



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

Date: 6/27/2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1115052– Porch modifications, fenestration alterations, ~~siding~~
~~replacement~~*, and other alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached applications for a Historic Area Work Permit (HAWP). This application was **approved with six (6) condition** at the June 11, 2025 HPC meeting:

1. Front and rear porch columns, railings, and trim must be painted wood. The porch columns must be no larger than 4 to 5-inches square. The front stair newel posts must be eliminated or replaced with plain 4-inch posts with minimal caps to match the proposed rear stair newel posts.
2. The rear landing support columns must be simplified square wood posts and the minimum size required by Code.
3. The front porch flooring must be run perpendicular to the façade.
4. The proposed windows on the southeast side elevation must be wood and both be the same configuration with either one-over-one or two-over-two simulated-divided-lites.
5. The standing-seam metal roofing must have maximum 1-inch seams, 1-inch crimped ridge caps, and 18 to 20-inch exposure. The applicant must provide detailed photographs of the existing roofing to the Historic Preservation Office for the property file. The applicant is encouraged, but not required, to provide a small physical sample of the roofing to the Historic Preservation Office for its archive.
6. The applicant must provide an elevation detail of the modified foundation wall at the proposed areaway, including the proposed egress door.

*Previously-proposed siding replacement was withdrawn at the June 11, 2025 HPC meeting and is not included in the approval.

The HPC staff has reviewed and stamped the attached submission materials.





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THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Javier Nogales; Michael P. Rouse, Agent.
Address: 23345 Frederick Road, Clarksburg

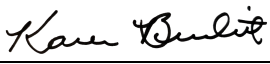
This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

REVIEWED
By Laura DiPasquale at 11:38 am, Jun 27, 2025

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Montgomery County
Historic Preservation Commission


Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

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Old Parsonage Renovation
23345 Frederick Rd. • Clarksburg, MD 20871

Historic Work Area Permit Set

12 June 2025



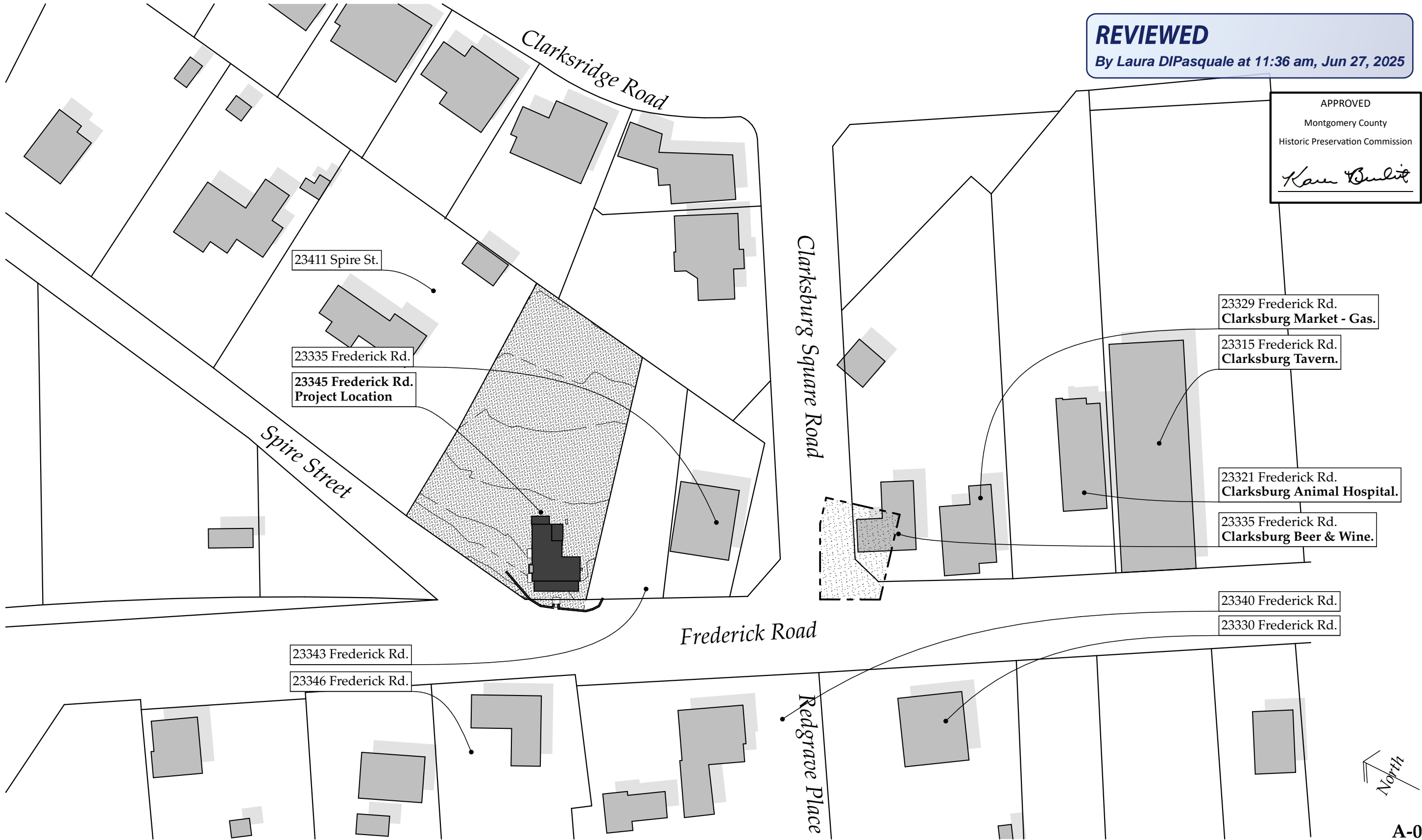
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Area Plan

Old Parsonage Renovation

23345 Frederick Rd. • Clarksburg, MD 20871

Historic Work Area Permit Set

Scale: 1/64" = 1'-0"
Date: 6/24/25

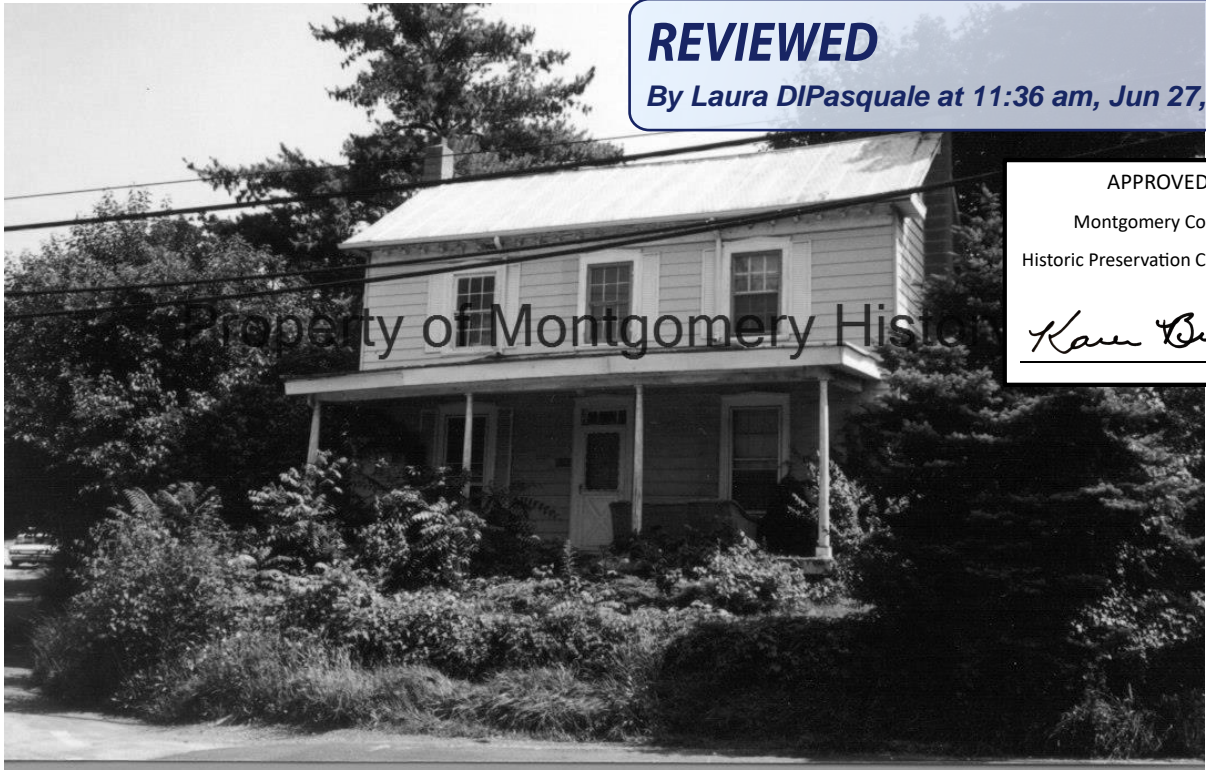
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23346 Frederick Road (Built 1797)
N.T.S.



23345 Frederick Road
N.T.S.



23345 Frederick Road
N.T.S.

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View of Clarksburg, Looking West, Parsonage SE Side (Date Unknown)
N.T.S.



Clarksburg Streetscape (Circa 1974)
N.T.S.



View of Frederick Road - Parsonage SE Side (Circa 1913)
N.T.S.

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Historic Photographs
Old Parsonage Renovation

23345 Frederick Rd. • Clarksburg, MD 20871

Historic Work Area Permit Set

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23340 Frederick Road
N.T.S.



23330 Frederick Road
N.T.S.



23330 Frederick Road
N.T.S.



23340 Frederick Road
N.T.S.



23340 Frederick Road
N.T.S.



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Existing Neighboring Structures
Old Parsonage Renovation

23345 Frederick Rd. • Clarksburg, MD 20871

Historic Work Area Permit Set

A-2

Date: 6/24/25

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23335 Frederick Road
N.T.S.



