



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

Date: 8/13/2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1097561– Construction of two new single-family houses with associated grading, hardscape alterations, and tree removal

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with four (4) conditions** at the June 25, 2025 HPC meeting:

1. The Marvin Essential line windows are not approved. The new windows must have a traditional sash to glazing profile and simulated-divided-lights with 1-1/8 to 1-1/4 inch putty slope or beaded muntins; no grilles-between-glass. The applicant must provide window specifications, including the proposed muntin detail.
2. The proposed Hardie Shingle siding is not approved. The applicant must submit a specification for a different fiber cement shingle product at least half an inch thick.
3. All standing-seam metal roofing is removed and replaced with asphalt shingles.
4. The applicant must plant a minimum of two new shade trees per property.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Partap Verma
Address: 2500 Holman Avenue (Lots 7 & 8, to be known as 2504 and 2506 Holman Avenue)

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

REVIEWED

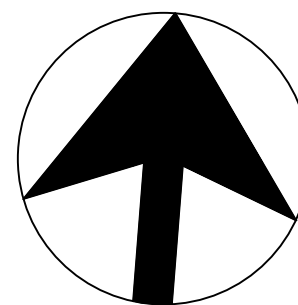
By Laura DiPasquale at 8:53 am, Aug 13, 2025

APPROVED

Montgomery County

Historic Preservation Commission

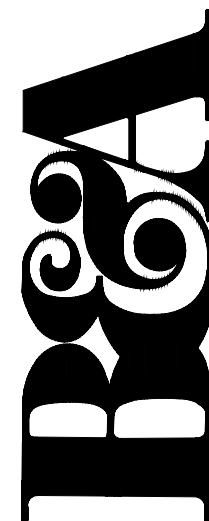
Karen Buntz



date: 06/04/2025

scale: 1" = 20'

Benning & Associates, Inc.
Land Planning Consultants
8933 Shady Grove Court
Gaithersburg, MD 20877
(301)948-0240



SITE PLAN
LOTS 7 & 8 of FOREST GLEN INV. CO. - JOSEPH PARK
2506 & 2504 Holman Avenue
Montgomery County, Maryland

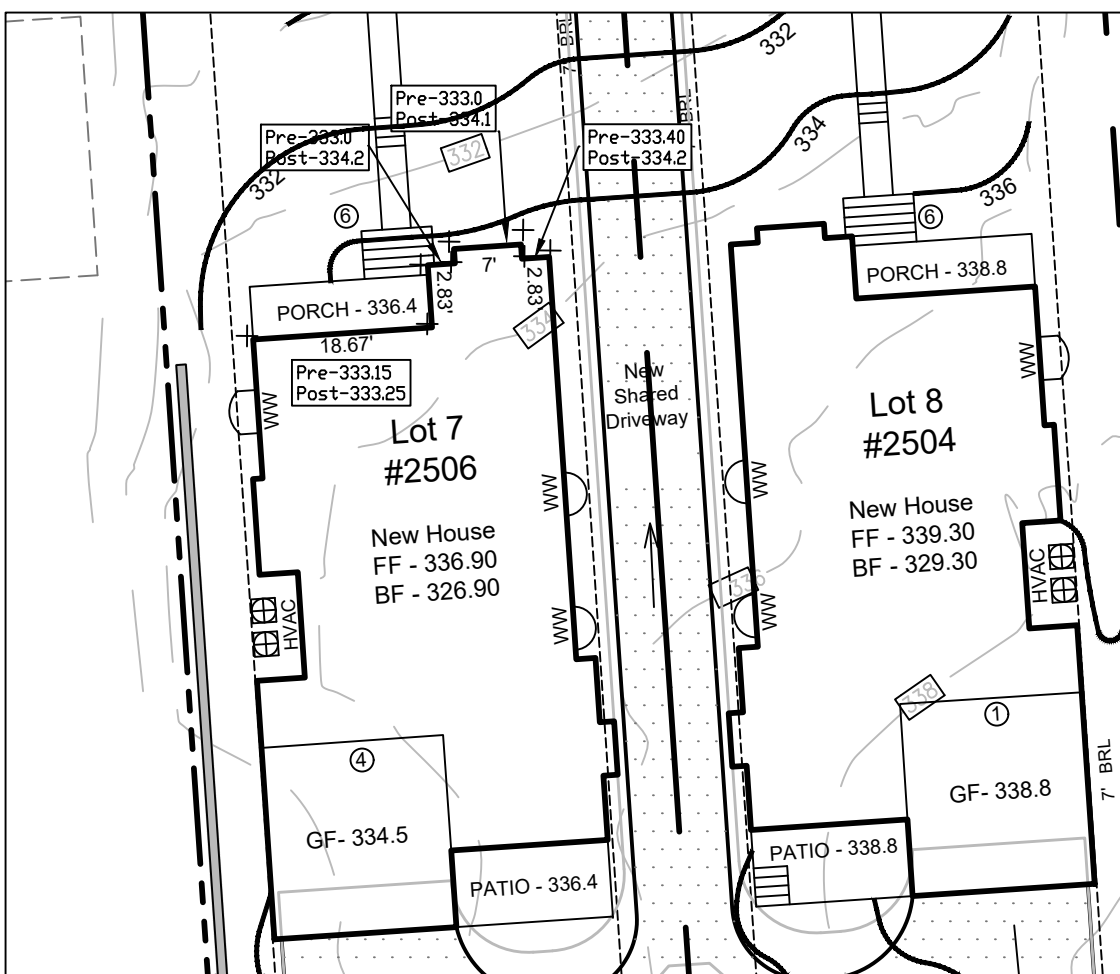
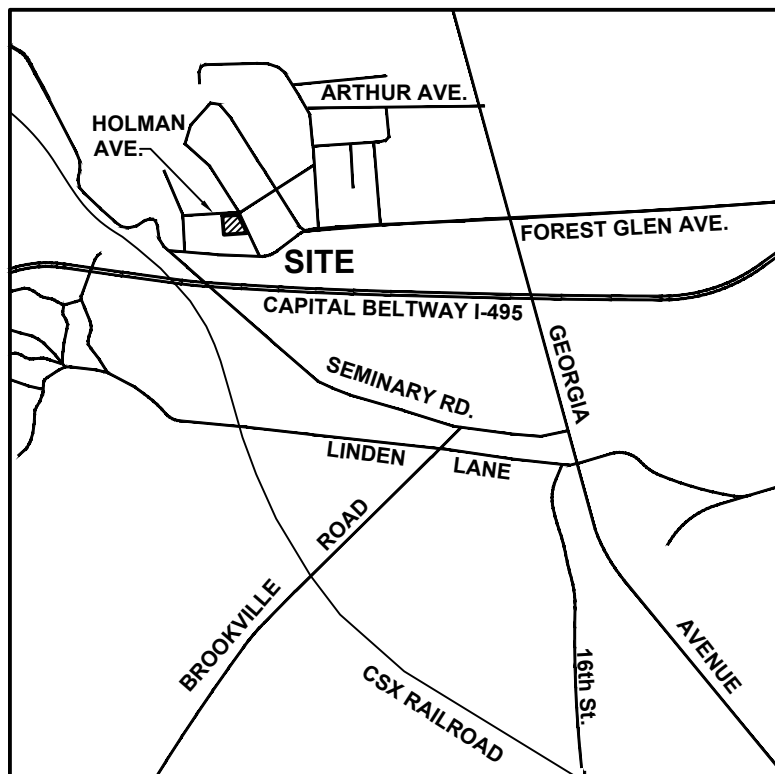
- LOT 7 GENERAL NOTES:**
1. Plat number - 17 (07/31/1888)
 2. Area of property - 10,000 sf
 3. Zoning: R-60
 4. Property served by public water and public sewer.

- ZONING NOTES:**
1. Setbacks-
Front - 25' or Established Building Line, whichever is greater
Side - 7'; (lot recorded before 1/1/1954)
Rear - 20'
 2. Minimum Lot Frontage-
25' at street
60' at front building line
 3. Maximum Building Height - 35' to roof peak, or 30' to mean height of roof between eave and peak.
Calculations -
18.67' section x avg. elev. 333.15 (pre-development) = 6,219.91
2.83' section x avg. elev. 333.00 (pre-development) = 942.39
7' section x avg. elev. 333.00 (pre-development) = 2,331.00
2.83' section x avg. elev. 333.40 (pre-development) = 943.52
10,436.82 / 31.33' = **333.12 avg. front elevation**
FFE 336.9 + 25.67' (height from FFE to mean height of roof per architectural drawings) = 362.57'
362.57' - 333.12 = **29.45' (average elevation of finished grade along front of building to mean height of roof)**
 4. Maximum Lot Coverage- 26% (infill)
10,000 sf x 0.26 = 2,600 sf (max. allowed)
Proposed Coverage - 2,013 sf (20.13%)

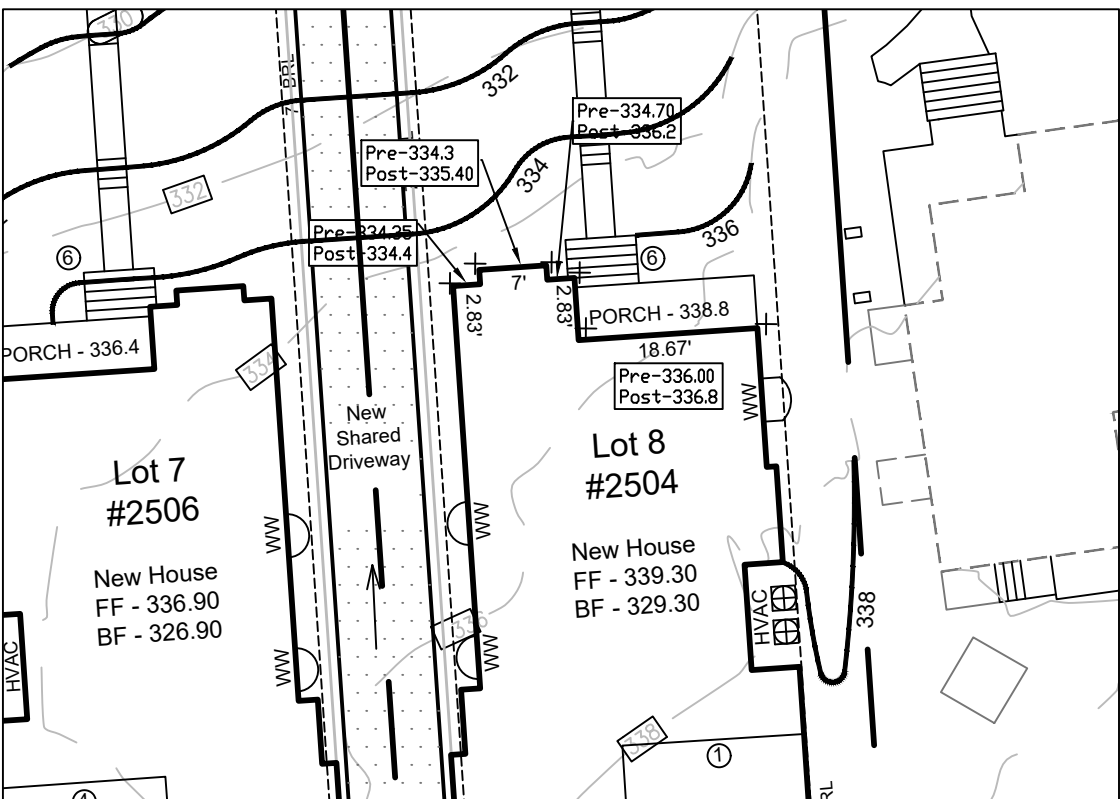
- LOT 8 GENERAL NOTES:**
1. Plat number - 17 (07/31/1888)
 2. Area of property - 10,000 sf
 3. Zoning: R-60
 4. Property served by public water and public sewer.

- ZONING NOTES:**
1. Setbacks-
Front - 25' or Established Building Line, whichever is greater
Side - 7'; (lot recorded before 1/1/1954)
Rear - 20'
 2. Minimum Lot Frontage-
25' at street
60' at front building line
 3. Maximum Building Height - 35' to roof peak, or 30' to mean height of roof between eave and peak.
Calculations -
2.83' section x avg. elev. 334.35 (pre-development) = 946.21
7' section x avg. elev. 334.30 (pre-development) = 2,340.10
2.83' section x avg. elev. 334.70 (pre-development) = 947.20
18.67' section x avg. elev. 336.00 (pre-development) = 6,273.12
10,506.63 / 31.33' = **335.35 avg. front elevation**
FFE 339.3 + 25.67' (height from FFE to mean height of roof per architectural drawings) = 364.97'
364.97' - 335.35 = **29.62' (average elevation of finished grade along front of building to mean height of roof)**
 4. Maximum Lot Coverage- 26% (infill)
10,000 sf x 0.26 = 2,600 sf (max. allowed)
Proposed Coverage - 2,013 sf (20.13%)

VICINITY MAP
SCALE: 1" = 2,000'



DETAIL VIEW: LOT 7 BUILDING HEIGHT DETERMINATION
1" = 20'

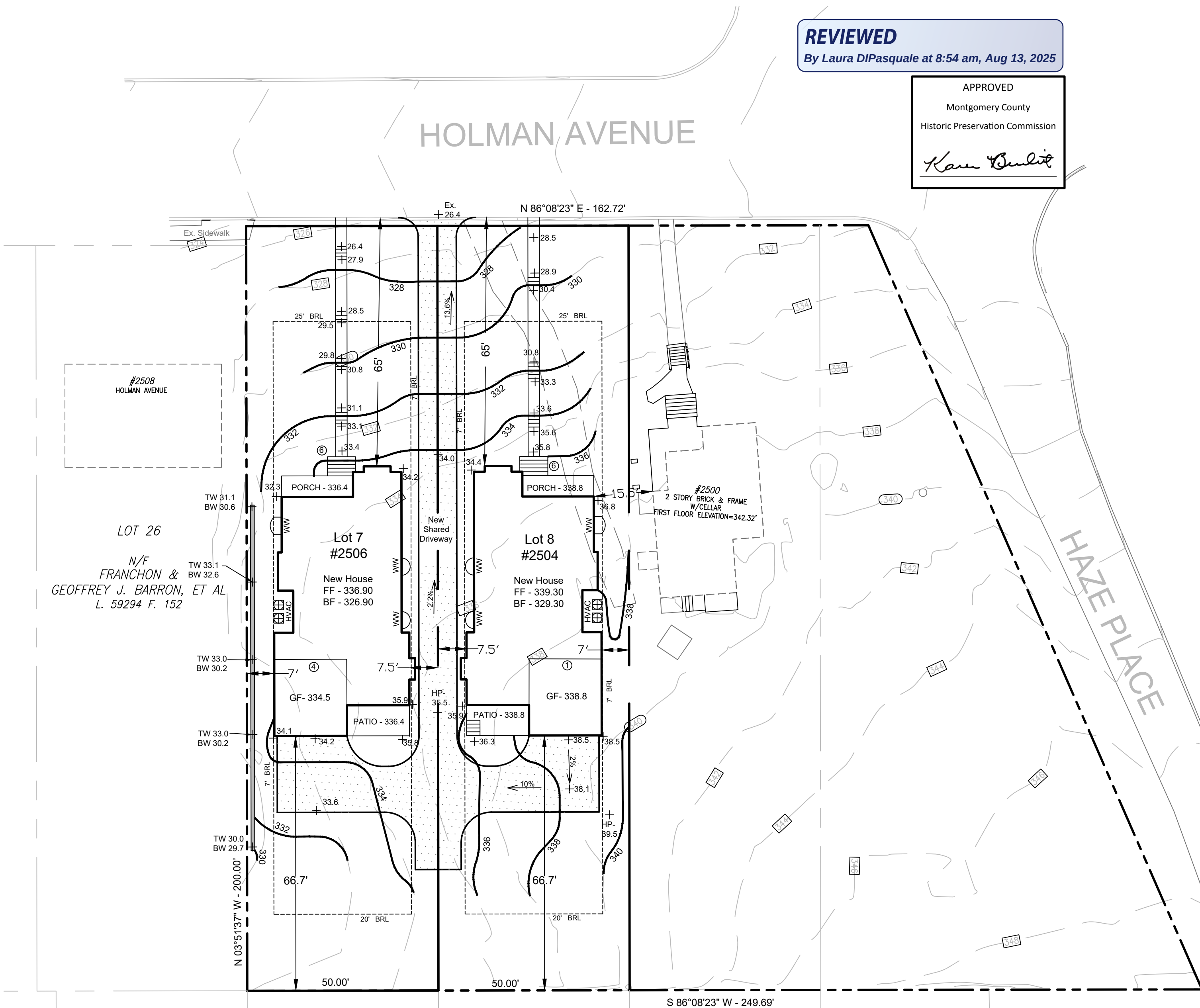


DETAIL VIEW: LOT 8 BUILDING HEIGHT DETERMINATION
1" = 20'

- LEGEND:**
- BUILDING RESTRICTION LINE: --- 7' BRL ---
 - EX. HOUSE: [Dashed outline]
 - INDEX CONTOUR (2' INTERVAL): [Line with 30.0]
 - INTERMEDIATE CONTOUR: [Line with 30.4]
 - No. OF RISERS: [Circle with 3]
 - PROPERTY LINE (SUBJECT): --- N 67° 04' 00" W ---
 - PROPERTY LINE: ---
 - PROPOSED CONTOUR: --- 362 ---
 - PROPOSED HOUSE: [Solid rectangle]
 - PROPOSED SPOT ELEV.: + 60.5

REVIEWED
By Laura DiPasquale at 8:54 am, Aug 13, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bulech

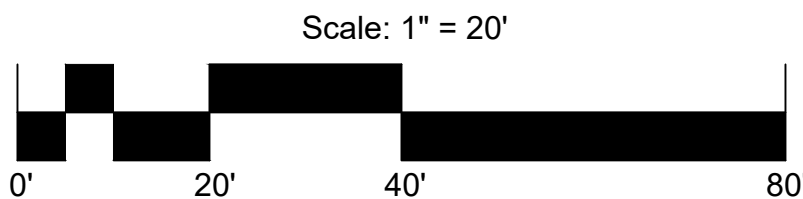


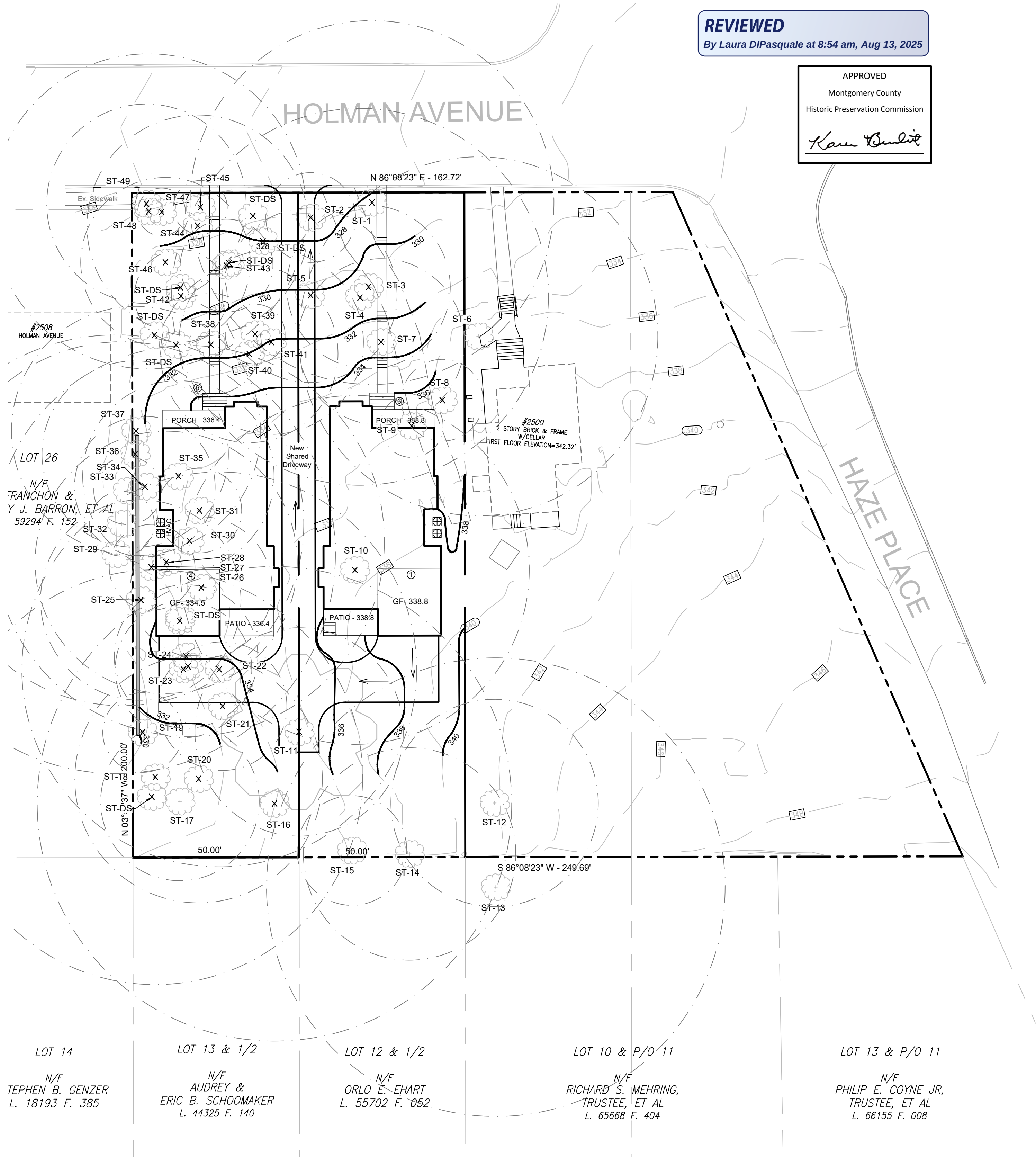
PROFESSIONAL CERTIFICATE:
I hereby certify that these documents were prepared or approved by me and that I am a registered Landscape Architect under the laws of the State of Maryland. Registration No. 2001, Expiration date 10-21-2026.

