



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

November 5, 2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1125581– Hardscape alterations, fenestration and door alterations, tree removal, installation of sign panels and a bench

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached applications for a Historic Area Work Permit (HAWP). This application was **approved with two (2) conditions** at the August 13, 2025 HPC meeting:

1. The applicant must provide manufacturer's specifications and/or drawings for the proposed windows and doors. The windows must be wood or aluminum-clad wood.
2. The applicant must submit a more compatible door design incorporating glazing, such as those found in *Figure 9* or *Figure 10* [of the staff report].

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: M-NCPPC (Montgomery Parks); Delisa Mitchell, Agent
Address: 4101 Muncaster Mill Road, Rockville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The Norbeck-Muncaster Mill Park Activity Building, historically referred to as the Norbeck Rosenwald School, is a park building located in the Norbeck-Muncaster Mill Neighborhood Park in Rockville, Maryland. It is a 1-story structure, located on the east side of Muncaster Mill Road. Constructed between 1926 and 1928, the building was originally used as a 2-room, side-gable schoolhouse. The structure has an asphalt shingle roof with a brick chimney. The structure is wood-frame construction with wood siding on a brick foundation. There are windows on all 4 sides of the structure. The front, or south, facade has two entrances with hollow metal doors and front-gable entry porches. Leading to each entrance is a wood deck with a ramp and 2 steps. The adjacent church uses the building and shares the parking lot. The building is surrounded by vegetation, such as trees and shrubs.

Very few of the original features of the historic building remain. The existing windows, doors, porches, and ramps are more recent modifications to the structure.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The primary goals of the exterior work are to provide a code compliant accessible entrance to the building and to replace features that are in disrepair. The work includes the construction of an accessible concrete parking space and access aisle. A new concrete sidewalk will connect the parking to a new wood entrance ramp and porch. A new entrance porch will also be provided at the door on the left side of the front elevation. Both entrances will include painted hollow metal pipe railings and bracketed porch roof overhangs. The roof material on the overhangs will match the existing asphalt shingle roof. Surface-mounted lighting will be included on the underside of the porch overhangs.

A new bench is proposed adjacent to the concrete sidewalk. An existing signage panel will be relocated next to the bench, and a new signage panel highlighting the history of the Cemetery will be placed on the other side. The existing under-utilized flower beds and dense vegetation in front of the building will be removed. New shrubs and understory trees are proposed. The 30" DBH tree located between the building and the parking lot will be removed to allow the construction of the new entrance path. A new tree will be planted in a similar location to provide shade to the bench seating.

New hollow metal entrance doors will be provided. A gang of four aluminum clad wood windows is proposed on the rear elevation, in a nod to the historic grouping of windows and to allow more daylight to the interior space. Repairs to the parking lot include milling and overlaying the asphalt, new parking striping ~~and repairing the broken curb at the northern corner. Additional asphalt curbs will be installed as necessary.~~ and installing new concrete curbs.

All work will be completed according to the Secretary of the Interior's Standards for Rehabilitation and per the attached drawings. There will be no adverse effect to the building or site. Our intent is to improve the condition of this valuable resource and to make it more accessible for all users. +

REVIEWED

By Laura DiPasquale at 10:47 am, Nov 05, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

Work Item 1: Building Entrance Porches, Stairs and Ramps

Description of Current Condition:

The existing entrance ramps, stairs and porches are in disrepair and do not meet accessibility codes. The current door hardware is aged and needs to be replaced. The existing exterior lighting at the building is not adequate.

Proposed Work:

Demolish existing ramps, steps, and porches, including the overhead structures. Provide a new covered porch, with gutter and downspout, at each building entrance. Provide a new, code compliant ramp at the entrance adjacent to the accessible parking space. Porches, stairs ~~and ramps~~ to be constructed in wood. Railings to be painted hollow metal pipe. Porch roofs to match existing asphalt shingle roof. Include ~~surface-mounted~~ lights on the underside of both porch overhangs. Provide new hollow metal doors and door hardware at each entrance.

Work Item 2: Hardscape - Sidewalk

Description of Current Condition:

Currently, the accessible path from the accessible parking space to the main entrance of the building is within the parking lot drive aisle. The accessible path striping has faded.

Proposed Work:

Provide a concrete sidewalk from the accessible parking space to the new entrance ramp. The new path will be located outside of the parking lot drive aisle. Provide a concrete pad, bench, and signage panels adjacent to the sidewalk. An alternate location for one of the signage panels is at the end of the parking lot, looking toward the Cemetery.

REVIEWED

By Laura DiPasquale at 10:47 am, Nov 05, 2025

APPROVED

Montgomery County

Historic Preservation Commission



Work Item 3: Hardscape - Parking Lot

Description of Current Condition:

The markings for the current accessible parking space are faded and there is no adjoining access aisle. The asphalt curb at the northern corner of the parking lot is in disrepair.

Proposed Work:

Provide a concrete accessible parking space and adjoining access aisle, with appropriate striping and markings, per Montgomery Parks standards. Repair the broken curb at the northern corner of the parking lot. Mill and overlay the parking lot, and re-stripe the parking spaces.

Provide a concrete walkway along the northwestern edge of the parking lot connecting the accessible parking to the northern corner of the lot (closest to the cemetery). Provide a 5' diameter turnaround area at the end of the walkway. Provide concrete curbs at new paving. All new paving work described in Work Item 3 to be installed within the boundaries of the existing parking lot.

NORBECK ROSENWALD SCHOOL – HAWP APPLICATION

WORK ITEMS, CONTINUED

~~JULY 23, 2025~~ – OCTOBER 15, 2025

Work Item 4: Tree Removal/Planting	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
The existing planting beds in front of the building are in disrepair and are not utilized. The existing shrubs are too dense and block the windows on the right side of the elevation. The 30" DBH tree between the building and the parking lot conflicts with the preferred location for the new sidewalk and entrance ramp.	Remove all plant beds and vegetation in front of the building. Remove the 30" DBH tree and plant a new Zelkova serrata 'Green Vase' tree further to the west (but positioned to provide shade at the new bench). Provide one small landscaping bed for shrubs between the ramp and the building, and one large planting area for shrubs and understory trees between the entrances.
Work Item 5: New Windows on Rear Facade	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Currently there are two small windows in the existing restrooms on the rear elevation of the building.	Remove existing rear windows and add a group of four new windows to provide more natural light to the interior space. The size and placement of each window (width, sill height and head height) will match the existing windows. The new windows will be aluminum clad wood windows, with profiles to match the existing windows to the extent possible.
Work Item 6: New Roof Shingles	
<i>Description of Current Condition</i>	<i>Proposed Work</i>
Existing roof shingles have reached the end of their lifespan.	Remove the existing roof shingles and replace in-kind.

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By Laura DiPasquale at 10:47 am, Nov 05, 2025

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Montgomery County
Historic Preservation Commission

Karen Benoit

APPLICABLE CODES	
COMAR 9.12.53 MARYLAND ACCESSIBILITY CODE, ADAAG & FHAG	
ICC INTERNATIONAL BUILDING CODE 2021	
ICC INTERNATIONAL EXISTING BUILDING CODE 2021	
MBRC MARYLAND BUILDING REHABILITATION CODE	
lgCC GREEN BUILDING CODE 2021	
ICC INTERNATIONAL ENERGY CONSERVATION CODE 2021	
ICC FUEL GAS CODE 2021	
ICC INTERNATIONAL MECHANICAL CODE 2021	
NFPA 70 NATIONAL ELECTRIC CODE 2017; ER 23-19	
NFPA 72/2019 FIRE ALARM	
NFPA 1 & 101 FIRE & LIFE SAFETY 2021	
WSSC PLUMBING & FUEL GAS CODE	
NFPA 13 & 13R COMMERCIAL SPRINKLERS 2019	

PROJECT SUMMARY

THE NORBECK-MUNCASTER MILL PARK ACTIVITY BUILDING IS LOCALLY DESIGNATED AS A MONTGOMERY COUNTY HISTORIC RESOURCE, NO. 23/113-02, AND IS KNOWN HISTORICALLY AS THE NORBECK ROSENWALD SCHOOL/ MOUNT PLEASANT COLORED SCHOOL. THE PROPOSED WORK CONSISTS OF INTERIOR MODIFICATIONS TO THE EXISTING RESTROOMS, KITCHEN, AND ACTIVITY ROOMS. EXTERIOR WORK INCLUDES RECONFIGURING THE RAMPS AND ENTRY LANDINGS FOR IMPROVED ACCESSIBILITY, INCLUDING ASSOCIATED ENTRY ROOF MODIFICATIONS. ADDITIONAL IMPROVEMENTS INCLUDE NEW WINDOWS ON THE REAR ELEVATION, ROOF REPLACEMENT, NEW ASPHALT PAVING IN THE PARKING LOT, AND A NEW ACCESSIBLE PARKING SPACE, IN CONCRETE.

CODE ANALYSIS

CODE ANALYSIS - WORK AREA:

	EXISTING		PROPOSED	
	IBC	NFPA	IBC	NFPA
USE & OCCUPANCY CLASSIFICATIONS:	A-3	A-3	A-3	A-3
CONSTRUCTION TYPE:	VB	VB	VB	VB
NUMBER OF STORIES ABOVE GRADE:	1		1	
FULLY SPRINKLERED:	NOT REQ'D	NOT REQ'D	NOT REQ'D	NOT REQ'D
OCCUPANT LOAD, A-3: 7 SF/OCC	1,345/7 = 193 MAX		1,345/7 = 193 MAX	

*NOTE: PER 09-30-2019 EMAIL AGREEMENT BETWEEN MONTGOMERY PARKS AND DPS, USE OF 7 SF FOR OCCUPANT LOAD FOR PARK ACTIVITY BUILDINGS IS ACCEPTABLE.

TOTAL BUILDING AREA:	1,741 SF	1,741 SF
WORK AREA MODIFICATION:	1,711 SF	1,711 SF
FIRE ALARM:	NOT REQ'D	NOT REQ'D
PORTABLE FIRE EXTINGUISHERS PROVIDED:	1	
MAXIMUM TRAVEL DISTANCE:	45 FT	

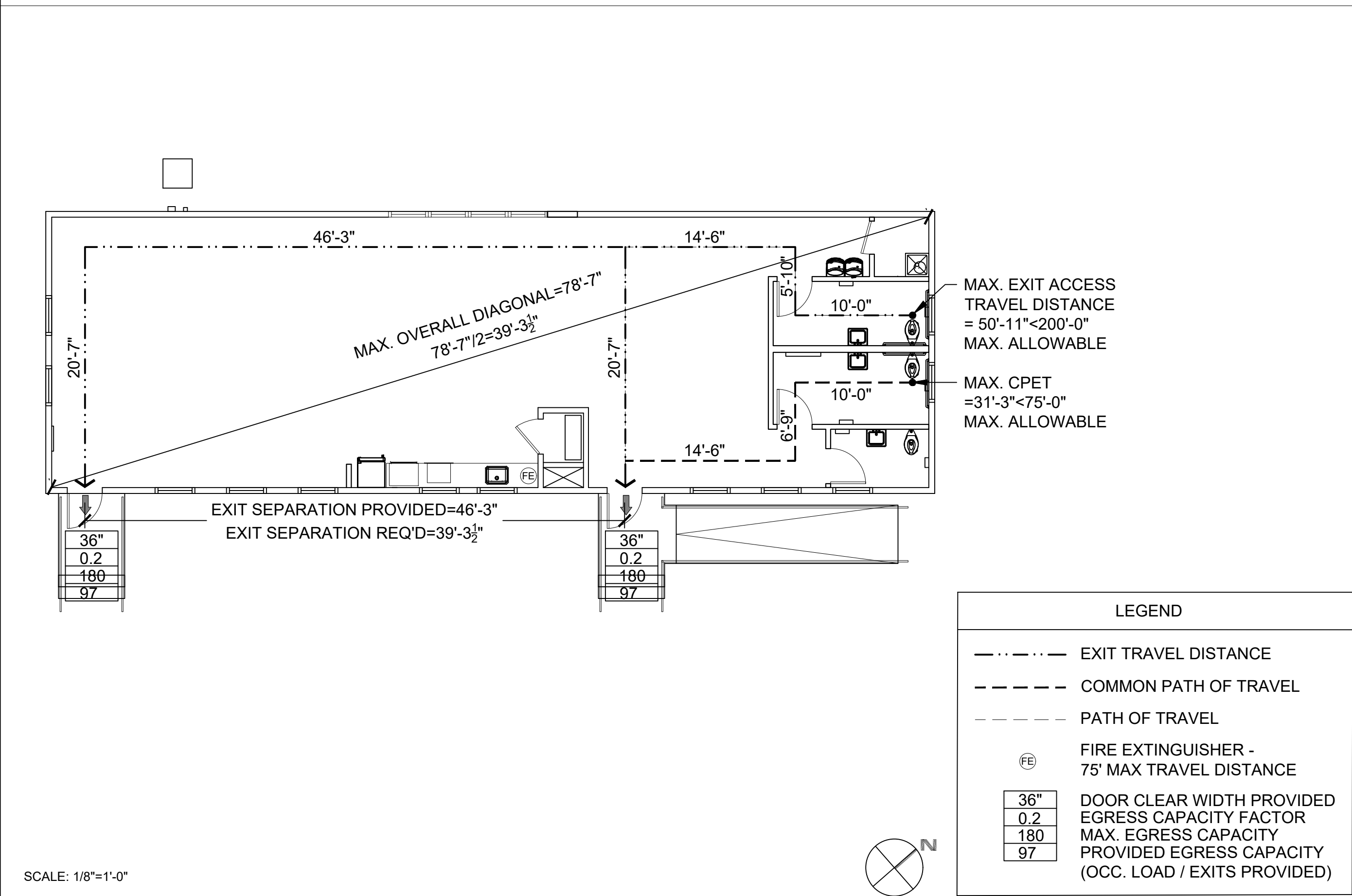
EXITS REQUIRED: 2
EXITS PROVIDED: 2

NORBECK-MUNCASTER MILL NEIGHBORHOOD PARK PARK ACTIVITY BUILDING RENOVATION (PID #B39-001)

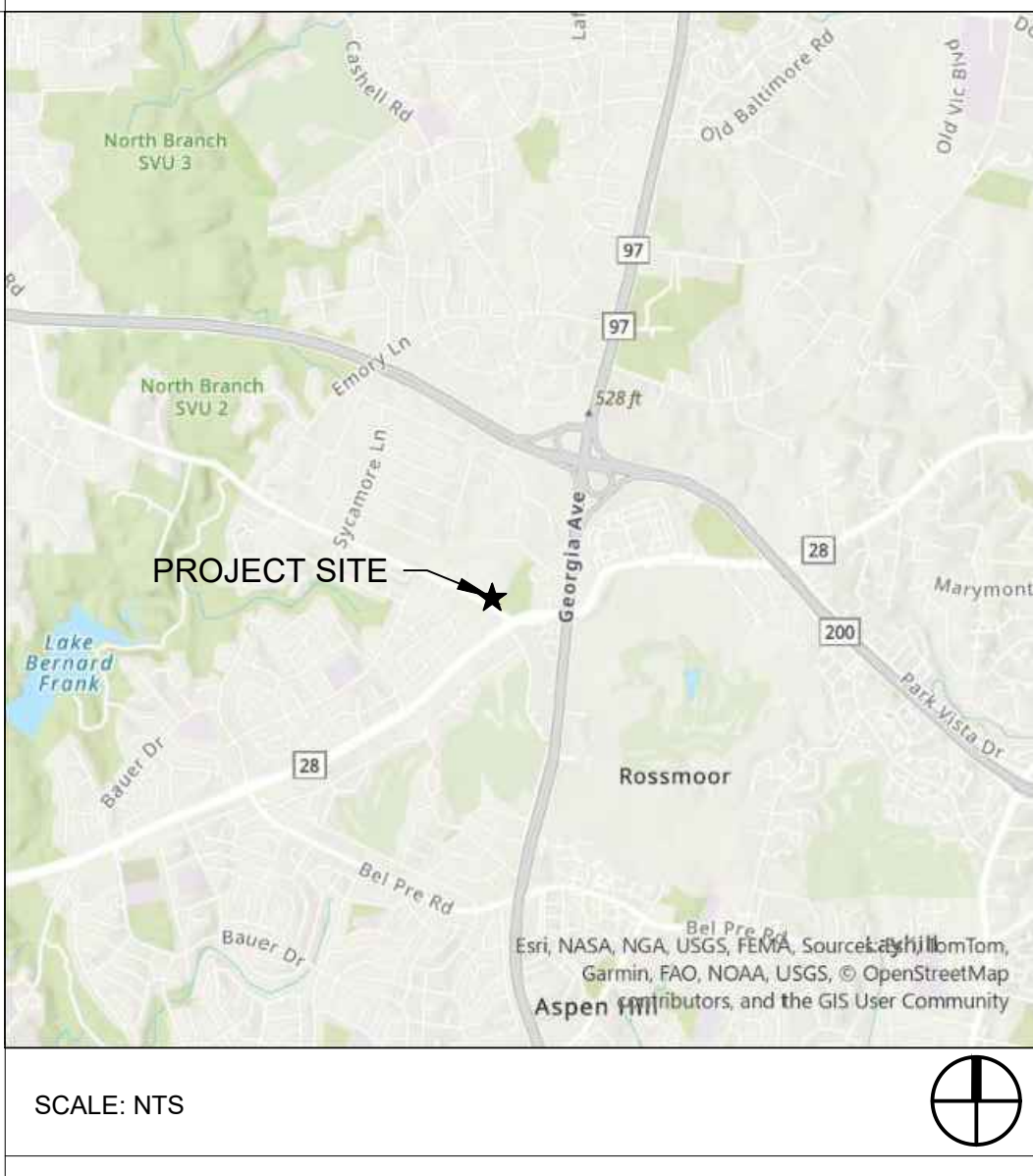
4101 MUNCASTER MILL ROAD, NORBECK, MARYLAND, 20853

- GENERAL NOTES**
- GENERAL NOTES AND PROJECT NOTES ON ARCHITECTURAL SHEETS SHALL APPLY ONLY TO THOSE SHEETS ON WHICH THEY APPEAR.
 - ALL WORK SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, RULES, REGULATIONS, CODES, AND GUIDELINES.
 - DO NOT SCALE DRAWINGS.
 - CONTRACTOR SHALL VERIFY IN FIELD (VIF) ALL SITE CONDITIONS, UTILITIES, ELEVATIONS, SECTIONS, AND DIMENSIONS PRIOR TO THE START OF WORK.
 - ALL DIMENSIONS SHOWN ON DRAWINGS ARE NOTED FROM FINISH MATERIAL TO FINISH MATERIAL, UNLESS OTHERWISE NOTED.
 - FLOOR ELEVATIONS ARE TO THE TOP OF FINISHED FLOOR UNLESS OTHERWISE NOTED.
 - CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACE OF CEILING UNLESS OTHERWISE NOTED.
 - ALL FIRE RATED CONSTRUCTION, IF INDICATED, SHALL CONFORM WITH UL TESTED STANDARDS AND/OR LOCAL REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.
 - CONTRACTOR TO VERIFY THAT ALL EXISTING RATED WALLS (INCLUDING PENETRATIONS) WERE CONSTRUCTED TO MEET CURRENT REQUIREMENTS FOR A RATED WALL ASSEMBLY, IF DISTURBED, ASSOCIATED OR ADJACENT TO PROJECT SCOPE.
 - PROVIDE SEALANT AT ALL FIXTURES AND CHANGE IN MATERIAL - TYPICAL.
 - ALL WORK SHALL BE DONE IN A WORKMAN LIKE MANNER AND IN CONFORMANCE WITH MANUFACTURER'S INSTALLATION AND GUARANTEE REQUIREMENTS.
 - ONLY APPROVED PLANS THAT HAVE BEEN SIGNED BY THE APPROPRIATE AUTHORITIES SHALL BE USED FOR THE CONSTRUCTION OF THE IMPROVEMENTS.
 - COORDINATE WITH WSSC PRIOR TO DEMOLITION.
 - THE INTENT OF THESE DRAWINGS IS FOR THE CONTRACTOR TO PROVIDE ALL LABOR, MATERIAL, FINISHES, EQUIPMENT, INSTALLATION AND SERVICES NECESSARY FOR AND INCIDENTAL TO THE WORK, TO PROVIDE M-NCPPC WITH A COMPLETE PROJECT INCLUSIVE OF ALL SYSTEMS.

EGRESS PLAN



VICINITY MAP



LOCATION / SITE PLAN



LEGENDS AND SYMBOLS

- KEYED NOTES
- WALL/PARTITION TYPE
- REVISION
- ELEVATION
- DETAIL
- BUILDING SECTION
- NORTH ARROW
- NEW OR RELOCATED DOOR/FRAME
- NEW OR RELOCATED WINDOW/FRAME
- DEMO EXIST WALL/ ITEMS
- EXIST WALL TO REMAIN
- NEW PARTITION WALL
- 2x2 LIGHT FIXTURE
- SUPPLY DIFFUSER
- EXHAUST FAN
- CEILING MOUNTED LIGHT FIXTURE
- EXTERIOR BUILDING LIGHTING
- DENOTES DIRECTION OF VINYL PLANK FLOORING

INDEX OF DRAWINGS

DWG NO.	DRAWING NAME
G1	GENERAL COVER SHEET
C1	CIVIL SITE PLAN- EXISTING CONDITIONS/ DEMOLITION
C2	SITE PLAN- PROPOSED
C3	SITE PLAN- DETAILS
C4	SITE PLAN- DETAILS
C5	SITE PLAN- DETAILS
A1	ARCHITECTURAL DEMO PLAN, PROPOSED PLAN, AND REFLECTED CEILING PLAN
A2	ROOF PLAN AND WALL PARTITION TYPES
A3	BUILDING ELEVATIONS
A4	FINISH SCHEDULE, DOOR AND WINDOW SCHEDULES
A5	KITCHEN PLAN, ELEVATION, DETAILS, AND SPECIFICATIONS, INTERIOR ELEVATIONS
A6	RESTROOM PLANS, ELEVATIONS, DETAILS, AND SPECIFICATIONS
A7	EXTERIOR DETAILS
E-001	ELECTRICAL ELECTRICAL NOTES & ABBREVIATIONS
E-101	ELECTRICAL FLOOR PLANS
E-501	ELECTRICAL DETAILS & SCHEDULES
M-001	MECHANICAL SYMBOLS, NOTES AND ABBREVIATIONS
M-101	MECHANICAL FLOOR PLANS
M-701	MECHANICAL SCHEDULE
P-001	PLUMBING SYMBOLS, NOTES AND ABBREVIATIONS
P-101	PLUMBING DEMOLITION PLANS
P-102	PLUMBING NEW WORK FLOOR PLANS
P-701	PLUMBING SCHEDULE

CONSULTANT INFO

ARCHITECT	MEP ENGINEER	STRUCTURAL ENGINEER
The Maryland-National Capital Park and Planning Commission Montgomery County Department of Parks Park Development Division 2425 Reedie Drive, 11th Floor Wheaton, Maryland 20902 301-495-2535	Century Engineering, Inc. 10710 Gilroy Road Hunt Valley, Maryland 21031 443-589-2400	Century Engineering, Inc. 10710 Gilroy Road Hunt Valley, Maryland 21031 443-589-2400

The Maryland-National Capital Park and Planning Commission

Montgomery Parks
Park Development Division
2425 Reedie Drive, 11th Floor
Wheaton, MD 20902
(301) 495-2595
MontgomeryParks.org

MEP ENGINEER
Century Engineering, Inc.
10710 Gilroy Road
Hunt Valley, Maryland 21031
443-589-2400

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.

License No. 21406
Expiration Date 1/23/2027

Project Name and Location

**Norbeck-Muncaster Mill
Neighborhood Park
Park Activity
Building Renovation**
4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman

Liber: 29914	Tax Map: HS342
Folio: 0259	WSSC:

Revisions		
No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title

COVER SHEET

100% Construction Documents (Permit Set)

Drawing No.

G1

PERMIT SHT. # 01 of 23
OVERALL SHT. # 01 of 23

REVIEWED
By Laura DiPasquale at 10:47 am, Nov 05, 2025

APPROVED
Montgomery County
Historic Preservation Commission

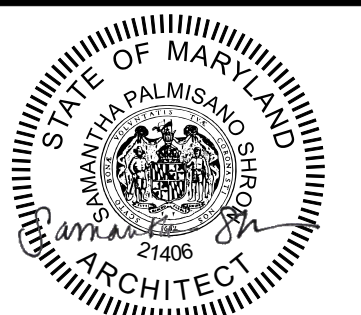
T:\Project\Projects\Norbeck-Muncaster Mill NP B39-PAB Renovation\2 Design\CAD\MMMP-ARCHSHTS.dwg G1 COVER Plotted By: Mitchell, Delisa, 10/31/2025 10:31 AM



The Maryland-National Capital Park and Planning Commission

Montgomery Parks
Park Development Division
2425 Reesie Drive, 11th Floor
Wheaton, MD 20902
(301) 495-2595
MontgomeryParks.org

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Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title

**SITE PLAN- EXISTING
CONDITIONS/
DEMOLITION**

100% Construction Documents (Permit Set)

Drawing No.