23346 Frederick Road
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23315 Frederick Road
N.T.S.



23315 Frederick Road
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23343 Frederick Road
N.T.S.



23341 Frederick Road
N.T.S.



23315 Frederick Road
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Existing Neighboring Structures
Old Parsonage Renovation

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Historic Work Area Permit Set

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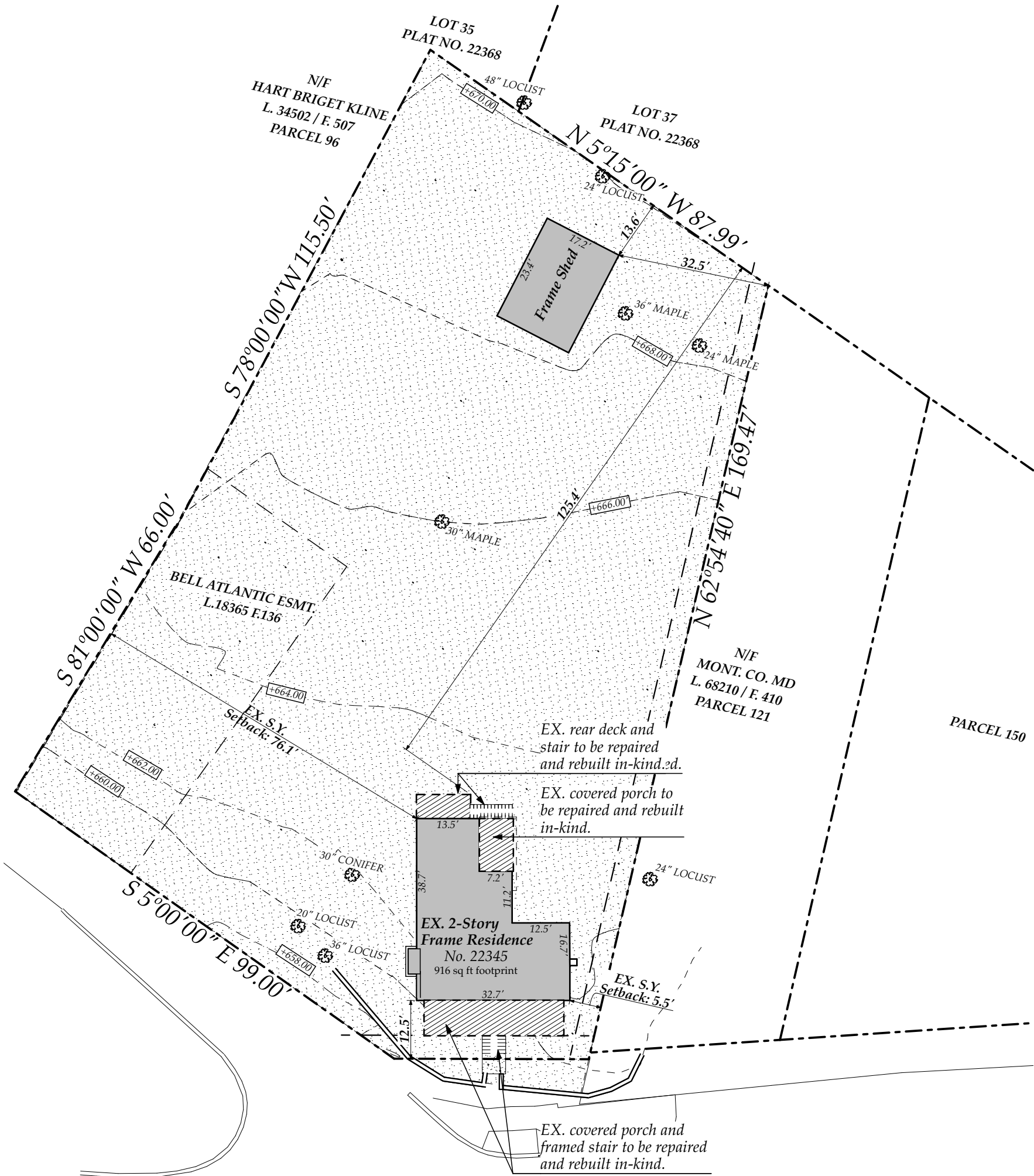
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EX. Southwest (Frederick Rd.) Elevation
N.T.S.



EX. Northwest (Side) Elevation
N.T.S.



EX. Northeast (Rear) Elevation
N.T.S.



EX. Southeast (Side) Elevation
N.T.S.



EX. Southwest (Frederick Rd.) Elevation
N.T.S.



EX. Northwest (Side) Elevation
N.T.S.



EX. Northeast (Rear) Elevation
N.T.S.



EX. Southeast (Side) Elevation
N.T.S.

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Existing Site Photos

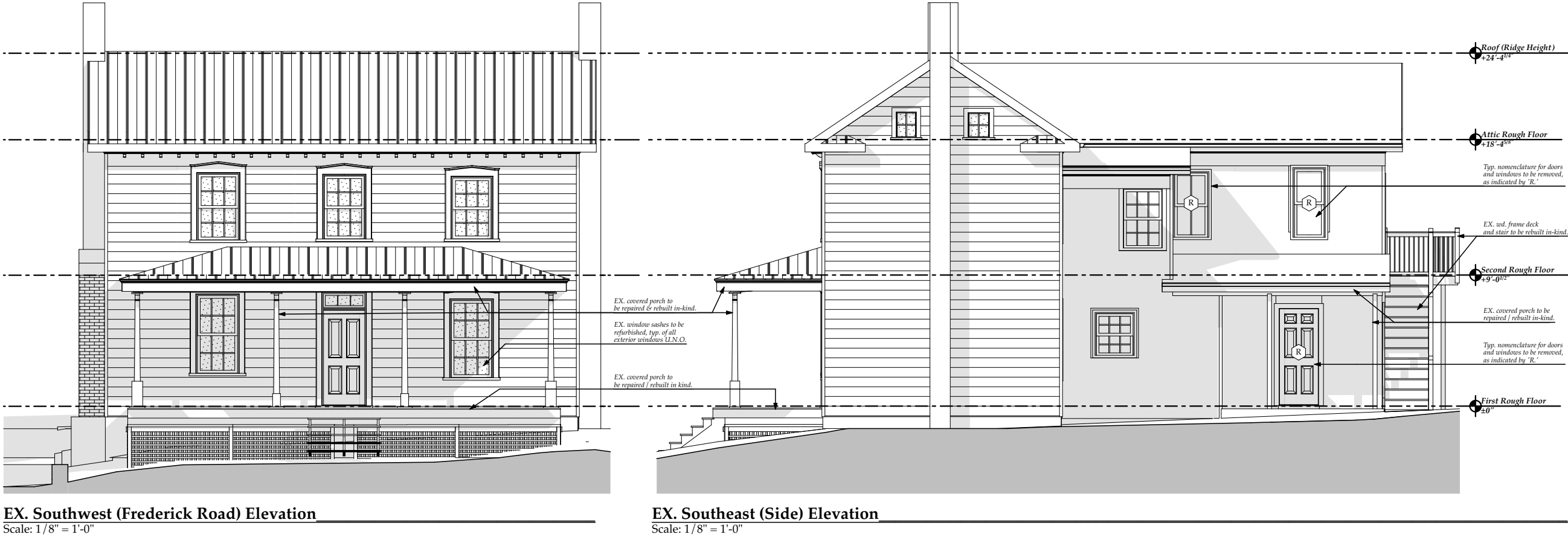
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Historic Work Area Permit Set

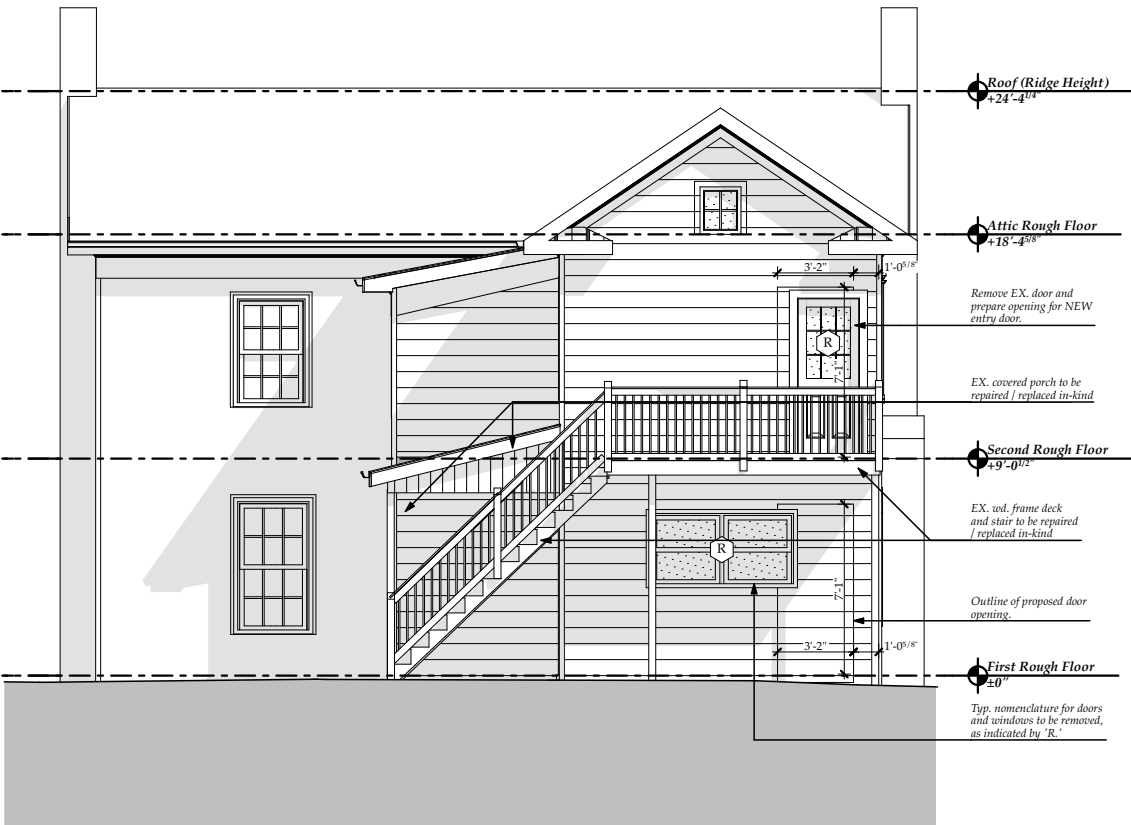
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Date: 6/24/25

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EX. Northwest (Side) Elevation
Scale: 1/8" = 1'-0"