DW
Signature Date



SOURCE OF BOUNDARY & TOPOGRAPHIC DATA:
CHARLES P. JOHNSON & ASSOCIATES
1751 ELTON ROAD
SILVER SPRING, MD 20903
301-434-7000





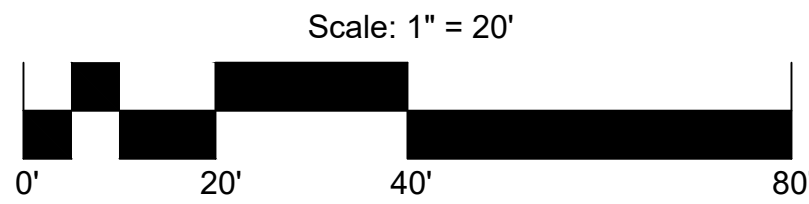
REVIEWED
By Laura DiPasquale at 8:54 am, Aug 13, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bullock

PROFESSIONAL CERTIFICATE:
I hereby certify that these documents were prepared or approved by me and that I am a registered Landscape Architect under the laws of the State of Maryland. Registration No. 2001, Expiration date 10-21-2026.
DW
Signature Date



SOURCE OF BOUNDARY & TOPOGRAPHIC DATA:
CHARLES P. JOHNSON & ASSOCIATES
1751 ELTON ROAD
SILVER SPRING, MD 20903
301-434-7000



TREE TABLE						
TREE NUMBER	BOTANICAL NAME	COMMON NAME	SIZE (D.B.H.)	TREE CONDITION	COMMENTS	STATUS
ST-1*	<i>Liriodendron tulipifera</i>	Tulip Poplar	36.5"	Moderate - Poor	English Ivy climbing trunk, adjacent to road & driveway, exposed wounded roots w/ decay, probable basal rot, adventitious limbs, dead broken w/ decay, dieback	To Be Removed
ST-2	<i>Acer platanoides</i>	Norway Maple	9.0"	Poor	Phototropic lean, English Ivy climbing trunk, adventitious limbs, dead broken limbs w/ decay, dead tree resetting on trunk, co-dominant leaders	To Be Removed
ST-3	<i>Juglans nigra</i>	Black Walnut	16.4"	Poor	Adjacent to driveway, phototropic lean, broken dead limbs w/ decay, co-dominant leaders, rubbing wound from adjacent tree limbs	To Be Removed
ST-4*	<i>Quercus coccinea</i>	Scarlet Oak	37.8"	Moderate	Adjacent to driveway, 15% visible girdling roots, wounded roots w/ decay, multiple vine species climbing trunk, included wood, adventitious limbs, broken dead limbs w/ decay	To Be Removed
ST-5	<i>Ulmus americana</i>	American Elm	17.5"	Poor	Phototropic lean, decay in root flare, probable basal rot, dead broken limbs w/ decay, co-dominant leaders, multiple vine species climbing trunk	To Be Removed
ST-6*	<i>Prunus serotina</i>	Black Cherry	36.0"	Poor	Off-site, phototropic lean, adventitious limbs, wound w/ decay on leader, tree has been topped	To Remain
ST-7	<i>Acer platanoides</i>	Norway Maple	16.7"	Moderate - Poor	Phototropic lean, lock and wire around trunk, VA creeper & English Ivy climbing trunk, adventitious limbs, dieback, galls and wounds on trunk	To Be Removed
ST-8	<i>Juniperus virginiana</i>	Eastern Red Cedar	8.2"	Moderate	VA creeper climbing trunk, buck rub, tree has been pruned	To Be Removed
ST-9	<i>Catalpa</i>	Cigar Tree	6.3"	Good	Off-site	To Be Removed
ST-10*	<i>Acer saccharinum</i>	Silver Maple	35.0"	Poor	Exposed roots w/ wounds and decay, basal rot, phototropic lean, Grapevine climbing trunk, galls, co-dominant leaders, dead leader, dieback	To Be Removed
ST-11	<i>Juglans nigra</i>	Black Walnut	20.9"	Moderate	Multiple vine species climbing trunk, phototropic lean, galls on trunk, co-dominant leaders, broken dead limbs, hanger	To Be Removed
ST-12	<i>Juglans nigra</i>	Black Walnut	20.8"	Moderate	Multiple vine species climbing trunk, phototropic lean, galls on trunk, co-dominant leaders, broken dead limbs w/ decay	To Remain
ST-13*	<i>Liriodendron tulipifera</i>	Tulip Poplar	46.0" (Estimate)	Moderate	Off-site, tree has been pruned, co-dominant leaders, dead broken limbs w/ decay	To Remain
ST-14	<i>Juglans nigra</i>	Black Walnut	21.3"	Moderate	Adjacent to fence, multiple vine species climbing trunk, galls on trunk, phototropic lean, dead broken limbs w/ decay	To Remain
ST-15	<i>Ulmus americana</i>	American Elm	11.0"	Moderate	Multiple vine species climbing trunk, adjacent to fence, co-dominant leaders, broken dead limbs w/ decay	To Remain
ST-16*	<i>Liriodendron tulipifera</i>	Tulip Poplar	47.6"	Poor	Phototropic lean, multiple vine species climbing trunk, adventitious limbs, dead scaffold limb w/ decay, co-dominant leaders, dead limbs w/ decay, big wound w/ decay	To Be Removed
ST-17	<i>Carya glabra</i>	Pignut Hickory	15.9"	Moderate-Poor	Sap sucker damage, English Ivy starting to climb trunk, possible basal rot, unbalanced canopy	To Remain
ST-18*	<i>Liriodendron tulipifera</i>	Tulip Poplar	41.6"	Moderate	Co-dominant leaders, galls on trunk, response wood growth below branch union, broken dead limbs w/ decay, dieback	To Be Removed
ST-19	<i>Acer platanoides</i>	Norway Maple	8.0"	Moderate	Covered in English Ivy, adventitious limbs, co-dominant leaders	To Be Removed
ST-20	<i>Liriodendron tulipifera</i>	Tulip Poplar	25.0"	Poor - Dead	Significant phototropic lean, large cavity w/ decay, dead leader, few limbs are alive	To Be Removed
ST-21	<i>Ulmus americana</i>	American Elm	12.9" / 11.7"	Moderate	Adventitious limbs, root flares fused, broken dead limbs w/ decay	To Be Removed
ST-22*	<i>Juglans nigra</i>	Black Walnut	39.6"	Moderate-Poor	Multiple vine species climbing trunk, galls on trunk, co-dominant leaders, broken dead limbs w/ decay, lost leader	To Be Removed
ST-23	<i>Ulmus americana</i>	American Elm	13.7"	Moderate	Adventitious limbs, buck rub, phototropic lean, co-dominant leaders	To Be Removed
ST-24	<i>Ulmus americana</i>	American Elm	14.4" / 6.4"	Moderate	Root flare fused, adventitious limbs, oozing sap, phototropic lean, 5% visible girdling roots, lost scaffold limb, cavity w/ decay, dead limbs w/ decay	To Be Removed

LEGEND:

BUILDING RESTRICTION LINE

EX. HOUSE

EX. ON-SITE TREE TO BE REMOVED

CRITICAL ROOT ZONE

INDEX CONTOUR (2' INTERVAL)

INTERMEDIATE CONTOUR

No. OF RISERS

PROPERTY LINE (SUBJECT)

PROPERTY LINE

PROPOSED CONTOUR

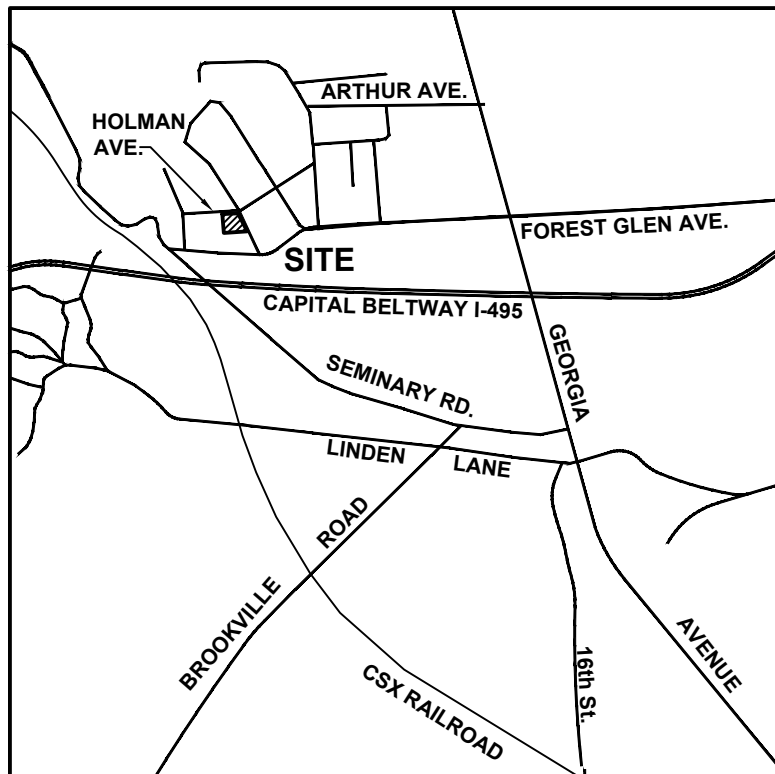
PROPOSED HOUSE

PROPOSED SPOT ELEV.

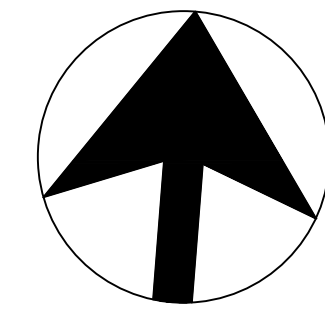
TREE TABLE						
TREE NUMBER	BOTANICAL NAME	COMMON NAME	SIZE (D.B.H.)	TREE CONDITION	COMMENTS	STATUS
ST-25	<i>Ulmus americana</i>	American Elm	20.1"	Moderate	Phototropic lean, galls on trunk, broken dead limbs w/ decay	To Be Removed
ST-26	<i>Ulmus americana</i>	American Elm	14.2" / 7.5"	Moderate - Poor	Probable basal rot, adventitious limbs, response wood growth in trunk, VA creeper climbing trunk, rubbing leaders, partially failed leader	To Be Removed
ST-27	<i>Ulmus americana</i>	American Elm	8.6"	Moderate	Possible basal rot, adventitious limbs, dead broken limbs, hangers, co-dominant leaders	To Be Removed
ST-28	<i>Liriodendron tulipifera</i>	Tulip Poplar	26.3"	Poor	Cavity above root collar, multiple vine species climbing trunk, phototropic lean, dead broken limbs w/ decay, adventitious limbs	To Be Removed
ST-29*	<i>Liriodendron tulipifera</i>	Tulip Poplar	44.0"	Moderate-Poor	Basal rot, large vertical crack w/ response wood growth, English Ivy starting to climb trunk, galls, co-dominant leaders, broken dead limbs	To Remain
ST-30*	<i>Liriodendron tulipifera</i>	Tulip Poplar	39.2"	Moderate	Multiple vine species climbing trunk, galls, adventitious limbs, lost leaders, co-dominant leaders, broken dead limbs w/ decay, terra cotta structure in root flare	To Be Removed
ST-31	<i>Ulmus americana</i>	American Elm	8.5"	Moderate	Multiple vine species climbing trunk, adventitious limbs, co-dominant leaders	To Be Removed
ST-32	<i>Ulmus americana</i>	American Elm	6.5" / 5.3"	Moderate	Included wood, basal rot, adventitious limbs, phototropic lean	To Remain
ST-33	<i>Ulmus americana</i>	American Elm	6.8"	Moderate	Grapevine on trunk, adventitious limbs, phototropic lean	To Remain
ST-34	<i>Juglans nigra</i>	Black Walnut	14.1"	Moderate	Multiple vine species starting to climb trunk, adventitious limbs, broken dead limbs w/ decay	To Be Removed
ST-35	<i>Juglans nigra</i>	Black Walnut	19.2"	Moderate	Phototropic lean, dead broken limbs w/ decay, dieback	To Be Removed
ST-36	<i>Morus alba</i>	White Mulberry	18.7"	Poor	Top of steep slope, phototropic lean, cavity w/ decay, dead broken limbs w/ decay	To Be Removed
ST-37	<i>Juglans nigra</i>	Black Walnut	25.0"	Moderate-Poor	Top of steep slope, multiple vine species climbing trunk, wire fence intrunk, buck rub, galls, adventitious limbs, dieback, dead broken limbs w/ decay	To Be Removed
ST-38	<i>Carya glabra</i>	Pignut Hickory	10.2"	Moderate	English Ivy climbing trunk, sap sucker damage, snag on trunk, dieback	To Be Removed
ST-39	<i>Acer platanoides</i>	Norway Maple	6.0"	Moderate	English Ivy climbing trunk, adventitious limbs	To Be Removed
ST-40	<i>Juglans nigra</i>	Black Walnut	17.8"	Poor	English Ivy on trunk, phototropic lean, co-dominant leaders, dead broken limbs w/ decay	To Be Removed
ST-41	<i>Juglans nigra</i>	Black Walnut	18.5"	Moderate-Poor	Co-dominant leaders, adventitious limbs, dieback, thin canopy	To Be Removed
ST-42	<i>Acer platanoides</i>	Norway Maple	9.3"	Poor	Main stem dead, English Ivy climbing trunk, snag, adventitious limbs, dead broken limbs	To Be Removed
ST-43	<i>Morus alba</i>	White Mulberry	9.3"	Moderate	Covered w/ English Ivy, dead broken limbs, dieback	To Be Removed
ST-44	<i>Robinian pseudoacacia</i>	Black Locust	22.2"	Poor	Severe decay, dead leaders, covered w/ English Ivy	To Be Removed
ST-45	<i>Acer platanoides</i>	Norway Maple	5.4"	Moderate	English Ivy on trunk, dead limbs	To Be Removed
ST-46	<i>Robinian pseudoacacia</i>	Black Locust	17.0"	Moderate	Broken dead limbs, trunk covered in English Ivy, co-dominant leaders	To Be Removed
ST-47	<i>Quercus coccinea</i>	Scarlet Oak	4.8"	Poor	English Ivy on trunk, dead broken limbs	To Be Removed
ST-48*	<i>Robinian pseudoacacia</i>	Black Locust	31.6"	Poor	Covered with English Ivy, dieback, dead broken limbs	To Be Removed
ST-49	<i>Morus alba</i>	White Mulberry	20.0"	Moderate	Pruned, covered in English Ivy, adventitious limbs, wounds on trunk	To Be Removed
ST-DS	Unidentified	Unidentified		Dead Standing		To Be Removed

*SPECIMEN TREE

VICINITY MAP
SCALE: 1" = 2,000'



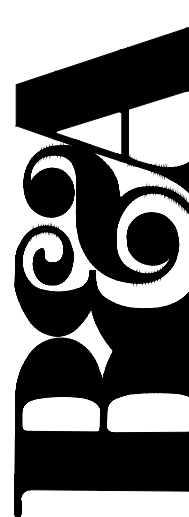
Sheet 1 of 1
Revisions



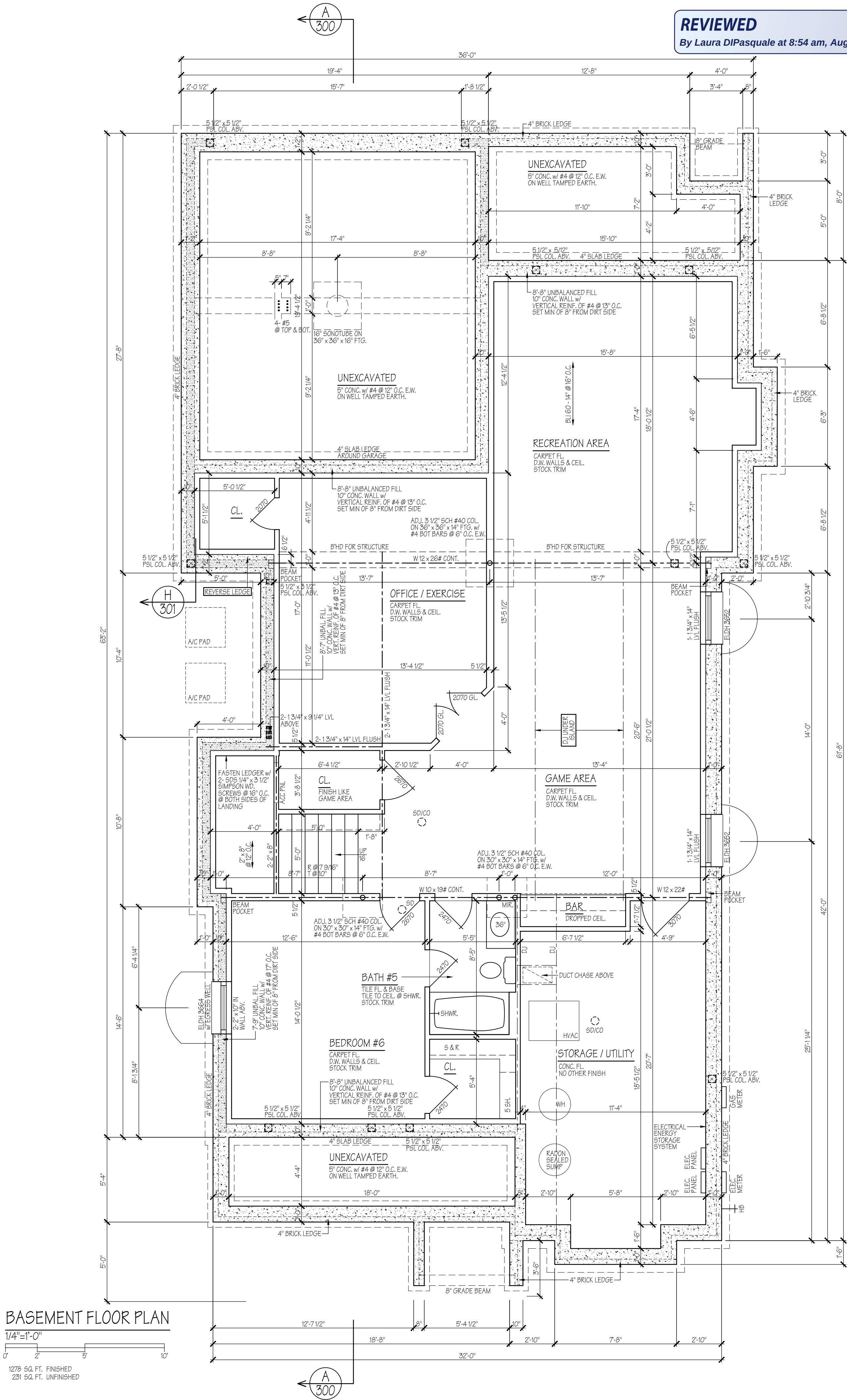
date: 06/04/2025

scale: 1" = 20'

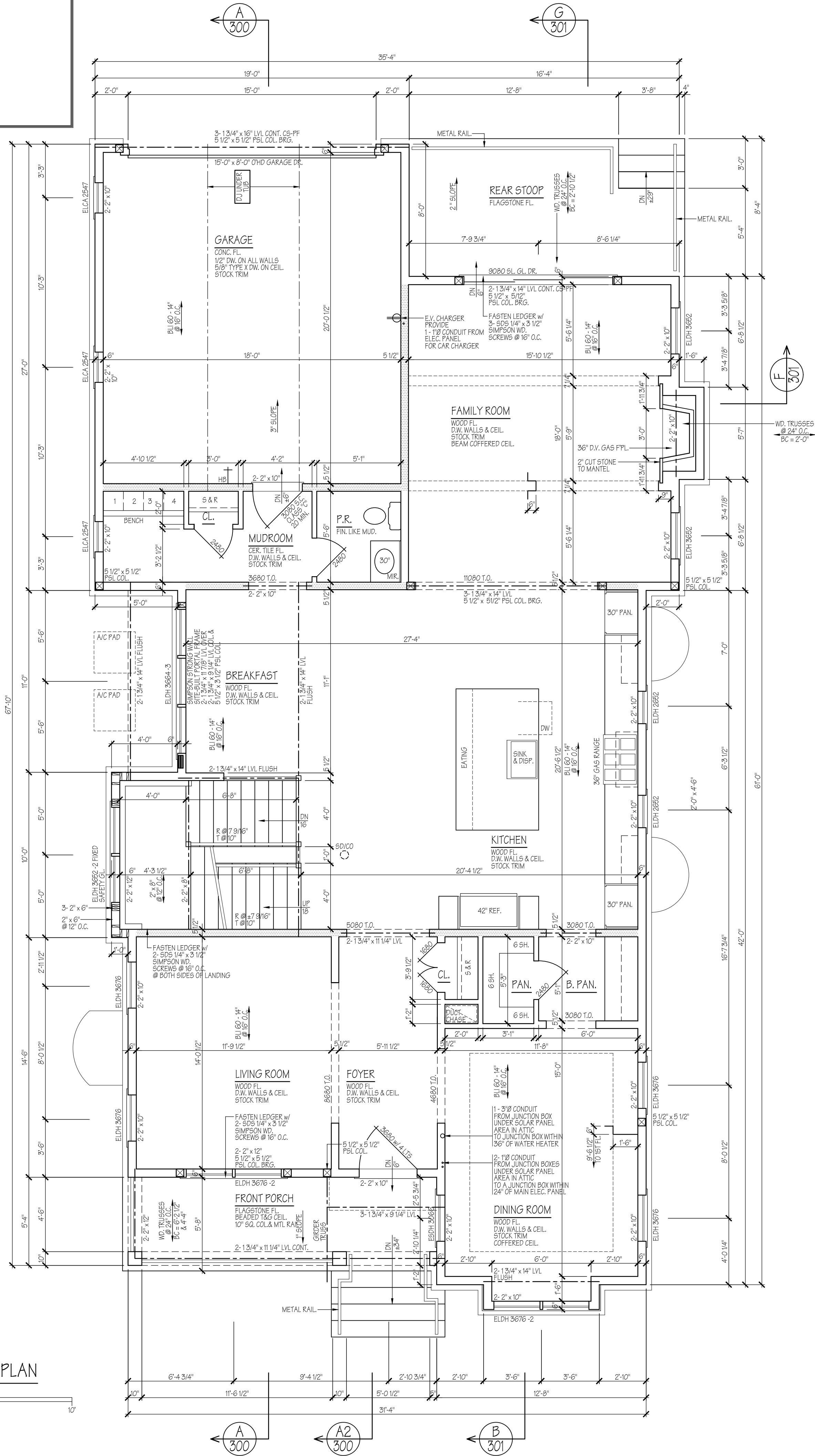
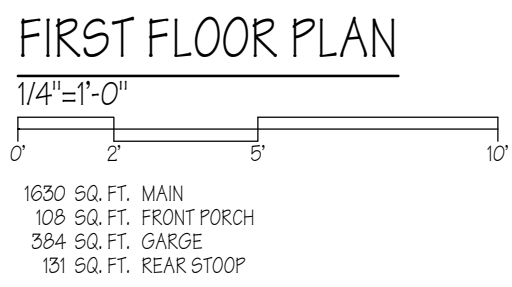
Benning & Associates, Inc.
Land Planning Consultants
8933 Shady Grove Court
Gaithersburg, MD 20877
(301)948-0240

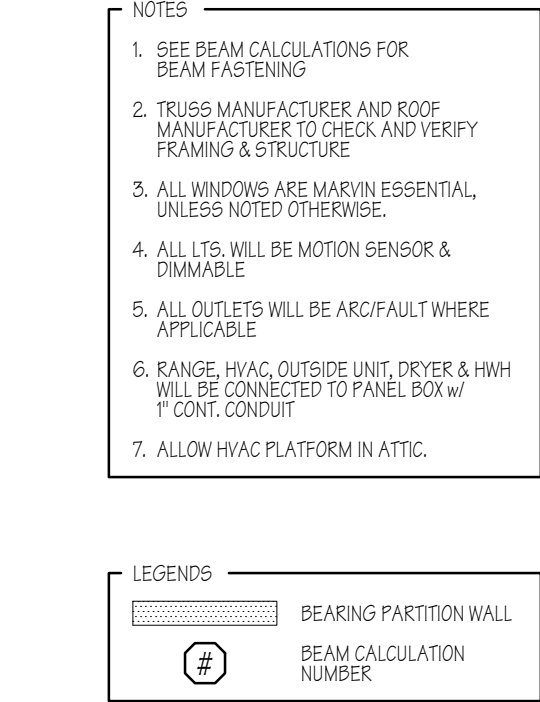


TREE INVENTORY PLAN
LOTS 7 & 8 of FOREST GLEN INV. CO. - JOSEPH PARK
2506 & 2504 Holman Avenue
Montgomery County, Maryland



- NOTES:**
- SEE BEAM CALCULATIONS FOR BEAM FASTENING.
 - TRUSS MANUFACTURER AND ROOF MANUFACTURER TO CHECK AND VERIFY FRAMING & STRUCTURE.
 - ALL WINDOWS ARE MARVIN ELEVATE, UNLESS NOTED OTHERWISE.
 - ALL LITS WILL BE MOTION SENSOR & DIMMABLE.
 - ALL OUTLETS WILL BE ARC-FAULT WHERE APPLICABLE.
 - RANGE, HVAC, OUTSIDE UNIT, DRYER & HWH WILL BE CONNECTED TO PANEL BOX w/ T. COND. CONDUIT.
- LEGENDS:**
- CONC.
 - ADDITIONAL POUR ON CONC.
 - BEARING PARTITION WALL
- SIMPSON STRONG WALL FASTENING INFO.**
- SIMPSON SITE-BUILD PORTAL FRAME
- 2-1 3/4" x 9 1/4" LVL COLUMNS & 2-1 3/4" x 11 7/8" LVL BEAM WALL. INSTALL PER MANUF. INSTRUCTIONS, FASTEN TO CONCRETE w/ (2) 5/8" ASTM F306 GRADE 36 OR ASTM A56 REBAR RODS SET IN DRILLED HOLES w/ EPOXY & MIN. 14" EMBEDMENT.