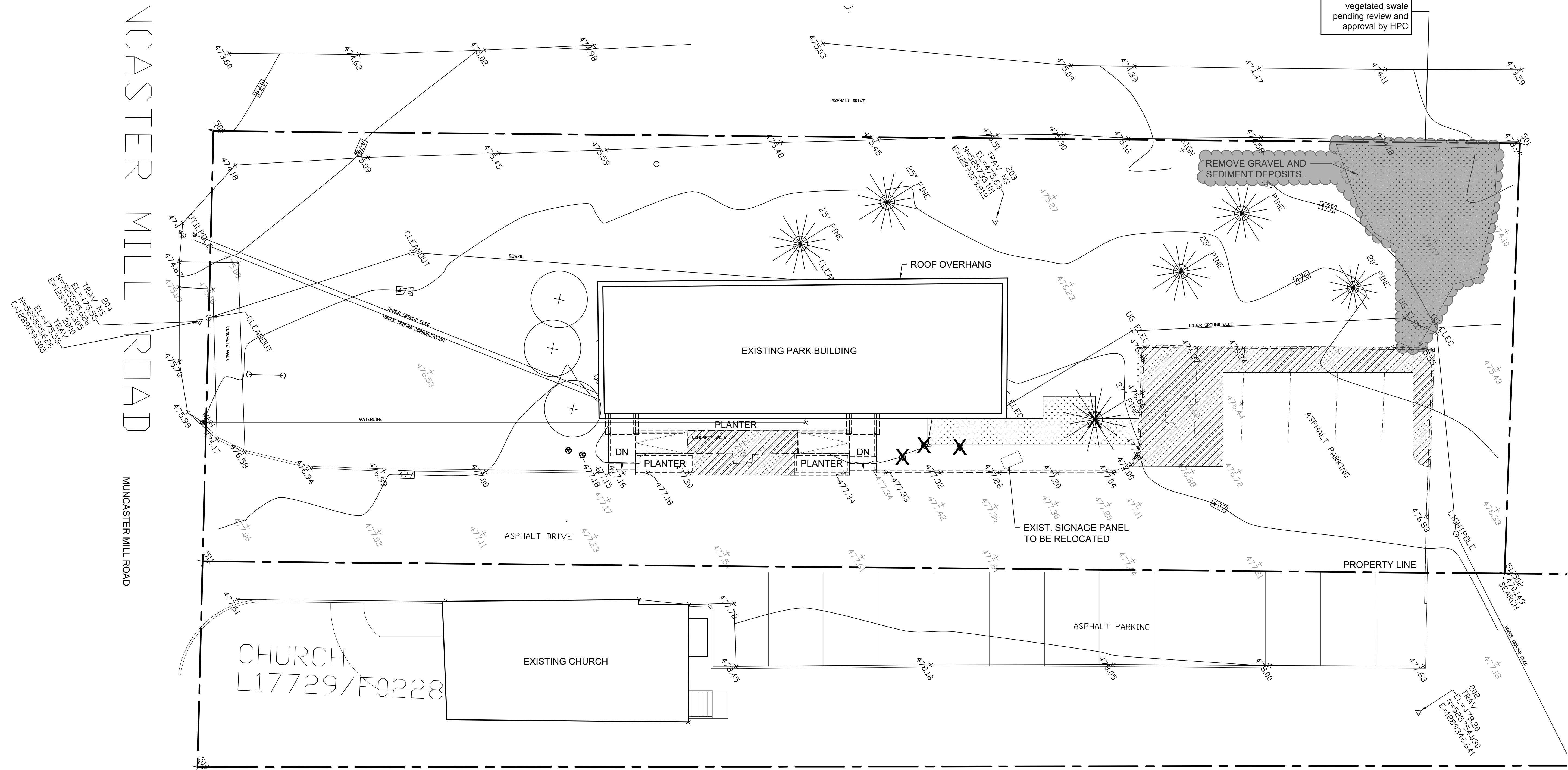
C1

PERMIT SHT. # 02 of 23
OVERALL SHT. # 02 of 23

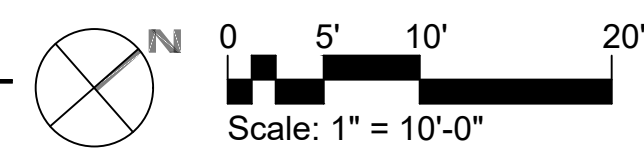
GRAPHIC LEGEND

- ITEMS TO BE REMOVED/ DEMOLISHED
- X TREES/ PLANTING TO BE REMOVED
- ▨ FULL DEPTH PAVEMENT REMOVAL
- ▤ PERVIOUS REMOVAL
- ▧ IMPERVIOUS REMOVAL

Potential future vegetated swale pending review and approval by HPC



1 DEMOLITION SITE PLAN
Scale: 1" = 10'-0"



REVIEWED
By Laura DiPasquale at 10:47 am, Nov 05, 2025

APPROVED
Montgomery County
Historic Preservation Commission

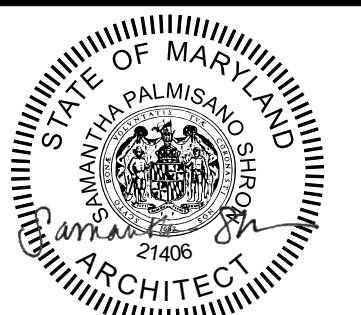
Karen Oulit



The Maryland-National
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Folio: 0259 WSSC:

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Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
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Drawing Title

**SITE PLAN-
PROPOSED**

100% Construction Documents (Permit Set)

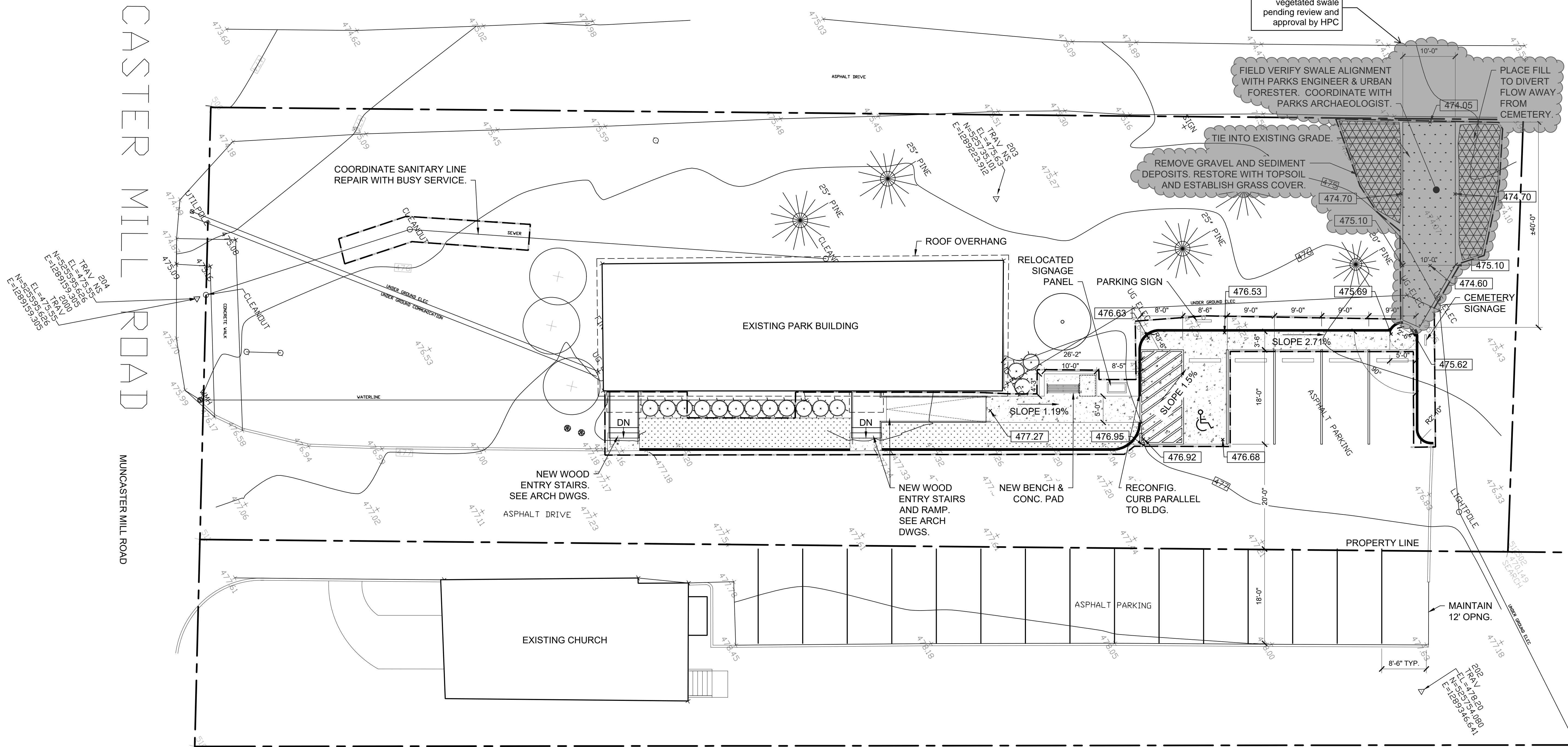
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C2

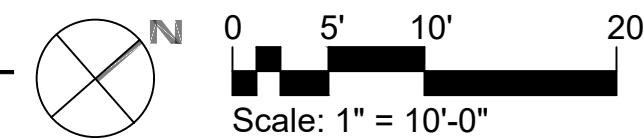
PERMIT SHT. # 03 of 23
OVERALL SHT. # 03 of 23

GRAPHIC LEGEND

- NEW ZELKOVA SERRATA "GREEN VASE" TREE
- NEW ILEX GLABRA "COMPACTA" SHRUBS
- NEW GRASS
- NEW CONCRETE
- NEW CONCRETE CURB
- VEGETATED RIP RAP SWALE
- NEW SPOT ELEVATION

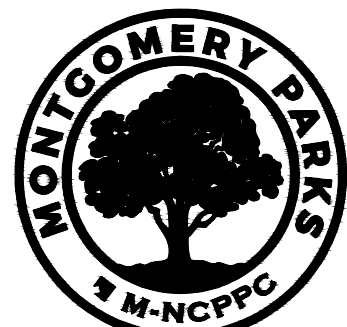


1 PROPOSED SITE PLAN
Scale: 1" = 10'-0"



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The Maryland-National
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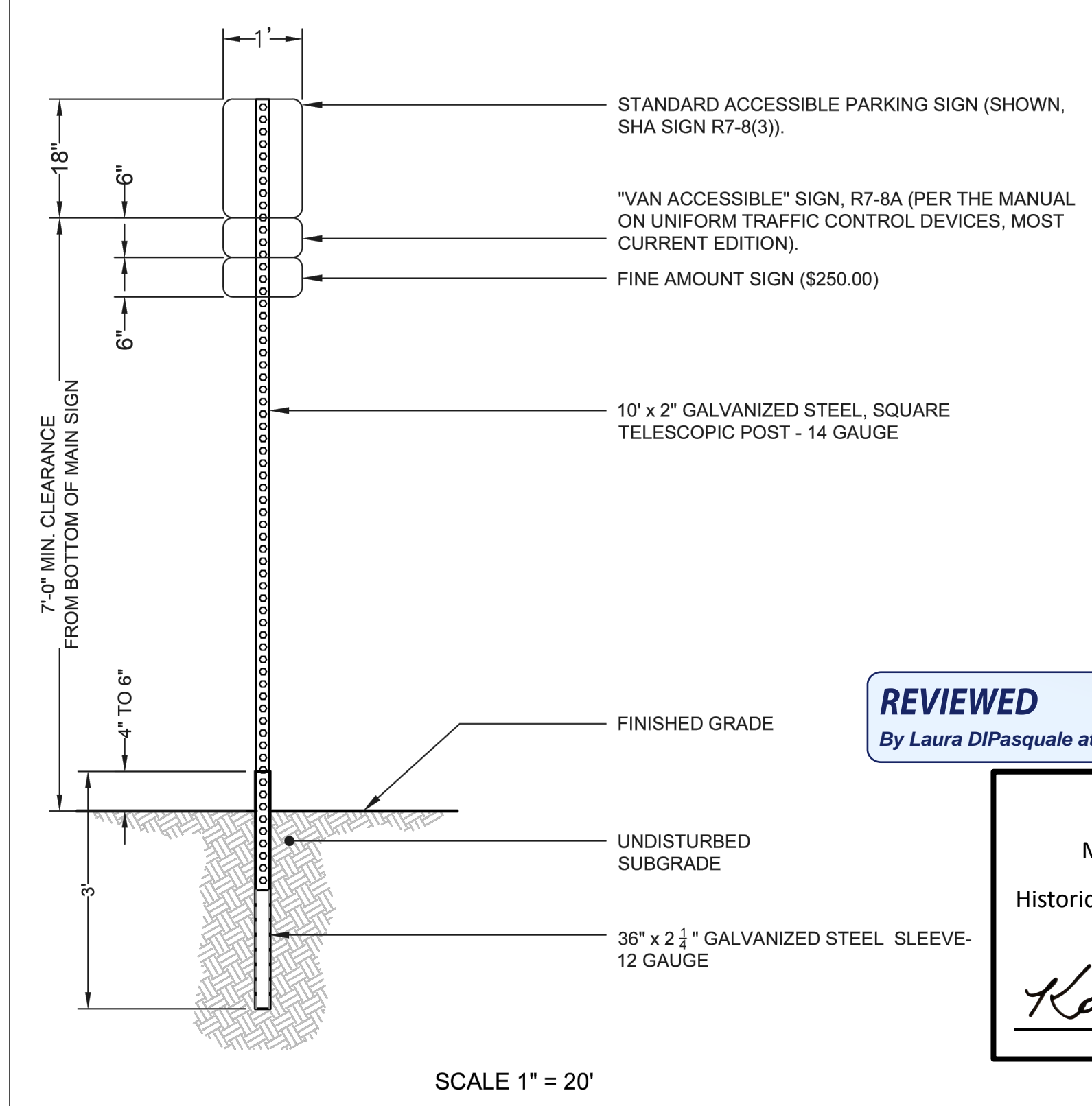
Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title
SITE PLAN- DETAILS

100% Construction Documents (Permit Set)

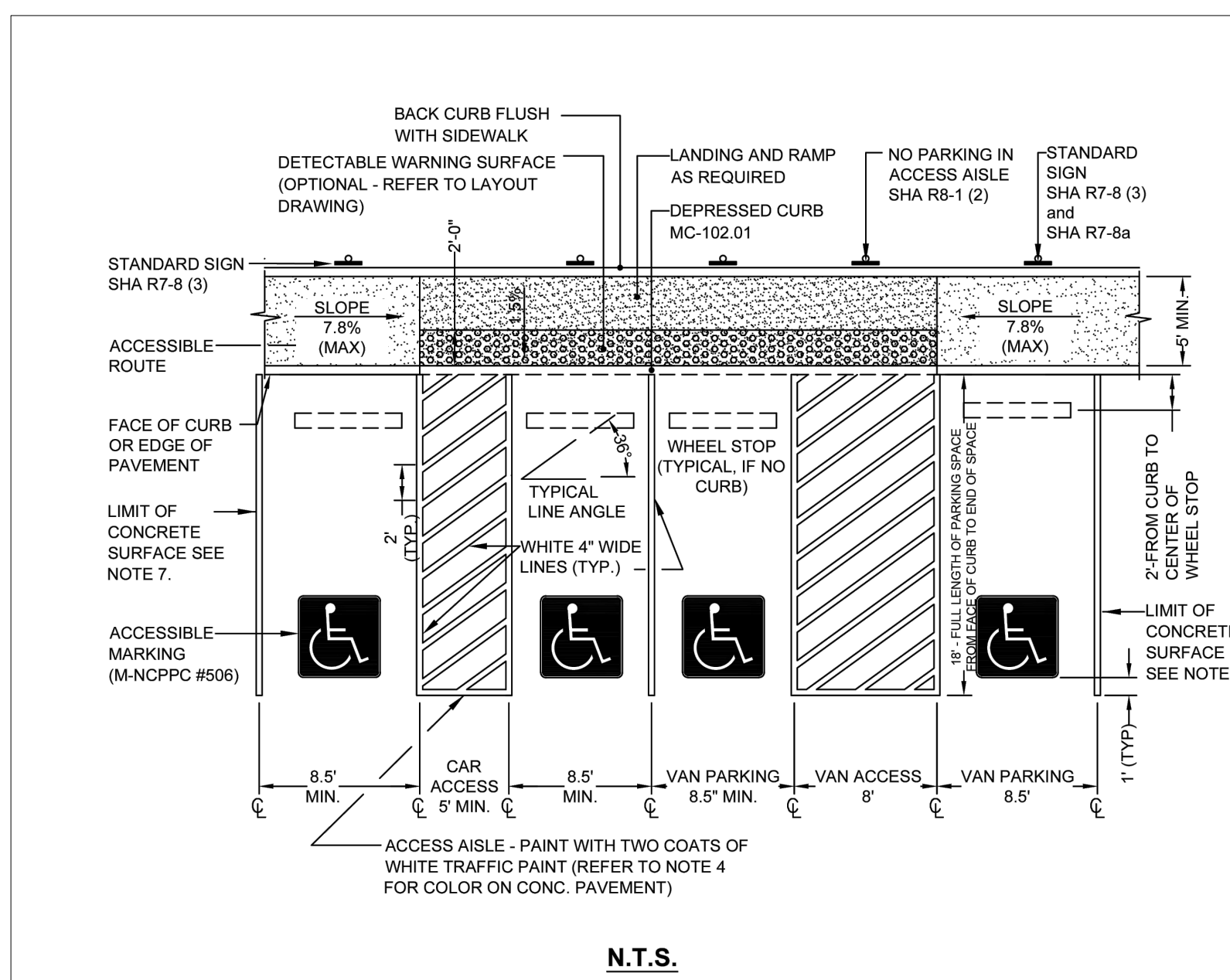
Drawing No.
C3

PERMIT SHT. # 04 of 23
OVERALL SHT. # 04 of 23



NOTES:
1. ALL SIGNAGE WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT ADA REGULATIONS.
2. FASTEN SIGN WITH A MINIMUM OF THREE (3) #26 CHERRY MATE RIVETS.
3. ALL SIGN CORNERS AND BORDERS SHALL BE ROUNDED AT A 1-1/2" RADIUS, AND THE SIGN MADE OF #14 GAUGE ALUMINUM.

ADA SIGN MOUNTING AND POST ELEVATION
JANUARY 2021
The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
No. 508

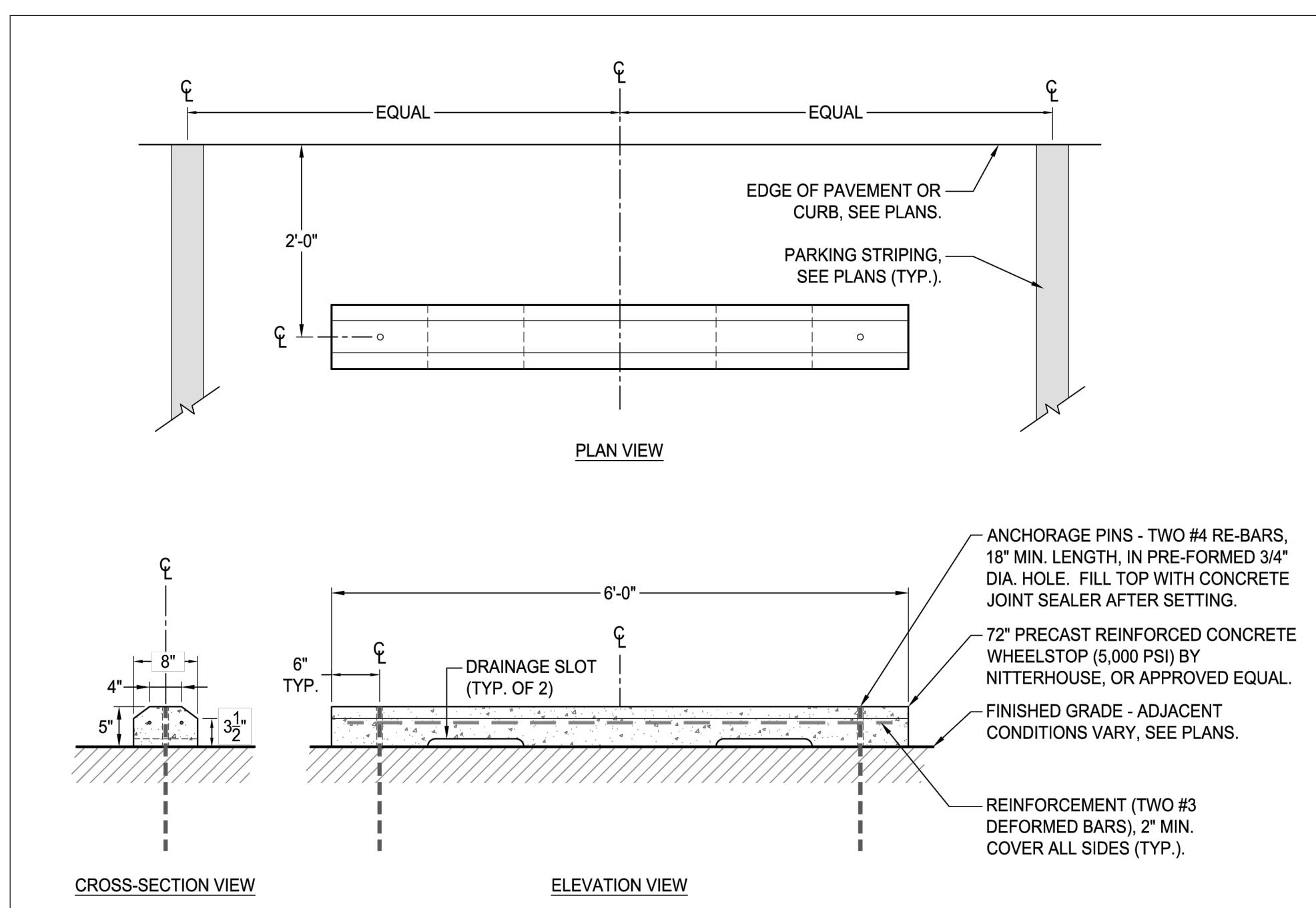


NOTES:
1. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1.5% IN ANY DIRECTION. THE RUNNING SLOPE OF ACCESSIBLE ROUTES SHALL NOT EXCEED 4.5% WITH A CROSS SLOPE NOT EXCEEDING 1.5%.
2. WHERE ACCESS AISLE LEADS TO A RAISED WALKWAY, A CURB RAMP SHALL BE PROVIDED. ACCESSIBLE SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE TO THE FACILITY ENTRANCE.
3. ON CONCRETE PARKING SURFACES, BLUE PAINT SHALL BE USED IN LIEU OF WHITE PAINT AT THE DISCRETION OF THE M-NCPPC CONSTRUCTION MANAGER.
4. PROVIDE 100" MINIMUM VERTICAL CLEARANCE FOR VAN PARKING SPACES AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THESE SPACES. WIDTH DIMENSION IS FROM CENTERLINE TO CENTERLINE OF PAINT STRIPES OF PARKING SPACE.
5. PARKING SPACE WIDTH IS TYPICALLY 8.5' WIDE BUT MAY BE REDUCED TO 8' MIN. IF DIRECTED BY M-NCPPC CM.
6. IF CONCRETE SURFACING IS UTILIZED, THE LIMITS OF CONCRETE SHALL EXTEND A MIN. OF 0.5' FROM CENTERLINE OF STRIPPING.

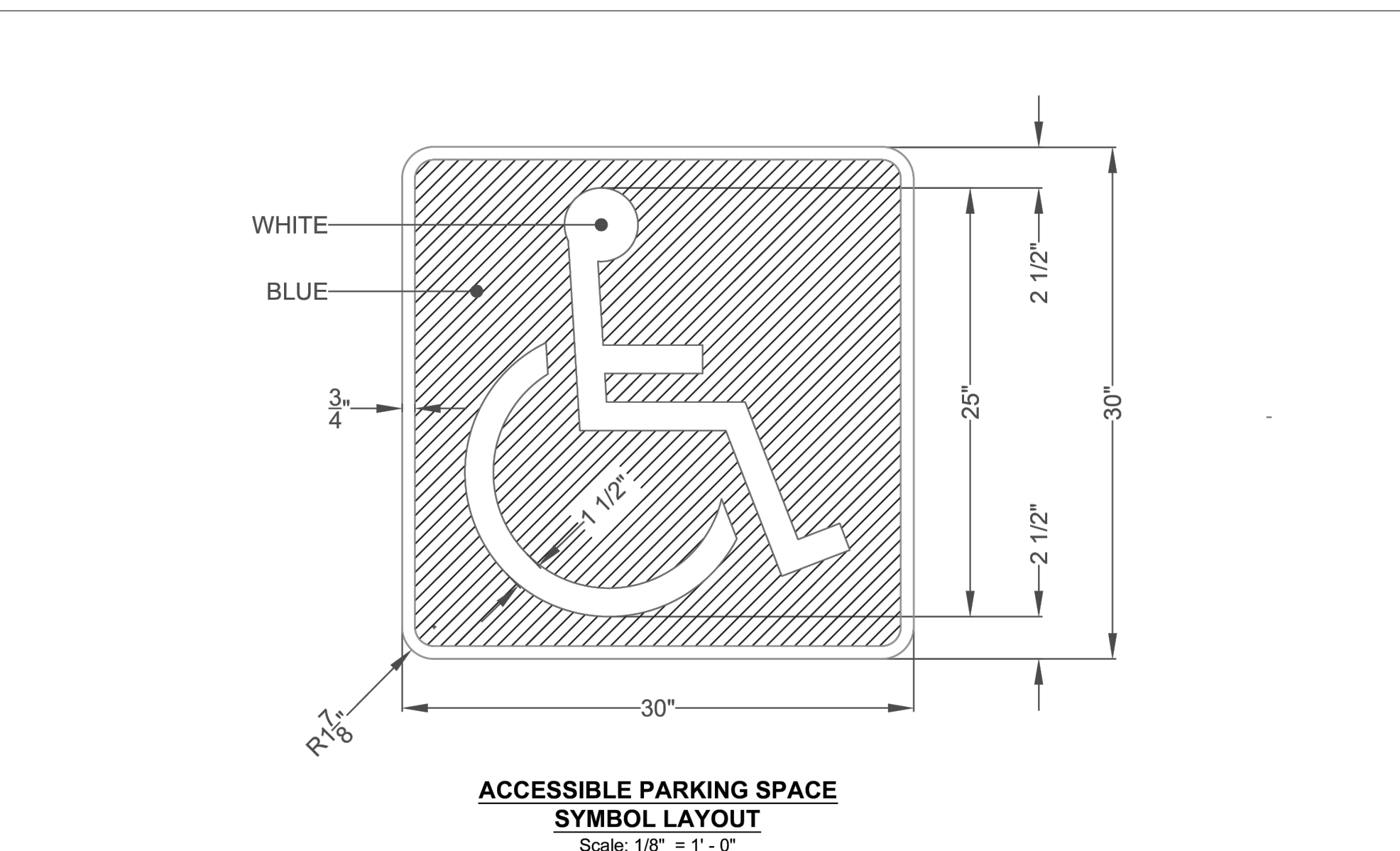
ADA PARKING SPACE TABLE	
1 to 25:	1 van
26 to 50:	2 (1 van/1 standard)
51 to 75:	3 (1 van/2 standard)
76 to 100:	4 (1 van/3 standard)
101 to 150:	5 (2 van/3 standard)
151 to 200:	6 (2 van/4 standard)
201 to 300:	7 (2 van/5 standard)
301 to 400:	8 (2 van/6 standard)
401 to 500:	9 (3 van/6 standard)
501 to 1000:	2% of total (1/4 van, 3/4 standard)

1001 and over: 20, plus 1 for each 100, or fraction thereof, over 1000 (1/4 van, 3/4 standard).
Notes: For every 4 accessible parking spaces, there must be 1 van accessible spot.

