patio, seat walls, and new planting.

Drawing Release Record

No. Date Revisions

1 05/12/25 BID SET

Professional Seal

Project Number: 25616-01

Drawn By: NW

Checked By: AD

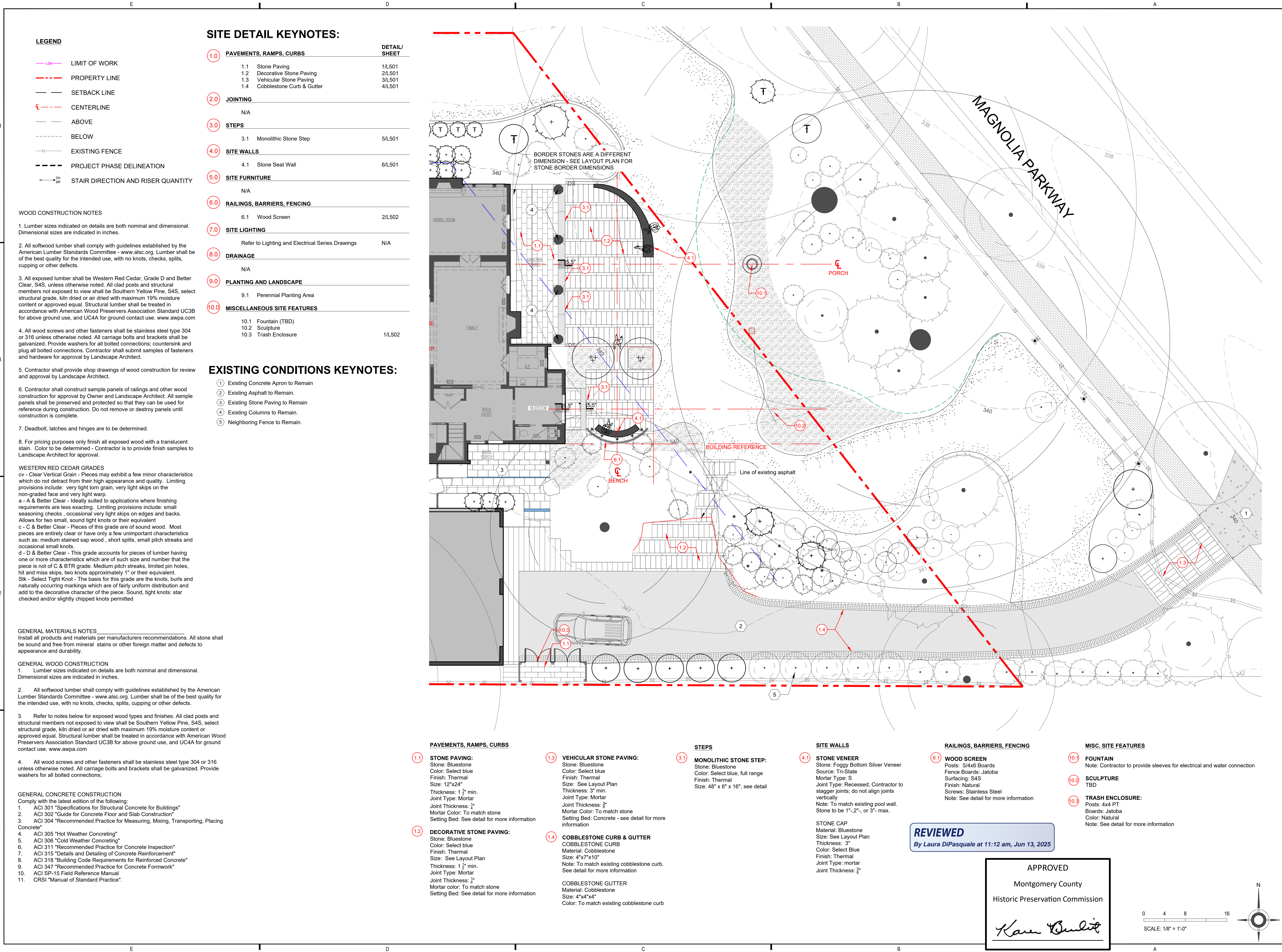
Sheet Name

DEMOLITION & TREE
PROTECTION PLAN

AS SHOWN

Drawing No.