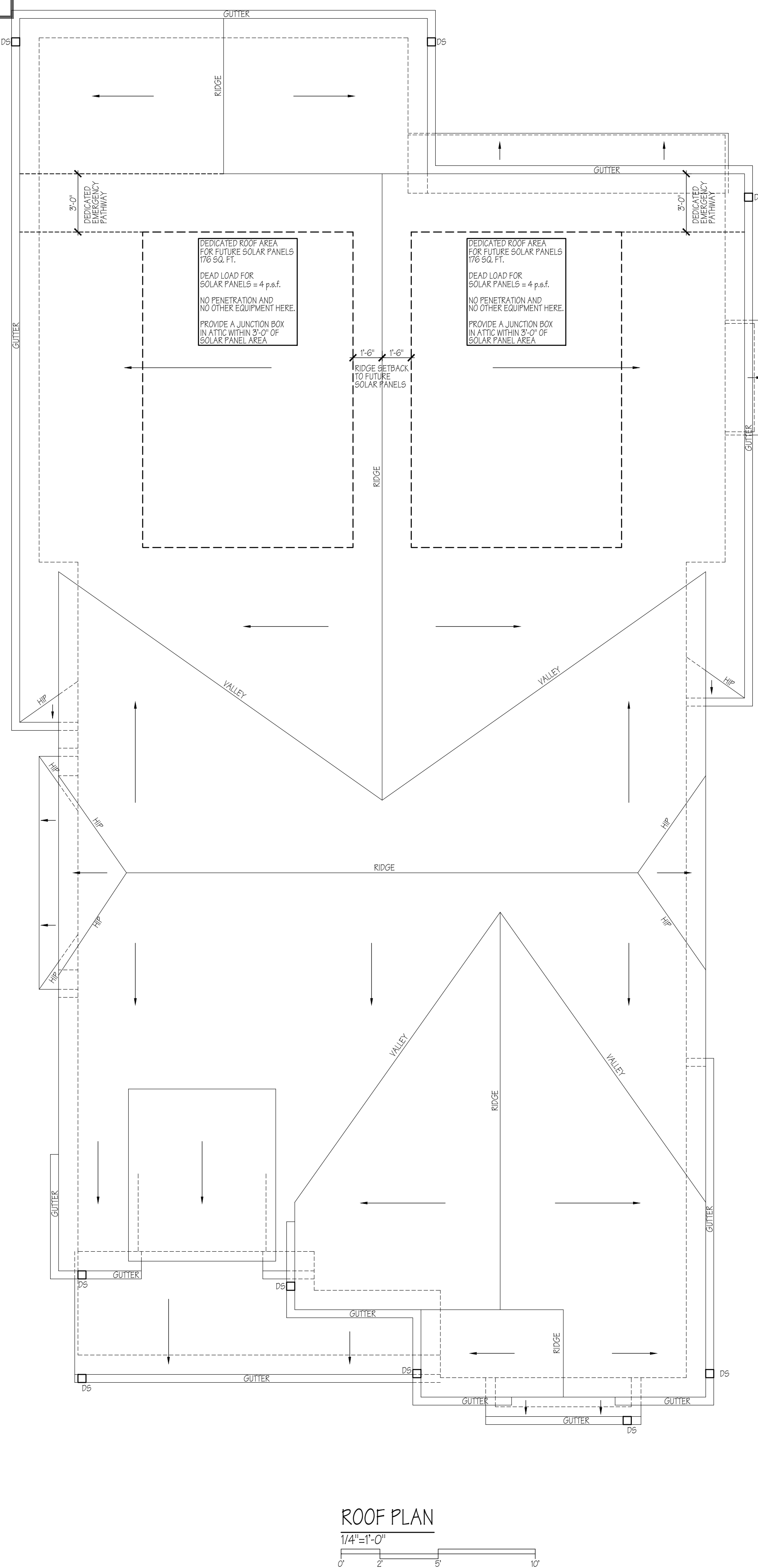
APPROVED

Montgomery County

Historic Preservation Commission

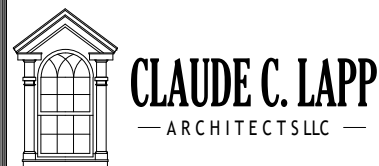
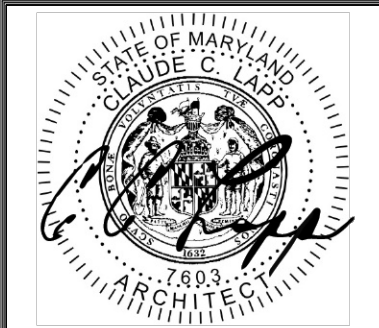
Karen Benoit

CHECK SET

[illegible]

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



7361 CALHOUN PLACE
SUITE 205
ROCKVILLE, MD 20855
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318

MODEL
22504 HOLMAN AVENUE, SILVER SPRING, MD 20910

DRAWING TITLE
SECOND FLOOR & ROOF PLANS

DRAWN BY DL/EC	DATE 07-30-25	SHEET NO. A101
CHECKED BY CCL		
PAGE 3 OF 20		

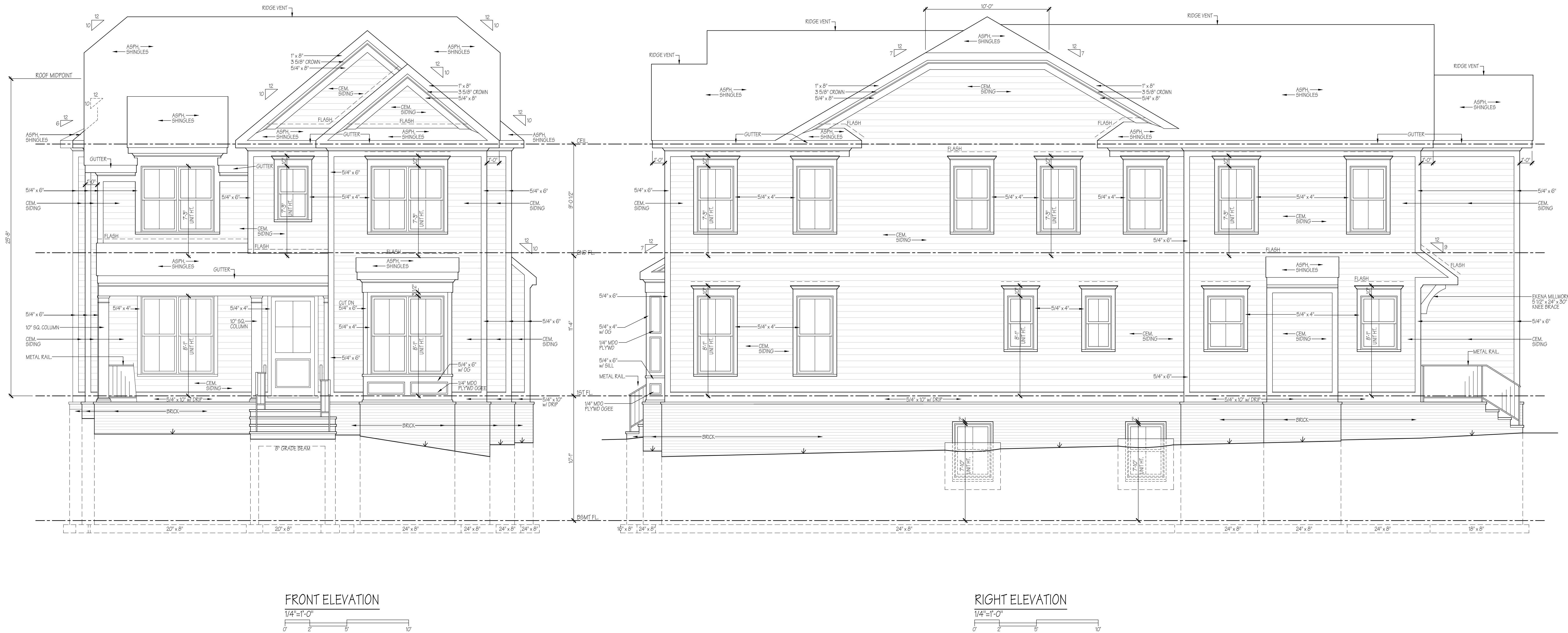
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE# 7603-R, EXPIRATION DATE 04-26-2027.

REVIEWED
By Laura DiPasquale at 8:54 am, Aug 13, 2025

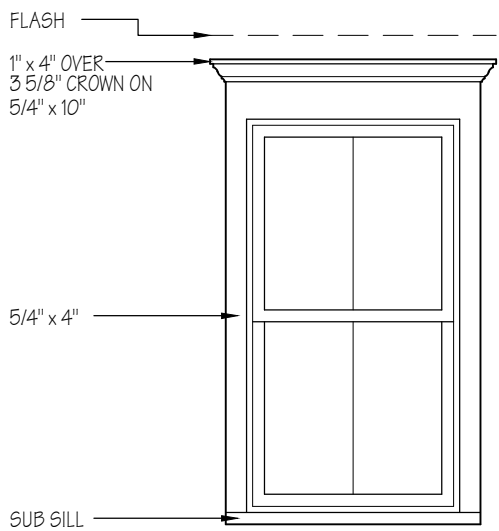
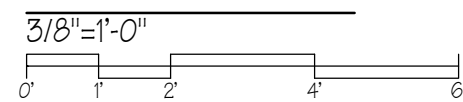
APPROVED
Montgomery County
Historic Preservation Commission

Karen Bulleit

CHECK SET



DETAILS



WINDOW @ FRONT ELEV.
3/8" = 1'-0"

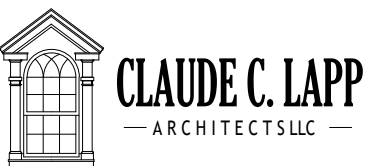
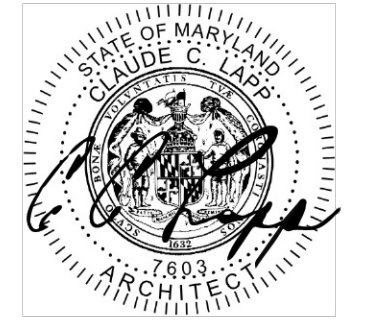
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE# 7603-R. EXPIRATION DATE 04-26-2027

CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.

NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ALL INTERIOR WALL DIMENSIONS TO BE 3 1/2" UNLESS NOTED OTHERWISE.

CLAUDE C. LAPP ARCHITECTS, LLC EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS AND DRAWINGS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF CLAUDE C. LAPP ARCHITECTS, LLC



7361 CALHOUN PLACE
SUITE 205
ROCKVILLE, MD 20855
T:(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

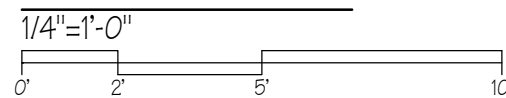
RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318
MODEL
2504 HOLMAN AVENUE, SILVER SPRING, MD 20910
DRAWING TITLE
FRONT & RIGHT ELEVATIONS AND DETAILS

DRAWN BY: DUEC
CHECKED BY: CCT
PAGE: 4 OF 20
DATE: 07-30-25
SHEET NO.: A200

By Laura DiPasquale at 8:54 am, Aug 13, 2025

Karen Buntz

CHECK SET



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE# 7603-R. EXPIRATION DATE 04-26-2027

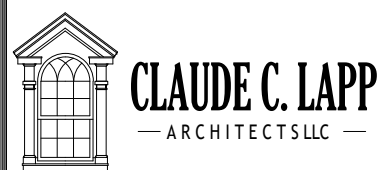
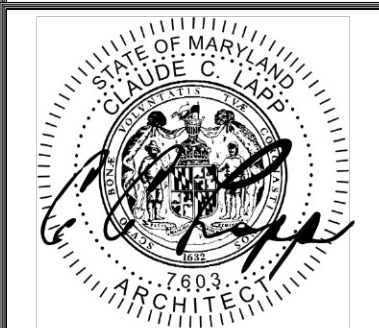
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION

NOTIFY ARCHITECT OF ANY
DISCREPANCIES.

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



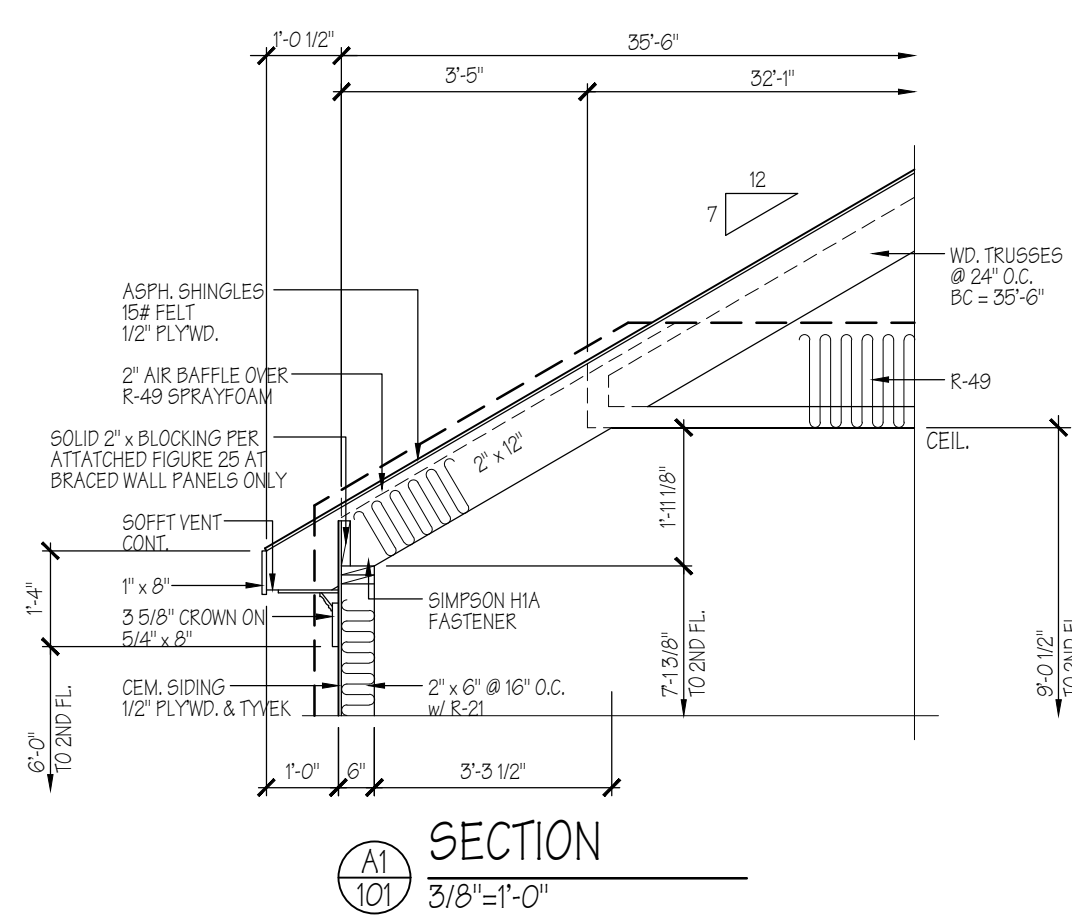
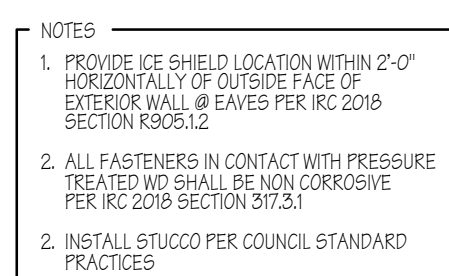
7361 CALHOUN PLACE
SUITE 205
ROCKVILLE, MD 20855
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318

MODEL
2504 HOLMAN AVENUE, SILVER SPRING, MD 20910

DRAWING TITLE
REAR & LEFT ELEVATIONS

DRAWN BY DL/EC CHECKED BY CCL PAGE 5 OF 30	DATE 07-30-25	SHEET NO. A201
--	------------------	--------------------------



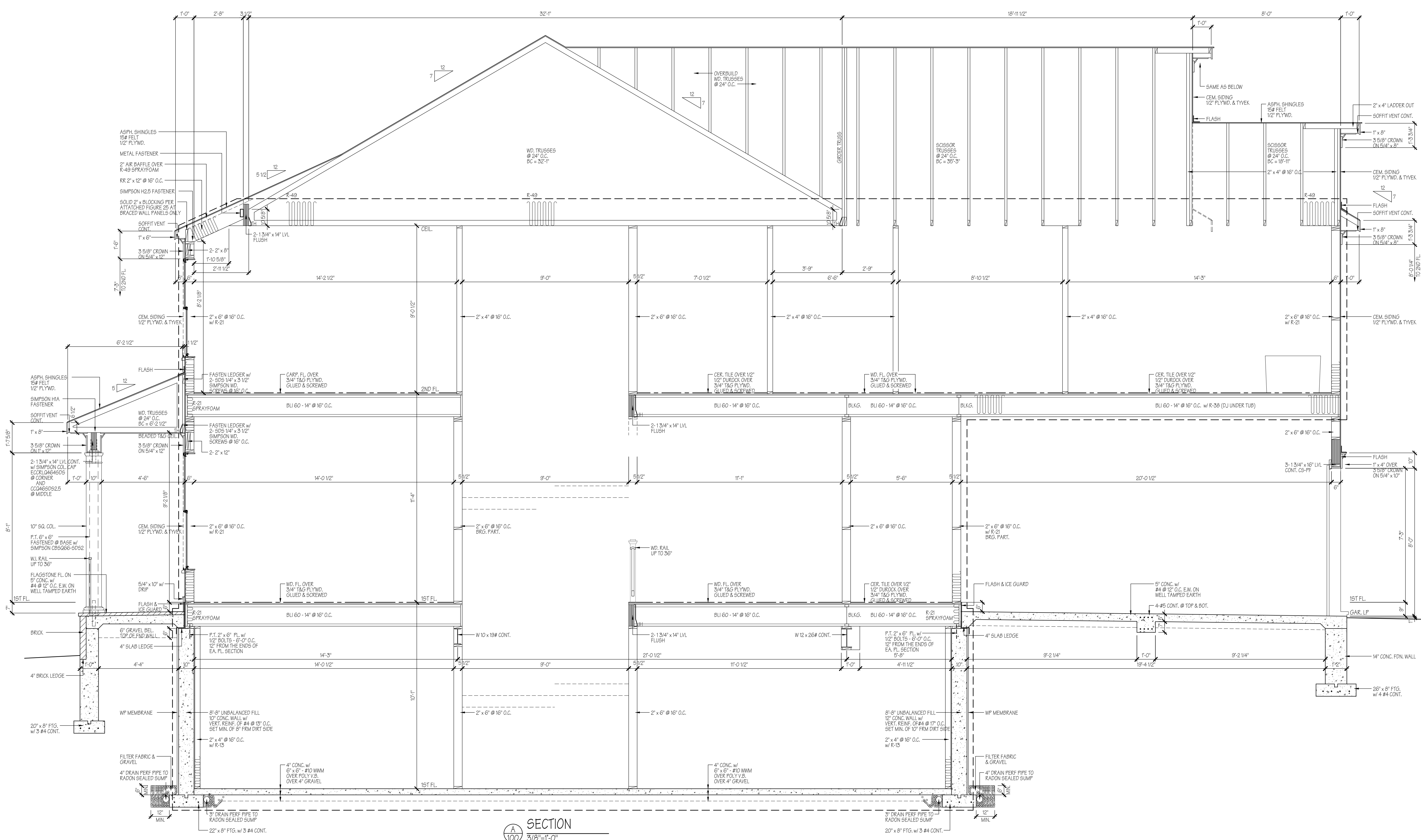
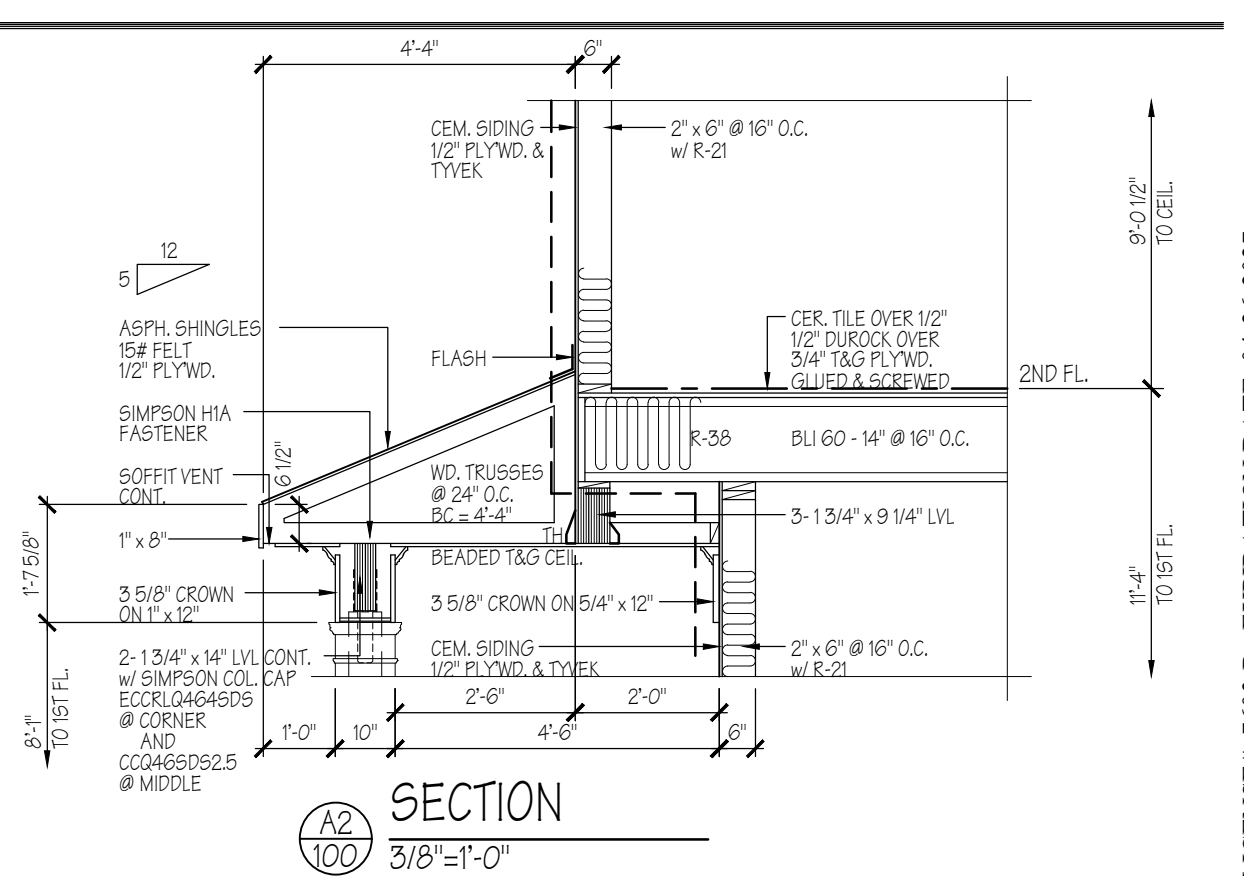
APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

CHECK SET

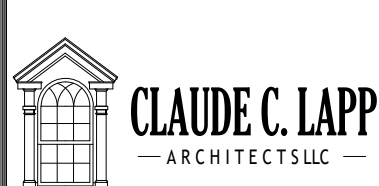
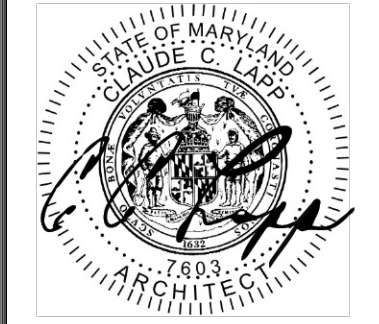
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION

NOTIFY ARCHITECT OF ANY DISCREPANCIES

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



7361 CALHOUN PLACE
SUITE 205
ROCKVILLE, MD 20855
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318

MODEL
22504 HOLMAN AVENUE, SILVER SPRING, MD 20910

DRAWING TITLE
SECTIONS A: 1, & A2

DRAWN BY DL/EC	DATE 07-30-25	SHEET NO. A300
CHECKED BY CCL		

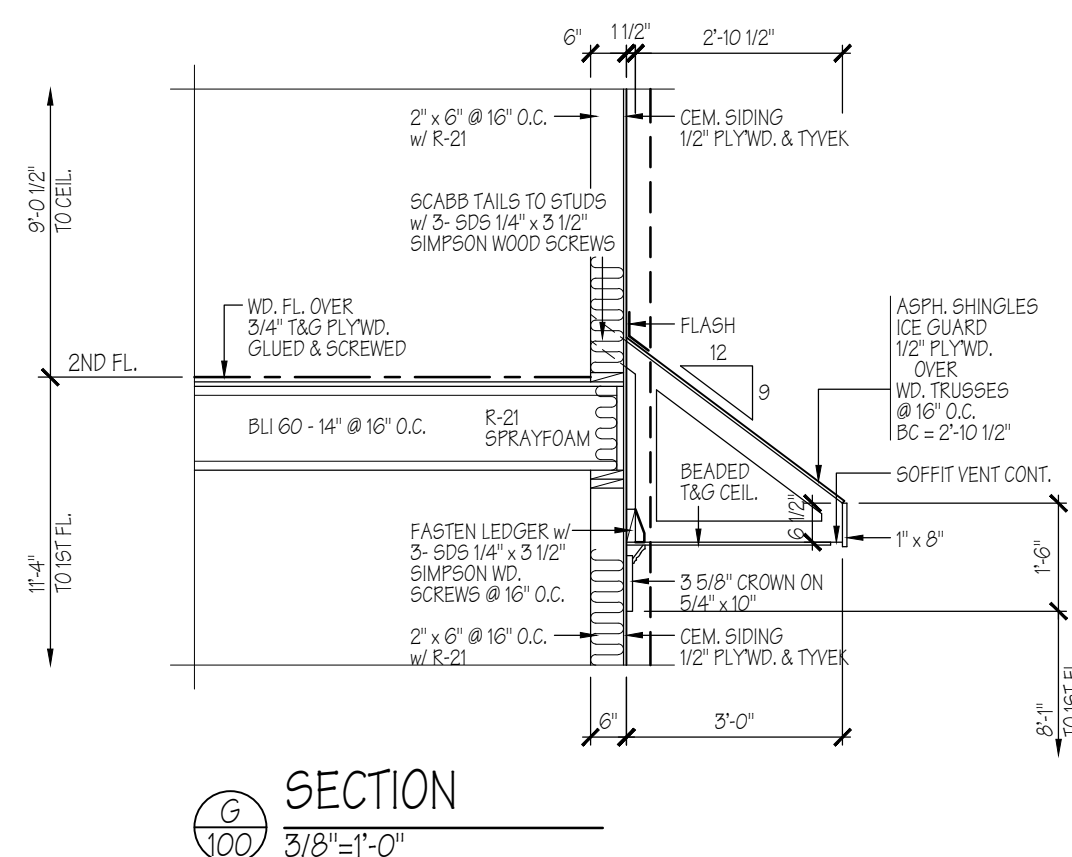
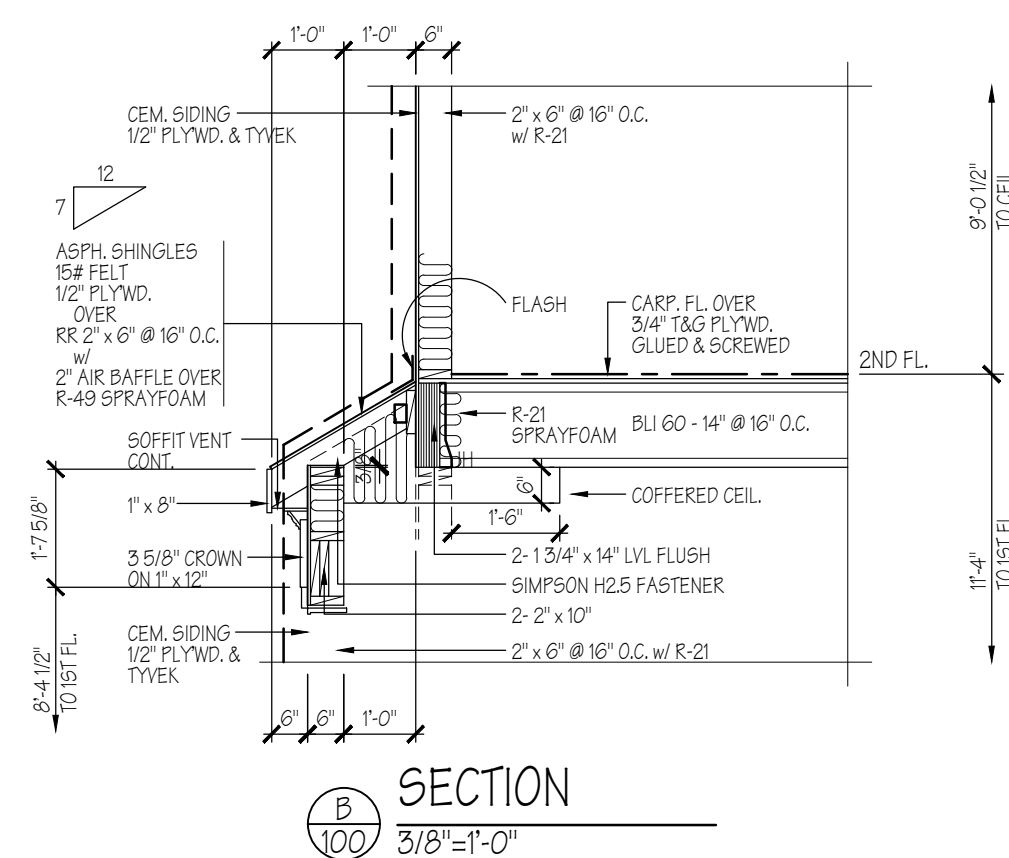
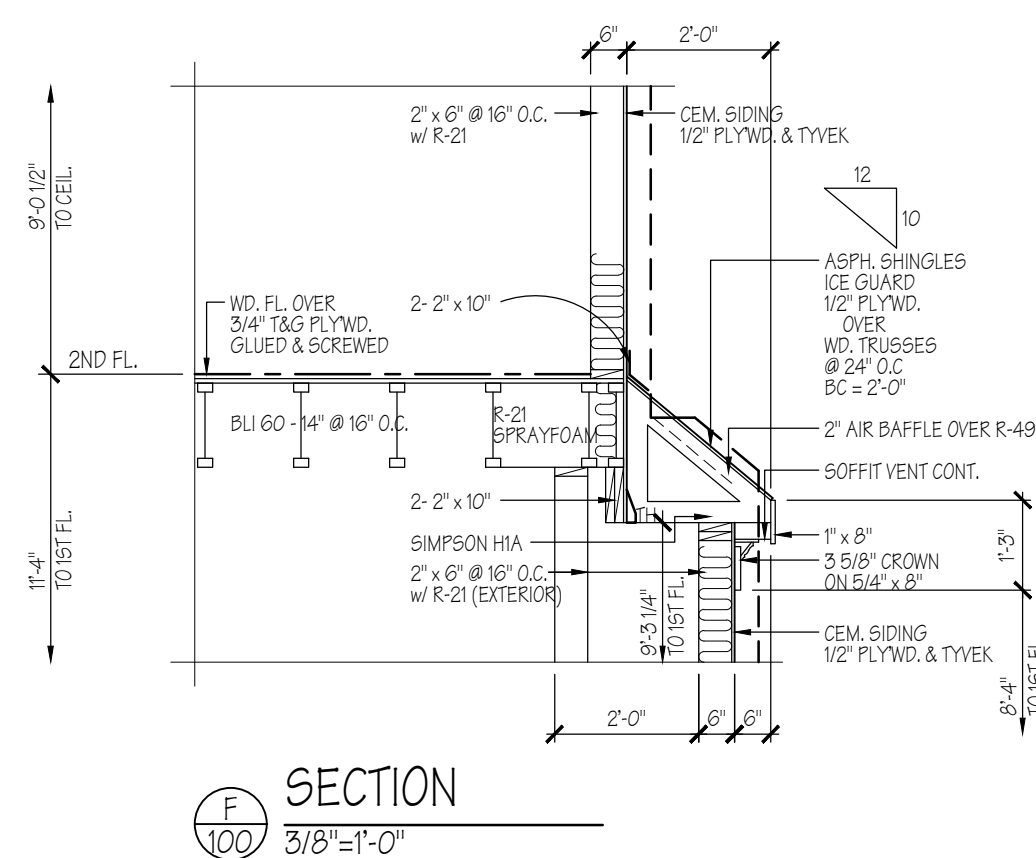
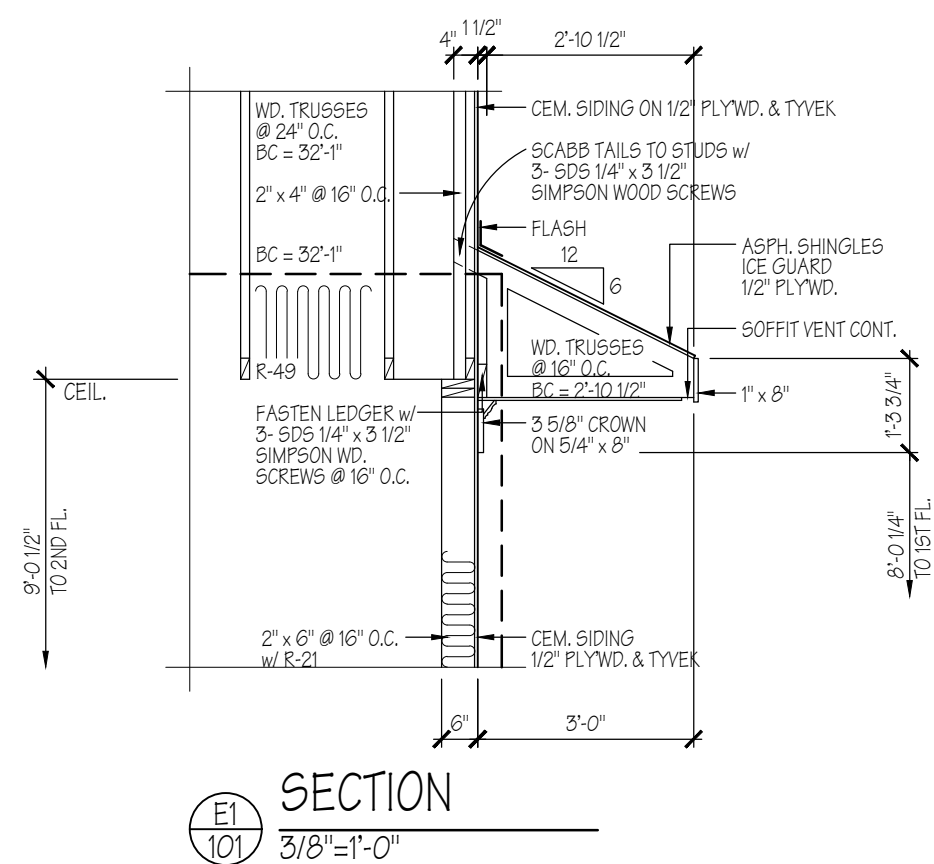
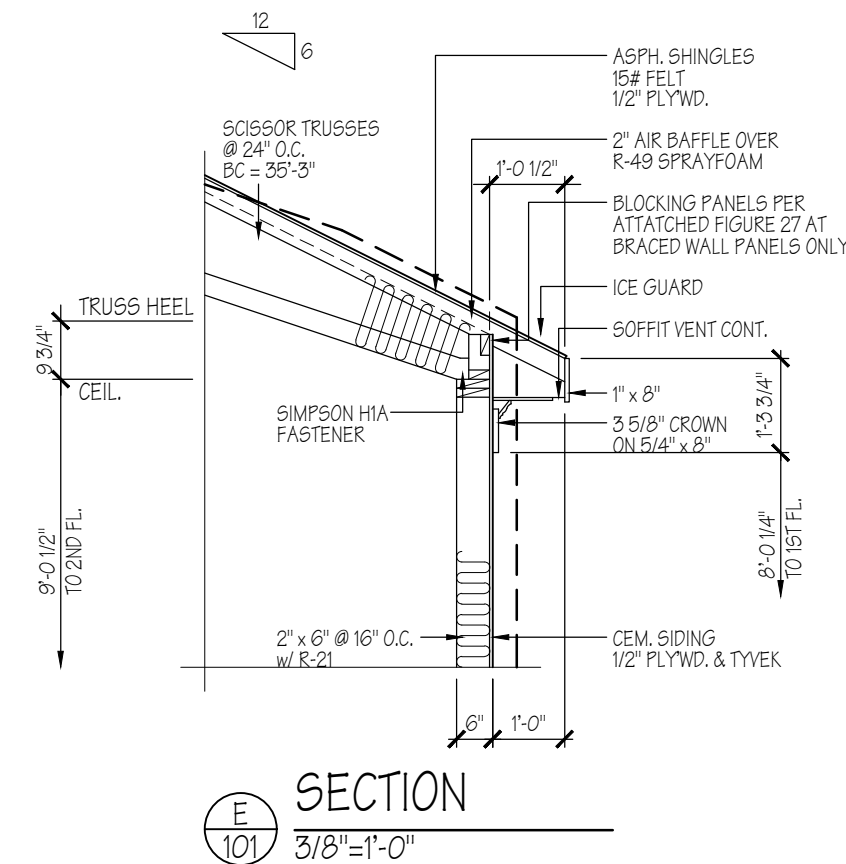
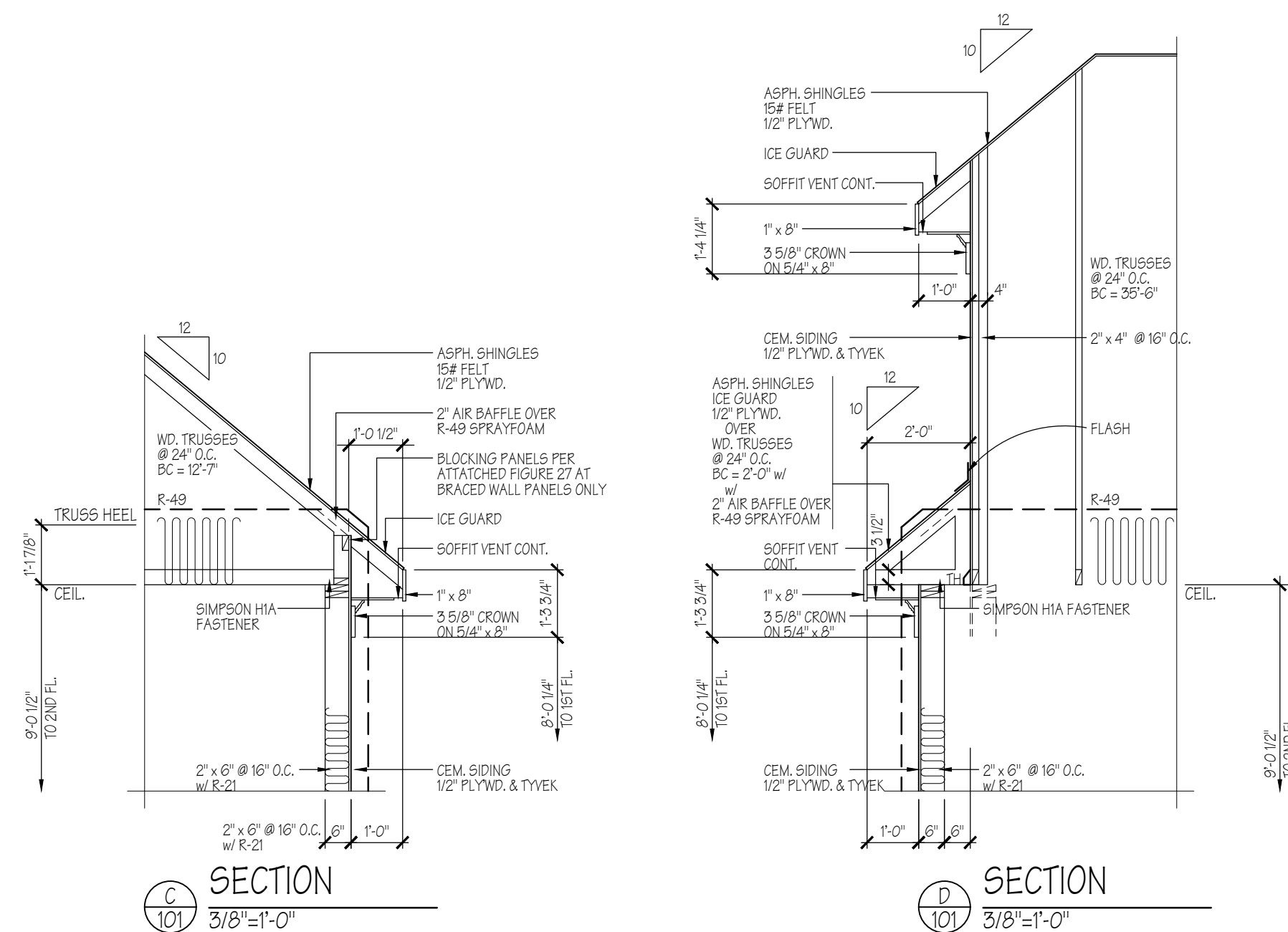
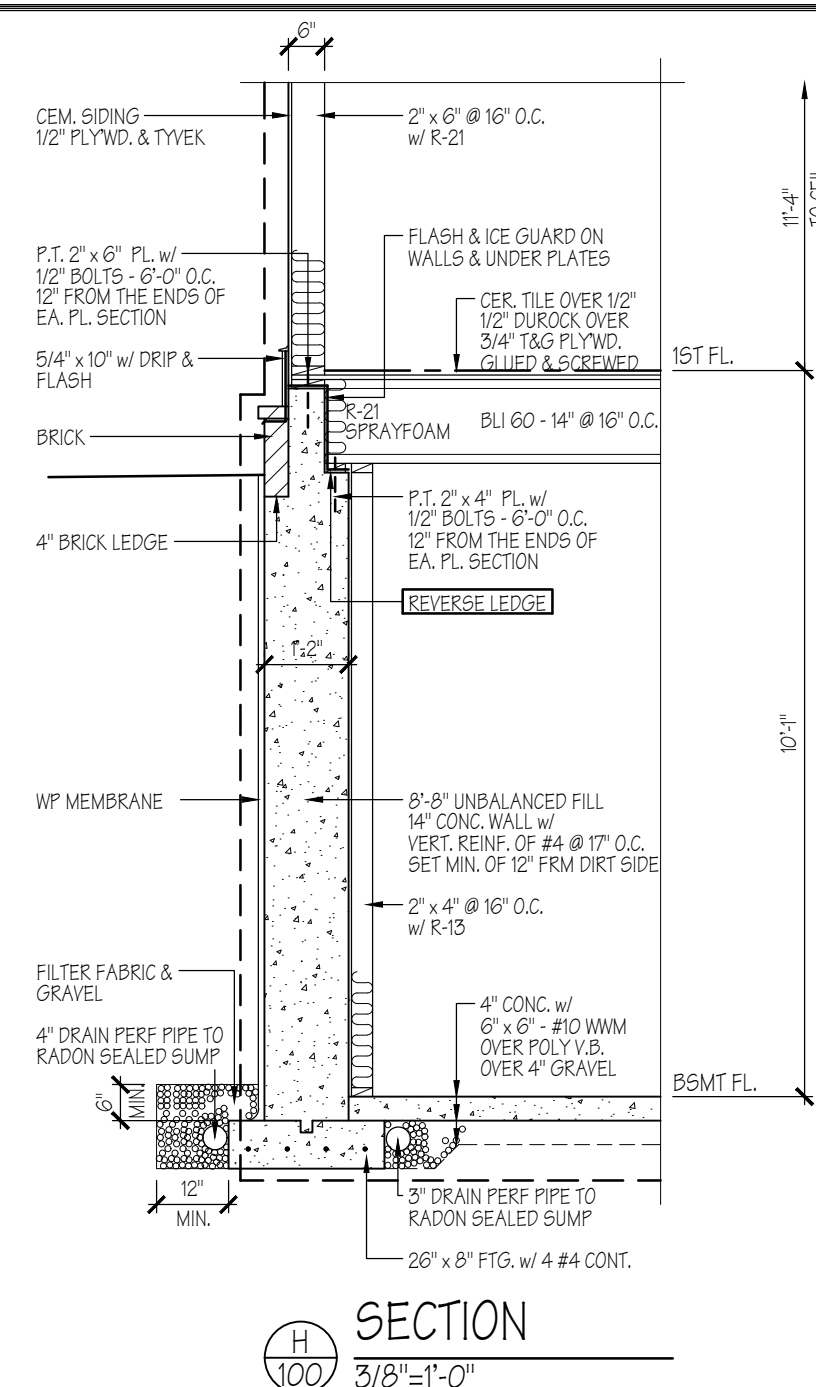


- NOTES
1. PROVIDE ICE SHIELD LOCATION WITHIN 2'-0" HORIZONTALLY OF OUTSIDE FACE OF EXTERIOR WALL @ EAVES PER IRC 2018 SECTION R905.1.2
 2. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WD SHALL BE NON CORROSIVE PER IRC 2018 SECTION 317.3.1
 2. INSTALL STUCCO PER COUNCIL STANDARD PRACTICES

REVIEWED
By Laura DiPasquale at 8:54 am, Aug 13, 2025

APPROVED
Montgomery County
Historic Preservation Commission

CHECK SET

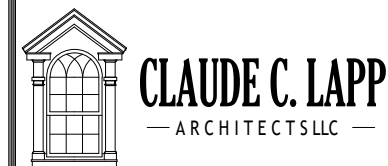
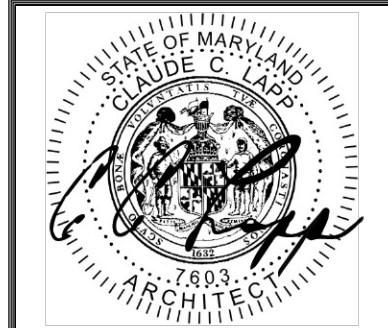
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION

NOTIFY ARCHITECT OF ANY
DISCREPANCIES.

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



7361 CALHOUN PLACE
SUITE 205
ROCKVILLE, MD 20855
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

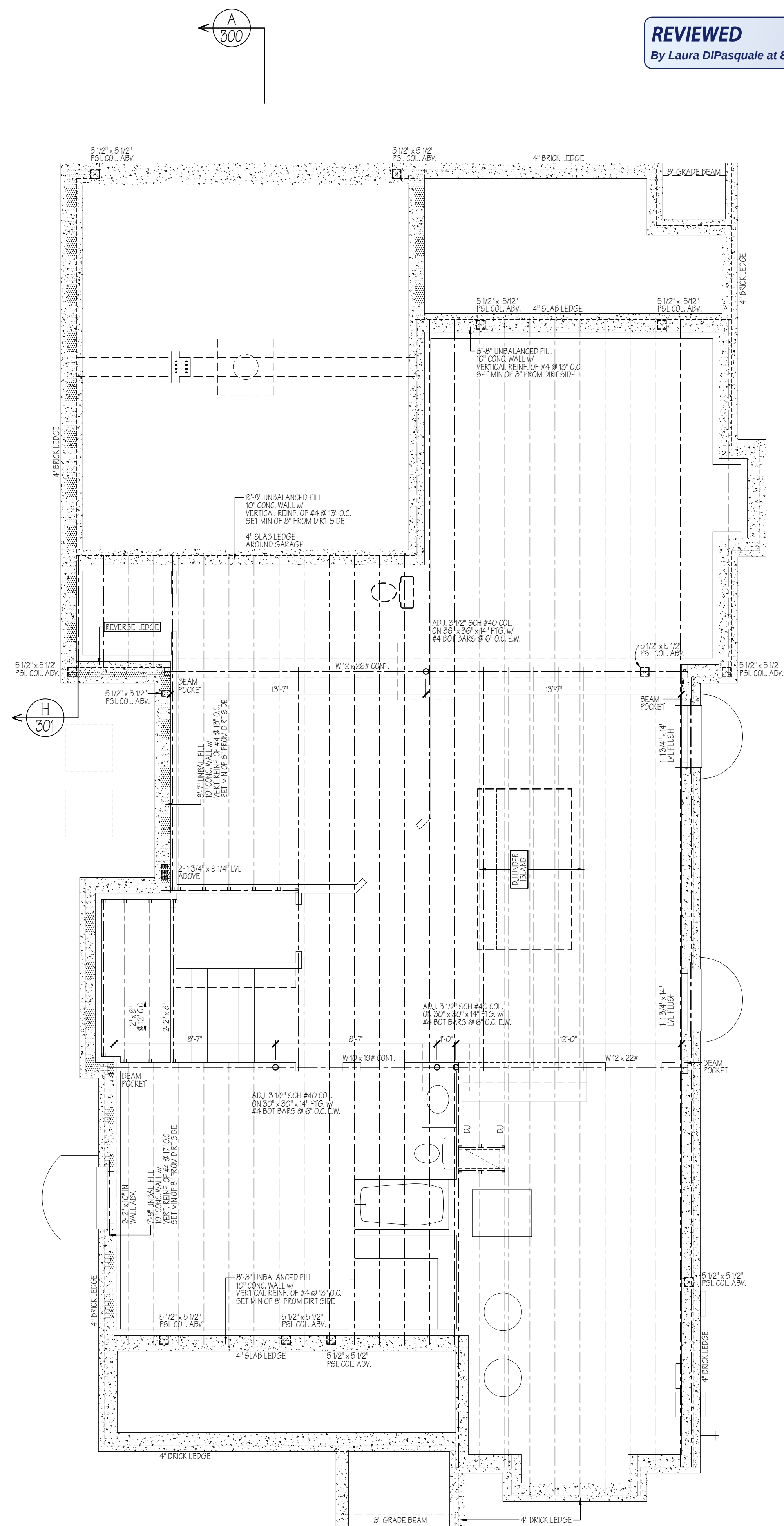
RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318