ACCESSIBLE PARKING PLAN
JANUARY 2021
The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
No. 505

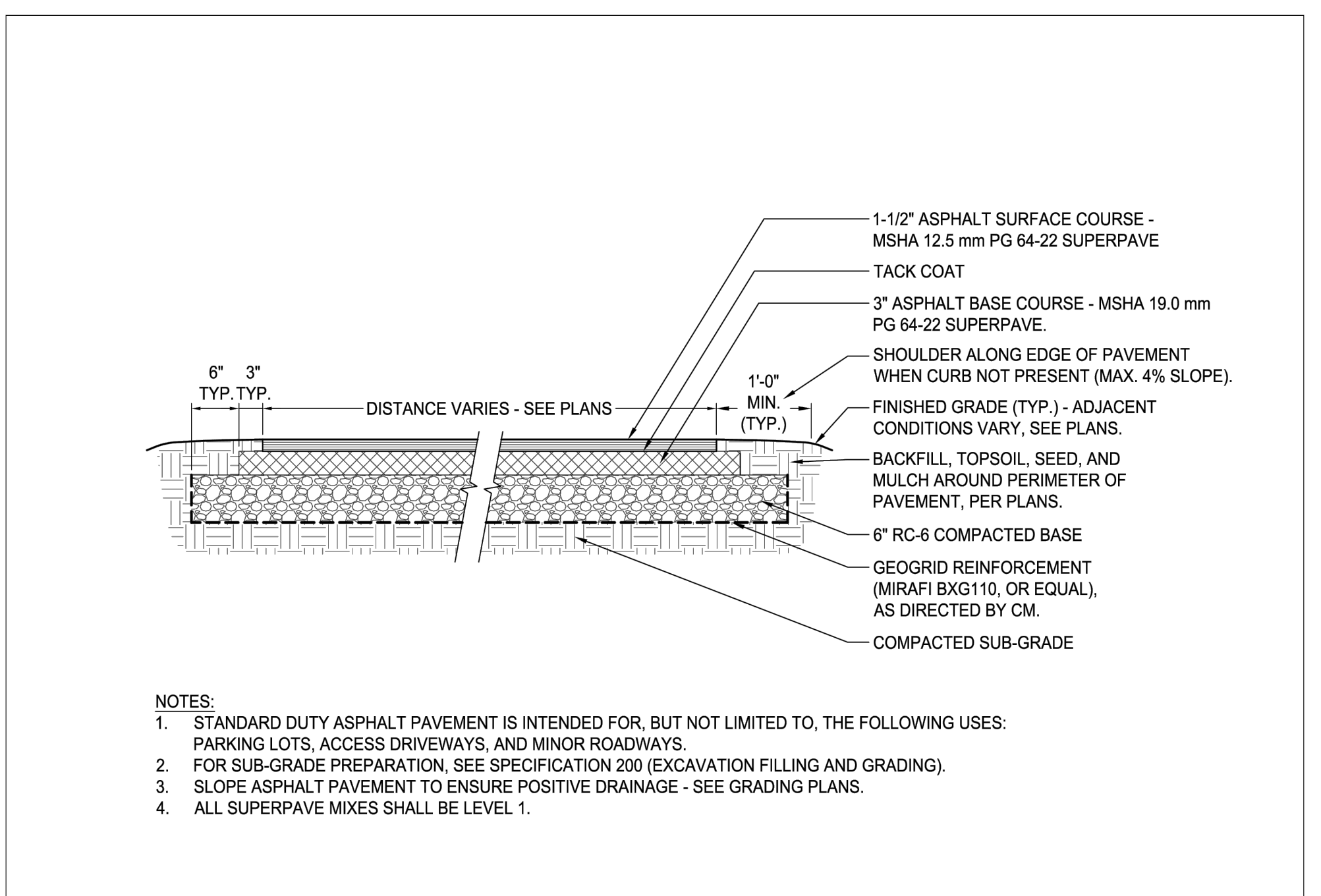


M-NCPPC Montgomery County Department of Parks
www.montgomeryparks.org
SCALE: 3/4" = 1'-0"
DATE: 06-09-2025
TYPE: SECTION/PLAN
ELEVATION
Detail No. **504**

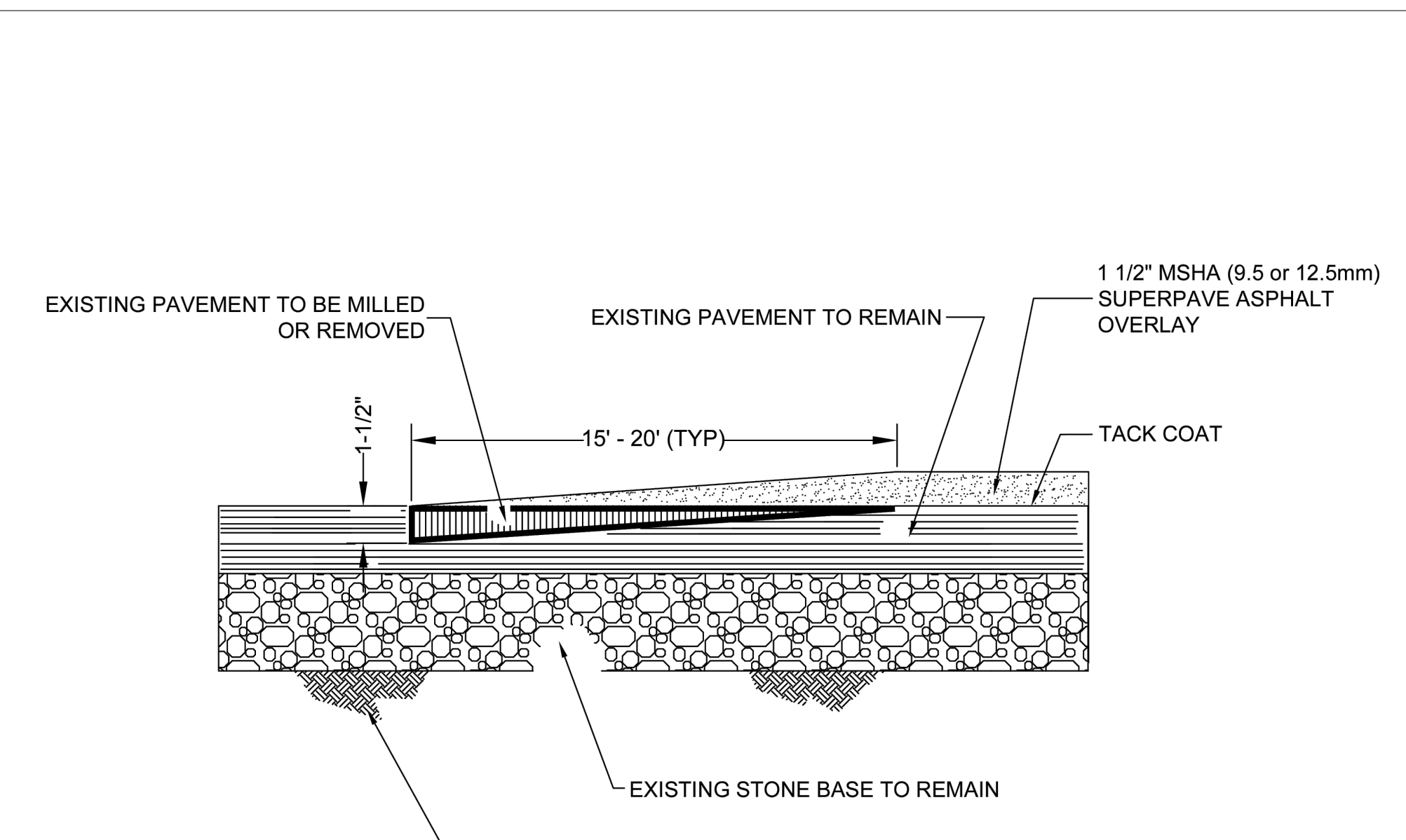


NOTES:
1. PLACE TEMPLATE AT CENTERLINE OF STALL. REFER TO PARKING STRIPING DETAIL #512 FOR DIMENSIONS.
2. SYMBOL AND BORDER COLOR: WHITE (RETRO-REFLECTIVE)
BACKGROUND COLOR: BLUE (RETRO-REFLECTIVE)
3. THIS DETAIL CONFORMS TO THE MOST CURRENT MARYLAND STATE HIGHWAY ADMINISTRATION DETAIL D9-6.
4. OPTIMUM APPLICATION OF PAINT AFTER CONCRETE CURE: 14 DAYS

ACCESSIBLE PARKING SPACE SYMBOL
JANUARY 2021
The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
No. 506

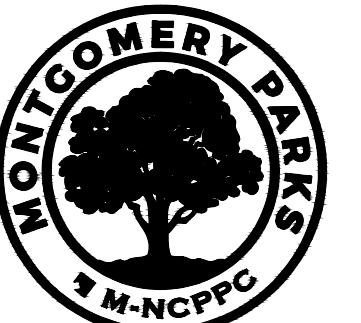


M-NCPPC Montgomery County Department of Parks
www.montgomeryparks.org
SCALE: 3/4" = 1'-0"
DATE: 08-14-2025
TYPE: SECTION
Detail No. **502**



ASPHALT PAVEMENT TIE-IN NOTCH SECTION
JANUARY 2021
The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
No. 512

T:\Projects\Projects\Norbeck-Muncaster Mill NP B39\YAB Renovation\2 Design\CAD\NMNP-PLAN-SITE.dwg C3 DETAILS 1 Plotted By: Mitchell, Deliso, 10/31/2025 2:29 PM



The Maryland-National
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Commission

Montgomery Parks
Park Development Division
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Wheaton, MD 20902
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MontgomeryParks.org

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Century Engineering, Inc.
10710 Gilroy Road
Hunt Valley, Maryland 21031
443-589-2400



REVIEWED
By Laura DiPasquale at 10:47 am, Nov 05, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Karen Buelit



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
License No. 21406
Expiration Date 1/23/2027

Project Name and Location

**Norbeck-Muncaster Mill
Neighborhood Park
Park Activity
Building Renovation**
4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman

Liber: 29914 Tax Map: HS342
Folio: 0259 WSSC:

Revisions		
No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

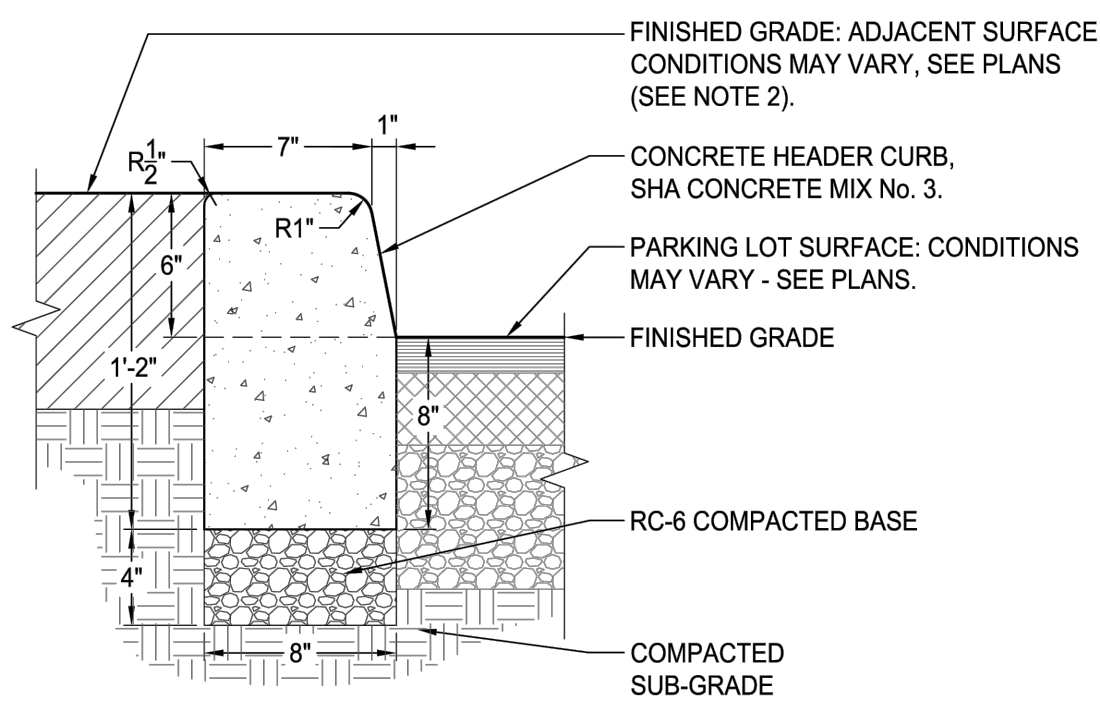
Drawing Title
SITE PLAN- DETAILS

100% Construction Documents (Permit Set)

Drawing No.

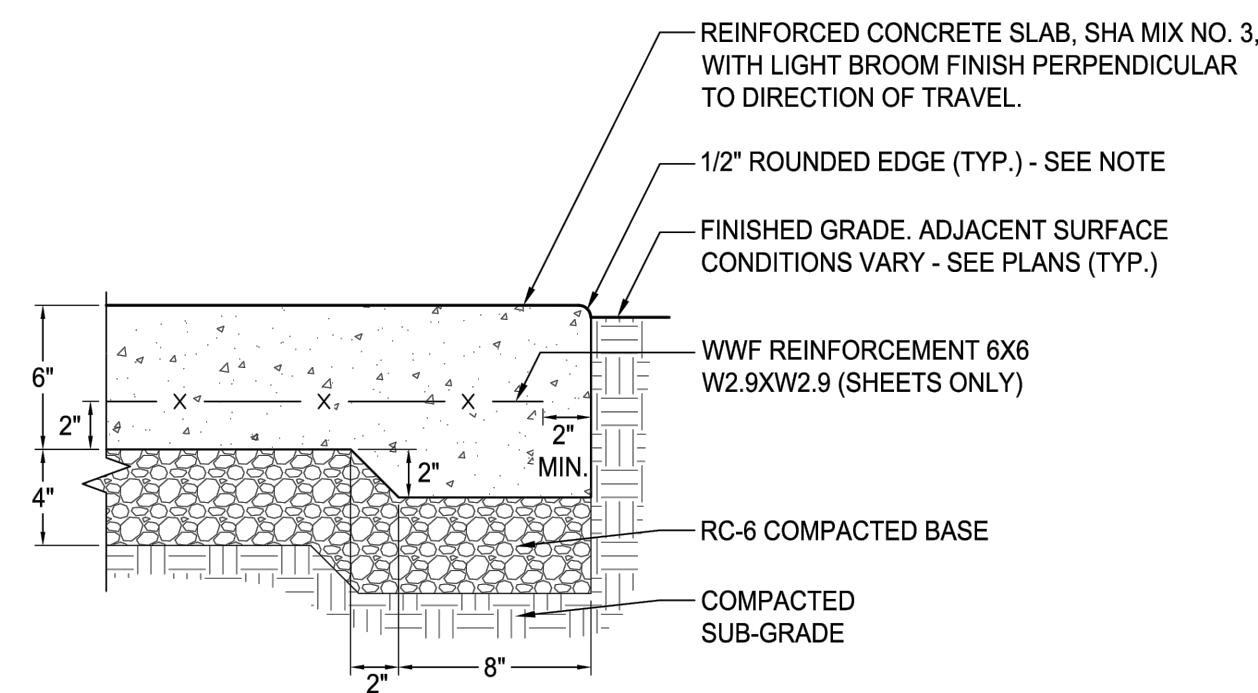
C4

PERMIT SHT. # 05 of 23
OVERALL SHT. # 05 of 23



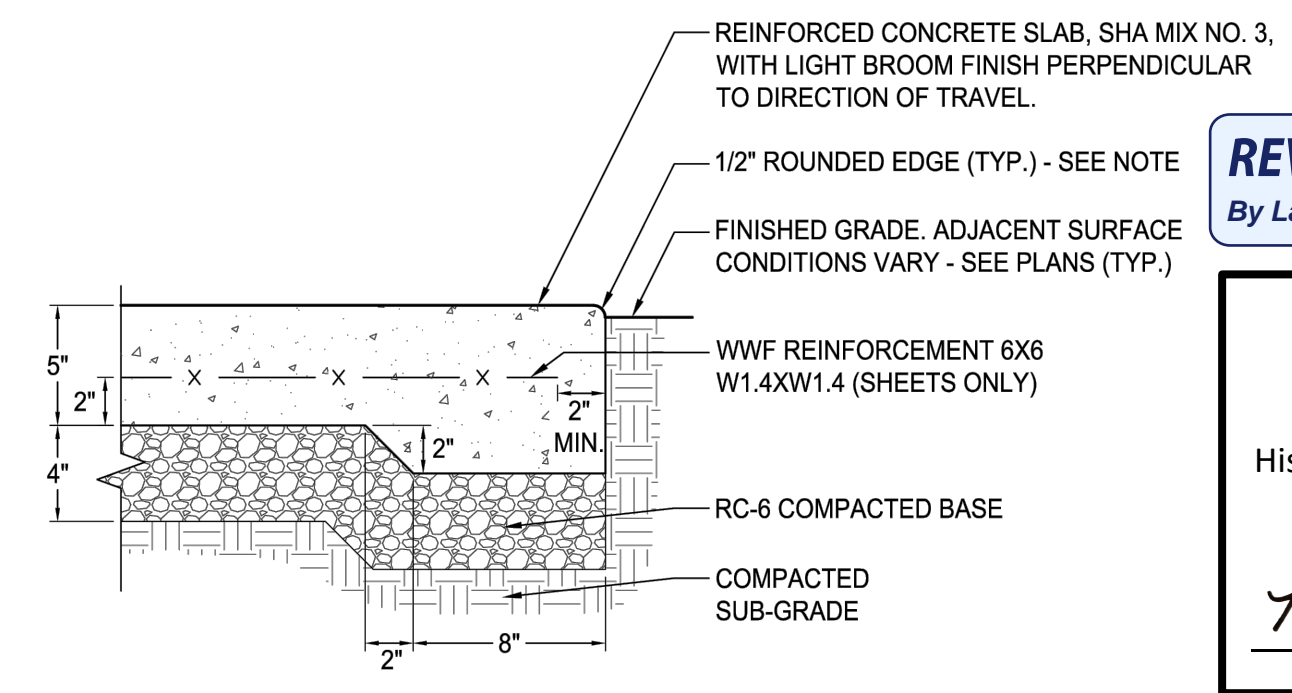
- NOTES:
- REFER TO MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR MATERIALS, METHODS OF CONSTRUCTION AND EXPANSION JOINT LOCATIONS.
 - TOP OF CURB SHALL BE TROWELLED SMOOTH WITH LIGHT BROOM FINISH. TOOL BACK OF CURB EDGE WITH 1/4" (QUARTER INCH) RADIUS IF ADJOINING PAVEMENT.
 - EXPANSION JOINT MATERIAL SHALL BE THREE-EIGHTS-INCH (3/8") PREFORMED CORK, TRIMMED AND SEALED WITH NON-STAINING TWO-COMPONENT POLYSULFIDE OR POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH ASTM-C920. SEALANT COLOR TO MATCH PAVING. TOOL CONCAVE 1/8".
 - JOINT SPACING: CONTROL JOINTS EVERY TEN FEET (10') AND EXPANSION JOINTS EVERY TWENTY FEET (20') BUT NO MORE THAN THIRTY FEET (30') APART.

M-NCPPC Montgomery County Department of Parks
www.montgomeryparks.org
CONCRETE HEADER CURB
SCALE: 1-1/2" = 1'-0"
DATE: 06-10-2025
TYPE: SECTION
Detail No. **515**



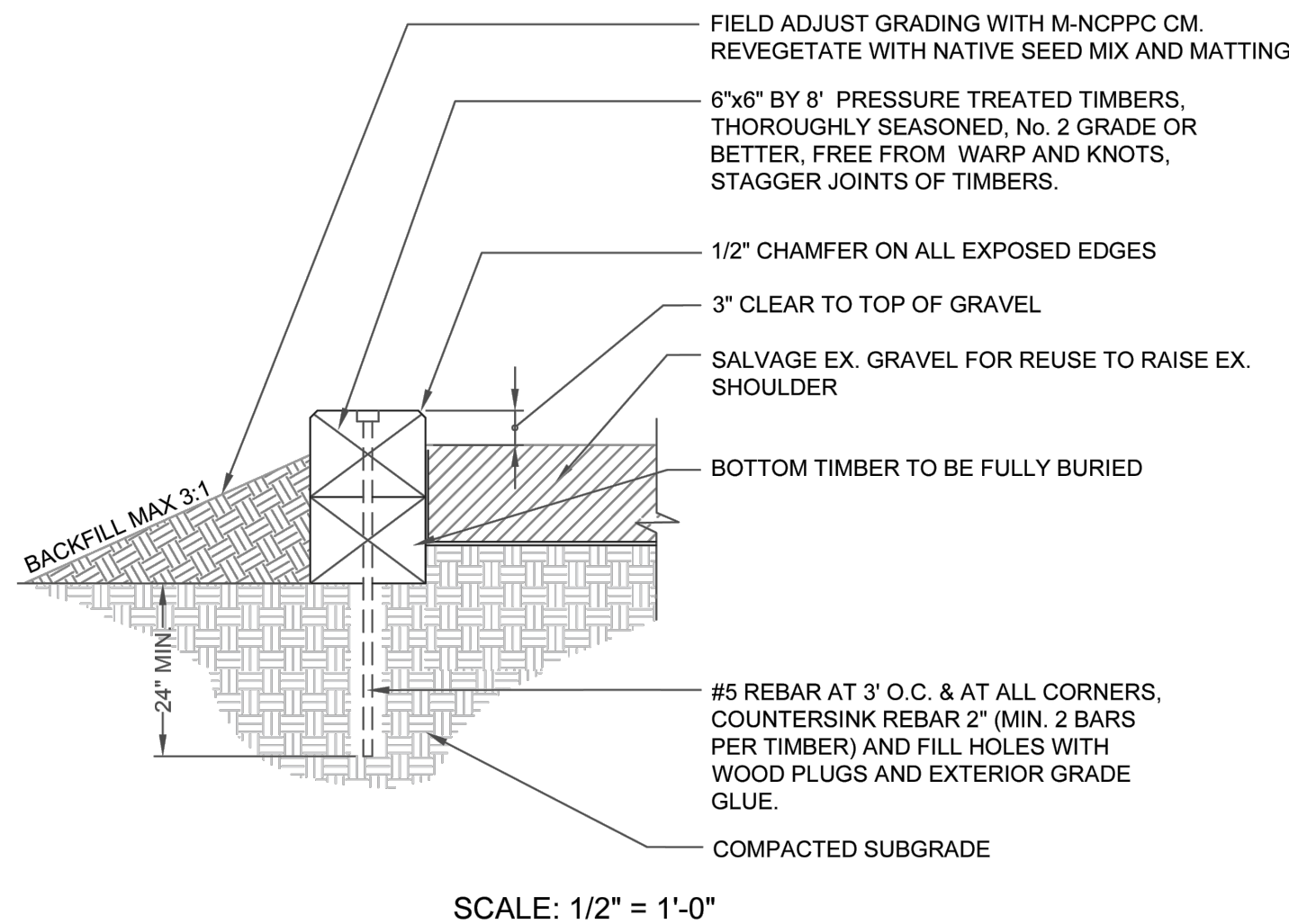
- NOTES:
- HEAVY DUTY PAVEMENT IS INTENDED FOR, BUT NOT LIMITED TO, THE FOLLOWING USES: PLAZA AREAS, PICNIC SHELTER SLABS, ADA PARKING, PARKING LOTS, AND REGULAR HEAVY MAINTENANCE VEHICLE ACCESS.
 - PROVIDE THICKENED EDGE AT TERMINUS OF WALKWAYS, PLAZAS, SLABS, ETC., OR WHEN CONCRETE PAVING ABUTS OTHER PAVEMENT TYPES.
 - CROSS-SLOPE SHALL NOT EXCEED 1.5%.
 - REFER TO SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS (LATEST EDITION).
 - APPLY W.R. MEADOWS VOCOMP-20 CURING AND SEALING AGENT (OR APPROVED EQUAL) TO ALL CONCRETE SURFACES PER MANUFACTURER'S INSTRUCTIONS.
 - CONCRETE SURFACE SHALL BE TROWELLED SMOOTH, WITH LIGHT BROOM FINISH, AND ALL EXPOSED EDGES ROUNDED WITH A 1/2" ROUND EDGING TOOL.
 - CONTROL JOINTS SHALL BE NO MORE THAN 8-FEET APART UNLESS NOTED OTHERWISE.
 - EXPANSION JOINTS EVERY 20-FEET, OR OTHERWISE NOTED ON PLANS, AND WHEN CONCRETE PAVING ABUTS OTHER PAVING OR VERTICAL SURFACE.
 - PLACE GEOGRID AS REQUIRED BY M-NCPPC CONSTRUCTION MANAGER.

M-NCPPC Montgomery County Department of Parks
www.montgomeryparks.org
CONCRETE PAVEMENT - HEAVY DUTY (TYPICAL CROSS-SECTION)
SCALE: 1-1/2" = 1'-0"
DATE: 12-23-2024
TYPE: SECTION
Detail No. **522**



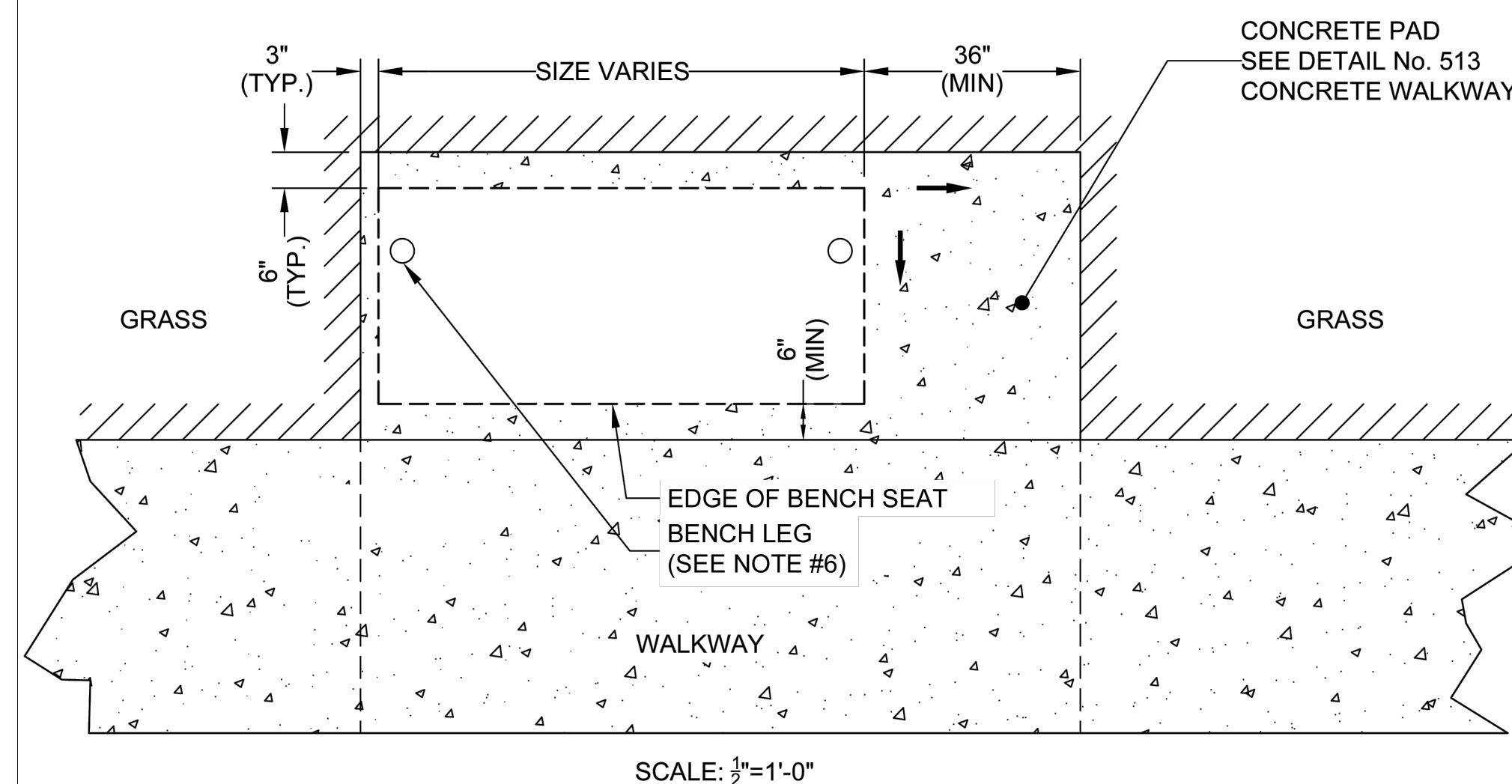
- NOTES:
- STANDARD DUTY PAVEMENT IS INTENDED FOR, BUT NOT LIMITED TO, THE FOLLOWING USES: PEDESTRIAN WALKWAYS, ADA RAMPS, MAINTENANCE VEHICLE ACCESS, AND TRAIL BRIDGE APPROACHES.
 - PROVIDE THICKENED EDGE AT TERMINUS OF WALKWAYS, PLAZAS, SLABS, ETC., OR WHEN CONCRETE PAVING ABUTS OTHER PAVEMENT TYPES.
 - CROSS-SLOPE SHALL NOT EXCEED 1.5%.
 - REFER TO SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS (LATEST EDITION).
 - APPLY W.R. MEADOWS VOCOMP-20 CURING AND SEALING AGENT (OR APPROVED EQUAL) TO ALL CONCRETE SURFACES PER MANUFACTURER'S INSTRUCTIONS.
 - CONCRETE SURFACE SHALL BE TROWELLED SMOOTH, WITH LIGHT BROOM FINISH, AND ALL EXPOSED EDGES ROUNDED WITH A 1/2" ROUND EDGING TOOL.
 - CONTROL JOINTS SHALL BE NO MORE THAN 8-FEET APART UNLESS NOTED OTHERWISE.
 - EXPANSION JOINTS EVERY 20-FEET, OR OTHERWISE NOTED ON PLANS, AND WHEN CONCRETE PAVING ABUTS OTHER PAVING OR VERTICAL SURFACE.
 - PLACE GEOGRID AS REQUIRED BY M-NCPPC CONSTRUCTION MANAGER.