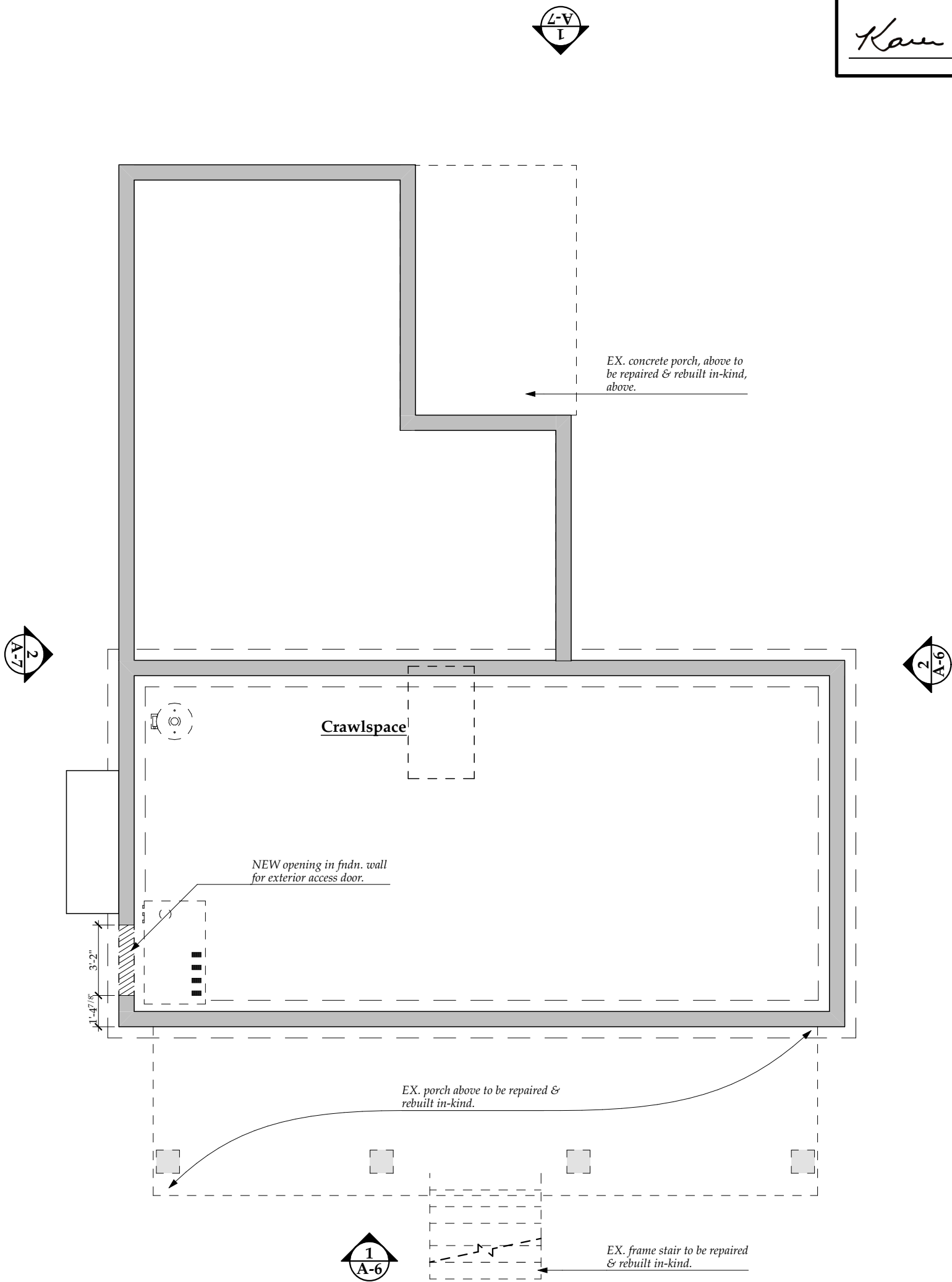
EX. Northeast (Rear) Elevation
Scale: 1/8" = 1'-0"

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A-8

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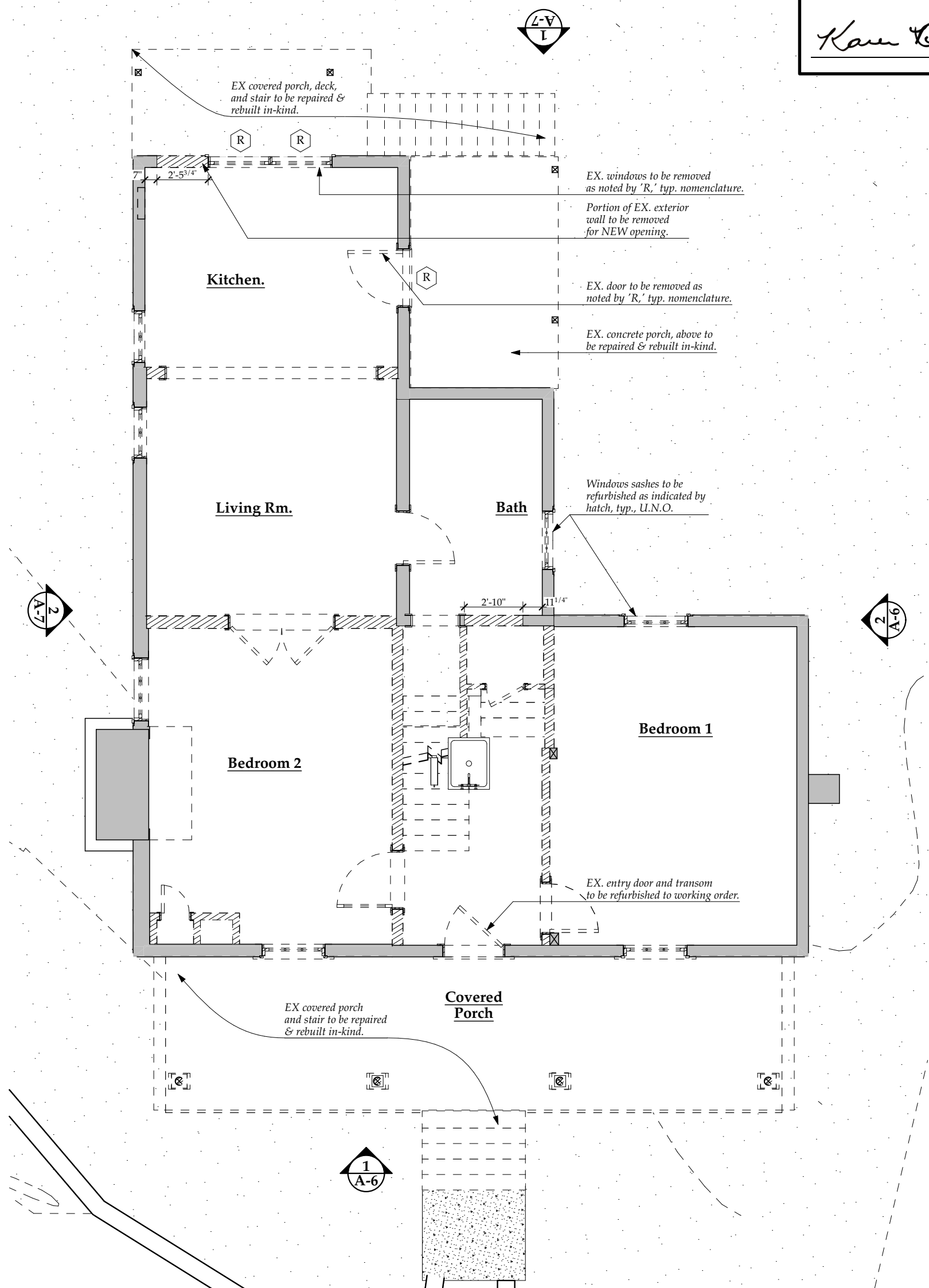
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Existing First Floorplan

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23345 Frederick Rd. • Clarksburg, MD 20871