L101



Project Name / Client

WILLIAMS MOORE PHASE 2

20 West Kirke St.
Chesny Chase, MD
20815

Client Emergency Contact Number:
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Landscape Architect



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Restoration/ reconstruction of side porch and interior renovations to (2) second floor bedroom suites, including bathrooms. Adding stone patio, seat walls, and new planting.

Drawing Release Record

No. Date Revisions

NOT FOR CONSTRUCTION

05/12/25 BID SET

Professional Seal

Project Number: 25616-01

Drawn By: NW

Checked By: AD

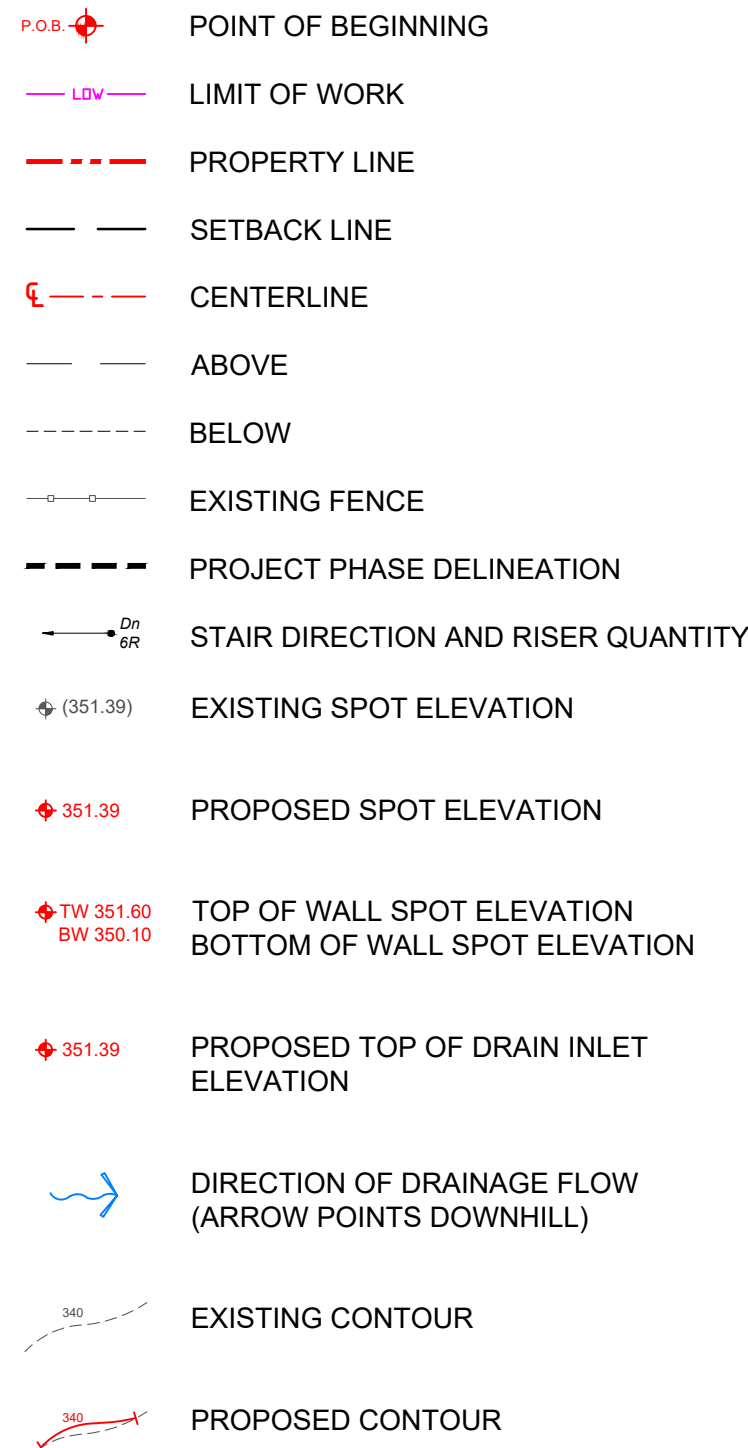
Sheet Name

MATERIALS PLAN

AS SHOWN

Drawing No.