MODEL: _____
22504 HOLMAN AVENUE, SILVER SPRING, MD 20910

DRAWING TITLE
SECTIONS B, C, E, E1, F, G, & H

DRAWN BY DL/EC	DATE 07-30-25	SHEET NO. A301
CHECKED BY CCL		
PAGE 1 OF 20		

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE# 7603-R, EXPIRATION DATE 04-26-2027

**REVIEWED**

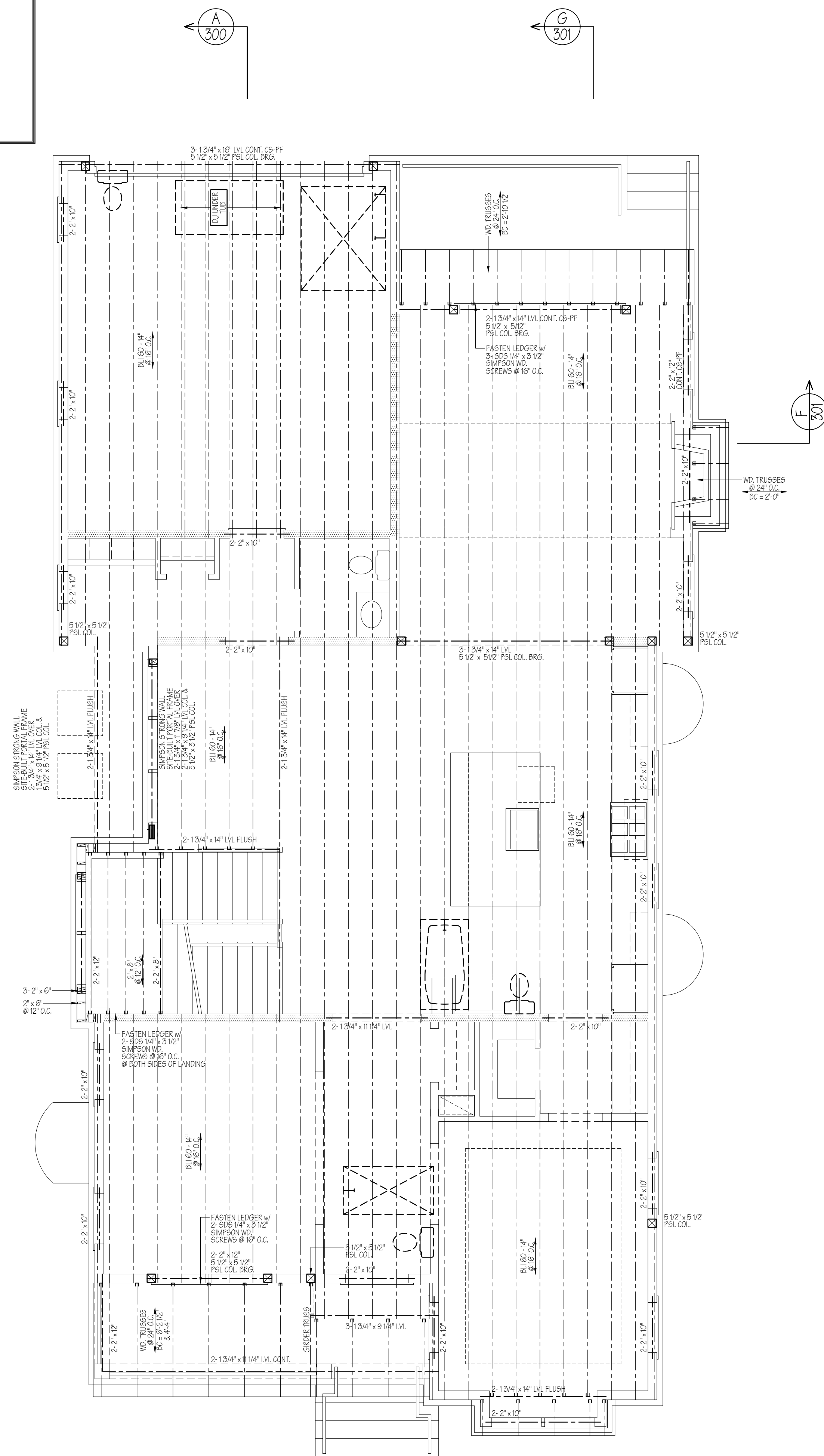
By Laura DiPasquale at 8:54 am, Aug 13, 2025

APPROVED

Montgomery County
Historic Preservation Commission

Karen Buntz

CHECK SET



BASEMENT FLOOR PLAN

$1/4'' = 1' - 0''$



FIRST FLOOR PLAN

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE# 7603-R, EXPIRATION DATE 04-26-2027.

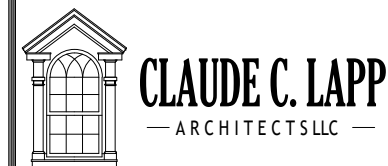
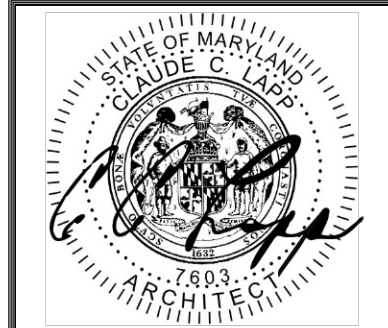
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION.

NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



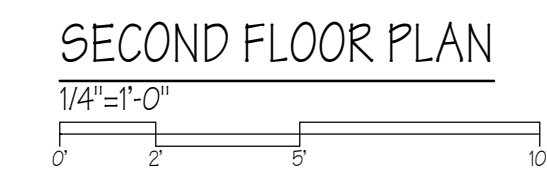
7361 CALHOUN PLACE
SUITE 205
ROCKVILLE, MD 20855
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318

MODEL: 25504 HOLMAN AVENUE, SILVER SPRING, MD 20910

DRAWING TITLE: FIRST & SECOND FLOOR FRAMING PLANS

DRAWN BY DL/EC	DATE 07-30-25	SHEET NO. S100
CHECKED BY CCL		
PAGE 9 OF 20		



APPROVED

Montgomery County
Historic Preservation Commission

Karen Benoit

NOTES

1. SEE BEAM CALCULATIONS FOR BEAM FASTENING
2. TRUSS MANUFACTURER AND ROOF MANUFACTURER TO CHECK AND VERIFY FRAMING & STRUCTURE

LEGENDS

	BEARING PARTITION WALL
	BEAM CALCULATION NUMBER

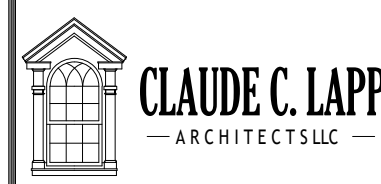
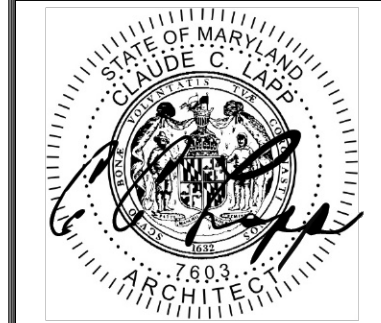
DATE	REMARKS

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION

NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



7361 CALHOUN PLACE
SUITE 205
ROCKVILLE, MD 20855
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

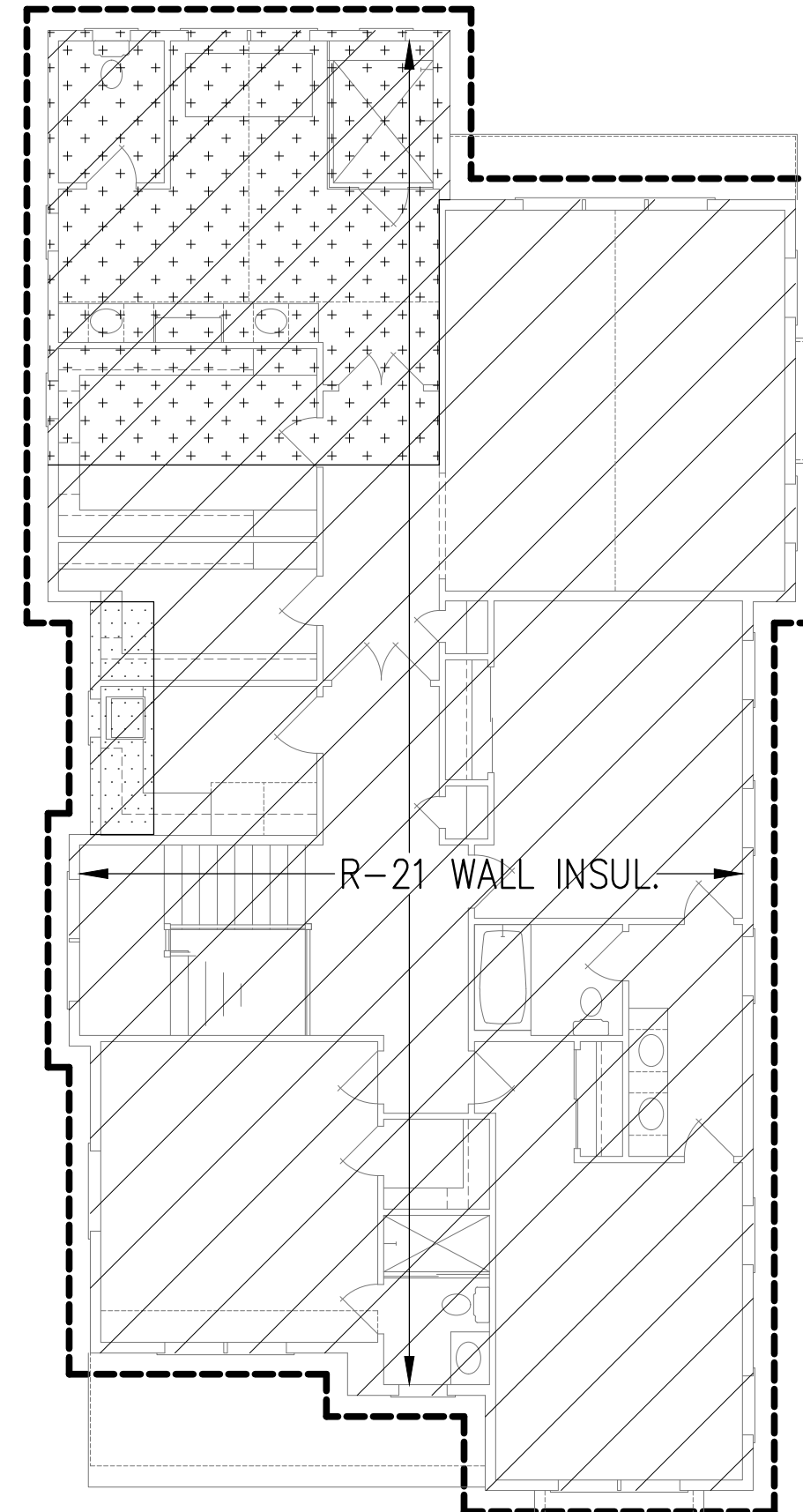
RESIDENCE: 2504 HOLMAN AVENUE, SILVER SPRING, MD 20910
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318
MODEL
DRAWING TITLE: ROOF FRAMING PLAN

DRAWN BY DL/EC	DATE 07-30-25	SHEET NO. S101
CHECKED BY CCL		
PAGE 10 OF 20		

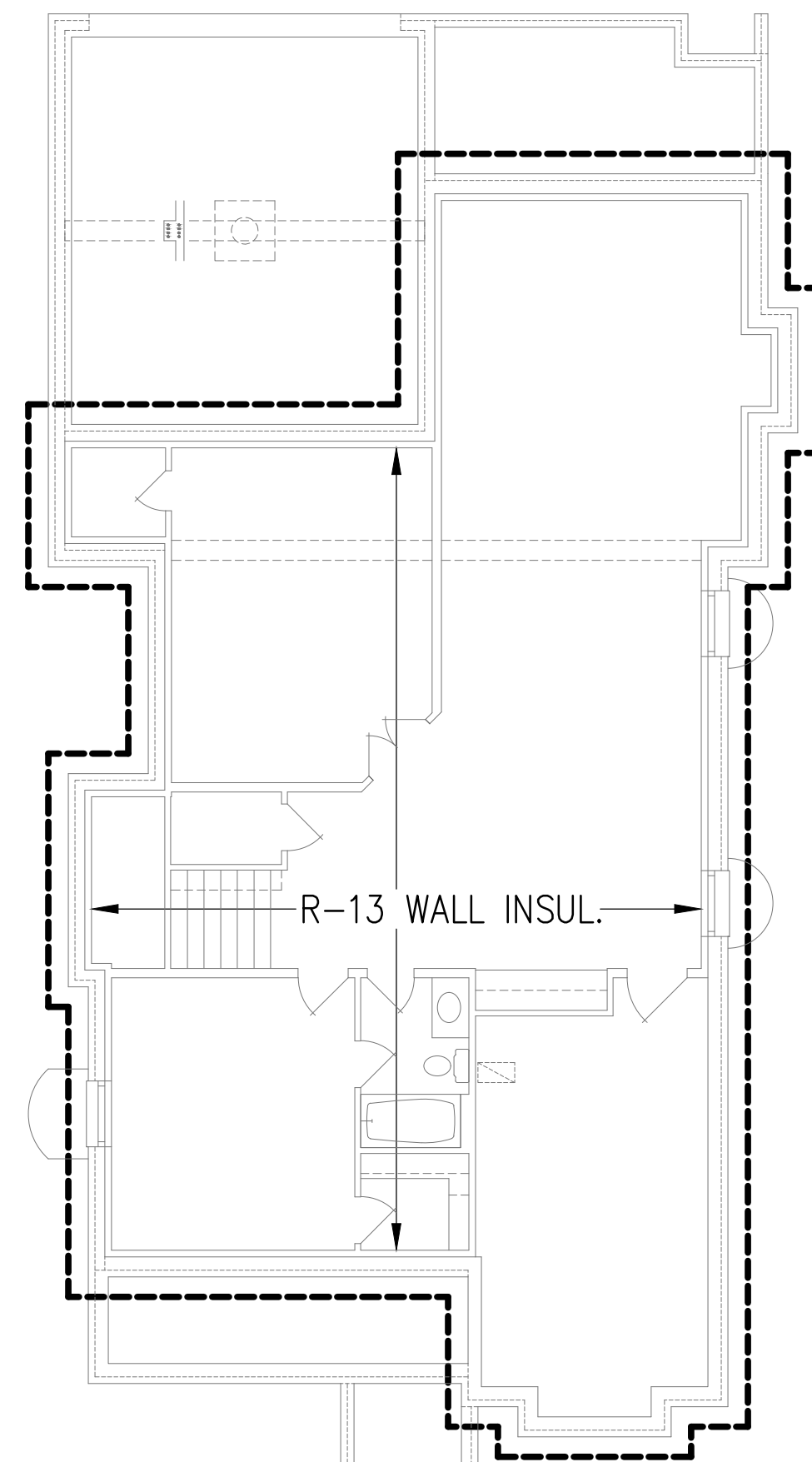
By Laura DiPasquale at 8:54 am, Aug 13, 2025

Karen Buntz

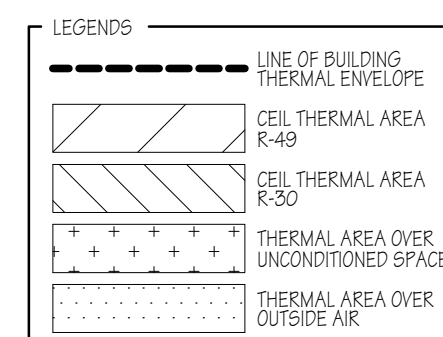
CHECK SET



SECOND FLOOR PLAN
1/8"=1'-0"



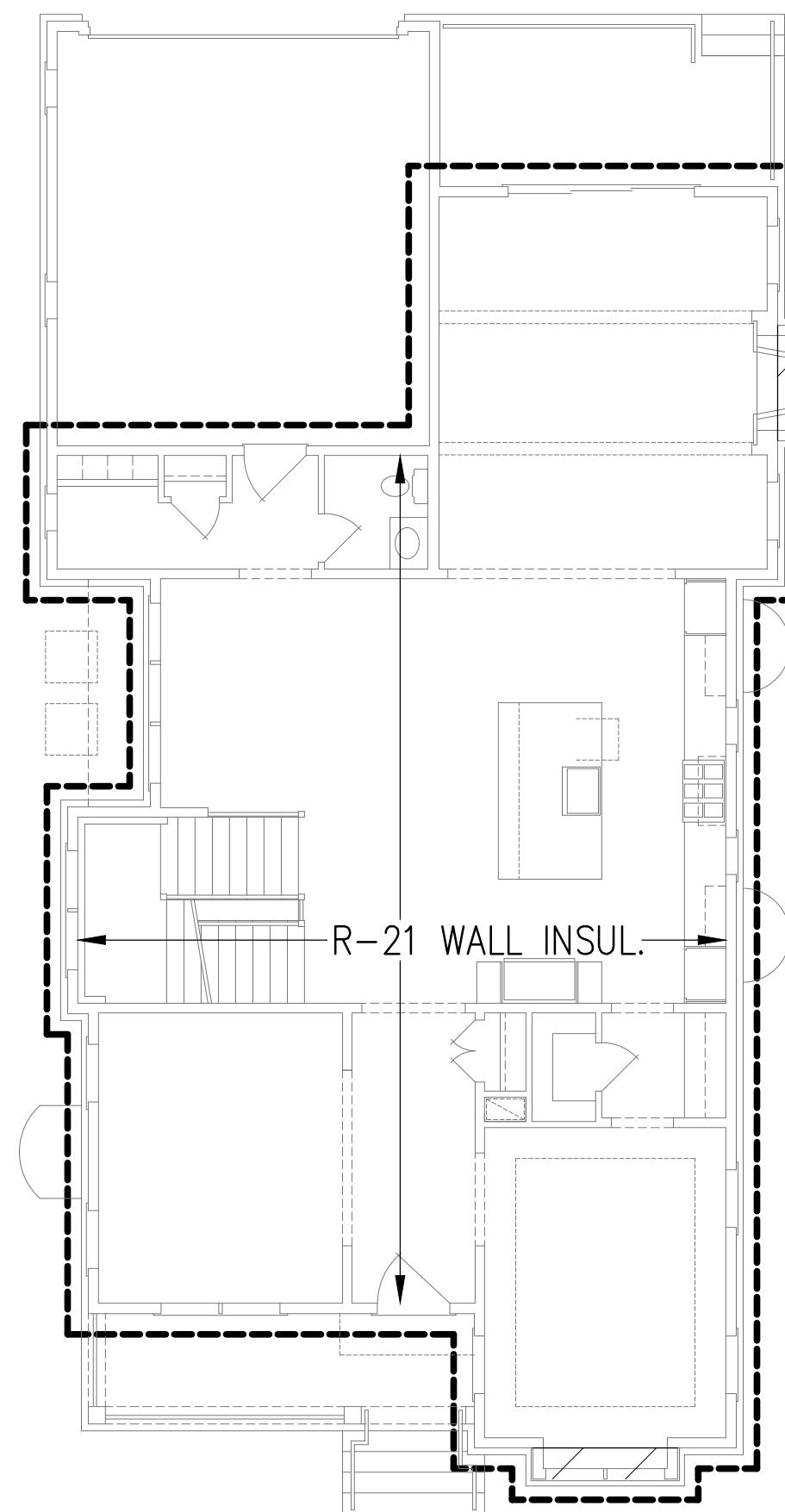
-R-13 WALL INSUL.



NOTES

1. ALL DUCTS TO BE INSUL w/
MINIMUM R-6, R-8 IN ATTICS
2. ALL DUCTS TO BE SEALED PER IRC M1601.4.1.

BASEMENT FLOOR PLAN
1/8"=1'-0"



R-21 WALL INSUL

FIRST FLOOR PLAN
1/8"=1'-0"

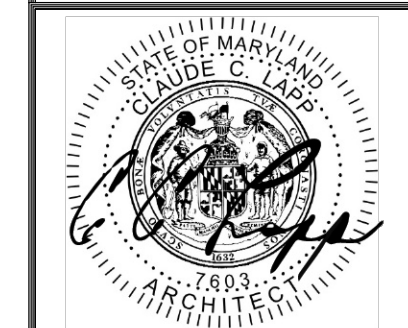
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION

NOTIFY ARCHITECT OF ANY
DISCREPANCIES.

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



7361 CALHOUN PLACE
SUITE 205
ROCKVILLE, MD 20855
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318

MODEL
22504 HOLMAN AVENUE, SILVER SPRING, MD 20910

DRAWING TITLE
THERMAL ENVELOPE

DRAWN BY DL/EC	DATE 07-30-25	SHEET NO. EC100
CHECKED BY CCL		
PAGE ---- OF 30		

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE# 7603-R. EXPIRATION DATE 04-26-2027

BASEMENT FLOOR PLAN

1/4"=1'-0"

1278 SQ. FT. FINISHED
291 SQ. FT. UNFINISHED

REVIEWED

By Laura DiPasquale at 8:54 am, Aug 13, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Karen Bulleit

CHECK SET

FIRST FLOOR PLAN

1/4"=1'-0"

1619 SQ. FT. MAIN
108 SQ. FT. FRONT PORCH
397 SQ. FT. GARAGE
129 SQ. FT. REAR STOOP

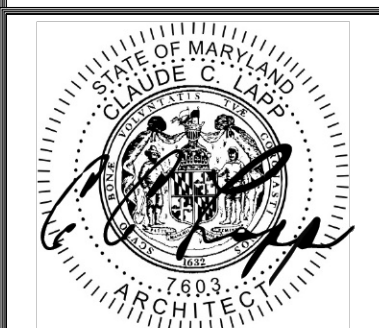
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE# 7603-R, EXPIRATION DATE 04-26-2027

CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.

NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ALL INTERIOR WALL DIMENSIONS TO BE 3 1/2" UNLESS NOTED OTHERWISE.