Scale: 3/16" = 1'-0"
Date: 6/11/25

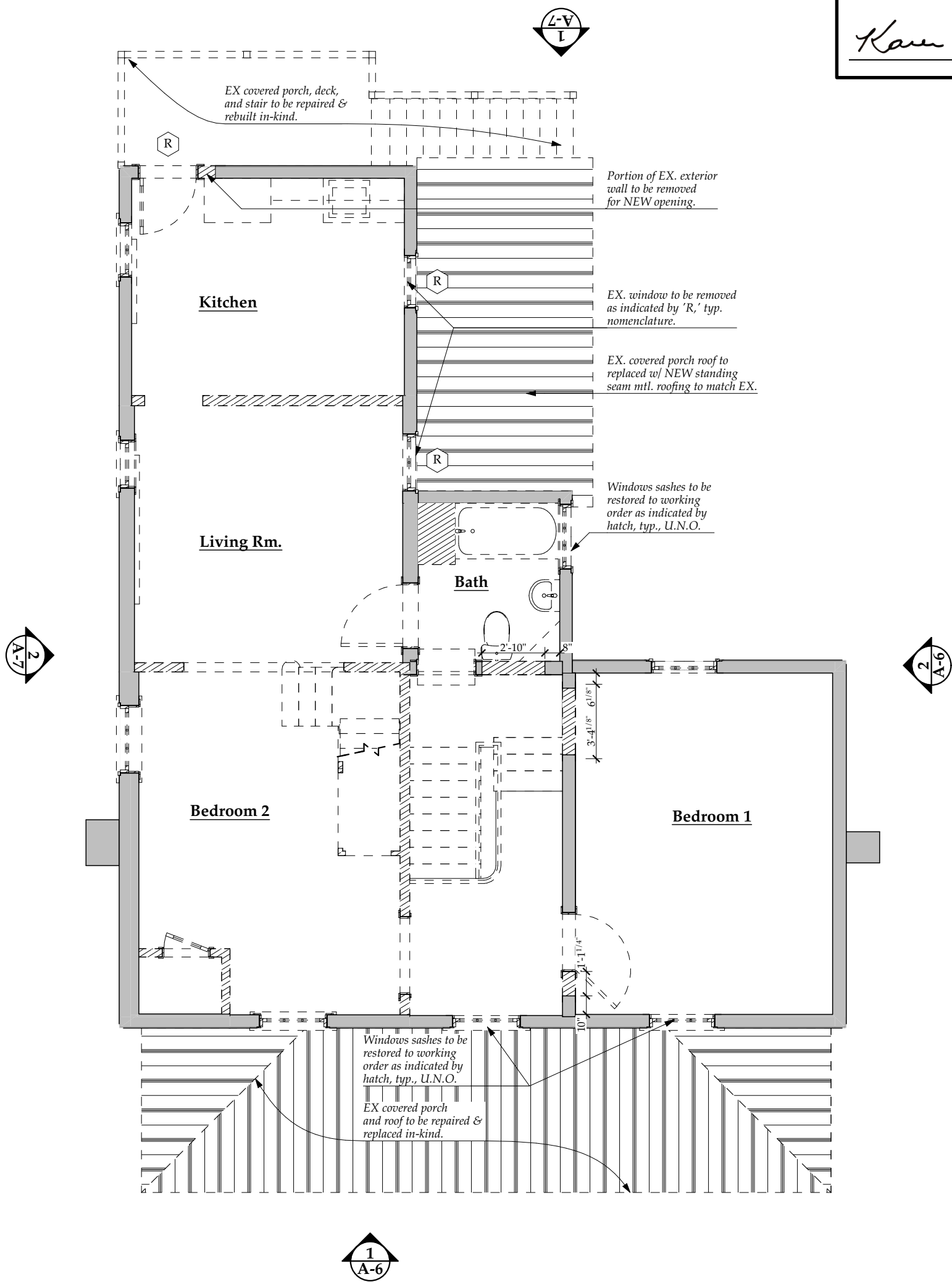
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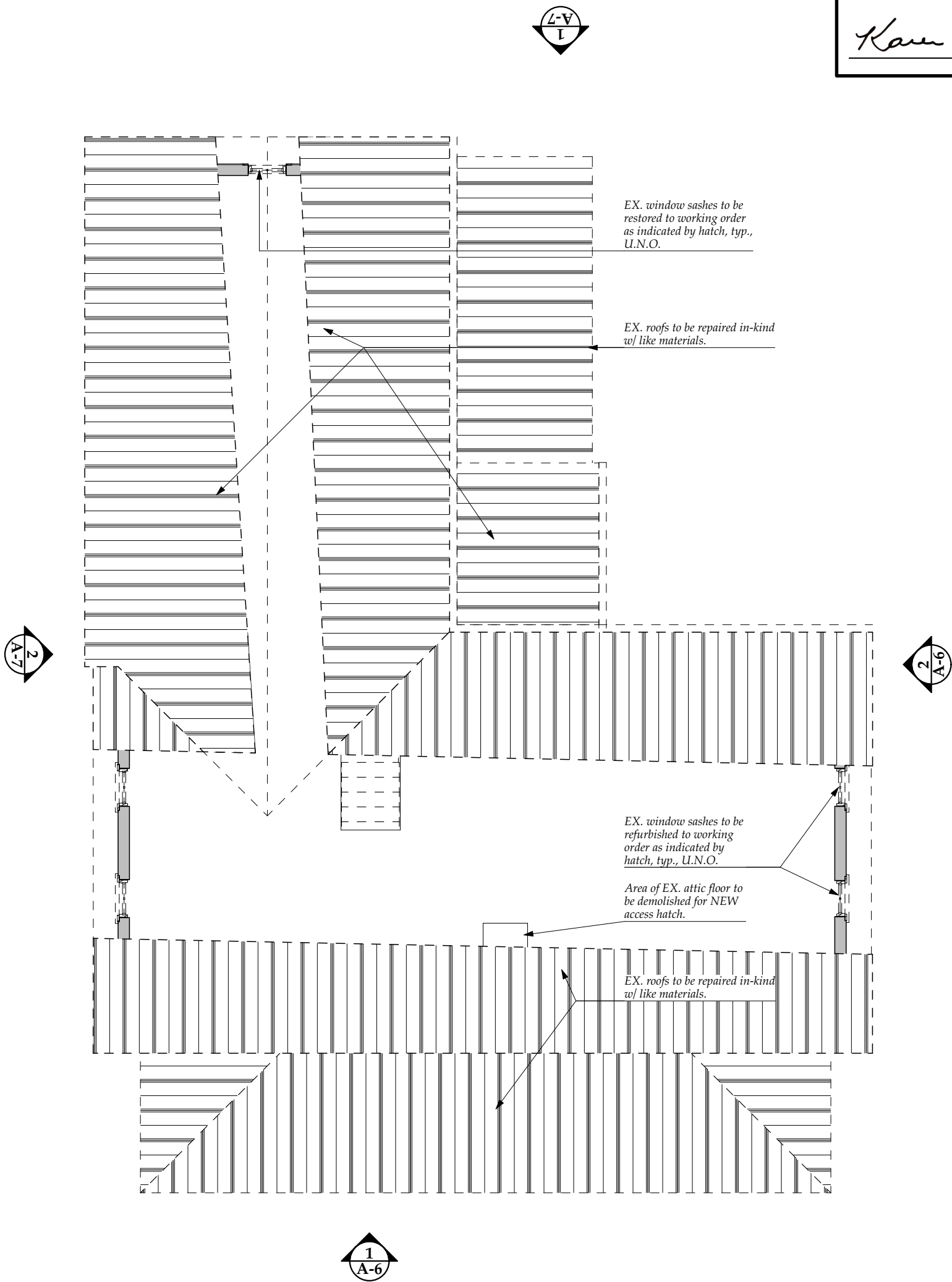
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Zoning Review

23345 Frederick Road
Clarksburg, MD 20871

Parcel: P120 Lot: --
Block: --

Jurisdiction: Montgomery County, MD

Zoning: CRT-0.5 C-05, R-0.5 H-45
Lot Area: 20037 S.F.
Overlay District: N/A

Historic District: Clarksburg Historical District

Attached Dwelling: Yes
Existing Use: Single-Family Residence
Proposed Use: *Change of Occupancy* - Office, Storage

	Required	Existing	Proposed
Units & Parking Spaces			
Number of Parking Spaces - Residential Use	2 Spaces	0 Spaces	2 Spaces
Number of Parking Spaces - Business Use	3.5/1000 SF of GFA Spaces	0 Spaces	15 Spaces
Number of Parking Spaces - Storage Use	1.5/1000 SF of GFA Spaces	0 Spaces	2 Spaces
Setbacks & Building Heights			
Front Yard Setback	0 L.F.	5.7 L.F.	-- L.F.
Side Street Setback	0 L.F.	15.10 L.F.	-- L.F.
Side Yard Setback (Southeast)	0 L.F.	14.20	-- L.F.
Side Yard Setback (Northwest)	0 L.F.	90.80 L.F.	-- L.F.
Rear yard depth (min.)	0 L.F.	127.80 L.F.	-- L.F.
Building Height	-- Stories	-- Stories	-- Stories
Lot Width @ Front Lot Line	n/a	52.6 Ft.	52.6 Ft.
Areas			
Lot Area	n/a	20075 S.F.	20075 S.F.
Gross Floor Area	-- S.F.	2162 S.F.	10018.5 Max
Floor Area Ratio (total)	0.25 - 4.0 Max.	0.11	0.50 Max
Floor Area Ratio (commercial)	0.25 - 3.5 Max.	0	-- Max
Building Area (footprint)	0 S.F.	916 S.F. (Assumes demolished shed.)	5012 S.F.
Open Space	10% Min.	4.56%	24.97%
Lot Coverage	n/a	916 S.F.	5012 S.F.
Lot Occupancy	0% Max.	4.56%	24.97%

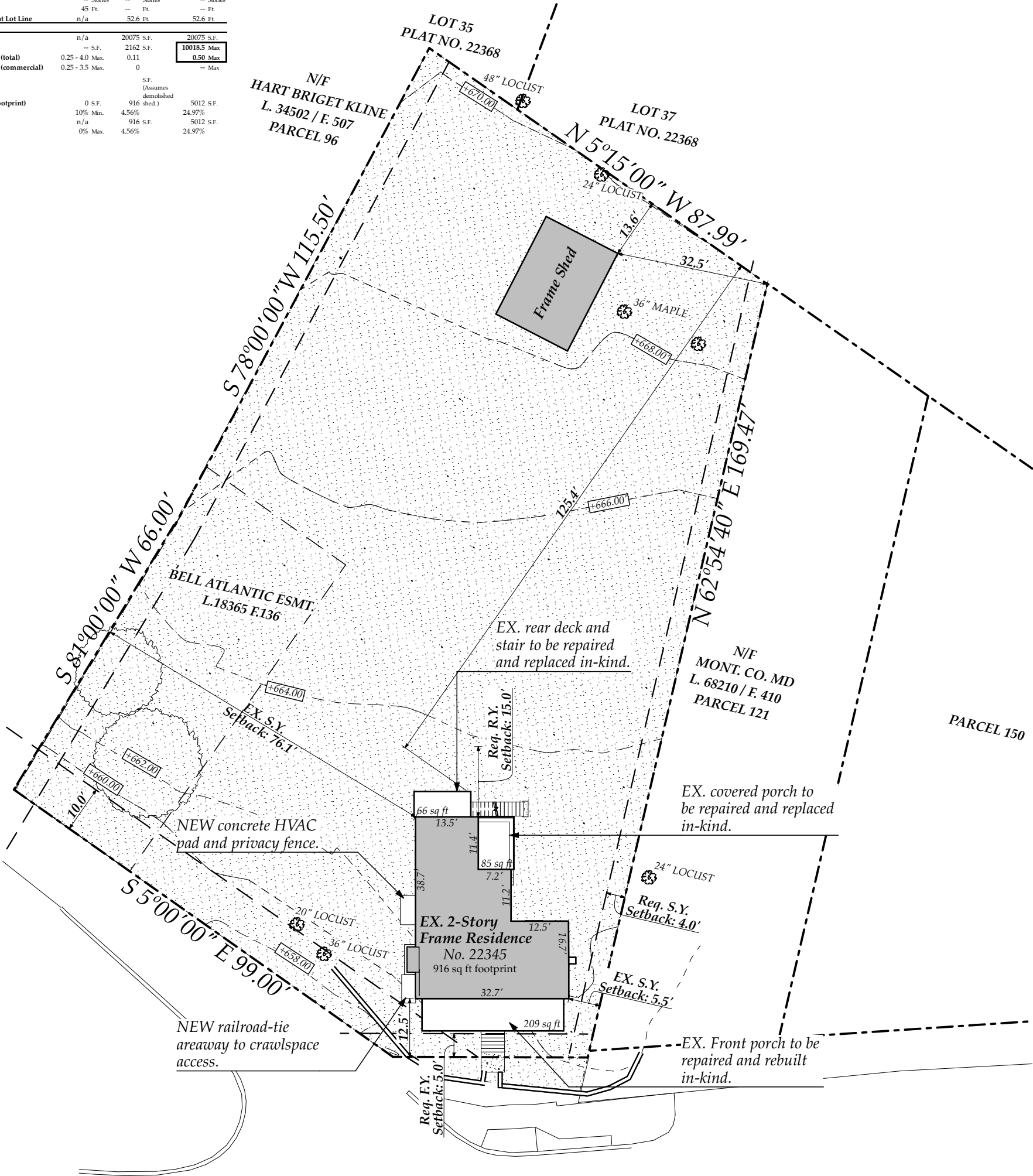
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Proposed Site Plan

