



HISTORIC PRESERVATION COMMISSION

Marc Elrich

County Executive

Karen Burditt

Chair

November 5, 2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1125581—Hardscape alterations, fenestration and door alterations, tree removal, installation of sign panels and a bench

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached applications for a Historic Area Work Permit (HAWP). This application was **approved with two (2) conditions** at the August 13, 2025 HPC meeting:

1. The applicant must provide manufacturer's specifications and/or drawings for the proposed windows and doors. The windows must be wood or aluminum-clad wood.
2. The applicant must submit a more compatible door design incorporating glazing, such as those found in *Figure 9* or *Figure 10* [of the staff report].

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: M-NCPPC (Montgomery Parks); Delisa Mitchell, Agent
Address: 4101 Muncaster Mill Road, Rockville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.





**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: M-NCPPC Montgomery Parks

Address: Montgomery Parks, 2425 Reedie Drive, 11th Floor

Daytime Phone: 301-495-2461

E-mail: Delisa.Mitchell@montgomeryparks.org

City: Wheaton Zip: 20902

Tax Account No.: 00702071

AGENT/CONTACT (if applicable):

Name: Delisa Mitchell

Address: Montgomery Parks, 2425 Reedie Drive, 11th Floor

Daytime Phone: 301-495-2461

E-mail: Delisa.Mitchell@montgomeryparks.org

City: Wheaton Zip: 20902

Contractor Registration No.: 23/113-02

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
X No/Individual Site Name Norbeck Rosenwald School

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 4101

Street: Muncaster Mill Road

Town/City: Rockville

Nearest Cross Street: Norbeck Road (Rt 28)

Lot: _____

Block: _____

Subdivision: 0502

Parcel: 923

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

New Construction
 Addition
 Demolition
 Grading/Excavation

Deck/Porch
 Fence
 Hardscape/Landscape
 Roof

Shed/Garage/Accessory Structure
 Solar
 Tree removal/planting
 Window/Door
 Other: Ramp, Repairs, Maintenance

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Samantha Shron, Montgomery Parks, PDD

October 15, 2025

Signature of owner or authorized agent

Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The Norbeck-Muncaster Mill Park Activity Building, historically referred to as the Norbeck Rosenwald School, is a park building located in the Norbeck-Muncaster Mill Neighborhood Park in Rockville, Maryland. It is a 1-story structure, located on the east side of Muncaster Mill Road. Constructed between 1926 and 1928, the building was originally used as a 2-room, side-gable schoolhouse. The structure has an asphalt shingle roof with a brick chimney. The structure is wood-frame construction with wood siding on a brick foundation. There are windows on all 4 sides of the structure. The front, or south, facade has two entrances with hollow metal doors and front-gable entry porches. Leading to each entrance is a wood deck with a ramp and 2 steps. The adjacent church uses the building and shares the parking lot. The building is surrounded by vegetation, such as trees and shrubs.

Very few of the original features of the historic building remain. The existing windows, doors, porches, and ramps are more recent modifications to the structure.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The primary goals of the exterior work are to provide a code compliant accessible entrance to the building and to replace features that are in disrepair. The work includes the construction of an accessible concrete parking space and access aisle. A new concrete sidewalk will connect the parking to a new wood entrance ramp and porch. A new entrance porch will also be provided at the door on the left side of the front elevation. Both entrances will include painted hollow metal pipe railings and bracketed porch roof overhangs. The roof material on the overhangs will match the existing asphalt shingle roof. Surface-mounted lighting will be included on the underside of the porch overhangs.

A new bench is proposed adjacent to the concrete sidewalk. An existing signage panel will be relocated next to the bench, and a new signage panel highlighting the history of the Cemetery will be placed on the other side. The existing under-utilized flower beds and dense vegetation in front of the building will be removed. New shrubs and understory trees are proposed. The 30" DBH tree located between the building and the parking lot will be removed to allow the construction of the new entrance path. A new tree will be planted in a similar location to provide shade to the bench seating.

New hollow metal entrance doors will be provided. A gang of four aluminum clad wood windows is proposed on the rear elevation, in a nod to the historic grouping of windows and to allow more daylight to the interior space. Repairs to the parking lot include milling and overlaying the asphalt, new parking striping ~~and repairing the broken curb at the northern corner. Additional asphalt curbs will be installed as necessary.~~ and installing new concrete curbs.

All work will be completed according to the Secretary of the Interior's Standards for Rehabilitation and per the attached drawings. There will be no adverse effect to the building or site. Our intent is to improve the condition of this valuable resource and to make it more accessible for all users.

REVIEWED

By Laura DiPasquale at 10:47 am, Nov 05, 2025

APPROVED

Montgomery County

Historic Preservation Commission



Work Item 1: Building Entrance Porches, Stairs and Ramps

Description of Current Condition:

The existing entrance ramps, stairs and porches are in disrepair and do not meet accessibility codes. The current door hardware is aged and needs to be replaced. The existing exterior lighting at the building is not adequate.

Proposed Work:

Demolish existing ramps, steps, and porches, including the overhead structures. Provide a new covered porch, with gutter and downspout, at each building entrance. Provide a new, code compliant ramp at the entrance adjacent to the accessible parking space. Porches, stairs and ramps to be constructed in wood. Railings to be painted hollow metal pipe. Porch roofs to match existing asphalt shingle roof. Include ~~surface-mounted~~ lights on the underside of both porch overhangs. Provide new hollow metal doors and door hardware at each entrance.

Work Item 2: Hardscape - Sidewalk

Description of Current Condition:

Currently, the accessible path from the accessible parking space to the main entrance of the building is within the parking lot drive aisle. The accessible path striping has faded.

Proposed Work:

Provide a concrete sidewalk from the accessible parking space to the new entrance ramp. The new path will be located outside of the parking lot drive aisle. Provide a concrete pad, bench, and signage panels adjacent to the sidewalk. An alternate location for one of the signage panels is at the end of the parking lot, looking toward the Cemetery.

REVIEWED

By Laura DiPasquale at 10:47 am, Nov 05, 2025

Work Item 3: Hardscape - Parking Lot

Description of Current Condition:

The markings for the current accessible parking space are faded and there is no adjoining access aisle. The asphalt curb at the northern corner of the parking lot is in disrepair.

Proposed Work:

Provide a concrete accessible parking space and adjoining access aisle, with appropriate striping and markings, per Montgomery Parks standards. Repair the broken curb at the northern corner of the parking lot. Mill and overlay the parking lot, and re-stripe the parking spaces.

Provide a concrete walkway along the northwestern edge of the parking lot connecting the accessible parking to the northern corner of the lot (closest to the cemetery). Provide a 5' diameter turnaround area at the end of the walkway. Provide concrete curbs at new paving. All new paving work described in Work Item 3 to be installed within the boundaries of the existing parking lot.

APPROVED
Montgomery County
Historic Preservation Commission



NORBECK ROSENWALD SCHOOL – HAWP APPLICATION

WORK ITEMS, CONTINUED

~~JULY 23, 2025~~ OCTOBER 15, 2025

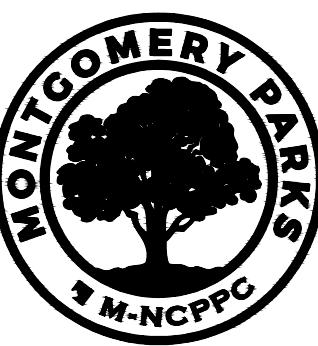
Work Item 4: Tree Removal/Planting	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
The existing planting beds in front of the building are in disrepair and are not utilized. The existing shrubs are too dense and block the windows on the right side of the elevation. The 30" DBH tree between the building and the parking lot conflicts with the preferred location for the new sidewalk and entrance ramp.	Remove all plant beds and vegetation in front of the building. Remove the 30" DBH tree and plant a new Zelkova serrata 'Green Vase' tree further to the west (but positioned to provide shade at the new bench). Provide one small landscaping bed for shrubs between the ramp and the building, and one large planting area for shrubs and understory trees between the entrances.
Work Item 5: New Windows on Rear Facade	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Currently there are two small windows in the existing restrooms on the rear elevation of the building.	Remove existing rear windows and add a group of four new windows to provide more natural light to the interior space. The size and placement of each window (width, sill height and head height) will match the existing windows. The new windows will be aluminum clad wood windows, with profiles to match the existing windows to the extent possible.
Work Item 6: New Roof Shingles	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Existing roof shingles have reached the end of their lifespan.	Remove the existing roof shingles and replace in-kind.

REVIEWED

By Laura DiPasquale at 10:47 am, Nov 05, 2025



APPLICABLE CODES		PROJECT SUMMARY		GENERAL NOTES																																																	
COMAR 9.12.53 MARYLAND ACCESSIBILITY CODE, ADAAG & FHAG ICC INTERNATIONAL BUILDING CODE 2021 ICC INTERNATIONAL EXISTING BUILDING CODE 2021 MBRC MARYLAND BUILDING REHABILITATION CODE IgCC GREEN BUILDING CODE 2021 ICC INTERNATIONAL ENERGY CONSERVATION CODE 2021 ICC FUEL GAS CODE 2021 ICC INTERNATIONAL MECHANICAL CODE 2021 NFPA 70 NATIONAL ELECTRIC CODE 2017; ER 23-19 NFPA 72/2019 FIRE ALARM NFPA 1 & 101 FIRE & LIFE SAFETY 2021 WSSC PLUMBING & FUEL GAS CODE NFPA 13 & 13R COMMERCIAL SPRINKLERS 2019		THE NORBECK-MUNCASTER MILL PARK ACTIVITY BUILDING IS LOCALLY DESIGNATED AS A MONTGOMERY COUNTY HISTORIC RESOURCE, NO. 23/113-02, AND IS KNOWN HISTORICALLY AS THE NORBECK ROSENWALD SCHOOL/ MOUNT PLEASANT COLORED SCHOOL. THE PROPOSED WORK CONSISTS OF INTERIOR MODIFICATIONS TO THE EXISTING RESTROOMS, KITCHEN, AND ACTIVITY ROOMS. EXTERIOR WORK INCLUDES RECONFIGURING THE RAMPS AND ENTRY LANDINGS FOR IMPROVED ACCESSIBILITY, INCLUDING ASSOCIATED ENTRY ROOF MODIFICATIONS. ADDITIONAL IMPROVEMENTS INCLUDE NEW WINDOWS ON THE REAR ELEVATION, ROOF REPLACEMENT, NEW ASPHALT PAVING IN THE PARKING LOT, AND A NEW ACCESSIBLE PARKING SPACE, IN CONCRETE.		1. GENERAL NOTES AND PROJECT NOTES ON ARCHITECTURAL SHEETS SHALL APPLY ONLY TO THOSE SHEETS ON WHICH THEY APPEAR. 2. ALL WORK SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, RULES, REGULATIONS, CODES, AND GUIDELINES. 3. DO NOT SCALE DRAWINGS. 4. CONTRACTOR SHALL VERIFY IN FIELD (VIF) ALL SITE CONDITIONS, UTILITIES, ELEVATIONS, SECTIONS, AND DIMENSIONS PRIOR TO THE START OF WORK. 5. ALL DIMENSIONS SHOWN ON DRAWINGS ARE NOTED FROM FINISH MATERIAL TO FINISH MATERIAL, UNLESS OTHERWISE NOTED. 6. FLOOR ELEVATIONS ARE TO THE TOP OF FINISHED FLOOR UNLESS OTHERWISE NOTED. 7. CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACE OF CEILING UNLESS OTHERWISE NOTED. 8. ALL FIRE RATED CONSTRUCTION, IF INDICATED, SHALL CONFORM WITH UL TESTED STANDARDS AND/OR LOCAL REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. 9. CONTRACTOR TO VERIFY THAT ALL EXISTING RATED WALLS (INCLUDING PENETRATIONS) WERE CONSTRUCTED TO MEET CURRENT REQUIREMENTS FOR A RATED WALL ASSEMBLY, IF DISTURBED, ASSOCIATED OR ADJACENT TO PROJECT SCOPE. 10. PROVIDE SEALANT AT ALL FIXTURES AND CHANGE IN MATERIAL – TYPICAL. 11. ALL WORK SHALL BE DONE IN A WORKMAN LIKE MANNER AND IN CONFORMANCE WITH MANUFACTURER'S INSTALLATION AND GUARANTEE REQUIREMENTS. 12. ONLY APPROVED PLANS THAT HAVE BEEN SIGNED BY THE APPROPRIATE AUTHORITIES SHALL BE USED FOR THE CONSTRUCTION OF THE IMPROVEMENTS. 13. COORDINATE WITH WSSC PRIOR TO DEMOLITION. 14. THE INTENT OF THESE DRAWINGS IS FOR THE CONTRACTOR TO PROVIDE ALL LABOR, MATERIAL, FINISHES, EQUIPMENT, INSTALLATION AND SERVICES NECESSARY FOR AND INCIDENTAL TO THE WORK, TO PROVIDE M-NCPPC WITH A COMPLETE PROJECT INCLUSIVE OF ALL SYSTEMS.																																																	
CODE ANALYSIS		NORBECK-MUNCASTER MILL NEIGHBORHOOD PARK PARK ACTIVITY BUILDING RENOVATION (PID #B39-001) 4101 MUNCASTER MILL ROAD, NORBECK, MARYLAND, 20853		<small>MEP ENGINEER Century Engineering, Inc. 10710 Gilroy Road Hunt Valley, Maryland 21031 443-589-2400</small> <small>Montgomery Parks Park Development Division 2425 Reeder Drive, 11th Floor Wheaton, MD 20902 (301) 495-2595 MontgomeryParks.org</small>																																																	
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The Maryland-National Capital Park and Planning Commission

Montgomery Parks
Park Development Division
2425 Reedy Drive, 11th Floor
Wheaton, MD 20902
(301) 495-2595
MontgomeryParks.org

MEP ENGINEER
Century Engineering, Inc.
10710 Gilroy Road
Hunt Valley, Maryland 21031
443-589-2400



Professional Certified: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
License No. 21406
Expiration Date 1/23/2027

Norbeck-Muncaster Mill Neighborhood Park Park Activity Building Renovation

4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman

Liber: 29914 Tax Map: HS342
Folio: 0259 WSSC:

Revisions		
No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title

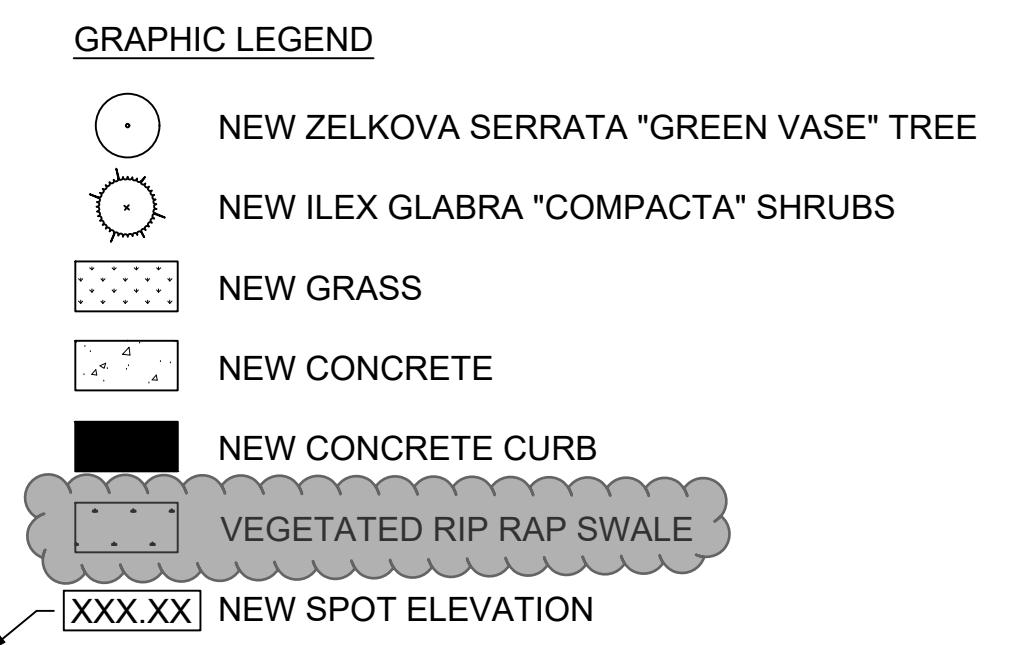
SITE PLAN-PROPOSED

100% Construction Documents (Permit Set)

Drawing No.

C2

PERMIT SHT. # 03 of 23
OVERALL SHT. # 03 of 23



Potential future
vegetated swale
pending review and
approval by HPC

FIELD VERIFY SWALE ALIGNMENT
WITH PARKS ENGINEER & URBAN
FORESTER. COORDINATE WITH
PARKS ARCHAEOLOGIST.

PLACE FILL
TO DIVERT
FLOW AWAY
FROM
CEMETERY.

REMOVE GRAVEL AND SEDIMENT
DEPOSITS. RESTORE WITH TOPSOIL
AND ESTABLISH GRASS COVER.

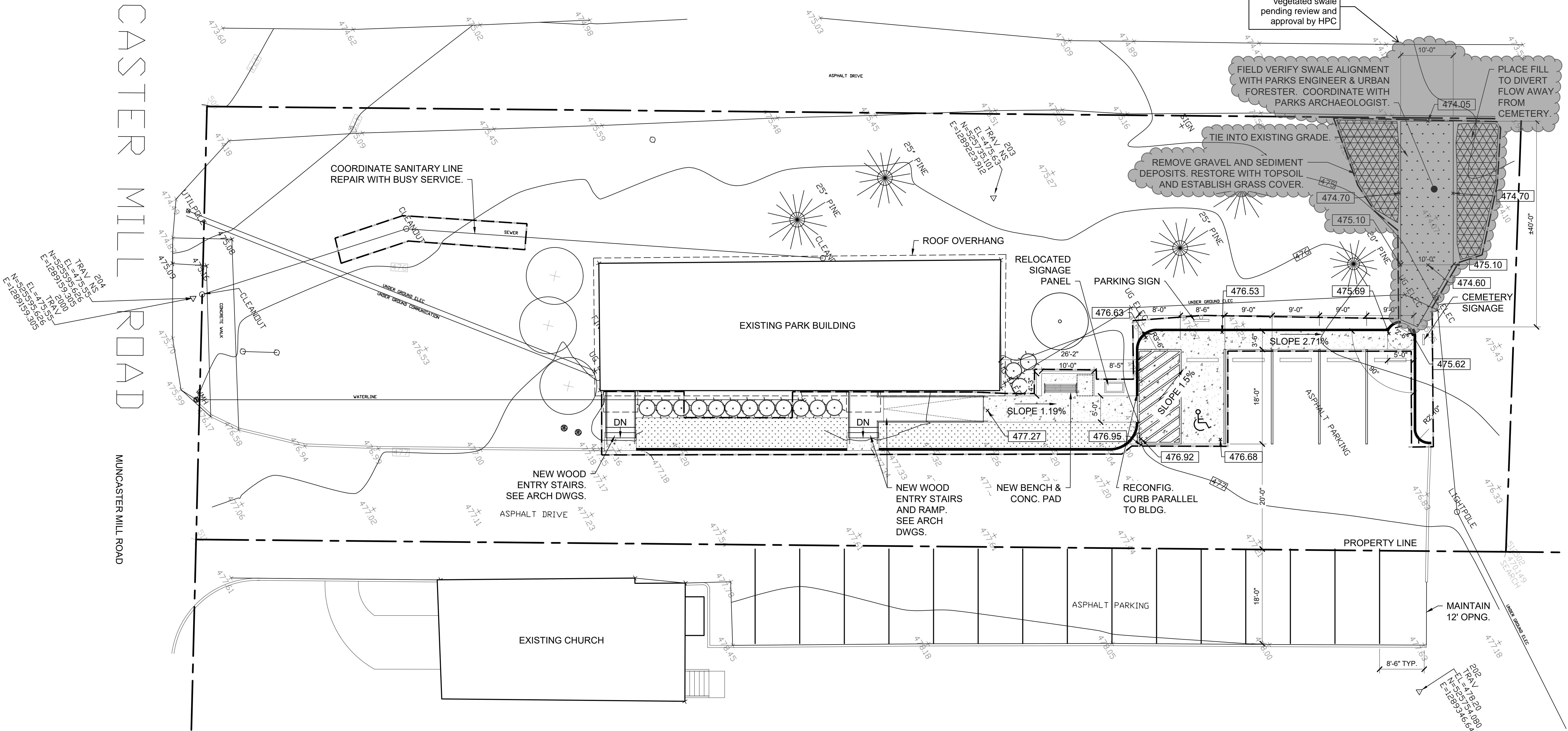
TIE INTO EXISTING GRADE.

RELOCATED
SIGNAGE
PANEL

PARKING SIGN

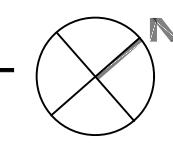
CEMETERY
SIGNAGE

ASPHALT
PARKING



1 PROPOSED SITE PLAN

Scale: 1" = 10'-0"



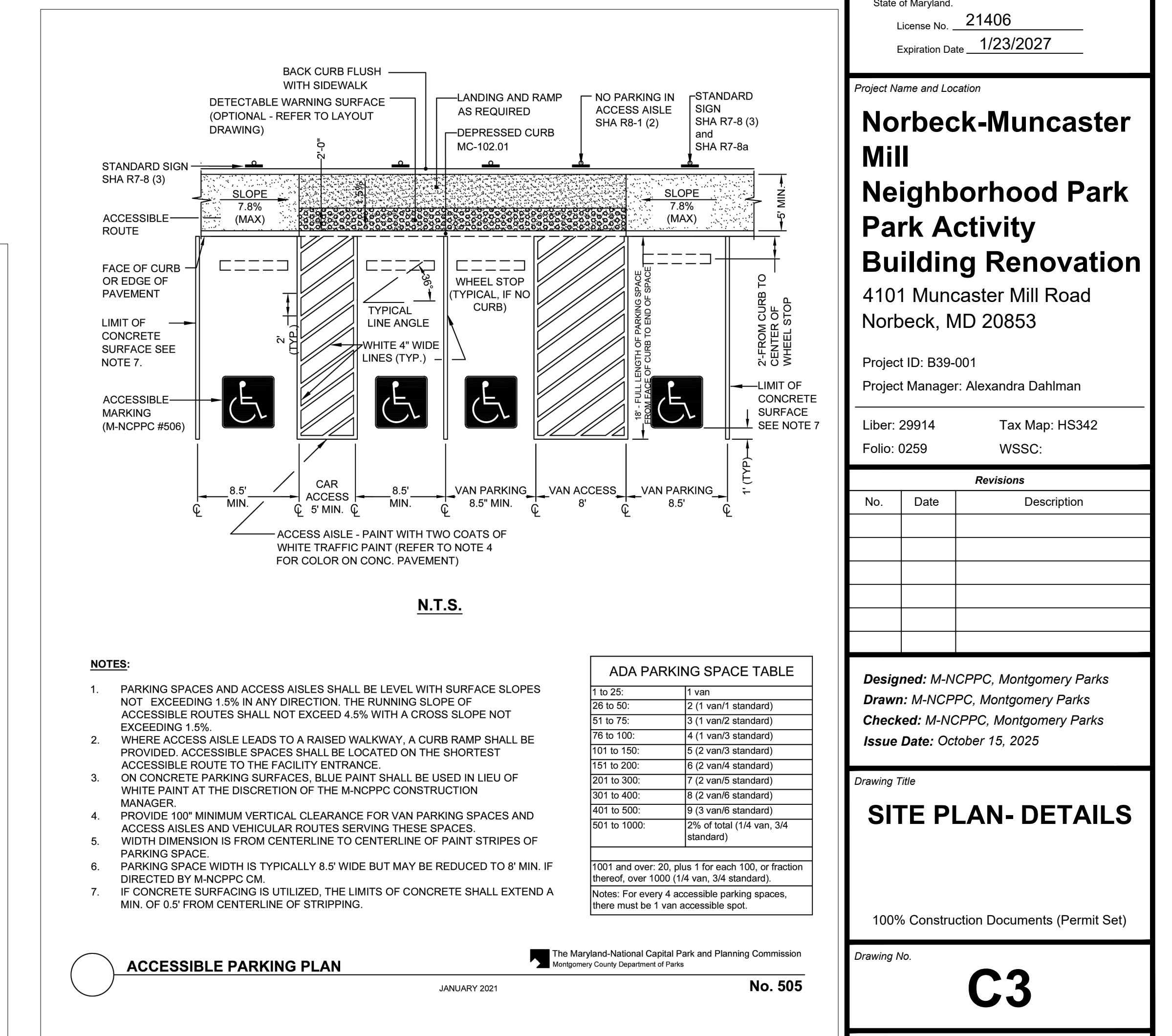
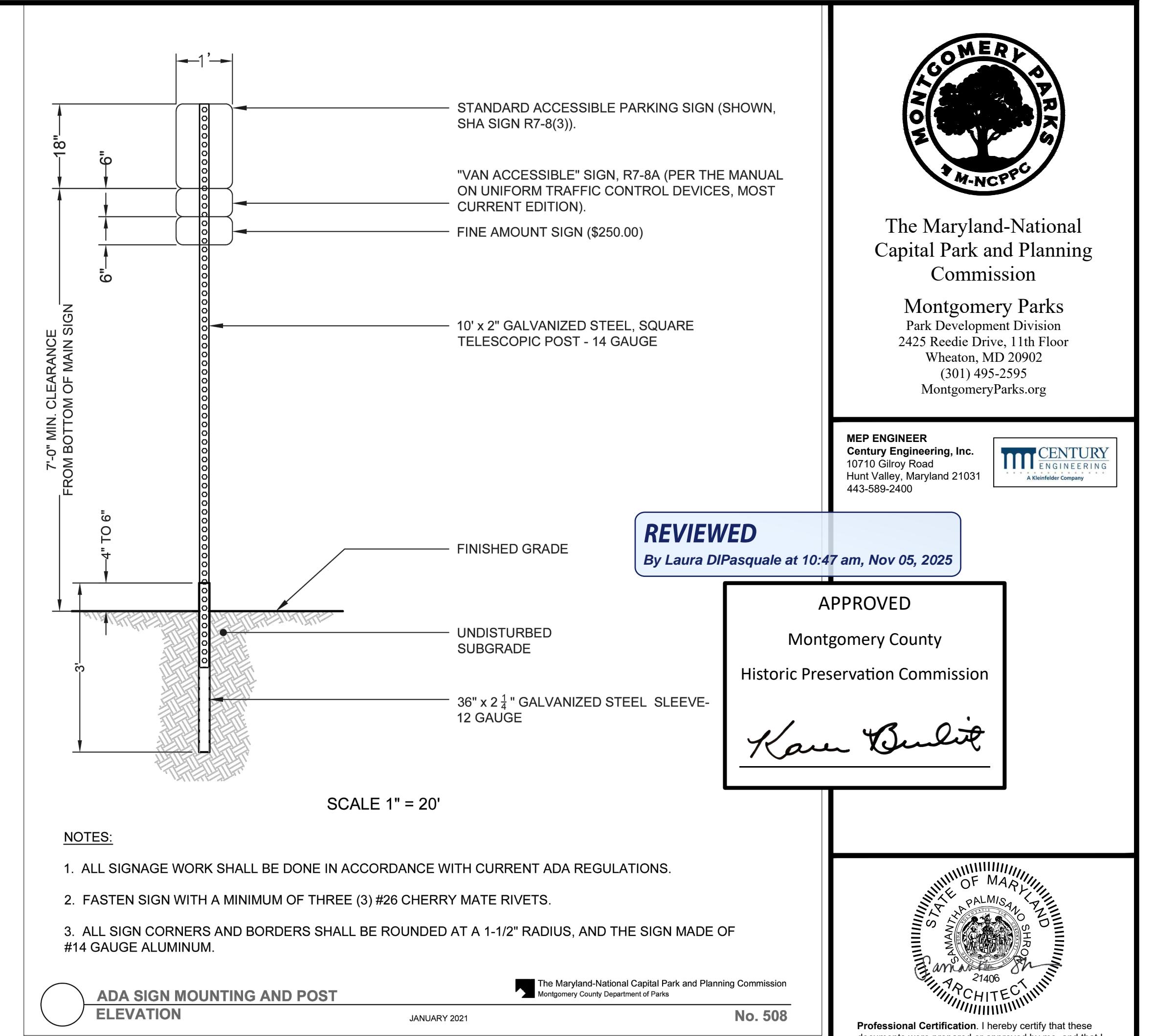
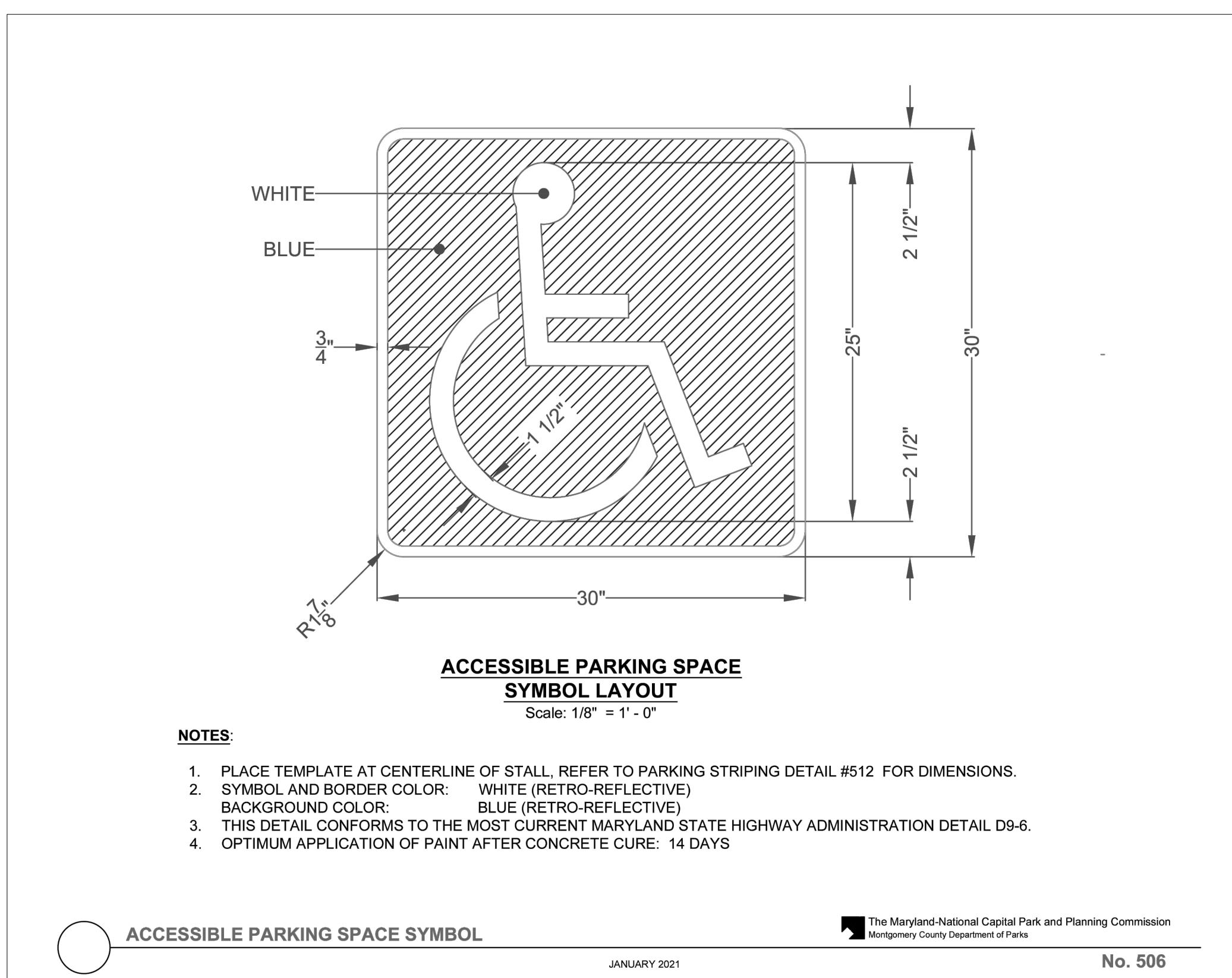
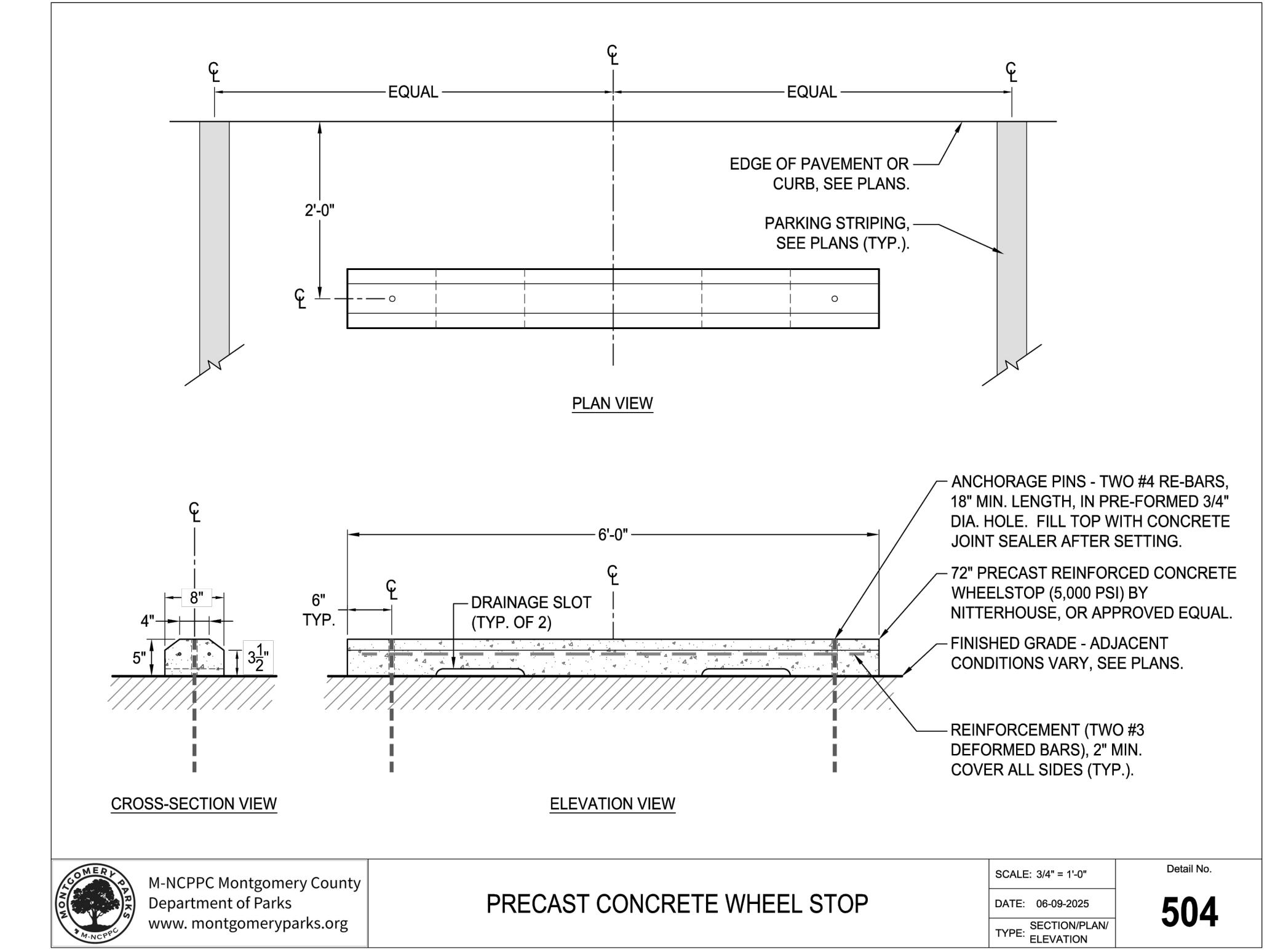
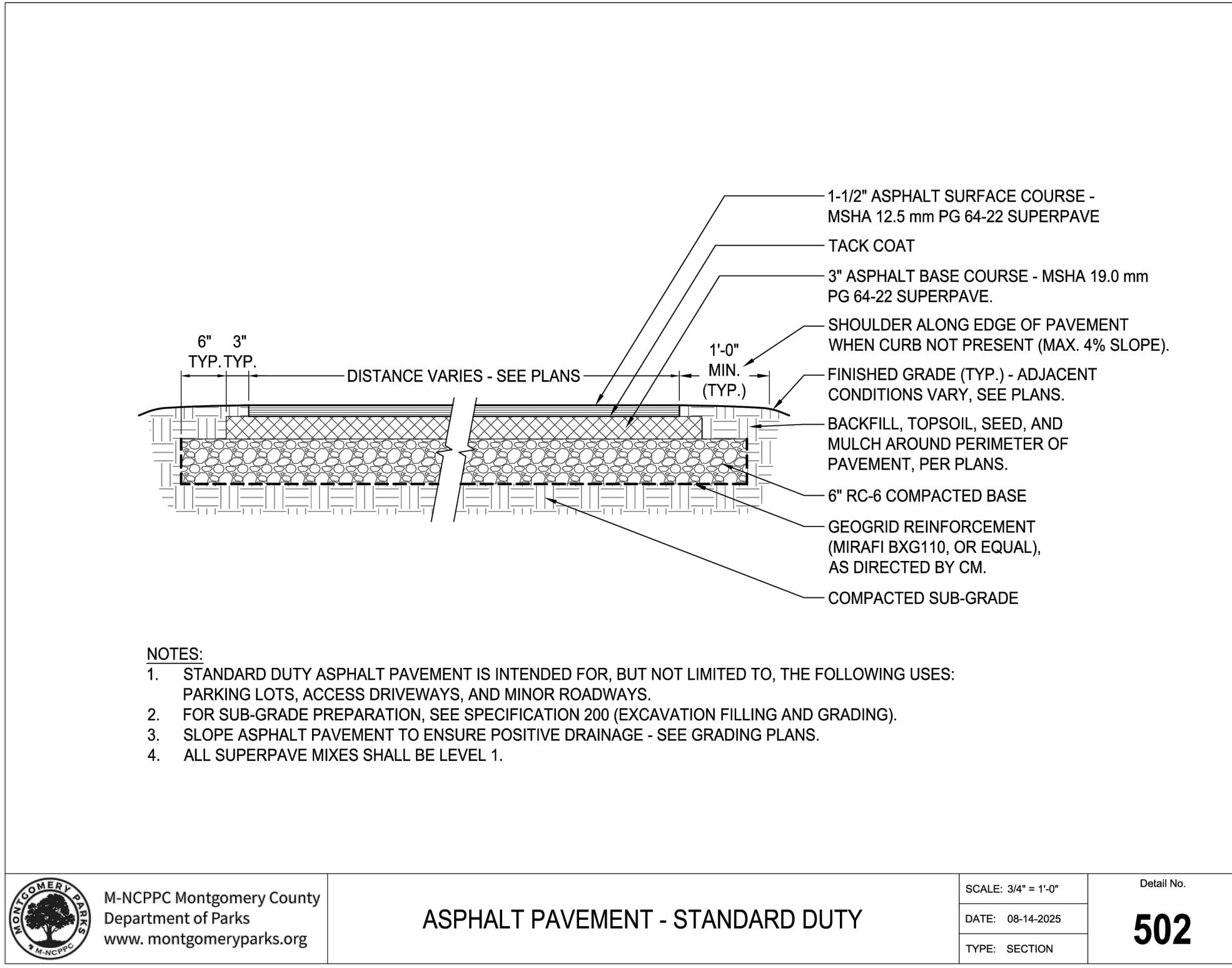
0 5' 10' 20'