M-NCPPC Montgomery County Department of Parks
www.montgomeryparks.org
CONCRETE PAVEMENT - STANDARD DUTY (TYPICAL CROSS-SECTION)
SCALE: 1-1/2" = 1'-0"
DATE: 12-23-2024
TYPE: SECTION
Detail No. **521**



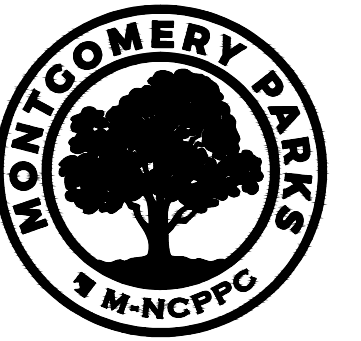
- NOTE:
- FIELD ADJUST PULL OFF LAYOUT AND ELEVATIONS WITH M-NCPPC CM INCLUDING TAPERS AND TIE-INS TO EXISTING PAVEMENT.
 - ROOT PRUNING AND OTHER ROOT PROTECTION MEASURES MAY BE REQUIRED BY M-NCPPC CM.
 - MAXIMUM OF 4 TIMBERS UNLESS DIRECTED BY M-NCPPC CM.

TIMBER EDGE FOR GRAVEL PULL OFFS SECTION
The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
JANUARY 2021
No. 451



- NOTES:
- PROVIDE 6" CLEARANCE BETWEEN EDGE OF PAVEMENT AND EDGE OF BENCH SEAT OR LEG, WHICHEVER IS CLOSER. IF ALONG SIDE A HIKER/BIKER TRAIL, THE MINIMUM SHOULD BE 3'.
 - REFER TO PROJECT PLANS FOR ALTERNATIVE MATERIALS.
 - BENCH SEAT HEIGHT MUST BE BETWEEN 17" AND 19" ABOVE FINISHED GRADE.
 - MAXIMUM 1.5% SLOPE IN ANY DIRECTION.
 - BENCH LEG POSITION AND INSTALLATION IS BASED ON MANUFACTURER'S RECOMMENDATIONS.
 - SEE NO. 601-BENCH DETAIL SECTION.

BENCH PAD WITH WHEELCHAIR SPACE PLAN
The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
JANUARY 2021
No. 602



The Maryland-National
Capital Park and Planning
Commission

Montgomery Parks
Park Development Division
2425 Reeside Drive, 11th Floor
Wheaton, MD 20902
(301) 495-2595
MontgomeryParks.org

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Century Engineering, Inc.
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443-589-2400



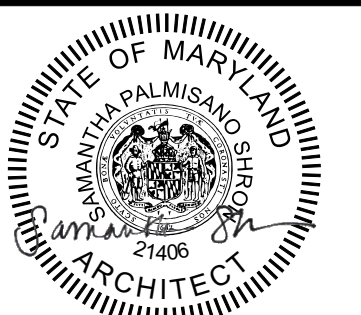
REVIEWED

By Laura DiPasquale at 10:47 am, Nov 05, 2025

APPROVED

Montgomery County
Historic Preservation Commission

Karen Buelit



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.

License No. 21406
Expiration Date 1/23/2027

Project Name and Location

**Norbeck-Muncaster Mill
Neighborhood Park
Park Activity
Building Renovation**
4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman

Lib: 29914 Tax Map: HS342
Folio: 0259 WSSC:

Revisions		
No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title

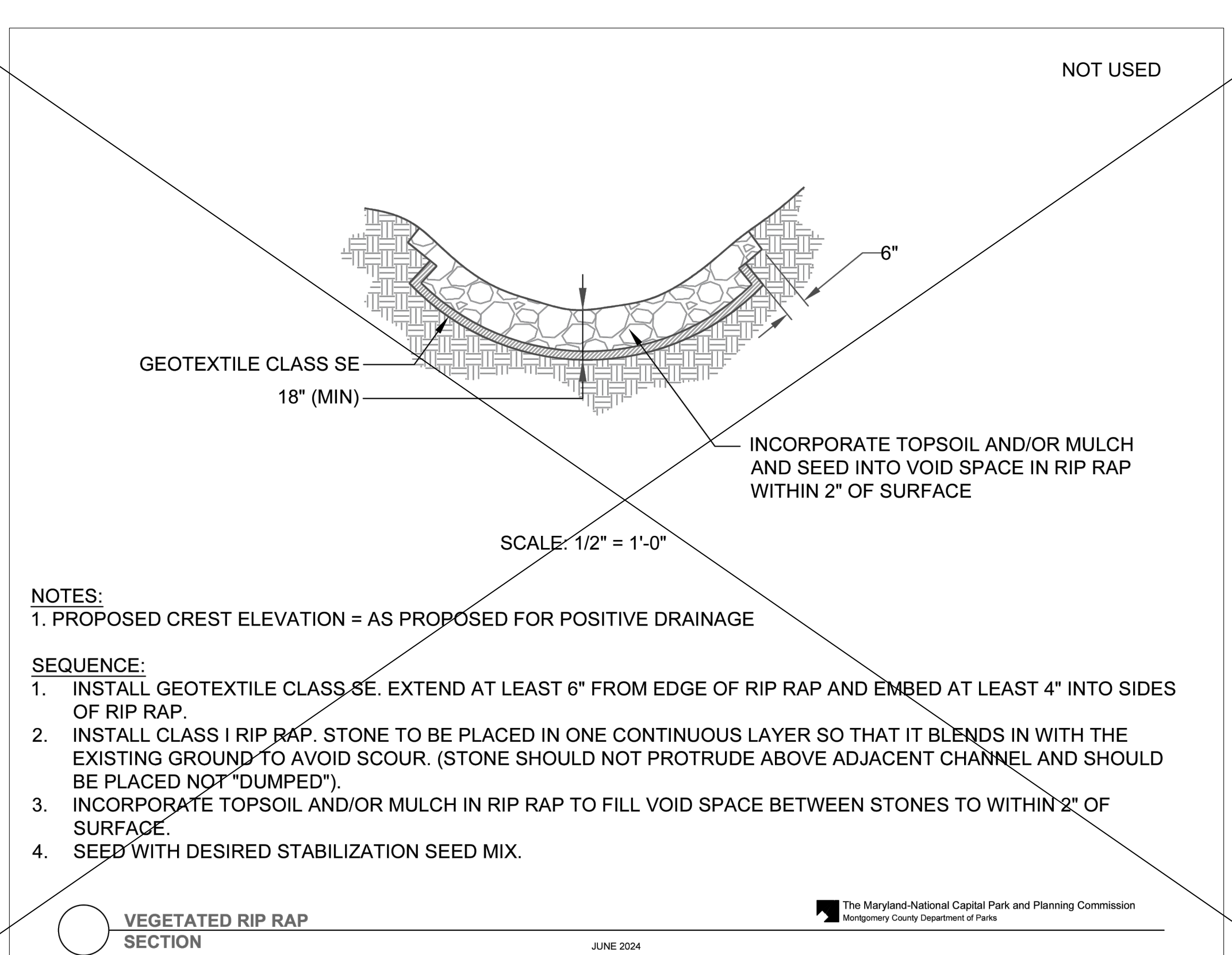
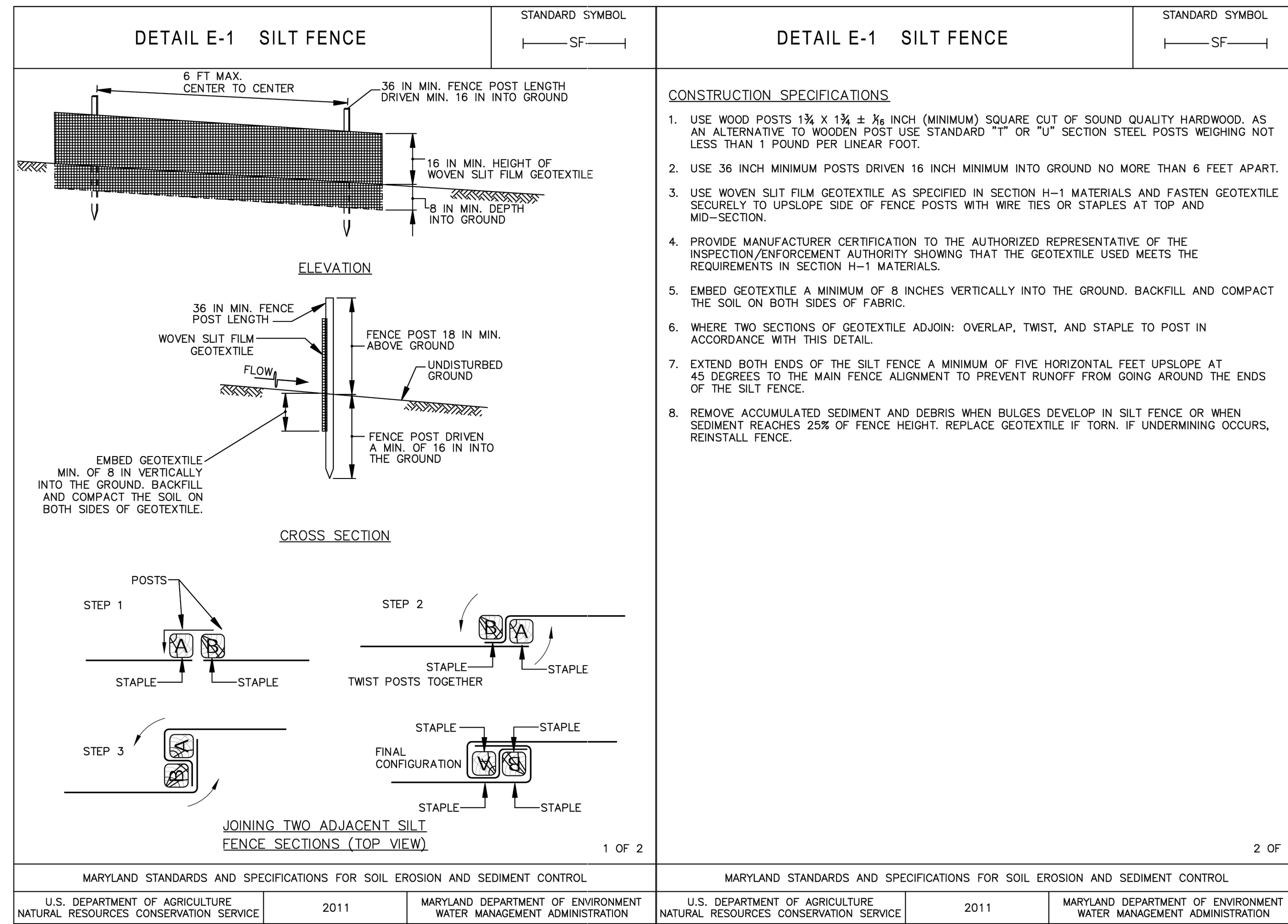
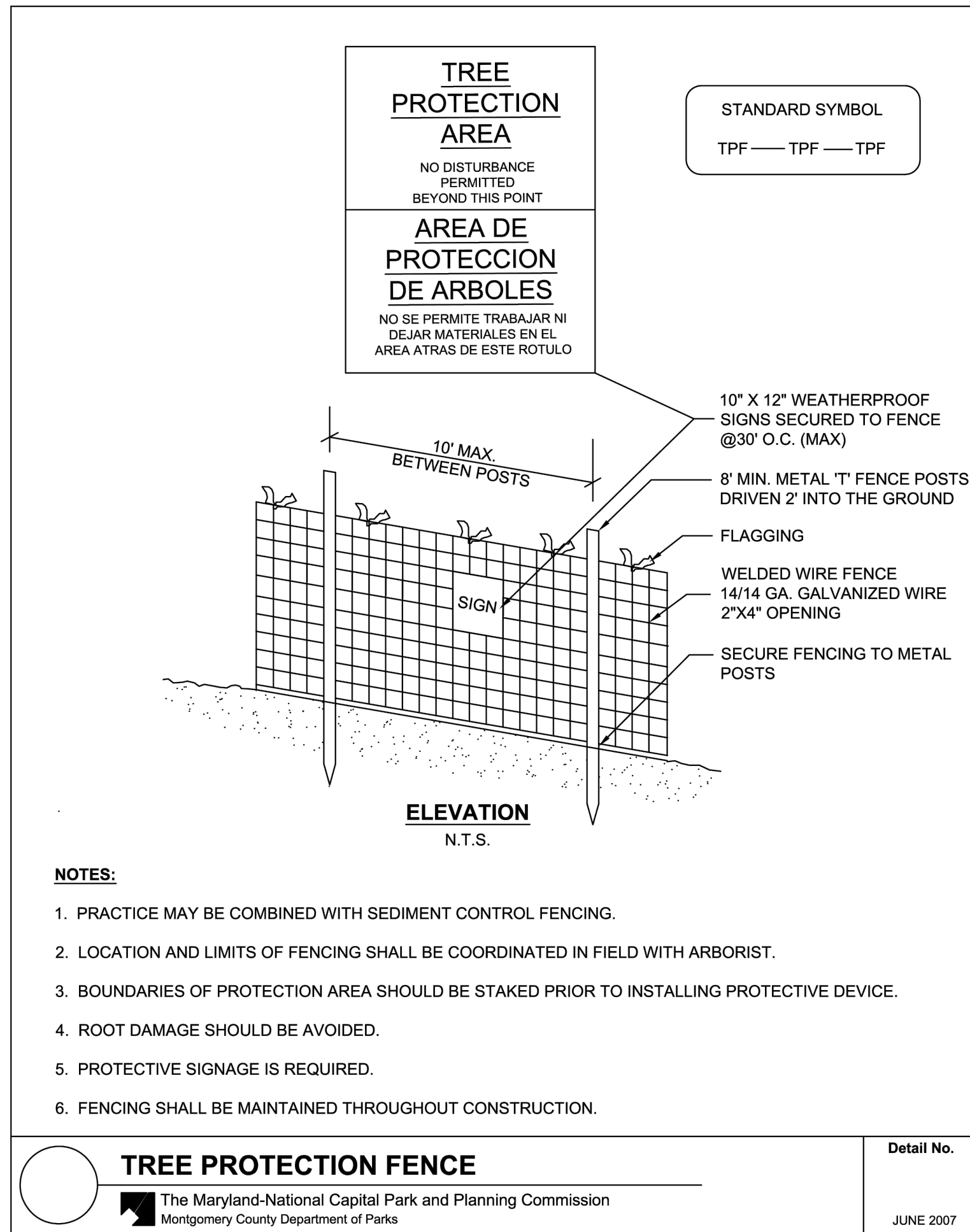
SITE PLAN- DETAILS

100% Construction Documents (Permit Set)

Drawing No.

C5

PERMIT SHT. # 06 of 23
OVERALL SHT. # 06 of 23



T:\Projects\Projects\Norbeck-Muncaster Mill NP B39\YAB Renovation\2 Design\CAD\NMNP-PLAN-SITE.dwg C5 DETAILS 3 Plotted By: Mitchell, Deliso, 11/4/2025 8:47 AM, ---

LIGHT FIXTURES:
 INSTALL OCCUPANCY SENSORS FOR ALL LIGHT FIXTURES
 L-1 CEILING LIGHTS: REUSE EXIST. 2x2 LIGHT FIXTURES WHERE POSSIBLE. NEW FIXTURES, IF NECESSARY, TO MATCH EXIST. IN TYPE AND COLOR TEMPERATURE.
 L-2 PORCH CEILING LIGHTS: JUNO, WF6, 6" SWITCHABLE WHITE RECESSED DOWNLIGHT LED
 L-3 EXTERIOR BUILDING LIGHTS: LITHONIA LIGHTING, ARC2 LED, ARCHITECTURAL WALL LUMINAIRE. REPLACE IN KIND.

GENERAL NOTES

1. PAINT ALL WINDOW PANELS, WINDOW CAGES, WALLS, DOORS, FRAMES, AND MISCELLANEOUS ITEMS AS NOTED ON DRAWINGS AND PAINT SCHEDULE.
2. PATCH WALL AND CEILING SURFACES.
3. REPLACE OR CLEAN & PAINT EXISTING SUPPLY AND RETURN GRILLES.
4. NEW DOOR SHALL BE SET AT 4" FROM ADJACENT WALL ALONG HINGE SIDE.



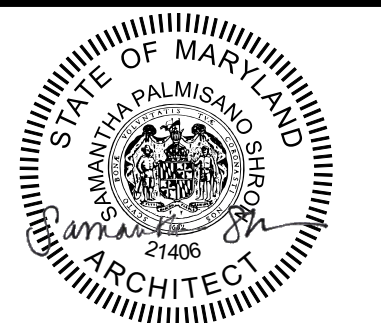
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 Montgomery Parks
 Park Development Division
 2425 Reedie Drive, 11th Floor
 Wheaton, MD 20902
 (301) 495-2595
 MontgomeryParks.org

MEP ENGINEER
 Century Engineering, Inc.
 10710 Gilroy Road
 Hunt Valley, Maryland 21031
 443-589-2400



REVIEWED
 By Laura DiPasquale at 10:47 am, Nov 05, 2025

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 Montgomery County
 Historic Preservation Commission
Karen Buelit



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Project Name and Location
Norbeck-Muncaster Mill
Neighborhood Park
Park Activity Building Renovation
 4101 Muncaster Mill Road
 Norbeck, MD 20853

Project ID: B39-001
 Project Manager: Alexandra Dahlman
 Liber: 29914 Tax Map: HS342
 Folio: 0259 WSSC:

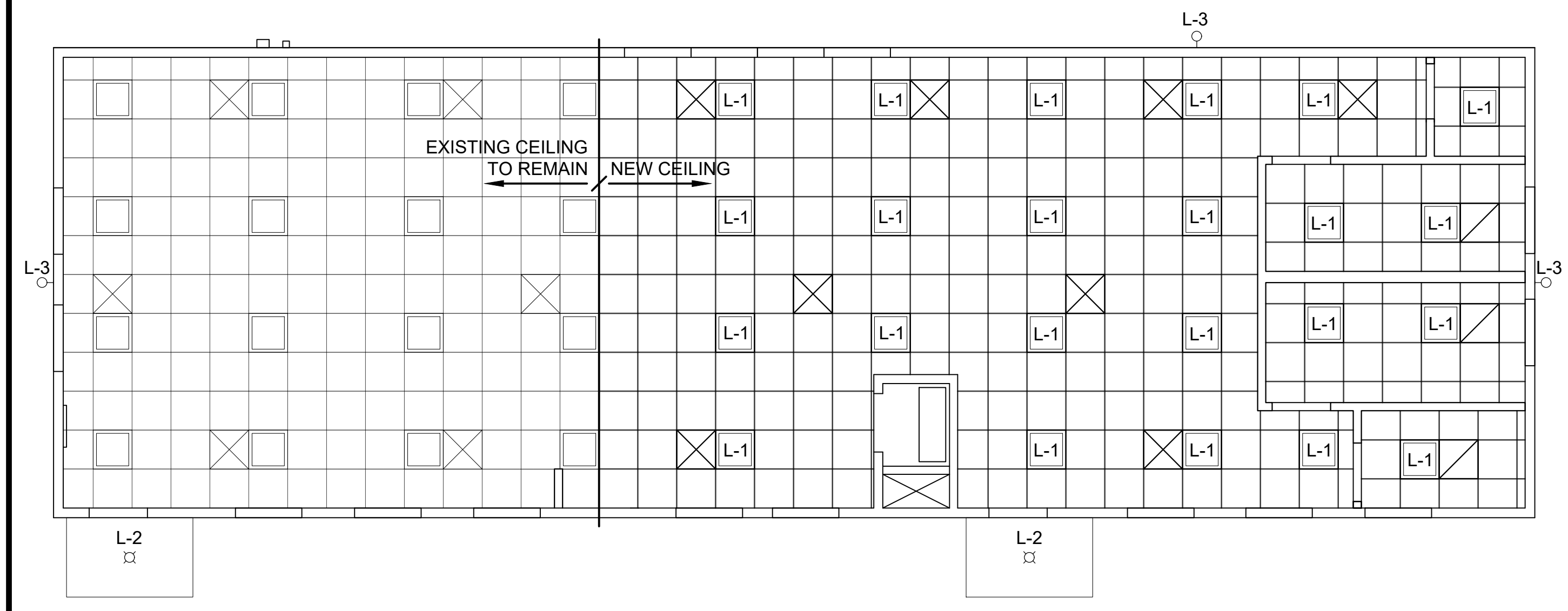
Revisions		
No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
 Drawn: M-NCPPC, Montgomery Parks
 Checked: M-NCPPC, Montgomery Parks
 Issue Date: October 15, 2025

Drawing Title
**DEMO PLAN,
 PROPOSED PLAN,
 & REFLECTED
 CEILING PLAN**
 100% Construction Documents (Permit Set)

Drawing No.
A1

PERMIT SHT. # 07 of 23
 OVERALL SHT. # 07 of 23



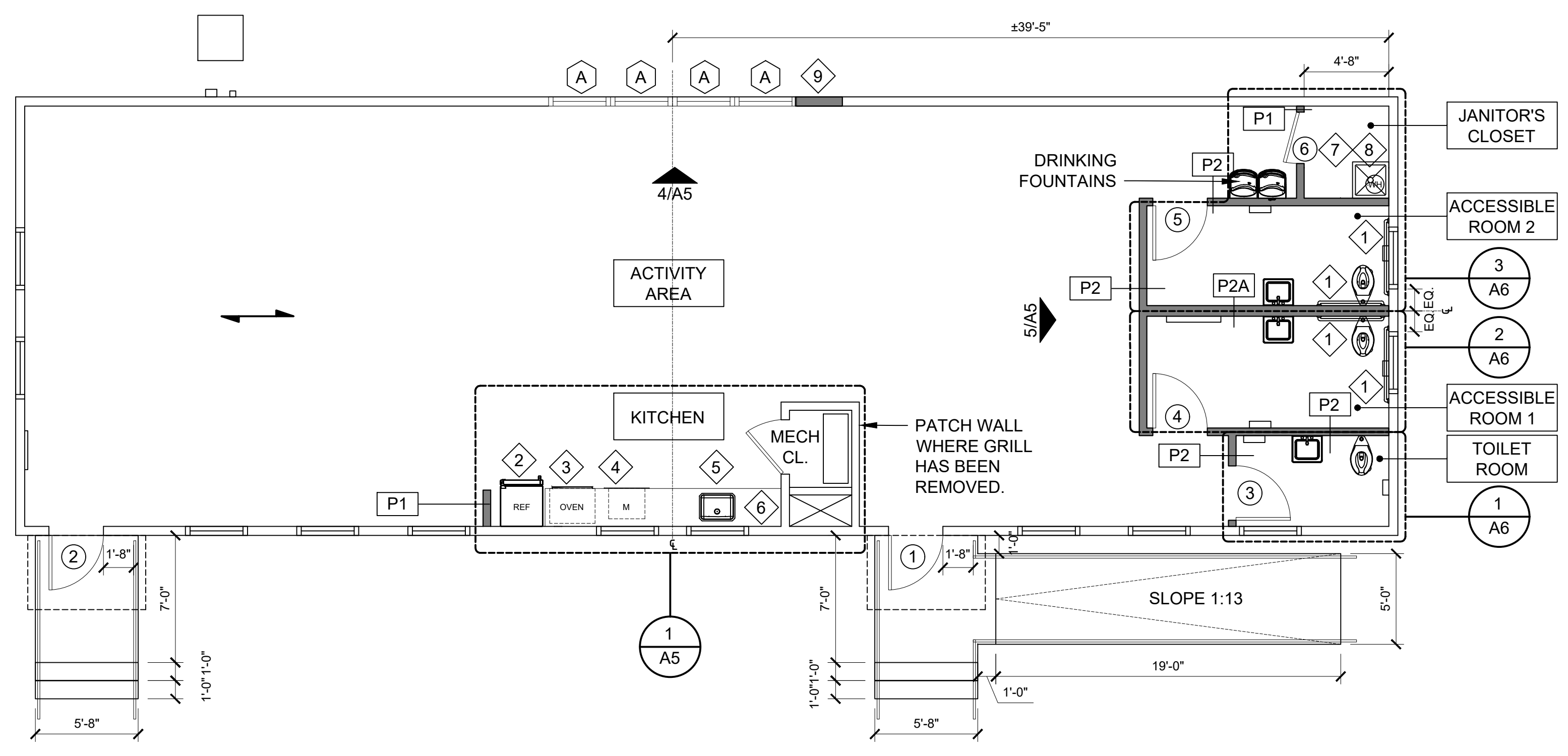
3 REFLECTED CEILING PLAN
 Scale: 3/16" = 1'-0"

DEMO KEY NOTES:

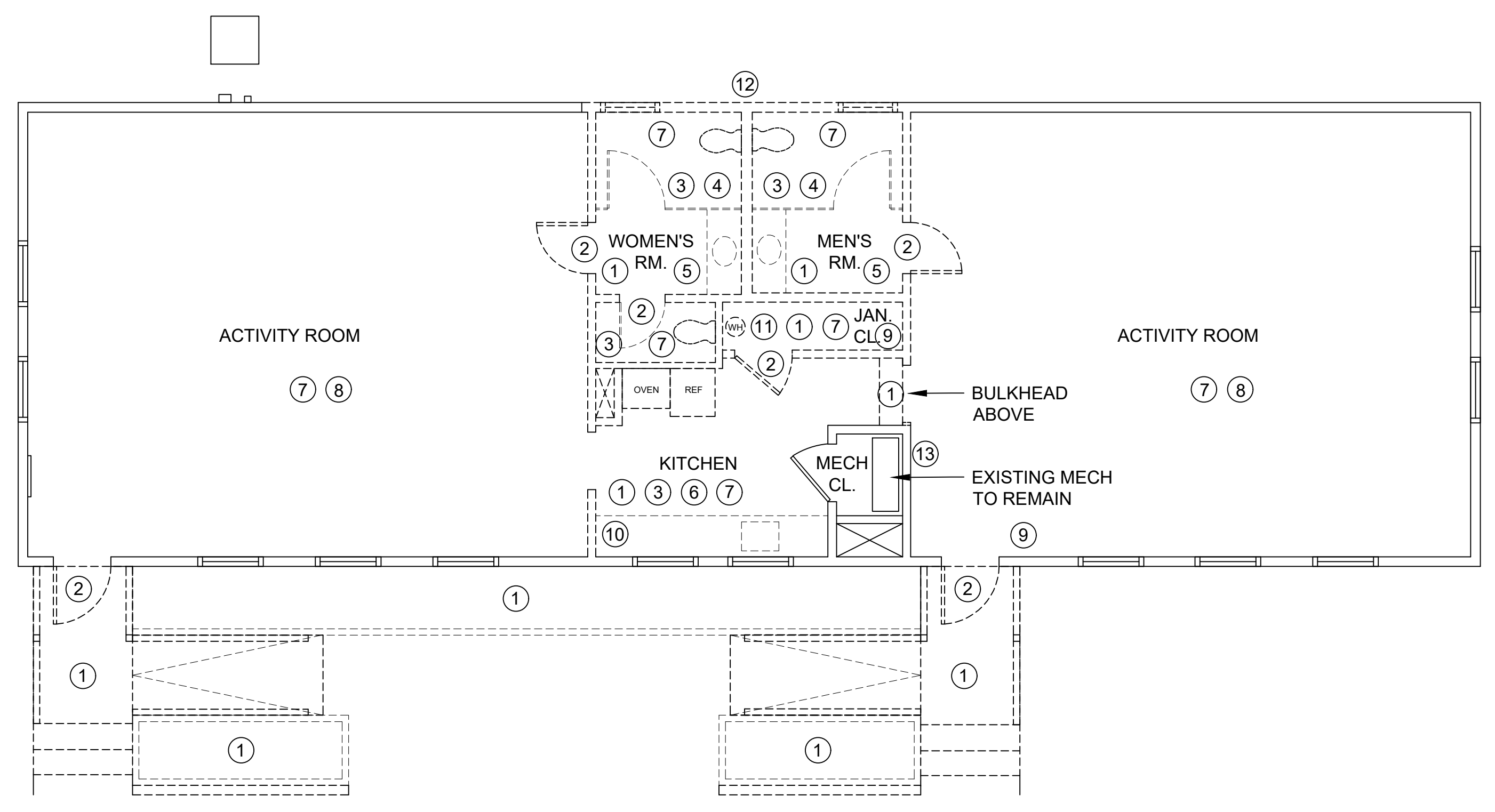
- 1 DEMO/REMOVE ALL WALLS/ ITEMS SHOWN AS DASHED.
- 2 DEMO/REMOVE DOORS AND FRAMES SHOWN AS DASHED, INCLUDING ALL HARDWARE, DOOR STOPS, CLOSERS.
- 3 DEMO/REMOVE ALL PLUMBING FIXTURES AND COUNTERS.
- 4 DEMO/REMOVE ALL TOILET PARTITIONS.
- 5 DEMO/REMOVE ALL RESTROOM ACCESSORIES IN THEIR ENTIRETY; I.E., GRAB BARS, SOAP DISPENSERS, HAND DRYERS, MIRRORS, ETC.
- 6 DEMO/REMOVE ALL KITCHEN APPLIANCES, WALL AND BASE CABINETS, COUNTERTOPS.
- 7 DEMO/REMOVE ALL VCT FLOORING AND SHOE MOLDING.
- 8 EXISTING CHAIR RAIL, WAINSCOT AND BASEBOARD TO REMAIN.
- 9 DEMO SECURITY TOUCH PAD AND CONTROL PANEL.
- 10 SALVAGE FIRE EXTINGUISHER.
- 11 SALVAGE WATER HEATER.
- 12 DEMO WINDOWS; PARTIALLY DEMO WALLS TO ACCOMMODATE NEW WINDOWS PER PROPOSED PLANS AND ELEVATIONS.
- 13 REMOVE EXISTING GRILL.