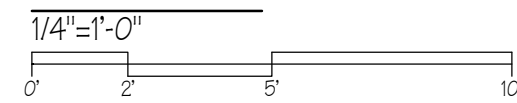
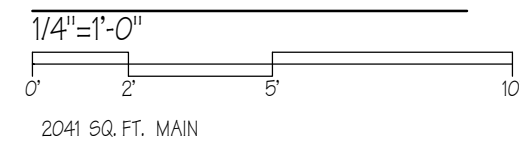
CLAUDE C. LAPP ARCHITECTS, LLC EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS AND DRAWINGS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF CLAUDE C. LAPP ARCHITECTS, LLC



7361 CALHOUN PLACE
SUITE 205
ROCKVILLE, MD 20855
T(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318
MODEL
2506 HOLMAN AVENUE, SILVER SPRING, MD 20910
DRAWING TITLE
BASEMENT & FIRST FLOOR PLANS

DRAWN BY DATE SHEET NO.
DUEC 07-30-25 A100
CHECKED BY
CCT
PAGE 1 OF 30

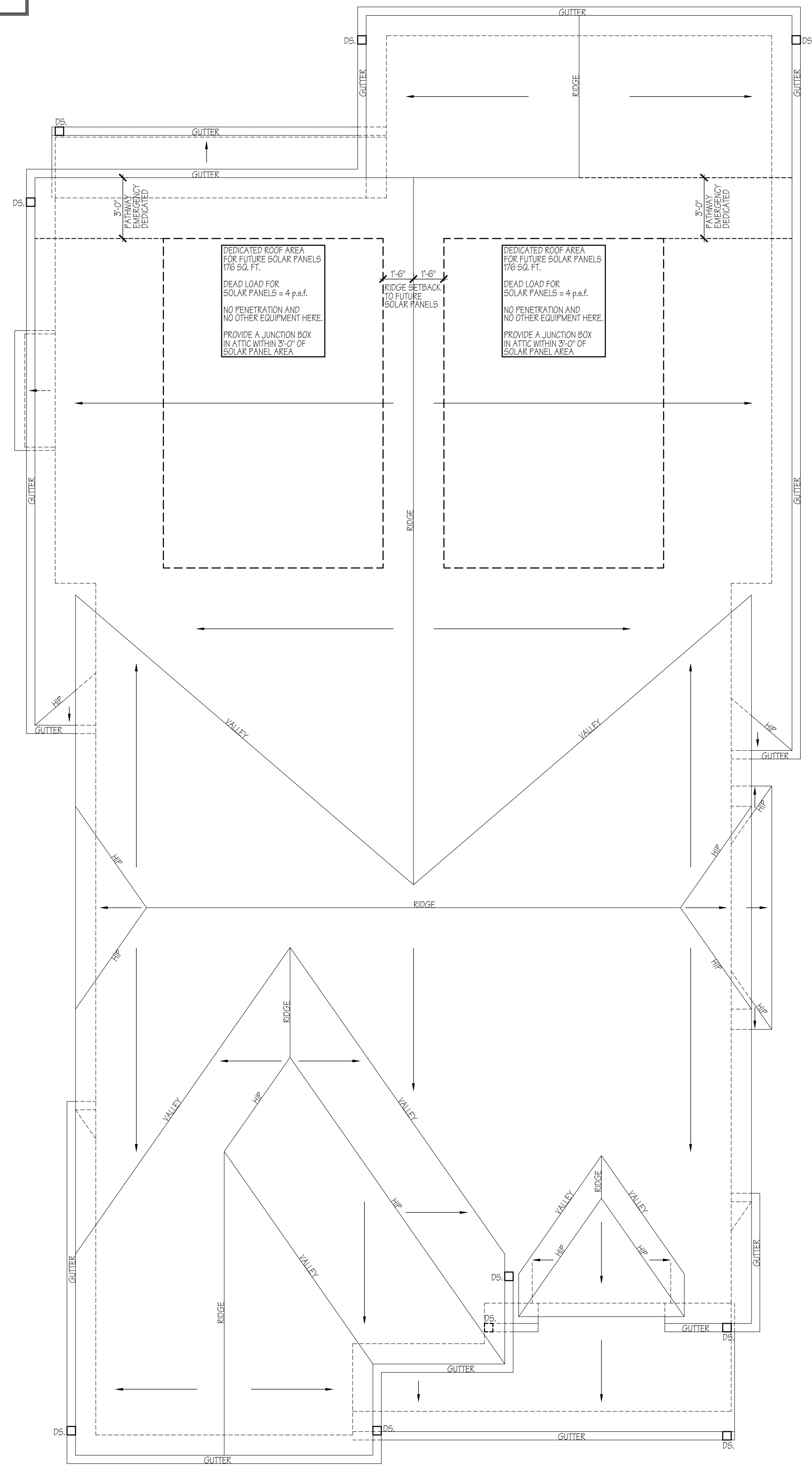
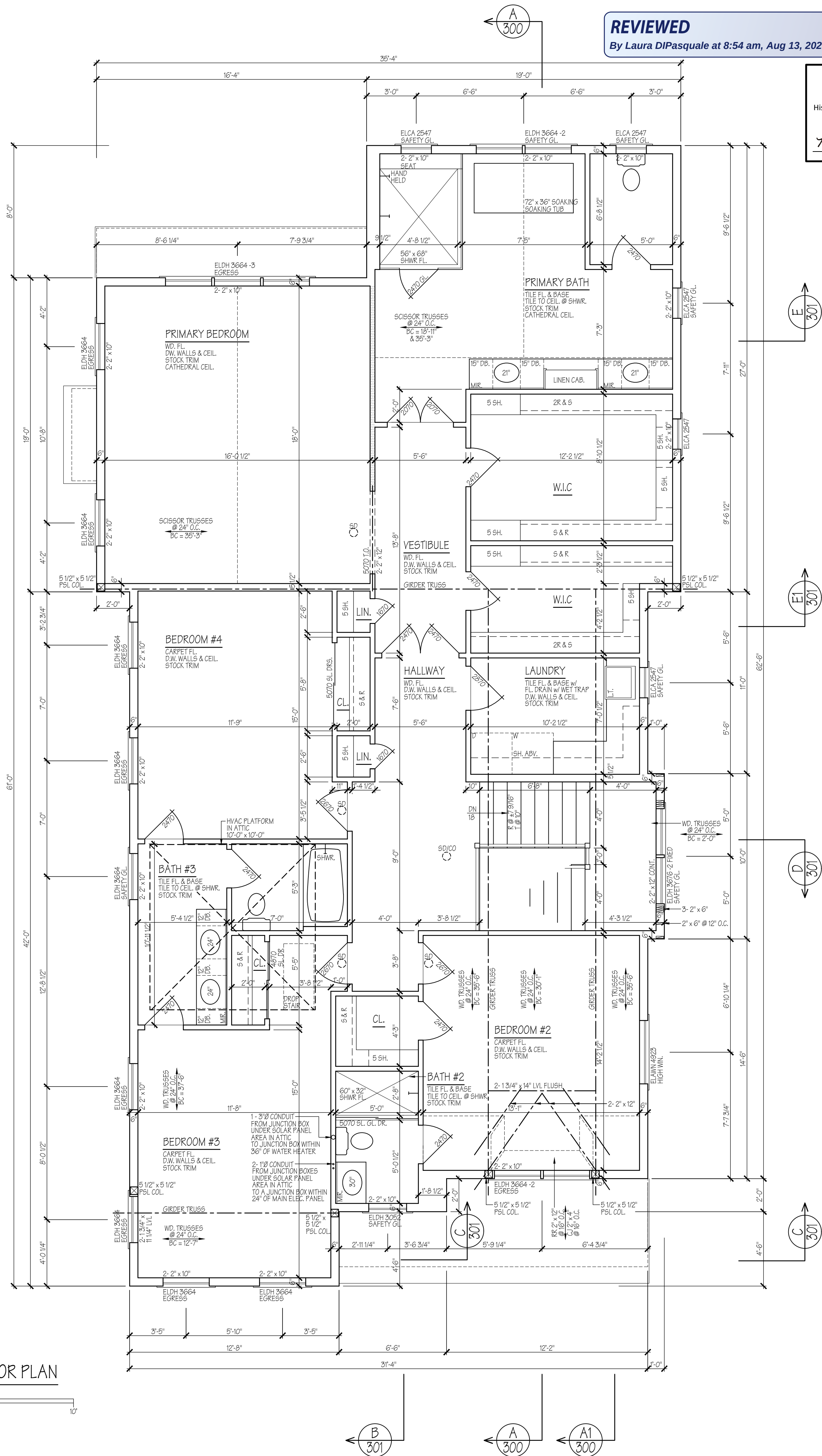


REVIEWED
By Laura DiPasquale at 8:54 am, Aug 13, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Karen Benoit

CHECK SET



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE# 7603-R. EXPIRATION DATE 04-26-2027.

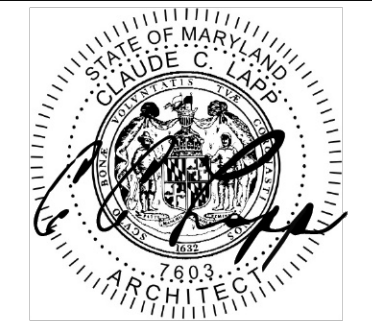
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION

**NOTIFY ARCHITECT OF ANY
DISCREPANCIES.**

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



7361 CALHOUN PLACE
SUITE 205
ROCKVILLE, MD 20855
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318

MODEL
2506 HOLMAN AVENUE, SILVER SPRING, MD 20910

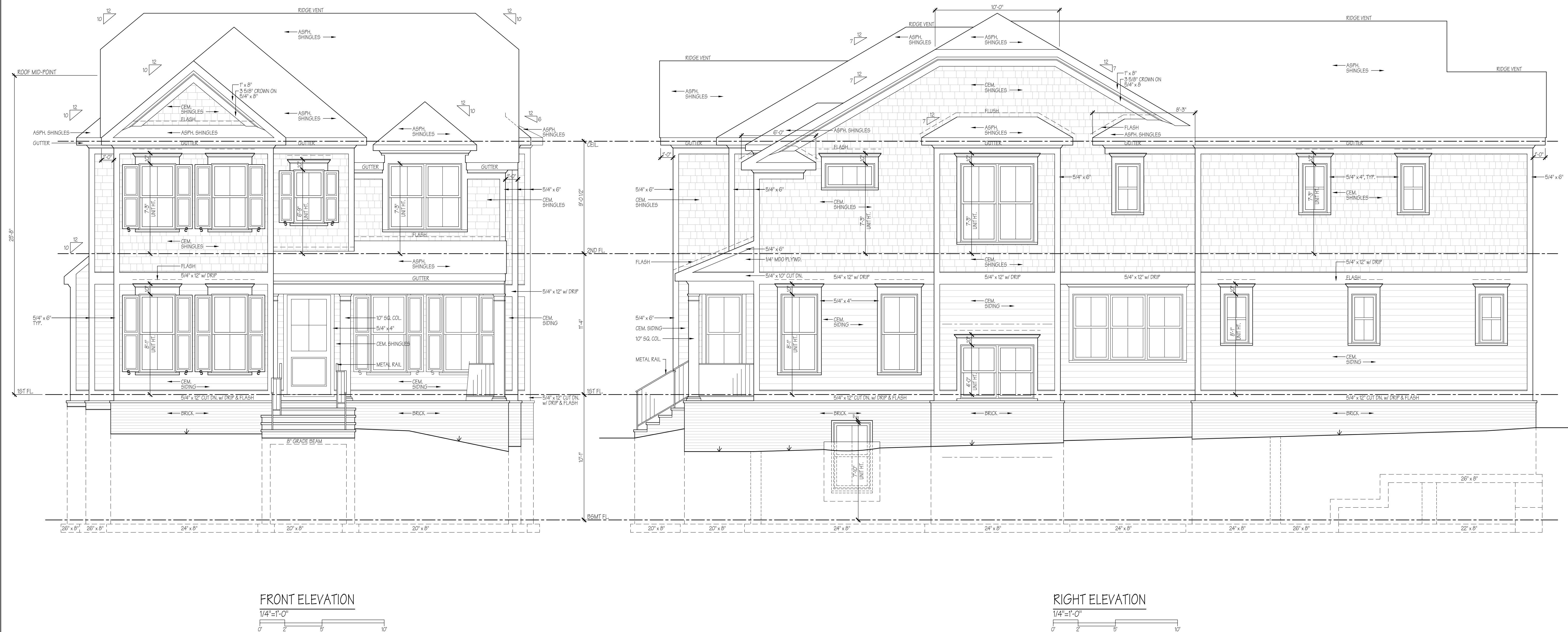
DRAWING TITLE
SECOND FLOOR & ROOF PLANS

DRAWN BY DL/EC	DATE 07-30-25	SHEET NO. A101
CHECKED BY CCL		
PAGE 3 OF 20		

By Laura DiPasquale at 8:54 am, Aug 13, 2025

Karen Benoit

CHECK SET



$3/8" = 1'-0"$



FLASH

1" x 4" OVER
3 5/8" CROWN ON
5/4" x 10"

5/4" x 4"

5/8" 5/8" L

WINDOW @ FRONT ELEV.
3/8"=1'-0"

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE# 7603-R, EXPIRATION DATE 04-26-2027

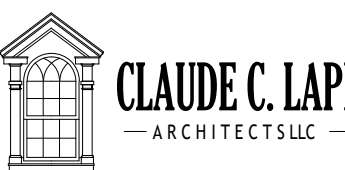
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION.

**NOTIFY ARCHITECT OF ANY
DISCREPANCIES.**

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



7361 CALHOUN PLACE
SUITE 205
ROCKVILLE, MD 20855
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318

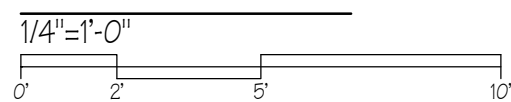
MODEL
2506 HOLMAN AVENUE, SILVER SPRING, MD 20910
DRAWING TITLE
FRONT & RIGHT ELEVATIONS AND DETAILS

DRAWN BY DL/EC CHECKED BY CCL PAGE 4 OF 20	DATE 07-30-25	SHEET NO. A200
--	------------------	--------------------------------

By Laura DiPasquale at 8:54 am, Aug 13, 2025

Karen Buntz

CHECK SET



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE# 7603-R. EXPIRATION DATE 04-26-2027

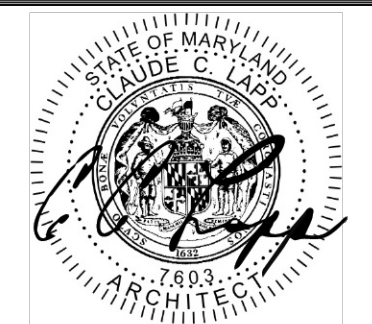
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION

NOTIFY ARCHITECT OF ANY
DISCREPANCIES.

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



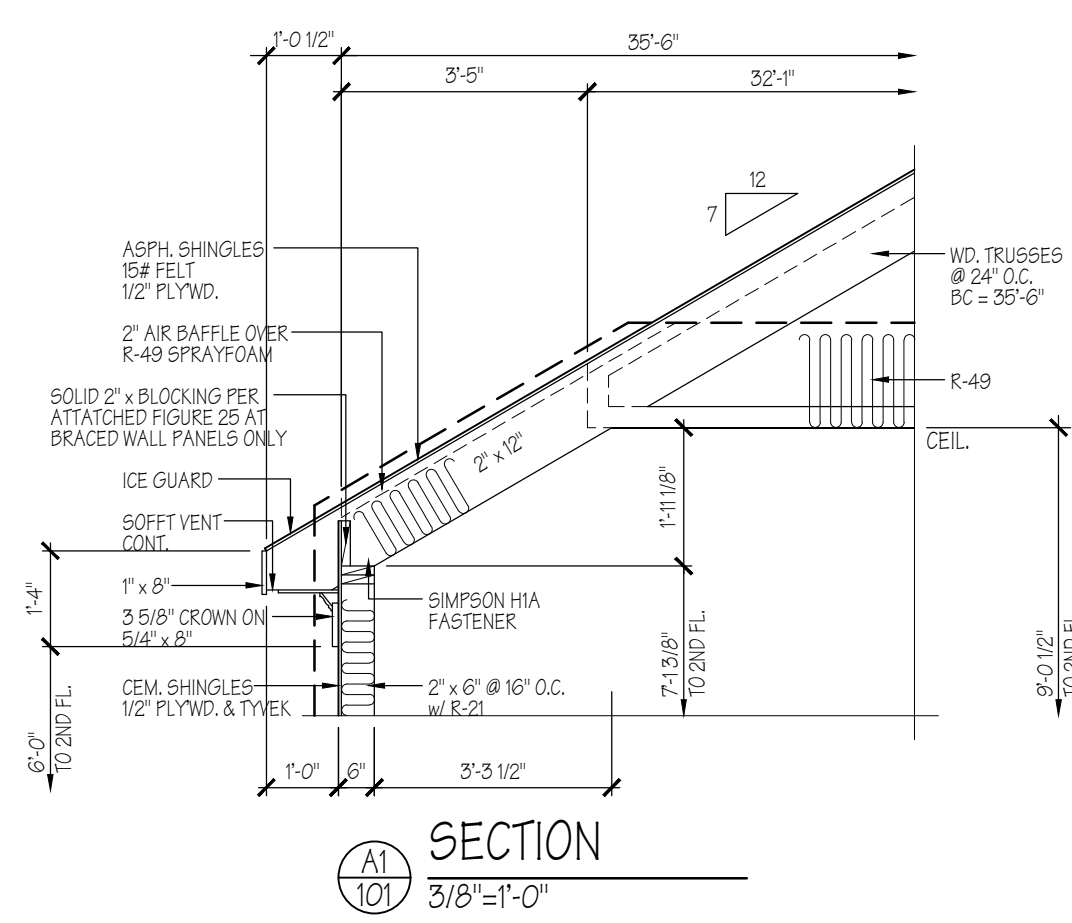
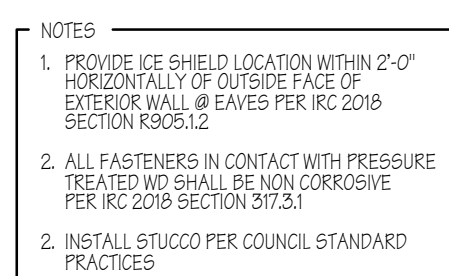
7361 CALHOUN PLACE
SUITE 205
ROCKVILLE, MD 20855
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-777-0318

MODEL
2506 HOLMAN AVENUE, SILVER SPRING, MD 20910

DRAWING TITLE
REAR & LEFT ELEVATIONS

DRAWN BY DL/EC CHECKED BY CCL PAGE 5 OF 20	DATE 07-30-25	SHEET NO. A201
--	------------------	---



REVIEWED
By Laura DiPasquale at 8:54 am, Aug 13, 2025

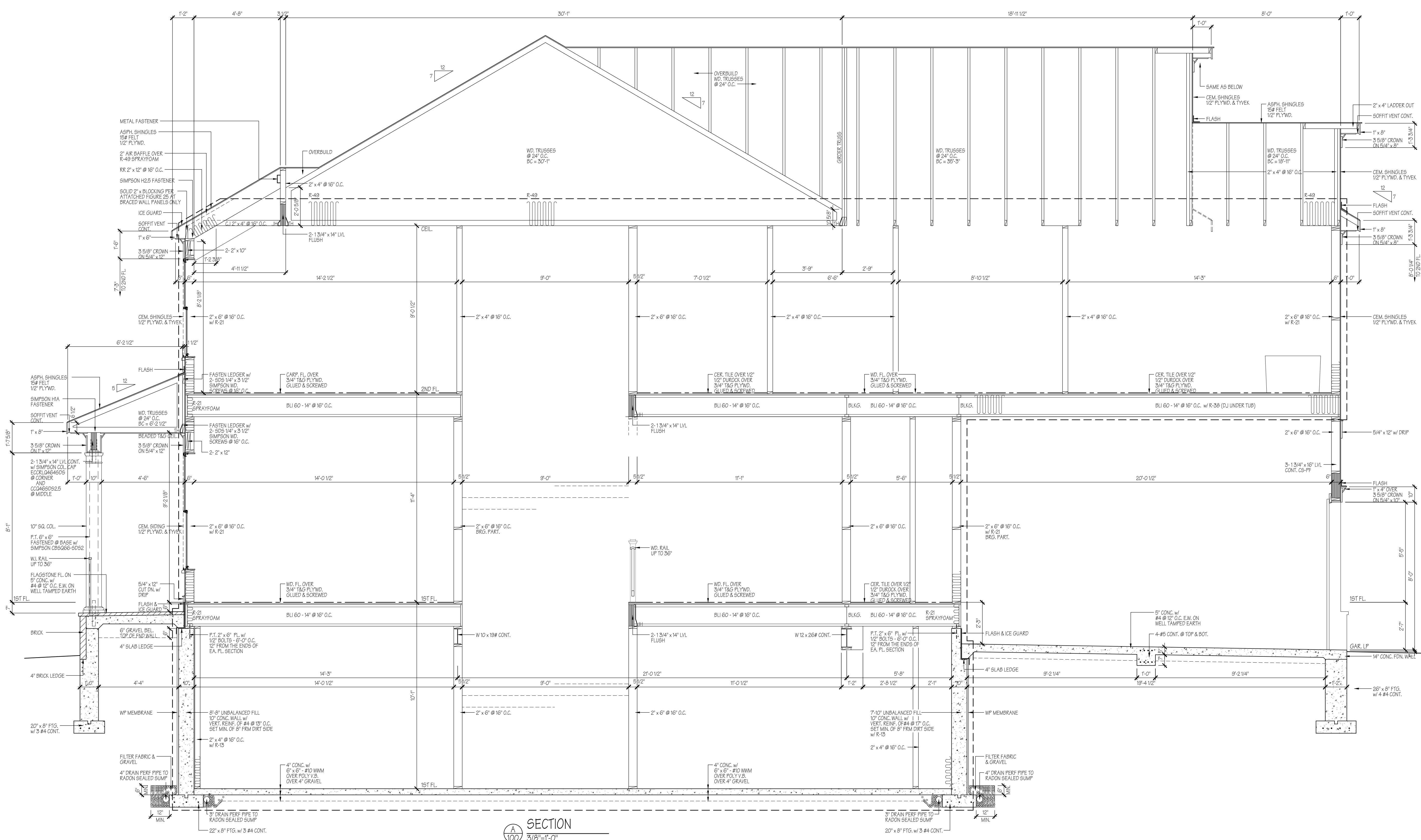
APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

CHECK SET



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE# 7603-R, EXPIRATION DATE 04-26-2027

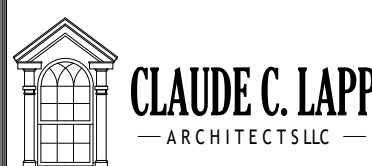
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION

NOTIFY ARCHITECT OF ANY DISCREPANCIES

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



7361 CALHOUN PLACE
SUITE 205
ROCKVILLE, MD 20855
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

RESIDENCE FOR:
AVATAR DESIGN BUILD
4715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318