Scale: 1" = 10'-0"

REVIEWED
By Laura DiPasquale at 10:47 am, Nov 05, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bland

100% Construction Documents (Permit Set)

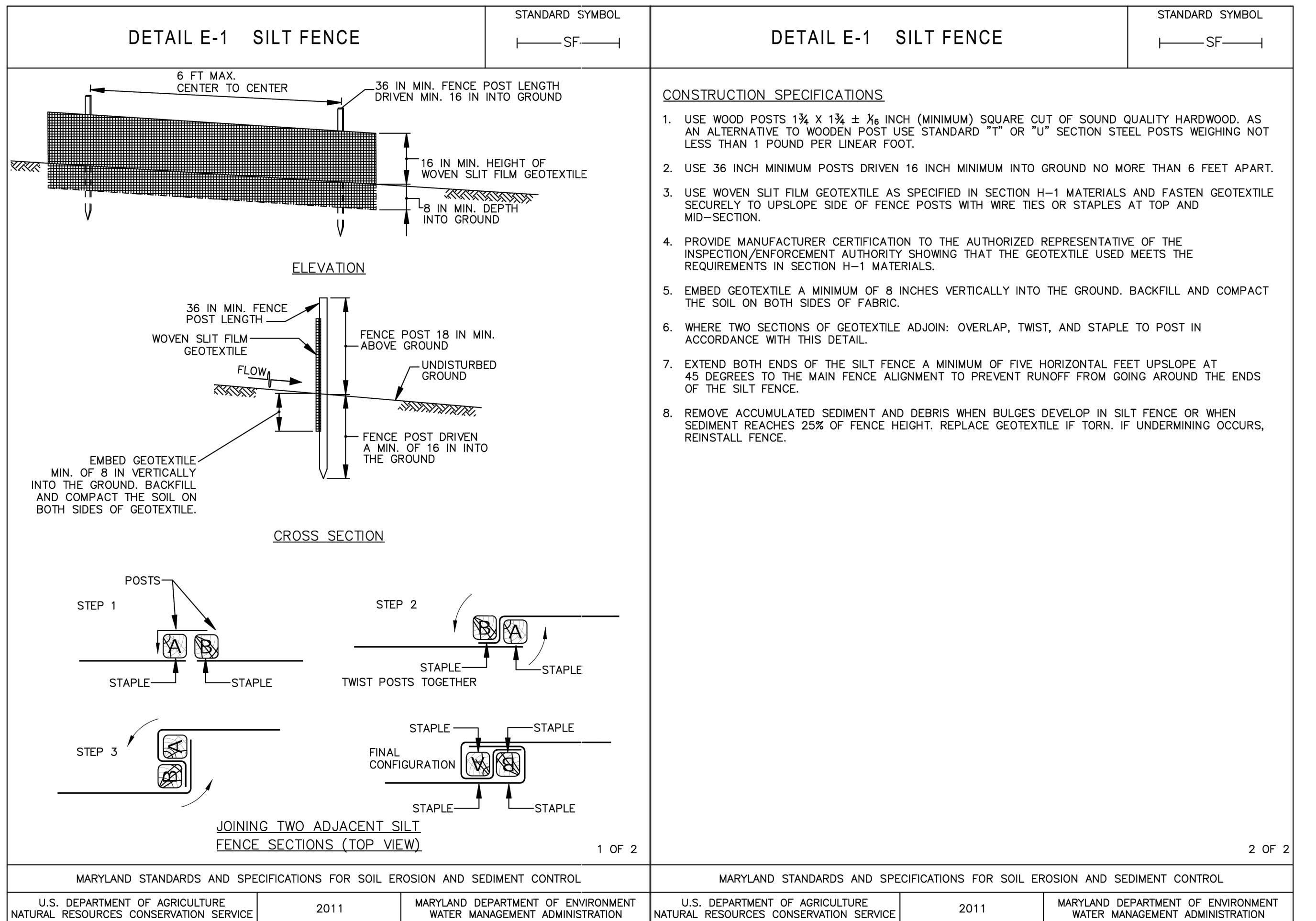
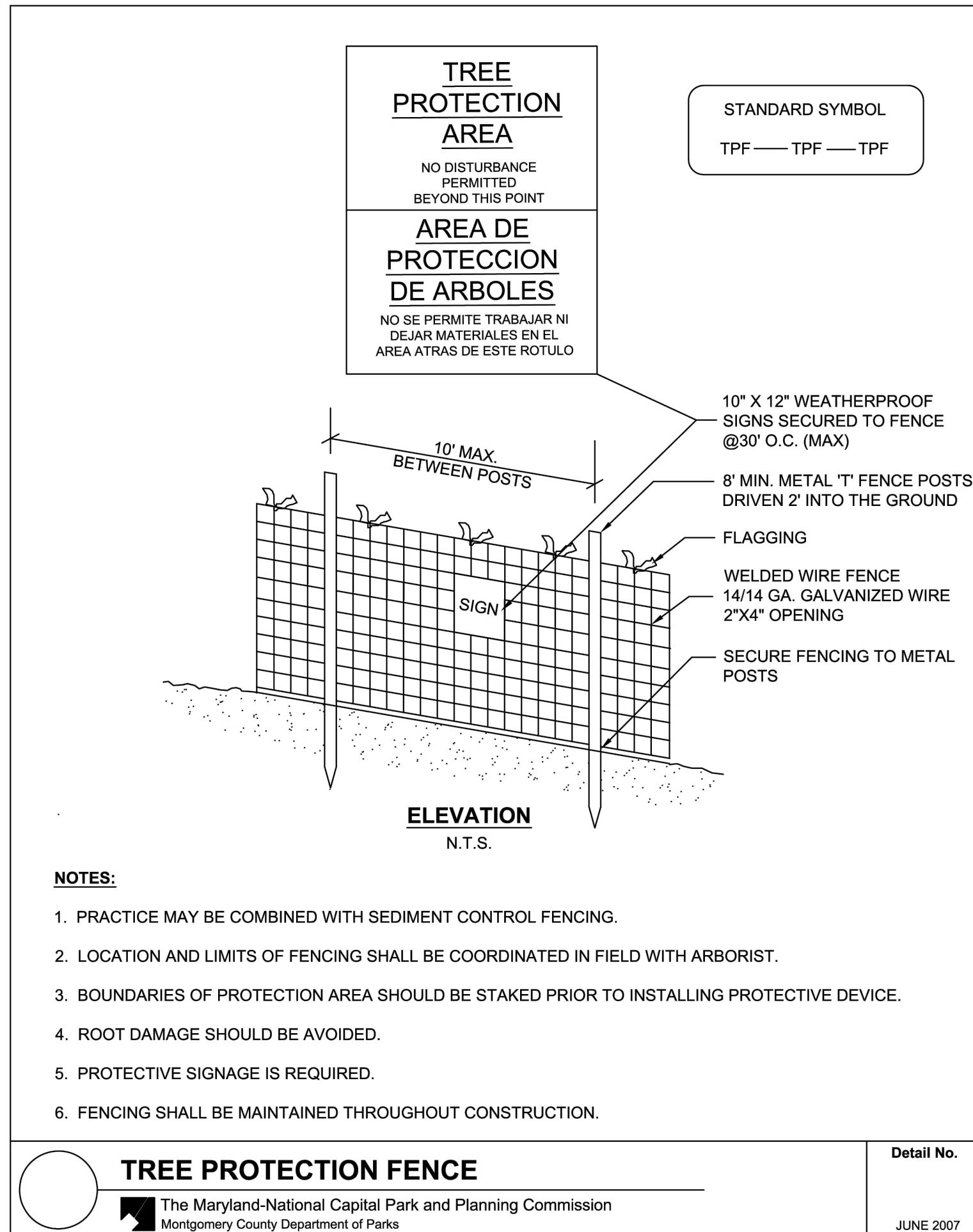




The Maryland-National Capital Park and Planning Commission

Montgomery Parks
Park Development Division
2425 Reedy Drive, 11th Floor
Wheaton, MD 20902
(301) 495-2595
MontgomeryParks.org

MEP ENGINEER
Century Engineering, Inc.
10710 Gilroy Road
Hunt Valley, Maryland 21031
443-589-2400



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Karen Buleit



Professional Certified I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
License No. 21406
Expiration Date 1/23/2027

Project Name and Location

Norbeck-Muncaster Mill Neighborhood Park Park Activity Building Renovation
4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman

Liber: 29914 Tax Map: HS342
Folio: 0259 WSSC:

Revisions		
No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title

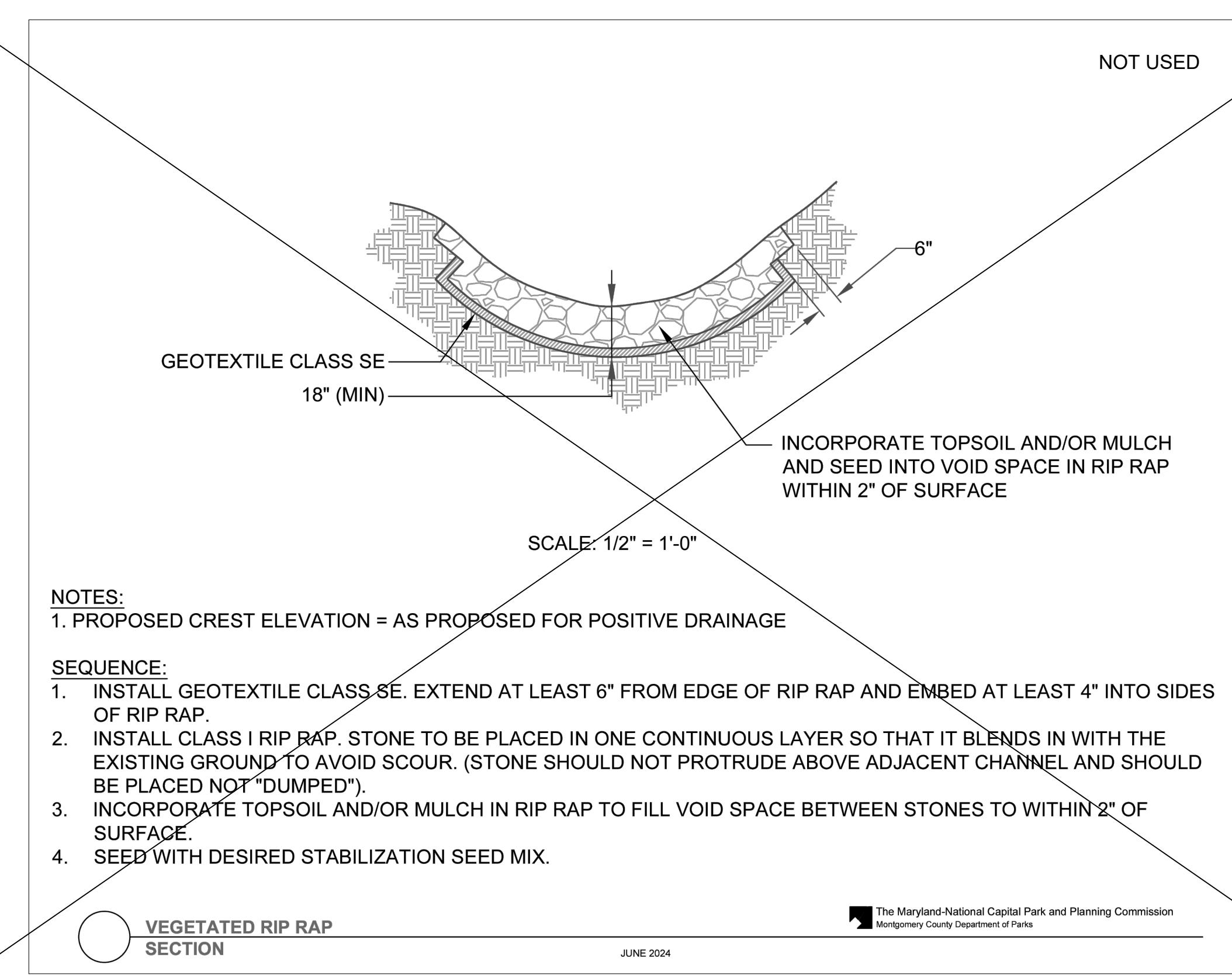
SITE PLAN- DETAILS

100% Construction Documents (Permit Set)

Drawing No.

C5

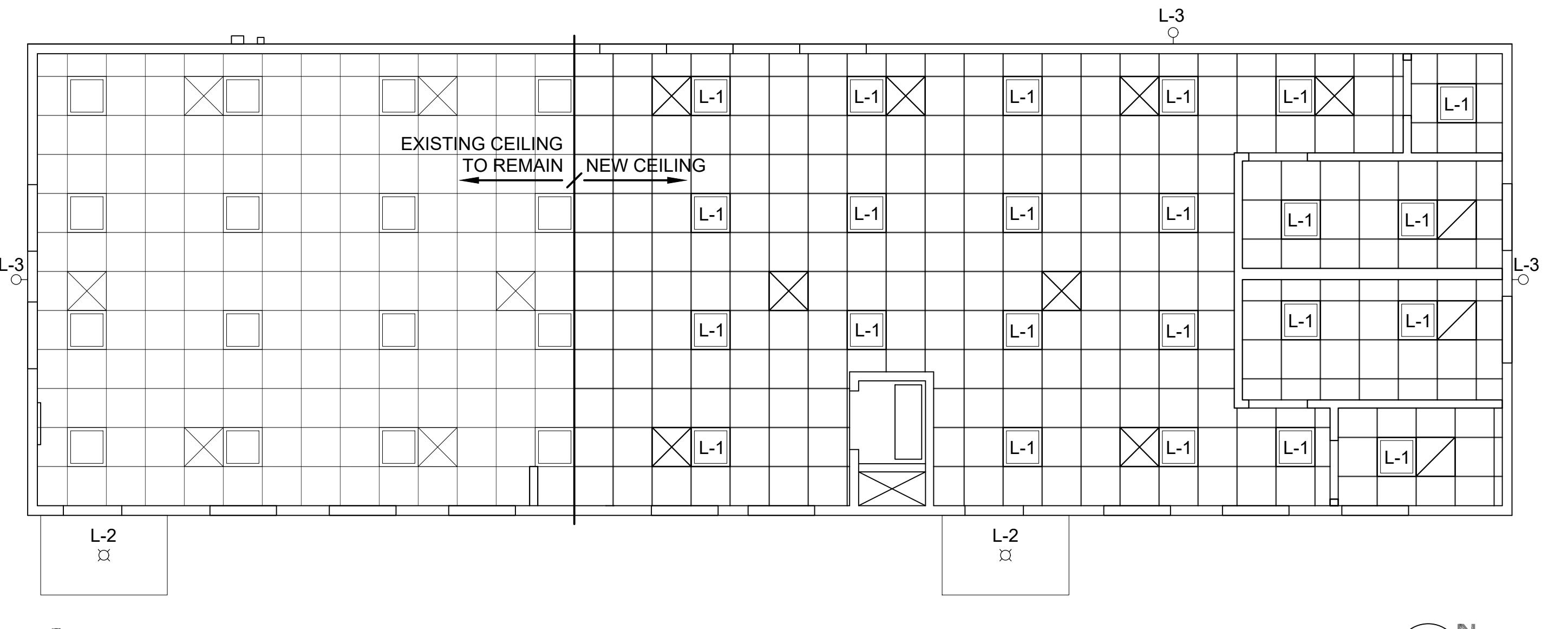
PERMIT SHT. # 06 of 23
OVERALL SHT. # 06 of 23



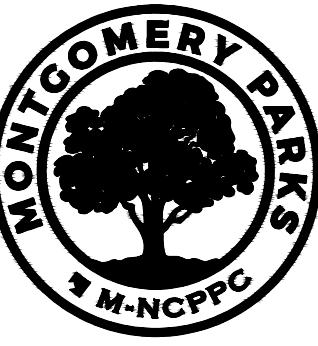
LIGHT FIXTURES:
INSTALL OCCUPANCY SENSORS FOR ALL LIGHT FIXTURES
L-1 CEILING LIGHTS: REUSE EXIST. 2x2 LIGHT FIXTURES WHERE POSSIBLE. NEW FIXTURES, IF NECESSARY, TO MATCH EXIST. IN TYPE AND COLOR TEMPERATURE.
L-2 PORCH CEILING LIGHTS: JUNO, WF6, 6" SWITCHABLE WHITE RECESSED DOWNLIGHT LED
L-3 EXTERIOR BUILDING LIGHTS: LITHONIA LIGHTING, ARC2 LED, ARCHITECTURAL WALL LUMINAIRE. REPLACE IN KIND.

GENERAL NOTES

1. PAINT ALL WINDOW PANELS, WINDOW CAGES, WALLS, DOORS, FRAMES, AND MISCELLANEOUS ITEMS AS NOTED ON DRAWINGS AND PAINT SCHEDULE.
2. PATCH WALL AND CEILING SURFACES.
3. REPLACE OR CLEAN & PAINT EXISTING SUPPLY AND RETURN GRILLES.
4. NEW DOOR SHALL BE SET AT 4" FROM ADJACENT WALL ALONG HINGE SIDE.



3 REFLECTED CEILING PLAN
Scale: 3/16" = 1'-0"



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NEW WORK KEY NOTES:

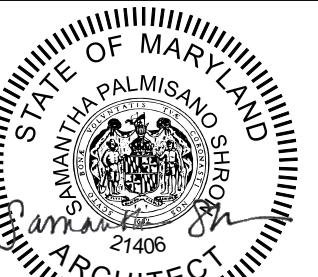
- 1 PROVIDE WOOD BLOCKING BEHIND GWB FOR GRAB BARS.
- 2 NEW REFRIGERATOR
- 3 NEW BUILT-IN WARMING OVEN
- 4 NEW BUILT-IN MICROWAVE
- 5 NEW SINK AND FAUCET, REPLACED IN KIND
- 6 RELOCATED FIRE EXTINGUISHER
- 7 RELOCATED WATER HEATER ABOVE MOP SINK
- 8 NEW MOP SINK
- 9 INFILL WALL TO MATCH EXISTING WALL IN ALL ASPECTS

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DEMO PLAN, PROPOSED PLAN, & REFLECTED CEILING PLAN

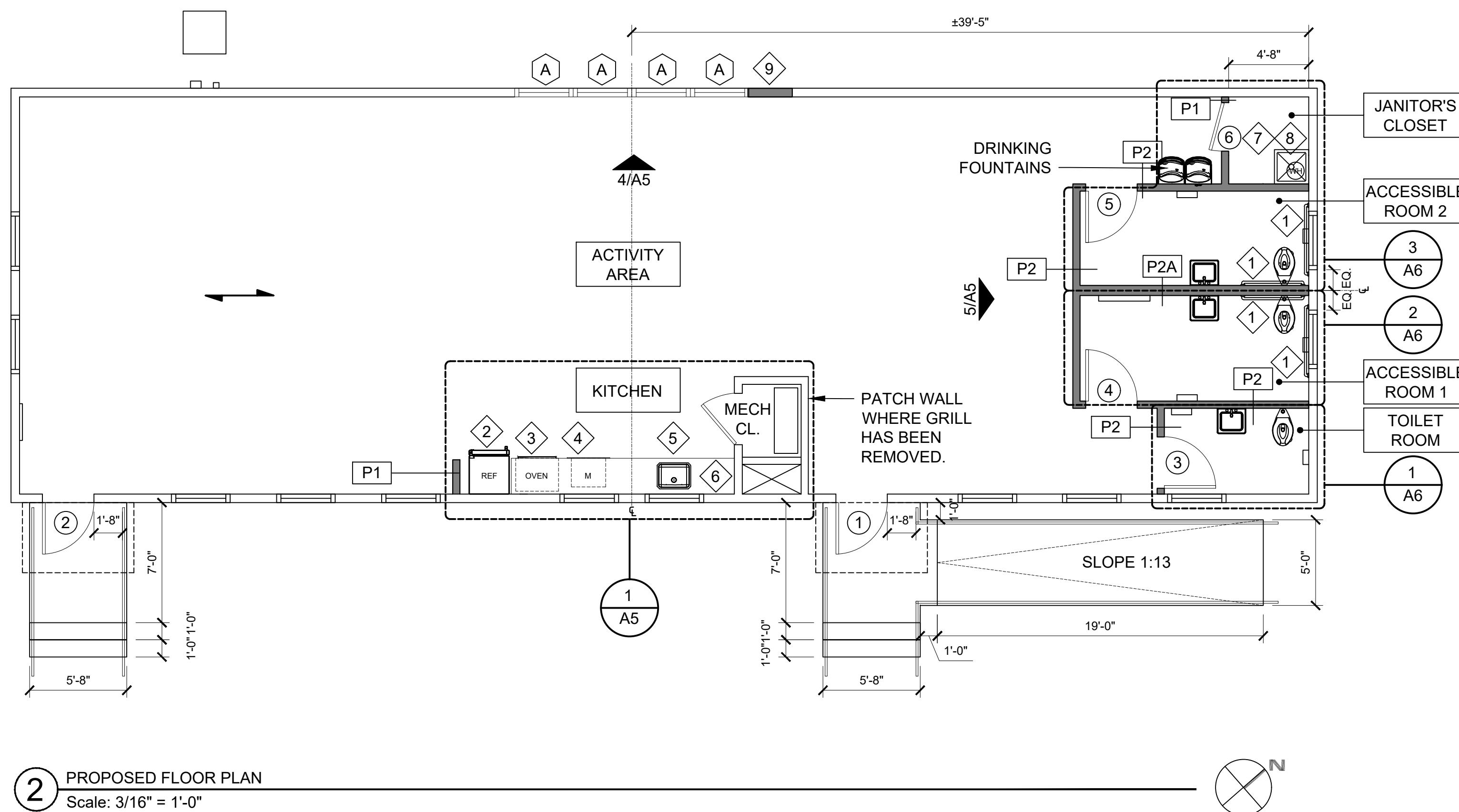
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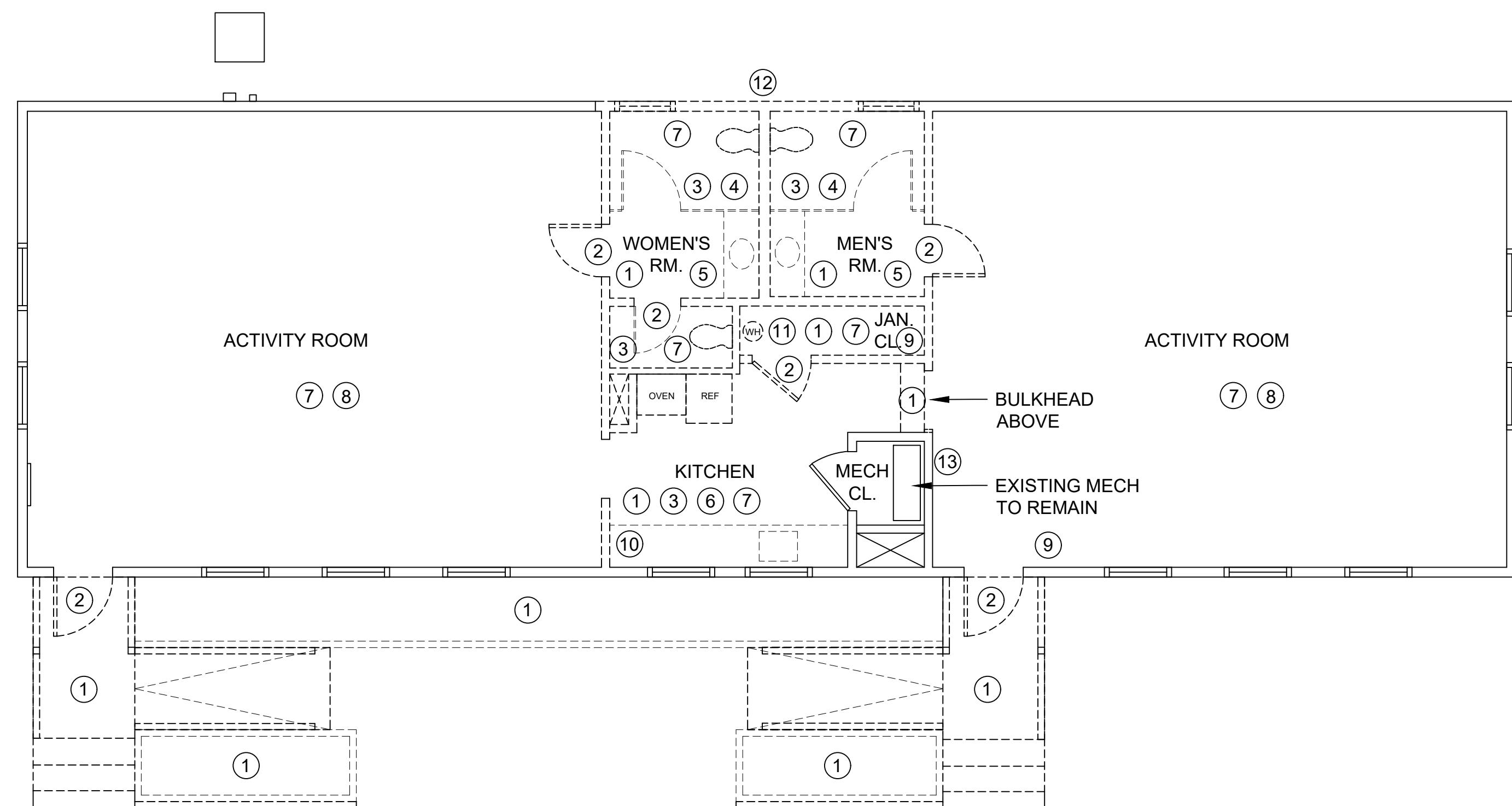
A1

PERMIT SHT. # 07 of 23
OVERALL SHT. # 07 of 23

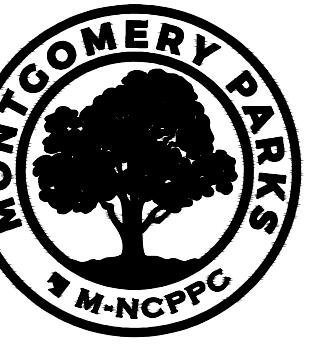
Plotted By: Mitchell, Deliso, 10/31/2025 10:30 AM



2 PROPOSED FLOOR PLAN
Scale: 3/16" = 1'-0"



1 DEMOLITION PLAN
Scale: 3/16" = 1'-0"



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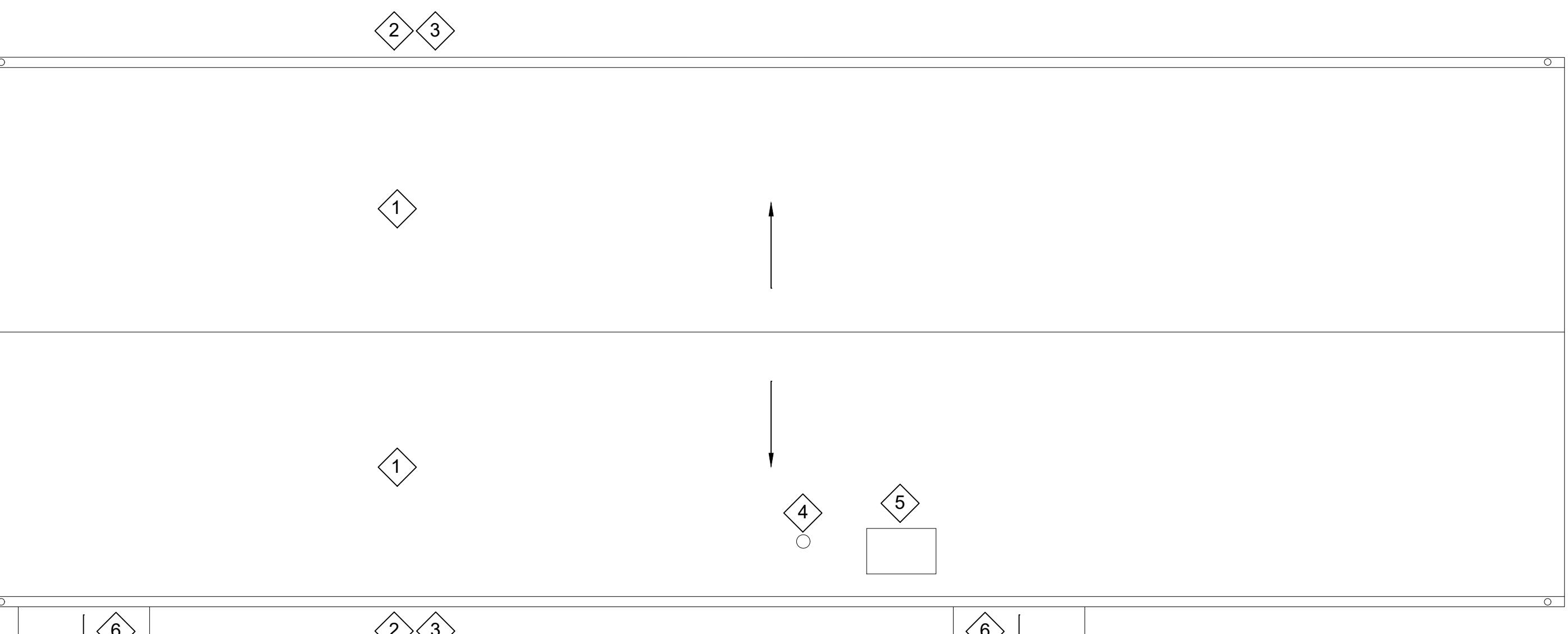
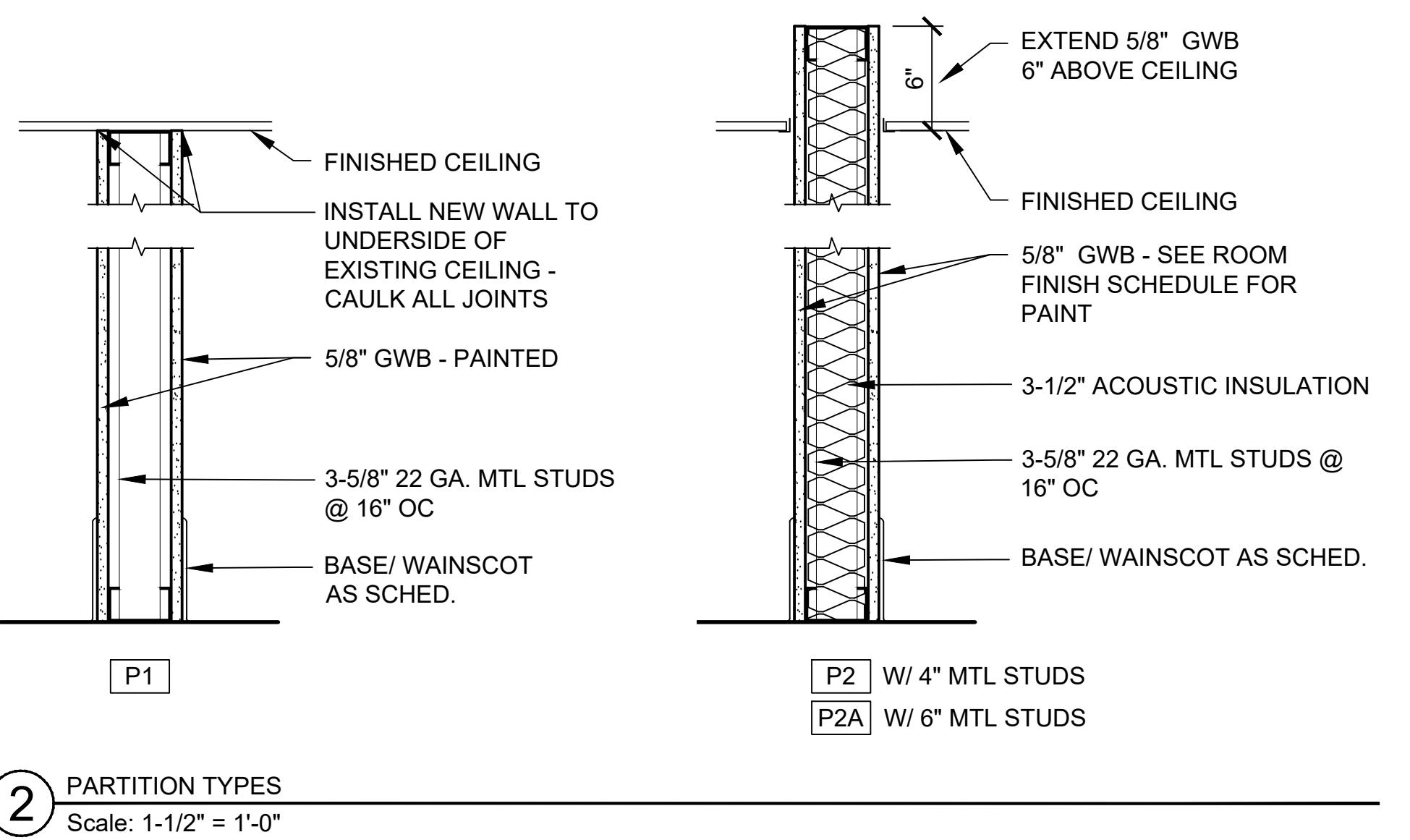
**ROOF PLAN AND
WALL PARTITION
TYPES**

100% Construction Documents (Permit Set)

Drawing No.

A2

PERMIT SHT. # 08 of 23
OVERALL SHT. # 08 of 23



1 ROOF PLAN

Scale: 3/16" = 1'-0"



ROOM FINISH SCHEDULE									
ROOM NAME	BASE		WALL FINISHES			CEILING		MATERIAL	REMARKS / NOTES
	FLOOR FINISH	TYPE	FINISH	PT-1, PT-2	PT-1, PT-2	EX., ACT-1	REFER TO RCP, SHEET A1, & SHEET A5		
ACTIVITY	LVT-1	WB-1	PT-2	PT-1, PT-2	PT-1, PT-2	EX., ACT-1	REFER TO RCP, SHEET A1, & SHEET A5		
KITCHEN	LVT-1	WB-1	PT-2	PT-1; WINDOW TRIM, PT-2	PT-1; WINDOW TRIM, PT-2	EX., ACT-1	REFER TO RCP, SHEET A1		
TOILET ROOM	TF-1	TB-1, TB-2	-	PT-1; WINDOW TRIM, PT-2; TW-1	PT-1; WINDOW TRIM, PT-2; TW-1	ACT-1			
ADA TOILET 1	TF-1	TB-1, TB-2	-	PT-1; WINDOW TRIM, PT-2; TW-1	PT-1; WINDOW TRIM, PT-2; TW-1	ACT-1			
ADA TOILET 2	TF-1	TB-1, TB-2	-	PT-1; WINDOW TRIM, PT-2; TW-1	PT-1; WINDOW TRIM, PT-2; TW-1	ACT-1			
JANITOR'S CL	LVT-1	TB-1, TB-2	PT-2	PT-1; WET WALLS, TW-1	ACT-1		WET WALLS TILE 4'-0" HIGH		

MATERIAL SPECIFICATIONS:
PROVIDE AND INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS AND PROVIDE SUBMITTALS.

PAINT:
PT-1: WALLS - SHERWIN WILLIAMS, TBD, SATIN
PT-2: WAINSCOTING & BASE, AND WINDOW TRIM - SHERWIN WILLIAMS, TBD, SATIN
PT-3: DOORS & FRAMES - SHERWIN WILLIAMS, TBD, SATIN

CEILING:
ACT-1 ACOUSTIC CEILING TILE:
NEW TILE AND GRID TO MATCH EXISTING.

WALLS:
TW-1 TILE WALLS: 6"x6" DAL TILE, COLOR WHEEL CLASSIC, COLOR: TBD
TW-2 TILE WALL TRIM: BULLNOSE TILE, 6"x6" DAL TILE, COLOR WHEEL CLASSIC, COLOR: TBD

FLOORING:
LVT-1 VINYL PLANK FLOORING: 6"x48" LVT PLANK, TARKETT/TANDUS CENTIVA NUGRAIN, COLOR: TBD, STAGGER JOINTS, SEE PLAN FOR PLANK INSTALL
DIRECTION

TF-1 TILE FLOORING: 12"x12" DAL TILE, ANCHORAGE, MATTE FINISH, COLOR: TBD

FLOORING TRANSITION STRIP: SCHLUTER 1.2 RENO-U, STAINLESS, EU 80, ADA-COMPLAINT; VERIFY IN FIELD TO CONFIRM SELECTION; LOCATION - FROM:
ACTIVITY TO RESTROOMS

BASE:
WB-1 WOOD BASE: NEW WOOD WAINSCOTING TO MATCH EXIST. WHERE SHOWN. NEW WOOD BASE TO MATCH EXIST. REPLACE SHOE MOLDING.