NEW WORK KEY NOTES:

- 1 PROVIDE WOOD BLOCKING BEHIND GWB FOR GRAB BARS.
- 2 NEW REFRIGERATOR
- 3 NEW BUILT-IN WARMING OVEN
- 4 NEW BUILT-IN MICROWAVE
- 5 NEW SINK AND FAUCET, REPLACED IN KIND
- 6 RELOCATED FIRE EXTINGUISHER
- 7 RELOCATED WATER HEATER ABOVE MOP SINK
- 8 NEW MOP SINK
- 9 INFILL WALL TO MATCH EXISTING WALL IN ALL ASPECTS

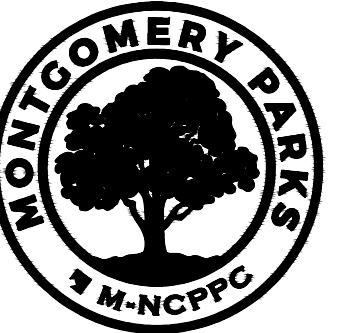


2 PROPOSED FLOOR PLAN
 Scale: 3/16" = 1'-0"



1 DEMOLITION PLAN
 Scale: 3/16" = 1'-0"

T:\Project\Projects\Norbeck-Muncaster Mill NP B39\B39\Renovation\2 Design\CAD\MMNP-ARCHSHTS.dwg A1 PLANS Plotted By: Mitchell, Delias, 10/31/2025 10:30 AM, -----



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REVIEWED

By Laura DiPasquale at 10:47 am, Nov 05, 2025

APPROVED

Montgomery County
Historic Preservation Commission

Karen Buelitt



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Project Name and Location

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Park Activity
Building Renovation**
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Norbeck, MD 20853

Project ID: B39-001

Project Manager: Alexandra Dahlman

Liber: 29914 Tax Map: HS342

Folio: 0259 WSSC:

Revisions

No.	Date	Description

Designed: M-NCPPC, Montgomery Parks

Drawn: M-NCPPC, Montgomery Parks

Checked: M-NCPPC, Montgomery Parks

Issue Date: October 15, 2025

Drawing Title

**ROOF PLAN AND
WALL PARTITION
TYPES**

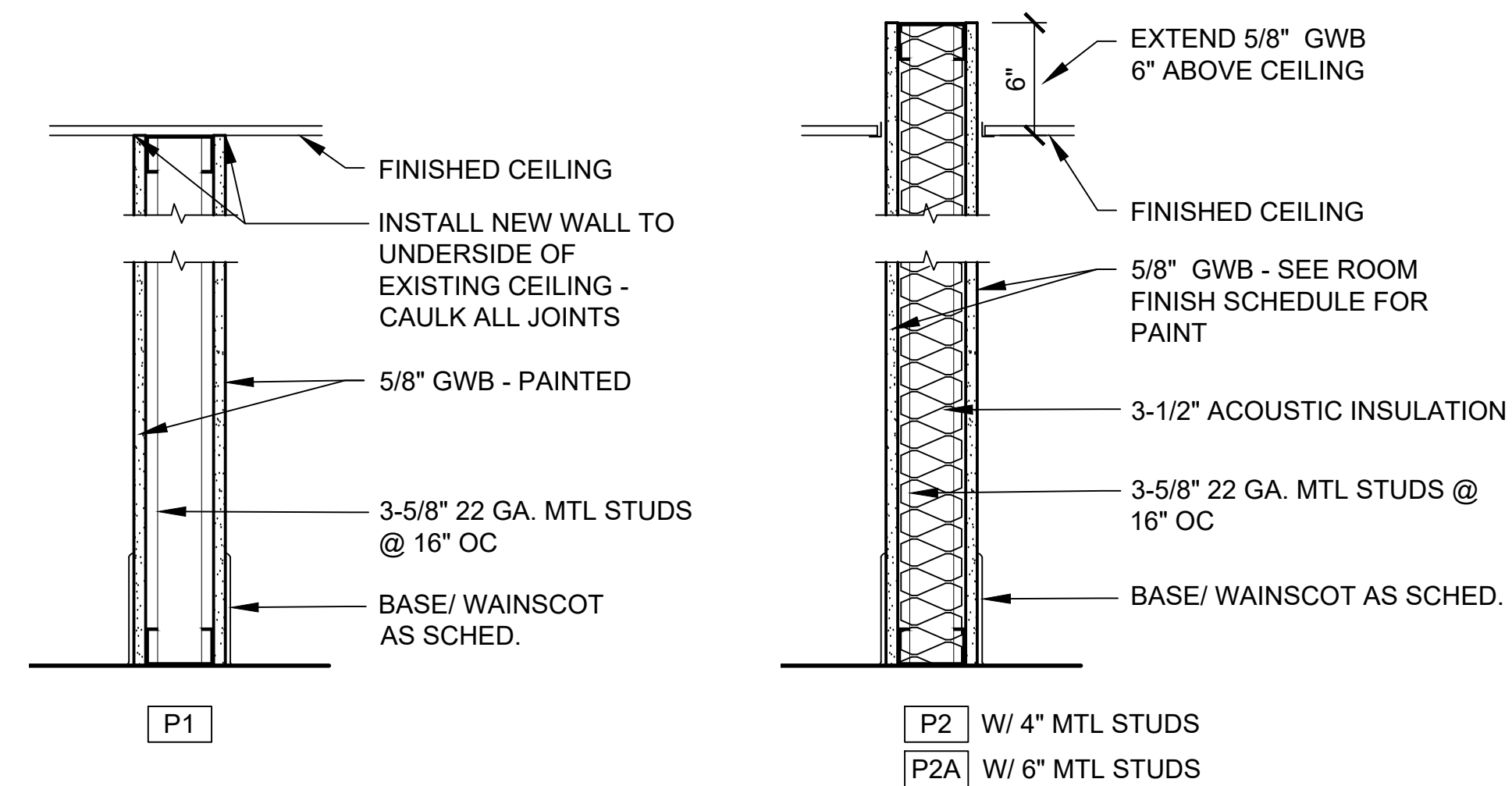
100% Construction Documents (Permit Set)

Drawing No.

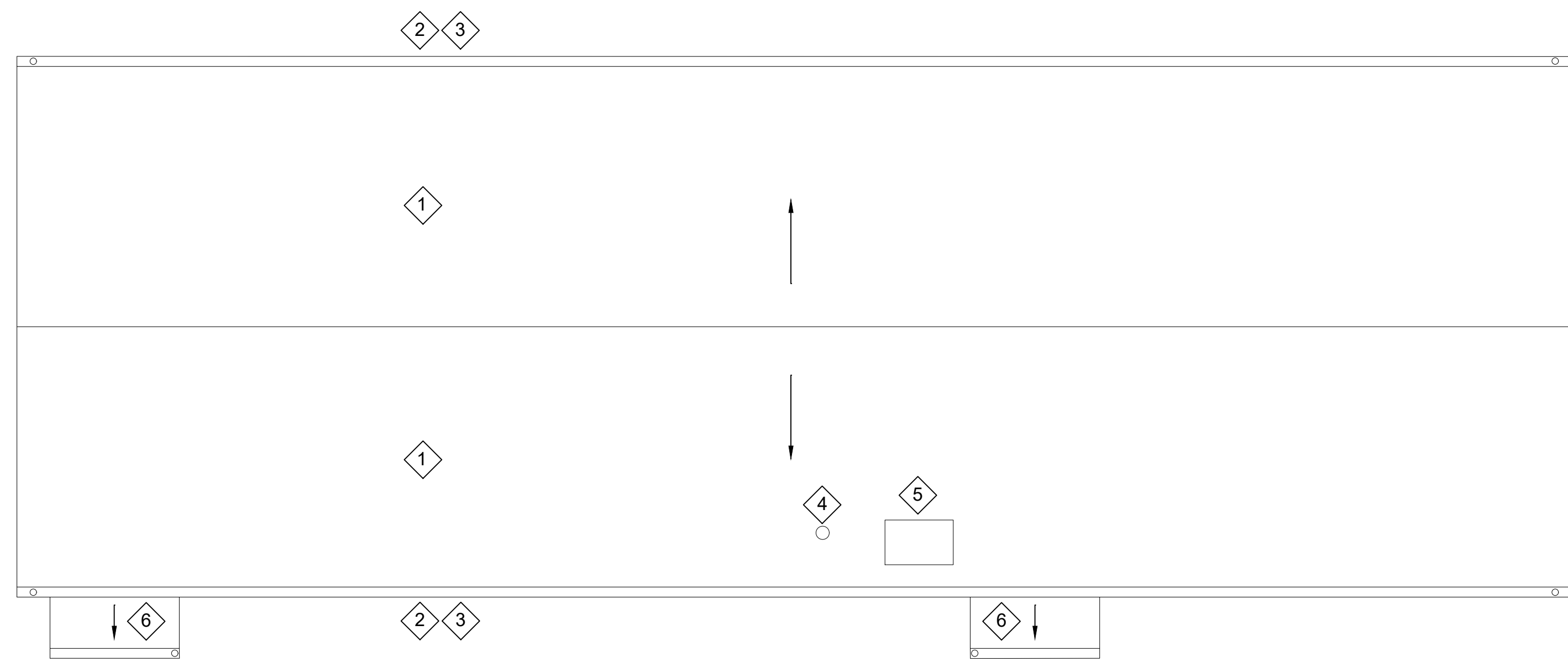
A2

PERMIT SHT. # 08 of 23

OVERALL SHT. # 08 of 23



2 PARTITION TYPES
Scale: 1-1/2" = 1'-0"



1 ROOF PLAN
Scale: 3/16" = 1'-0"

GENERAL NOTES:

1. PROVIDE AND INSTALL ALL ROOFING MATERIALS PER MANUFACTURER'S SPECIFICATIONS, PROVIDE SUBMITTALS AND SUBMIT ALL ROOFING WARRANTIES.
2. REMOVE AND REPLACE IN-KIND EXIST ASPHALT SHINGLES. CERTAINTED LANDMARK PRO, COLOR: TBD; PROVIDE FULL SIZE SAMPLE FOR APPROVAL.

ROOF PLAN KEY NOTES:

1. NEW ASPHALT SHINGLES. REMOVE & REPLACE ANY EXTERIOR GRADE PLYWOOD ROOF SHEATHING IF WATER DAMAGED AND/OR ROTTEN.
2. NEW GUTTERS AND DOWNSPOUTS.
3. REPAINT EXIST WOOD FASCIA TRIM.
4. NEW FLASHING AT ALL EXIST PIPE PENETRATIONS.
5. EXISTING COPPER FLASHING AT BRICK CHIMNEYS TO REMAIN; RE-SECURE AS NEEDED. REPOINT CHIMNEY.
6. NEW ROOF STRUCTURES

T:\Project\Projects\Norbeck-Muncaster Mill\NP_B39\918 Renovation\2 Design\CAD\NMAP-ARCHISTS.dwg A2 ROOF PLAN Plotted By: Mitchell, Deilas, 10/31/2025 10:30 AM, ---



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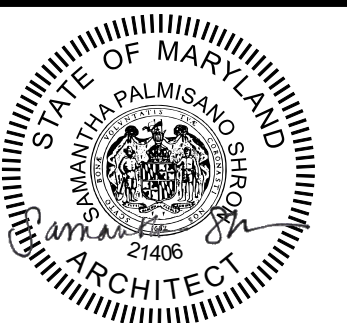
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REVIEWED

By Laura DiPasquale at 10:47 am, Nov 05, 2025

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Folio: 0259 WSSC:

Revisions		
No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title

BUILDING ELEVATIONS

100% Construction Documents (Permit Set)

Drawing No.

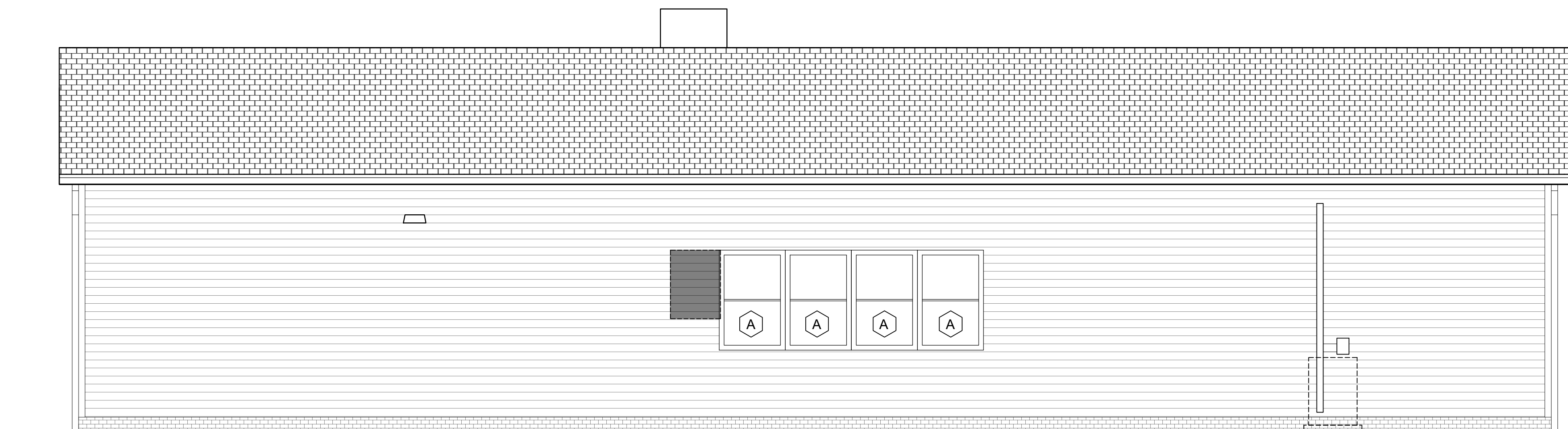
A3

PERMIT SHT. # 09 of 23

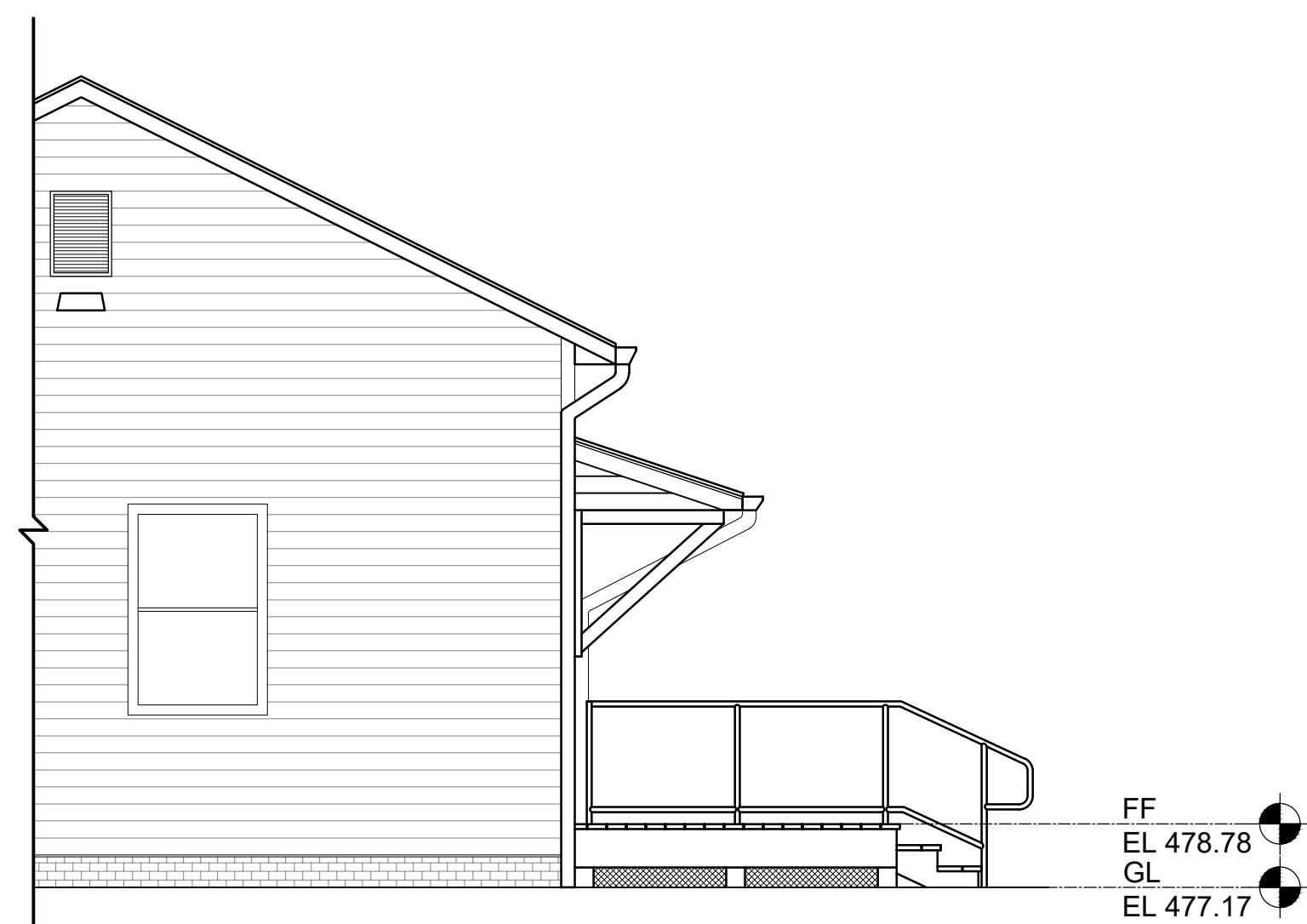
OVERALL SHT. # 09 of 23

BUILDING ELEVATION GENERAL NOTES:

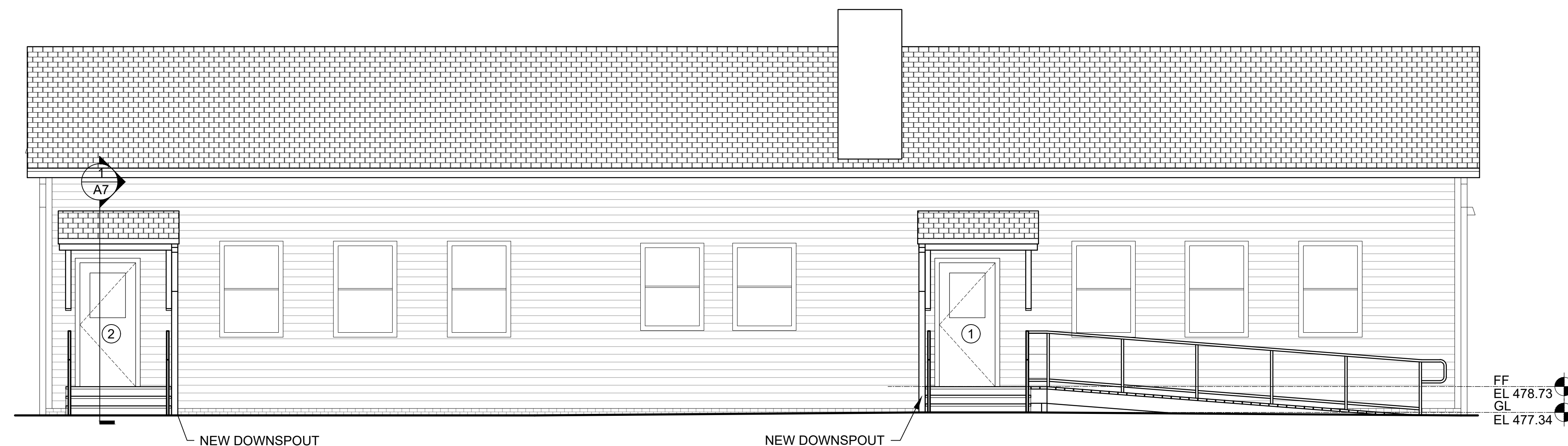
- EXISTING BUILDING EXTERIOR LIGHTING TO BE REPLACED IN EXISTING LOCATIONS. NEW RECESSED LIGHTING IN PORCH STRUCTURE CEILING. SEE ELEC. DRAWINGS AND SCHEDULES.
- SEE ROOF DRAWING ON SHEET A2 FOR FULL SCOPE OF ROOF REPLACEMENT, NEW PORCH ROOFS, AND NEW GUTTERS & DOWNSPOUTS.
- REPAIR WOOD SIDING AND TRIM WHERE NECESSARY. TO MATCH EXISTING IN SIZE, MATERIAL, AND FINISH.
- POWER WASH ENTIRE BUILDING: BRICK, WOOD SIDING & TRIM.
- PAINT EXISTING WINDOWS AND SECURITY GRILLES.
- PAINT EXISTING VENTS ON SIDE OF BUILDING.
- EXISTING BUILDING SIGNAGE TO REMAIN.



3 REAR ELEVATION
Scale: 1/4" = 1'-0"



2 SOUTH SIDE ELEVATION
Scale: 1/4" = 1'-0"



1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

T:\Project\Projects\Norbeck-Muncaster Mill NP B39\B39\Renovation\2 Design\CAD\MMNP-ARCHSHTS.dwg A3 EXT. ELEV'S Plotted By: Mitchell, Delias, 10/31/2025 2:14 PM

ROOM FINISH SCHEDULE

ROOM NAME	FLOOR FINISH	BASE		WALL FINISHES		CEILING	REMARKS / NOTES
		TYPE	FINISH	MATERIAL			
ACTIVITY	LVT-1	WB-1	PT-2	PT-1, PT-2	EX., ACT-1	REFER TO RCP, SHEET A1, & SHEET A5	
KITCHEN	LVT-1	WB-1	PT-2	PT-1; WINDOW TRIM, PT-2	EX., ACT-1	REFER TO RCP, SHEET A1	
TOILET ROOM	TF-1	TB-1, TB-2	-	PT-1; WINDOW TRIM, PT-2; TW-1	ACT-1		
ADA TOILET 1	TF-1	TB-1, TB-2	-	PT-1; WINDOW TRIM, PT-2; TW-1	ACT-1		
ADA TOILET 2	TF-1	TB-1, TB-2	-	PT-1; WINDOW TRIM, PT-2; TW-1	ACT-1		
JANITOR'S CL	LVT-1	TB-1, TB-2	PT-2	PT-1; WET WALLS, TW-1	ACT-1	WET WALLS TILE 4'-0" HIGH	

MATERIAL SPECIFICATIONS:
PROVIDE AND INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS AND PROVIDE SUBMITTALS.

PAINT:
 PT-1: WALLS - SHERWIN WILLIAMS, TBD, SATIN
 PT-2: WAINSCOTING & BASE, AND WINDOW TRIM - SHERWIN WILLIAMS, TBD, SATIN
 PT-3: DOORS & FRAMES - SHERWIN WILLIAMS, TBD, SATIN

CEILING:
 ACT-1 ACOUSTIC CEILING TILE;
 NEW TILE AND GRID TO MATCH EXISTING.

WALLS:
 TW-1 TILE WALLS: 6"x6" DAL TILE, COLOR WHEEL CLASSIC, COLOR: TBD
 TW-2 TILE WALL TRIM: BULLNOSE TILE, 6"x6" DAL TILE, COLOR WHEEL CLASSIC, COLOR: TBD

FLOORING:
 LVT-1 VINYL PLANK FLOORING: 6"x48" LVT PLANK, TARKETT/TANDUS CENTIVA NUGRAIN, COLOR: TBD, STAGGER JOINTS, SEE PLAN FOR PLANK INSTALL DIRECTION

TF-1 TILE FLOORING: 12"x12" DAL TILE, ANCHORAGE, MATTE FINISH, COLOR: TBD

FLOORING TRANSITION STRIP: SCHLUTER 1.2 RENO-U, STAINLESS, EU 80, ADA-COMPLAINT; VERIFY IN FIELD TO CONFIRM SELECTION; LOCATION - FROM: ACTIVITY TO RESTROOMS

BASE:
 WB-1 WOOD BASE: NEW WOOD WAINSCOTING TO MATCH EXIST. WHERE SHOWN. NEW WOOD BASE TO MATCH EXIST. REPLACE SHOE MOLDING.