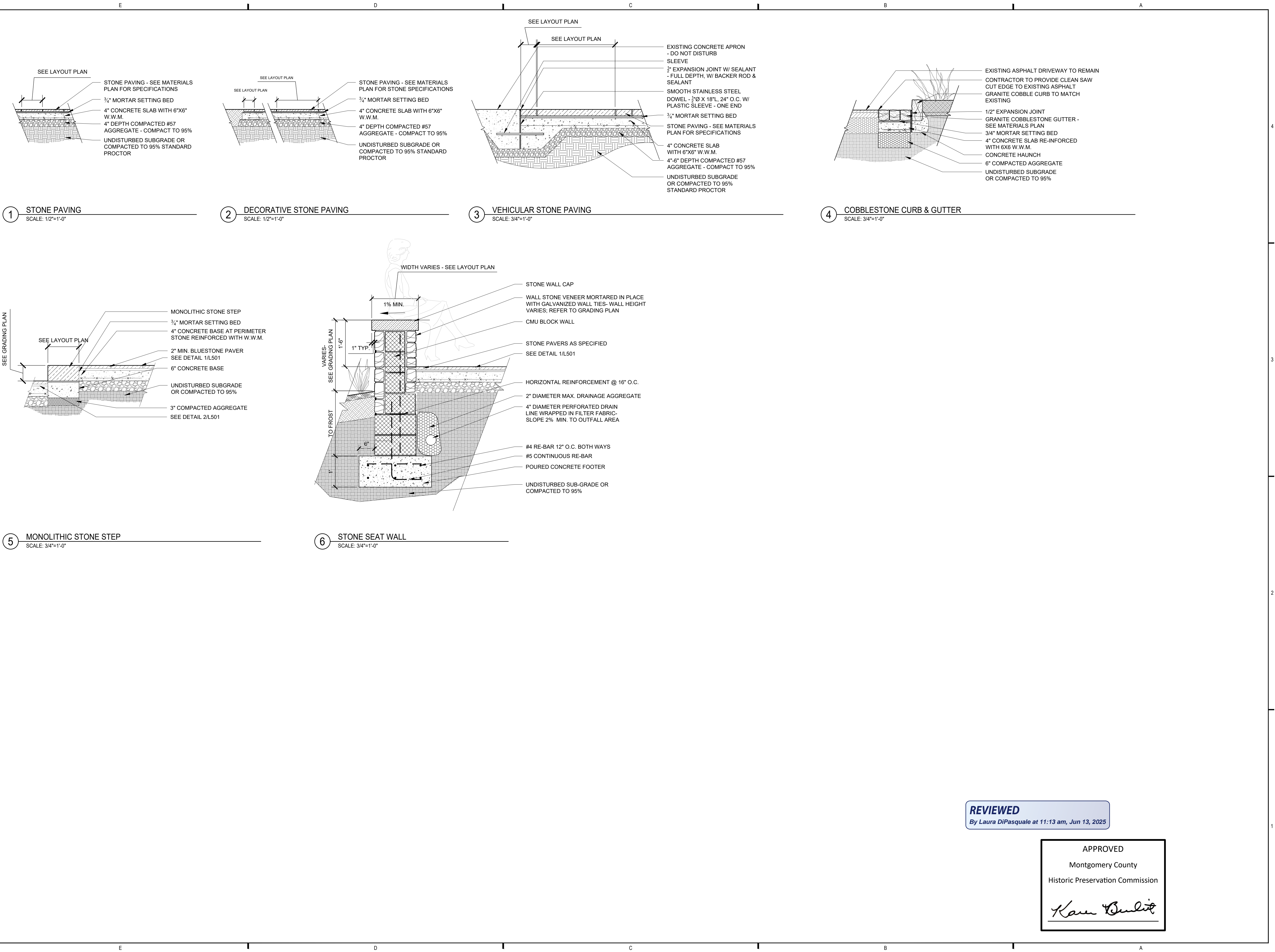
L103



1. DO NOT SCALE DRAWINGS. Use figures given for dimensions. If dimensions or necessary information is missing contact Landscape Architect for clarification.
2. All angles are perpendicular unless otherwise noted. All lines that appear parallel are parallel unless otherwise noted.
3. The Contractor shall locate the location of hardscape features such as edge of paving, walls, stairs, curbs, drains, etc., per the layout plans for review and approval by LA before proceeding with work. Center lines of paths and drives shall be staked at 25' intervals, unless otherwise noted, for review and approval by LA.
4. The Contractor shall field verify all existing conditions and make necessary minor adjustments in the proposed work to meet the intent of the plans and to provide smooth transitions between existing conditions and new work. If there are discrepancies between the construction drawings and actual site conditions the contractor will immediately notify the Landscape Architect and secure written instruction prior to proceeding with any part of the work affected by omission or discrepancy.
5. New work shall meet and match alignment of existing features and finished grades at limits of work and at existing pavement or other facilities to remain.
6. All dimensions are to face of tread, face of brick edging, and face of walls, etc., unless otherwise noted. All dimensions to faces of buildings are to the face of foundation where the wall meets grade, unless otherwise noted.