TB-1 TILE BASE: COVE BASE, 6"x6" DAL TILE, COLOR WHEEL CLASSIC, SHAPE #A3601, COLOR: TBD
TB-2 SANITARY TILE BASE: SANITARY COVER BASE, 6"x6" DAL TILE, COLOR WHEEL CLASSIC, COLOR: TBD

SOLID SURFACING:
SS-1: CORIAN COUNTERTOP, 1/2" THICK OVER 3/4" PLYWOOD, EASED EDGE
COLOR: TBD
SS-2: CORIAN BACKSPASH, 4-INCH HIGH, 1/4-INCH THICK, EASED EDGE
COLOR: TBD

PLASTIC LAMINATE:
P-LAM: WILSONART, HIGH-PRESSURE LAMINATE, COLOR:TBD

ABBREVIATION	NAME
GEN	GENERIC PRODUCT
GLY	GLYNN-JOHNSON CORP
IVE	H.B. IVES
LCN	LCN COMMERCIAL DIVISION
RKWD	ROCKWOOD
SCE	SCHLAGE ELECTRONIC SECURITY
SCH	SCHLAGE LOCK COMPANY
VON	VON DUPRIN
ZER	ZERO

HARDWARE GROUP - HW1*

PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QTY	DESCRIPTION	CATALOG NUMBER	FIN	MFR
1	EA CONT. HINGE	224HD EPT	628	IVE
1	EA POWER TRANSFER	EPT10 CON	689	VON
1	EA ELEC PANIC HARDWARE	WPRX-98-L-M996-06-FSE- WH-CON	626	VO
1	EA SFIC CORE	SUPPLIED BY OWNER	626	SCH
1	EA SFIC RIM CYLINDER	80-159	626	SCH
1	EA OH STOP	90S	630	GLY
1	EA SURFACE CLOSER	4011	689	LCN
1	EA KICK PLATE	K1050 10" X 34"	626	RKWD
1	EA RAIN DRIP	142AA	AA	ZER
1	EA GASKETING	488FSBK PSA	BK	ZER
1	EA THRESHOLD	545A	A	ZER
1	EA KEYPAD READER	TBD	626	SCE
1	EA POWER SUPPLY	TBD	626	LGR SCE

HARDWARE GROUP - HW2

PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QTY	DESCRIPTION	CATALOG NUMBER	FIN	MFR
3	EA HINGES	5BB1 4.5 X 4.5	626	IVE
1	EA PASSAGE SET MORTISE LOCK	L9480L06A	626	SCH
1	EA INDICATOR KIT	47804352 626 SEC	626	SCH
		CYL-OS-OCC XL283-414		
1	EA MORTISE INDICATOR TRIM, INSIDE OR OUTSIDE	L283-722	626	SCH
1	EA DOOR CLOSER	4040XP	626	LCN
1	EA HOLD OPEN ARM	3049	626	LCN
1	EA KICK PLATE	K1050 10" X 34"	626	RKWD
1	EA FLOOR STOP	491R	626	RKWD
1	EA GASKETING	488FSBK PSA	BK	ZER

HARDWARE GROUP - HW3

PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QTY	DESCRIPTION	CATALOG NUMBER	FIN	MFR
3	EA HINGES	5BB1 4.5 X 4.5	626	IVE
1	EA STOREROOM SET MORTISE LOCK	L9080L06A	626	SCH
1	EA DOOR CLOSER	4040XP	626	LCN
1	EA HOLD OPEN ARM	3049	626	LCN
1	EA KICK PLATE	K1050 10" X 34"	626	RKWD
1	EA FLOOR STOP	491R	626	RKWD
1	EA GASKETING	488FSBK PSA	BK	ZER

NFPA 101 LIFE SAFETY CODE (2015)

***7.2.1.7 Panic Hardware and Fire Exit Hardware**

7.2.1.7 Where a door assembly is required to be equipped with panic or fire exit hardware, such hardware shall meet all of the following criteria:

1. It shall consist of a cross bar or a push pad, the actuating portion of which extends across not less than one-half of the width of the door leaf.
2. It shall be mounted as follows:
 - (a) New installations shall be not less than 34 in. (865 mm), and not more than 48 in. (1220 mm), above the floor.
 - (b) Existing installations shall be not less than 30 in. (760 mm), and not more than 48 in. (1220 mm), above the floor.
3. It shall be constructed so that a horizontal force not to exceed 15 lbf (66 N) actuates the cross bar or push pad and latches.

THRESHOLD TYPES
TAS - 1/2" H x 4" ALUMINUM THERMAL BARRIER SADDLE W/ BEVELED ENDS

SLOPING @ 1:2
TVR - VINYL REDUCING STRIP

NOTES FOR ALL THRESHOLDS IN PUBLIC SPACES:
1. MAX 1/4" VERTICAL PROJECTION ALLOWED ABOVE FINISH FLOOR WITHOUT BEVELED SLOPE
2. MAX 1/2" PROJECTION ALLOWED ABOVE FINISH FLOOR WITH BEVELED SLOPE
MAX 1:2

GENERAL NOTES FOR DOORS & FRAMES

DIMENSIONS:
DIMENSIONS INDICATED ON PLANS AND SCHEDULE ARE NOMINAL. FIELD VERIFY AND COORDINATE PRIOR TO FABRICATION.

CLEARANCES FOR DOOR PROJECTIONS INTO THE REQUIRED CLEAR OPENING:
- NO PROJECTIONS ALLOWED BELOW 34" AFF; BETWEEN 34" AND 80" PROJECTION SHALL NOT EXCEED 4". CLEARANCE BELOW DOOR CLOSERS AND STOPS SHALL BE A MIN OF 78" AFF.

MISCELLANEOUS NOTES:
- PAINT ALL STEEL DOORS AND FRAMES SEMI-GLOSS UNLESS OTHERWISE INDICATED.

LOW-VOLTAGE REQUIREMENTS:
- CONTRACTOR TO PROTECT, SALVAGE, AND UTILIZE EXIST LOW-VOLTAGE (LV) WIRING AND CONNECTIONS FOR INSTALLATION OF NEW DOORS, HARDWARE, AND ACCESS CONTROL DEVICES.

- CONTRACTOR TO PROVIDE AND INSTALL NEW LV WIRING AND CONNECTIONS WHERE EXIST PROVISIONS CANNOT BE SALVAGED FOR REUSE, AND AS REQUIRED FOR INSTALLATION OF ADDITIONAL DEVICES.

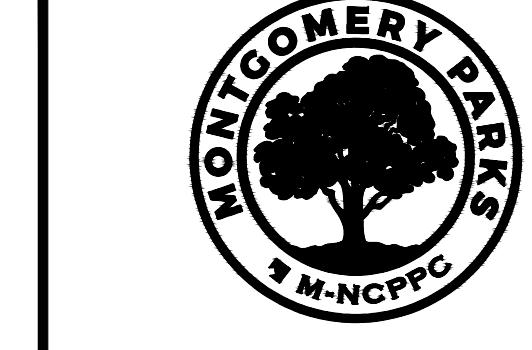
- PROVIDE ALL EQUIPMENT, MATERIALS, LABOR, AND SERVICES, NOT SPECIFICALLY MENTIONED OR SHOWN WHICH MAY BE NECESSARY TO COMPLETE TURNKEY INSTALLATION. ENSURE THAT THEY ARE IN COMPLIANCE WITH REQUIREMENTS STATED OR REASONABLY INFERRRED BY THE CONTRACT DOCUMENTS.

- DO NOT INSTALL DAMAGED EQUIPMENT; COORDINATE WITH PARKS CM TO REPLACE DAMAGED EQUIPMENT WITH NEW EQUIPMENT.

- CONTRACTOR SHALL SUPPLY A LOW-VOLTAGE PERMIT AS REQUIRED BY AUTHORITY HAVING JURISDICTION.

HARDWARE NOTES:

- EXIT DEVICES - IF COLUMN SAYS "YES" AND DOOR IS FIRE-PROTECTION RATED, USE FIRE EXIT HARDWARE;
IF COLUMN SAYS "YES" AND DOOR IS NOT FIRE-PROTECTION RATED, USE PANIC HARDWARE.
- ALL PASSAGE DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. SUCH HARDWARE SHALL BE INSTALLED BETWEEN 34" AND 48" AFF.
- THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- DOOR CLOSERS SHALL CLOSE FROM 90 DEGREES TO A 12 DEGREE OPEN POSITION IN NOT LESS THAN 5 SECONDS.
- EXCEPT FOR FIRE DOORS, THE FORCE FOR PUSHING OR PULLING OPEN PASSAGE DOORS SHALL BE 5 LBS MAXIMUM FOR INTERIOR HINGED, SLIDING OR FOLDING DOORS.
- ALL PANIC HARDWARE SHALL MEET NFPA 101 (2015) SECTION 7.2.1.7.



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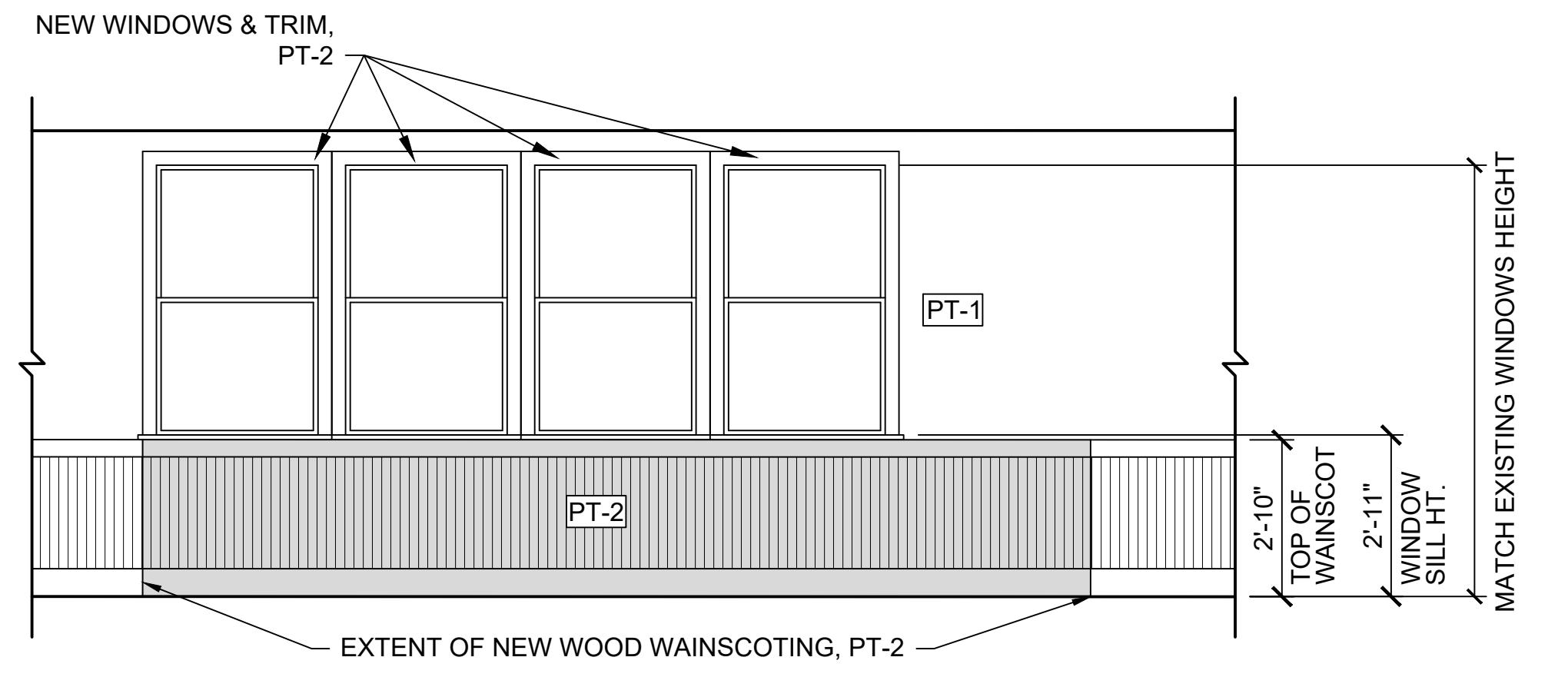
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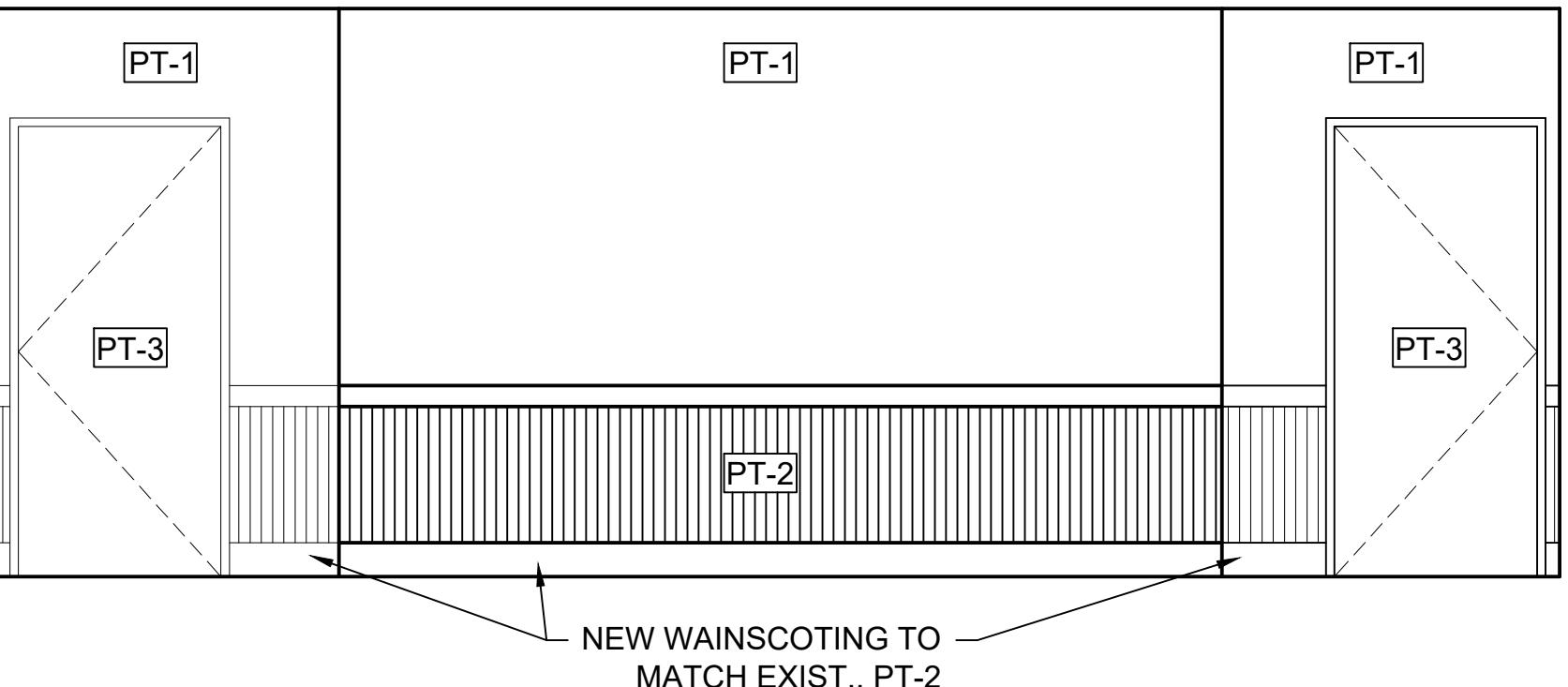
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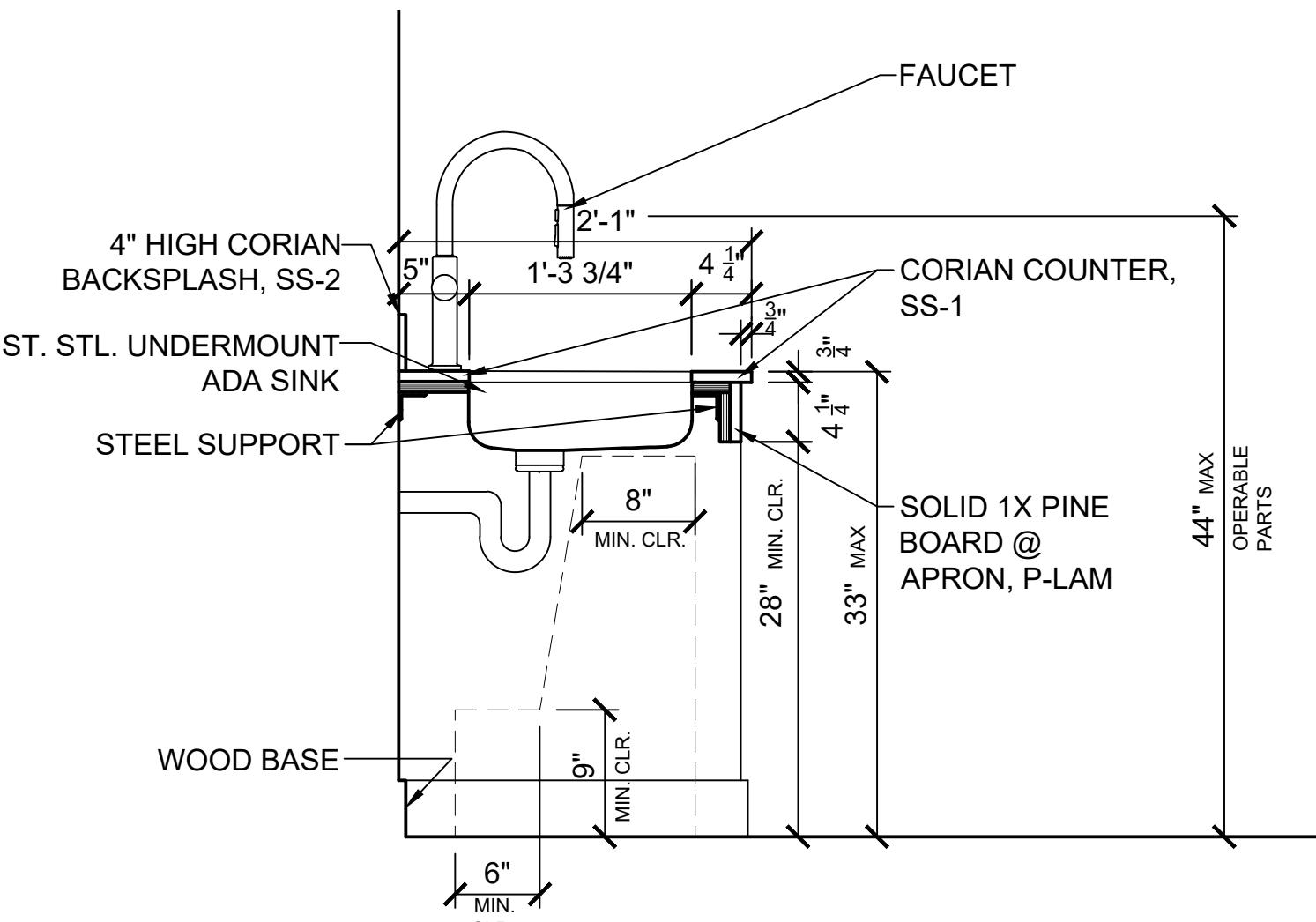
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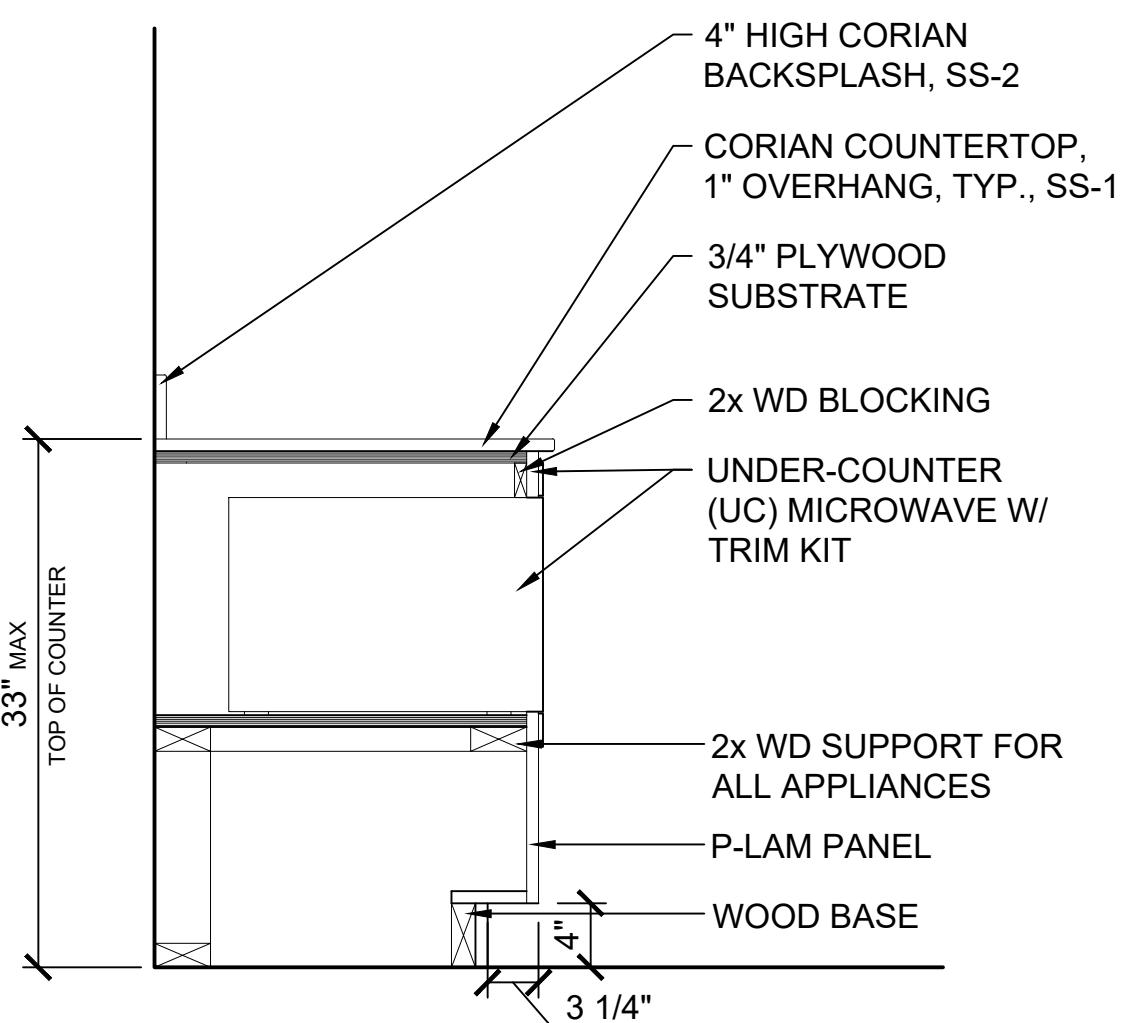
4 NEW WINDOW WALL ELEVATION
Scale: 3/8" = 1'-0"



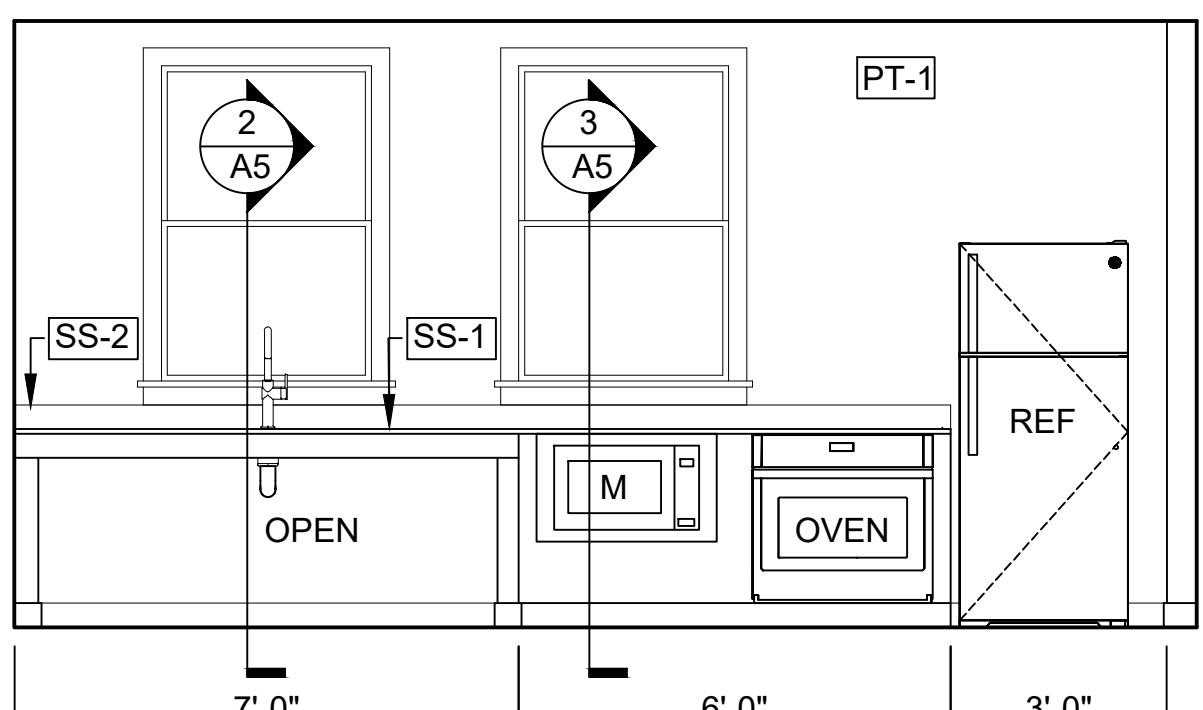
5 NEW INTERIOR NORTH WALL ELEVATION
Scale: 3/8" = 1'-0"



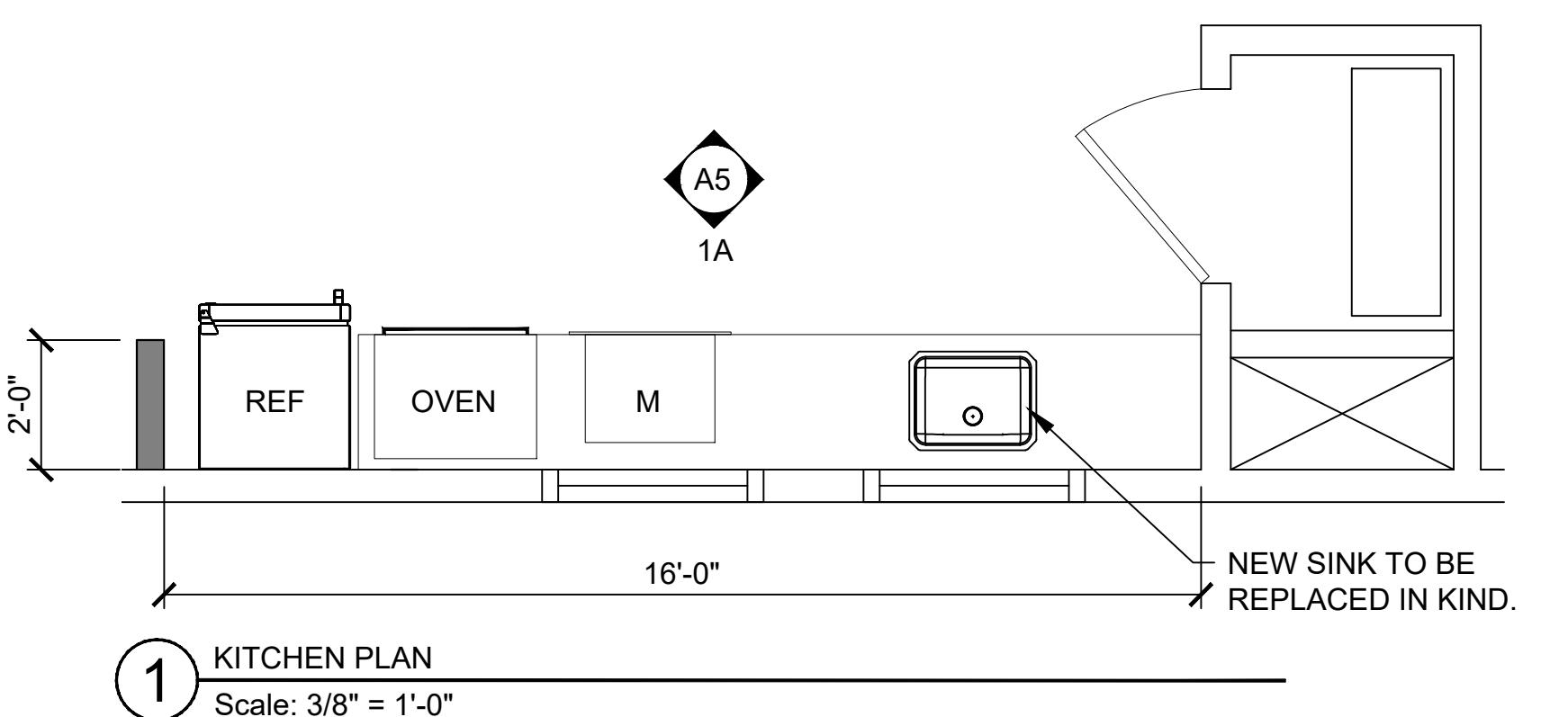
2 COUNTER SECTION AT SINK
Scale: 1" = 1'-0"



3 COUNTER SECTION AT MICROWAVE SHELF
Scale: 1" = 1'-0"



1A KITCHEN ELEVATION
Scale: 3/8" = 1'-0"



1 KITCHEN PLAN
Scale: 3/8" = 1'-0"

KITCHEN FIXTURE SCHEDULE

M MICROWAVE:
FRIGIDAIRE 30" BUILT-IN MICROWAVE W/ TRIM KIT, MODEL #PMB33080BF, STAINLESS STEEL, 13.625H x 24.375W x 19.625D, ADA-COMPLIANT; INSTALL UNDER-COUNTER

TRIM KIT: FRIGIDAIRE 30" STAINLESS STEEL PROFESSIONAL TRIM KIT, MODEL #PMTL3080AF; INSTALL UNDER-COUNTER

O OVEN:
FRIGIDAIRE 30" SINGLE WALL OVEN WITH FAN CONVECTION, MODEL #FCWS3027AS, STAINLESS STEEL, 28H x 29.875W x 25.1875D, ADA-COMPLIANT; INSTALL UNDER-COUNTER

REF REFRIGERATOR:
GE 16.6 CU. FT. TOP-FREEZER; MODEL #GTS17GSNRSS, STAINLESS STEEL, 64.75H x 28W x 32.625D, ADA-COMPLIANT, NO ICE MAKER; DOOR: RHR
NOTE: ADA REQUIRES 50% OF FREEZER SPACE MAX. 54" AFF.

S KITCHEN SINK:
ELKAY #ELUHAD211550PD

FAUCET: KOHLER, CRUE #K-22975-CP, VIBRANT STAINLESS

TRUEBRO LAV GUARD PIPE COVERS

REVIEWED

By Laura DiPasquale at 10:48 am, Nov 05, 2025

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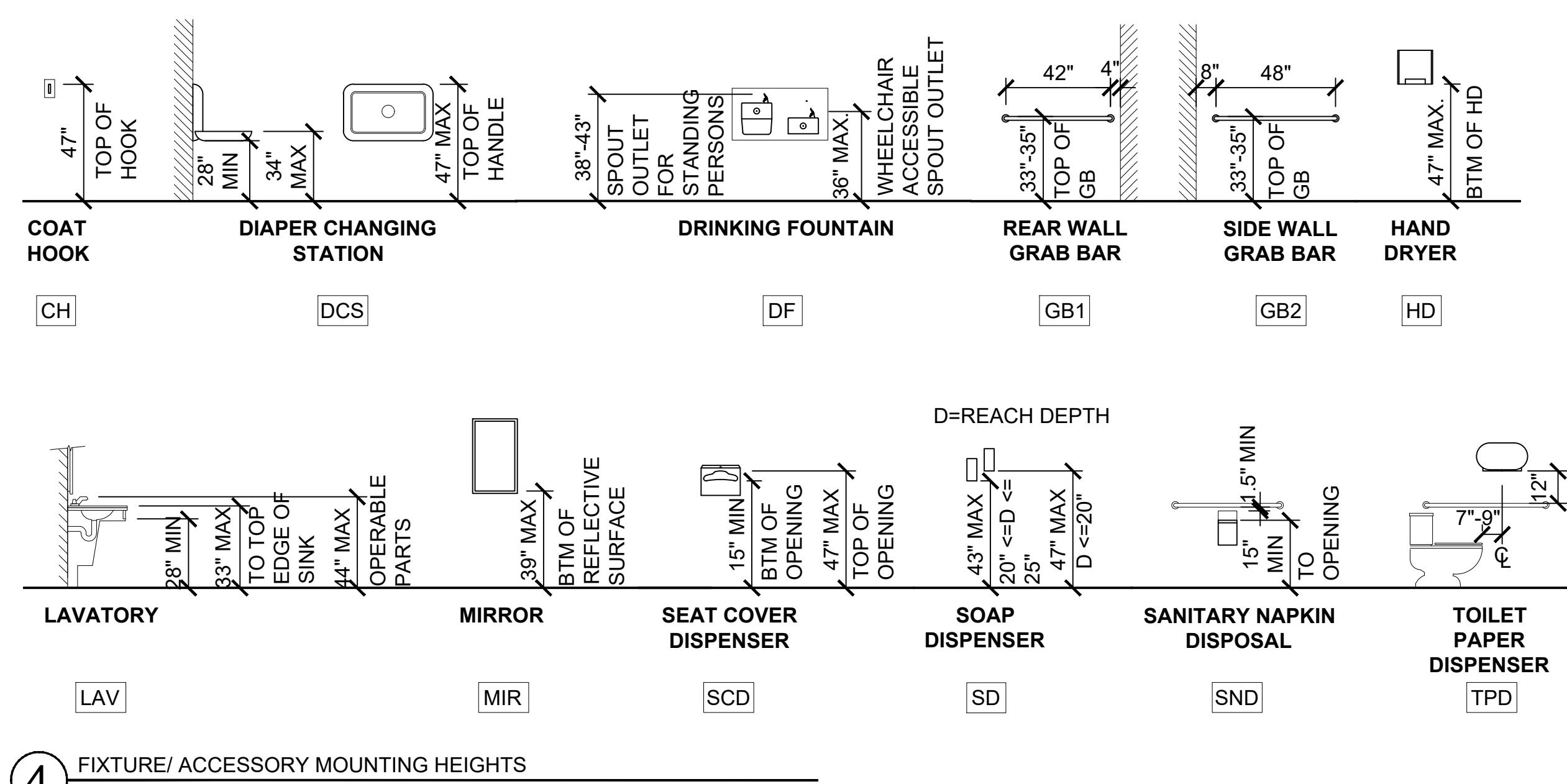
Drawing Title

KITCHEN PLAN, ELEVATION, DETAILS, & SPECS, INTERIOR ELEVATIONS
100% Construction Documents (Permit Set)

Drawing No.