TB-1 TILE BASE: COVE BASE, 6"x6" DAL TILE, COLOR WHEEL CLASSIC, SHAPE #A3601, COLOR: TBD
 TB-2 SANITARY TILE BASE: SANITARY COVER BASE, 6"x6" DAL TILE, COLOR WHEEL CLASSIC, COLOR: TBD

SOLID SURFACING:
 SS-1: CORIAN COUNTERTOP, 1/2" THICK OVER 3/4" PLYWOOD, EASED EDGE
 COLOR: TBD
 SS-2: CORIAN BACKSPASH, 4-INCH HIGH, 1/4-INCH THICK, EASED EDGE
 COLOR: TBD

PLASTIC LAMINATE:
 P-LAM: WILSONART, HIGH-PRESSURE LAMINATE, COLOR: TBD

ABBREVIATION	NAME
GEN	GENERIC PRODUCT
GLY	GLYNN-JOHNSON CORP
IVE	H.B. IVES
LCN	LCN COMMERCIAL DIVISION
RKW	ROCKWOOD
SCE	SCHLAGE ELECTRONIC SECURITY
SCH	SCHLAGE LOCK COMPANY
VON	VON DUPRIN
ZER	ZERO

HARDWARE GROUP - HW1*

QTY	DESCRIPTION	CATALOG NUMBER	FIN	MFR
1	EA CONT. HINGE	224HD EPT	628	IVE
1	EA POWER TRANSFER	EPT10 CON	689	VON
1	EA ELEC PANIC HARDWARE	WPRX-98-L-M996-06-FSE-WH-CON	626	VON
1	EA SFIC CORE	SUPPLIED BY OWNER	626	SCH
1	EA SFC RIM CYLINDER	80-159	626	SCH
1	EA OH STOP	90S	630	GLY
1	EA SURFACE CLOSER	4011	689	LCN
1	EA KICK PLATE	K1050 10" X 34"	626	RKW
1	EA RAIN DRIP	142AA	AA	ZER
1	EA GASKETING	488FSBK PSA	BK	ZER
1	EA THRESHOLD	545A	A	ZER
1	EA KEYPAD READER	TBD	626	SCE
1	EA POWER SUPPLY	TBD	LGR	SCE

HARDWARE GROUP - HW2

QTY	DESCRIPTION	CATALOG NUMBER	FIN	MFR
3	EA HINGES	55B1 4.5 X 4.5	626	IVE
1	EA PASSAGE SET MORTISE LOCK	L948L06A	626	SCH
1	EA INDICATOR KIT	47804352 626 SECT CYL-OS-OCC XL283-414	626	SCH
1	EA MORTISE INDICATOR TRIM, INSIDE OR OUTSIDE	L283-722	626	SCH
1	EA DOOR CLOSER	4040XP	626	LCN
1	EA HOLD OPEN ARM	3049	626	LCN
1	EA KICK PLATE	K1050 10" X 34"	626	RKW
1	EA FLOOR STOP	491R	626	RKW
1	EA GASKETING	488FSBK PSA	BK	ZER

HARDWARE GROUP - HW3

QTY	DESCRIPTION	CATALOG NUMBER	FIN	MFR
3	EA HINGES	55B1 4.5 X 4.5	626	IVE
1	EA STOREROOM SET MORTISE LOCK	L908L06A	626	SCH
1	EA DOOR CLOSER	4040XP	626	LCN
1	EA HOLD OPEN ARM	3049	626	LCN
1	EA KICK PLATE	K1050 10" X 34"	626	RKW
1	EA FLOOR STOP	491R	626	RKW
1	EA GASKETING	488FSBK PSA	BK	ZER

NFPA 101 LIFE SAFETY CODE (2015)

***7.2.1.7 Panic Hardware and Fire Exit Hardware**

7.2.1.7 Where a door assembly is required to be equipped with panic or fire exit hardware, such hardware shall meet all of the following criteria:

- It shall consist of a cross bar or a push pad, the actuating portion of which extends across not less than one-half of the width of the door leaf.
- It shall be mounted as follows:
 - New installations shall be not less than 34 in. (865 mm), and not more than 48 in. (1220 mm), above the floor.
 - Existing installations shall be not less than 30 in. (760 mm), and not more than 48 in. (1220 mm), above the floor.
- It shall be constructed so that a horizontal force not to exceed 15 lbf (66 N) actuates the cross bar or push pad and latches.

THRESHOLD TYPES
 TAS - 1/2" H X 4" ALUMINUM THERMAL BARRIER SADDLE W/ BEVELED ENDS SLOPING @ 1:2
 TVR - VINYL REDUCING STRIP

NOTES FOR ALL THRESHOLDS IN PUBLIC SPACES:
 1. MAX 1/4" VERTICAL PROJECTION ALLOWED ABOVE FINISH FLOOR WITHOUT BEVELED SLOPE
 2. MAX 1/2" PROJECTION ALLOWED ABOVE FINISH FLOOR WITH BEVELED SLOPE MAX 1:2

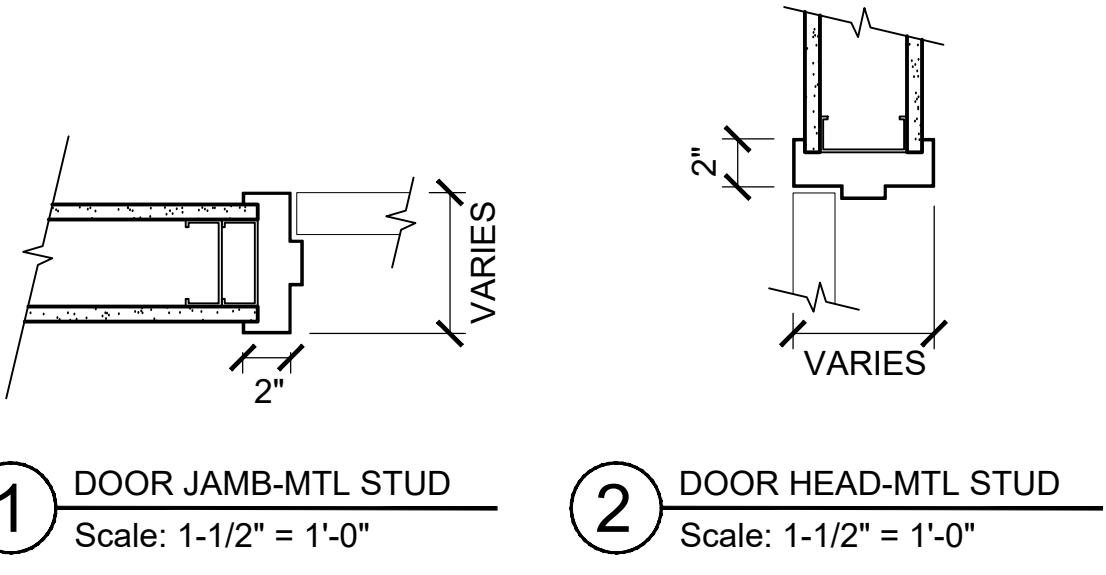
GENERAL NOTES FOR DOORS & FRAMES
DIMENSIONS:
 - DIMENSIONS INDICATED ON PLANS AND SCHEDULE ARE NOMINAL. FIELD VERIFY AND COORDINATE PRIOR TO FABRICATION.

CLEARANCES FOR DOOR PROJECTIONS INTO THE REQUIRED CLEAR OPENING:
 - NO PROJECTIONS ALLOWED BELOW 34" AFF; BETWEEN 34" AND 80", PROJECTION SHALL NOT EXCEED 4". CLEARANCE BELOW DOOR CLOSERS AND STOPS SHALL BE A MIN OF 78" AFF.

MISCELLANEOUS NOTES:
 - PAINT ALL STEEL DOORS AND FRAMES SEMI-GLOSS UNLESS OTHERWISE INDICATED.

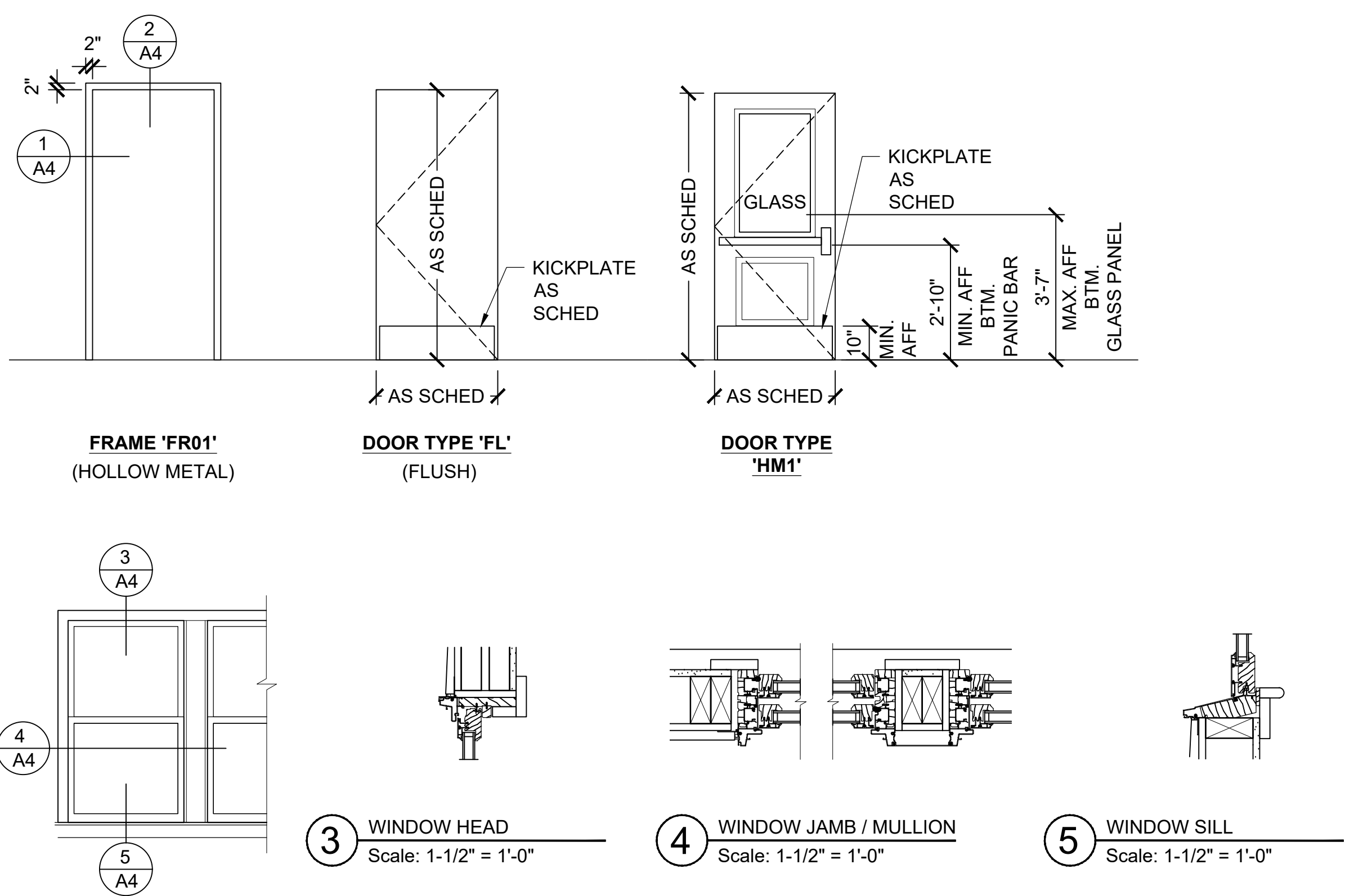
LOW-VOLTAGE REQUIREMENTS:
 - CONTRACTOR TO PROTECT, SALVAGE, AND UTILIZE EXIST LOW-VOLTAGE (LV) WIRING AND CONNECTIONS FOR INSTALLATION OF NEW DOORS, HARDWARE, AND ACCESS CONTROL DEVICES.
 - CONTRACTOR TO PROVIDE AND INSTALL NEW LV WIRING AND CONNECTIONS WHERE EXIST PROVISIONS CANNOT BE SALVAGED FOR REUSE, AND AS REQUIRED FOR INSTALLATION OF ADDITIONAL DEVICES.
 - PROVIDE ALL EQUIPMENT, MATERIALS, LABOR, AND SERVICES, NOT SPECIFICALLY MENTIONED OR SHOWN WHICH MAY BE NECESSARY TO COMPLETE TURNKEY INSTALLATION. ENSURE THAT THEY ARE IN COMPLIANCE WITH REQUIREMENTS STATED OR REASONABLY INFERRED BY THE CONTRACT DOCUMENTS.
 - DO NOT INSTALL DAMAGED EQUIPMENT; COORDINATE WITH PARKS CM TO REPLACE DAMAGED EQUIPMENT WITH NEW EQUIPMENT.
 - CONTRACTOR SHALL SUPPLY A LOW-VOLTAGE PERMIT AS REQUIRED BY AUTHORITY HAVING JURISDICTION.

HARDWARE NOTES:
 - EXIT DEVICES - IF COLUMN SAYS "YES" AND DOOR IS FIRE-PROTECTION RATED, USE FIRE EXIT HARDWARE.
 - IF COLUMN SAYS "YES" AND DOOR IS NOT FIRE-PROTECTION RATED, USE PANIC HARDWARE.
 - ALL PASSAGE DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. SUCH HARDWARE SHALL BE INSTALLED BETWEEN 34" AND 48" AFF.
 - THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
 - DOOR CLOSERS SHALL CLOSE FROM 90 DEGREES TO A 12 DEGREE OPEN POSITION IN NOT LESS THAN 5 SECONDS.
 - EXCEPT FOR FIRE DOORS, THE FORCE FOR PUSHING OR PULLING OPEN PASSAGE DOORS SHALL BE 5 LBS MAXIMUM FOR INTERIOR HINGED, SLIDING OR FOLDING DOORS.
 - ALL PANIC HARDWARE SHALL MEET NFPA 101 (2015) SECTION 7.2.1.7.



DOOR SCHEDULE														
DOOR NUMBER	ROOM NAME	HARDWARE GROUP	EXIT DEVICE	CLOSER	DOOR MATERIAL	DOOR TYPE	WIDTH	SINGLE / PAIR	HEIGHT	THICKNESS	FRAME MATERIAL	FRAME FINISH	THRESHOLD (SEE ALSO SHEET A6)	REMARKS
1	ACTIVITY AREA	HW1	YES	YES	HM	HM1	3'-0"	SGL	6'-8"	0'-1 3/4"	HM	PT	TAS	B.O.D. JELD-WEN 1-PANEL HALF VIEW PRIMED STEEL DOOR #CT-684-1P ADA, W/ TEMPERED GLASS, LOW-E (LE) CLEAR GLASS OPTION. COLOR TBD.
2	ACTIVITY AREA	HW1	YES	YES	HM	HM1	3'-0"	SGL	6'-8"	0'-1 3/4"	HM	PT	TAS	B.O.D. JELD-WEN 1-PANEL HALF VIEW PRIMED STEEL DOOR #CT-684-1P ADA, W/ TEMPERED GLASS, LOW-E (LE) CLEAR GLASS OPTION. COLOR TBD.
3	TOILET ROOM	HW2	NO	YES	HM	FL	3'-0"	SGL	6'-8"	0'-1 3/4"	HM	PT	TVR	
4	ACCESSIBLE RESTROOM 1	HW2	NO	YES	HM	FL	3'-0"	SGL	6'-8"	0'-1 3/4"	HM	PT	TVR	
5	ACCESSIBLE RESTROOM 2	HW2	NO	YES	HM	FL	3'-0"	SGL	6'-8"	0'-1 3/4"	HM	PT	TVR	
6	JANITOR'S CLOSET	HW3	NO	YES	HM	FL	2'-10"	SGL	6'-8"	0'-1 3/4"	HM	PT	-	
7	MECHANICAL CLOSET	HW3	-	-	-	-	-	-	-	-	PT	-		

WINDOW SCHEDULE										
WINDOW MARK	ROOM NAME	WIDTH	HEIGHT	GLAZING	FRAME MATERIAL	HEAD	JAMB	SILL	FIRE RATED ASSEMBLY	REMARKS
A	ACTIVITY AREA	MATCH EXIST.	MATCH EXIST.	TEMPERED	ALUM.-CLAD EXT./WOOD INT.	3/A4	4/A4	5/A4		BASIS OF DESIGN MARVIN ULTIMATE SINGLE HUNG G2, NO MUNTINS. EXT. COLOR TO MATCH EXIST WINDOWS, PRIMED INT. WITH COLOR, TBD.



The Maryland-National Capital Park and Planning Commission

Montgomery Parks
 Park Development Division
 2425 Reedie Drive, 11th Floor
 Wheaton, MD 20902
 (301) 495-2595
 MontgomeryParks.org

MEP ENGINEER
 Century Engineering, Inc.
 10710 Gilroy Road
 Hunt Valley, Maryland 21031
 443-589-2400



REVIEWED
 By Laura DiPasquale at 10:47 am, Nov 05, 2025

APPROVED
 Montgomery County
 Historic Preservation Commission
Karen Buelit



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
 License No. 21406
 Expiration Date: 1/23/2027

Project Name and Location
Norbeck-Muncaster Mill
Neighborhood Park
Park Activity Building Renovation
 4101 Muncaster Mill Road
 Norbeck, MD 20853

Project ID: B39-001
 Project Manager: Alexandra Dahlman
 Liber: 29914 Tax Map: HS342
 Folio: 0259 WSSC:

Revisions		
No.	Date	Description

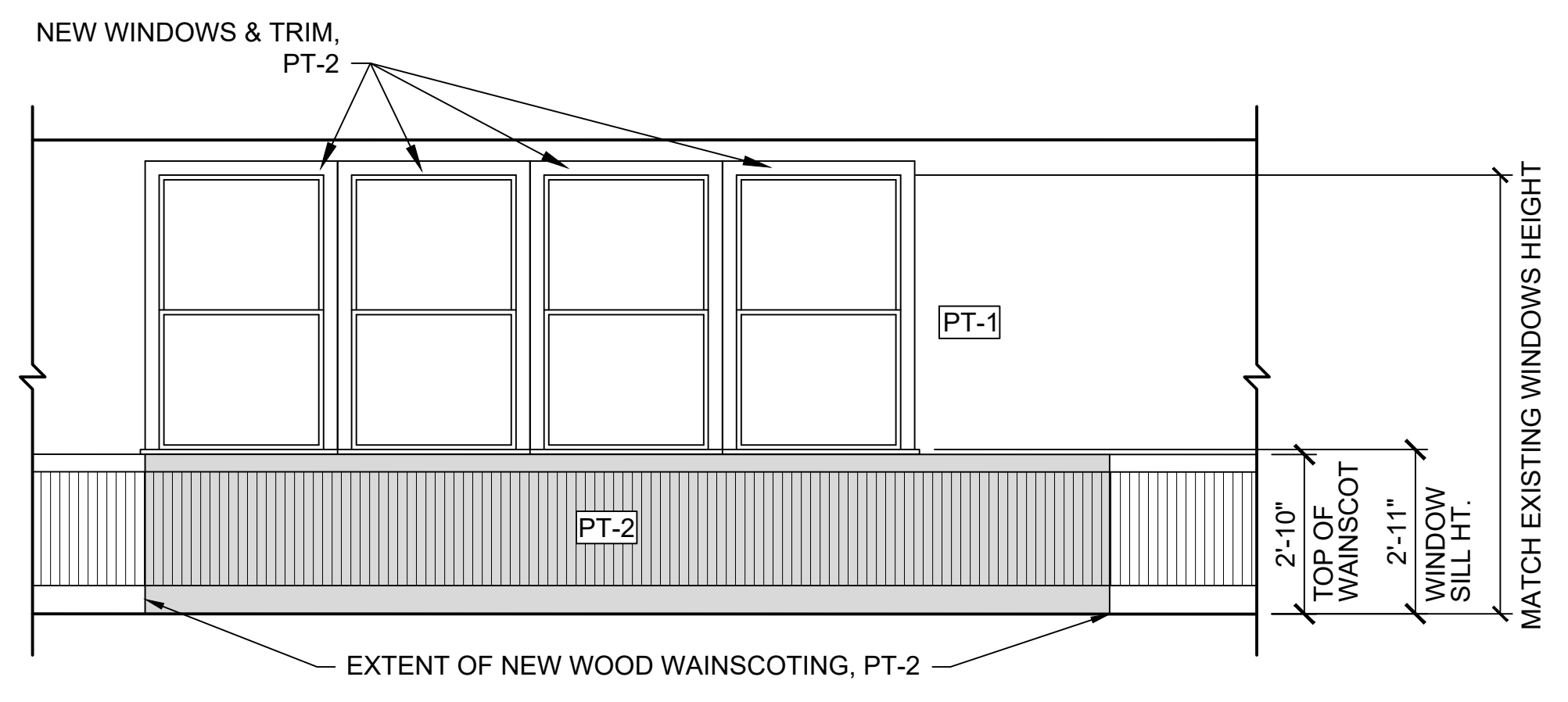
Designed: M-NCPPC, Montgomery Parks
 Drawn: M-NCPPC, Montgomery Parks
 Checked: M-NCPPC, Montgomery Parks
 Issue Date: October 15, 2025

Drawing Title
FINISH SCHEDULE, DOOR & WINDOW SCHEDULE
 100% Construction Documents (Permit Set)

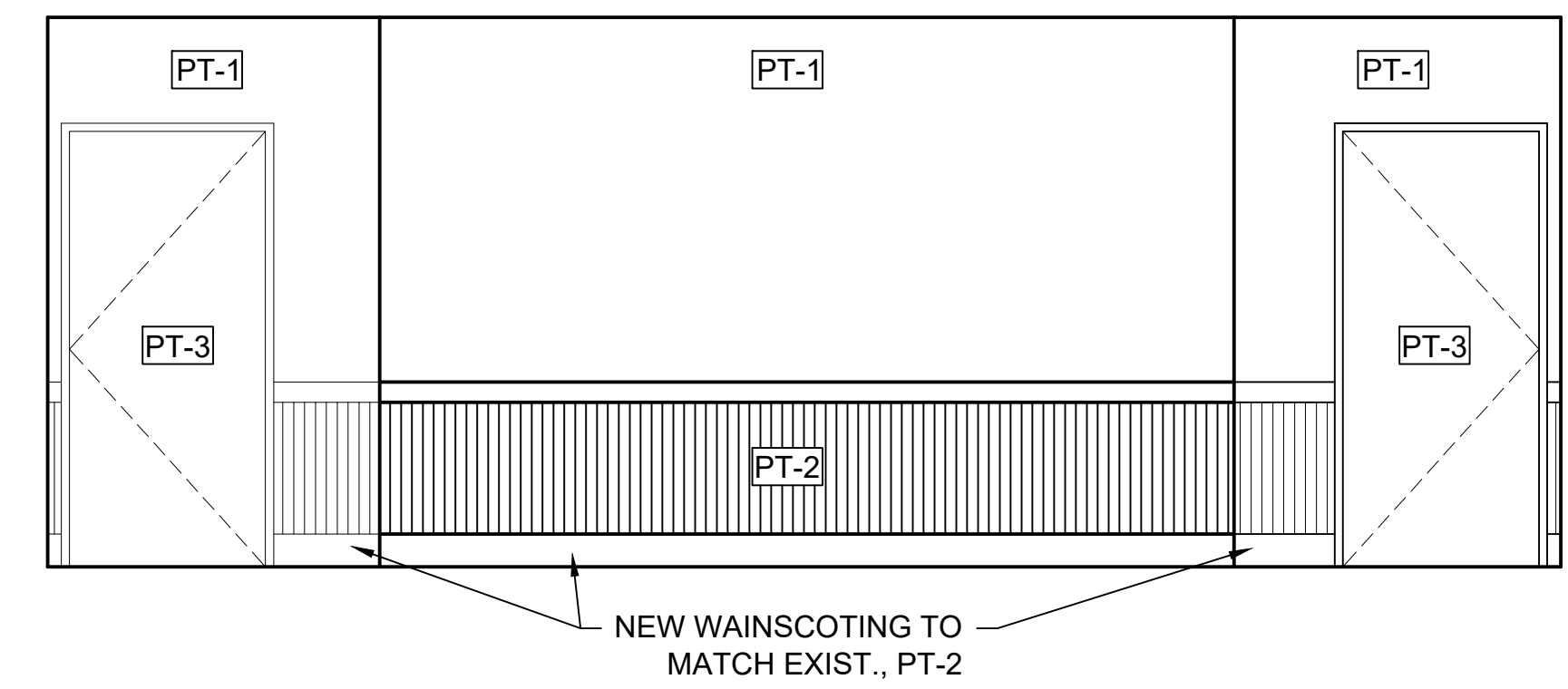
Drawing No.
A4

PERMIT SHT. # 10 of 23
 OVERALL SHT. # 10 of 23

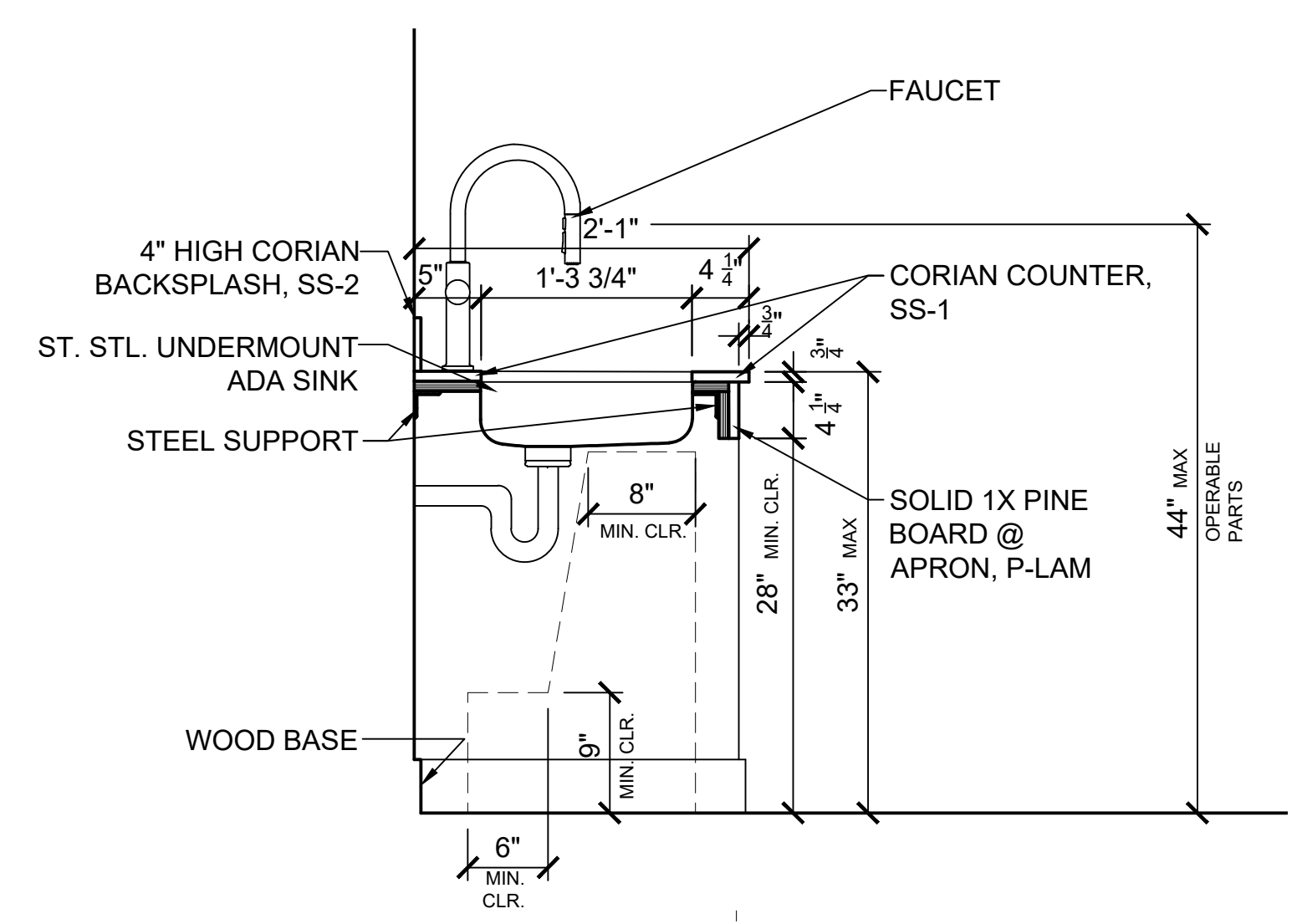
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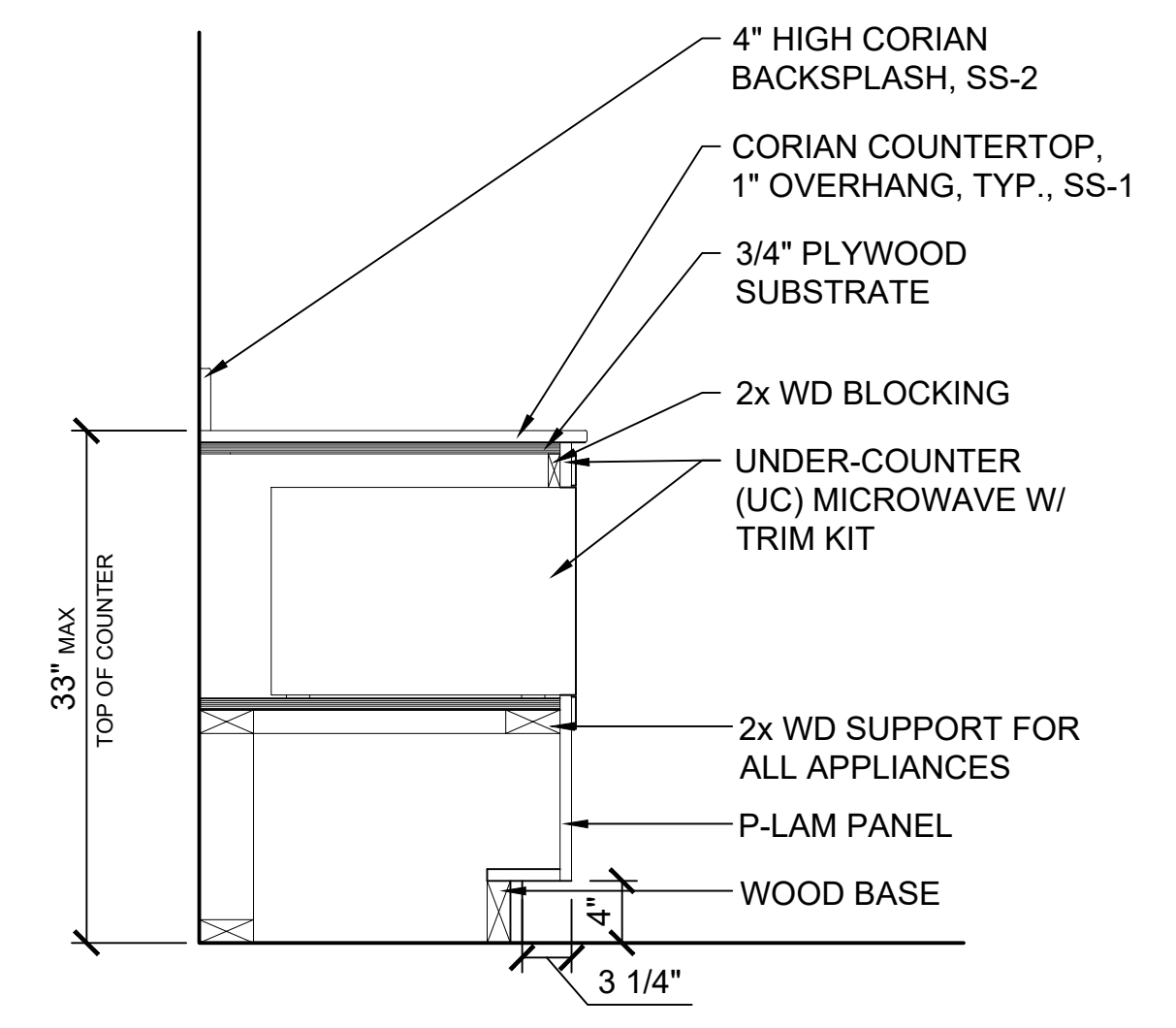
4 NEW WINDOW WALL ELEVATION
Scale: 3/8" = 1'-0"