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Old Parsonage Renovation
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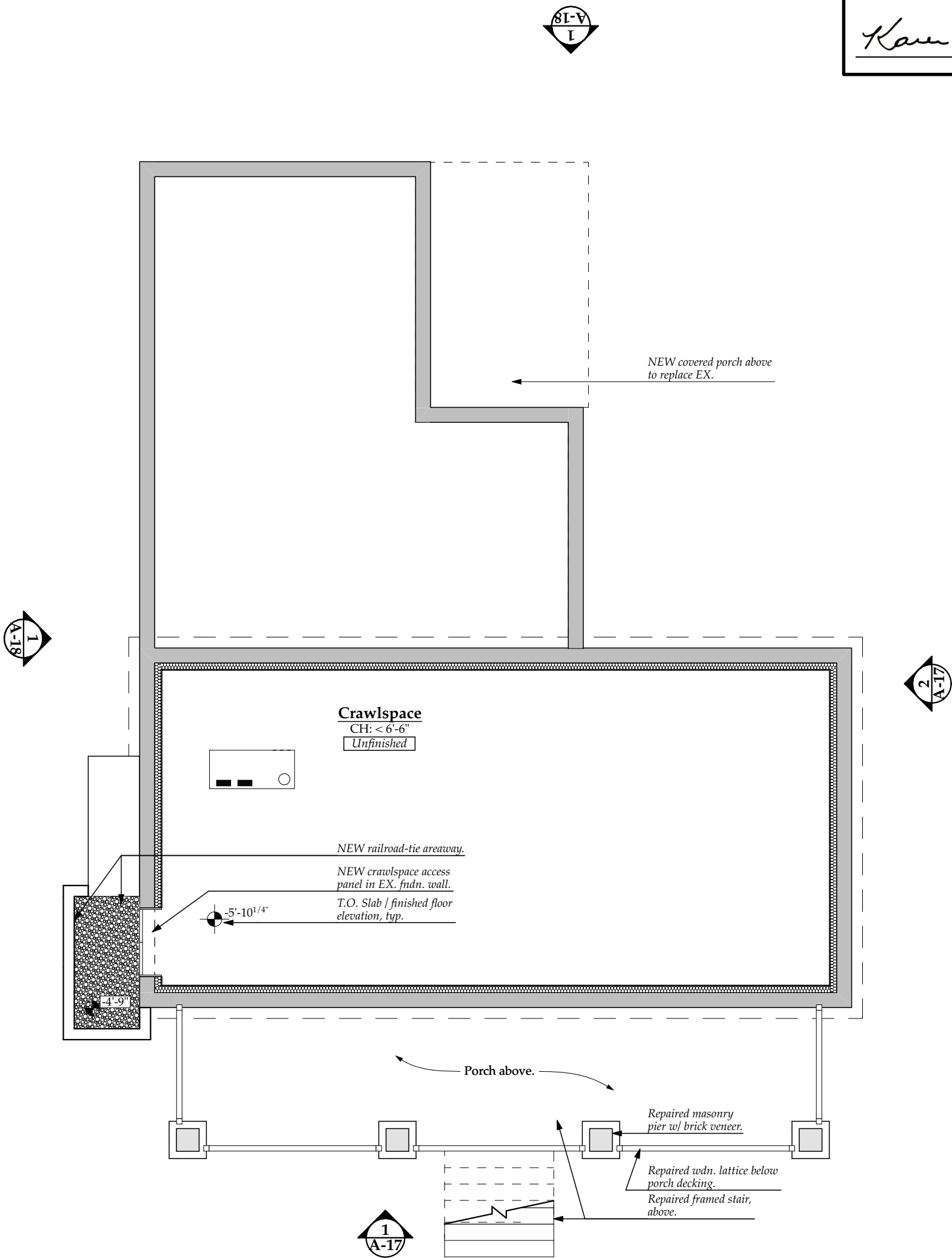
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Date: 6/11/25

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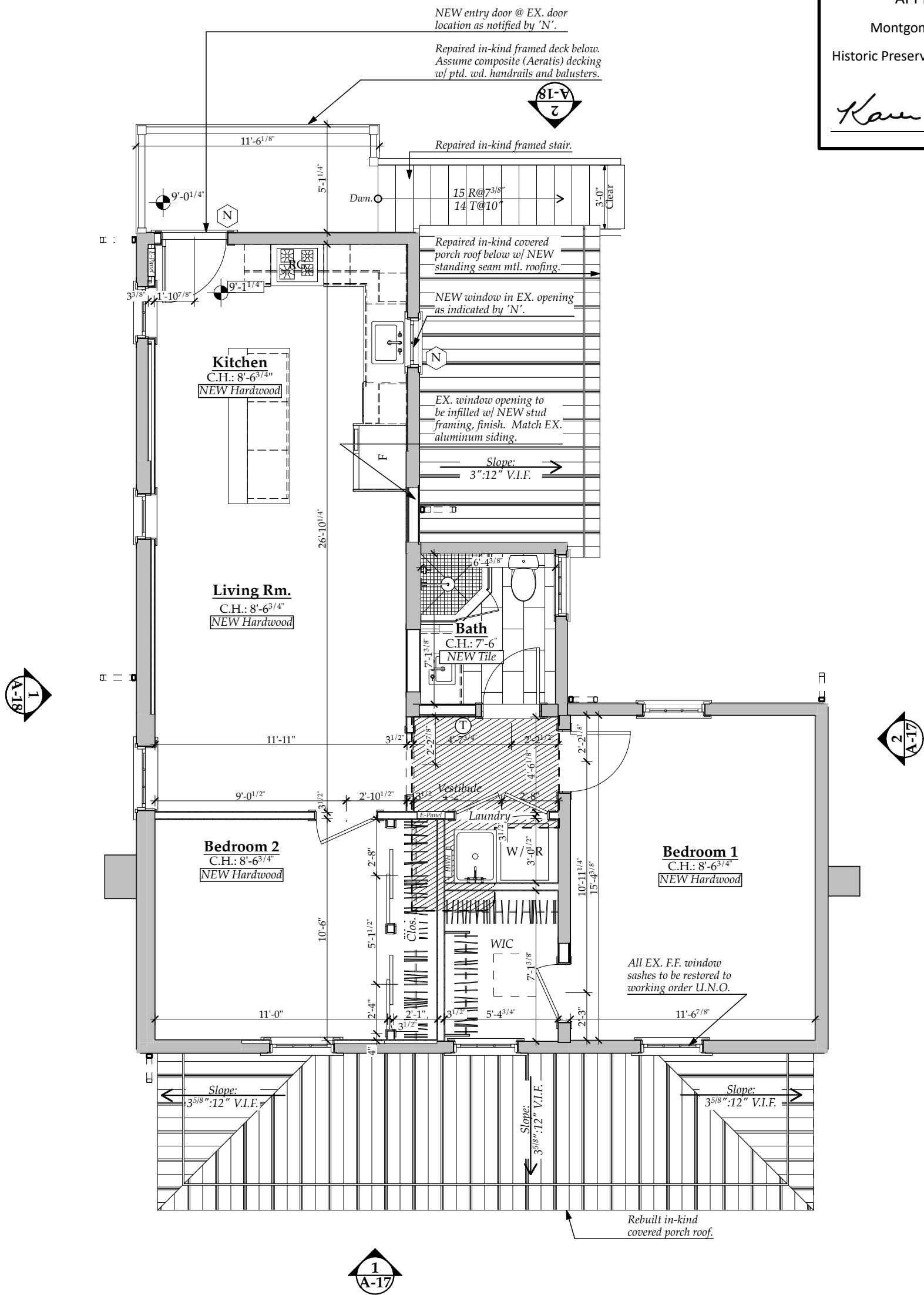


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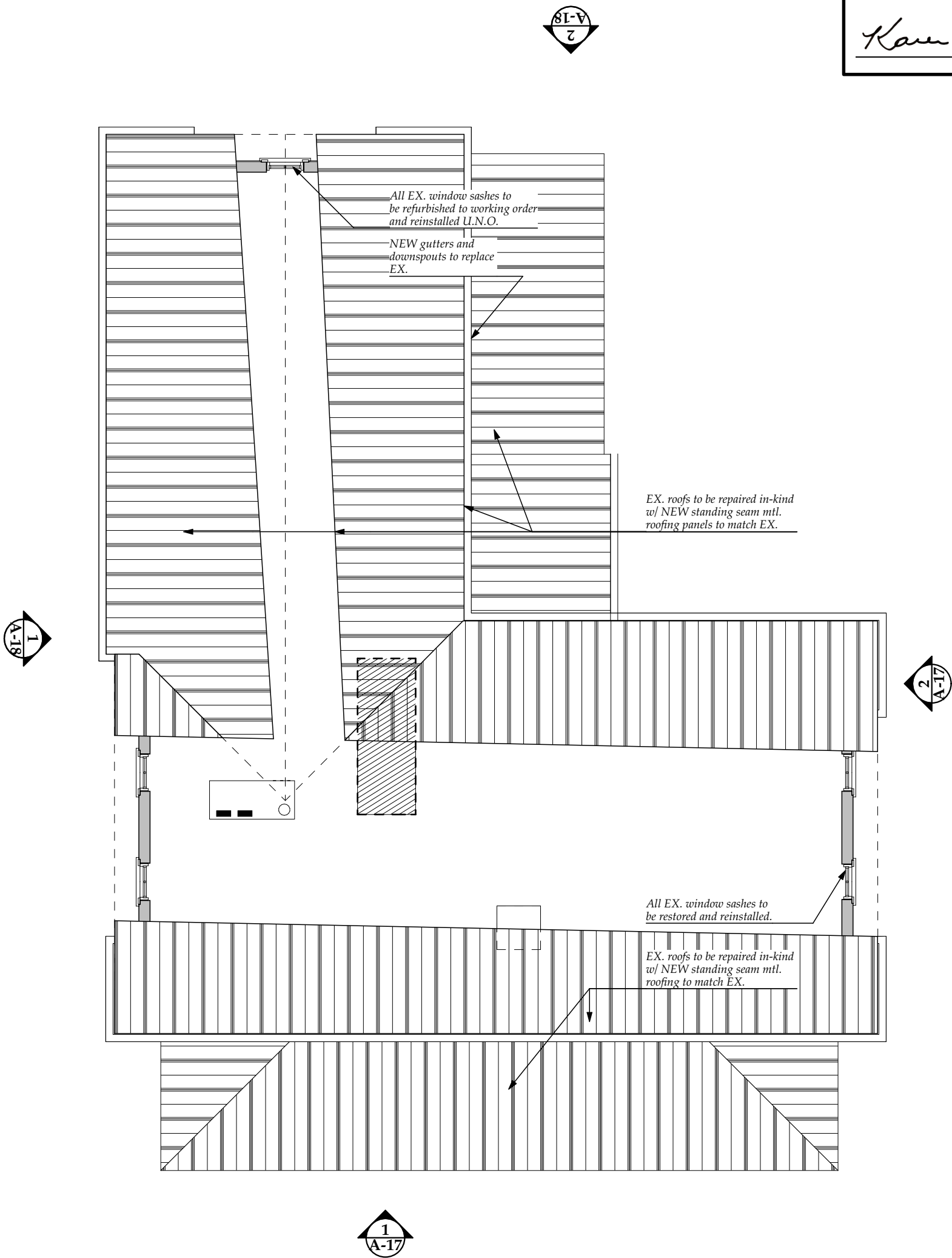