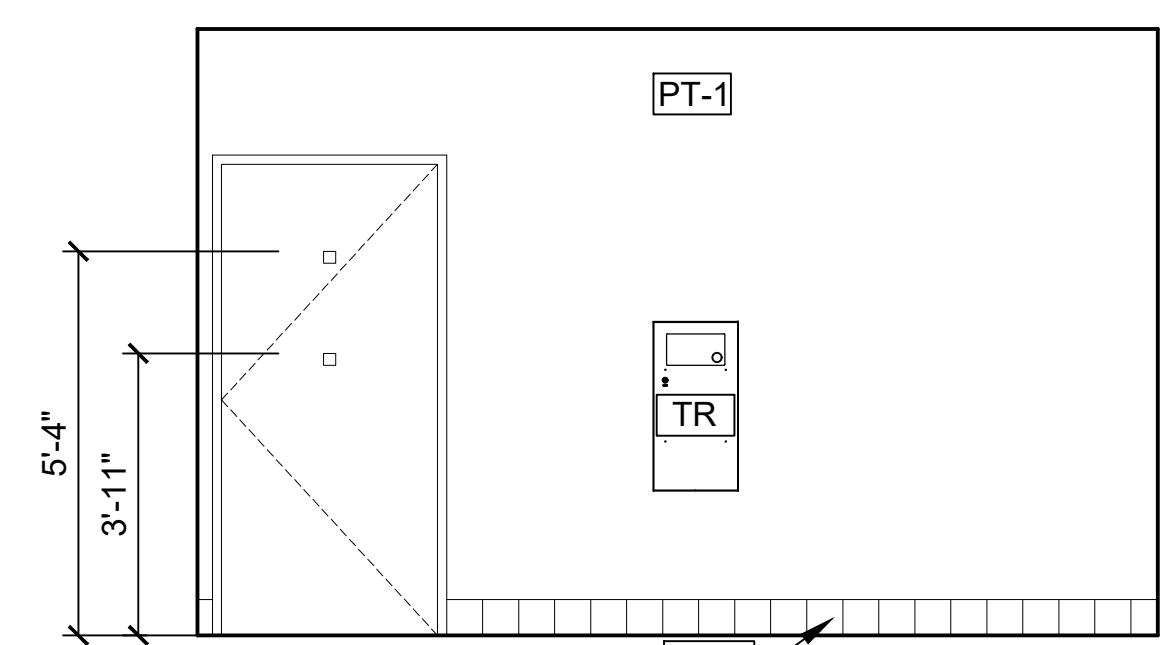
A5

PERMIT SHT. # 11 of 23
OVERALL SHT. # 11 of 23



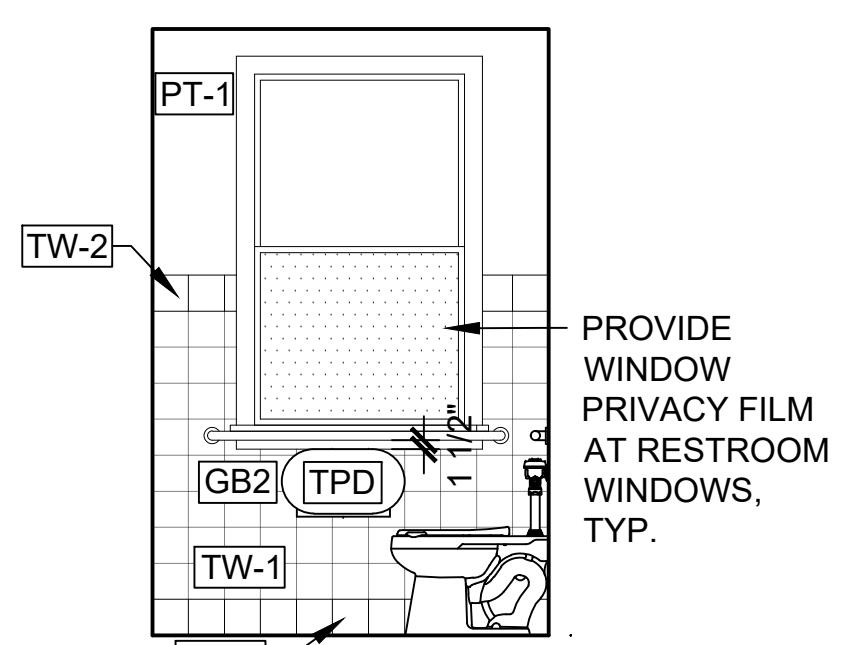
4 FIXTURE/ ACCESSORY MOUNTING HEIGHTS

Scale: 1/4" = 1'-0"



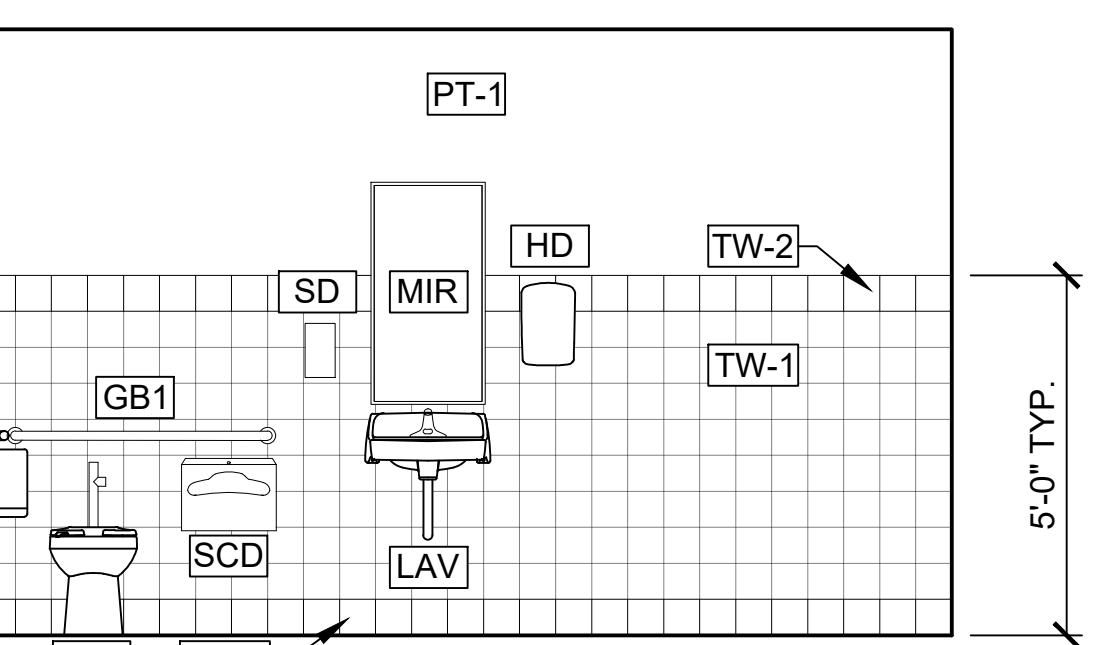
3C ACCESSIBLE RESTROOM 2 ELEV C

Scale: 3/8" = 1'-0"



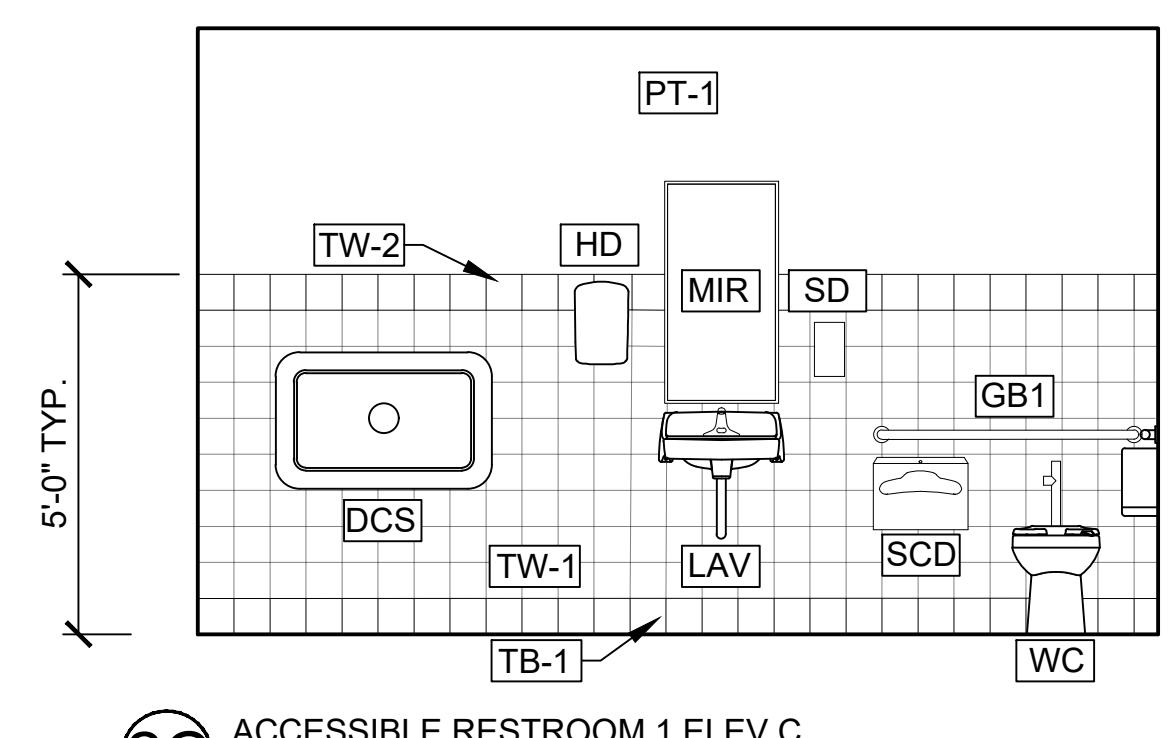
3B ACCESSIBLE RESTROOM 2 ELEV B

Scale: 3/8" = 1'-0"



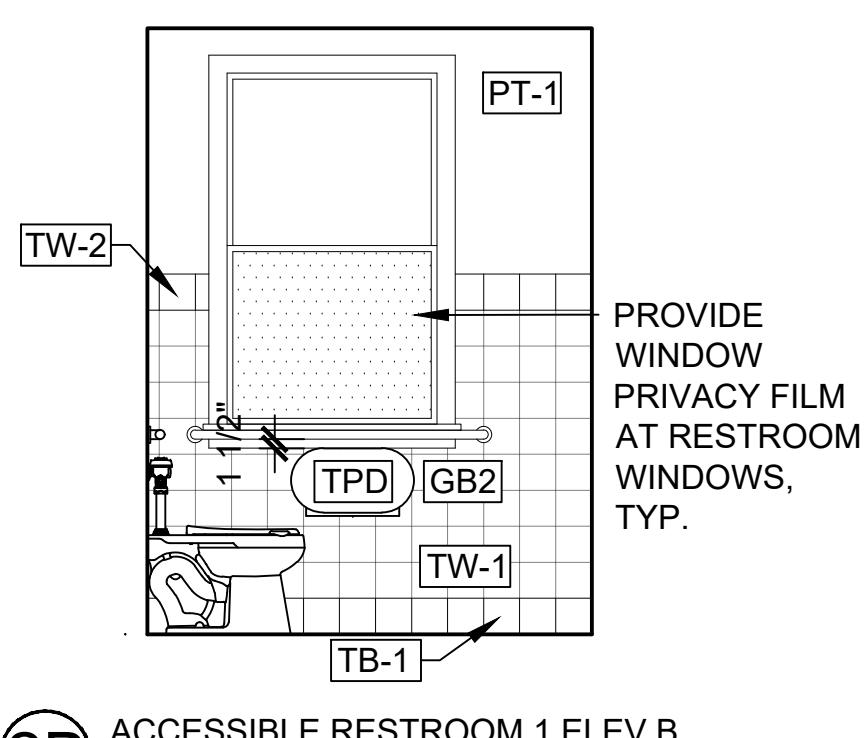
3A ACCESSIBLE RESTROOM 2 ELEV A

Scale: 3/8" = 1'-0"



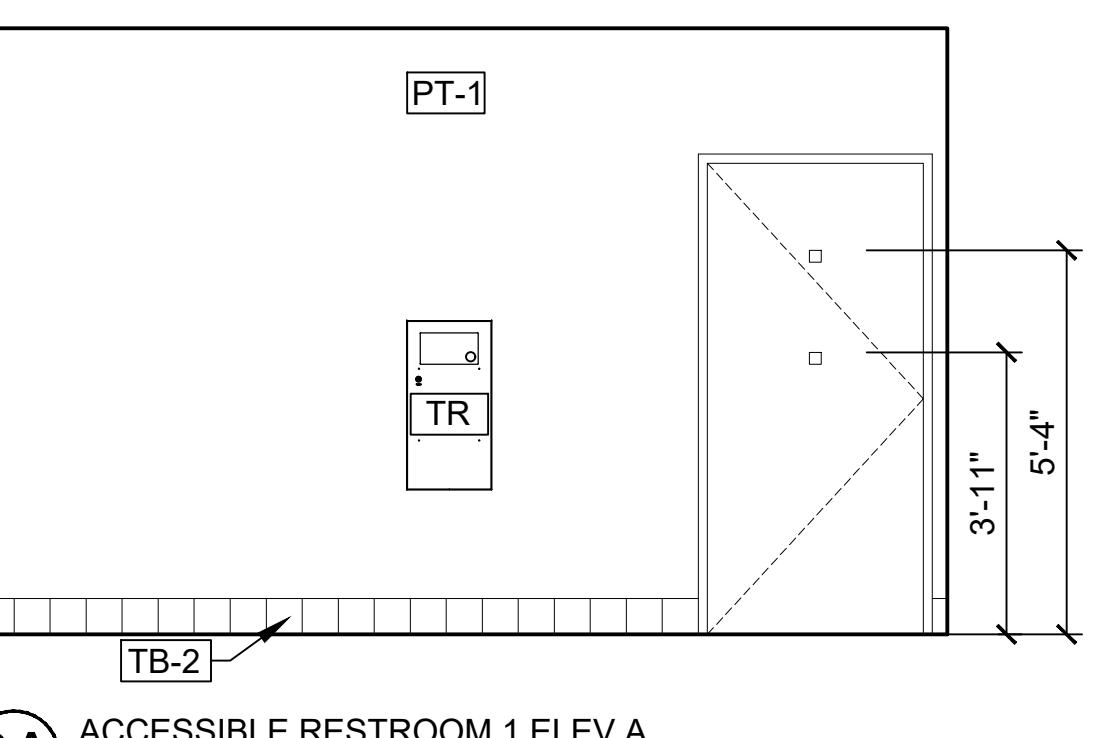
2C ACCESSIBLE RESTROOM 1 ELEV C

Scale: 3/8" = 1'-0"



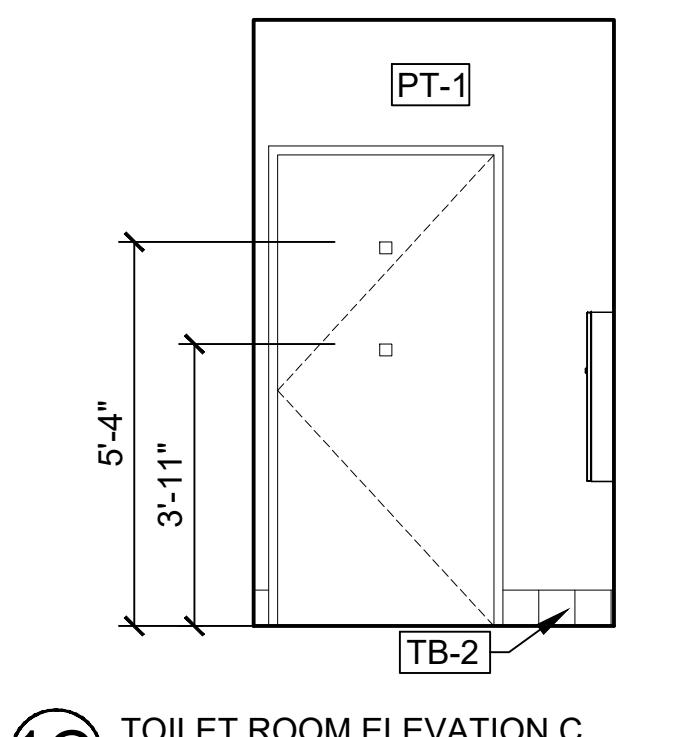
2B ACCESSIBLE RESTROOM 1 ELEV B

Scale: 3/8" = 1'-0"



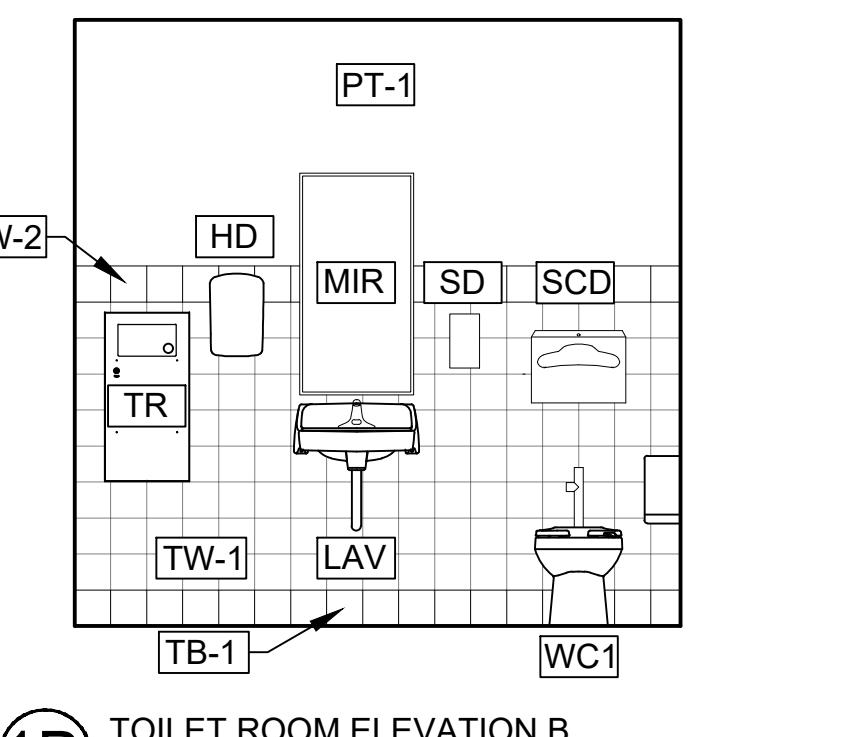
2A ACCESSIBLE RESTROOM 1 ELEV A

Scale: 3/8" = 1'-0"



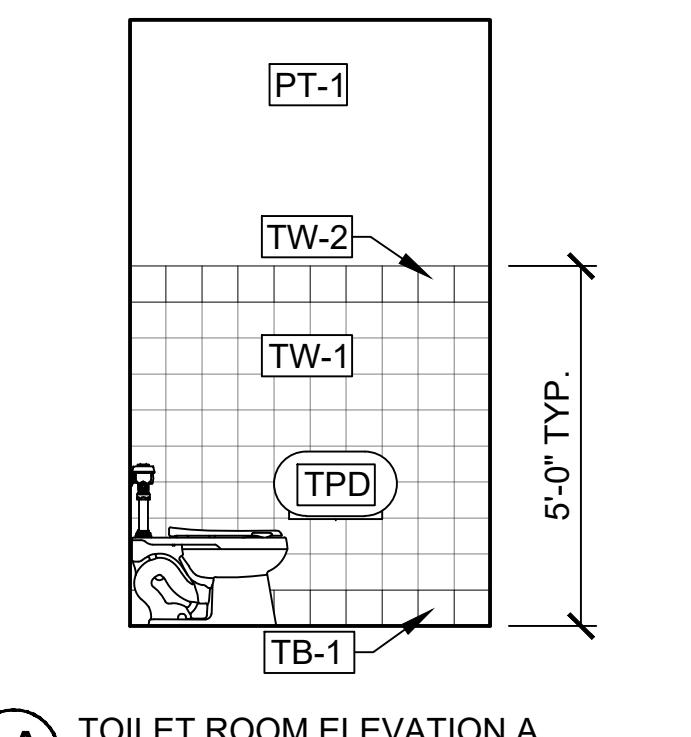
1C TOILET ROOM ELEVATION C

Scale: 3/8" = 1'-0"



1B TOILET ROOM ELEVATION B

Scale: 3/8" = 1'-0"



1A TOILET ROOM ELEVATION A

Scale: 3/8" = 1'-0"

RESTROOM SIGNAGE



ALL GENDER RESTROOM SIGNS (ADA 9"x10" AND NON-ADA 6"x9")

August 2022

REVIEWED

By Laura DiPasquale at 10:48 am, Nov 05, 2025

TOILET ROOM (ADA)
SIZE: 9x9

ALL SIGNS ARE DARK BROWN BACKGROUND WITH BRAILLE, WHITE LETTERS AND SYMBOLS, RADIUS CORNERS

SIZE: 6x9, EXCEPT AS NOTED

MOUNTING:
48"-60" AFF TO B.O. TACTILE ROOM NUMBERS OR LETTERS

LAV HAND SINK, FAUCET:
SINK: TOTO LT307.4 WALL-HUNG LAVATORY, STD COLOR #01 COTTON;

FAUCET: HYDROTEK 1000C SERIES FAUCET

TRUEBRO LAV GUARD PIPE COVERS

MIR MIRROR:
BOBRICK, B2908-1836 WELDED FRAME MIRROR WITH TEMPERED GLASS, 18" W. x 36" H.

FINISH: 18 GA., TYPE 304 STAINLESS STEEL W/ SATIN FINISH

SCD SEAT COVER DISPENSER:
BOBRICK B-4221. CAPACITY 250 SEAT COVERS SINGLE OR HALF-FOLD. BOTTOM FILL.

FINISH: TYPE 304 STAINLESS STEEL, SATIN FINISH.

SD SOAP DISPENSER:
LITE'N FOAMY TOUCH FREE SOAP DISPENSER, WHITE

TPD TOILET PAPER DISPENSER:
BRADLEY 5425 (JUMBO DUAL ROLL); STAINLESS

TR TRASH CAN:
BOBRICK, TRIMLINE SERIES B-35639, SURFACE-MOUNTED, STAINLESS STEEL

UF UTILITY FAUCET:
FIAT, 830AA000

US UTILITY SINK:
FIAT, MSB2424, 24" x 24" MOLDED STONE MOP SINK

COLOR: WHITE

WC ACCESSIBLE WATER CLOSET:
KOHLER, HIGHCLIFF ULTRA, K-96057-SSL, WHITE

WC1 WATER CLOSET:
KOHLER, WELLCOMME ULTRA, K-96053-SSL, WHITE

WCF WATER CLOSET FLUSHOMETER:
KOHLER, PRIMME MANUAL, K-76322

WCS WATER CLOSET SEAT:
BEMIS, 1955CTJ ELONGATED, WHITE

Revisions

No. Date Description

1 10/26/2025 Initial Submission

2 11/05/2025 Review and Approval

3 11/05/2025 Final Submittal

4 11/05/2025 Final Approval

5 11/05/2025 Final Submittal

6 11/05/2025 Final Approval

7 11/05/2025 Final Submittal

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68 11/05/2025 Final Approval

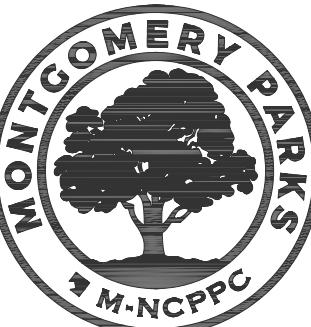
69 11/05/2025 Final Submittal

70 11/05/2025 Final Approval

71 11/05/2025 Final Submittal

72 11/05/2025 Final Approval

73 11/05/2025 Final Submittal



The Maryland-National Capital Park and Planning Commission

Montgomery Parks
Park Development Division
2425 Reede Drive, 11th Floor
Wheaton, MD 20902
(301) 495-2595
MontgomeryParks.org



MEP ENGINEER
Century Engineering, Inc.
10710 Glary Road
Hunt Valley, Maryland 21031
443-589-2400

REVIEWED

By Laura DiPasquale at 10:48 am, Nov 05, 2025



APPROVED

Montgomery County
Historic Preservation Commission

Karen Buleit



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
License No. 21406
Expiration Date: 1/23/2027

Project Name and Location

Norbeck-Muncaster Mill Neighborhood Park Park Activity Building Renovation

4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman

Liber: 29914 Tax Map: HS342
Folio: 0259 WSSC:

Revisions

No. Date Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title

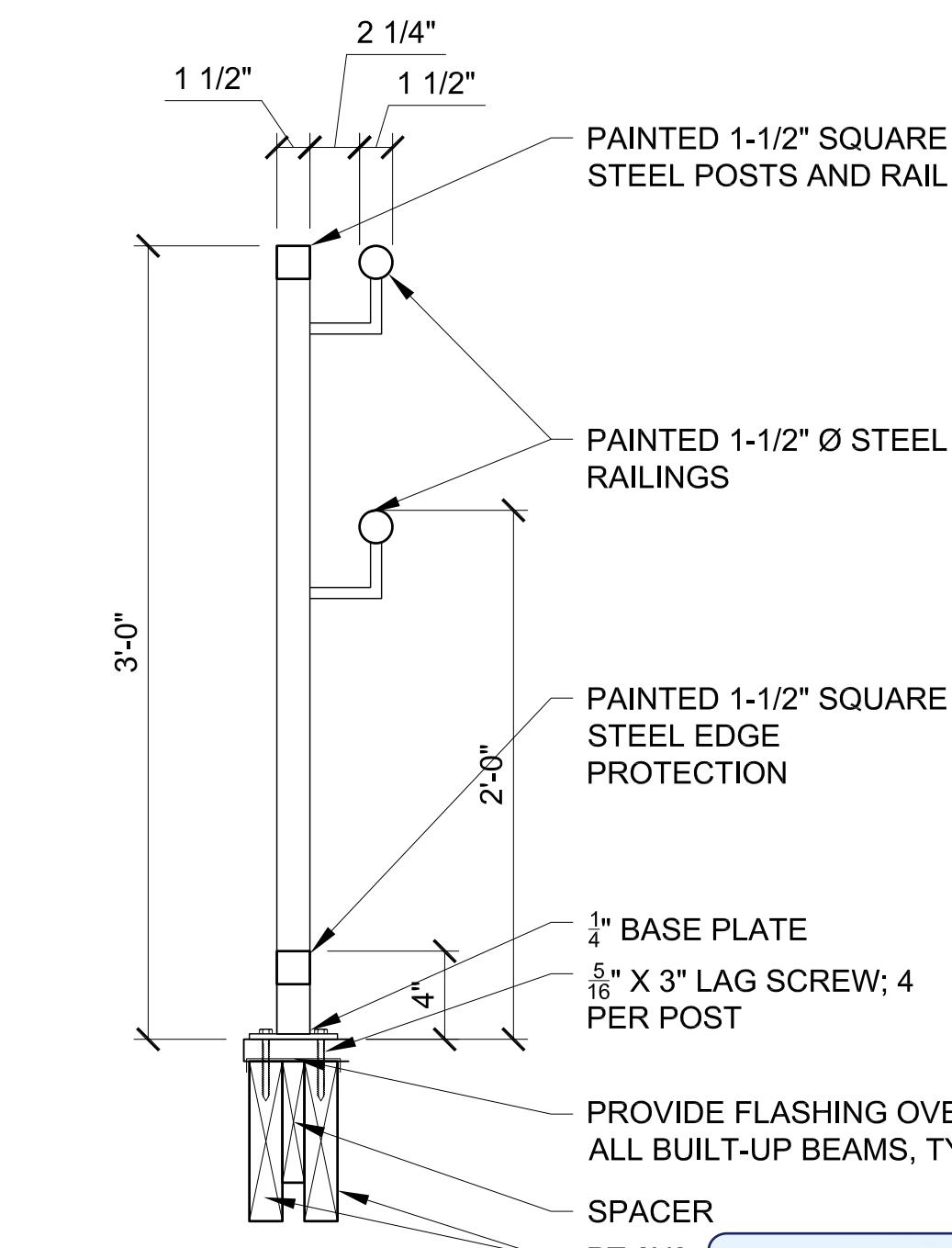
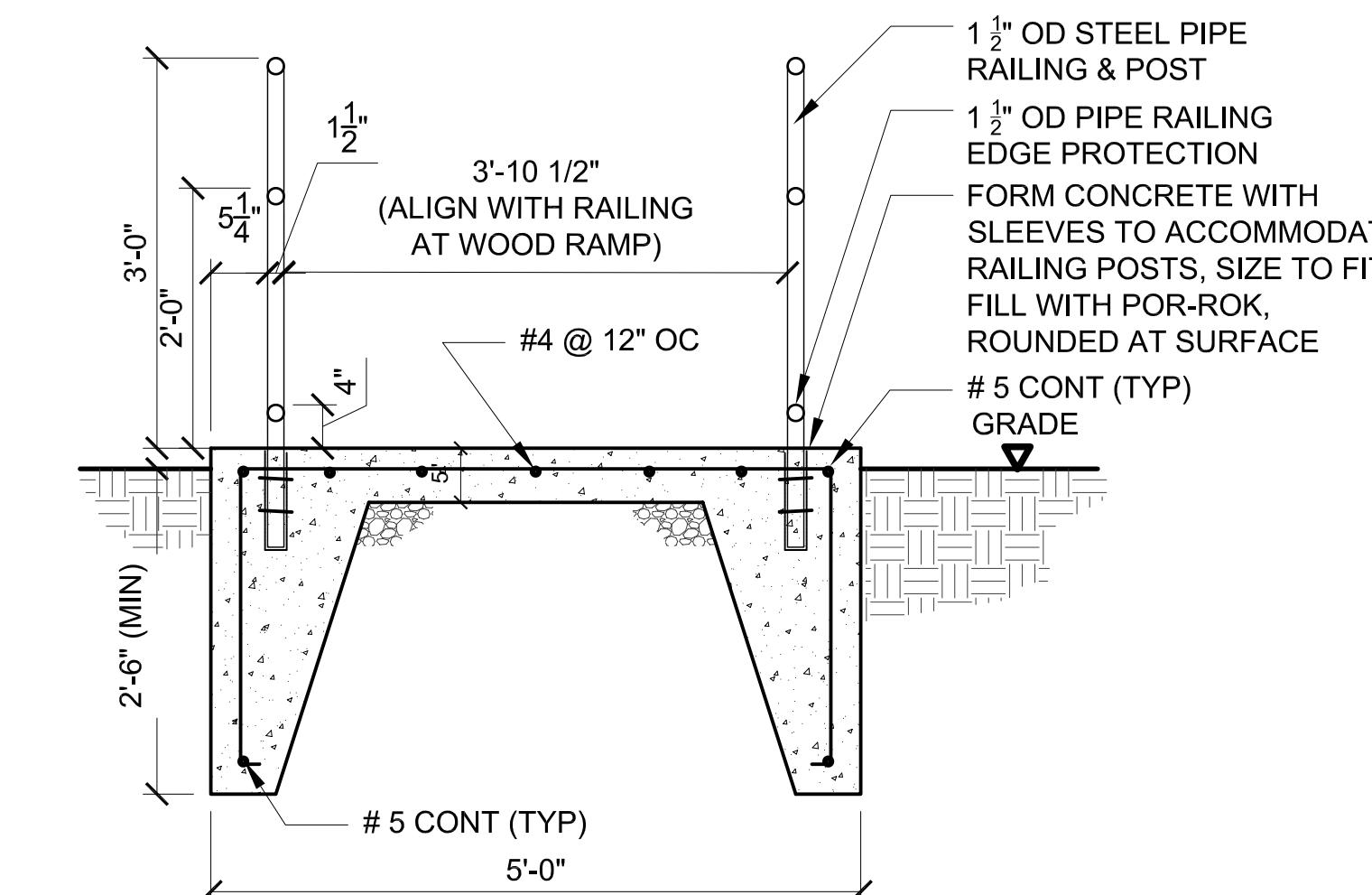
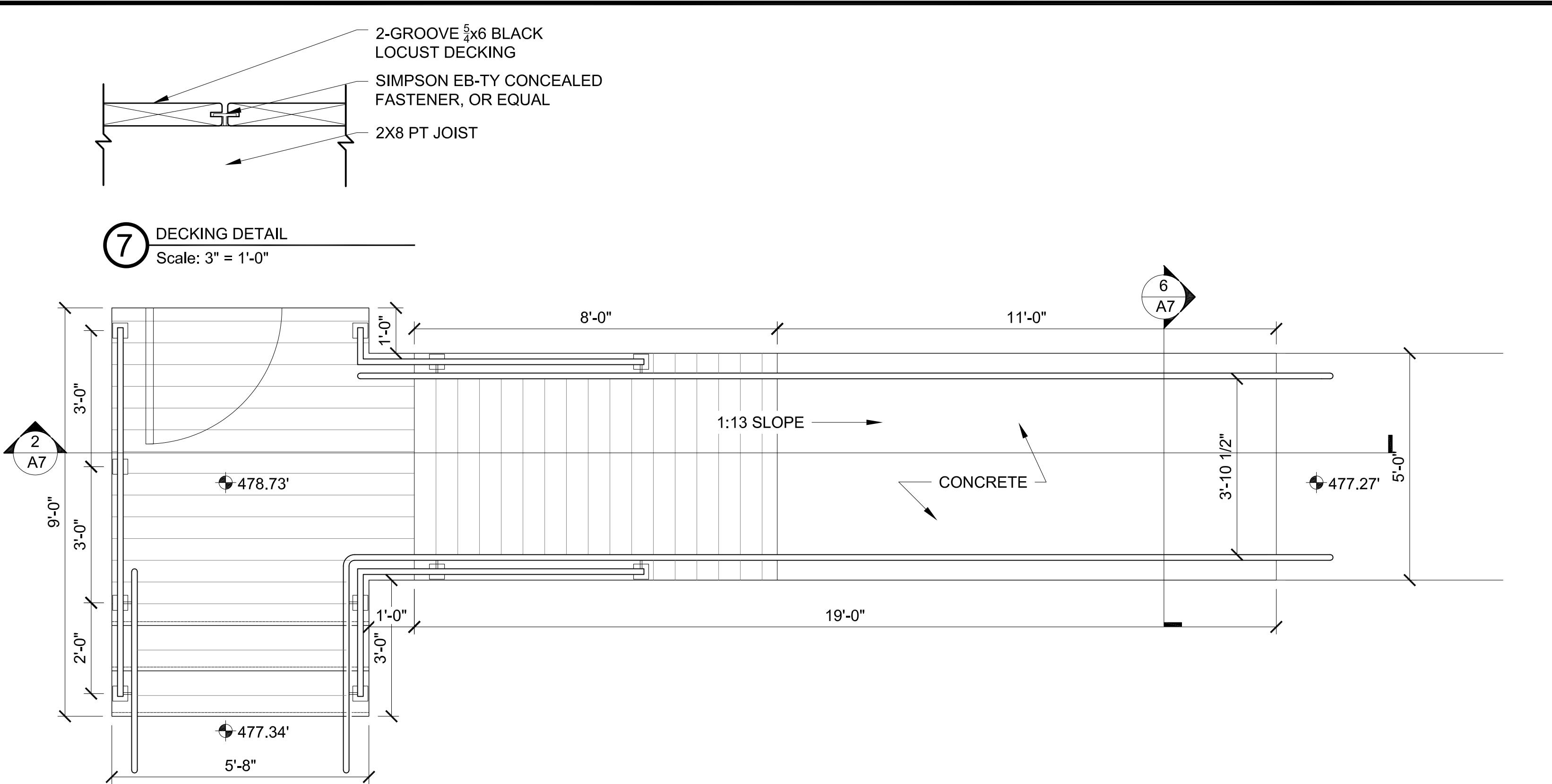
EXTERIOR DETAILS

100% Construction Documents (Permit Set)

Drawing No.

A7

PERMIT SHT. # 13 of 23
OVERALL SHT. # 13 of 23



6 CONCRETE RAMP CROSS-SECTION

Scale: 3/4" = 1'-0"

STRUCTURAL FRAMING:

1. ALL RAMP, STAIR, AND PORCH FRAMING SHALL BE PT SOUTHERN PINE, GRADE #1, OR BETTER.

FOUNDATIONS:

1. RAMP FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL HAVING A MINIMUM BEARING CAPACITY OF 1500 PSF PER IBC CODE MINIMUMS. ADEQUACY OF BEARING STRATUM SHALL BE V.I.F. PRIOR TO PLACING CONCRETE. ADJUST BOTTOM OF FOOTING ELEVATIONS AS REQ'D.
2. THE CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS, AND ADJACENT STRUCTURES, PAVEMENTS, AND UTILITIES.
3. NO FOOTINGS SHALL BE PLACED IN WATER OR ON FROZEN GROUND. PROTECT FOOTINGS FROM FROST AFTER THEY ARE PLACED.
4. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL SHORING, BRACING, AND Dewatering REQUIRED TO PROPERLY CONSTRUCT THE FOUNDATIONS AND TO PROTECT ADJACENT STRUCTURES, PAVEMENT, AND UTILITIES. DO NOT REMOVE SHORING, SUCH AS SHEET PILING IF IT WILL CAUSE SETTLEMENT OR DAMAGE TO EXISTING OR NEW STRUCTURES, PAVEMENT, AND/OR UTILITIES.
5. FILL AND BACKFILL MATERIAL - CLEAN RUN OF BANK MATERIAL, FREE OF DELETERIOUS ORGANIC MATERIALS.
6. ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 2'-6" BELOW FINAL GRADE.

CAST-IN-PLACE CONCRETE:

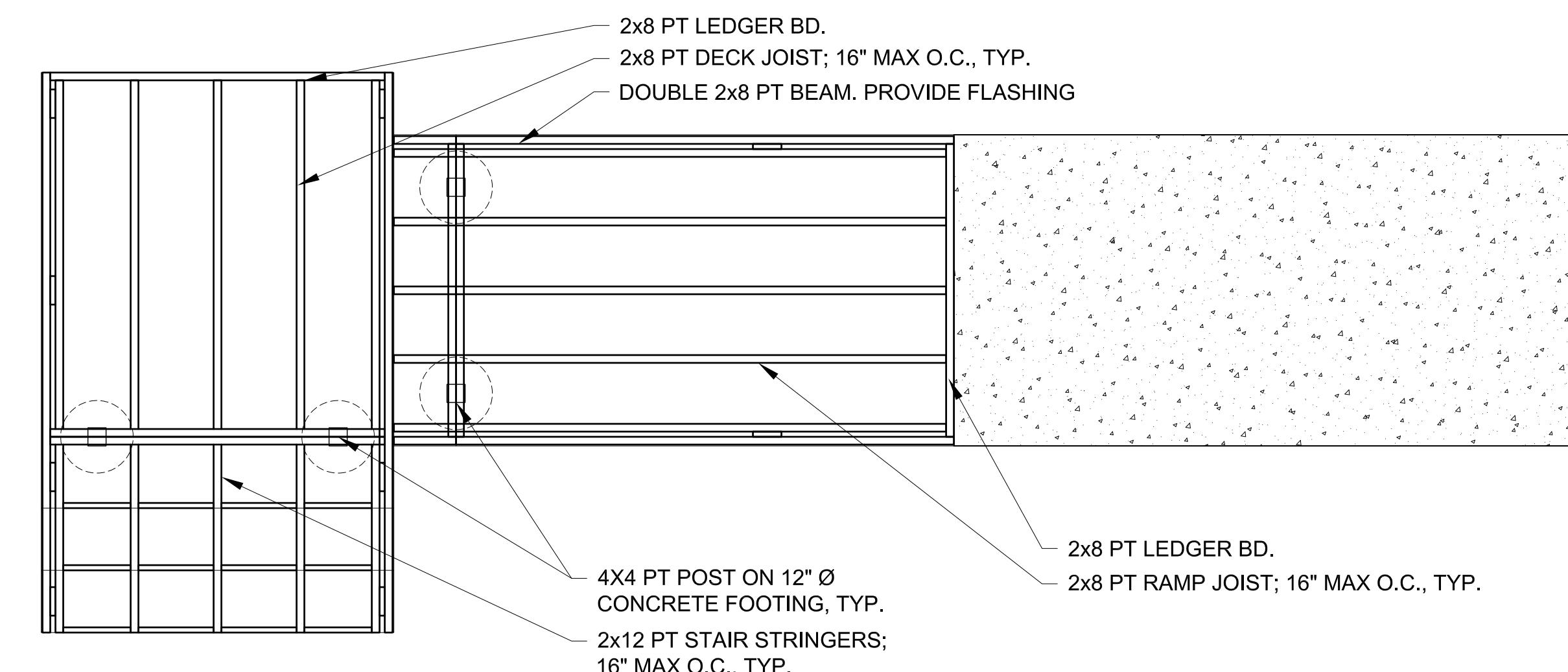
1. ALL CONCRETE PLACEMENT, FINISHING, AND CURING SHALL CONFORM TO THE REQUIREMENTS CONTAINED IN ACI 301, SPECIFICATIONS FOR STRUCTURAL CONCRETE.
2. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS.
3. COORDINATE THE LOCATION OF CONCRETE REINFORCEMENT WITH FASTENERS AND POST SLEEVES.

RAILING NOTES:

1. PIPE JOINTS TO BE WELDED AND GROUND SMOOTH.
2. ALL PIPES SHOULD BE ETCHED WITH ACID BEFORE PAINTING AND PRIMED BEFORE APPLYING SEMI-GLOSS ALKALIDE ENAMEL. COLOR TBD
3. GRIPPING SURFACE MUST BE CONTINUOUS ALONG THE HANDRAIL LENGTH AND SHALL NOT BE OBSTRUCTED.
4. MAINTAIN 2" MIN. COVER FOR ALL REBAR.