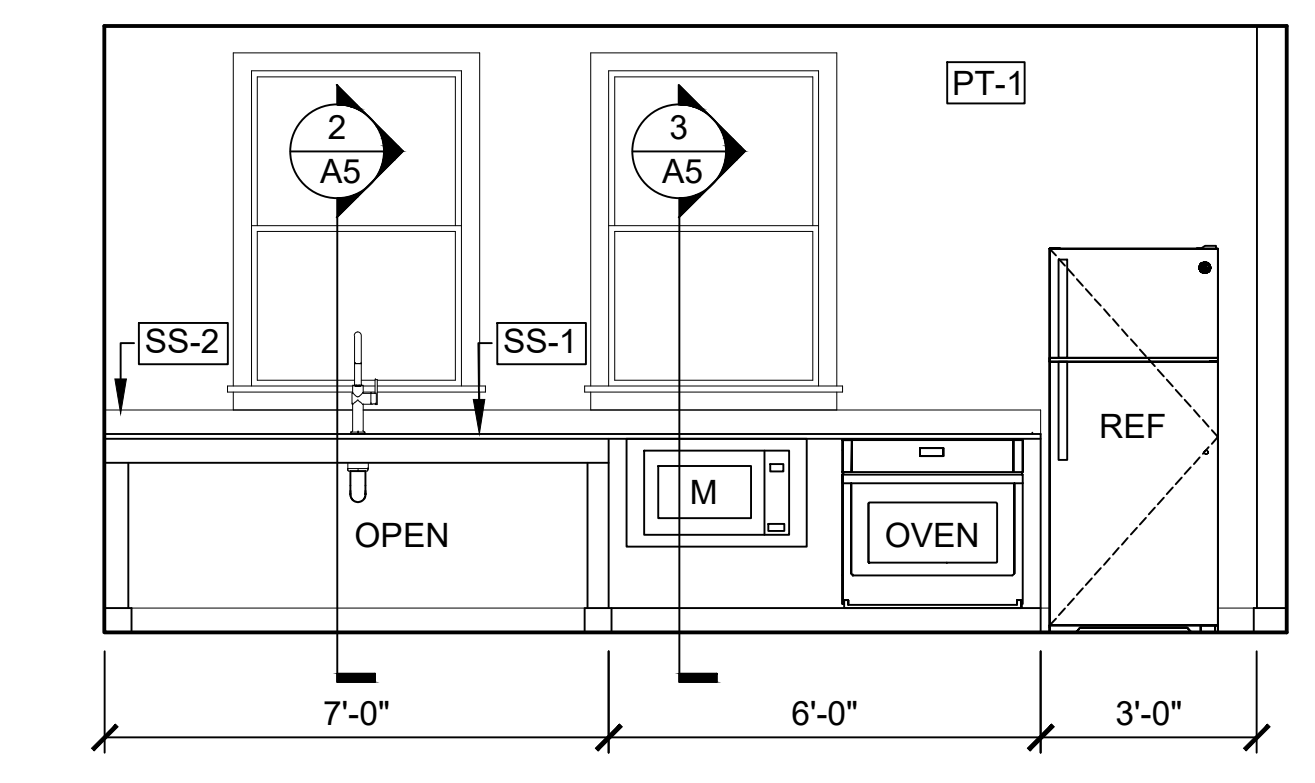
5 NEW INTERIOR NORTH WALL ELEVATION
Scale: 3/8" = 1'-0"



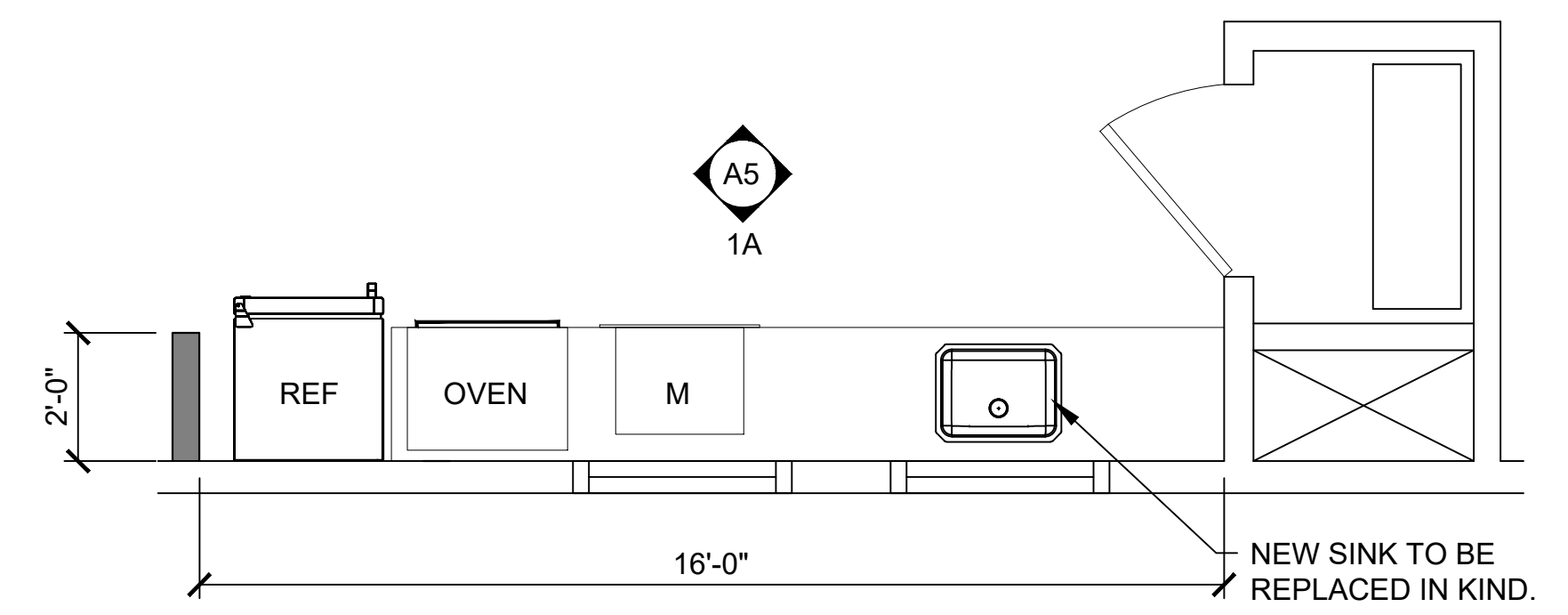
2 COUNTER SECTION AT SINK
Scale: 1" = 1'-0"



3 COUNTER SECTION AT MICROWAVE SHELF
Scale: 1" = 1'-0"



1A KITCHEN ELEVATION
Scale: 3/8" = 1'-0"



1 KITCHEN PLAN
Scale: 3/8" = 1'-0"

KITCHEN FIXTURE SCHEDULE

M MICROWAVE:
FRIGIDAIRE 30" BUILT-IN MICROWAVE W/ TRIM KIT, MODEL #PMBS3080BF, STAINLESS STEEL, 13.625H x 24.375W x 19.625D, ADA-COMPLIANT; INSTALL UNDER-COUNTER

TRIM KIT: FRIGIDAIRE 30" STAINLESS STEEL PROFESSIONAL TRIM KIT, MODEL #PMTL3080AF; INSTALL UNDER-COUNTER

O OVEN:
FRIGIDAIRE 30" SINGLE WALL OVEN WITH FAN CONVECTION, MODEL #FCWS3027AS, STAINLESS STEEL, 28H x 29.875W x 25.1875D, ADA-COMPLIANT; INSTALL UNDER-COUNTER

REF REFRIGERATOR:
GE 16.6 CU. FT. TOP-FREEZER; MODEL #GTS17GSNRSS, STAINLESS STEEL, 64.75H x 28W x 32.625D, ADA-COMPLIANT, NO ICE MAKER; DOOR: RHR
NOTE: ADA REQUIRES 50% OF FREEZER SPACE MAX. 54" AFF.

S KITCHEN SINK:
ELKAY #ELUHAD211550PD

FAUCET: KOHLER, CRUE #K-22975-CP, VIBRANT STAINLESS

TRUEBRO LAV GUARD PIPE COVERS

REVIEWED
By Laura DiPasquale at 10:48 am, Nov 05, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Buelit

The Maryland-National Capital Park and Planning Commission
Montgomery Parks
Park Development Division
2425 Reedie Drive, 11th Floor
Wheaton, MD 20902
(301) 495-2595
MontgomeryParks.org

MEP ENGINEER
Century Engineering, Inc.
10710 Gilroy Road
Hunt Valley, Maryland 21031
443-589-2400

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
License No. 21406
Expiration Date 1/23/2027

Project Name and Location
Norbeck-Muncaster Mill
Neighborhood Park
Park Activity
Building Renovation
4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman
Liber: 29914 Tax Map: HS342
Folio: 0259 WSSC:

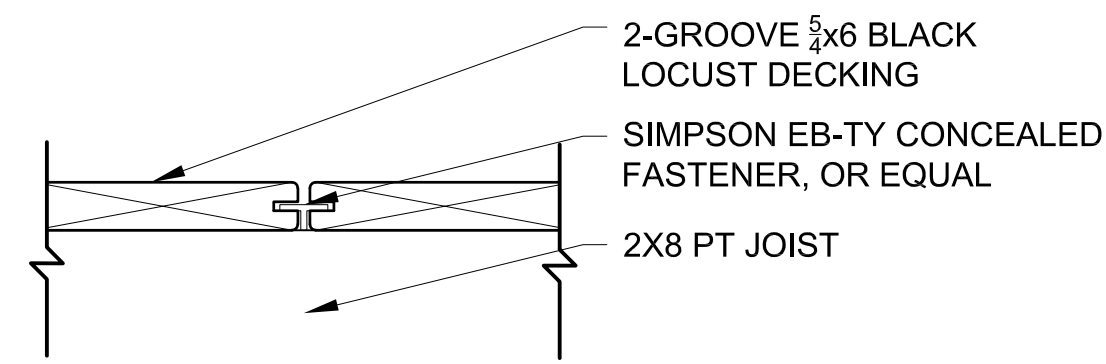
Revisions		
No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

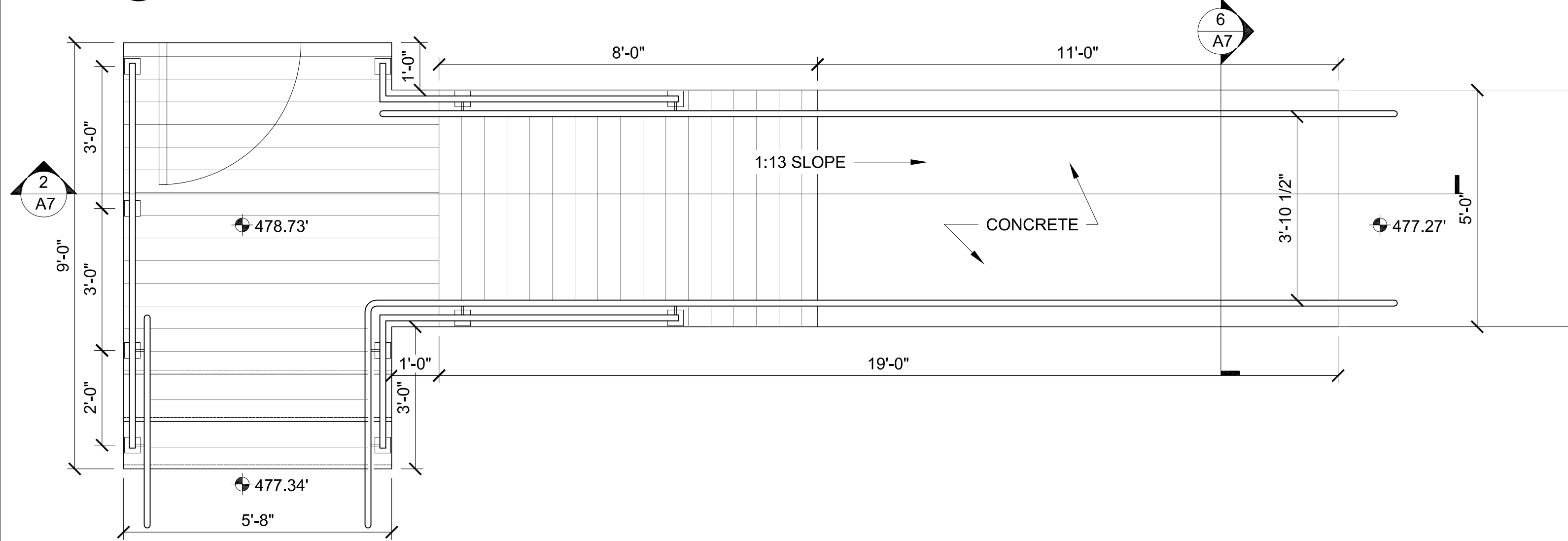
Drawing Title
KITCHEN PLAN, ELEVATION, DETAILS, & SPECS, INTERIOR ELEVATIONS
100% Construction Documents (Permit Set)

Drawing No.
A5

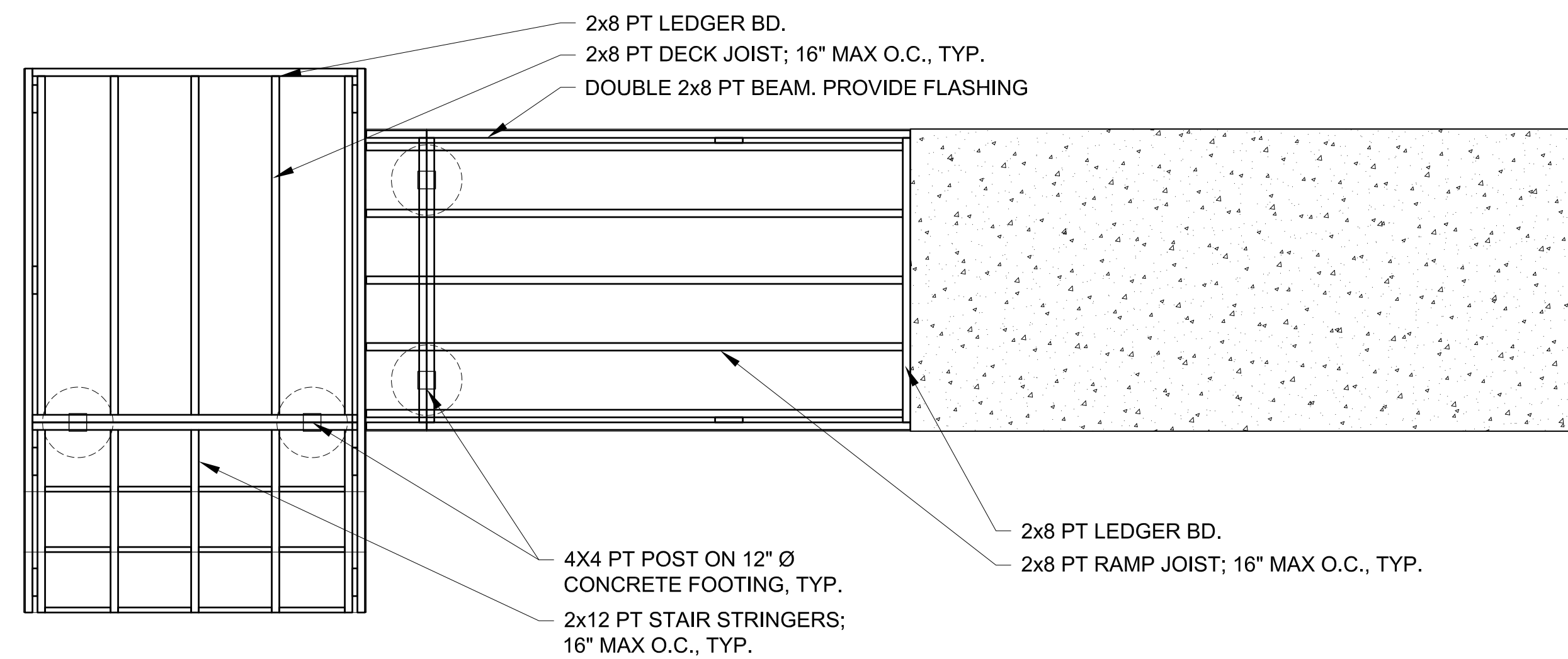
PERMIT SHT. # 11 of 23
OVERALL SHT. # 11 of 23



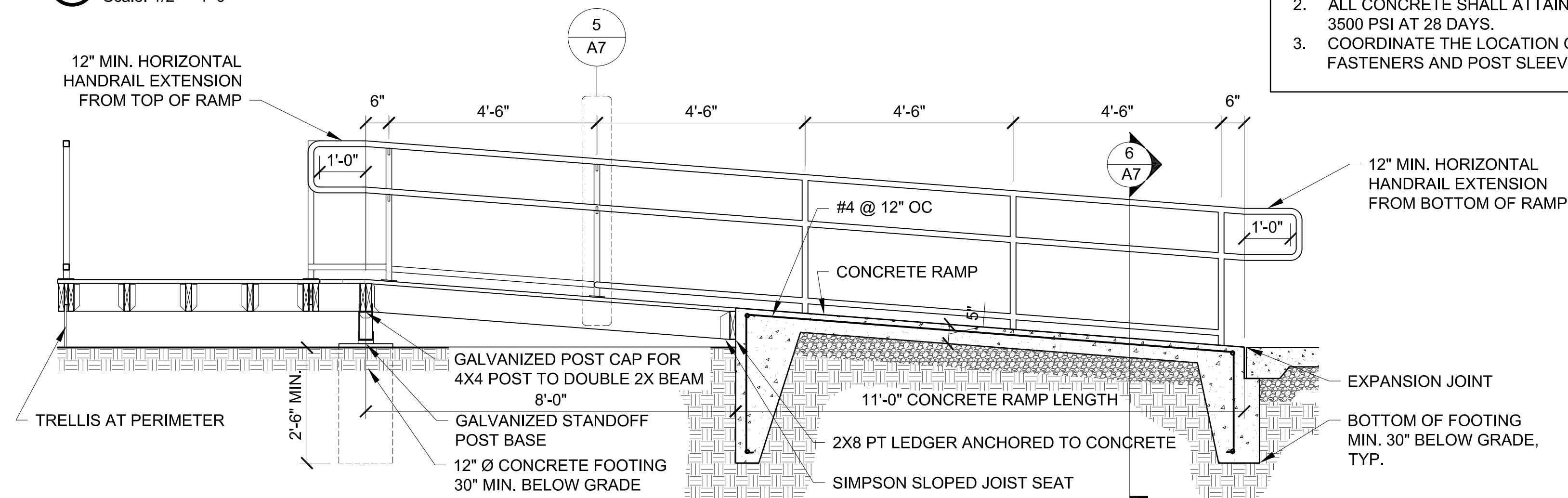
7 DECKING DETAIL
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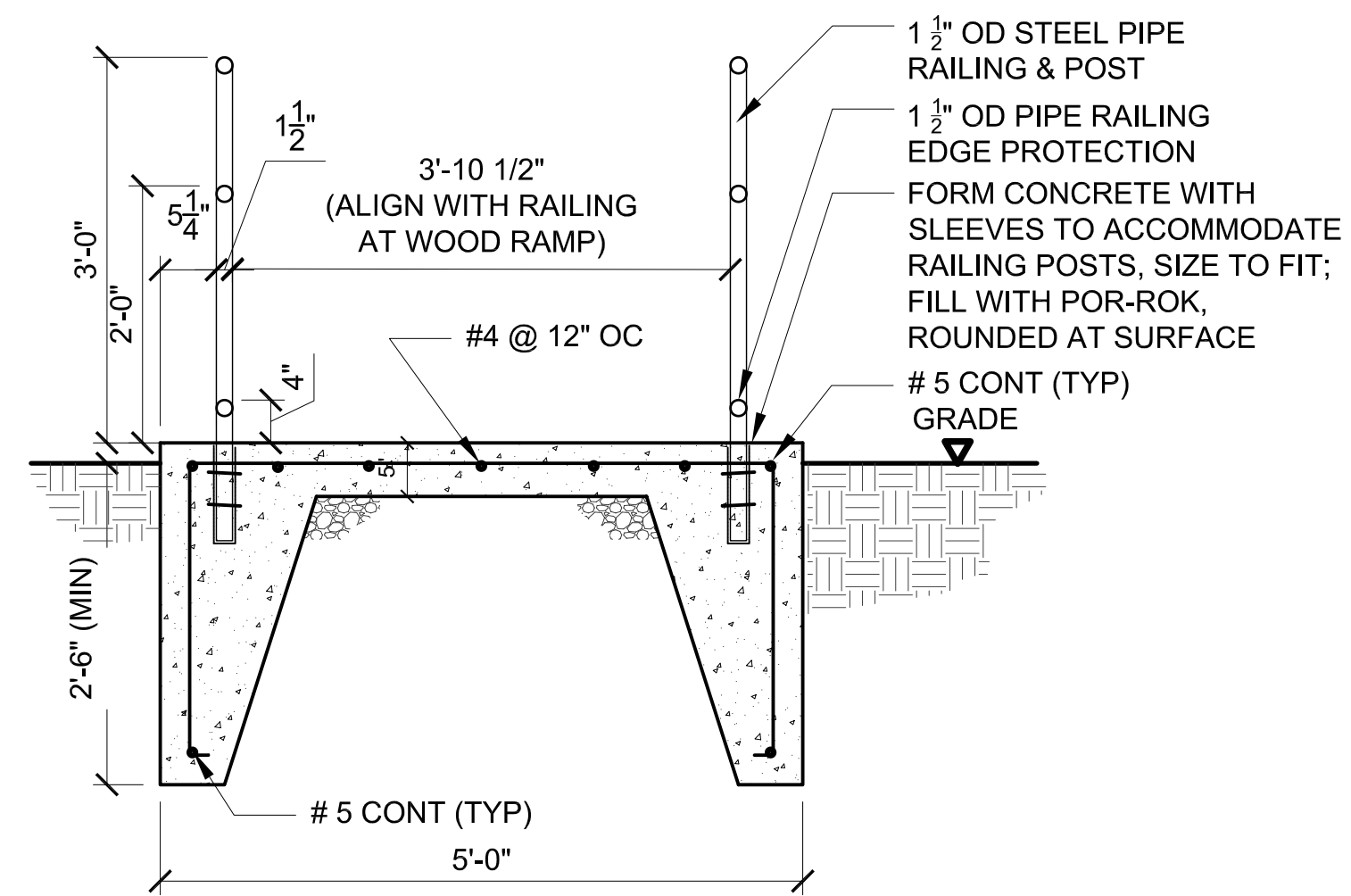
4 DECK & RAMP ENLARGED PLAN
Scale: 1/2" = 1'-0"



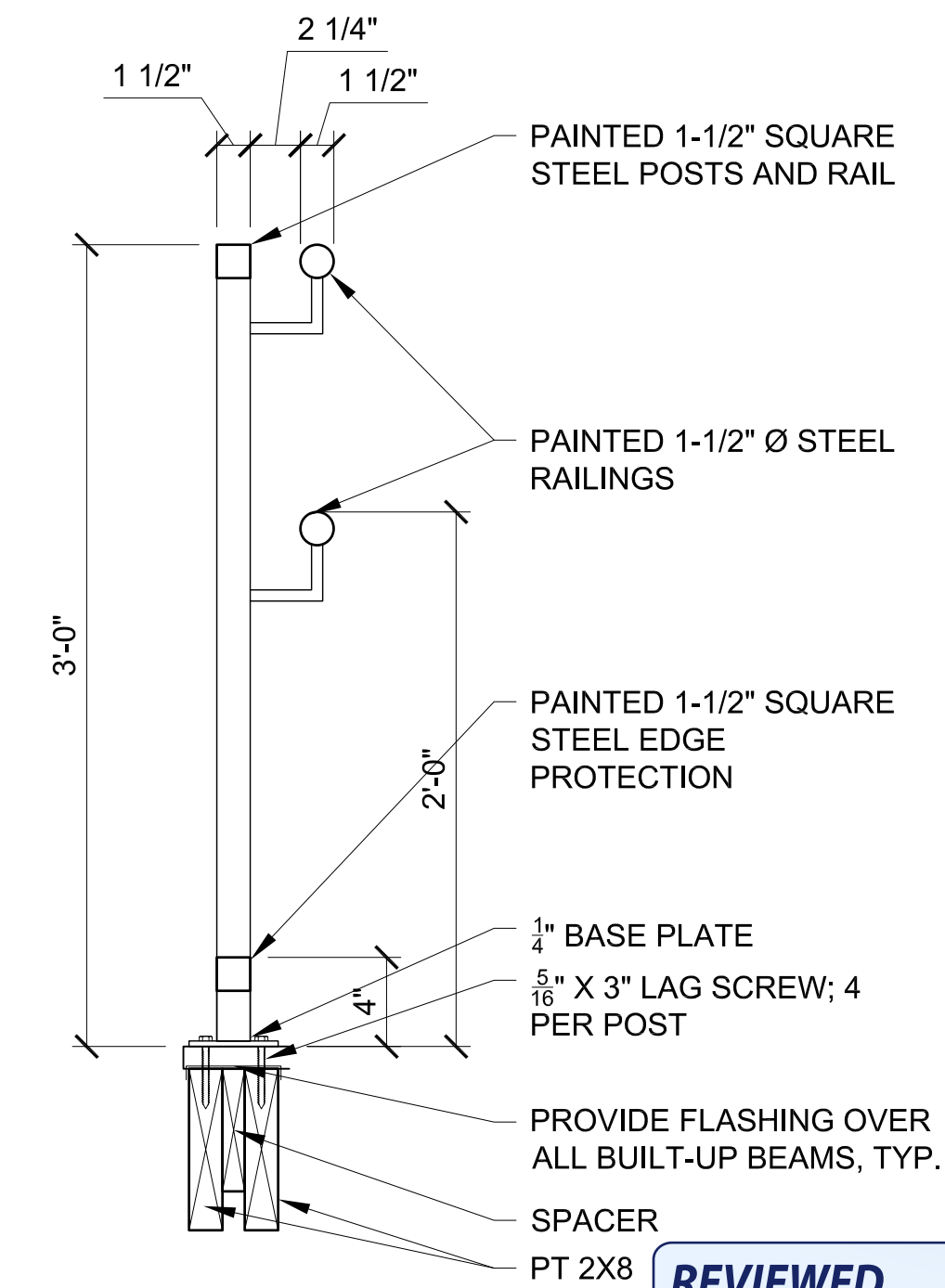
3 DECK & RAMP FRAMING PLAN
Scale: 1/2" = 1'-0"



2 RAMP SECTION
Scale: 1/2" = 1'-0"



6 CONCRETE RAMP CROSS-SECTION
Scale: 3/4" = 1'-0"



5 METAL HANDRAIL POSTS DETAIL
Scale: 1-1/2" = 1'-0"

STRUCTURAL FRAMING:

- ALL RAMP, STAIR, AND PORCH FRAMING SHALL BE PT SOUTHERN PINE, GRADE #1, OR BETTER.