7. All linear dimensions of pavers, treads, coping, curbs, etc. are to center of joint, unless otherwise noted.
8. Refer to Layout & Grading Plans for locations of drain inlets. Align drains with edges of paving unless otherwise noted. Contractor to field verify locations of existing drainage courses. Drain inlets not dimensioned, drainage swales, high points and low points shall be staked in the field for review and approval by the LA.

Restoration/ reconstruction of side porch and interior renovations to (2) second floor bedroom suites, including bathrooms. Adding stone patio, seat walls, and new planting.

L104



Project Name / Client

**WILLIAMS MOORE
PHASE 2**
20 West Kirke St.
Chevy Chase, MD
20815

Client Emergency Contact Number:
(111) 111-1111
Landscape Architect

**moody
graham**
609 H Street NE, Suite 600
Washington, DC 20002
(202) 543-1286
www.moodygraham.com

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Note:

Scope of work noted below has been already approved by HPC under HAWP # 1109308

Restoration/ reconstruction of side porch and interior renovations to (2) second floor bedroom suites, including bathrooms. Adding stone patio, seat walls, and new planting.

Drawing Release Record

No. Date Revisions

05/12/25 BID SET

Professional Seal

Project Number: 2816-01

Drawn By: NW

Checked By: AD

Sheet Name

HARDSCAPE DETAILS

AS SHOWN

Drawing No.

L501

REVIEWED

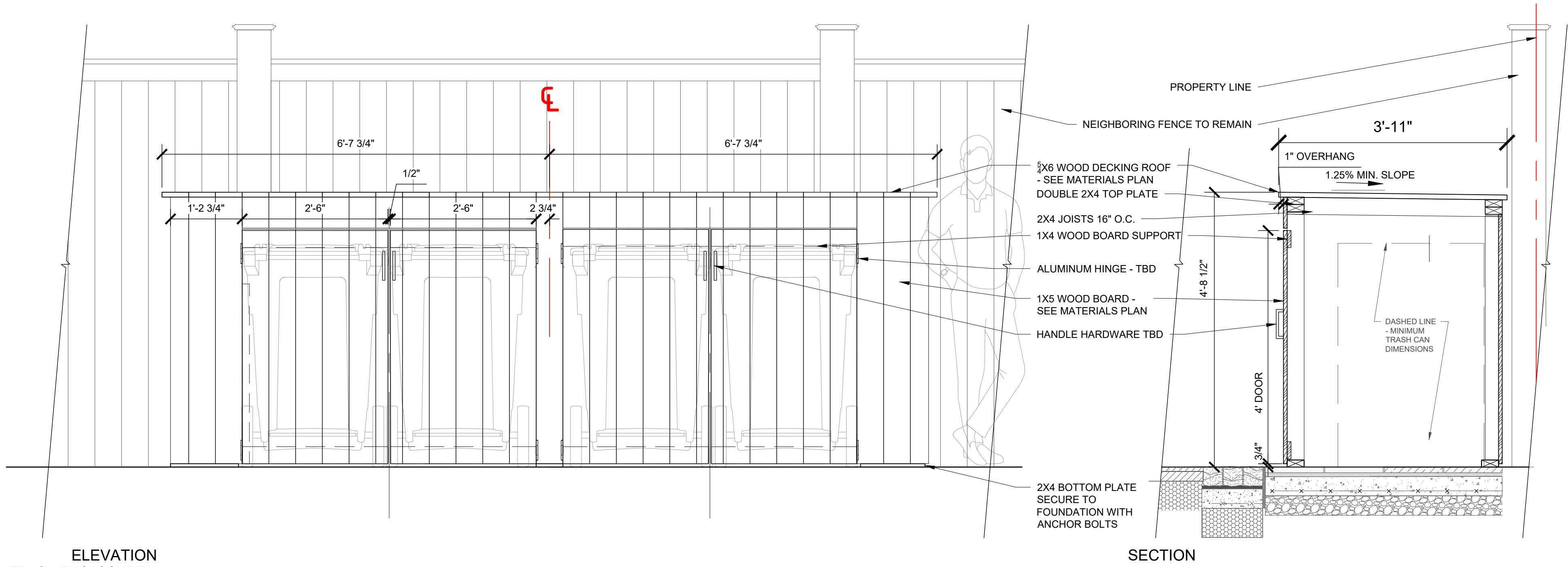
By Laura DiPasquale at 11:13 am, Jun 13, 2025