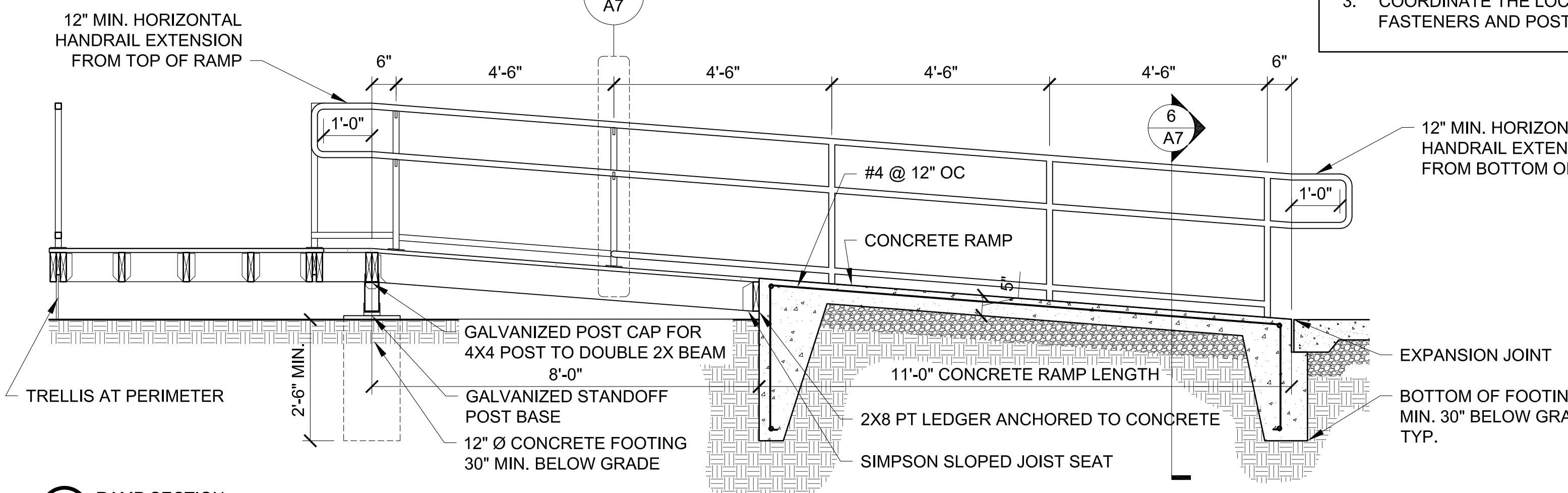
4 DECK & RAMP ENLARGED PLAN

Scale: 1/2" = 1'-0"



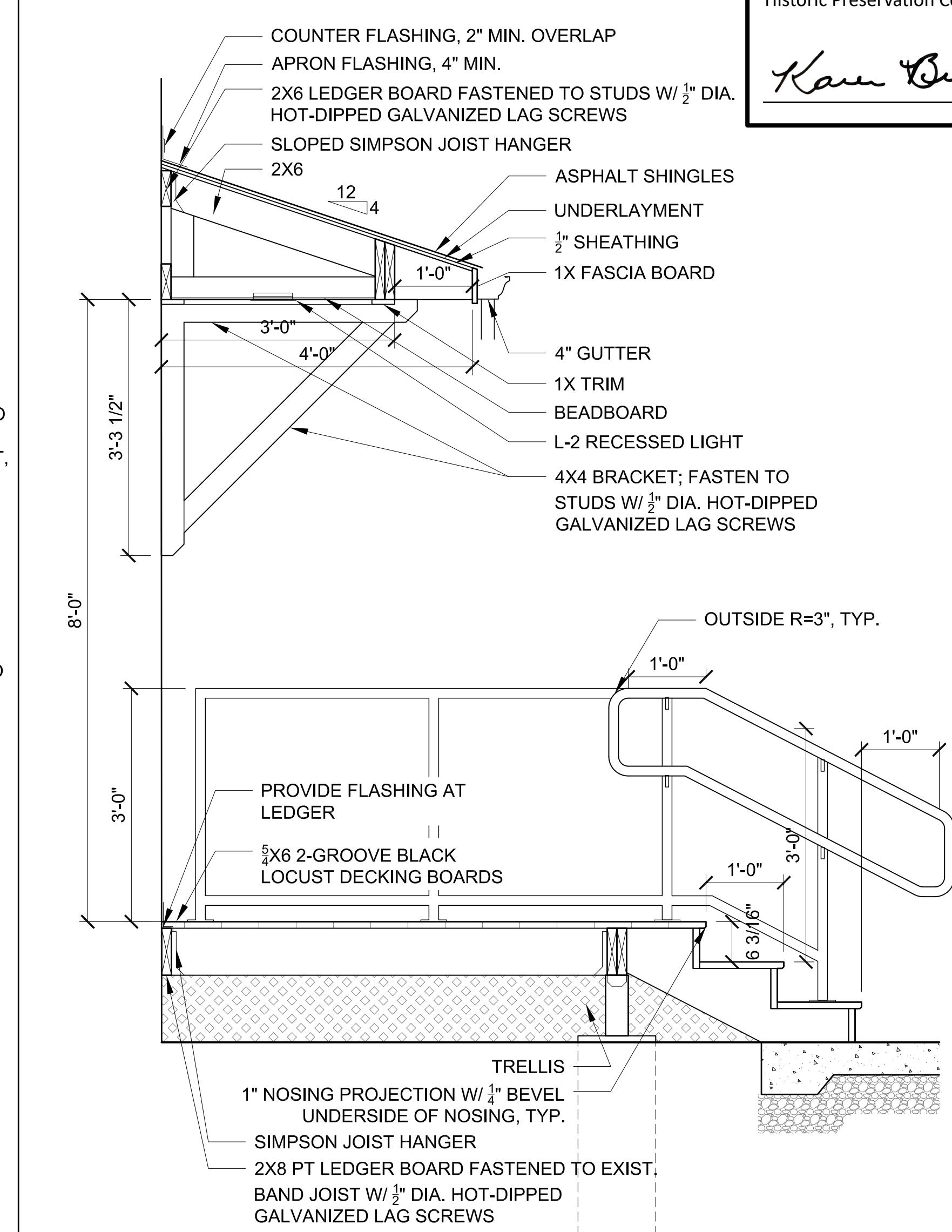
3 DECK & RAMP FRAMING PLAN

Scale: 1/2" = 1'-0"



2 RAMP SECTION

Scale: 1/2" = 1'-0"



1 PORCH SECTION

Scale: 3/4" = 1'-0"

GENERAL NOTES - DIVISION 26

- Provide labor, equipment and materials necessary for the installation of the complete electrical system as specified herein and shown on the contract drawings. Outline description and diagrammatic representation of system operation and equipment does not limit contractor liability for furnishing and installing complete and operable systems.
- "DRAWING NOTES" APPLY TO WORK ON THAT INDIVIDUAL DRAWING. "SPECIFIC NOTES" APPLY ONLY WHERE INDICATED WITH THE "SPECIFIC NOTE" SYMBOL.
- Wire and conduit sizes are based on copper conductors unless specifically noted otherwise.
- Voltage drop calculations are based on circuit loading and distances generally as circuited on plan. If alternate conduit routing, circuit loading, or conductor materials is provided, verify voltage drop, and submit voltage drop calculations per specification.
- Unless otherwise noted, circuits have not been derated for conductor bundling, nor have conduits been sized for multiple circuits. If multiple circuits are installed in a single raceway, derate conductor ampacity per NEC, and provide appropriate size conduit. Where conduit size increases, coordinate with adjacent utilities and building features.
- Include in the bid price the payment of necessary permits. Furnish the owner prior to the final payment a certificate from the electrical inspection department having jurisdiction certifying that the electrical work meets the requirements of the local inspection authorities and/or the National Board of Fire Underwriters.
- Coordinate with owner's representative for scheduling of work.
- Work shall be installed in a neat and workmanlike manner.
- Keep the work site and surrounding area free from accumulation of waste materials or rubbish generated by work from this contract. Properly and legally dispose of materials.
- Job site safety shall be in strict accordance with local, state and federal requirements.
- Drawings shall not be scaled. Refer to the architectural drawings for exact light fixture locations and the mechanical drawings for exact mechanical equipment locations. Locations of electrical equipment and conduit are shown diagrammatically. Determine exact locations in field.
- Confirm equipment locations and plug types prior to receptacle installation. Provide receptacle types to match plug types and NEMA configuration.
- Coordinate work with other trades. Architectural, structural, mechanical, and other drawings and specifications shall be consulted and coordinated with prior to rough-in.
- Existing electrical installation:
 - Existing electrical work which will not be rendered obsolete and which may be disturbed due to any changes required under this contract shall be restored to its original operating condition. For electrical material and equipment to be removed, refer to electrical demolition notes.
 - Where existing electrical work interferes with new work and where such installations are to remain in use, the installations shall be disconnected and relocated and/or reconnected to coordinate with new work.
 - Do not disconnect any electrical service without first obtaining written approval from the user agency. The electrical service outages shall be kept to a minimum. Written approval for disconnecting the services may be obtained only by applying in advance of ten working days. Outages shall be limited to weekend or holiday periods.
- When mounting electrical work in areas subject to pedestrian traffic, maintain required headroom clearances.
- Wherever possible, obtain actual rough-in drawings for equipment to be installed prior to rough-in. Final electrical connections to equipment, whether furnished under this division, another division, or by others, shall be made under this division. Final connections to equipment shall consist of same size phase conductors, neutral conductors (as applicable), ground conductors, control conductors (as applicable), and conduit sizes as indicated elsewhere.
- Where multiple wall switches are shown adjacent to one another, group together under multigang plate. Where dimmer switches are used, selection of capacity shall be based on load served and any derating required due to ganging of switches.
- Provide typed circuit directories for existing panelboards to indicate type of load served and area served (e.g. receptacles-office 201).
- Provide separate unshared neutral conductor(s) for each circuit utilizing a neutral, unless specifically indicated otherwise. Multiwire branch circuits are not permitted.
- Center equipment or devices located above openings such as doors, louver, etc. above the opening.
- Electrical penetrations in fire-resistance-rated construction shall comply with requirements of International Building Code. Provide listed fire stop method for penetrations through fire rated floors and walls to maintain the applicable fire rating.
- Electrical materials and equipment shall be UL listed and shall conform to factory mutual standards as applicable.
- New electrical work installed in finished areas shall be installed concealed within new or existing walls, floors or ceilings. Provide cutting and patching of surfaces. Surface raceways shall be permitted in finished areas only where specifically approved in the field by architect.
- The entire electrical installation, material and workmanship shall be guaranteed for a period of one year from the date of substantial completion, unless a longer warranty period is required elsewhere in contract documents.
- Minimize the use of junction boxes above inaccessible (i.e. gypsum) ceilings. Where junction boxes are unavoidable above such ceilings, group them with other boxes, switches, valves, etc. that require access, and provide an access hatch in ceiling as approved by architect.
- Conduit, fittings, and junction boxes shall be suitable for the area classification in which they are to be installed.
- Unless indicated otherwise 15A and 20A single-phase circuits shall consist of 2#12, 1#12 G, 3/4" C.
- Remove and reinstall ceiling panels as required for electrical work. Replace, in-kind, any ceiling panels damaged during the course of work.

DEMOLITION NOTES - DIVISION 26

- Disconnect and remove items shown dashed on electrical demolition drawings. In addition to specific electrical demolition indicated on electrical demolition drawings, disconnect and remove wiring devices, fire alarm devices, lighting fixtures, and communication outlets on walls, ceilings, millwork, etc. being removed. Walls to be removed by others are shown dashed on electrical demolition plans. Note that not all electrical items to be removed are indicated on electrical demolition drawings.
- Coordinate demolition with new work, and reuse circuits and devices as permitted elsewhere in contract documents.
- For wiring not being reused in new work, remove back to source.
- For circuit breakers not being reused, turn breaker off and label as "spare".
- Where removal of existing electrical equipment and associated wiring breaks branch circuits to remain, the circuits' continuity shall be restored to provide power supply to remaining equipment.
- Conduit and wiring feeding electrical equipment outside limits of construction that is routed through area of work shall remain.
- Remove existing exposed conduit, or conduit that becomes exposed during construction, remove wiring and cut off conduit stubs through floor flush with floor slab, fill with concrete, and make ready to accept new floor finishes where applicable.
- Conduit which remains concealed within walls or slabs shall be abandoned in place after removal of wiring.
- Retain removed emergency lights, exit lights, and fire alarm notification appliances for reuse. Clean and test all devices to be reused for full operation before reuse.
- Wherever existing flush mounted outlet boxes will remain exposed, furnish and install blank coverplates.
- Patch and finish surfaces disturbed by demolition under this division with materials to match existing surface.

ELECTRICAL MOUNTING HEIGHT SCHEDULE

\$	SWITCHES	46" AFF TO C (UNO)
PO	RECEPTACLES	18" AFF TO C (UNO)
+	COUNTER RECEPTACLES	9" ABOVE COUNTER TO C (UNO)
PR	REFRIGERATOR REC.	46" AFF TO C (UNO)
PM	MICROWAVE REC.	9" ABOVE COUNTER TO C (UNO)
+	OVEN RECEPTACLE	COORDINATE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS
EH	LED EXIT SIGN	6" ABOVE DOOR FRAME
+X	ITEMIZED MOUNTING HEIGHT	HEIGHT DESIGNATED BY SUBSCRIPT

ELECTRICAL ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	LTG	LIGHTING
AL	ALUMINUM	LED	LIGHT EMITTING DIODE
ADA	AMERICAN DISABILITY ACT	LRA	LOCKED ROTOR AMPS
AVG	AMERICAN WIRE GAUGE	LV	LOW VOLTAGE
A	AMPERE	MGB	MAIN GROUND BAR
AIC	AMPERE INTERRUPTING CAPACITY	MGB	MAIN GROUND BAR
AFCI	ARC FAULT CIRCUIT INTERRUPTER	MLO	MAIN LUGS ONLY
ATS	AUTOMATIC TRANSFER SWITCH	MTS	MOTOR TRANSFER SWITCH
BATT	BATTERY	MISC	MISCELLANEOUS
BFC	BELLOW FINISHED CEILING	MOD	MOTOR OPERATED DAMPER
BFG	BELLOW FINISHED GRADE	MTD	MONTEDED
BPS	BOLTED PRESSURE SWITCH	MH	MOUNTING HEIGHT
BLDG	BUILDING	NEC	NATIONAL ELECTRICAL CODE
CATV	CABLE TELEVISION	NF	NIGHT LIGHT (UNSWITCHED)
C	CONDUIT	NFSS	NON-FUSED SAFETY SWITCH
CLG	CEILING	NO	NOT OPEN
CKT	CIRCUIT	NO	NORMALLY OPEN
CIB	CIRCUIT BREAKER	NIC	NOT IN CONTRACT
CONT	CONTINUATION	NTS	NOT TO SCALE
CU	COPPER	OE	OVERHEAD ELECTRIC
CT	CURRENT TRANSFORMER	OT	OVERHEAD TELECOMMUNICATIONS
A	DELTA CONNECTED	PNL	PANELBOARD
DACT	DIGITAL ALARM COMMUNICATOR TRANSMITTER	Ø / PH	PHASE
DC	DIRECT CURRENT	P	POLE
DISC	DISCONNECT	PVC	POLYVINYL CHLORIDE
DAS	DISTRIBUTED ANTENNA SYSTEM	PT	POTENTIAL TRANSFORMER
2P	DOUBLE POLE	PWR	POWER
DPDT	DOUBLE POLE, DOUBLE THROW	PF	POWER FACTOR
DPST	DOUBLE POLE, SINGLE THROW	PRI	PRIMARY
DTR	DOUBLE THROW	REC	RECEPTACLE
DWG	DRAWING	REL	REMOVE AND RETAIN FOR RELOCATION
DET/D	DUAL ELEMENT / TIME DELAY	RM	ROOM
EMT	ELECTRICAL METALLIC TUBING	RMS	ROOT MEAN SQUARE
E	EMERGENCY	RM	REMOVE EXISTING
EC	EMPTY CONDUIT	RX	REMOVAL
EBC	ENCLOSED CIRCUIT BREAKER	SS	SAFETY DISCONNECT SWITCH
EMS	ENERGY MANAGEMENT SYSTEM	SEC	SECONDARY
EV	ELECTRIC VEHICLE	SD	SERVICE DISCONNECT
EF	EXHAUST FAN	Isc	SHORT CIRCUIT CURRENT
ER	EXISTING RELOCATED	(RMS SYMMETRICAL AMPERES)	
ETR	EXISTING TO REMAIN	SCCR	SHOR CIRCUIT CURRENT RATING
EX	EXISTING	1P	SINGLE POLE
FT	FEET	SPDT	SINGLE POLE, DOUBLE THROW
FA	FIRE ALARM	SPST	SINGLE POLE, SINGLE THROW
FAP	FIRE ALARM ANNUNCIATOR PANEL	ST	SINGLE THROW
FACP	FIRE ALARM CONTROL PANEL	S/N	SOLID NEUTRAL
FAEP	FIRE ALARM EXTENDER PANEL	SPD	SURGE PROTECTION DEVICE
4P	FOUR POLE	SWBD	SWITCHBOARD
FLA	FULL LOAD AMPERES	SYM	SYMMETRICAL
F	FUSED OR FUSIBLE	TGB	TELECOMMUNICATIONS GROUND BAR
FSS	FUSED SAFETY SWITCH	TMGB	TELECOMMUNICATIONS MAIN GROUND BAR
FS	PULL STRING SWITCH	TELE	TELEPHONE
G/GRD	GROUND	TTB	TELEPHONE TERMINAL BOARD
G3	GROUND BAR	TMS	TERMAL MANUAL SWITCH
GEC	GROUNDING ELECTRODE CONDUCTOR	KCM	THOUSAND CIRCULAR MILS
GFI	GROUND FAULT CIRCUIT INTERRUPTER	3P	THREE POLE
HD	HAND DRYER	XMR	TRANSFORMER
HOA	HAND-OFF-AUTOMATIC	TYP	TYPICAL
HID	HIGH INTENSITY DISCHARGE	UE	UNDERGROUND ELECTRIC
HV	HIGH VOLTAGE	UT	UNDERGROUND TELECOMMUNICATIONS
HP	HORSEPOWER	UL	UNDERWRITERS LABORATORY
HZ	HERTZ	UNO	UNLESS NOTED OTHERWISE
IG	ISOLATED GROUND	V	VOLTS
IT	INFORMATION TECHNOLOGY	VA	VOLT-AMPERE
ITGB	INFORMATION TECHNOLOGY GROUND BAR	WH	WATER HEATER
JJB	JUNCTION BOX	W	WATTS, WIRE
KV	KILOVOLTS	WP	WEATHERPROOF
KVA	KILOVOLT-AMPERES	W/	WITH
KW	KILOWATTS	WCR	WITHSTAND AND CLOSE-ON RATING
		Y	WYE CONNECTED

BRANCH CIRCUIT WIRE SIZING (120V, 20 AMPERE SINGLE PHASE CIRCUITS) ①	
LENGTH OF RUN	CIRCUIT WIRE SIZE
0' - 60'	#12
60' - 100'	#10
100' - 150'	#8

NOTES

① CHART IS BASED ON 1200 WATT LOAD, 120 VOLTS WITH 3% VOLTAGE DROP. ANY DERATING, INCLUDING DE-RATING, SHALL BE FIELD CALCULATED. TOTAL MAXIMUM VOLTAGE DROP (ON FEEDER AND BRANCH CIRCUIT) SHALL BE LESS THAN 5%. WHERE A DISCREPANCY EXISTS BETWEEN THIS CHART AND WIRE SIZE ON PANEL SCHEDULE, PROVIDE THE LARGER SIZE.

LIGHTING SYMBOLS

○	LIGHTING FIXTURE, CEILING MOUNTED
—○—	LIGHTING FIXTURE, WALL MOUNTED
●	EMERGENCY LIGHTING FIXTURE
↑ ↓	EMERGENCY BATTERY TYPE LIGHTING FIXTURE
↔	EMERGENCY REMOTE HEAD TYPE LIGHTING FIXTURE
○ H	EXIT SIGN, SINGLE FACE, CEILING/WALL MOUNTED
○ H	EXIT SIGN, DOUBLE FACE, CEILING/WALL MOUNTED
○ H	EXIT SIGN, AS ABOVE, WITH DIRECTIONAL ARROWS
○ H	COMBINATION EXIT SIGN EMERGENCY LIGHT, SINGLE FACE, WALL MOUNTED
\$	SINGLE POLE TOGGLE SWITCH
\$ ₃	THREE-WAY TOGGLE SWITCH
\$ ₀	LOW VOLTAGE PUSHBUTTON WALL STATION
\$ ₀	LIGHTING CONTROL OCCUPANCY/VACANCY SENSOR WALL SWITCH
OS	LIGHTING CONTROL OCCUPANCY SENSOR WITH DAYLIGHT HARVESTING FEATURE, CEILING MOUNTED
OW	LIGHTING CONTROL OCCUPANCY SENSOR, WALL MOUNTED

POWER SYMBOLS

○	DUPLEX RECEPTACLE, NEMA CONFIGURATION 5-15R/5-20R, PER SPECIFICATION
—○—	DUPLEX RECEPTACLE AS ABOVE, GROUND FAULT CIRCUIT INTERRUPTER (GFCI) TYPE OR PROTECTED BY UPSTREAM GFCI RECEPTAC
○	DUPLEX RECEPTACLE AS ABOVE, COUNTERTOP
WP	WEATHER RESISTANT GFCI DUPLEX RECEPTACLE AS ABOVE, WITH WEATHERPROOF LOCKABLE COVER
○ ^R	20A SIMPLEX RECEPTACLE, DEDICATED FOR REFRIGERATOR
○ ^M	GFCI DUPLEX RECEPTACLE AS ABOVE, DEDICATED FOR COUNTERTOP MIC
○	OVEN RECEPTACLE, NEMA 14-20R
○ J ○ J	JUNCTION BOX - CEILING, WALL OR FLOOR MOUNTED
\$ _M	MANUAL MOTOR STARTER SWITCH - NO OVERLOADS
+	METER
	120/240V PANELBOARD, EXTENDED FRONT LINES INDICATE RECESSED, OTHERWISE SURFACE MOUNTED.
▼	COMBINATION COMMUNICATION OUTLET
	PROVIDE 2-GANG BOX WITH SINGLE GANG ADAPTER PLATE, 1" CONDUIT W/BUSHING, AND PULLSTRING TO ABOVE ACCESSIBLE CEILING.
	PROVIDE ONE VOICE AND ONE DATA AND ONE TYPE F CONNECTOR

ACCESS CONTROL AND DETECTION SYSTEMS SYMBOLS

KP	KEYPAD ACCESS CONTROLLED DOOR ROUGH-IN. COORDINATE LOCATION WITH ARCHITECT. KEYPAD PROVIDED BY SECURITY VENDOR. COORDINATE MANUFACTURER AND MODEL NUMBER WITH SECURITY VENDOR.
SEC	SECURITY SYSTEM CONTROLLER, COORDINATE LOCATION WITH ARCHITECT. CONTROLLER PROVIDED BY SECURITY VENDOR. COORDINATE MANUFACTURER AND MODEL NUMBER WITH SECURITY VENDOR.

FIRE ALARM SYSTEM SYMBOLS

SD	SINGLE- OR MULTI-STATION SMOKE DETECTOR, CEILING MOUNTED
----	--



DEMOLITION DRAWING NOTES

1. RETAIN REMOVED 2 x LIGHTS FOR REUSE. CLEAN AND TEST ALL DEVICES TO BE REUSED FOR FULL OPERATION BEFORE REUSE. REFER TO ELECTRICAL LIGHTING PLAN FOR NEW LOCATION, WIRING AND CONTROLS. REPLACE LIGHTS AS NEEDED WITH TYPE A FIXTURES.
2. REMOVE RECEPTACLES SHOWN DASHED. REMOVE WIRING BACK TO OTHER DEVICES REMAINING ON CIRCUIT. EXISTING CIRCUIT BREAKERS FOR RECEPTACLES TO REMAIN. IF ONLY ONE DEVICE ON CIRCUIT REMOVE WIRING BACK TO PANEL AND LABEL CIRCUIT BREAKER AS SPARE.
3. DISCONNECT EXISTING WATER HEATER AND PROVIDE JUNCTION BOX FOR EXTENSION OF CIRCUIT TO NEW LOCATION. PROVIDE CONDUIT AND WIRING AS REQUIRED. REFER TO ELECTRICAL POWER PLAN FOR NEW LOCATION.
4. DISCONNECT EXISTING SECURITY CONTROL PANEL AND PROVIDE JUNCTION BOX FOR EXTENSION OF CIRCUIT TO NEW LOCATION. PROVIDE CONDUIT AND WIRING AS REQUIRED. COORDINATE WITH IT SUPPORT DEPARTMENT FOR FINAL LOCATION. REFER TO ELECTRICAL POWER PLAN.



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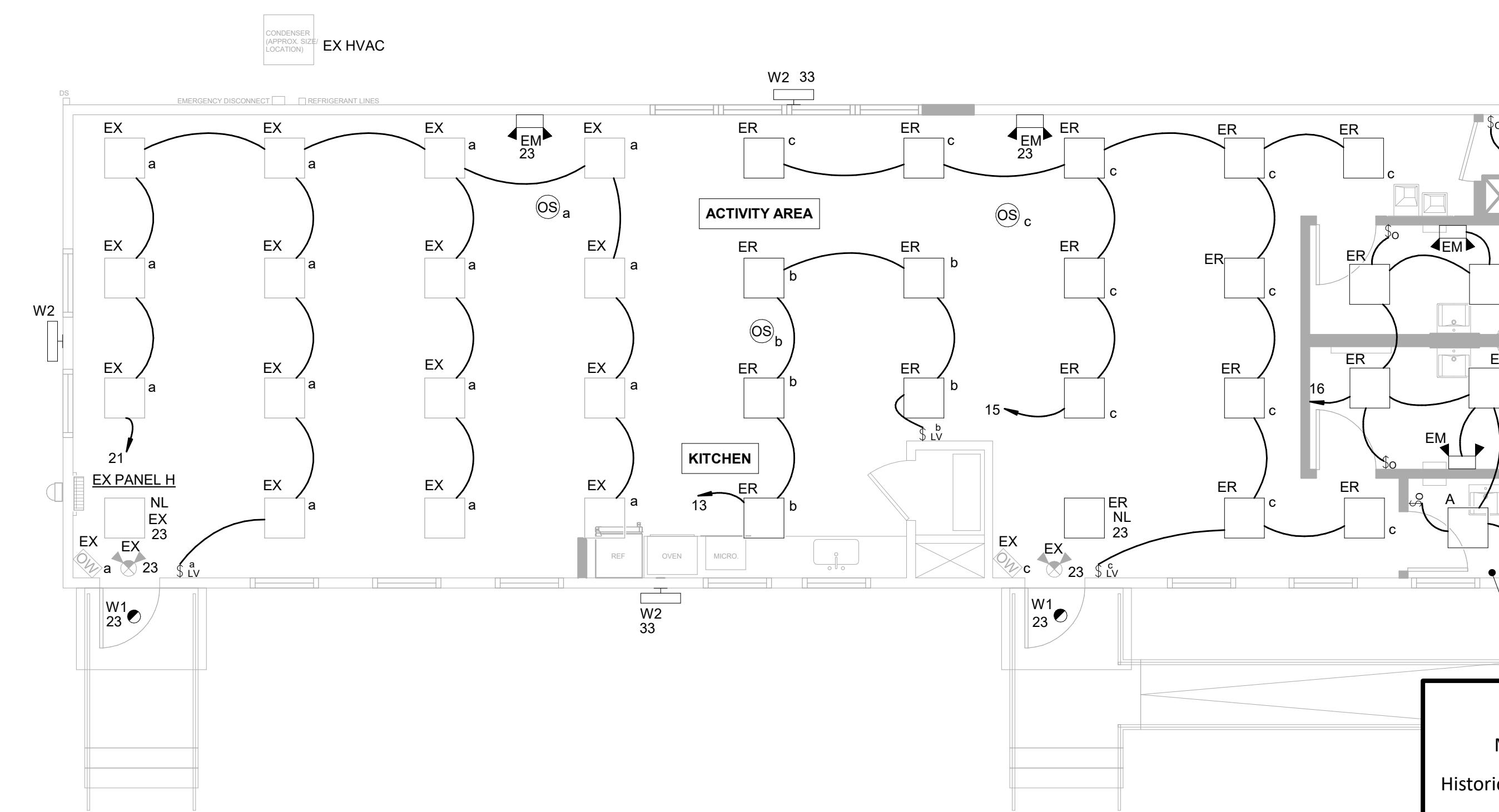
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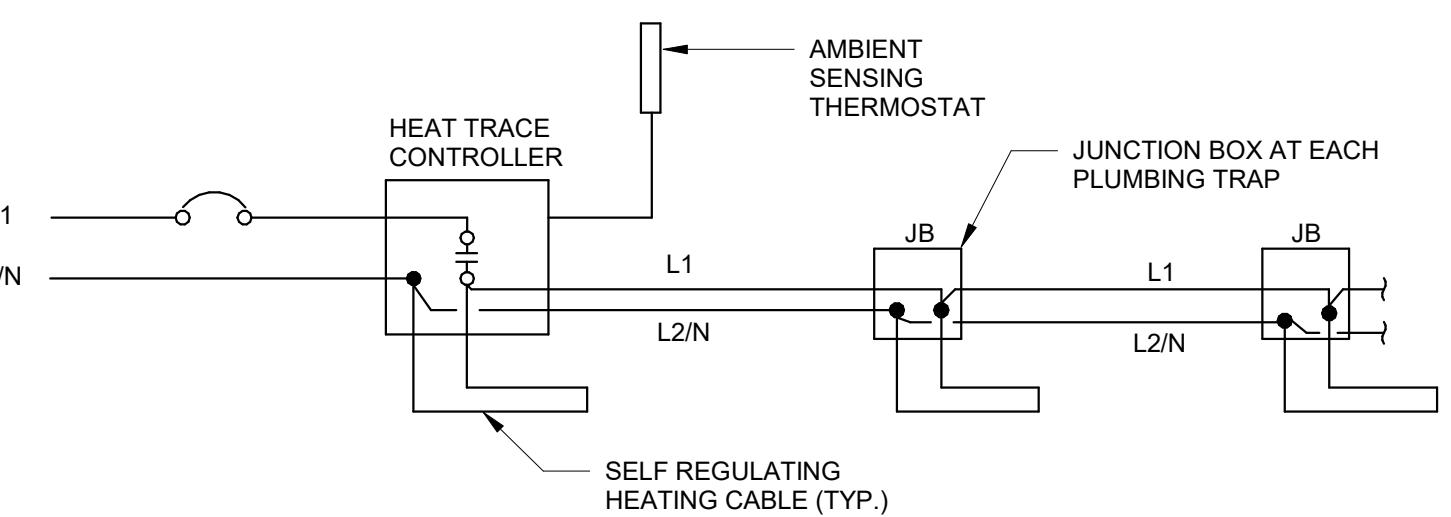


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NOTE : HEAT TRACE COMPONENTS (CONTROLLER, THERMOSTAT, HEATING CABLE, ETC.) SHALL BE PROVIDED UNDER DIVISION 20.
ELECTRICAL COMPONENTS (CIRCUIT BREAKER, WIRING, JUNCTION BOXES, AND TERMINATIONS) SHALL BE PROVIDED UNDER DIVISION 26.

① FREEZE PROTECTION HEAT TRACE SCHEMATIC
NO SCALE

REVIEWED
By Laura DiPasquale at 10:48 am, Nov 05, 2025

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Karen Boulit
10/17/2025



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MECHANICAL EQUIPMENT CONNECTION SCHEDULE												
ID TAG	VOLTS	PH	MCA	MOCP	SS POLES	SS RATED AMPS	FUSE AMPS	FUSE TYPE	MOTOR STARTER/SIZE	PANEL	CIRCUIT	REMARKS
EF-1	120 V	1	3 A	20 A	1	CORD AND PLUG				PANEL H 16		
EF-2	120 V	1	3 A	20 A	1	CORD AND PLUG				PANEL H 16		
EF-3	120 V	1	3 A	20 A	1	CORD AND PLUG				PANEL H 16		
EX WH	120 V	1	19 A	20 A	1	30	NF	NA	NA	PANEL H 28		

LIGHTING FIXTURE SCHEDULE												
TYPE	DESCRIPTION	VOLTS	LAMP TYPE	WATTS	LUMENS	COLOR TEMP. (K)	CRI	MOUNTING	MANUFACTURER	MODEL SERIES		
A	2X2 MVOLT, LENS, RECESSED FLAT PANEL, MATCH EXISTING 2X2 STYLE	120 V	LED	39 VA	4000 lm	3500 K	80	RECESSED	LITHONIA	FRAME SERIES		
EM	DUAL HEAD EMRGNCY LIGHTING UNIT, MVOLT WITH TEST SWITCH, 90 MINUTE BATTERY BACKUP	120 V	LED	3 VA	220 lm	5000 K		WALL	LITHONIA	ELM2L SERIES		
W1	6" DIAMETER DOWNLIGHT, SWITCHABLE, WET LOCATION LISTED, BATTERY BACKUP	120 V	LED	13 VA	1000 lm	4000 K	90	RECESSED	LITHONIA	LDN6 SERIES		
W2	ARCHITECTURAL WALL LUMINAIRE, BUILT-IN PHOTOCELL, MVOLT, P3 PERFORMANCE, FULL CUT OFF, FINISH COLOR BY ARCHITECT	120 V	LED	24 VA	3300 lm	4000 K	80	WALL	LITHONIA	ARC2 LED SERIES		

Branch Panel: PANEL H															
Location:	Volts: 240/120 Single			A.I.C. Rating: EXISTING			BUS OCP Type: MCB			BUS Rating: 225 A					
Supply From:	Phases: 1			Wires: 3			MCB Rating: 200 A								
Notes: EXISTING SQUARE D QO LOADCENTER.															
CKT	Circuit Description	Notes	Trip	Poles	Wire & Conduit Size	A	B	A	B	Wire & Conduit Size	Poles	Trip	Notes	Circuit Description	CKT
1	EX HVAC	3	60 A	2		4.8 kVA	4.8 kVA	4.8 kVA			2	60 A	3	EX HVAC	2
3	--	--	--	--	--	--	--	--	--	--	--	--	--	EX SPARE	4
5	EX HVAC	3	60 A	2		3.7 kVA	0.0 kVA	0.0 kVA			2	40 A	3	EX SPARE	6
7	--	--	--	--	--	3.7 kVA	0.0 kVA	0.0 kVA		--	--	--	--	EX SPARE	8
9	EX B.B. COURT LTG	3	20 A	2		0.2 kVA	0.9 kVA	0.9 kVA	2#12, 1#12 G, 3/4" C		1	20 A	3	HAND DRYER	10
11	--	--	--	--	--	0.2 kVA	0.5 kVA	0.5 kVA			1	20 A	3	EX CIRCUIT	12
13	KITCHEN AREA LIGHTS	3	20 A	1	2#12, 1#12 G, 3/4" C	0.2 kVA	0.4 kVA	0.4 kVA			1	20 A	3	EX RECEPTS	14
15	LIGHTS RIGHT SIDE	3	20 A	1	2#12, 1#12 G, 3/4" C	0.4 kVA	0.5 kVA	0.5 kVA	2#12, 1#12 G, 3/4" C		1	20 A	3	LTG/EFS BATHROOM / JAN	16
17	REFRIGERATOR	3	20 A	1	2#12, 1#12 G, 3/4" C	0.3 kVA	0.4 kVA	0.4 kVA			1	20 A	3	EX RECEPTS	18
19	EX KITCHEN RECEPTS	3	20 A	1		0.5 kVA	0.4 kVA	0.4 kVA			1	20 A	3	EX RECEPTS	20
21	EX LIGHTS LEFT SIDE	3	20 A	1	2#12, 1#12 G, 3/4" C	0.6 kVA	0.4 kVA	0.4 kVA			1	20 A	3	EX RECEPTS	22
23	EXIT/EMERGENCY/LNL	1.3	20 A	1		0.1 kVA	0.4 kVA	0.4 kVA			1	20 A	3	EX RECEPTS	24
25	EX PARKING LOT LTG	3	20 A	1		0.2 kVA	0.4 kVA	0.4 kVA			1	20 A	3	EX RECEPTS	26
27	HAND DRYER	2	20 A	1	2#12, 1#12 G, 3/4" C	0.9 kVA	2.0 kVA	2.0 kVA	2#10, 1#10 G, 3/4" C		1	20 A	3	WATER HEATER	28
29	EXTERIOR RECEPT	2	20 A	1	2#12, 1#12 G, 3/4" C	0.2 kVA	0.9 kVA	0.9 kVA	2#12, 1#12 G, 3/4" C		1	20 A	3	HAND DRYER	30
31	WATER COOLER	2	20 A	1	2#12, 1#12 G, 3/4" C	0.2 kVA	0.2 kVA	0.2 kVA			1	20 A	3	EX PANEL RECEPT	32
33	EXTERIOR LIGHTS	2	20 A	1	2#12, 1#12 G, 3/4" C	0.1 kVA	1.5 kVA	1.5 kVA	2#12, 1#12 G, 3/4" C		1	20 A	2	MICROWAVE	34
35	BATHROOM RECEPTS	2	20 A	1	2#12, 1#12 G, 3/4" C	0.5 kVA	1.9 kVA	1.9 kVA	3#12, 1#12 G, 3/4" C		2	20 A	2	OVEN	36
37	HEAT TRACE	5	20 A	1	2#12, 1#12 G, 3/4" C	0.5 kVA	1.9 kVA	1.9 kVA	--	--	--	--	--	--	38
39	EX SPACE	--	1			--	0.0 kVA	0.0 kVA			2	20 A	2,4	SPD	40
41	EX SPACE	--	1			--	0.0 kVA	0.0 kVA			--	--	--	--	42
Total Load:			22.3 kVA			22.0 kVA			0.0 kVA						
Total Amps:			186 A			184 A			0 A						
Load Classification													Panel Totals		
HVAC	Connected Load	100.00%				26800 VA									
Lighting - General	1659 VA	125.00%				2074 VA									Total Conn. Load: 44354 VA
Power - General	7975 VA	100.00%				7975 VA									Total Est. Demand: 44919 VA
Receptacle	4320 VA	100.00%				4320 VA									Total Conn. Current: 185 A
SP	1000 VA	100.00%				1000 VA									Total Est. Demand Current: 187 A
Water Heating	2000 VA	100.00%				2000 VA									
Lighting	600 VA	125.00%				750 VA									
Notes:															

GENERAL NOTES
(APPLY TO WORK PROVIDED UNDER DIV. 20):