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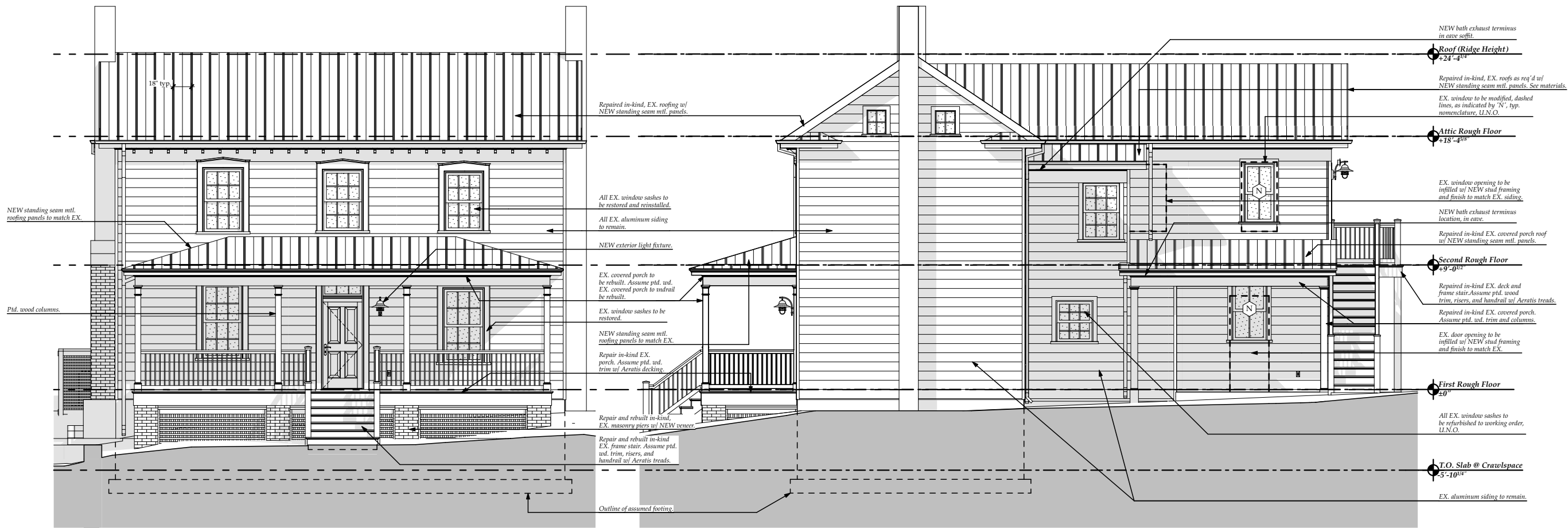
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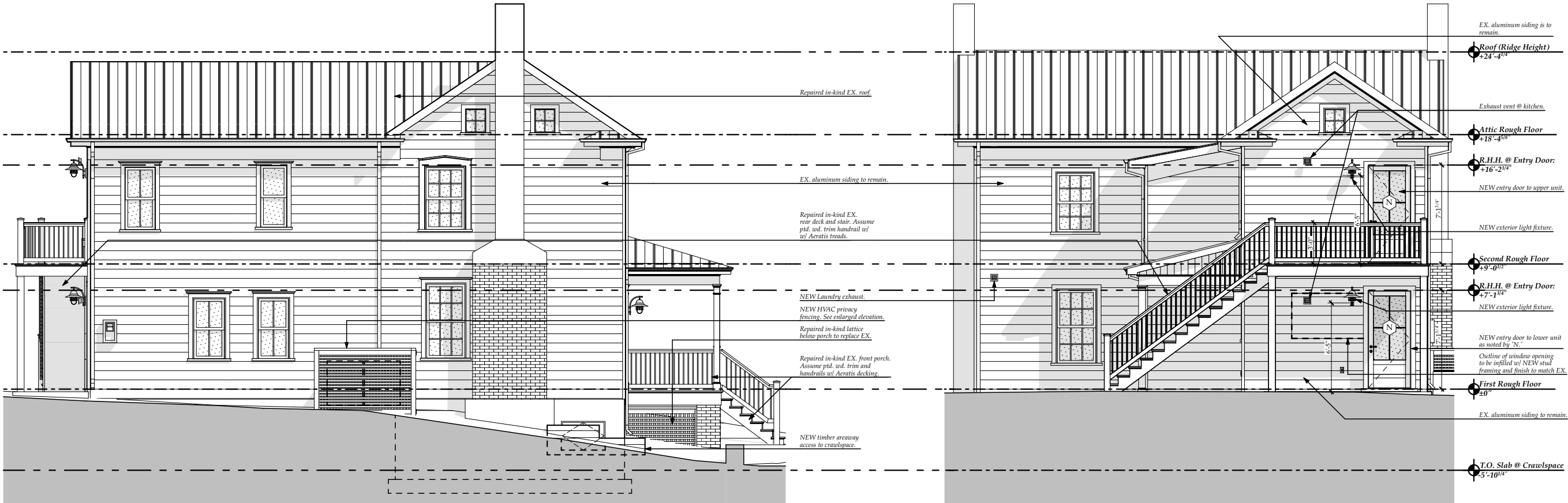
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General Note
Doors and window specification:
(All refurbished sashes and slabs):
Aluminum Clad wood w/ SDL.



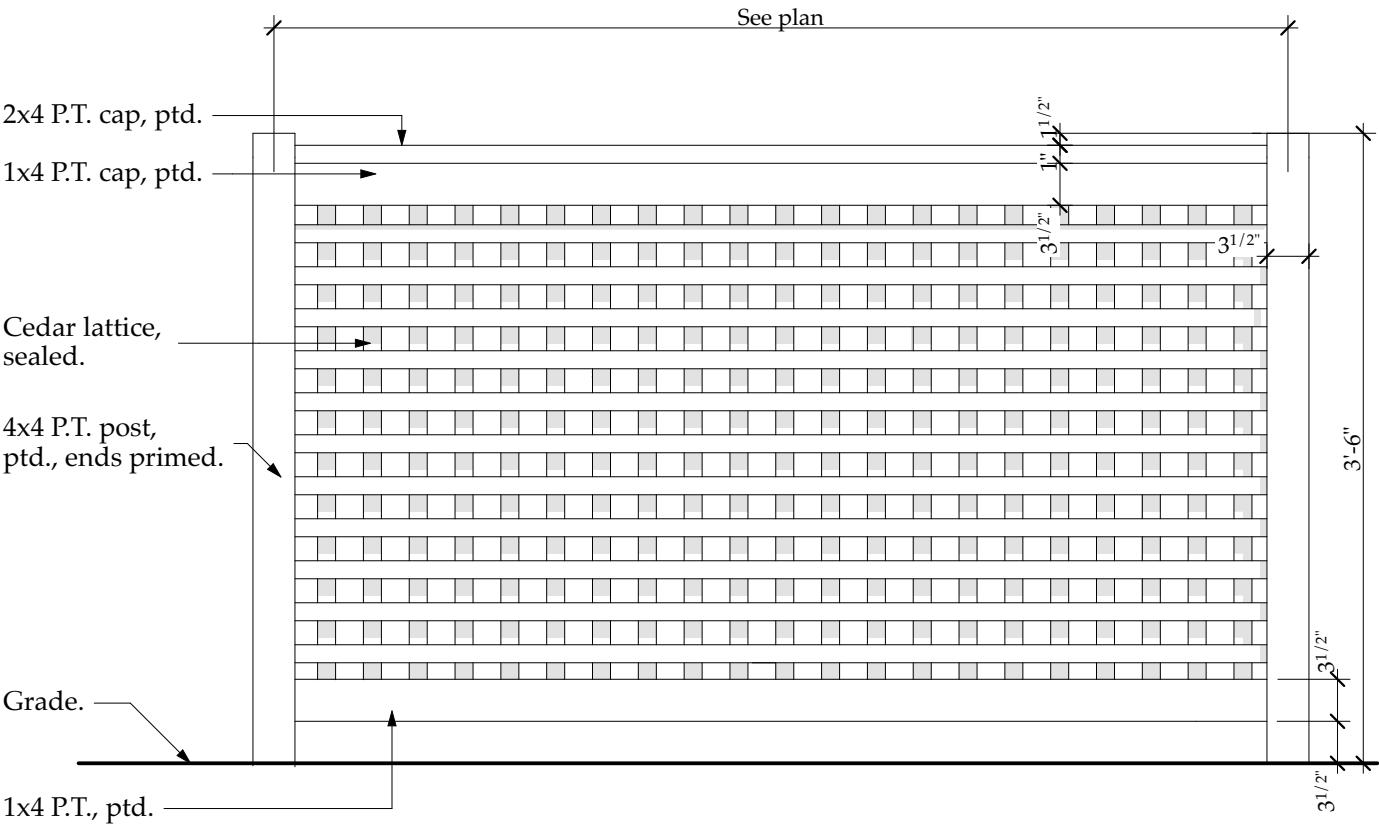
General Note
Doors and window specification:
(All refurbished sashes and slabs):
Aluminum Clad wood w/ SDL.



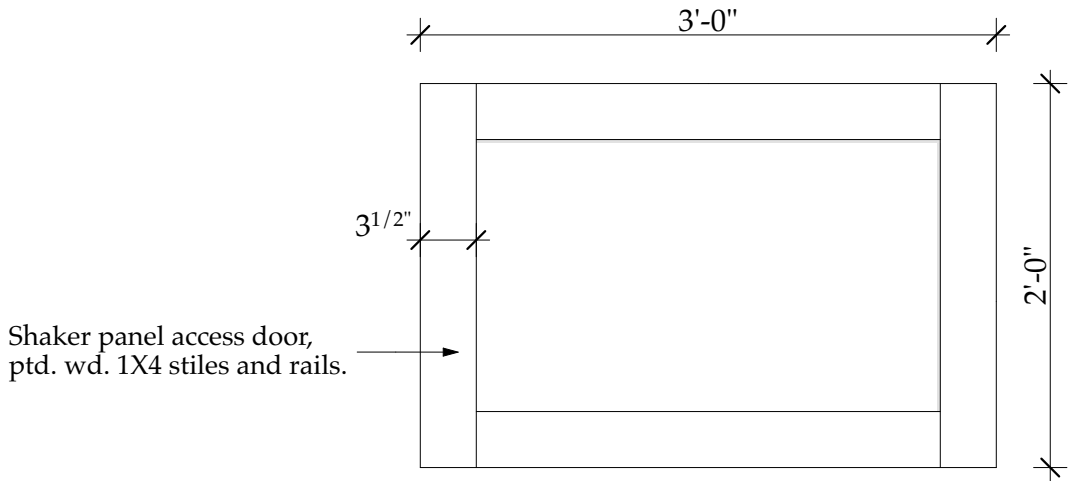
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Karen Buelit



01. ENLARGED ELEVATION of Proposed HVAC Fencing
Scale: 3/4" = 1'-0"



03. ENLARGED ELEVATION of Proposed Crawspace Access Door
Scale: 1" = 1'-0"

Stucco parging on fndn. walls, ptd., beyond.