APPROVED

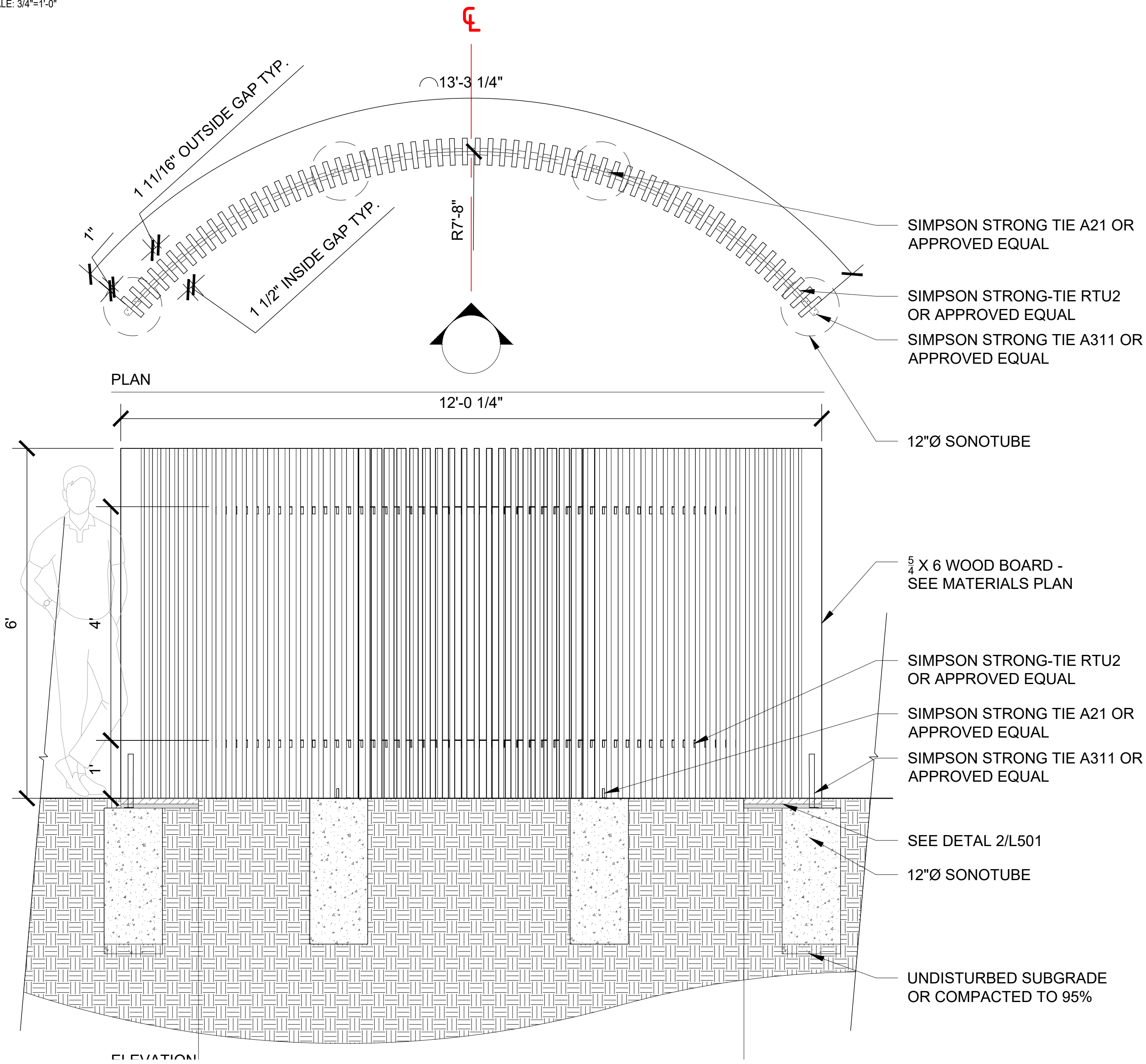
Montgomery County

Historic Preservation Commission

Karen Bunkle



1 ELEVATION
TRASH ENCLOSURE
SCALE: 3/4"=1'-0"



2 WOOD SCREEN
SCALE: 3/4"=1'-0"

REVIEWED
By Laura DiPasquale at 11:13 am, Jun 13, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bullock

Project Name / Client

WILLIAMS MOORE
PHASE 2
20 West Kirke St.
Chevy Chase, MD
20815

Client Emergency Contact Number:
(111) 111-1111
Landscape Architect

moody graham
609 H Street NE, Suite 600
Washington, DC 20002