1. PROVIDE LABOR, EQUIPMENT AND MATERIALS NECESSARY FOR THE INSTALLATION OF THE COMPLETE MECHANICAL SYSTEMS AS SPECIFIED HEREIN AND INDICATED IN THE CONTRACT DOCUMENTS. OUTLINE DESCRIPTION AND DIAGRAMMATIC REPRESENTATION OF SYSTEM OPERATION AND EQUIPMENT DOES NOT LIMIT CONTRACTOR LIABILITY FOR FURNISHING AND INSTALLING COMPLETE AND OPERABLE SYSTEMS.
2. THE INSTALLATION SHALL COMPLY WITH THE LATEST EDITION OF THE CODE OF THE LOCAL AUTHORITY HAVING JURISDICTION.
3. "DRAWING NOTES" APPLY TO THE ENTIRE DRAWING ON WHICH THEY APPEAR, WHERE RELEVANT. "SPECIFIC NOTES" APPLY ONLY WHERE INDICATED WITH THE "SPECIFIC NOTE" SYMBOL. REFER TO LEGEND.
4. DUCTWORK TO BE SHEET METAL UNLESS NOTED OTHERWISE.
5. PROVIDE REQUIRED CLEARANCE FOR MAINTENANCE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS OR AS REQUIRED BY CODE FOR MECHANICAL EQUIPMENT.
6. VERIFY THAT EXISTING EQUIPMENT THAT IS TO REMAIN IS FULLY FUNCTIONAL AND OPERATIONAL.
7. INCLUDE IN THE BID PRICE THE PAYMENT OF NECESSARY PERMITS. FURNISH THE OWNER PRIOR TO THE FINAL PAYMENT A CERTIFICATE FROM THE INSPECTION DEPARTMENT HAVING JURISDICTION CERTIFYING THAT THE WORK MEETS THE REQUIREMENTS OF THE LOCAL INSPECTION AUTHORITIES AND/OR THE NATIONAL BOARD OF FIRE UNDERWRITERS.
8. COORDINATE WITH THE OWNER FOR SCHEDULING OF WORK.
9. WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.
10. KEEP THE WORK SITE AND SURROUNDING AREA FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH GENERATED BY WORK FROM THIS CONTRACT. PROPERLY AND LEGALLY DISPOSE OF MATERIALS.
11. JOB SITE SAFETY SHALL BE IN STRICT ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
12. VISIT THE SITE AND CAREFULLY EXAMINE EXISTING CONDITIONS THAT MAY AFFECT THE BID.
13. EXISTING MECHANICAL WORK WHICH WILL NOT BE RENDERED OBSOLETE AND WHICH MAY BE DISTURBED DUE TO ANY CHANGES REQUIRED UNDER THIS CONTRACT SHALL BE RESTORED TO ITS ORIGINAL OPERATING CONDITION. OTHER MECHANICAL ITEMS RENDERED OBSOLETE SHALL BE ABANDONED WHERE CONCEALED AND REMOVED WHERE EXPOSED.
14. WHERE EXISTING MECHANICAL WORK INTERFERES WITH NEW WORK AND WHERE SUCH INSTALLATIONS ARE TO REMAIN IN USE, THE INSTALLATIONS SHALL BE DISCONNECTED AND RELOCATED AND/OR RECONNECTED TO COORDINATE WITH NEW WORK AS INDICATED IN THE CONTRACT DOCUMENTS AND AS SPECIFIED.
15. DO NOT DISCONTINUE ANY MECHANICAL SYSTEM SERVICE WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE USER AGENCY. THE MECHANICAL SYSTEM OUTAGES SHALL BE KEPT TO A MINIMUM.
16. PROVIDE SUBMITTALS (SHOP DRAWINGS) FOR REVIEW FOR NEW MATERIALS AND EQUIPMENT. PRIOR TO SUBMITTING, REVIEW SUBMITTALS FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. CONFLICTS WITH OTHER TRADES, AND CONSTRUCTABILITY. IDENTIFY ANY DEVIATIONS IN SUBMITTALS FROM CONTRACT DOCUMENTS. ENGINEER'S REVIEW OF SUBMITTALS DOES NOT INCLUDE REVIEW OF DIMENSIONS, DETAILS, OR QUANTITIES. REVIEW DOES NOT WAIVE ANY REQUIREMENTS OF CONTRACT DOCUMENTS, INCLUDING REQUIREMENT TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM.
17. WHEN MOUNTING MECHANICAL WORK IN AREAS SUBJECT TO PEDESTRIAN TRAFFIC, MAINTAIN REQUIRED HEADROOM CLEARANCES.
18. MECHANICAL MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS TO MAINTAIN THEIR RESPECTIVE UL RATING AND SHALL CONFORM TO FACTORY MUTUAL STANDARDS AS APPLICABLE.
19. MECHANICAL WORK SHALL BE CONCEALED IN FINISHED AREAS SHOWN ON THE ARCHITECTURAL DRAWINGS UNLESS NOTED OTHERWISE.
20. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT DIFFUSER LOCATIONS AND THE ELECTRICAL DRAWINGS FOR EXACT ELECTRICAL EQUIPMENT LOCATIONS. LOCATIONS OF MECHANICAL EQUIPMENT, DUCTWORK, AND PIPING ARE SHOWN DIAGRAMMATICALLY. DETERMINE EXACT LOCATIONS IN THE FIELD.
21. WHERE NEW OR RELOCATED CONTROL DEVICES ARE SHOWN ON EXISTING WALLS, CUT WALL, INSTALL DEVICE AND CONDUIT, AND REPAIR WALL PROPERLY TO ITS ORIGINAL CONDITION.
22. SEALING FITTINGS AND APPROVED SEALING COMPOUND SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE CODE. SEAL AROUND PENETRATIONS OF FIRE-RATED WALLS WITH AN APPROVED SEALANT.
23. LOCATIONS OF DUCTWORK, AIR DEVICES, TEMPERATURE CONTROLS, AND EQUIPMENT SHALL BE COORDINATED WITH THE ARCHITECTURAL LAYOUTS, EQUIPMENT CUTS AND PLUMBING/ELECTRICAL/STRUCTURAL PLANS. NO WORK SHALL BE INSTALLED UNTIL THE LOCATIONS HAVE BEEN VERIFIED. BRING ANY DISCREPANCY TO THE ARCHITECTS ATTENTION PRIOR TO MANUFACTURING OF DUCTWORK OR INSTALLATION.
24. NORTH ARROWS ON THESE DRAWINGS INDICATE PLAN NORTH ONLY.
25. INSTALL A MANUAL VOLUME DAMPER IN EACH BRANCH DUCT THAT RUNS TO (1) AIR DEVICE. VERIFY EACH BRANCH IN EXISTING TO REMAIN DUCTWORK HAS AN OPERABLE DAMPER. PROVIDE NEW MANUAL VOLUME DAMPER WHERE ONE DOES NOT EXIST OR EXISTING DAMPER IS INOPERABLE.
26. PROVIDE PIPE SLEEVE FOR PIPING PENETRATIONS THROUGH RATED SLABS OR WALLS.
27. DUCT JOINTS SHALL BE SEALED USING 3M MODEL 540 DUCT SEALER. EXCESS SEALER SHALL BE REMOVED FROM DUCTWORK AND JOINTS. PAINT SEALED JOINTS TO MATCH FINISH OF DUCTWORK.

GENERAL DEMOLITION NOTES
(APPLY TO WORK PROVIDED UNDER DIV. 20):

1. DEMOLITION WORK IS GENERALLY INDICATED AS PART OF THESE NOTES AND THE NOTES INDICATED ON THE ARCHITECTURAL DEMOLITION PLANS.
2. VERIFY THAT EXISTING PIPING, EQUIPMENT, ETC. THAT IS CALLED FOR REMOVAL IS NO LONGER IN SERVICE BEFORE BEGINNING DEMOLITION.
3. THE DEMOLITION NOTES INDICATE THE MAIN COMPONENTS OF SYSTEMS AND EQUIPMENT THAT SHALL BE REMOVED UNDER THIS CONTRACT. IF SYSTEMS AND EQUIPMENT ARE FOUND DURING CONSTRUCTION THAT THE OWNER AUTHORIZES FOR REMOVAL BUT HAVE NOT BEEN SPECIFICALLY CALLED FOR DEMOLITION, REMOVE THE SYSTEMS AND EQUIPMENT.
4. WHEN THE WORK SPECIFIED HEREUNDER CONNECTS TO ANY EXISTING EQUIPMENT, PIPING, ETC., PERFORM NECESSARY ALTERATIONS, CUTTING, FITTING, ETC. OF THE EXISTING WORK AS MAY BE NECESSARY OR REQUIRED TO MAKE SATISFACTORY CONNECTIONS BETWEEN THE NEW AND EXISTING WORK AND LEAVE THE COMPLETE WORK IN A FINISHED AND WORKMANLIKE CONDITION.
5. WHEN THE WORK SPECIFIED UNDER OTHER DIVISIONS NECESSITATES RELOCATION OF EXISTING EQUIPMENT, PIPING, ETC. PERFORM WORK AND MAKE NECESSARY CHANGES TO EXISTING WORK AS MAY BE REQUIRED TO LEAVE THE COMPLETED WORK IN A FINISHED AND WORKMANLIKE CONDITION.
6. REMOVE FROM THE PREMISES AND DISPOSE OF EXISTING PIPING, MATERIAL, FIXTURES, EQUIPMENT, ETC. NOT REQUIRED FOR RE-USE OR RE-INSTALLATION.
7. DELIVER ON THE PREMISES WHERE DIRECTED EXISTING MATERIAL AND EQUIPMENT WHICH IS REMOVED AND IS DESIRED BY THE OWNER OR IS INDICATED TO REMAIN THE PROPERTY OF THE OWNER.
8. OTHER MATERIALS AND EQUIPMENT WHICH ARE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES.
9. PIPING ABANDONED IN CONCRETE SLABS, WALLS, OR OTHER INACCESSIBLE LOCATIONS SHALL BE LEFT EMPTY.

MECHANICAL LEGEND

SYMBOL	ABBREV	DESCRIPTION	ABBREV	DESCRIPTION
	SHV	SHUTOFF VALVE	AFF	ABOVE FINISHED FLOOR
	CV	CHECK VALVE	BTU	BRITISH THERMAL UNIT
	BWV	BACK WATER VALVE	CB	CATCH BASIN
	PRV	PRESSURE REDUCING VALVE	CFH	CUBIC FEET HOUR
		PIPE TURNING UP	CFM	CUBIC FEET MINUTE
		PIPE TURNING DOWN	DIFF	DIFFUSER
		TEE TURNING UP	DB	DRY BULB
		TEE TURNING DOWN	EAT	ENTERING AIR TEMPERATURE
	T	THERMOSTAT	ESP	EXTERNAL STATIC PRESSURE
	CO	CARBON MONOXIDE SENSOR	EX	EXISTING
	NO2	NITROGEN DIOXIDE SENSOR	EXH	EXHAUST
	AS	AIR SENSOR	EXTR	EXISTING TO REMAIN
	VC	VENTILATION CONTROLLER	(FLOOR PLAN-M-1)	FOR CONTINUATION SEE FLOOR PLAN ON DRAWING M-1
		SUPPLY DUCT TURNED UP	GRILLE	GRILLE
		SUPPLY DUCT TURNED DOWN	GPM	GALLONS PER MINUTE
		RETURN OR OUTSIDE AIR DUCT TURNED UP	KW	KILOWATTS
		RETURN OR OUTSIDE AIR DUCT TURNED DOWN	LAT	LEAVING AIR TEMPERATURE
		EXHAUST AIR DUCT TURNED UP	MBH	THOUSAND BTU/HR
		EXHAUST AIR DUCT TURNED DOWN	OA	OUTSIDE AIR
		FLEXIBLE DUCT CONNECTION	PD	PRESSURE DROP
	MVD	MANUAL VOLUME DAMPER	RA	RETURN AIR
	MOD	MOTOR OPERATED DAMPER	REG	REGISTER
	SD	SMOKE DAMPER	RX	REMOVE EXISTING
	FD	FIRE DAMPER	SA	SUPPLY AIR
	F/SD	FIRE SMOKE DAMPER	TSP	TOTAL STATIC PRESSURE
	BDD	BACKDRAFT DAMPER	V-PH	VOLT-PHASE
	WBD	WEIGHTED BAROMETRIC RELIEF DAMPER	VTR	VENT THROUGH ROOF
	R	INCLINED DUCT RISE		
	D	INCLINED DUCT DOWN		
		MATCH LINE		
	1	SECTION DESIGNATION		
	1	DETAIL DESIGNATION		
		CONNECT TO EXISTING		
		DEMO TO THIS POINT		

DRAWING LIST - MECHANICAL	
SHEET NUMBER	SHEET NAME
M-001	SYMBOLS, NOTES AND ABBREVIATIONS
M-101	MECHANICAL FLOOR PLANS
M-701	MECHANICAL SCHEDULE



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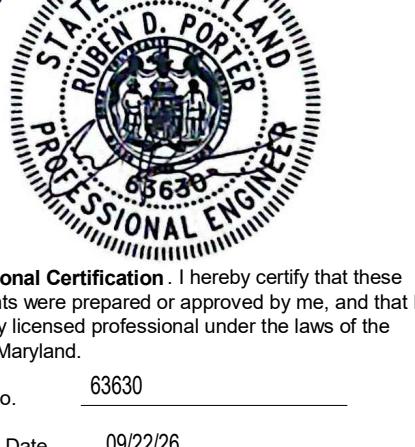
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APPROVED

Montgomery County
Historic Preservation Commission

Karen Bulet



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License No. 63630
Expiration Date 09/22/26

Project Name and Location
Norbeck-Muncaster Mill Neighborhood Park Activity Building Renovation

4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman

Liber: 29914
Folio: 0259
Tax Map: HS342
WSSC:

Revisions		
No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title
SYMBOLS, NOTES AND ABBREVIATIONS

100% Construction Documents (Permit Set)

Drawing No.
M-001

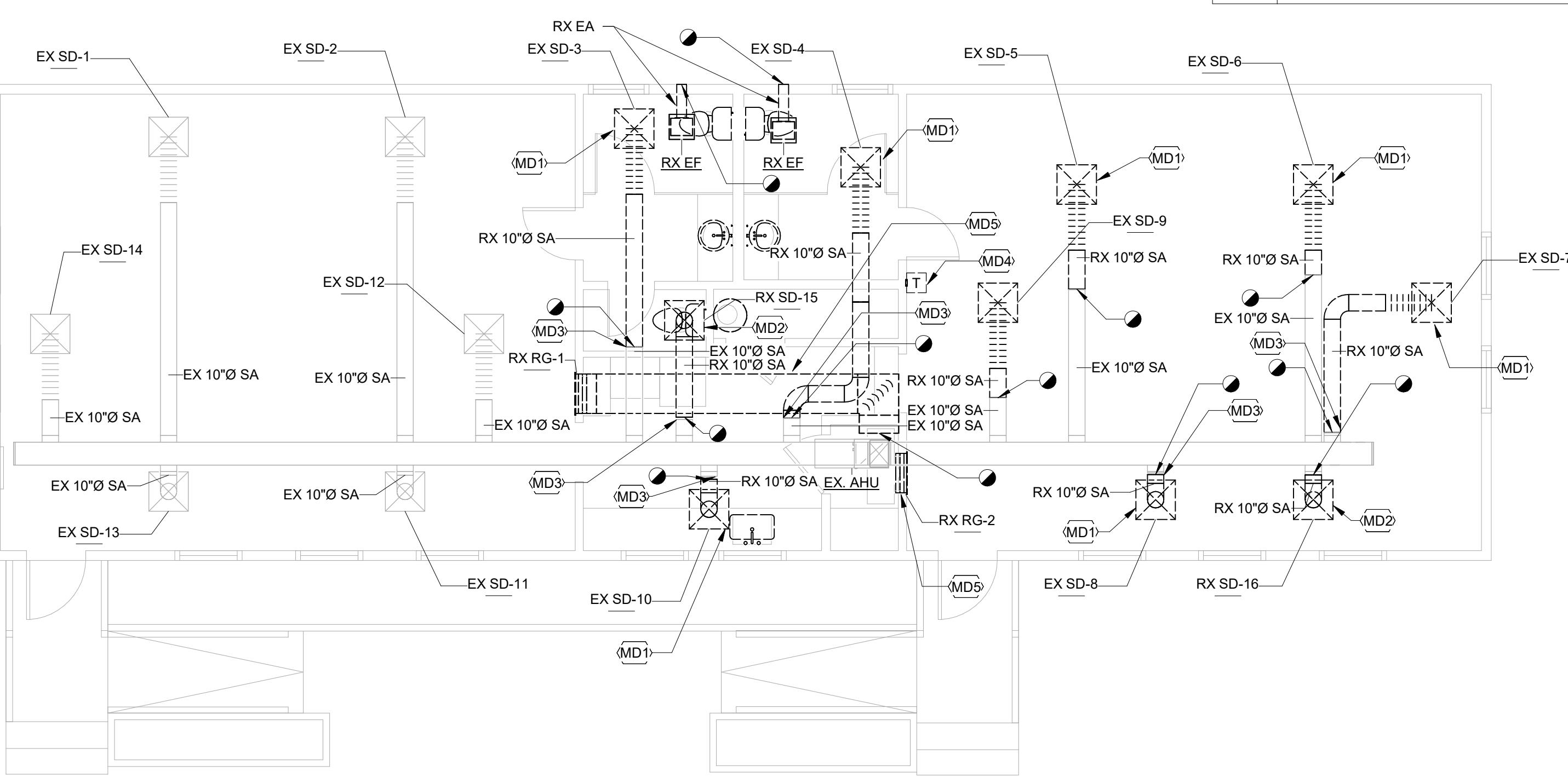
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OVERALL SHT. # **17** of **23**



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SPECIFIC NOTES - HVAC DEMO

- MD1 REMOVE AND REFURBISH AIR DEVICE. AIR DEVICE SHALL BE REINSTALLED. REFER TO NEW WORK PLAN FOR LOCATION.
- MD2 REMOVE AIR DEVICE.
- MD3 CAP AND SEAL THE DUCT.
- MD4 REMOVE AND RETAIN THE EXISTING THERMOSTAT. THERMOSTAT SHALL BE LOCATED REFER TO NEW WORK PLAN FOR LOCATION.
- MD5 DEMOLISH THE RETURN DUCT.

SPECIFIC NOTES - HVAC NEW

- M2 RELOCATED EXISTING AIR DEVICE.
- M3 6" DIA. EA TO TERMINATE AS WALL CAP WITH INTEGRAL BACKDRAFT DAMPER.
- M4 LOW SIDEWALL RETURN CONNECT TO EXISTING DUCT PLENUM.

REVIEWED
By Laura DiPasquale at 10:48 am, Nov 05, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Buleit



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.

License No. 63630
Expiration Date 09/22/26

Project Name and Location

Norbeck-Muncaster Mill Neighborhood Park Activity Building Renovation
4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman
Liber: 29914 Tax Map: HS342
Folio: 0259 WSSC:

No.	Date	Description

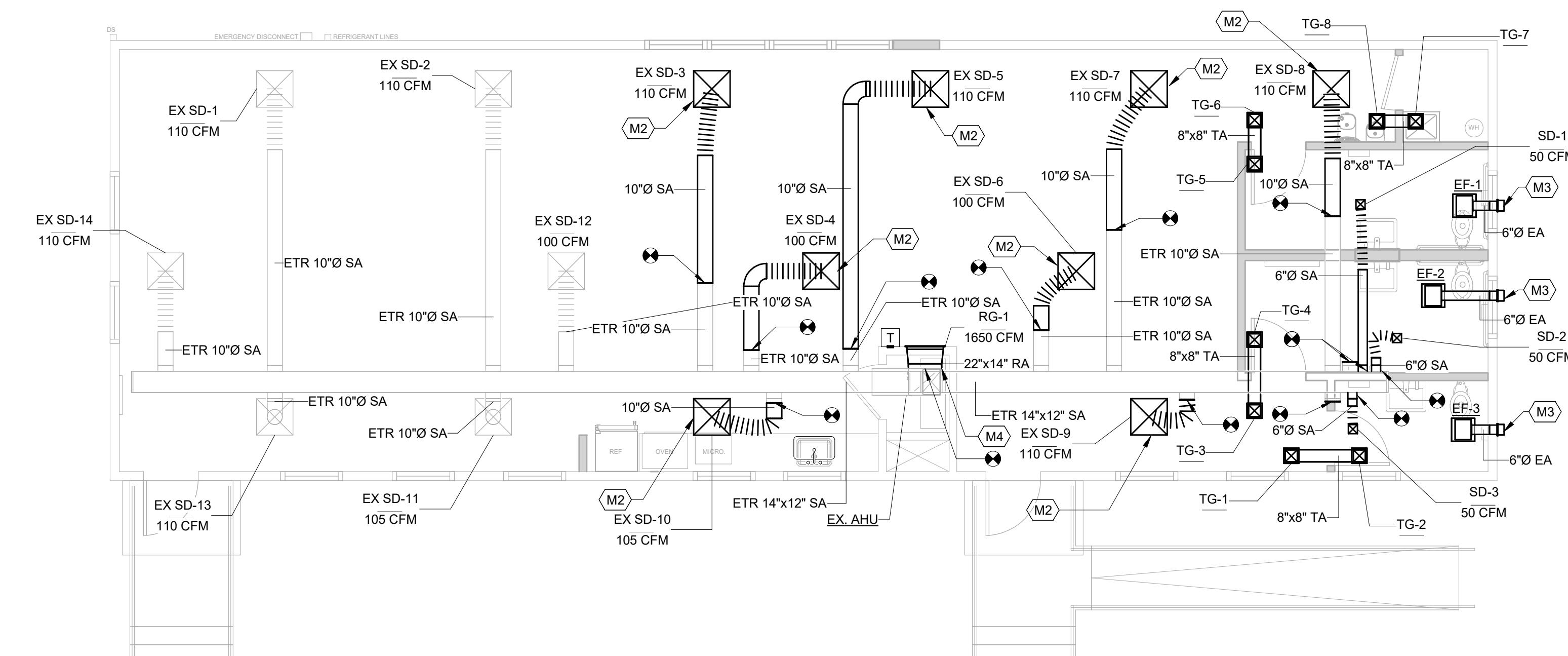
Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title
MECHANICAL FLOOR PLANS

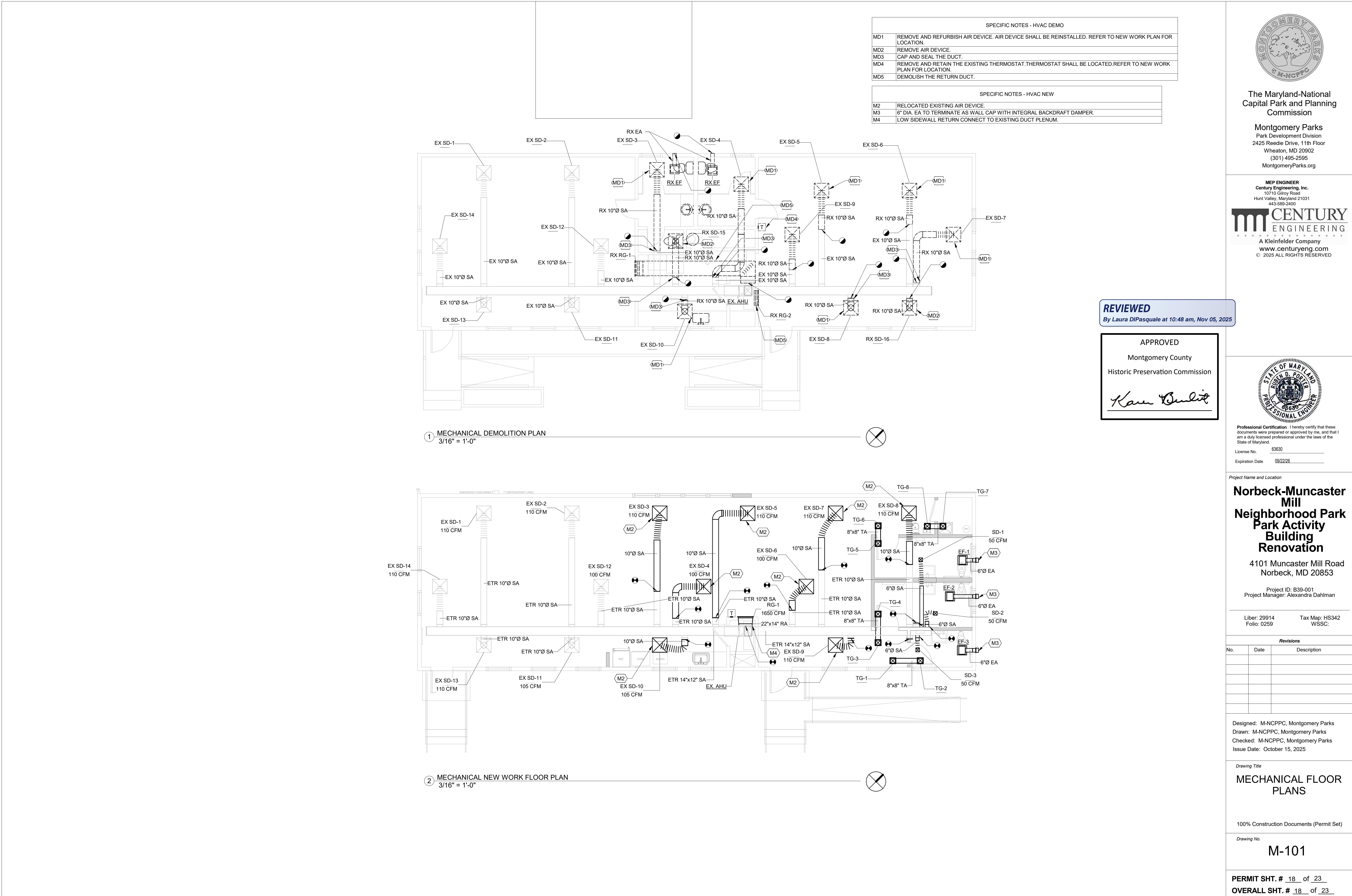
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Drawing No.
M-101

PERMIT SHT. # 18 of 23
OVERALL SHT. # 18 of 23



② MECHANICAL NEW WORK FLOOR PLAN
3/16" = 1'-0"





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AIR DEVICE SCHEDULE - CEILING SUPPLY DIFFUSERS						
MARK	SERVING	FLOW (CFM)	NECK SIZE	FACE SIZE	MANUFACTURER	SERIES
SD-1	SUPPLY	50	6"Ø	6"x6"	TITUS	TDC
SD-2	SUPPLY	50	6"Ø	6"x6"	TITUS	TDC
SD-3	SUPPLY	50	6"Ø	6"x6"	TITUS	TDC

NOTES:
1. MAXIMUM PRESSURE DROP SHALL BE 0.1 IN. W.C.

AIR DEVICE SCHEDULE - RETURN GRILLE						
MARK	SERVING	FLOW (CFM)	LENGTH (IN.)	WIDTH (IN.)	MANUFACTURER	SERIES
RG-1	RETURN	1650	24	22	TITUS	350R

NOTES:
1. MAXIMUM PRESSURE DROP SHALL BE 0.05 IN. W.C.

AIR DEVICE SCHEDULE - TRANSFER AIR GRILLE						
MARK	SERVING	NECK SIZE	LENGTH (IN.)	WIDTH (IN.)	MANUFACTURER	SERIES
TG-1	TRANSFER	8"x8"	8	8	TITUS	350
TG-2	TRANSFER	8"x8"	8	8	TITUS	350
TG-3	TRANSFER	8"x8"	8	8	TITUS	350
TG-4	TRANSFER	8"x8"	8	8	TITUS	350
TG-5	TRANSFER	8"x8"	8	8	TITUS	350
TG-6	TRANSFER	8"x8"	8	8	TITUS	350
TG-7	TRANSFER	8"x8"	8	8	TITUS	350
TG-8	TRANSFER	8"x8"	8	8	TITUS	350

NOTES:
1. MAXIMUM PRESSURE DROP SHALL BE 0.05 IN. W.C.

EXHAUST FAN SCHEDULE											
DESIG.	SERVING	CFM	ESP (IN. W.C.)	MOTOR RPM	DRIVE TYPE	FAN TYPE	WATTAGE	ELECTRICAL		MANUFACTURER	SERIES
								VOLTAGE	PHASE		
EF-1	TOILET	85 CFM	0.50	900	DIRECT	CEILING	19	120 V	1	GREENHECK	SP-B
EF-2	TOILET	85 CFM	0.50	900	DIRECT	CEILING	19	120 V	1	GREENHECK	SP-B
EF-3	TOILET	85 CFM	0.50	900	DIRECT	CEILING	19	120 V	1	GREENHECK	SP-B

REVIEWED

By Laura DiPasquale at 10:48 am, Nov 05, 2025



Professional Corporation. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.

License No. 63630
Expiration Date 09/22/26

Project Name and Location

Norbeck-Muncaster Mill Neighborhood Park Park Activity Building Renovation

4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman

Liber: 29914 Tax Map: HS342
Folio: 0259 WSSC:

Revisions		
No.	Date	Description

Designed: M-NCPCC, Montgomery Parks
Drawn: M-NCPCC, Montgomery Parks
Checked: M-NCPCC, Montgomery Parks
Issue Date: October 15, 2025

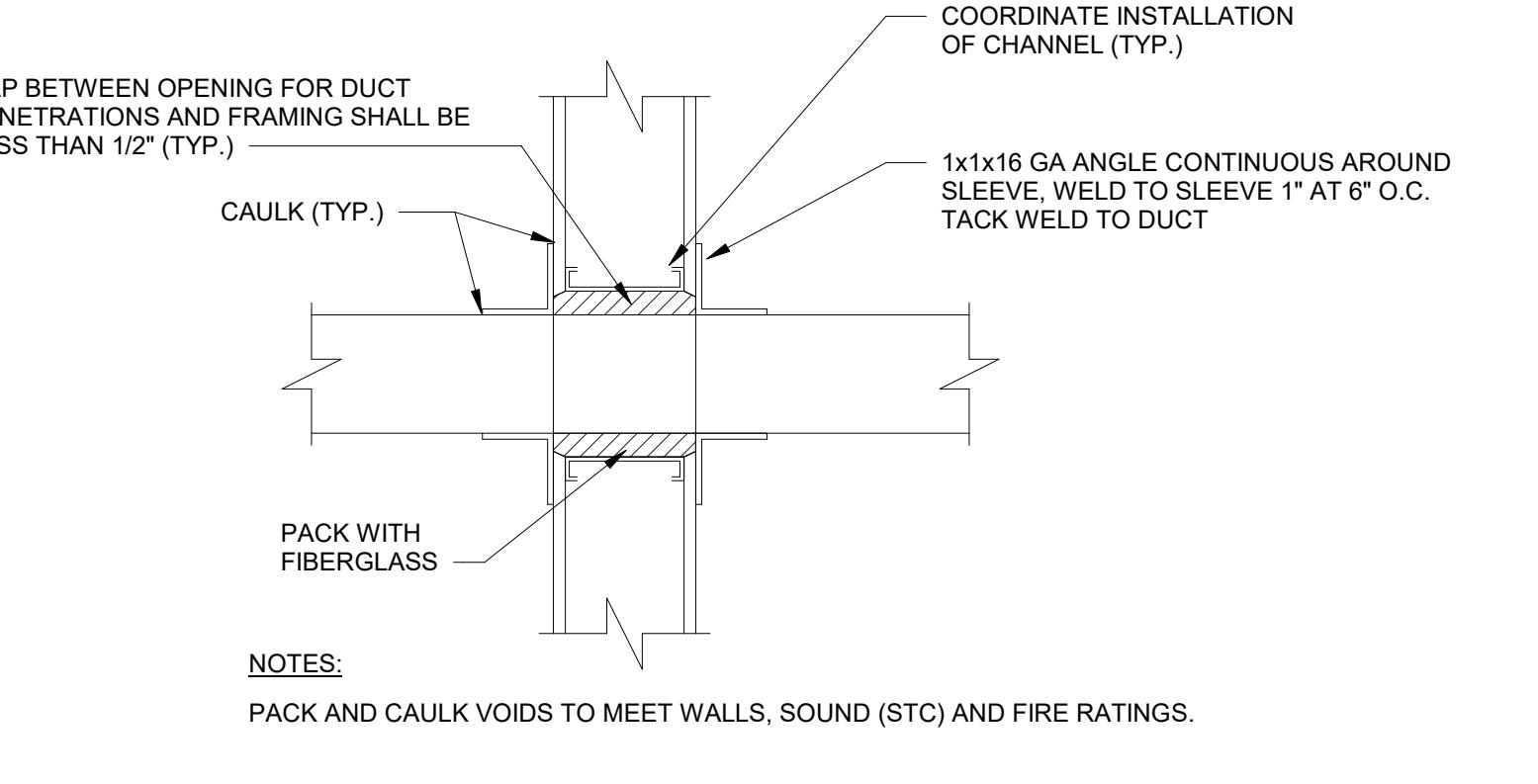
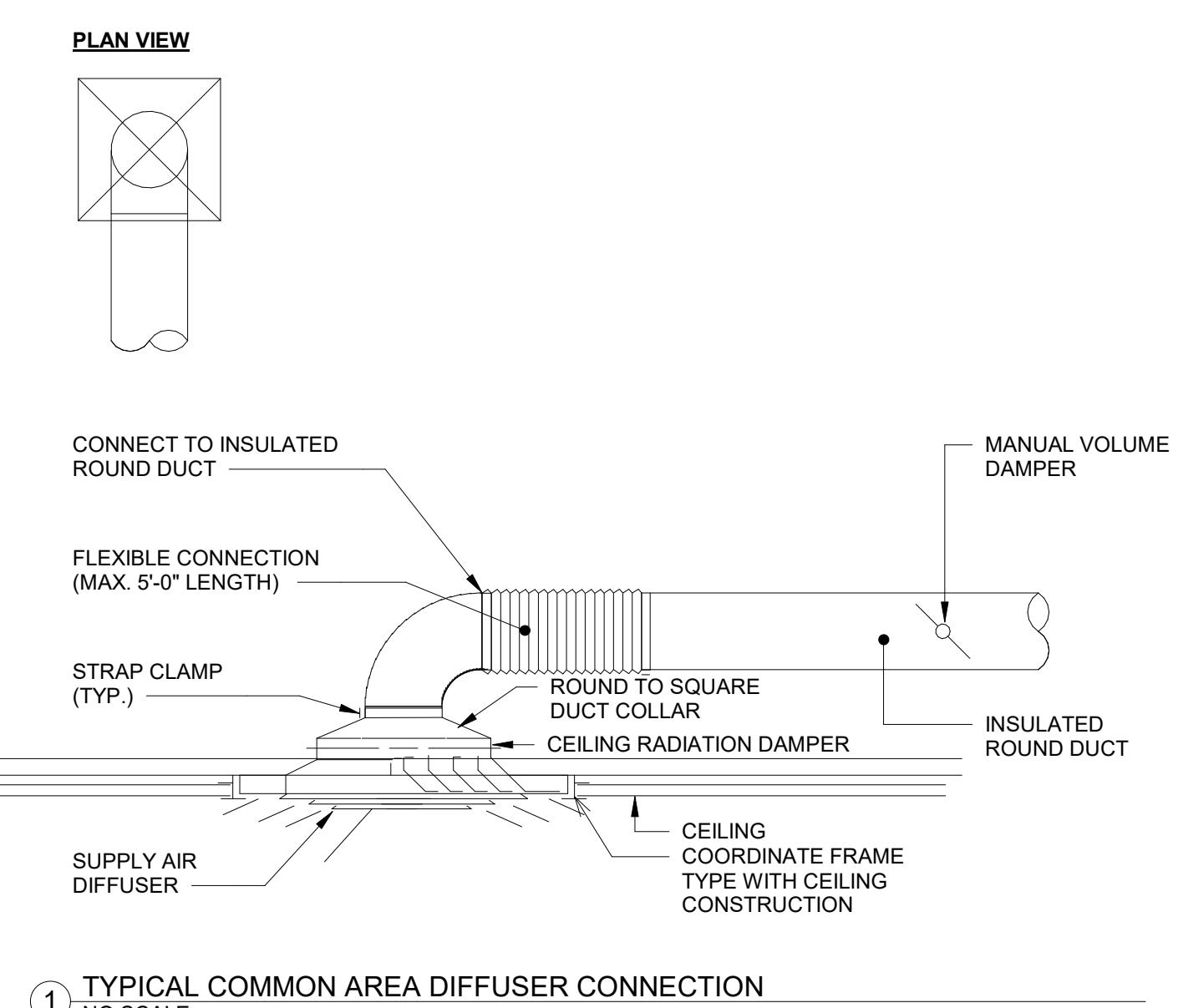
Drawing Title

MECHANICAL SCHEDULE

100% Construction Documents (Permit Set)

Drawing No. M-701

PERMIT SHT. # 19 of 23
OVERALL SHT. # 19 of 23





The Maryland-National
Capital Park and Planning
Commission

Montgomery Parks
Park Development Division
2425 Reedy Drive, 11th Floor
Wheaton, MD 20902
(301) 495-2595
MontgomeryParks.org

MEP ENGINEER
Century Engineering Inc.
10710 Gilroy Road
Hunt Valley, Maryland 21031
443-589-2400