6X6 rough sawn timber railroad tie retaining wall set into landscape, sealed. Step w/ grade.

Ptd. wd. flush panel crawspace access hatch. Paint exterior to match fndn. wall color, shaker door front. See elevs.

Finish grade.

T.O. Gravel @ Areaway:
-4'-9"

Outline of retaining wall.

4" crushed gravel substrate in base of areaway.

02. ENLARGED ELEVATION of Crawspace Areaway
Scale: 3/4" = 1'-0"

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Enlarged Elevations

Old Parsonage Renovation

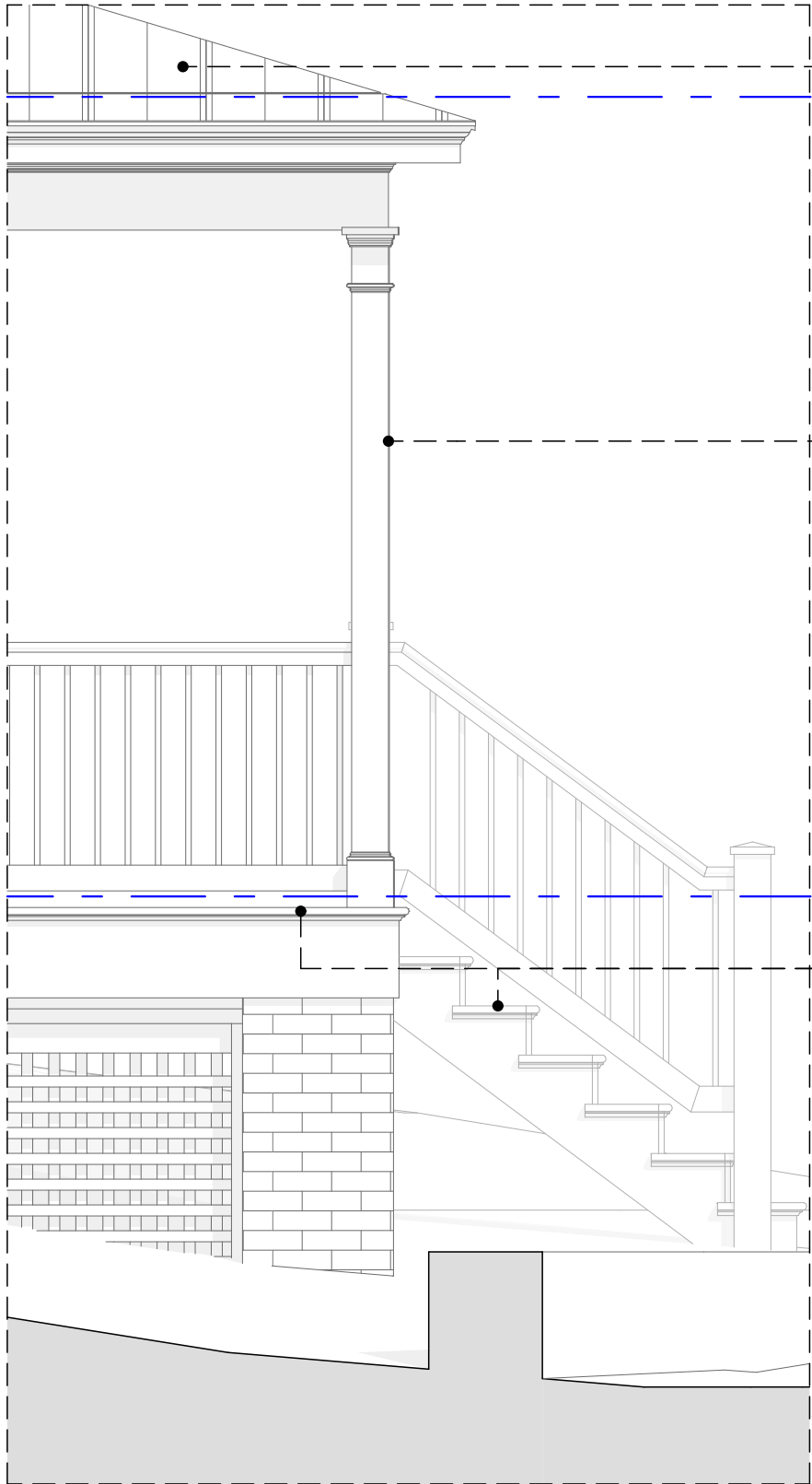
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Historic Work Area Permit Set

Scale: 3/4" = 1'-0", 1" = 1'-0"
Date: 6/24/25

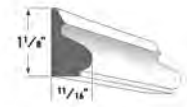
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Porch Columns | Wood Crown and Casing Profiles



BASE CAP AZM-164



SOLID CROWN
AZM-7954
LENGTH: 16'

Porch & Deck Flooring | Aeratis Traditions



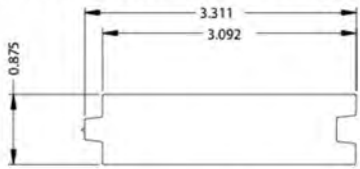
stain to maintain the warranty.

Aeratis Traditions tongue and groove porch flooring/ porch decking is a paint ready wood replacement product. Competitively priced compared to wood at the time of install, Aeratis Traditions T&G porch flooring offers an unsurpassed warranty, endless design capabilities, significantly lower maintenance than wood and an appearance that not even the most discerning historic official could tell it is not a wood porch when your project is complete.

Simply said, "Only a rich man can afford to install a wood porch floor today". This saying has a lot of truth. Not only is the life cycle of pine and fir significantly shorter than it was in years past, many consumers forget the actual annual cost of maintenance. On average many porch owners pay between \$4-\$9 per square foot annually on maintenance and upkeep.

Aeratis Traditions is an uncolored, paint-ready board that is designed specifically to replace wood tongue and groove products. Traditions can be painted or stained in any color. Unlike the Legacy or Heritage line which can also be painted, Traditions flooring requires paint or

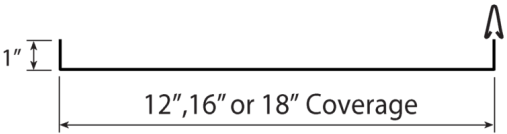
Aeratis Traditions T&G Porch Flooring Dimensions



Lengths: 12', 16', or 20'
Width: 3-1/8" (3.092)
Thickness: 7/8"



Roofing | Metal Sales US 'Mini Batten' Galvalume
Standing Seam 18" Exposure / 1" Rib Height



PRODUCT INFORMATION

Coverage:

12"
16"
18"

Rib Height: 1"

Manufacturing: Roll-Formed

Fastener: Standing Seam

Standard Gauge:

24 ga.
26 ga.

Available Material: Steel

Substrates: Steel

Standard Finishes:

MS Colorfast45
PVDF/FEVE
Acrylic Coated Galvalume®

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Proposed Materials

Old Parsonage Renovation

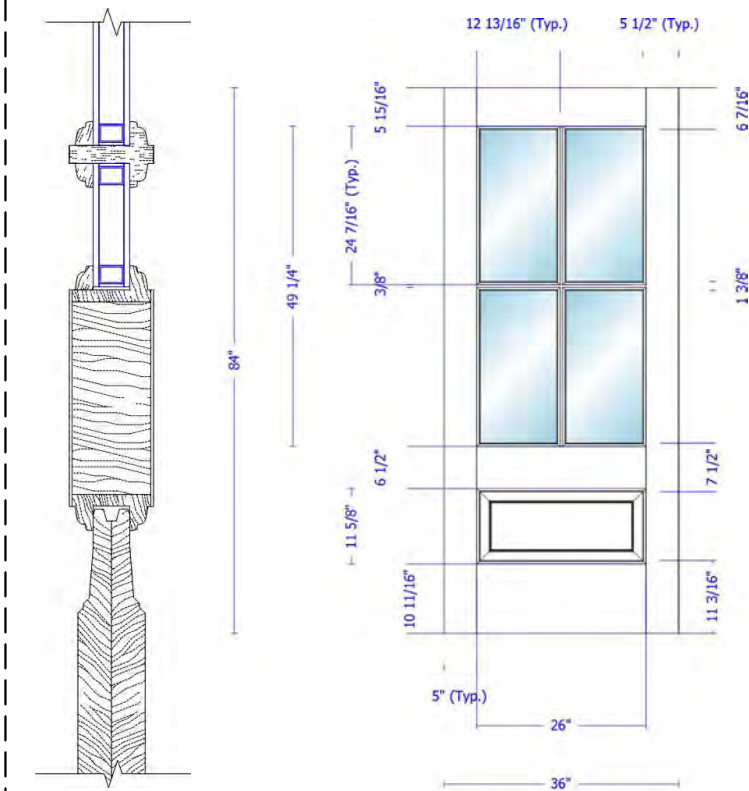
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A-20
Historic Work Area Permit Set

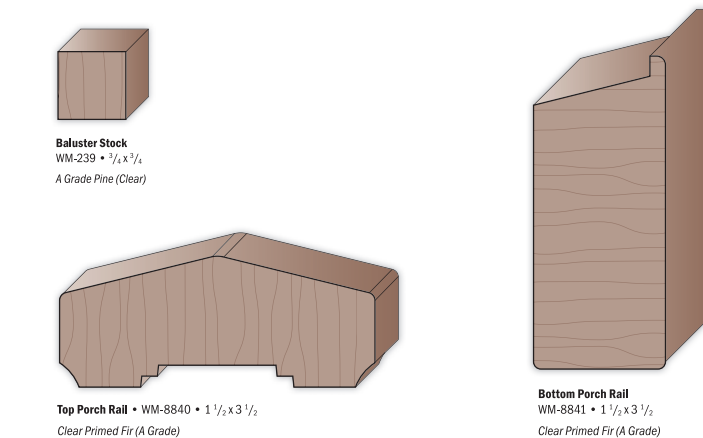
Date: 6/24/25

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Rear Doors | Simpson Leaf 7504 Thermal Sash