(202) 543-1286
www.moodygraham.com

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Project Team

Architect
Firm Name
Street Address
City, State ZIP
(xxx) xxx-xxxx

Drawing Release Record

No. Date Revisions

1 05/12/25 BID SET

Professional Seal

Project Number: 2816-01

Drawn By: NW

Checked By: AO

Sheet Name
CARPENTRY DETAILS

AS SHOWN

Drawing No.

L502

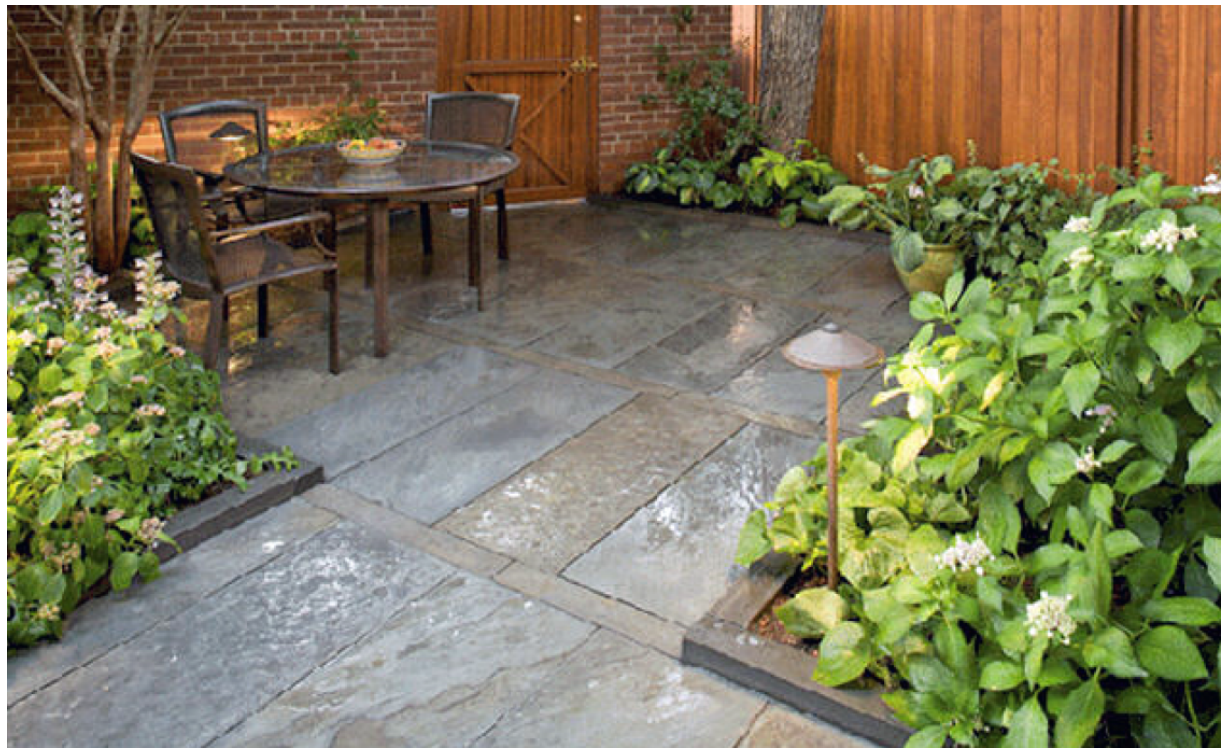


REVIEWED
By Laura DiPasquale at 11:13 am, Jun 13, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Benoit