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**GENERAL NOTES
(APPLY TO WORK PROVIDED UNDER DIV. 20):**

1. PROVIDE LABOR, EQUIPMENT AND MATERIALS NECESSARY FOR THE INSTALLATION OF THE COMPLETE PLUMBING SYSTEMS AS SPECIFIED HEREIN AND INDICATED IN THE CONTRACT DOCUMENTS. OUTLINE DESCRIPTION AND DIAGRAMMATIC REPRESENTATION OF SYSTEM OPERATION AND EQUIPMENT DOES NOT LIMIT CONTRACTOR LIABILITY FOR FURNISHING AND INSTALLING COMPLETE AND OPERABLE SYSTEMS.
2. THE INSTALLATION SHALL COMPLY WITH THE LATEST EDITION OF THE CODE OF THE LOCAL AUTHORITY HAVING JURISDICTION.
3. "DRAWING NOTES" APPLY TO THE ENTIRE DRAWING ON WHICH THEY APPEAR, WHERE RELEVANT. "SPECIFIC NOTES" APPLY ONLY WHERE INDICATED WITH THE "SPECIFIC NOTE" SYMBOL. REFER TO LEGEND.
4. PROVIDE REQUIRED CLEARANCE FOR MAINTENANCE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS OR AS REQUIRED BY CODE FOR MECHANICAL AND PLUMBING EQUIPMENT.
5. VERIFY THAT EXISTING EQUIPMENT THAT IS TO REMAIN IS FULLY FUNCTIONAL AND OPERATIONAL.
6. INCLUDE IN THE BID PRICE THE PAYMENT OF NECESSARY PERMITS. FURNISH THE OWNER PRIOR TO THE FINAL PAYMENT A CERTIFICATE FROM THE INSPECTION DEPARTMENT HAVING JURISDICTION CERTIFYING THAT THE WORK MEETS THE REQUIREMENTS OF THE LOCAL INSPECTION AUTHORITIES AND/OR THE NATIONAL BOARD OF FIRE UNDERWRITERS.
7. COORDINATE WITH THE OWNER FOR SCHEDULING OF WORK.
8. WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.
9. KEEP THE WORK SITE AND SURROUNDING AREA FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH GENERATED BY WORK FROM THIS CONTRACT. PROPERLY AND LEGALLY DISPOSE OF MATERIALS.
10. JOB SITE SAFETY SHALL BE IN STRICT ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
11. VISIT THE SITE AND CAREFULLY EXAMINE EXISTING CONDITIONS THAT MAY AFFECT THE BID.
12. EXISTING PLUMBING WORK WHICH WILL NOT BE RENDERED OBSOLETE AND WHICH MAY BE DISTURBED DUE TO ANY CHANGES REQUIRED UNDER THIS CONTRACT SHALL BE RESTORED TO ITS ORIGINAL OPERATING CONDITION. OTHER PLUMBING ITEMS OR PLUMBING FIXTURES RENDERED OBSOLETE SHALL BE ABANDONED WHERE CONCEALED AND REMOVED WHERE EXPOSED.
13. WHERE EXISTING PLUMBING WORK INTERFERS WITH NEW WORK AND WHERE SUCH INSTALLATIONS ARE TO REMAIN IN USE, THE INSTALLATIONS SHALL BE DISCONNECTED AND RELOCATED AND/OR RECONNECTED TO COORDINATE WITH NEW WORK AS INDICATED IN THE CONTRACT DOCUMENTS AND AS SPECIFIED.
14. DO NOT DISCONTINUE ANY PLUMBING SYSTEM SERVICE WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE USER AGENCY. THE PLUMBING SYSTEM OUTAGES SHALL BE KEPT TO A MINIMUM.
15. PROVIDE SUBMITTALS (SHOP DRAWINGS) FOR REVIEW FOR NEW MATERIALS AND EQUIPMENT. PRIOR TO SUBMITTING, REVIEW SUBMITTALS FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS, CONFLICTS WITH OTHER TRADES, AND CONSTRUCTABILITY. IDENTIFY ANY DEVIATIONS IN SUBMITTALS FROM CONTRACT DOCUMENTS. ENGINEER'S REVIEW OF SUBMITTALS DOES NOT INCLUDE REVIEW OF DIMENSIONAL DETAILS, OR QUANTITIES. REVIEW DOES NOT WAIVE ANY REQUIREMENTS OF CONTRACT DOCUMENTS, INCLUDING REQUIREMENT TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM.
16. WHEN MOUNTING PLUMBING WORK IN AREAS SUBJECT TO PEDESTRIAN TRAFFIC, MAINTAIN REQUIRED HEADROOM CLEARANCES.
17. PLUMBING MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS TO MAINTAIN THEIR RESPECTIVE UL RATING AND SHALL CONFORM TO FACTORY MUTUAL STANDARDS AS APPLICABLE.
18. PLUMBING WORK SHALL BE CONCEALED IN FINISHED AREAS SHOWN ON THE ARCHITECTURAL DRAWINGS UNLESS NOTED OTHERWISE.
19. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT FIXTURE LOCATIONS AND THE ELECTRICAL DRAWINGS FOR EXACT ELECTRICAL EQUIPMENT LOCATIONS. LOCATIONS PLUMBING EQUIPMENT AND PIPING ARE SHOWN DIAGRAMMATICALLY. DETERMINE EXACT LOCATIONS IN THE FIELD.
20. SEALING FITTINGS AND APPROVED SEALING COMPOUND SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE CODE. SEAL AROUND PENETRATIONS OF FIRE-RATED WALLS WITH AN APPROVED SEALANT.
21. SANITARY AND DRAINAGE PIPING SHALL RUN AT 1% SLOPE MINIMUM, UNLESS NOTED OTHERWISE.
22. LOCATIONS OF DRAINS AND CONNECTIONS TO FIXTURES AND EQUIPMENT SHALL BE COORDINATED WITH FLOOR PLANS, EQUIPMENT CUTS AND MECHANICAL/ELECTRICAL/STRUCTURAL PLANS. NO WORK SHALL BE INSTALLED UNTIL LOCATIONS HAVE BEEN VERIFIED.
23. PLUMBING FIXTURES SHALL BE CAULKED TO THE ADJOINING FLOOR OR WALL SURFACE.
24. PROVIDE CLEANOUTS IN SANITARY AND DRAIN LINES EVERY 50 FEET UNLESS INDICATED AT CLOSER INTERVALS ON THE DRAWINGS AND AT CHANGES OF DIRECTION.
25. THE PLUMBING FIXTURE SCHEDULE AND SPECIFICATIONS SUPERCEDE THE SYMBOLS INDICATED ON THE FLOOR PLANS.
26. PIPE DROPS IN EXTERIOR WALLS SHALL BE INBOARD OF INSULATION.
27. EXTEND VENT PIPING FROM GAS PRESSURE REGULATORS TO DISCHARGE TO THE EXTERIOR.
28. PROVIDE INSULATION AND SELF-REGULATING HOT WATER TEMPERATURE MAINTENANCE TAPE (HWAT) ON THE HOT WATER LINES TO COMPLY WITH THE INTERNATIONAL ENERGY CONSERVATION CODE. THE MAXIMUM ALLOWABLE PIPE LENGTH FROM THE NEAREST SOURCE OF HEATED WATER TO THE TERMINATION OF THE SUPPLY PIPE SHALL BE IN ACCORDANCE WITH THE FOLLOWING CHART UTILIZING THE LARGEST SIZE OF PIPING WITH THE PLUMBING SYSTEM, TO DETERMINE THE MAXIMUM ALLOWABLE LENGTH.

NOMINAL PIPE SIZES (inches)	VOLUME (liquid ounces per foot length)	MAXIMUM PIPING LENGTH (feet)	
		Public lavatory faucets	other fixtures and appliances
1/4	0.33	6	50
5/16	0.5	4	50
3/8	0.75	3	50
1/2	1.5	2	43
5/8	2	1	32
3/4	3	0.5	21
7/8	4	0.5	16
1	5	0.5	13
1 1/4	8	0.5	8
1 1/2	11	0.5	6
2 or larger	18	0.5	4

**GENERAL DEMOLITION NOTES
(APPLY TO WORK PROVIDED UNDER DIV. 20):**

1. DEMOLITION WORK IS GENERALLY INDICATED AS PART OF THESE NOTES AND THE NOTES INDICATED ON THE ARCHITECTURAL DEMOLITION PLANS.
2. VERIFY THAT EXISTING PIPING, EQUIPMENT, ETC. THAT IS CALLED FOR REMOVAL IS NO LONGER IN SERVICE BEFORE BEGINNING DEMOLITION.
3. THE DEMOLITION NOTES INDICATE THE MAIN COMPONENTS OF SYSTEMS AND EQUIPMENT THAT SHALL BE REMOVED UNDER THIS CONTRACT. IF SYSTEMS AND EQUIPMENT ARE FOUND DURING CONSTRUCTION THAT THE OWNER AUTHORIZES FOR REMOVAL BUT HAVE NOT BEEN SPECIFICALLY CALLED FOR DEMOLITION, REMOVE THE SYSTEMS AND EQUIPMENT.
4. WHEN THE WORK SPECIFIED HEREUNDER CONNECTS TO ANY EXISTING EQUIPMENT, PIPING, ETC., PERFORM NECESSARY ALTERATIONS, CUTTING, FITTING, ETC. OF THE EXISTING WORK AS MAY BE NECESSARY OR REQUIRED TO MAKE SATISFACTORY CONNECTIONS BETWEEN THE NEW AND EXISTING WORK AND LEAVE THE COMPLETE WORK IN A FINISHED AND WORKMANLIKE CONDITION.
5. WHEN THE WORK SPECIFIED UNDER OTHER DIVISIONS NECESSITATES RELOCATION OF EXISTING EQUIPMENT, PIPING, ETC. PERFORM WORK AND MAKE NECESSARY CHANGES TO EXISTING WORK AS MAY BE REQUIRED TO LEAVE THE COMPLETED WORK IN A FINISHED AND WORKMANLIKE CONDITION.
6. REMOVE FROM THE PREMISES AND DISPOSE OF EXISTING PIPING, MATERIAL, FIXTURES, EQUIPMENT, ETC. NOT REQUIRED FOR RE-USE OR RE-INSTALLATION.
7. DELIVER ON THE PREMISES WHERE DIRECTED EXISTING MATERIAL AND EQUIPMENT WHICH IS REMOVED AND IS DESIRED BY THE OWNER OR IS INDICATED TO REMAIN THE PROPERTY OF THE OWNER.
8. OTHER MATERIALS AND EQUIPMENT WHICH ARE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES.
9. PIPING ABANDONED IN CONCRETE SLABS, WALLS, OR OTHER INACCESSIBLE LOCATIONS SHALL BE LEFT EMPTY.

SPECIFIC NOTES - PLUMBING	
P2	RELOCATED WATER HEATER SHALL BE MOUNTED ON WALL.
PD1	REMOVE SANITARY PIPING ASSOCIATED WITH PLUMBING FIXTURE. CAP EXISTING SANITARY BRANCH AND ABANDON IN PLACE.
PD2	REMOVE DOMESTIC PIPING ASSOCIATED WITH PLUMBING FIXTURE. CAP EXISTING DOMESTIC BRANCH AND ABANDON IN PLACE.
PD3	REMOVE AND RETAIN EXISTING WATER HEATER, EXPANSION TANK AND ASSOCIATED PIPING. WATER HEATER SHALL BE RELOCATED.
PD4	VERIFY IN FIELD THE LOCATION AND INVERT OF EXITING SANITARY PIPING.
PD5	REMOVE VENT PIPING ASSOCIATED WITH PLUMBING FIXTURE. CAP EXISTING VENT BRANCH AND ABANDON IN PLACE.

PLUMBING LEGEND

SYMBOL	ABBREV	DESCRIPTION	AFF	DETAIL DESIGNATION
— SW —	SP.SAN	SANITARY PIPE	BTU	ABOVE FINISHED FLOOR
SW	SW	STORM WATER	CB	BRITISH THERMAL UNIT
D CO D CO	D	DRAIN	CFH	CATCH BASIN
— — —	VP	VENTPIPE	CFM	CUBIC FEET MINUTE
— — —	CW	COLD WATER	DIFF	DIFFUSER
— — —	HW	HOT WATER	DN	DOWN
— — —	T	TEMPERED WATER	EX	EXISTING
— — —	G	GAS	EXTR	EXISTING TO REMAIN
— — —	F	FIRE LINE	FLOOR	FOR CONTINUATION SEE FLOOR
— — —	TP	FLOW METER FITTING	PLAN	PLAN ON DRAWING M-1
— — —	TP	TRAP PRIMER	GPM	GALLONS PER MINUTE
— — —	MAV	RELIEFVALVE	KW	KILOWATTS
— — —	AAV	MANUAL AIR VALVE	MBH	THOUSAND BTU/HR
— — —	AAV	AUTOMATIC AIR VALVE	V-PH	VOLT-PHASE
— — —	—	STRAINERW/VALVE	VTR	VENT THROUGH ROOF
— — —	—	UNION		
— — —	SA	SHOCK ABSORBER		
— — —	FS	FLOW SWITCH		
— — —	—	THERMOMETER		
— — —	—	THERMOMETER WELL		
— — —	PG	PRESSURE GAUGE W/ SYPHON & NEEDLE VALVE		
— — —	PG	PRESSURE GAUGE W/NEEDLE VALVE		
— — —	PG	PRESSURE GAUGE TAPPING		
— — —	PG	PIPE GUIDE		
— — —	PG	ANCHOR		
— — —	OS&Y	FLEXIBLE PIPE CONNECTION		
— — —	OS&Y	OS&Y VALVE W/ TAMPER SWITCH		
— — —	BWV	SHUTOFF VALVE		
— — —	BWV	CHECK VALVE		
— — —	BWV	BACK WATER VALVE		
— — —	PRV	PRESSURE REDUCING VALVE		
— — —	PRV	PIPE TURNING UP		
— — —	PRV	PIPE TURNING DOWN		
— — —	—	TEE TURNING UP		
— — —	—	TEE TURNING DOWN		
— — —	WH	WALL HYDRANT		
— — —	WH	WALL HYDRANT		
— — —	AD	GAS PRESSURE REGULATOR		
— — —	AD	AREA DRAIN		
— — —	FD	FLOOR DRAIN WITH TRAP PRIMER		
— — —	RD	ROOF DRAIN		
— — —	—	MATCH LINE		
— — —	—	SECTION DESIGNATION		
— — —	—	CONNECT TO EXISTING		
— — —	—	DEMO TO THIS POINT		

DRAWING LIST - PLUMBING	
SHEET NUMBER	SHEET NAME
P-001	SYMBOLS, NOTES AND ABBREVIATIONS
P-101	PLUMBING DEMOLITION PLANS
P-102	PLUMBING NEW WORK FLOOR PLANS
P-701	PLUMBING SCHEDULE

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

SYMBOLS, NOTES AND ABBREVIATIONS

100% Construction Documents (Permit Set)

Drawing No. **P-001**

PERMIT SHT. # **20** of **23**
OVERALL SHT. # **20** of **23**



The Maryland-National Capital Park and Planning Commission

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Park Development Division
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Wheaton, MD 20902
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REVIEWED

By Laura DiPasquale at 10:48 am, Nov 05, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bensel



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License No. 63630
Expiration Date 09/22/26

Project Name and Location

Norbeck-Muncaster Mill Neighborhood Park Activity Building Renovation
4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman
Liber: 29914 Tax Map: HS342
Folio: 0259 WSSC:

No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

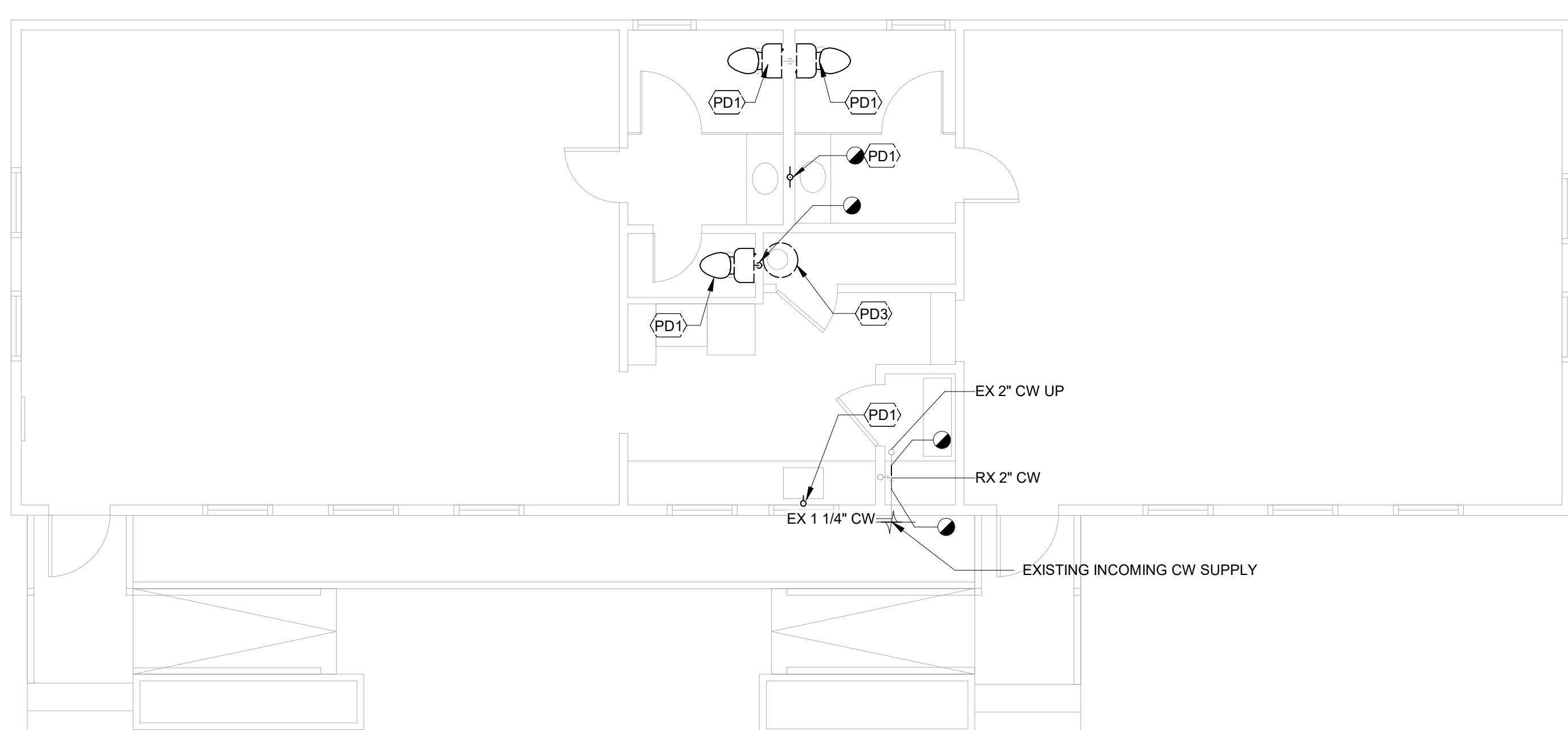
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PLUMBING DEMOLITION PLANS

100% Construction Documents (Permit Set)

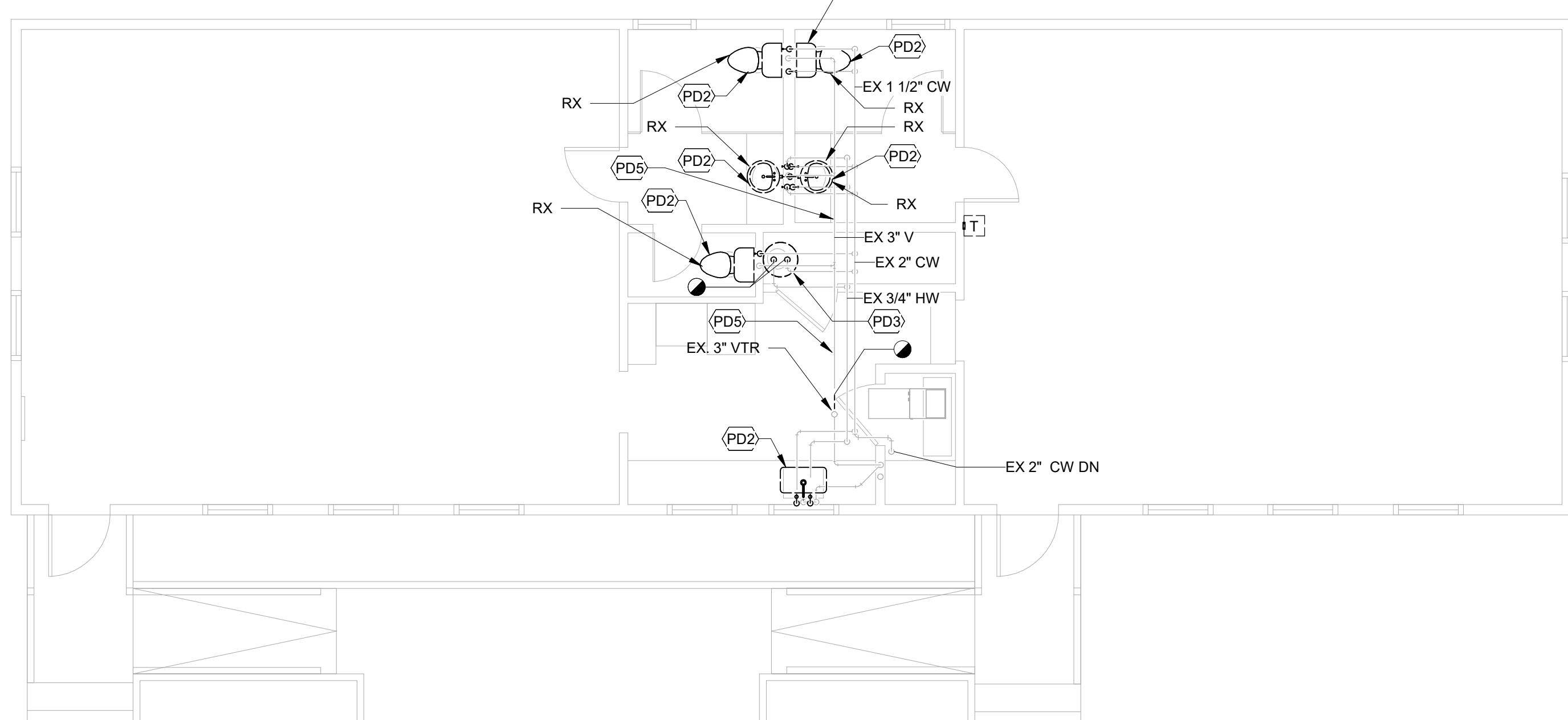
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P-101

PERMIT SHT. # 21 of 23
OVERALL SHT. # 21 of 23

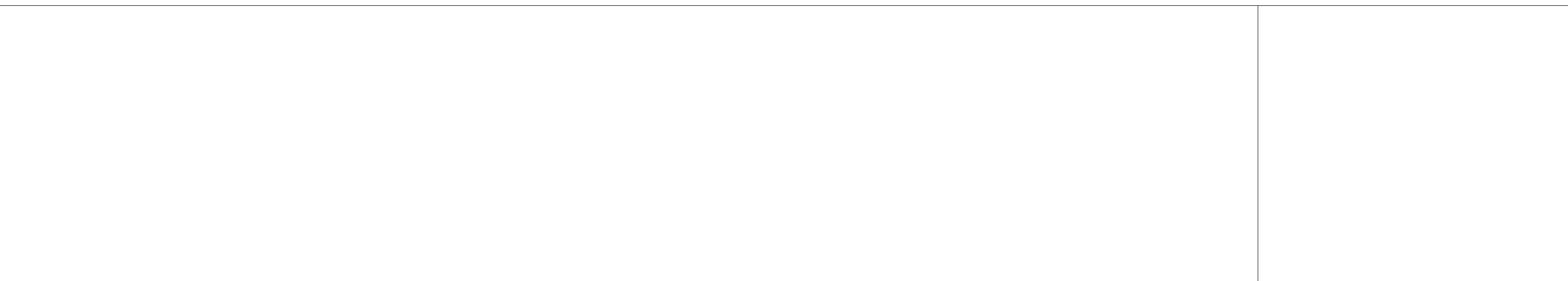
SPECIFIC NOTES - PLUMBING DEMO	
PD1	REMOVE SANITARY PIPING ASSOCIATED WITH PLUMBING FIXTURE. CAP EXISTING SANITARY BRANCH AND ABANDON IN PLACE.
PD2	REMOVE DOMESTIC PIPING ASSOCIATED WITH PLUMBING FIXTURE. CAP EXISTING DOMESTIC BRANCH AND ABANDON IN PLACE.
PD3	REMOVE AND RETAIN EXISTING WATER HEATER, EXPANSION TANK AND ASSOCIATED PIPING. WATER HEATER SHALL BE RELOCATED.
PD5	REMOVE VENT PIPING ASSOCIATED WITH PLUMBING FIXTURE. CAP EXISTING VENT BRANCH AND ABANDON IN PLACE.



① PLUMBING FOUNDATION DEMOLITION PLAN
3/16" = 1'-0"



② PLUMBING DEMOLITION FLOOR PLANS
3/16" = 1'-0"





The Maryland-National Capital Park and Planning Commission

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EVIEWED
Laura DiPasquale at 10:48 am, Nov 05, 2025

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Montgomery County
Historic Preservation Commission



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License No. 63630
Expiration Date 09/22/26

Norbeck-Muncaster Mill Neighborhood Park Park Activity Building Renovation

4101 Muncaster Mill Road
Norbeck, MD 20853

er: 29914 Tax Map: HS342
lie, 2250 WCC

designed: M-NCPPC, Montgomery Parks
drawn: M-NCPPC, Montgomery Parks
checked: M-NCPPC, Montgomery Parks
issue Date: October 15, 2025

Drawing Title

PLUMBING NEW WORK FLOOR PLANS

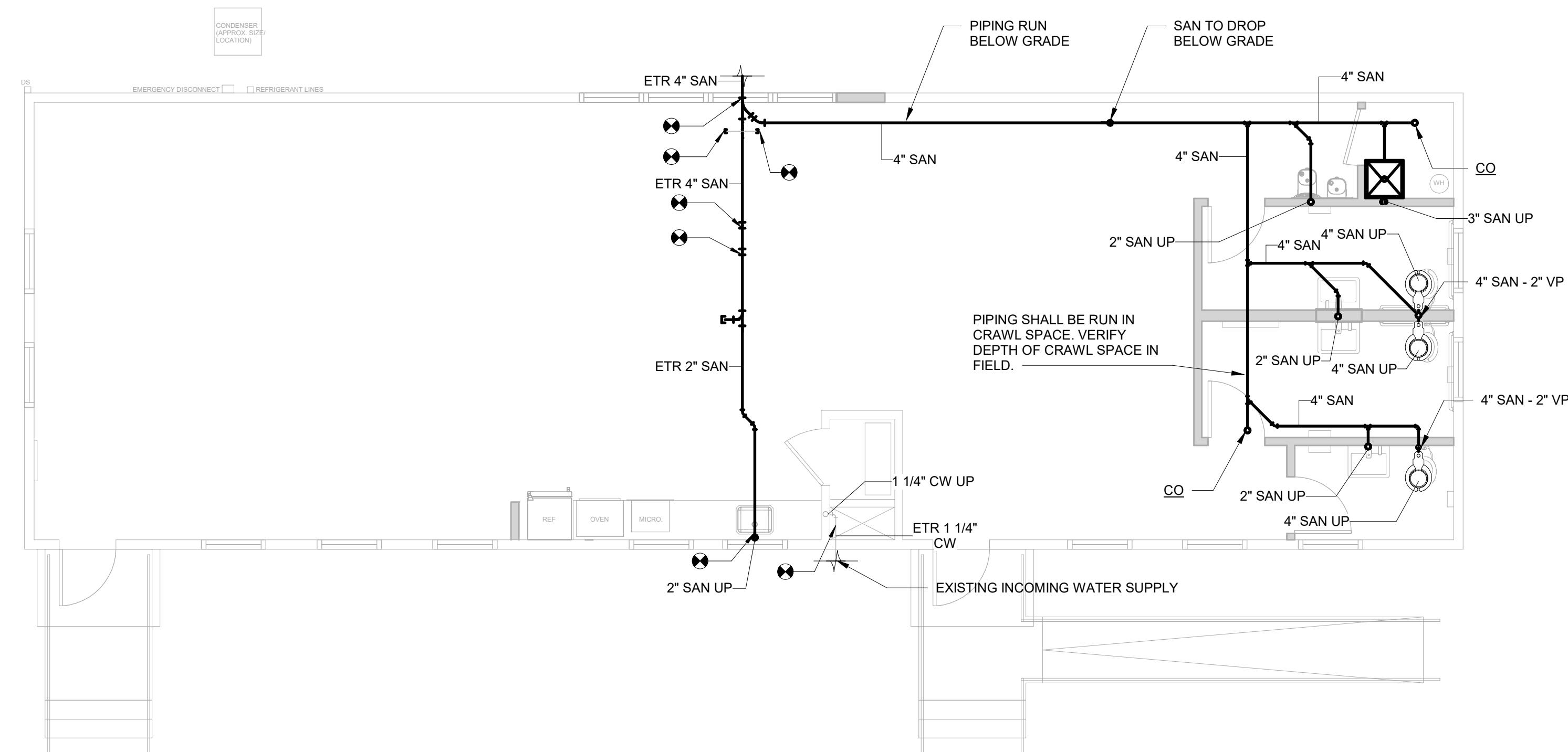
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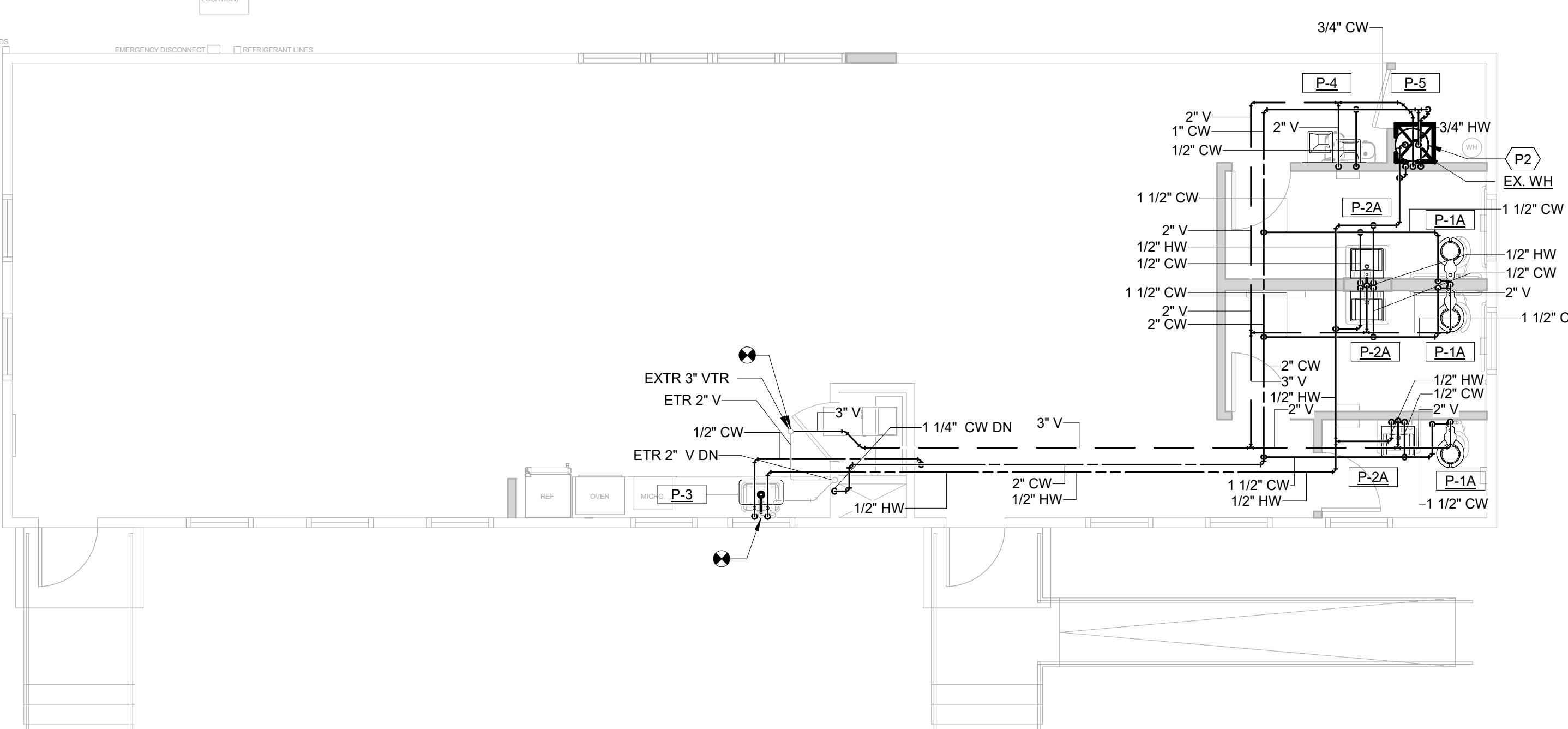
PERMIT SHT. # 22 **of** 23
OVERALL SHT. # 22 **of** 23

SPECIFIC NOTES - PLUMBING NEW

P2 | RELOCATED WATER HEATER SHALL BE MOUNTED ON WALL.



1 PLUMBING NEW WORK FOUNDATION PLAN 3/16" = 1'-0" _____



2 PLUMBING NEW WORK FLOOR PLANS 3/16" = 1' 0"

JELDWEN®

FIBERGLASS
AND STEEL
EXTERIOR DOORS



REVIEWED

By Laura DiPasquale at 10:48 am, Nov 05, 2025

APPROVED

Montgomery County
Historic Preservation Commission

Karen Denton

Norbeck Rosenwald School
Entrance Doors
Jeld-Wen or Equal
October 15, 2025

1 CHOOSE YOUR MATERIAL

FIBERGLASS

The look of wood without the upkeep. Provides greater panel detail for an improved appearance and won't warp, dent, or rust.

DESIGN-PRO™

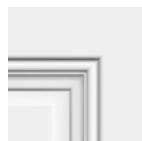


Mahogany

Oak

Fir

SMOOTH-PRO™



Smooth

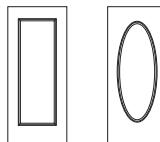
STEEL

Economical, low-maintenance choice that provides strength and style.



2 SELECT DOOR DESIGN

Personalize your home with a door that suits your home's architecture. Here are just a few options.



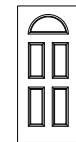
Full View



Full Oval



6-Panel



Sunburst



2-Panel 1/2 View



4-Panel



1-Panel Square Top 3/4 Oval



2-Panel 3/4 View



1-Panel 3/4 View



8-Panel



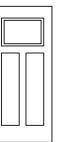
2-Panel Center Arch



2-Panel Arch Top



1-Panel 1/2 View



Craftsman

3 SELECT GLASS

Decorative glass inserts can elevate the look of your entry door.

Choose your level of privacy and optional caming for added detail.



Clear Glass Options

Clear glass inserts maximize natural light to create a clean, open, and inviting feel at the home's entryway.



Privacy Glass Options

Textured and obscure glass options allow some light to shine through while maintaining your preferred level of privacy.



Decorative Glass Options

Add visual interest to your entryway with decorative glass designs with various caming options.



REVIEWED

Direct glaze glass options

By Laura DiPasquale at 10:49 am, Nov 05, 2025



Simulated Divided Lites

Add simulated divided lites to your direct glaze door for added visual interest.

4 SELECT FINISH

Choose from our variety of on-trend paint, stain, and Statement™ Collection finish colors, or choose a primed door to finish yourself.