Porch & Stair Railings | TW Perry Wood Rail & Baluster, WM-239 (3/4" Baluster Stock), WM-8840 (Top Porch Rail), WM8841 (Bottom Porch Rail)

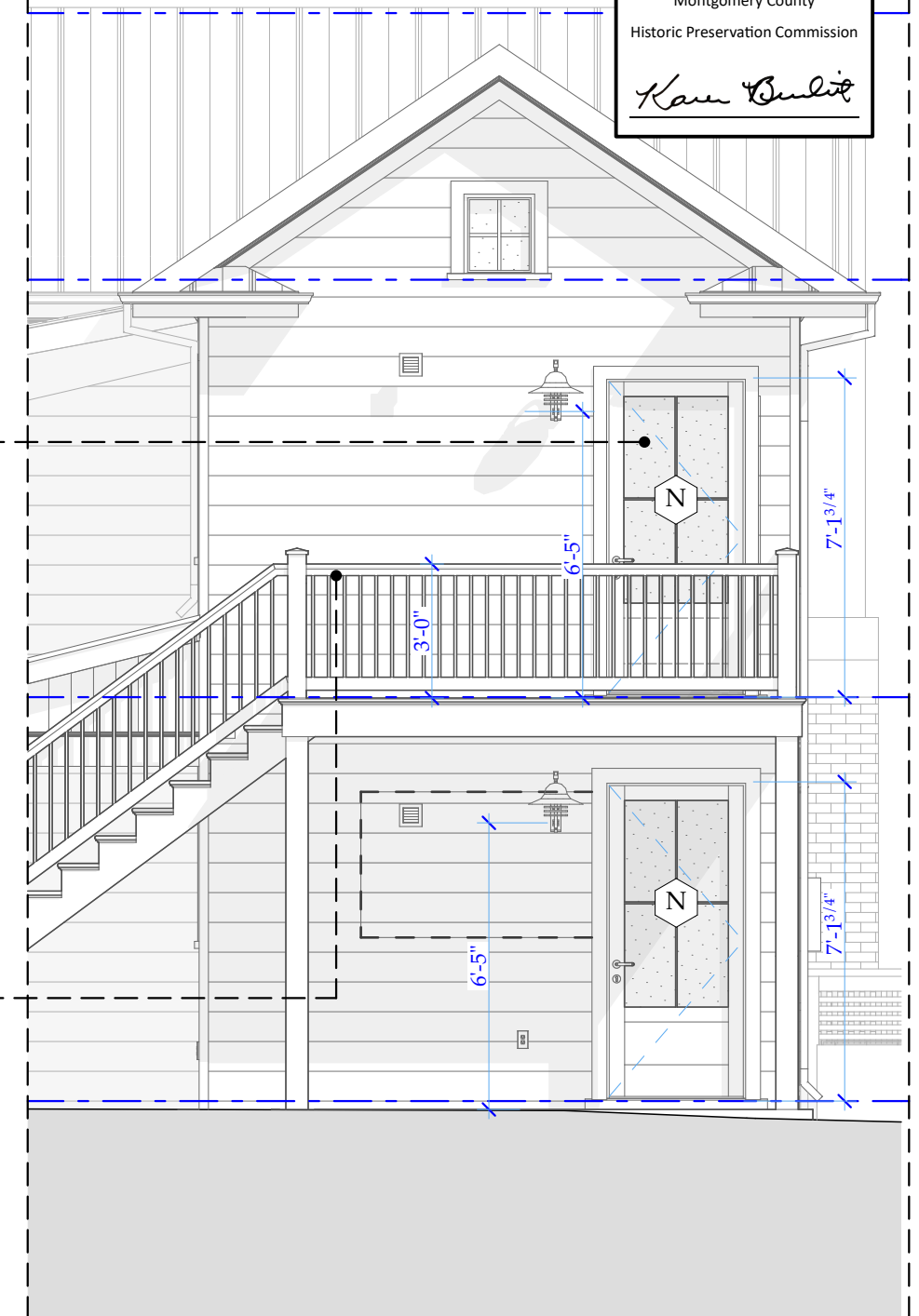


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Proposed Materials

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23345 Frederick Rd. • Clarksburg, MD 20871

Historic Work Area Permit Set

Scale: 1/4" = 1'-0", 1:2.57, 1:3.50, 1:2.05, 1:2.12

Date: 6/24/25

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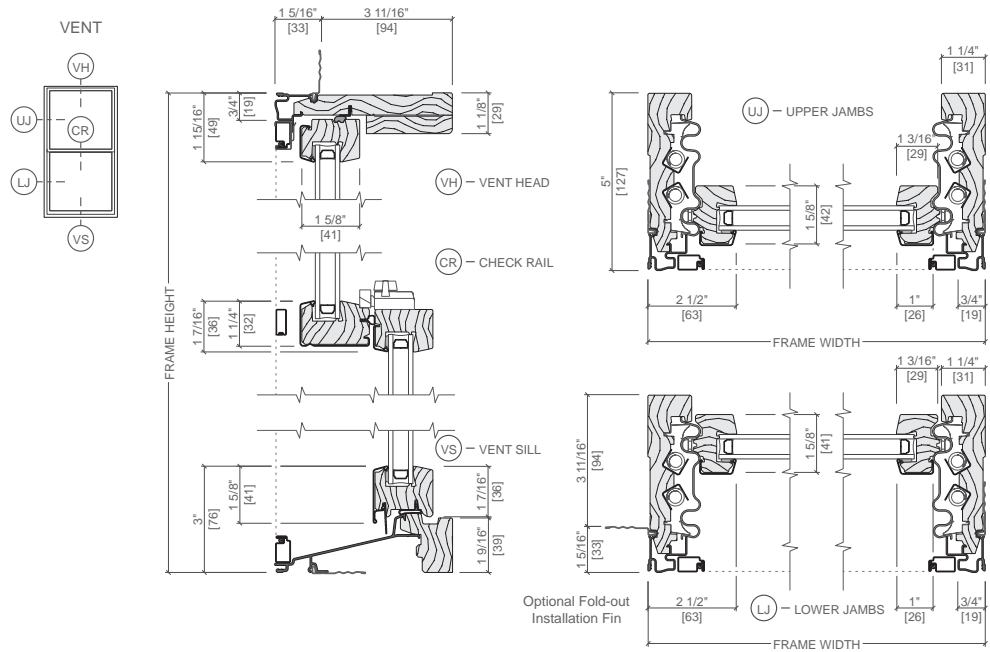


New Windows | Pella Lifestyle Series Double Hung with Simulated Divided Lites (SDL)



Lifestyle Series Double-Hung

Unit Sections



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Proposed Materials

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Historic Work Area Permit Set

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Project Views

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Historic Work Area Permit Set

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Project Views

Old Parsonage Renovation

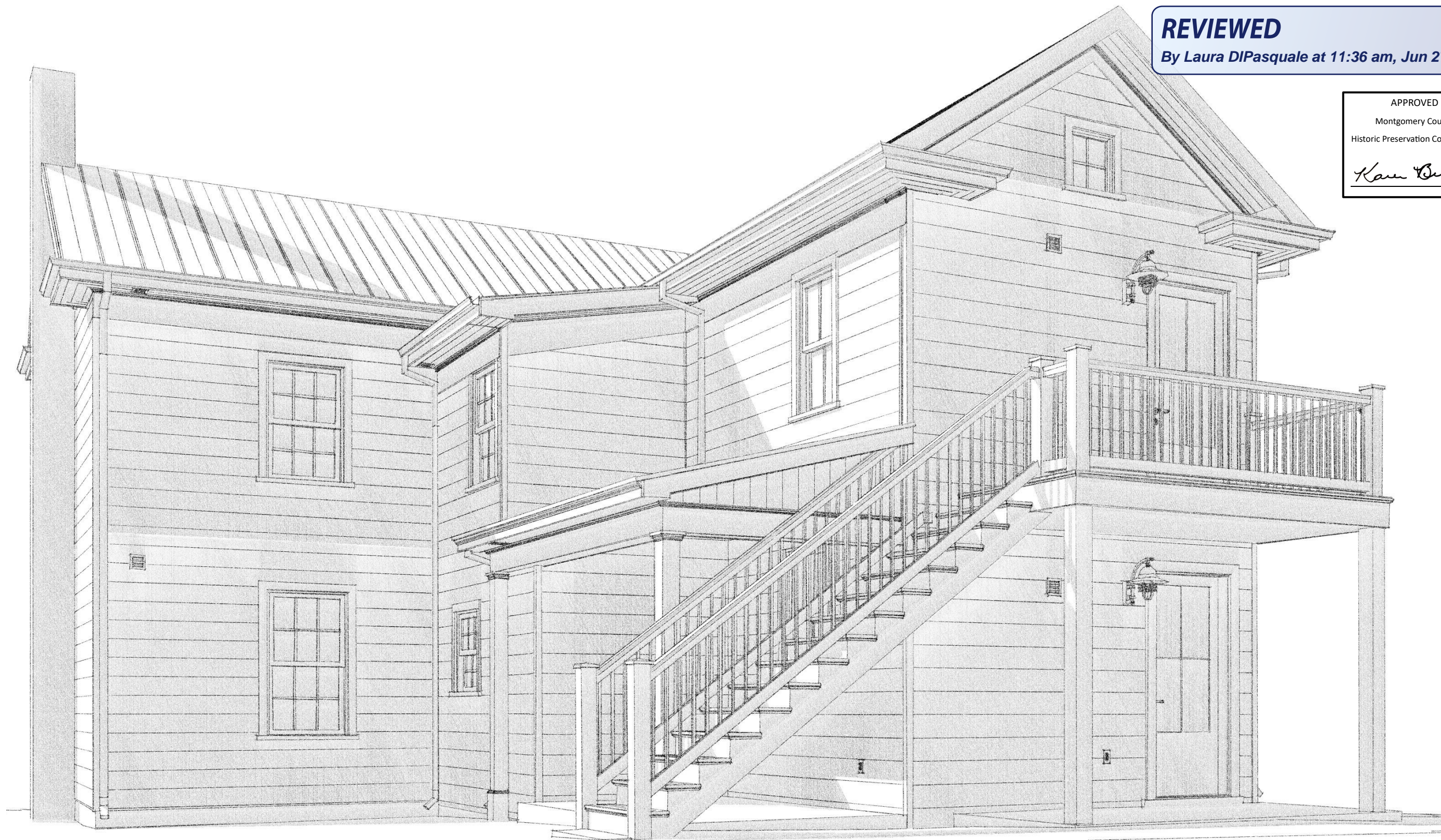
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