Precedent: Trash Enclosure

Paving material



Screen





**Municipality Letter for
Proposed Construction Project**

Subject Property: 20 West Kirke Street, Chevy Chase, MD 20815
Property Owner: Elizabeth Williams
Project Manager/Contractor: Avantika Dalal /Moody Graham Landscape Architecture
Proposed Work: Driveway work to include curbs, gutters and install new fence

5/14/2025

Rabbiah Sabbakhan, Director
Department of Permitting Services of Montgomery County
255 Rockville Pike, 2nd floor
Rockville, MD 20850

Dear Mr. Sabbakhan,

This letter is to inform your department that the above homeowner/contractor has notified Chevy Chase Village that he or she plans to apply for both county and municipal permits for the above summarized construction project. Chevy Chase Village will not issue any municipal building permit(s) for this proposed project until Montgomery County has issued all necessary county permits and the applicant has provided Chevy Chase Village with copies of county-approved and stamped plans. We have advised the homeowner/contractor that a permit from Montgomery County does not guarantee a permit from this municipality unless the project complies with all our municipal rules and regulations.

If this homeowner/contractor later applies for an amended county permit, please do not approve that application until you have received a Municipality Letter from us indicating that the homeowner/contractor has notified us of that proposed amendment to the permit.

If you have any questions about this proposed project and the municipal regulation of it by Chevy Chase Village, do not hesitate to have your staff contact my office. The Village Permitting Coordinator can be reached by phone at 301-654-7300 or by e-mail at ccvpermitting@montgomerycountymd.gov.

Sincerely,

Shana R. Davis-Cook
Chevy Chase Village Manager

REVIEWED

By Laura DiPasquale at 11:13 am, Jun 13, 2025

APPROVED

Montgomery County
Historic Preservation Commission

CHEVY CHASE VILLAGE

5906 Connecticut Avenue
Chevy Chase, Maryland 20815

Phone (301) 654-7300

Fax (301) 907-9721

ccv@montgomerycountymd.gov

www.chevychasevillagemd.gov

BOARD OF MANAGERS

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LEGAL COUNSEL
SUELLEN M. FERGUSON

Feather & Assoc.

Tolbert V. Feather, Ph.D.

*Advisors for: Landscape Development
Landscape Management, Plant Pest Management*

Chevy Chase Village
5906 Connecticut Avenue
Chevy Chase, MD 20815

April 24, 2025

Tree Preservation Plan – 20 West Kirke Street

I recommend the issuance of the Building Permit conditioned on the Owner's compliance with the tree preservation plan shown on the attached sheet and as stated below.

Attached is a map of the tree preservation plan for the residence at 20 West Kirke Street.

1. Tree preservation fencing shall be installed in the locations shown on the plan. The street tree shall be protected. Tree preservation fencing shall delineate the tree protection zones. Tree preservation fencing shall be 4' tall wire mesh supported with steel stakes no less than 8' apart.
2. If silt fencing is required, it shall follow tree protection fencing.
3. The Owner/Contractor shall inform all on-site workers that the tree preservation zones shall not be entered. Neither materials nor equipment shall be stored within the tree preservation zones. No grading shall be done within the tree preservation zones. The grading outside the tree preservation zones shall not be changed to divert and collect water within tree preservation zones.
4. No excavation is permitted within the tree preservation areas.
5. The Chevy Chase Village office shall be notified of any construction plan changes.
6. If excavation (outside the tree preservation zone) exposes roots on protected trees, the damaged roots shall be cleanly cut before backfilling the hole.
7. The Owner/Contractor shall maintain the fencing until the construction is complete. The fencing may be removed to prepare and install the new landscaping.