MODEL
2506 HOLMAN AVENUE, SILVER SPRING, MD 20910

DRAWING TITLE
SECTIONS A & A1

DRAWN BY DL/EC	DATE 07-30-25	SHEET NO. A300
CHECKED BY CCL		
PAGE 6 OF 70		



NOTES

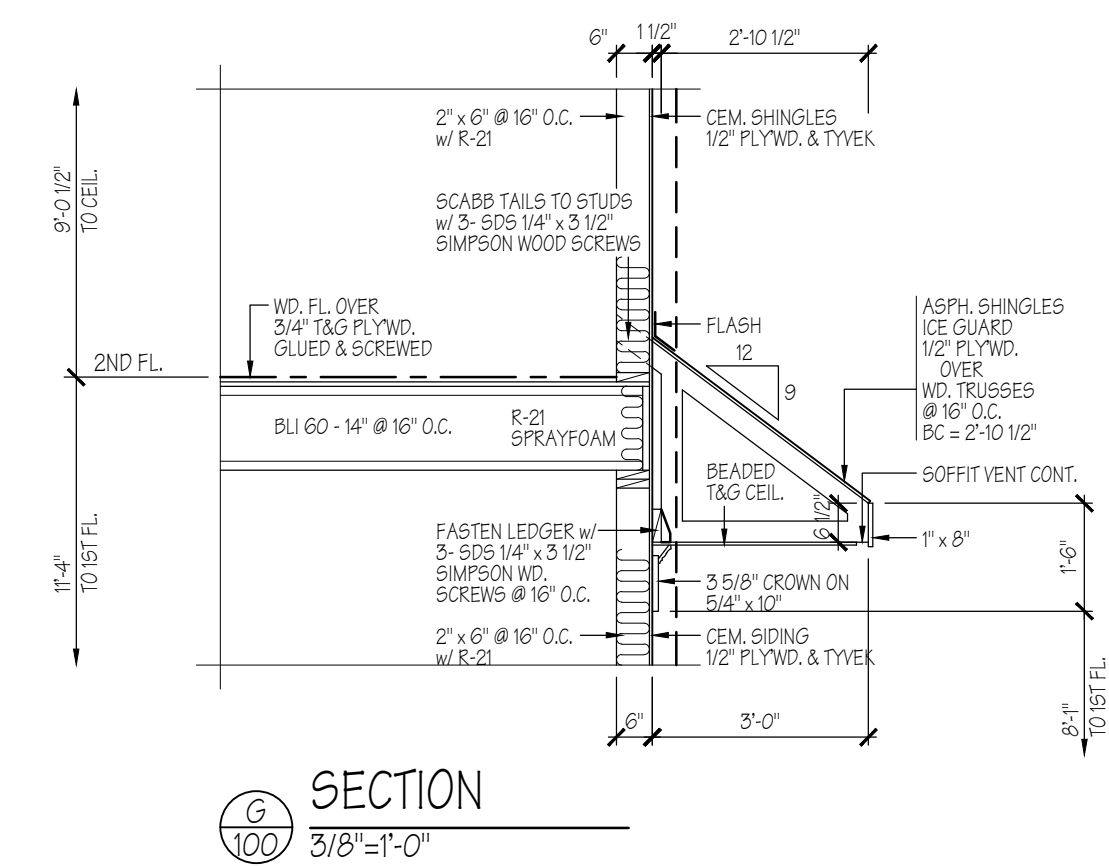
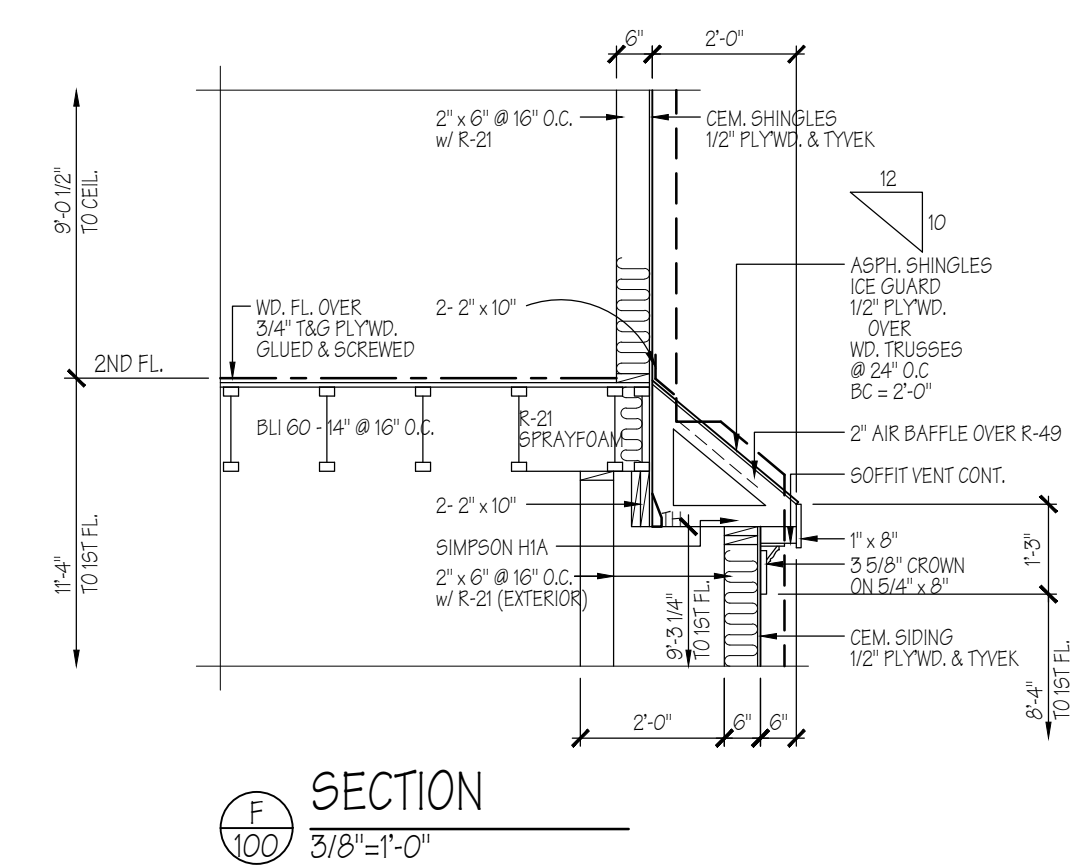
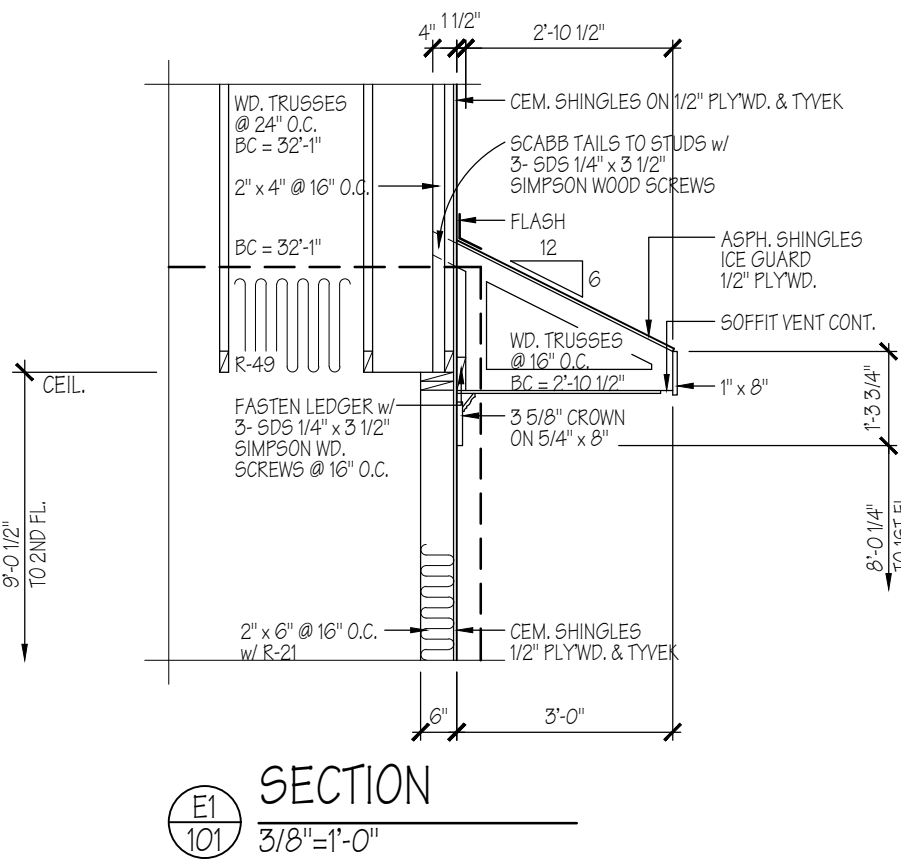
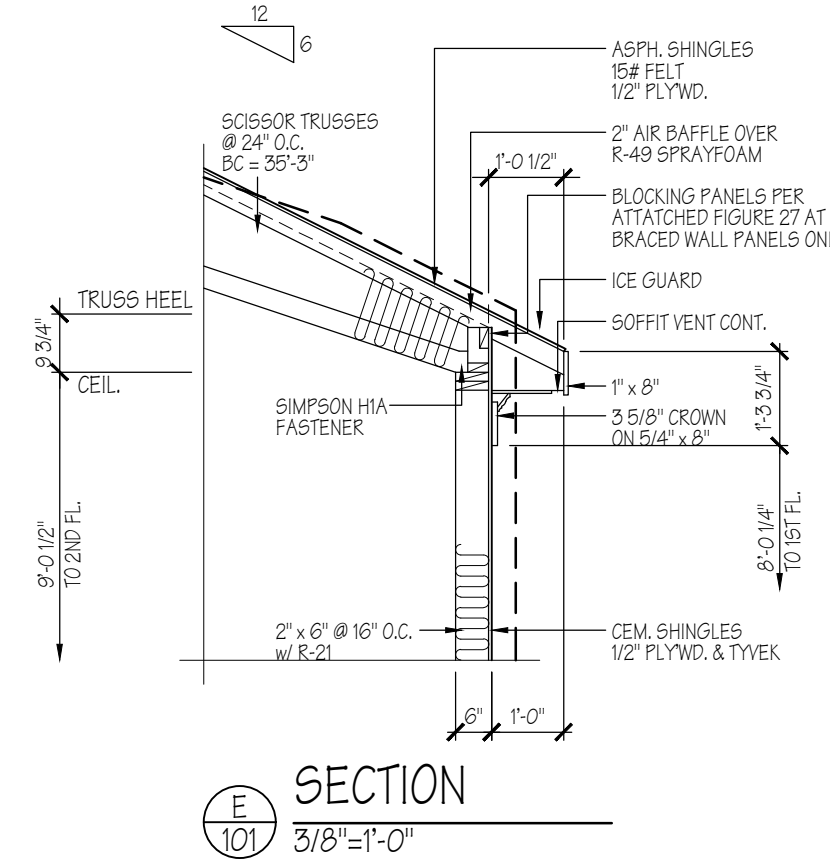
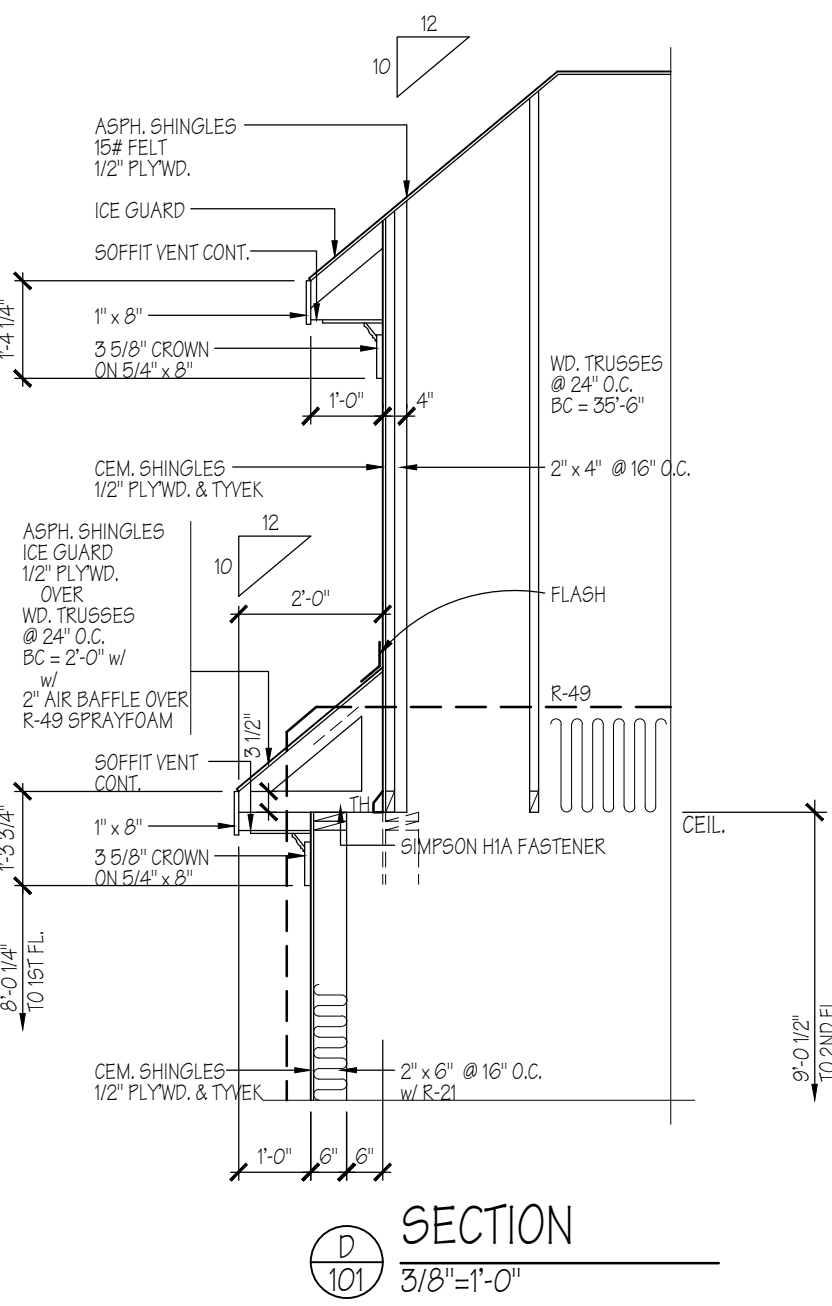
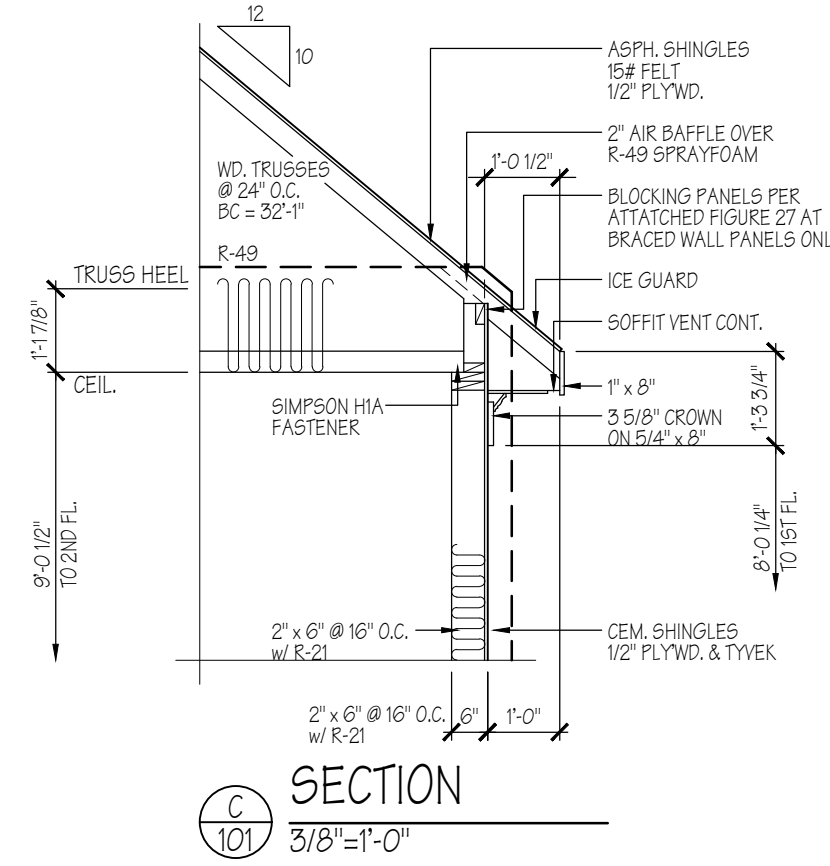
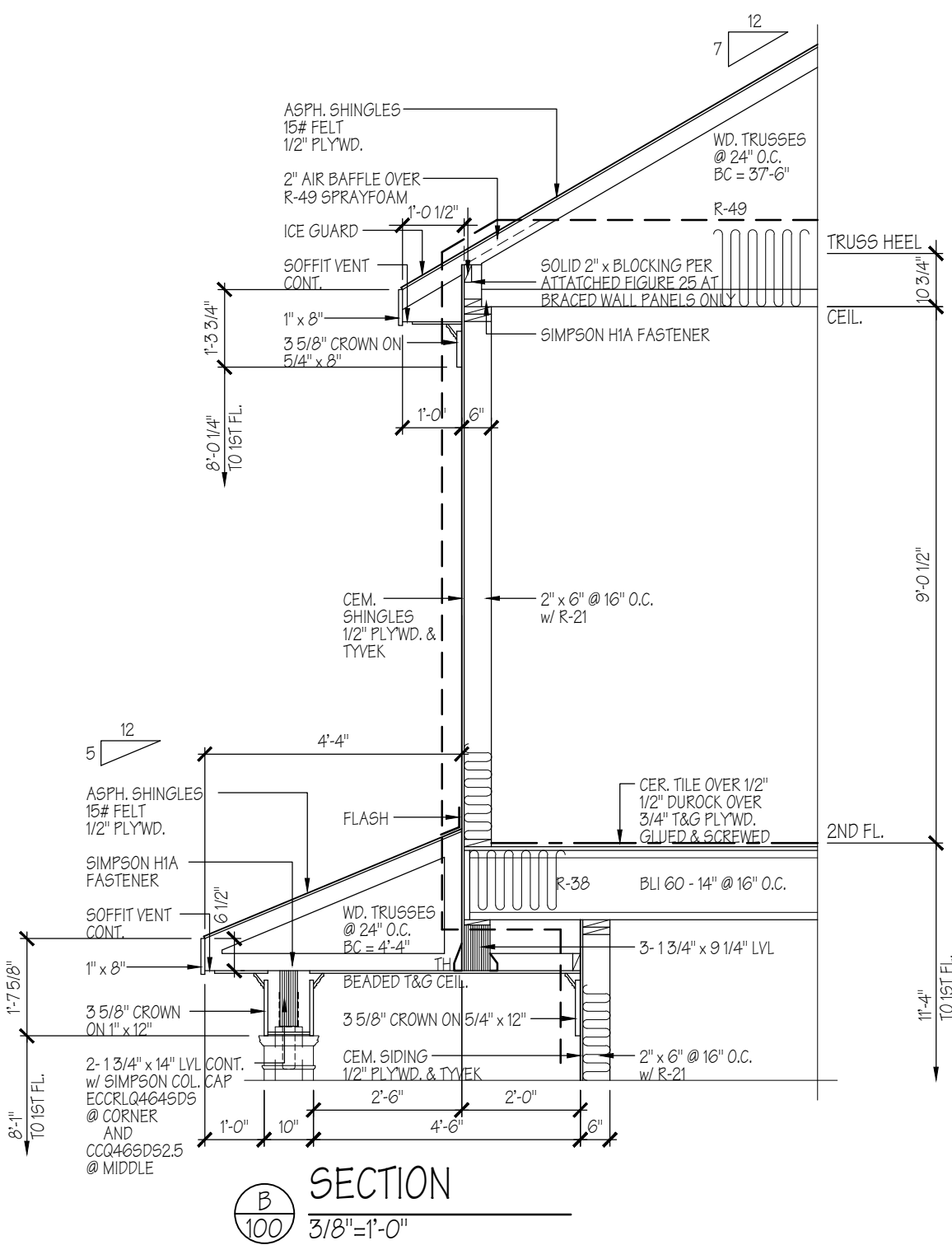
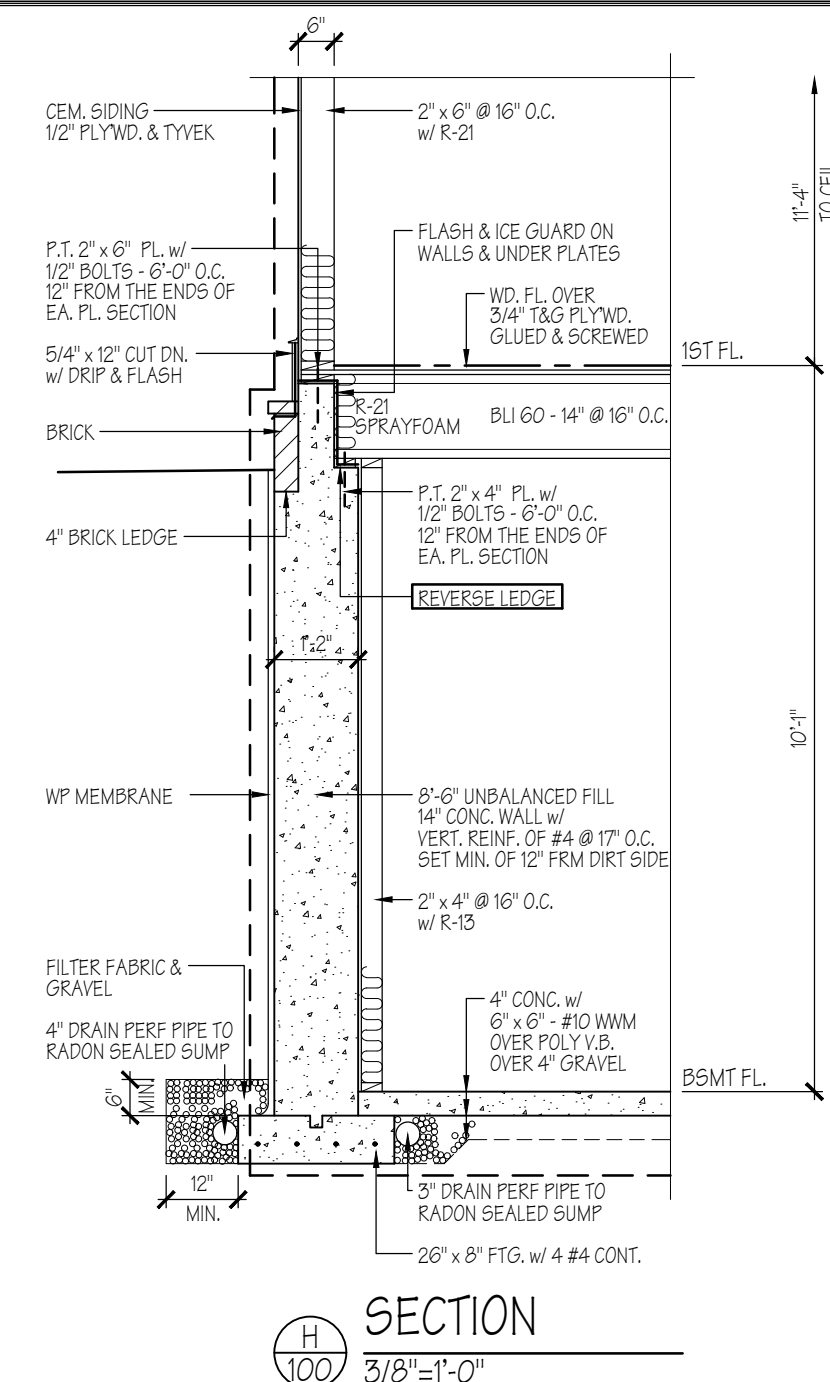
1. PROVIDE ICE SHIELD LOCATION WITHIN 2'-0" HORIZONTALLY OF OUTSIDE FACE OF EXTERIOR WALL @ EAVES PER IRC 2018 SECTION R905.1.2
2. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WD SHALL BE NON CORROSIVE PER IRC 2018 SECTION 317.3.1
2. INSTALL STUCCO PER COUNCIL STANDARD PRACTICES

APPROVED

Montgomery County
Historic Preservation Commission

Karen Bunkit

CHECK SET

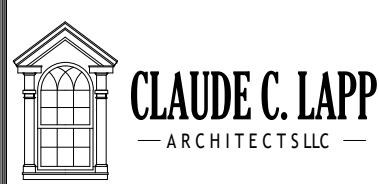
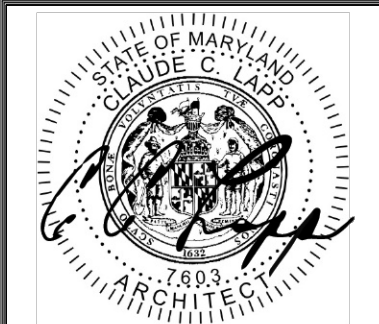
[illegible]

CONTRACTOR TO CHECK &
VERIFY ALL DIMENSIONS &
CONDITIONS IN FIELD PRIOR
TO START OF CONSTRUCTION

**NOTIFY ARCHITECT OF ANY
DISCREPANCIES.**

ALL INTERIOR WALL
DIMENSIONS
TO BE 3 1/2" UNLESS NOTED
OTHERWISE.

CLAUDE C. LAPP
ARCHITECTS, LLC
EXPRESSLY RESERVES ITS
COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE
PLANS AND DRAWINGS.
THESE PLANS AND
DRAWINGS ARE
NOT TO BE REPRODUCED IN
ANY FORM OR MANNER
WITHOUT
THE EXPRESS WRITTEN
CONSENT
OF CLAUDE C. LAPP
ARCHITECTS, LLC



7361 CALHOUN PLACE
SUITE 205
ROCKVILLE, MD 20855
T(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

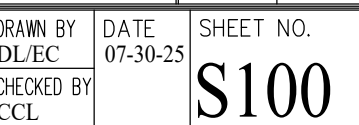
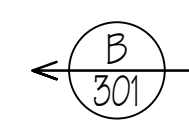
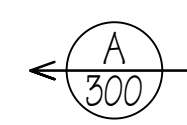
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE# 7603-R, EXPIRATION DATE 04-26-2027

RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318

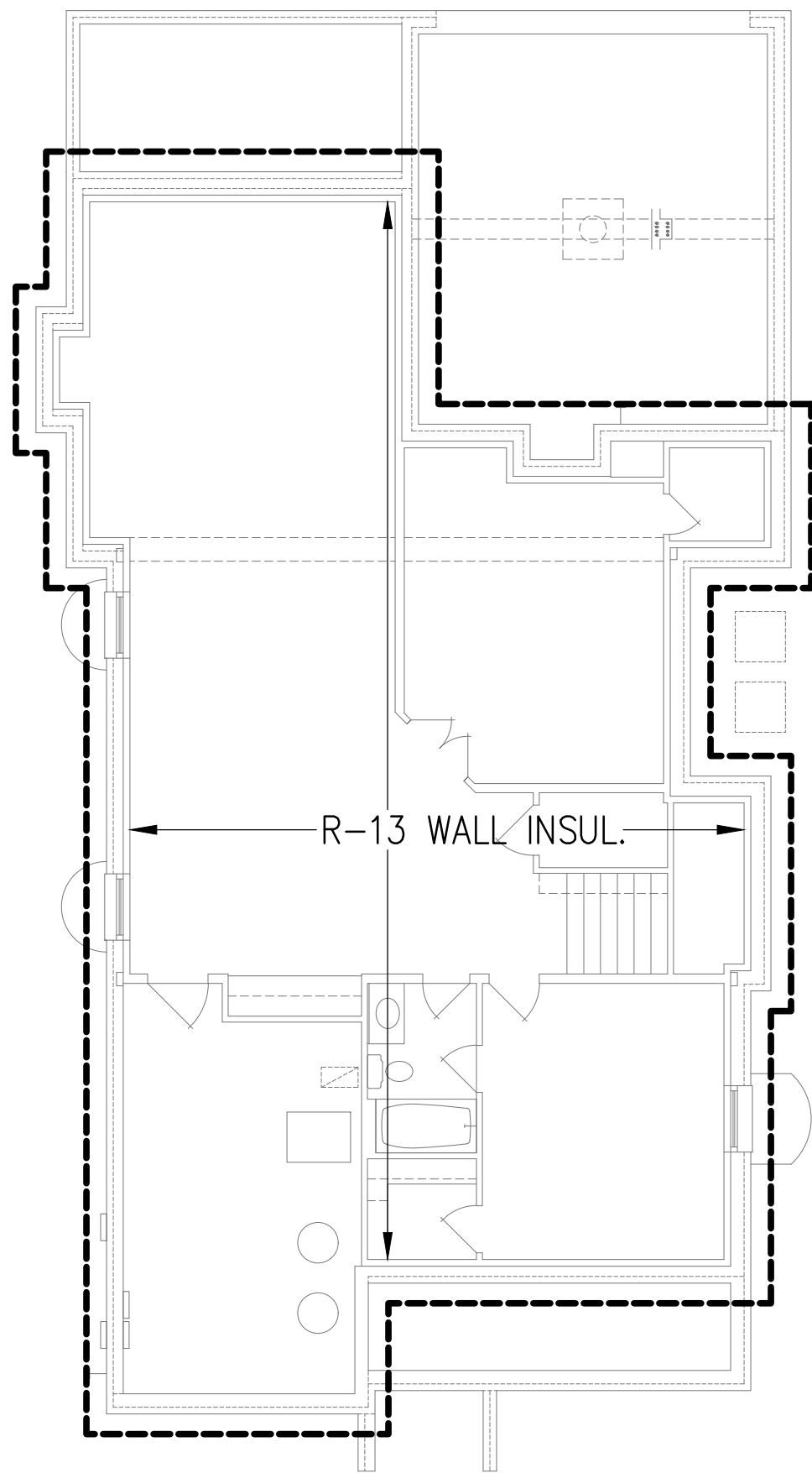
MODEL
22506 HOLMAN AVENUE, SILVER SPRING, MD 20910

DRAWING TITLE
SECTIONS B, C, D, E, F, G, & H

DRAWN BY DL/EC	DATE 07-30-25	SHEET NO. A301
CHECKED BY CCL		
DATE 7-30-20		



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE# 7603-R, EXPIRATION DATE 04-26-2027.