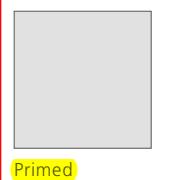
Paint



Statement™ Collection



Stain



Primed

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DOOR CONSTRUCTION

FIBERGLASS DOORS



REVIEWED
DESIGN-PRO™ COLLECTION SMOOTH-PRO™ COLLECTION
By Laura DiPasquale at 10:49 am, Nov 05, 2025
1-3/4" DOOR 1-3/4" DOOR

- Woodgrain fiberglass facing
- Square edge design
- Composite capped LVL
- Composite top and bottom
- Polyurethane foam core
- 12" lock block
- 20-minute fire rating

- Smooth fiberglass facing

APPROVED
Montgomery County
Historic Preservation Commission

Karen Bendit

STEEL DOORS



STEEL

1-3/4" DOOR

- LVL stiles and rails
- Steel bottom rail
- Galvanized steel facing
- 12" lock block
- Energy efficient core
- 20-minute fire rating construction available
- Optional steel edge for 90-minute fire rating

JELD-WEN MODEL NUMBERS DEFINED

HOW TO CONFIGURE A DOOR CODE



DOOR MATERIAL & DOOR HEIGHT

SP

SMOOTH-PRO™
6'8" HEIGHT

DOOR DESIGN

686

FULL
LITE

GLASS DESIGN

ATN

ATHERTON
GLASS

DOOR MATERIAL

Material	Species	Code
Design-Pro™	Mahogany	DM
Design-Pro™	Oak	DO
Design-Pro™	Fir	DF
Steel	N/A	CT
Steel	N/A	GL
Smooth-Pro™	Smooth	SP

Design-Pro™



Mahogany



Oak



Fir

Smooth-Pro™



Smooth



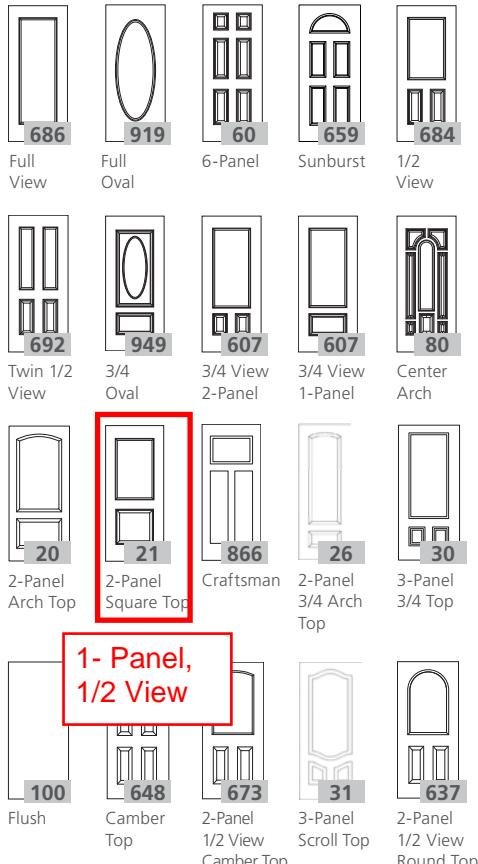
Steel



CT



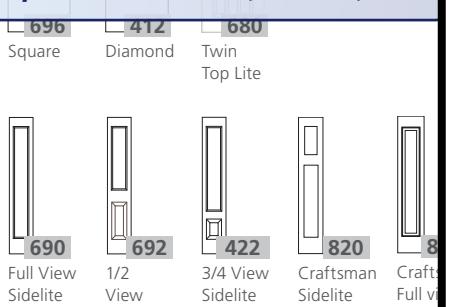
GL



REVIEWED

By Laura DiPasquale at 10:49 am, Nov 05, 2025

Door Height	Code
6'8" Height	—
7'0" Height	7
8'0" Height	8



GLASS DESIGN

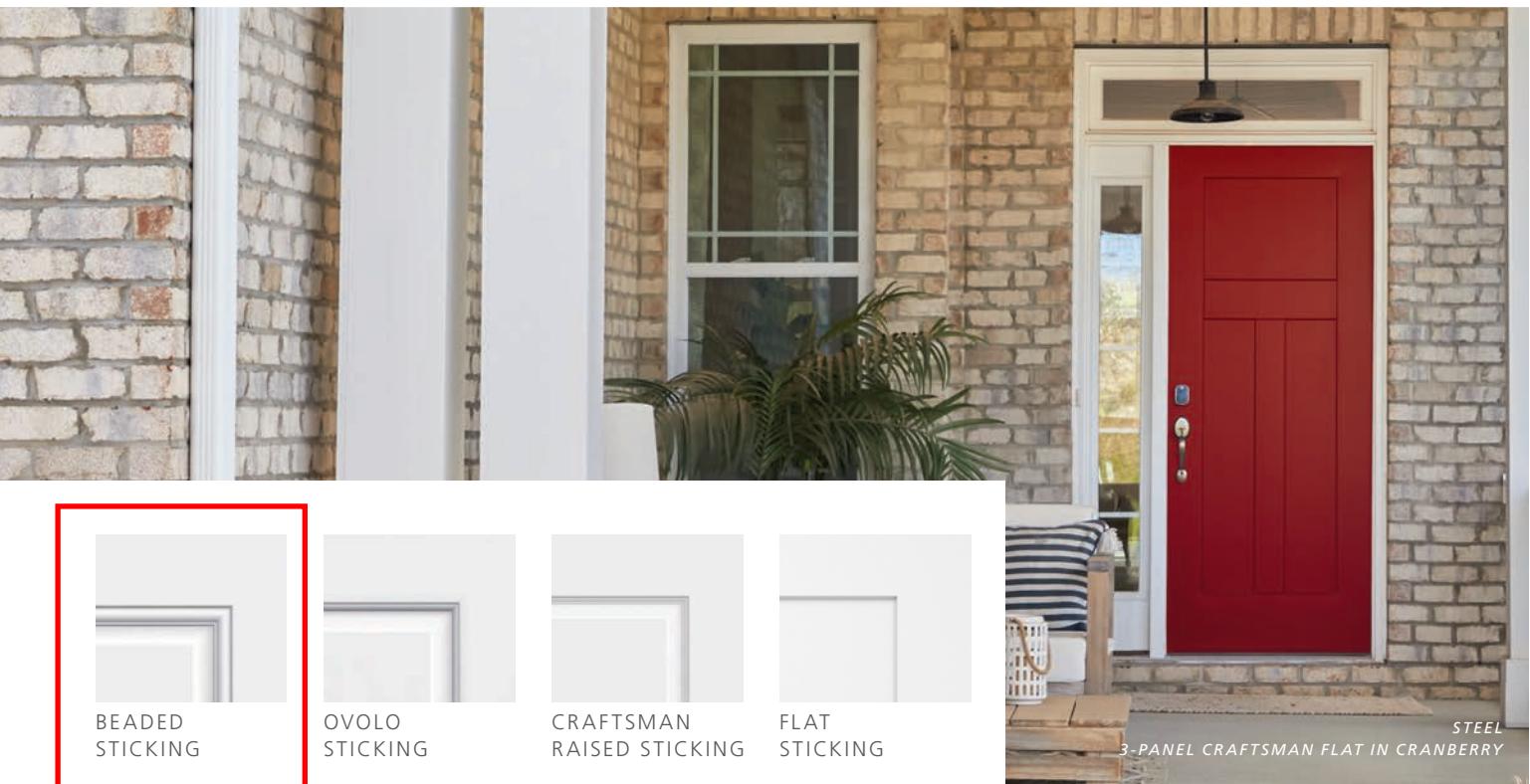
Glass Name	Glass Code
Atherton	ATN
Ballantyne	BLY
Brevard	BVR
Caldwell	CWL
Dilworth	DWH
Eastfield	EFD
Harris	HAR
McAlpine	MCA
Montclaire	MTC
Sardis	SDS
Selwyn	SWY
Tryon	TYN
Blanca	BLC
Rain	RN
Streamed	STM
Vapor	VPR
Micro Granite	MG
Clear	CL
Low-E	LE
Other Codes	Code
4-Lite SDL	SD4
6-Lite SDL	SD6
8-Lite SDL	SD8
10-Lite SDL	SD10

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STEEL



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4-Panel

Door	2'8"	2'10"	3'0"
CT-40	•	•	•
CT7-40	•	•	•

Available in ovolو sticking

STEEL



2-Panel Flat

Door	2'8"	2'10"	3'0"
CT-FP-2	•	•	•
CT7-FP-2	•	•	•

Available in flat sticking



3-Panel Craftsman Flat

Door	2'8"	2'10"	3'0"
CT-FP-3	•	•	•
CT7-FP-3	•	•	•

Available in flat sticking



Full View

Door	2'0"	2'4"	2'6"	2'8"
CT-686CL	•	•	•	•
CT7-686CL	•	•	•	•
CT8-686CL	•	•	•	•
GL-686CL			•	•



Full View Round Top

Door	2'8"	2'10"	3'0"
CT-636CL	•	•	•
CT7-636CL	•	•	•



3-Lite Equal

Door	2'8"	2'10"	3'0"
CT-303CL	•	•	•
CT7-303CL	•	•	•

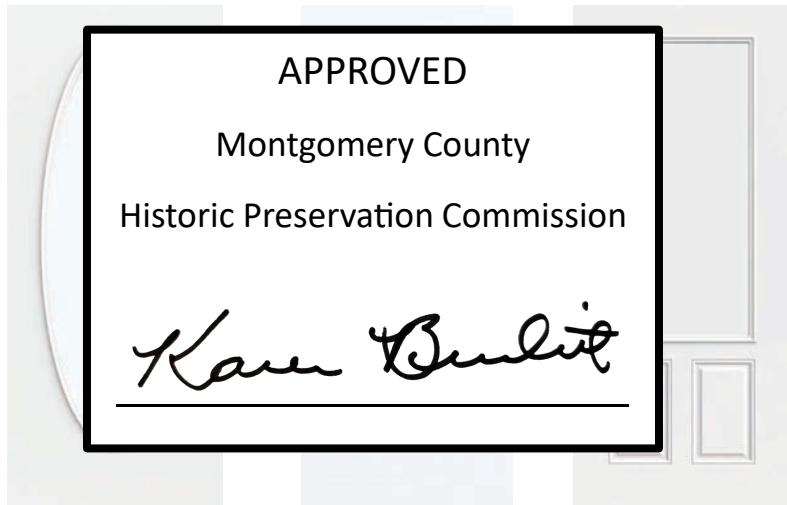
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By Laura DiPasquale at 10:49 am, Nov 05, 2025



4-Lite Equal

Door	2'8"	2'10"	3'0"
CT-404CL	•	•	•
CT7-404CL	•	•	•
CT8-404CL	•	•	•



Full Oval

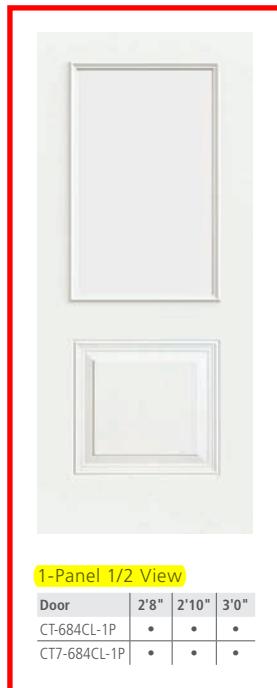
Door	2'8"	2'10"	3'0"	3'6"
CT-919CL	•	•	•	•
CT7-919CL	•	•	•	•
CT8-919CL	•	•	•	•
GL-919CL	•	•	•	•

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1-Panel 1/2 View

Door	2'8"	2'10"	3'0"
CT-684CL-1P	•	•	•
CT7-684CL-1P	•	•	•

1-Panel 3/4 View

Door	2'8"	2'10"	3'0"
CT-28CL	•	•	•
CT7-28CL	•	•	•
CT8-28CL	•	•	•

2-Panel 3/4 View

Door	2'8"	2'10"	3'0"
CT-607CL	•	•	•
CT7-607CL	•	•	•

ADA-COMPLIANT DOORS STEEL ADA DOOR OFFERING

Design Name	Item #	Heights	34"	36"	42"	Bottom Rail Height
Twin 3/4 View		79"				
	CT7-422	83"	X	X		10.875
		95"				
1/2 View 1-Panel	CT-684-1P ADA	79"	X	X		10.125"
	CT7-684-1P	83"	X	X		12.875"
	CT8-684-1P	95"	X	X		10.125"
1/2 View 1-Panel Plank	CT-684-1PL ADA	79"	X	X		10.125"
	CT7-684-1PL	83"	X	X		12.875"
		95"				
1/2 View 2-Panel		79"				
	CT7-684	83"	X	X		12.875"
	CT8-684	95"	X	X		12.375"
1/2 View Camber Top 1-Panel	CT-673-1P ADA	79"	X	X		10.125"
	CT7-673-1P	83"	X	X		12.875"
		95"				
1/2 View Camber Top 1-Panel Plank	CT-673-1PL ADA	79"	X	X		10.125"
	CT7-673-1PL	83"	X	X		12.875"
		95"				
1/2 View Camber Top 2-Panel		79"				
	CT7-673-2P	83"	X	X		12.875"
		95"				
1/2 View Round Top 2-Panel		79"				
	CT7-637	83"	X	X		12.8125"
		95"				
Twin 1/2 View		79"				
	CT7-692	83"	X	X		12.875"
	CT8-692			X		12.375"
Craftsman 2-Panel Flat 1-Lite		79"				
	CT7-FP-C2	83"	X	X		12.875"
		95"				
Craftsman Lite 2-Panel Raised 1-Lite		79"				
	CC7-866					
3-Panel Equal 1-Lite	CT-301					
	CT7-301					
3-Panel Equal 3-Lite	CT7-303					

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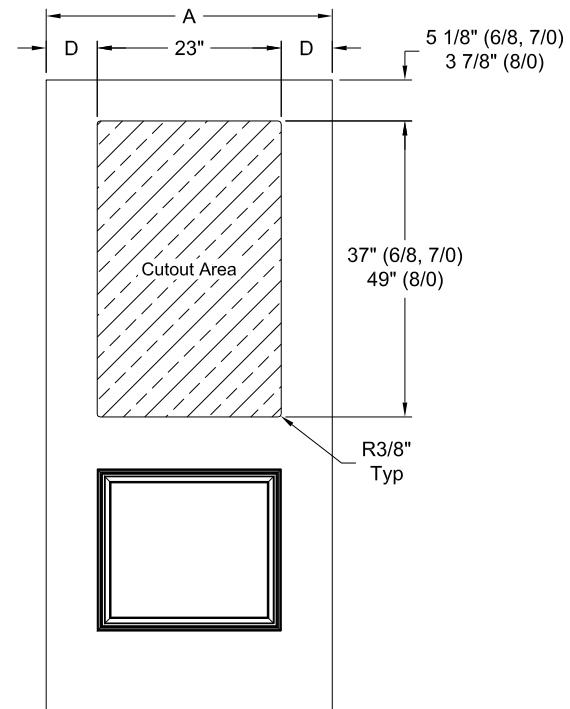
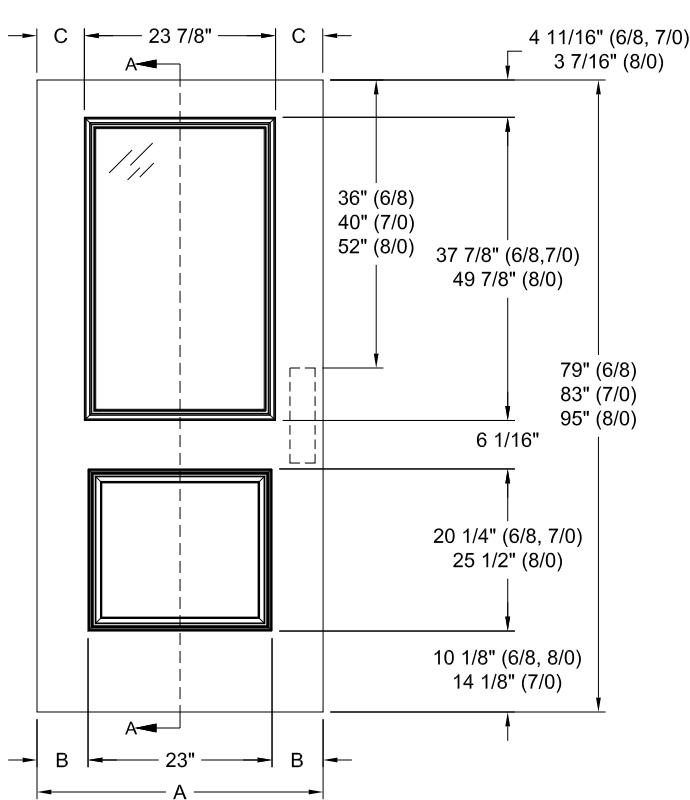
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1/2 VIEW 1 PANEL - 6/8, 7/0 & 8/0



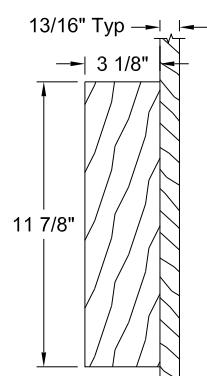
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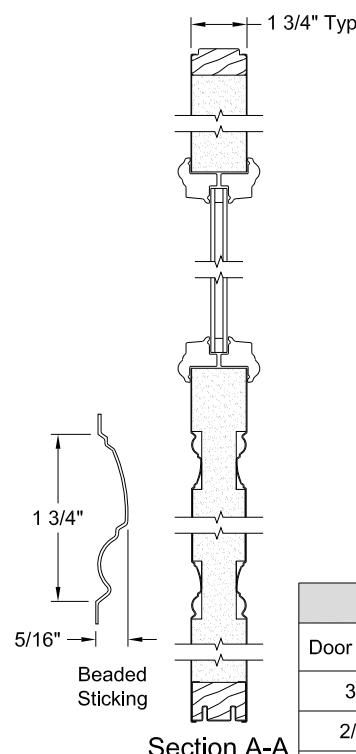
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Lock Block Detail
w/ Frame



Section A-A

DIMENSION TABLE						
Door Width	A	B	C	D	Daylight Opening	Contours
3/0	35 3/4"	6 3/8"	5 15/16"	6 3/8"	5.13 ft ² (6/8, 7/0)	CT-684-1PA
2/10	33 3/4"	5 3/8"	4 15/16"	5 3/8"	6.87 ft ² (8/0)	CT7-684-1PA
2/8	31 3/4"	4 3/8"	3 15/16"	4 3/8"		CT8-684-1P

Norbeck Rosenwald School (Permit #: 1136980)
New Single Hung Windows
Marvin or Equal
October 15, 2025

DOUBLE HUNG WINDOWS

Ultimate Double Hung windows combine state-of-the-art design with classic style. Advanced engineering and high-quality construction make our double hung windows incredibly durable, versatile, and easy to use.



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ULTIMATE DOUBLE HUNG G2

Single Hung Options same as Double Hung



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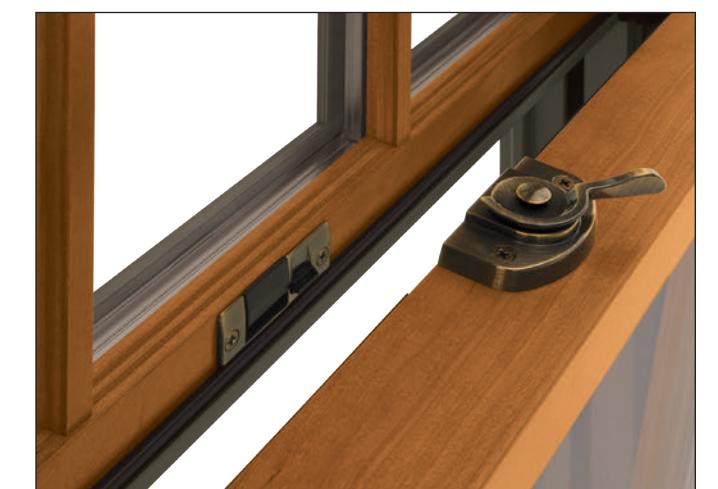
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ULTIMATE DOUBLE HUNG G2

The Ultimate Double Hung G2 window is an embodiment of our dedication to the craft of creating windows and doors. Influenced by the rich, historical significance of this window style and inspired by innovative design, each feature is thoughtfully added and every detail is carefully considered. This is all in service of shaping a window that deserves to be in the unique homes our customers desire.



Extruded Aluminum Exterior / Wood Interior
Exterior Color to match existing windows
Primed interior, color TBD
One-over-one, no muntins

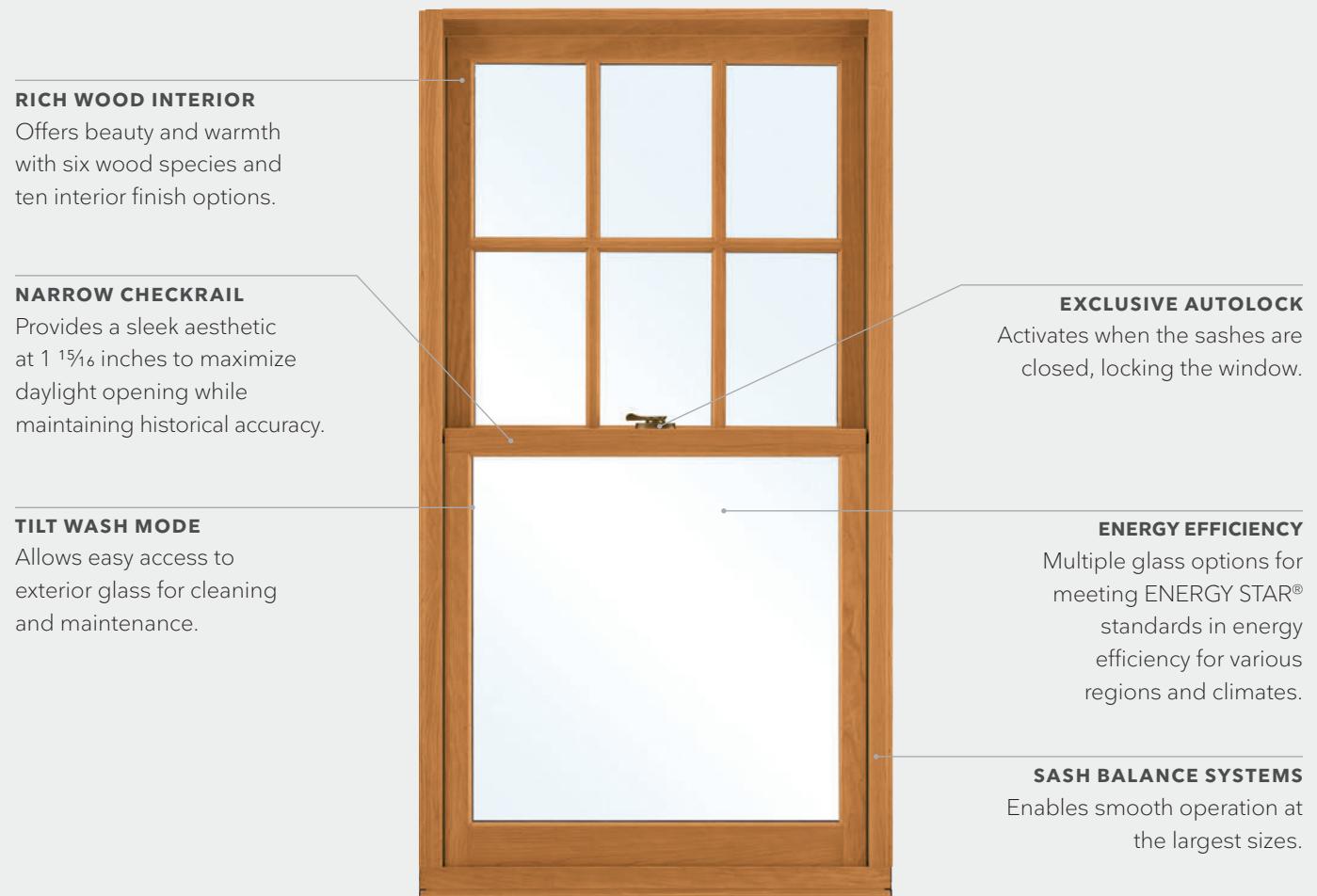
ULTIMATE DOUBLE HUNG G2

REVIEWED

By Laura DiPasquale at 10:49 am, Nov 05, 2025

Engineered for performance and designed to inspire, each aspect of the Ultimate Double Hung G2 window was made with purpose. Our engineers consider every detail from the most innovative features to the most minute subtleties, all because the windows in your home help illuminate the most important parts of your life.

INTERIOR FEATURES AND PERFORMANCE



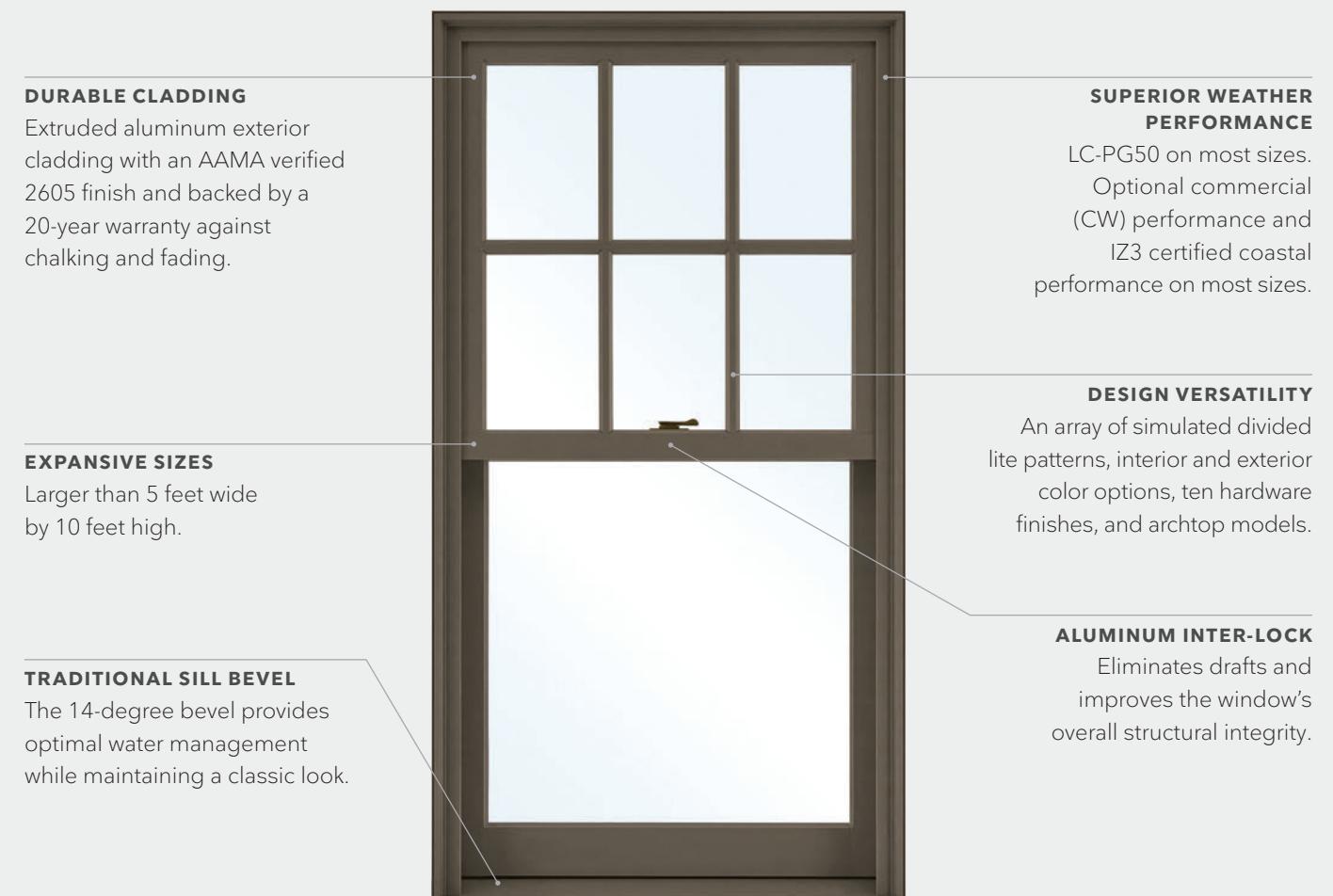
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EXTERIOR FEATURES AND PERFORMANCE



ULTIMATE SINGLE HUNG G2



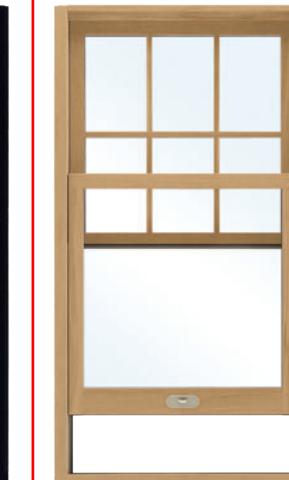
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ULTIMATE SINGLE HUNG G2

A contemporary classic, the Ultimate Single Hung G2 window blends traditional beauty and state-of-the-art performance. With the top sash stationary and the bottom sash operable, a single hung style is often preferred in a cottage-style window with a small top sash that doesn't need to open. Reliable and energy efficient, the Ultimate Single Hung G2 window offers an auto-lock feature for convenient security, durable hardware for smooth operation, and Marvin's unique Wash Mode for easy cleaning. Customize your design with round top styles or optional Lift Lock, Marvin's exclusive bottom rail locking mechanism for easier operation in hard-to-reach areas.



CONTEMPORARY AND TRADITIONAL LIFT LOCKS IN SATIN NICKEL

EXTERIOR FINISH OPTIONS

STONE WHITE

COCONUT CREAM

SIERRA WHITE

CASHMERE

PEBBLE GRAY

HAMPTON SAGE

CADET GRAY

CLAY

CASCADE BLUE

SUEDE

GUNMETAL

WINEBERRY

BRONZE

BAHAMA BROWN

EVERGREEN

EBONY

BRIGHT SILVER (PEARLESCENT)

COPPER (PEARLESCENT)

LIBERTY BRONZE (PEARLESCENT)

CUSTOM COLOR: ANY COLOR YOU WANT

TBD: Exterior Color to match existing windows

EXTRUDED ALUMINUM

Extruded aluminum is an extremely tough cladding that protects wood windows, mimics the profiles of wood, and provides superior durability. It is the most commonly ordered exterior material for our Ultimate products.

Select from our palette of 19 durable extruded aluminum colors, including a spectrum of rich hues and three pearlescent finishes. If you have more specialized needs, we can also work with you to create a custom color.

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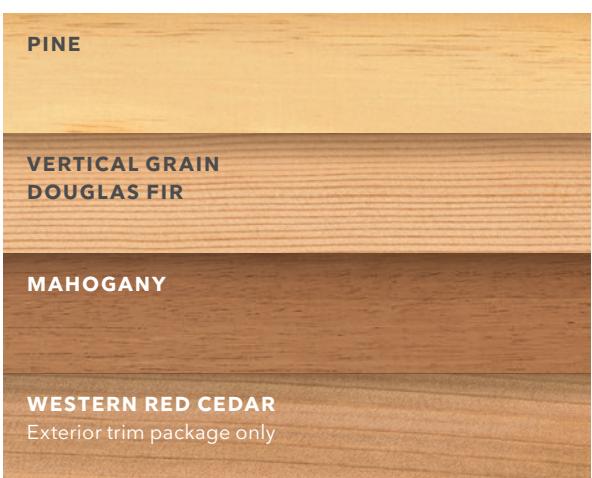
Karen Buntin

Double Hung G2 window in Ebony

WOOD

Wood is a premium material for windows and doors, offering classic aesthetic appeal, many options for customization, and design versatility.

We treat exposed millwork with a water repellent wood preservative to help it last longer. Choose from one of the four options below. Each is ready to be finished to match your project's exacting requirements.



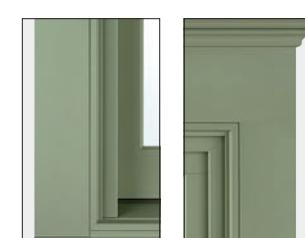
Double Hung G2 window in Suede

EXTERIOR CASINGS + SUBSILLS



EXTERIOR CASINGS + SUBSILLS

Adding Marvin extruded aluminum or wood casings and subsills to your windows and doors provides great architectural detail to any home. Ultra-durable extruded aluminum casings feature a beautiful factory-applied finish that resists chalking, fading, pitting, corrosion, and marine-grade salt spray. Casing profiles are consistent around the sides and top of the window or door, except for the Potter casing profile, which has a taller head. Custom casings and subsills are also available.



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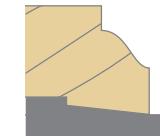
GLASS + GLAZING



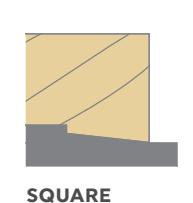
ULTIMATE AWNING AND PICTURE WINDOWS AND INSWING FRENCH DOOR IN PEBBLE GRAY

GLAZING PROFILES

Interior and exterior glazing profiles are available in Ogee and Square. Choose Ogee for more traditional projects, and Square for a clean, contemporary look. Interior and exterior glazing profile options vary by product type.



OGEE



SQUARE



SQUARE EXTERIOR GLAZING PROFILE



DUAL PANE GLAZING

Our standard glazing is dual pane: two panes of glass with Low E coatings and insulated with argon gas. Compared to a single glass pane, dual pane glass cuts energy costs significantly because of low emissivity coating and the gas-filled insulating space between the glass layers.



TRIPLE PANE GLAZING

Triple pane glazing consists of three panes of glass with Low E coatings applied to the surface. Two glass spaces are insulated with argon gas between the panes. Available in products where glazing thickness can be greater than $\frac{3}{4}$ inch.

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GLASS + GLAZING

The thermal and structural properties of the right glazing make Marvin clad products an optimal choice for thousands of window and door applications of glass and a range of glazing challenges of any climate.

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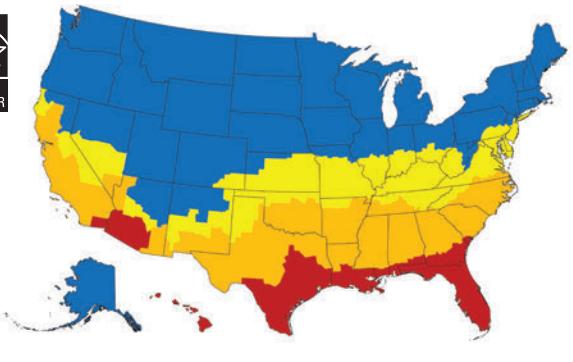
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GLASS COATING

Low E coatings are microscopically thin metallic coatings on the glass surface that reduce heat conducted through a window pane or reflected away from it, reducing a home's dependence on heat and air conditioning. The national ENERGY STAR® program recognizes products that meet strict energy-efficiency guidelines to suit climates in different areas of the country, and Marvin offers products to meet climate and code requirements in every region.



■ Northern ■ South-Central
■ North-Central ■ Southern

LOW E1

Low E1 coating is a good choice when you want maximum solar heat gain and radiant heating properties. This type of coating is generally used in Northern climates where heating is prioritized over cooling. You'll reap maximum benefits when windows with this type of coating are positioned to receive direct sun exposure.

LOW E2

The most common Low E coating since it works well across most geographic regions and climates. Low E2 with two metallic coatings balances less solar heat gain and improved radiant heating properties.

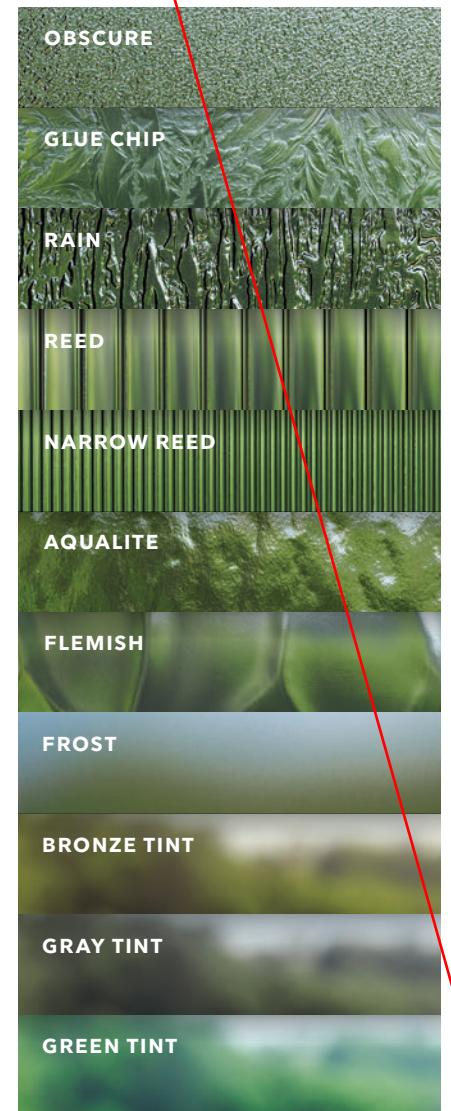
LOW E3

Used in applications where solar heat gain may be a concern, low E3 coating uses multiple metallic layers for radiant properties similar to Low E2. This type of coating is most commonly used in Southern, sunny climates where cooling is prioritized over heating.

SPECIALTY GLASS

Our specialty options include glass for unique project needs like sound abatement (STC/OITC), high altitudes, Sea Turtle Conservation Codes, and California fire zones. We also offer laminated glass on certain products that are designed specifically for hurricane zones.

A variety of decorative glass options, including those shown below and others, are available to meet the unique needs of each project. Laminated glass is also available in clear, bronze, gray, or green with tinted interlayers.



SCREENS



SCREENS

Choose from an aluminum surround in three finishes or a wood interior surround that complements warm wood interiors. Marvin screens come standard with Marvin Bright View™ – a fiberglass screen mesh that provides improved airflow and more natural light while keeping insects out. Bright View repels water and resists dirt and grime for a sharp, vivid view.

CASEMENT SCREEN OPTIONS



WOOD SCREEN SURROUND

The patented wood screen surround with wood interior and aluminum exterior features Marvin Bright View™ screen mesh. Aluminum screen mesh options also available.



INSWING CASEMENT SCREEN

The beautifully crafted inswing screen adds a classic touch and allows access to push-out casement and awning windows.

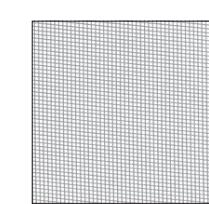
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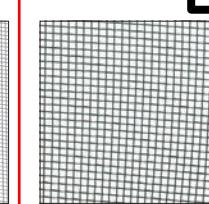
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Karen Buleit

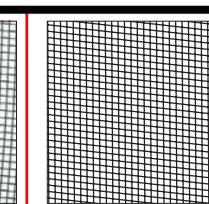
SCREEN MESH OPT



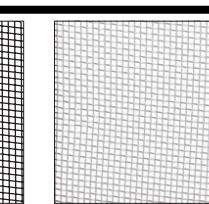
MARVIN
BRIGHT VIEW™



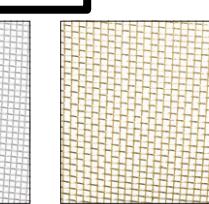
CHARCOAL
ALUMINUM WIRE



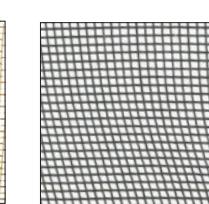
BLACK
ALUMINUM WIRE



BRIGHT
ALUMINUM WIRE



BRIGHT
BRONZE WIRE



CHARCOAL
FIBERGLASS

DOUBLE HUNG SCREEN OPTIONS

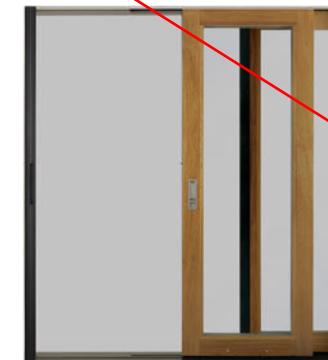


FULL OR HALF SCREEN

Exterior aluminum screen with an aluminum surround. The full screen covers both the top and bottom sash. The half screen only covers the bottom sash.



DOOR SCREEN OPTIONS



SCENIC DOOR SLIDING SCREEN

The Marvin Ultimate Sliding Screen operates with ease and conceals when not in use. The screen is unobtrusive even in large sizes measuring up to 15 feet wide and up to 10 feet high uni-directional or up to 29.5 feet wide bi-parting.



ULTIMATE SWINGING SCREEN DOOR

With profiles that complement the aesthetics of the door, swinging door screens feature robust, durable extruded aluminum surrounds and concealed hinges.



ULTIMATE SLIDING SCREEN DOOR

Aluminum top hung sliding screen with roller bar, adjustable rollers and unmatched sliding operation.

DOUBLE HUNG STORM OPTIONS



TWO-LITE WOOD STORM SASH OR SCREEN

A wood frame containing non-removable glass. The storm sash can be removed during the summer and replaced with a wood-framed screen. Available only for wood windows.



STORM AND SCREEN COMBINATIONS

A combination unit is composed of two glass panels and one screen panel that can be easily removed from the interior for cleaning. Available with a wood (bare or primed) or aluminum surround, panels can be configured multiple ways, glass above screen, screen above glass, or glass above glass.



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ENERGY PANEL

Often confused with storm windows, an energy panel is technically a glazing option. It is a removable, exterior glass panel finished on the edges by a surround. Energy panels cover the exposed glass surface of each sash and offer added energy efficiency for wood windows with single glazing.

WINDOW OPENING CONTROL DEVICES

Marvin Window Opening Control Devices (WOCD) meet the ASTM F2090-21 standard, created to assist in the prevention of window falls. To meet the standard, our devices limit the window's net clear opening to less than 4 inches (when the sash is open) and have a release function allowing the window to open completely. In order to meet the safety standard, WOCD disengagement takes two independent actions, which helps prevent accidental release. Devices will then automatically reengage once the window is closed and again limit the window opening to less than 4 inches upon re-opening.



ULTIMATE CASEMENT



ULTIMATE DOUBLE HUNG G2



ULTIMATE GLIDER