REVIEWED

By Laura DiPasquale at 11:13 am, Jun 13, 2025

APPROVED

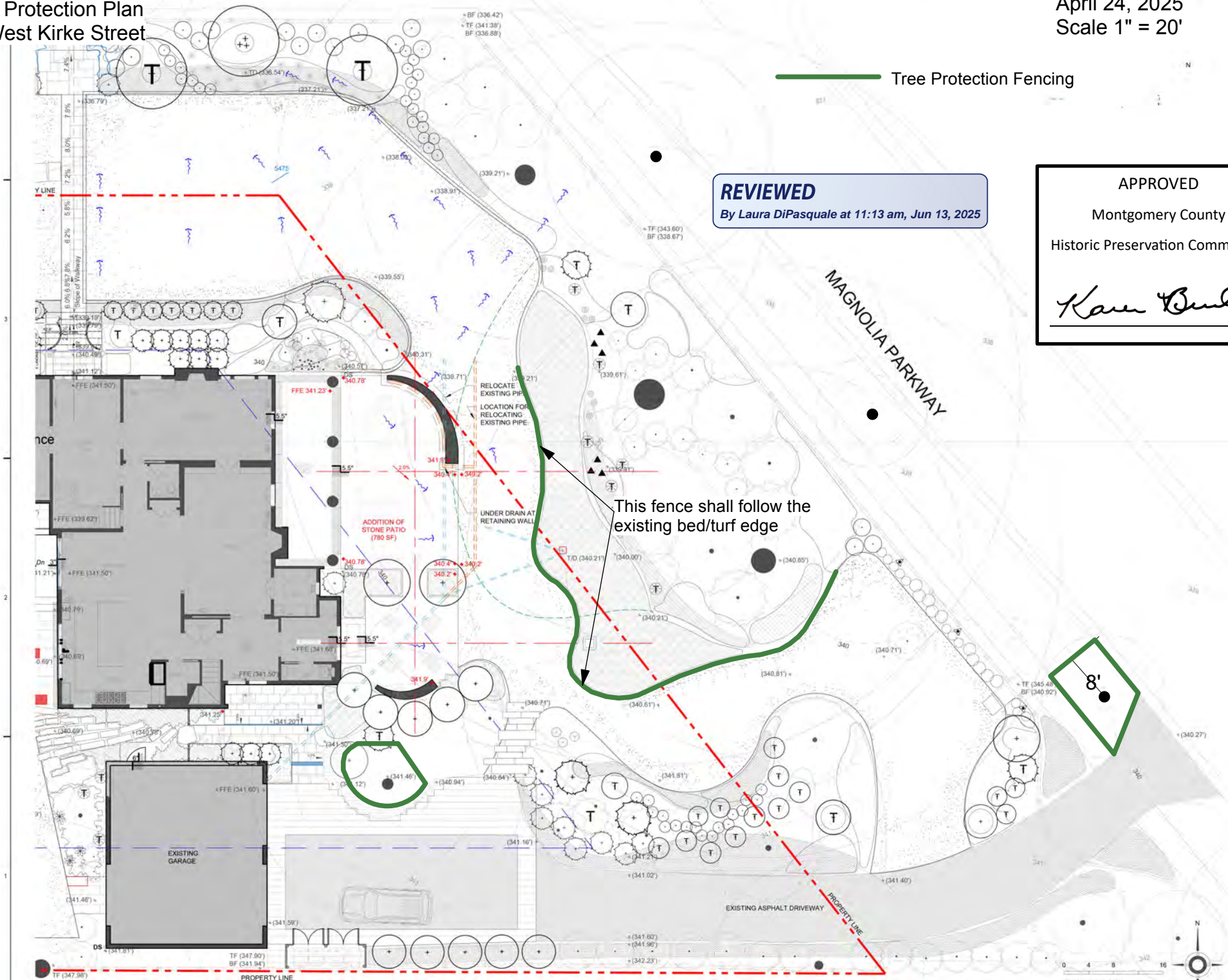
Montgomery County

Historic Preservation Commission

Karen Bunkit

Chevy Chase Village
Tree Protection Plan
20 West Kirke Street

Feather and Associates
April 24, 2025
Scale 1" = 20'



Tree Protection Fencing

REVIEWED
By Laura DiPasquale at 11:13 am, Jun 13, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Buelit