LEGENDS

LINE OF BUILDING THERMAL ENVELOPE

CEIL THERMAL AREA R-49

CEIL THERMAL AREA R-30

THERMAL AREA OVER UNCONDITIONED SPACE

THERMAL AREA OVER OUTSIDE AIR

NOTES

1. ALL DUCTS TO BE INSUL. w/ MINIMUM R-6, R-8 IN ATTICS

2. ALL DUCTS TO BE SEALED PER IRC M1601.4.1

BASEMENT FLOOR PLAN
1/8"=1'-0"

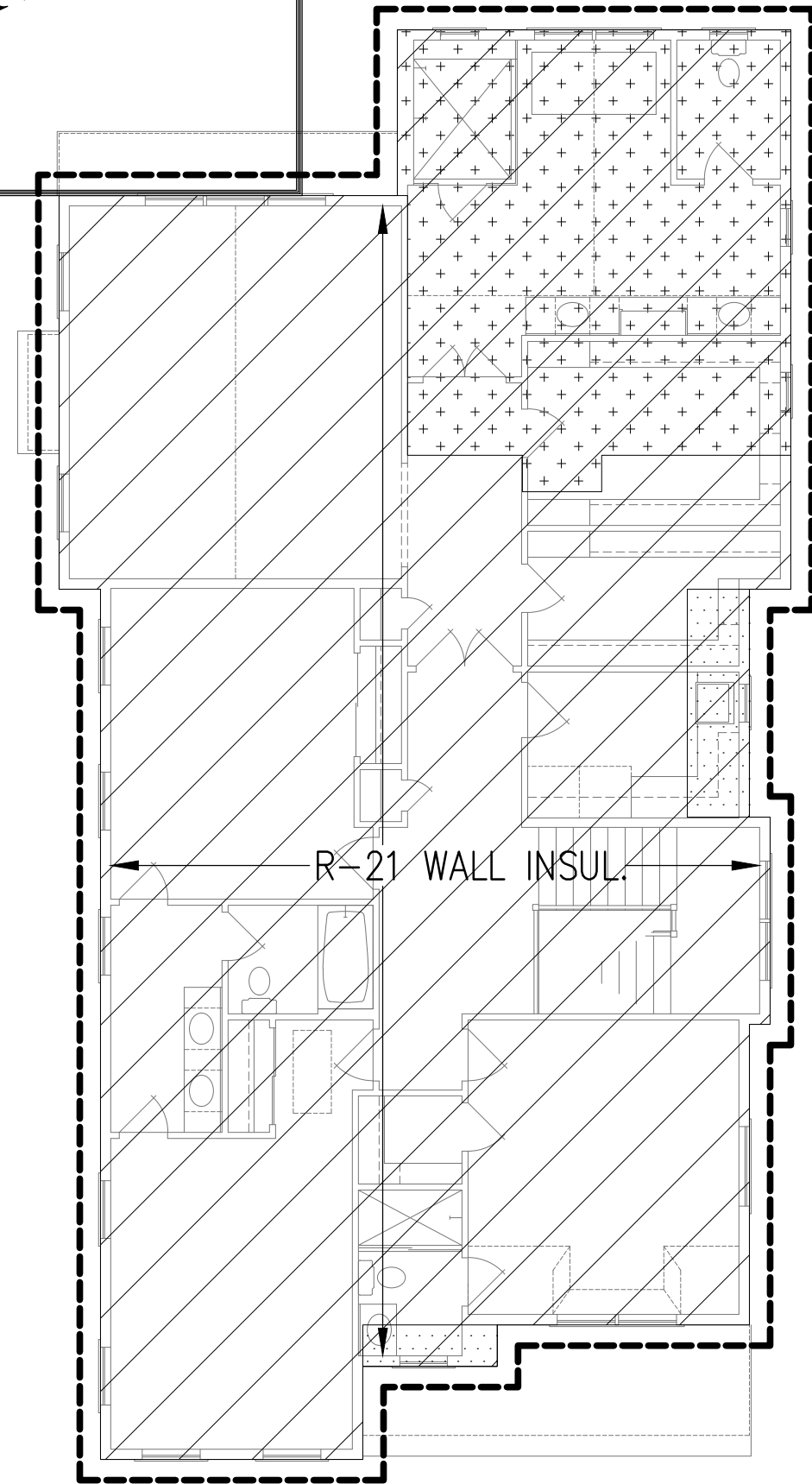
REVIEWED
By Laura DiPasquale at 8:54 am, Aug 13, 2025

APPROVED

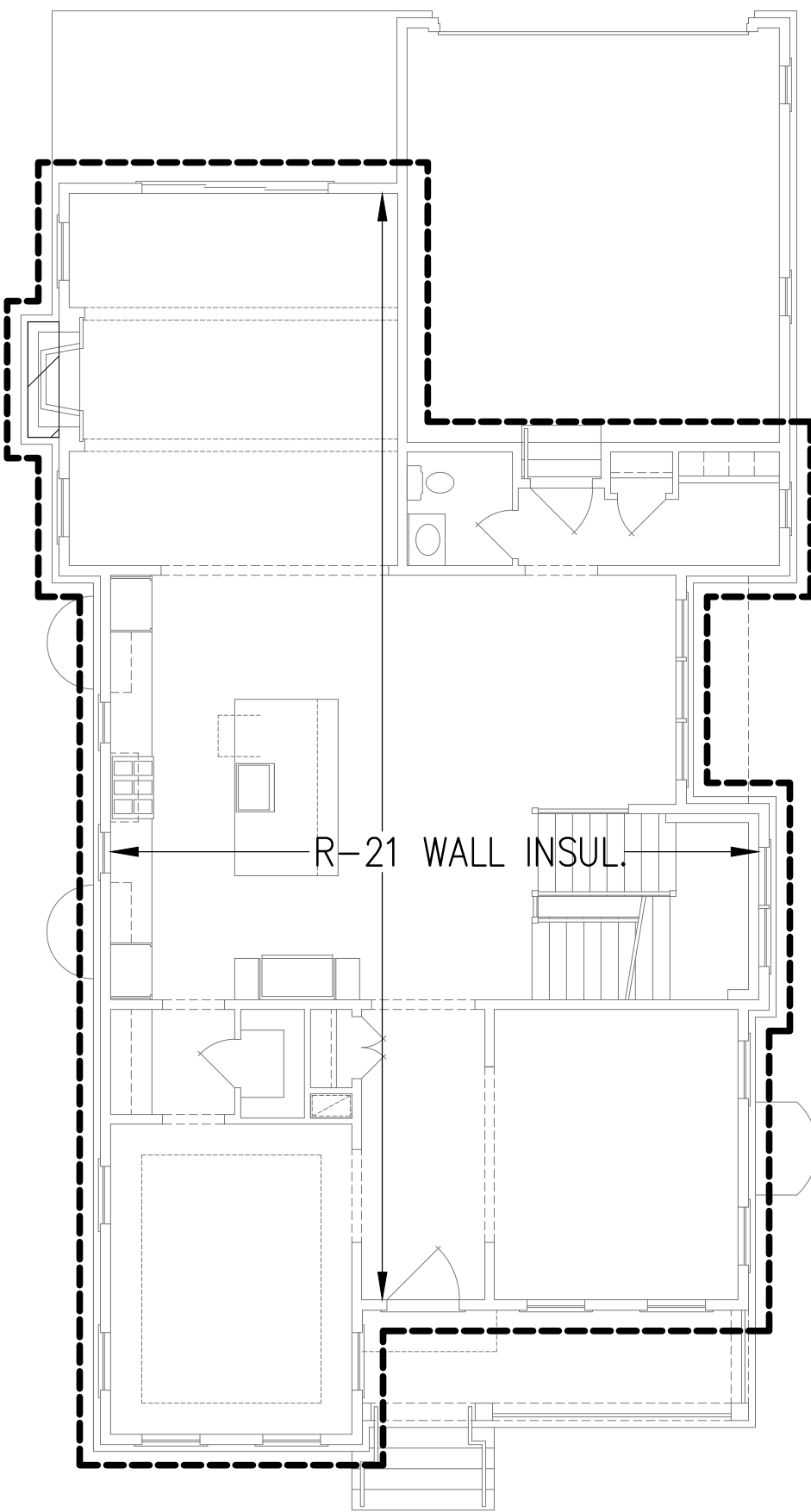
Montgomery County
Historic Preservation Commission

Karen Bulleit

CHECK SET



SECOND FLOOR PLAN
1/8"=1'-0"



FIRST FLOOR PLAN
1/8"=1'-0"

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE# 7603-R, EXPIRATION DATE 04-26-2027

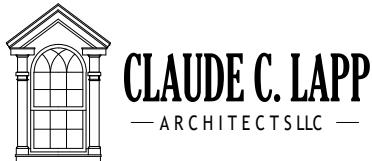
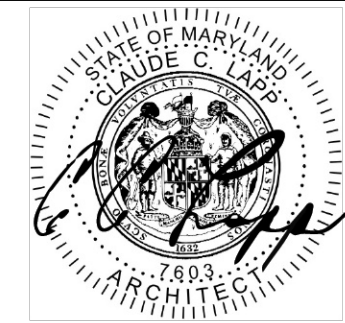
DATE	REMARKS

CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.

NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ALL INTERIOR WALL DIMENSIONS TO BE 3 1/2" UNLESS NOTED OTHERWISE.

CLAUDE C. LAPP ARCHITECTS, LLC EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS AND DRAWINGS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF CLAUDE C. LAPP ARCHITECTS, LLC



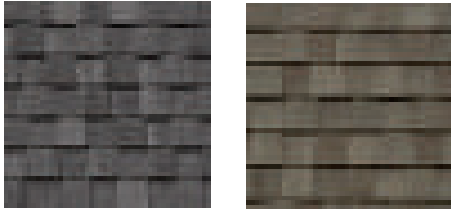
7361 CALHOUN PLACE
SUITE 205
ROCKVILLE, MD 20855
T:(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318

MODEL
2506 HOLMAN AVENUE, SILVER SPRING, MD 20910

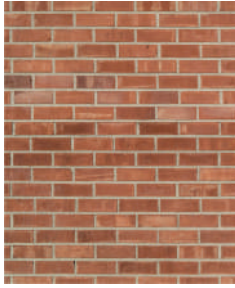
DRAWING TITLE
THERMAL ENVELOPE

DRAWN BY DUEC	DATE 07-30-25	SHEET NO. EC100
CHECKED BY CCT		
PAGE—OF 30		



CERTAINTEED LANDMARK SERIES SHINGLES
- COLOR: PEWTER OR WEATHERED WOOD

ASPHALT SHINGLE ROOF



RED BRICK



the power of possibilities™



Primed



Smooth

NICHIHA FIBER CEMENT SHAKE, SIDING & TRIM

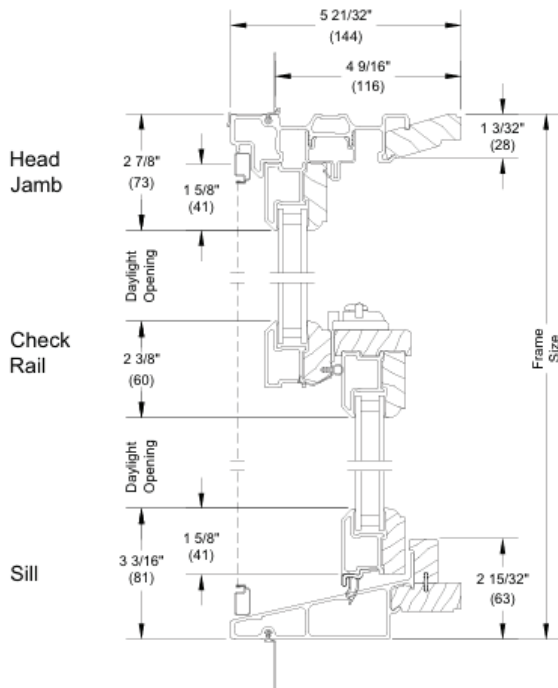
- SIERRA PREMIUM SHAKE IN "PRIMED"
- NICHIBOARD IN "SMOOTH" (PRIMED)
- NICHITRIM IN "SMOOTH" (PRIMED)

SIDING & TRIM

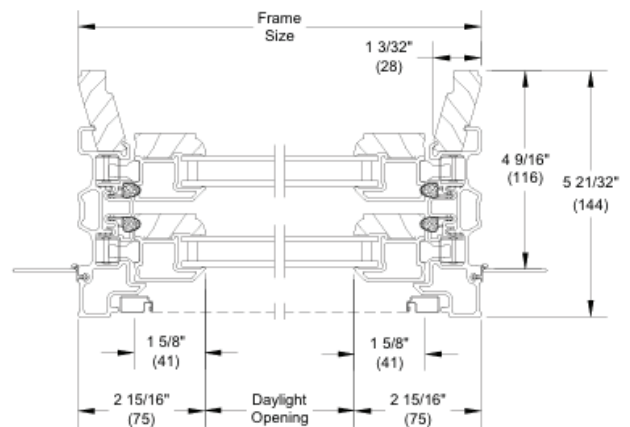


ELEVATE SERIES DOUBLE-HUNG WINDOWS

- DUAL-PANE VENT
- TRADITIONAL 2/2 PATTERN



Jamb



REVIEWED

By Laura DiPasquale at 8:54 am, Aug 13, 2025

APPROVED

Montgomery County
Historic Preservation Commission

Karen Benoit

WINDOWS AND DOORS

ELEVATE SERIES CASEMENT WINDOWS

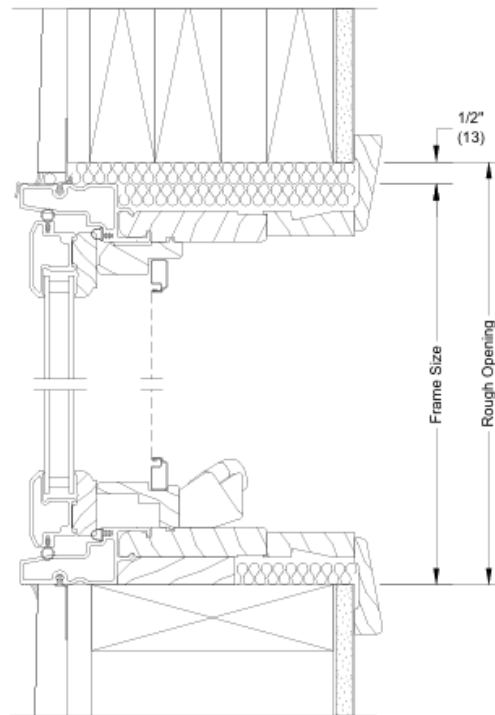
- DUAL-PANE VENT
- TRADITIONAL 4-LIGHT PATTERN w/ SIMULATED MEETING RAIL.

ELEVATE SERIES AWNING WINDOWS

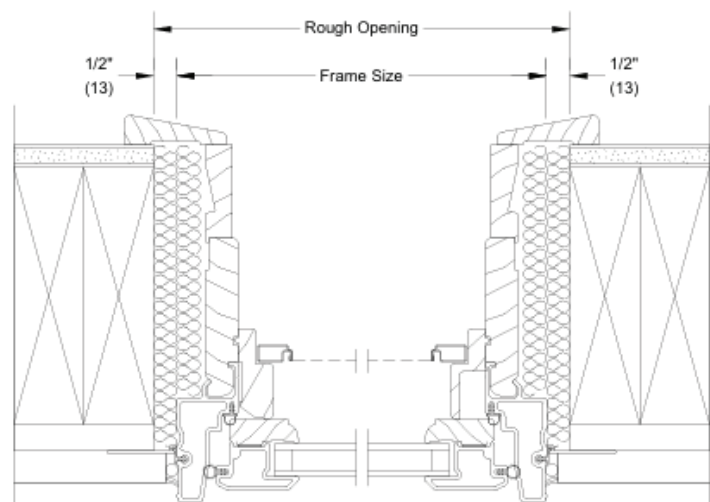
- DUAL-PANE VENT
- TRADITIONAL 3-LIGHT PATTERN

Head Jamb

Sill



Jamb



APPROVED

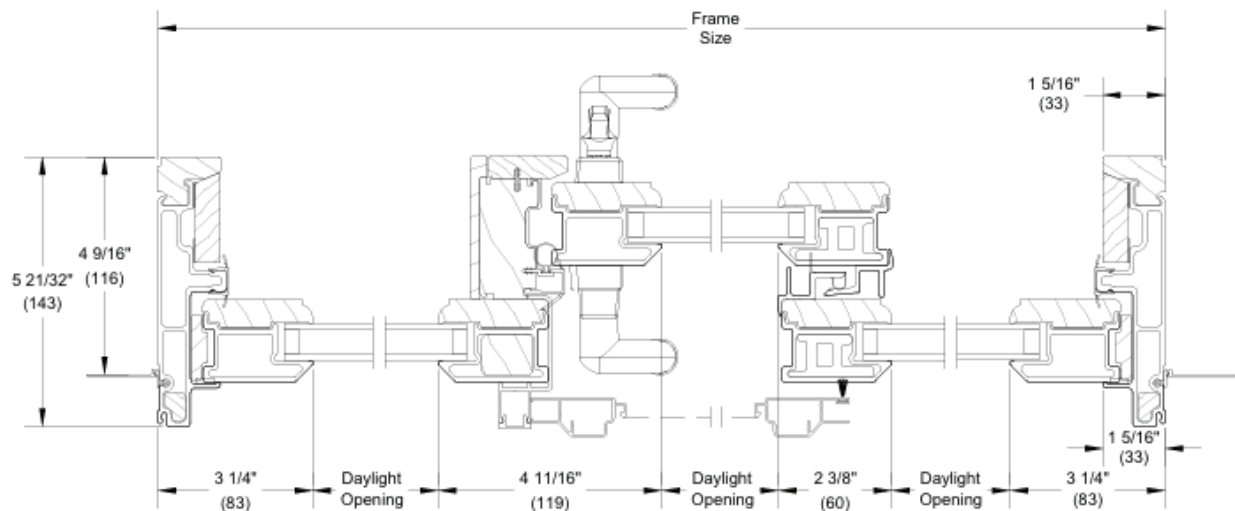
Montgomery County
Historic Preservation Commission

Karen Benoit

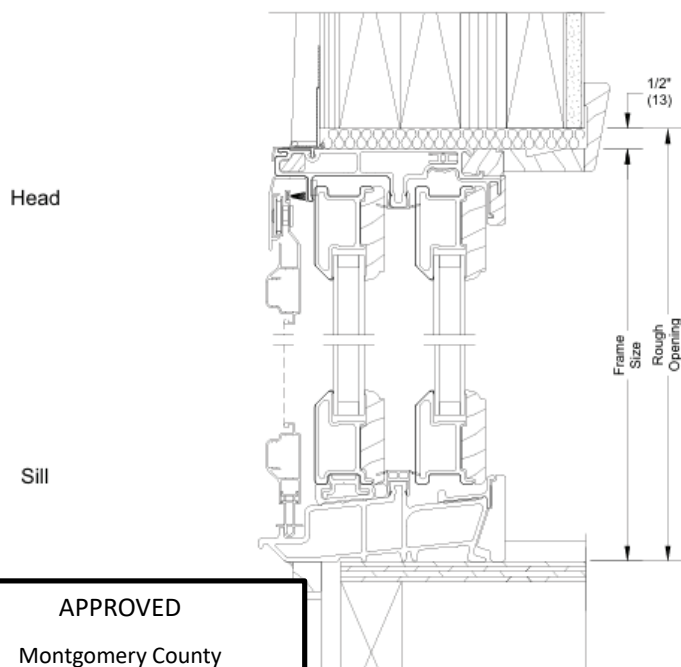
REVIEWED

By Laura DiPasquale at 8:54 am, Aug 13, 2025

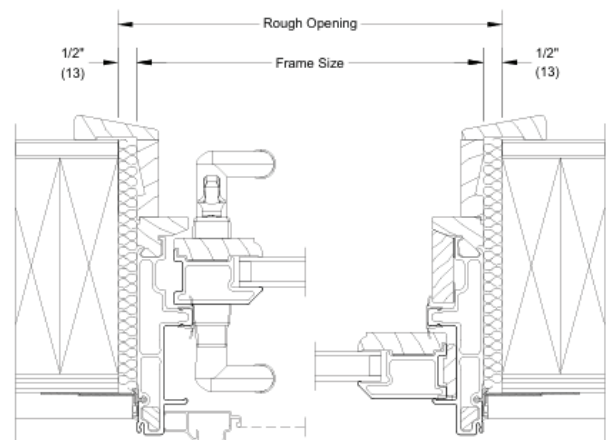
ELEVATE SERIES SLIDING PATIO DOORS - DUAL-PANE VENT



3 Panel OXO Jamb



Jamb



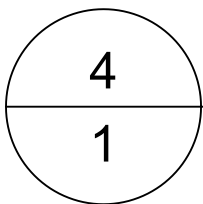
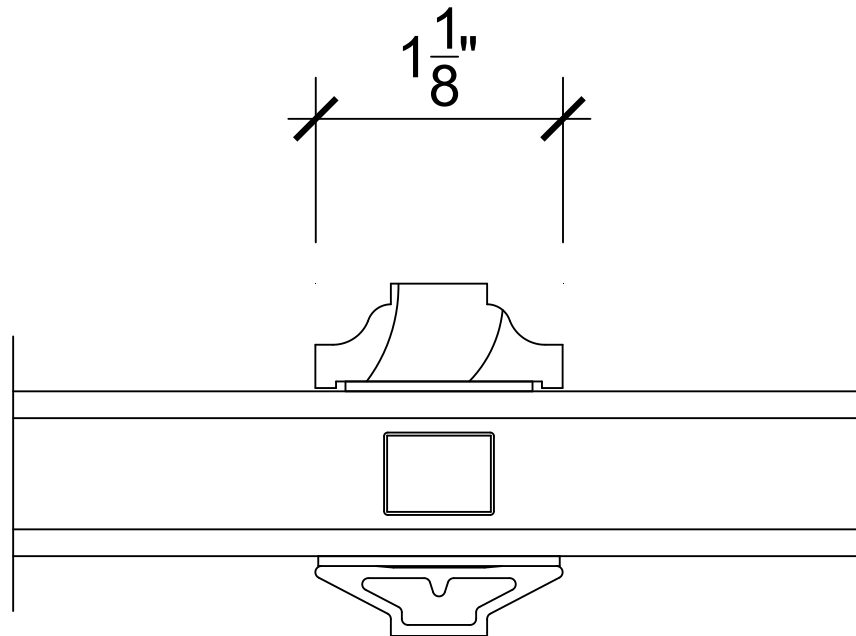
APPROVED

Montgomery County
Historic Preservation Commission

Karen Benoit

REVIEWED

By Laura DiPasquale at 8:54 am, Aug 13, 2025



Divided Lite

REVIEWED

By Laura DiPasquale at 8:54 am, Aug 13, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Buelit