FOUNDATIONS:

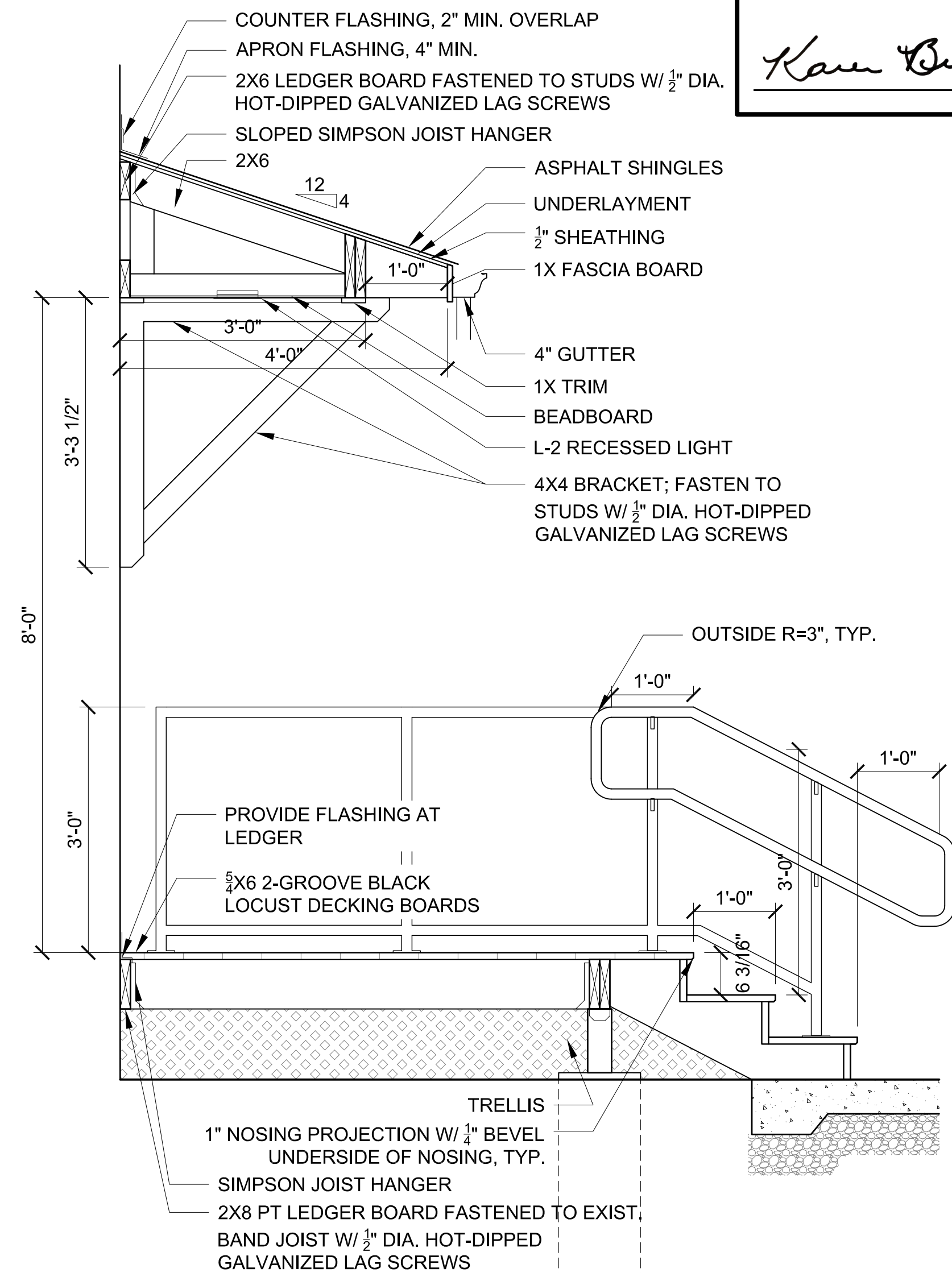
- RAMP FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL HAVING A MINIMUM BEARING CAPACITY OF 1500 PSF PER IBC CODE MINIMUMS. ADEQUACY OF BEARING STRATUM SHALL BE V.I.F. PRIOR TO PLACING CONCRETE. ADJUST BOTTOM OF FOOTING ELEVATIONS AS REQ'D.
- THE CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS, AND ADJACENT STRUCTURES, PAVEMENTS, AND UTILITIES.
- NO FOOTINGS SHALL BE PLACED IN WATER OR ON FROZEN GROUND. PROTECT FOOTINGS FROM FROST AFTER THEY ARE PLACED.
- CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL SHORING, BRACING, AND DEWATERING REQUIRED TO PROPERLY CONSTRUCT THE FOUNDATIONS AND TO PROTECT ADJACENT STRUCTURES, PAVEMENT, AND UTILITIES. DO NOT REMOVE SHORING, SUCH AS SHEET PILING IF IT WILL CAUSE SETTLEMENT OR DAMAGE TO EXISTING OR NEW STRUCTURES, PAVEMENT, AND/OR UTILITIES.
- FILL AND BACKFILL MATERIAL - CLEAN RUN OF BANK MATERIAL, FREE OF DELETERIOUS ORGANIC MATERIALS.
- ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 2'-6" BELOW FINAL GRADE.

CAST-IN-PLACE CONCRETE:

- ALL CONCRETE PLACEMENT, FINISHING, AND CURING SHALL CONFORM TO THE REQUIREMENTS CONTAINED IN ACI 301, SPECIFICATIONS FOR STRUCTURAL CONCRETE.
- ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS.
- COORDINATE THE LOCATION OF CONCRETE REINFORCEMENT WITH FASTENERS AND POST SLEEVES.

RAILING NOTES:

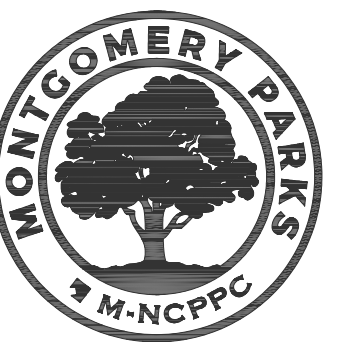
- PIPE JOINTS TO BE WELDED AND GROUND SMOOTH.
- ALL PIPES SHOULD BE ETCHED WITH ACID BEFORE PAINTING AND PRIMED BEFORE APPLYING SEMI-GLOSS ALKALIDE ENAMEL. COLOR TBD
- GRIPPING SURFACE MUST BE CONTINUOUS ALONG THE HANDRAIL LENGTH AND SHALL NOT BE OBSTRUCTED.
- MAINTAIN 2" MIN. COVER FOR ALL REBAR.



1 PORCH SECTION
Scale: 3/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Karen Ouellet

REVIEWED
By Laura DiPasquale at 10:48 am, Nov 05, 2025



The Maryland-National
Capital Park and Planning
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Liber: 29914 Tax Map: HS342
Folio: 0259 WSSC:

Revisions		
No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title
EXTERIOR DETAILS
100% Construction Documents (Permit Set)

Drawing No.
A7

PERMIT SHT. # 13 of 23
OVERALL SHT. # 13 of 23

T:\Project\Projects\Norbeck-Muncaster Mill\NP_B39\B39_Renovation\CAD\WIMP-ARCHISTS.dwg A7 DETAILS Plotted By: Dahlman, Alexandra, 11/13/2025 12:49 PM

GENERAL NOTES - DIVISION 26

- PROVIDE LABOR, EQUIPMENT AND MATERIALS NECESSARY FOR THE INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM AS SPECIFIED HEREIN AND SHOWN ON THE CONTRACT DRAWINGS. OUTLINE DESCRIPTION AND DIAGRAMMATIC REPRESENTATION OF SYSTEM OPERATION AND EQUIPMENT DOES NOT LIMIT CONTRACTOR LIABILITY FOR FURNISHING AND INSTALLING COMPLETE AND OPERABLE SYSTEMS.
- "DRAWING NOTES" APPLY TO WORK ON THAT INDIVIDUAL DRAWING. "SPECIFIC NOTES" APPLY ONLY WHERE INDICATED WITH THE "SPECIFIC NOTE" SYMBOL.
- WIRE AND CONDUIT SIZES ARE BASED ON COPPER CONDUCTORS UNLESS SPECIFICALLY NOTED OTHERWISE.
- VOLTAGE DROP CALCULATIONS ARE BASED ON CIRCUIT LOADING AND DISTANCES GENERALLY AS CIRCUITED ON PLAN. IF ALTERNATE CONDUIT ROUTING, CIRCUIT LOADING, OR CONDUCTOR MATERIAL IS PROVIDED, VERIFY VOLTAGE DROP, AND SUBMIT VOLTAGE DROP CALCULATIONS PER SPECIFICATION.
- UNLESS OTHERWISE NOTED, CIRCUITS HAVE NOT BEEN DERATED FOR CONDUCTOR BUNDLING. NOR HAVE CONDUITS BEEN SIZED FOR MULTIPLE CIRCUITS. IF MULTIPLE CIRCUITS ARE INSTALLED IN A SINGLE RACEWAY, DERATE CONDUCTOR AMPACITY PER NEC, AND PROVIDE APPROPRIATE SIZE CONDUIT. WHERE CONDUIT SIZE INCREASES, COORDINATE WITH ADJACENT UTILITIES AND BUILDING FEATURES.
- INCLUDE IN THE BID PRICE THE PAYMENT OF NECESSARY PERMITS. FURNISH THE OWNER PRIOR TO THE FINAL PAYMENT A CERTIFICATE FROM THE ELECTRICAL INSPECTION DEPARTMENT HAVING JURISDICTION CERTIFYING THAT THE ELECTRICAL WORK MEETS THE REQUIREMENTS OF THE LOCAL INSPECTION AUTHORITIES AND/OR THE NATIONAL BOARD OF FIRE UNDERWRITERS.
- COORDINATE WITH OWNER'S REPRESENTATIVE FOR SCHEDULING OF WORK.
- WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.
- KEEP THE WORK SITE AND SURROUNDING AREA FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH GENERATED BY WORK FROM THIS CONTRACT. PROPERLY AND LEGALLY DISPOSE OF MATERIALS.
- JOB SITE SAFETY SHALL BE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DRAWINGS SHALL NOT BE SCALED. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT LIGHT FIXTURE LOCATIONS AND THE MECHANICAL DRAWINGS FOR EXACT MECHANICAL EQUIPMENT LOCATIONS. LOCATIONS OF ELECTRICAL EQUIPMENT AND CONDUIT ARE SHOWN DIAGRAMMATICALLY. DETERMINE EXACT LOCATIONS IN FIELD.
- CONFIRM EQUIPMENT LOCATIONS AND PLUG TYPES PRIOR TO RECEPTACLE INSTALLATION. PROVIDE RECEPTACLE TYPES TO MATCH PLUG TYPES AND NEMA CONFIGURATION.
- COORDINATE WORK WITH OTHER TRADES. ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND OTHER DRAWINGS AND SPECIFICATIONS SHALL BE CONSULTED AND COORDINATED WITH PRIOR TO ROUGH-IN.
- EXISTING ELECTRICAL INSTALLATION:
 - EXISTING ELECTRICAL WORK WHICH WILL NOT BE RENDERED OBSOLETE AND WHICH MAY BE DISTURBED DUE TO ANY CHANGES REQUIRED UNDER THIS CONTRACT SHALL BE RESTORED TO ITS ORIGINAL OPERATING CONDITION. FOR ELECTRICAL MATERIAL AND EQUIPMENT TO BE REMOVED, REFER TO ELECTRICAL DEMOLITION NOTES.
 - WHERE EXISTING ELECTRICAL WORK INTERFERES WITH NEW WORK AND WHERE SUCH INSTALLATIONS ARE TO REMAIN IN USE, THE INSTALLATIONS SHALL BE DISCONNECTED AND RELOCATED AND/OR RECONNECTED TO COORDINATE WITH NEW WORK.
 - DO NOT DISCONTINUE ANY ELECTRICAL SERVICE WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE USER AGENCY. THE ELECTRICAL SERVICE OUTAGES SHALL BE KEPT TO A MINIMUM. WRITTEN APPROVAL FOR DISCONNECTING THE SERVICES MAY BE OBTAINED ONLY BY APPLYING IN ADVANCE OF TEN WORKING DAYS. OUTAGES SHALL BE LIMITED TO WEEKEND OR HOLIDAY PERIODS.
- WHEN MOUNTING ELECTRICAL WORK IN AREAS SUBJECT TO PEDESTRIAN TRAFFIC, MAINTAIN REQUIRED HEADROOM CLEARANCES.
- WHEREVER POSSIBLE, OBTAIN ACTUAL ROUGH-IN DRAWINGS FOR EQUIPMENT TO BE INSTALLED PRIOR TO ROUGH-IN. FINAL ELECTRICAL CONNECTIONS TO EQUIPMENT, WHETHER FURNISHED UNDER THIS DIVISION, ANOTHER DIVISION, OR BY OTHERS, SHALL BE MADE UNDER THIS DIVISION. FINAL CONNECTIONS TO EQUIPMENT SHALL CONSIST OF SAME SIZE PHASE CONDUCTORS, NEUTRAL CONDUCTORS (AS APPLICABLE), GROUND CONDUCTORS, CONTROL CONDUCTORS (AS APPLICABLE), AND CONDUIT SIZES AS INDICATED ELSEWHERE.
- WHERE MULTIPLE WALL SWITCHES ARE SHOWN ADJACENT TO ONE ANOTHER, GROUP TOGETHER UNDER MULTIGANG PLATE. WHERE DIMMER SWITCHES ARE USED, SELECTION OF CAPACITY SHALL BE BASED ON LOAD SERVED AND ANY DERATING REQUIRED DUE TO GANGING OF SWITCHES.
- PROVIDE TYPED CIRCUIT DIRECTORIES FOR EXISTING PANELBOARDS TO INDICATE TYPE OF LOAD SERVED AND AREA SERVED (E.G. RECEPTACLES-OFFICE 201).
- PROVIDE SEPARATE UNSHARED NEUTRAL CONDUCTOR(S) FOR EACH CIRCUIT UTILIZING A NEUTRAL. UNLESS SPECIFICALLY INDICATED OTHERWISE, MULTIWIRED BRANCH CIRCUITS ARE NOT PERMITTED.
- CENTER EQUIPMENT OR DEVICES LOCATED ABOVE OPENINGS SUCH AS DOORS, LOUVER, ETC. ABOVE THE OPENING.
- ELECTRICAL PENETRATIONS IN FIRE-RESISTANCE-RATED CONSTRUCTION SHALL COMPLY WITH REQUIREMENTS OF INTERNATIONAL BUILDING CODE. PROVIDE LISTED FIRE STOP METHOD FOR PENETRATIONS THROUGH FIRE RATED FLOORS AND WALLS TO MAINTAIN THE APPLICABLE FIRE RATING.
- ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE UL LISTED AND SHALL CONFORM TO FACTORY MUTUAL STANDARDS AS APPLICABLE.
- NEW ELECTRICAL WORK INSTALLED IN FINISHED AREAS SHALL BE INSTALLED CONCEALED WITHIN NEW OR EXISTING WALLS, FLOORS OR CEILINGS. PROVIDE CUTTING AND PATCHING OF SURFACES. SURFACE RACEWAYS SHALL BE PERMITTED IN FINISHED AREAS ONLY WHERE SPECIFICALLY APPROVED IN THE FIELD BY ARCHITECT.
- THE ENTIRE ELECTRICAL INSTALLATION, MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, UNLESS A LONGER WARRANTY PERIOD IS REQUIRED ELSEWHERE IN CONTRACT DOCUMENTS.
- MINIMIZE THE USE OF JUNCTION BOXES ABOVE INACCESSIBLE (I.E. GYPSUM) CEILINGS. WHERE JUNCTION BOXES ARE UNAVOIDABLE ABOVE SUCH CEILINGS, GROUP THEM WITH OTHER BOXES, SWITCHES, VALVES, ETC. THAT REQUIRE ACCESS, AND PROVIDE AN ACCESS HATCH IN CEILING AS APPROVED BY ARCHITECT.
- CONDUIT, FITTINGS, AND JUNCTION BOXES SHALL BE SUITABLE FOR THE AREA CLASSIFICATION IN WHICH THEY ARE TO BE INSTALLED.
- UNLESS INDICATED OTHERWISE 15A AND 20A SINGLE-PHASE CIRCUITS SHALL CONSIST OF 2#12, 1#12 G, 3/4" C.
- REMOVE AND REINSTALL CEILING PANELS AS REQUIRED FOR ELECTRICAL WORK. REPLACE, IN-KIND, ANY CEILING PANELS DAMAGED DURING THE COURSE OF WORK.

DEMOLITION NOTES - DIVISION 26

- DISCONNECT AND REMOVE ITEMS SHOWN DASHED ON ELECTRICAL DEMOLITION DRAWINGS. IN ADDITION TO SPECIFIC ELECTRICAL DEMOLITION INDICATED ON ELECTRICAL DEMOLITION DRAWINGS, DISCONNECT AND REMOVE WIRING DEVICES, FIRE ALARM DEVICES, LIGHTING FIXTURES, AND COMMUNICATION OUTLETS ON WALLS, CEILINGS, MILLWORK, ETC. BEING REMOVED. WALLS TO BE REMOVED BY OTHERS ARE SHOWN DASHED ON ELECTRICAL DEMOLITION PLANS. NOTE THAT NOT ALL ELECTRICAL ITEMS TO BE REMOVED ARE INDICATED ON ELECTRICAL DEMOLITION DRAWINGS.
- COORDINATE DEMOLITION WITH NEW WORK, AND REUSE CIRCUITS AND DEVICES AS PERMITTED ELSEWHERE IN CONTRACT DOCUMENTS.
- FOR WIRING NOT BEING REUSED IN NEW WORK, REMOVE BACK TO SOURCE.
- FOR CIRCUIT BREAKERS NOT BEING REUSED, TURN BREAKER OFF AND LABEL AS "SPARE".
- WHERE REMOVAL OF EXISTING ELECTRICAL EQUIPMENT AND ASSOCIATED WIRING BREAKS BRANCH CIRCUITS TO REMAIN, THE CIRCUITS' CONTINUITY SHALL BE RESTORED TO PROVIDE POWER SUPPLY TO REMAINING EQUIPMENT.
- CONDUIT AND WIRING FEEDING ELECTRICAL EQUIPMENT OUTSIDE LIMITS OF CONSTRUCTION THAT IS ROUTED THROUGH AREA OF WORK SHALL REMAIN.
- REMOVE EXISTING EXPOSED CONDUIT, OR CONDUIT THAT BECOMES EXPOSED DURING CONSTRUCTION. REMOVE WIRING AND CUT OFF CONDUIT STUBS THROUGH FLOOR FLUSH WITH FLOOR SLAB, FILL WITH CONCRETE, AND MAKE READY TO ACCEPT NEW FLOOR FINISHES WHERE APPLICABLE.
- CONDUIT WHICH REMAINS CONCEALED WITHIN WALLS OR SLABS SHALL BE ABANDONED IN PLACE AFTER REMOVAL OF WIRING.
- RETAIN REMOVED EMERGENCY LIGHTS, EXIT LIGHTS, AND FIRE ALARM NOTIFICATION APPLIANCES FOR REUSE. CLEAN AND TEST ALL DEVICES TO BE REUSED FOR FULL OPERATION BEFORE REUSE.
- WHEREVER EXISTING FLUSH MOUNTED OUTLET BOXES WILL REMAIN EXPOSED, FURNISH AND INSTALL BLANK COVERPLATES.
- PATCH AND FINISH SURFACES DISTURBED BY DEMOLITION UNDER THIS DIVISION WITH MATERIALS TO MATCH EXISTING SURFACE.

ELECTRICAL MOUNTING HEIGHT SCHEDULE

\$	SWITCHES	46" AFF TO \underline{C} (UNO)
	RECEPTACLES	18" AFF TO \underline{C} (UNO)
	COUNTER RECEPTACLES	9" ABOVE COUNTER TO \underline{C} (UNO)
	REFRIGERATOR REC.	46" AFF TO \underline{C} (UNO)
	MICROWAVE REC.	9" ABOVE COUNTER TO \underline{C} (UNO)
	OVEN RECEPTACLE	COORDINATE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS
	LED EXIT SIGN	6" ABOVE DOOR FRAME
+X"	ITEMIZED MOUNTING HEIGHT	HEIGHT DESIGNATED BY SUBSCRIPT

ELECTRICAL ABBREVIATIONS

<p> AFF ABOVE FINISHED FLOOR AFG ABOVE FINISHED GRADE AL ALUMINUM ADA AMERICAN DISABILITY ACT AWG AMERICAN WIRE GAUGE A AMPERE(S) AIC AMPERE INTERRUPTING CAPACITY AFCI ARC FAULT CIRCUIT INTERRUPTER ATS AUTOMATIC TRANSFER SWITCH BATT BATTERY BFC BELOW FINISHED CEILING BFG BELOW FINISHED GRADE BPS BOLTED PRESSURE SWITCH BLDG BUILDING CATV CABLE TELEVISION C CONDUIT CLG CEILING CKT CIRCUIT C/B CIRCUIT BREAKER CONT CONTINUATION CU COPPER CT CURRENT TRANSFORMER Δ DELTA CONNECTED DACT DIGITAL ALARM COMMUNICATOR TRANSMITTER DC DIRECT CURRENT DISC DISCONNECT DAS DISTRIBUTED ANTENNA SYSTEM 2P DOUBLE POLE DPDT DOUBLE POLE, DOUBLE THROW DPST DOUBLE POLE, SINGLE THROW DT DOUBLE THROW DWG DRAWING DE/DT DUAL ELEMENT / TIME DELAY EMT ELECTRICAL METALLIC TUBING E EMERGENCY EC EMPTY CONDUIT ECB ENCLOSED CIRCUIT BREAKER EMS ENERGY MANAGEMENT SYSTEM EV ELECTRIC VEHICLE EF EXHAUST FAN ER EXISTING RELOCATED ETR EXISTING TO REMAIN EX EXISTING FT FEET FA FIRE ALARM FAAP FIRE ALARM ANNUNCIATOR PANEL FAOP FIRE ALARM CONTROL PANEL FAEP FIRE ALARM EXTENDER PANEL 4P FOUR POLE FLA FULL LOAD AMPERES F FUSED OR FUSIBLE FSS FUSED SAFETY SWITCH FS FUSED SWITCH G/GRD GROUND GB GROUND BAR GEC GROUNDING ELECTRODE CONDUCTOR GFI GROUND FAULT CIRCUIT INTERRUPTER HD HAND DRYER HOA HAND-OFF-AUTOMATIC HID HIGH INTENSITY DISCHARGE HV HIGH VOLTAGE HP HORSEPOWER HZ HERTZ IG ISOLATED GROUND IT INFORMATION TECHNOLOGY ITGB INFORMATION TECHNOLOGY GROUND BAR JJB JUNCTION BOX KV KILOVOLTS KVA KILOVOLT-AMPERES KW KILOWATTS </p>	<p> LTO LIGHTING LED LIGHT EMITTING DIODE LRA LOCKED ROTOR AMPS LV LOW VOLTAGE MCB MAIN CIRCUIT BREAKER MGB MAIN GROUND BAR MLO MAIN LUGS ONLY MTS MANUAL TRANSFER SWITCH MISC MISCELLANEOUS MOD MOTOR OPERATED DAMPER MTD MOUNTED MH MOUNTING HEIGHT NEC NATIONAL ELECTRICAL CODE NL NIGHT LIGHT (UNSWITCHED) NF NON-FUSED NFSS NON-FUSED SAFETY SWITCH NC NORMALLY CLOSED NO NORMALLY OPEN NIC NOT IN CONTRACT NTS NOT TO SCALE OE OVERHEAD ELECTRIC OTE OVERHEAD TELECOMMUNICATIONS PNL PANELBOARD ∅ / PH PHASE P POLE PVC POLYVINYL CHLORIDE PT POTENTIAL TRANSFORMER PWR POWER PF POWER FACTOR PRI PRIMARY REC RECEPTACLE RL REMOVE AND RETAIN FOR RELOCATION RM ROOM RMS ROOT MEAN SQUARE RX REMOVE EXISTING SS SAFETY DISCONNECT SWITCH SEC SECONDARY SD SERVICE DISCONNECT Isc SHORT CIRCUIT CURRENT (RMS SYMMETRICAL AMPERES) SCCR SHORT CIRCUIT CURRENT RATING 1P SINGLE POLE SPDT SINGLE POLE, DOUBLE THROW SPST SINGLE POLE, SINGLE THROW ST SINGLE THROW S/N SOLID NEUTRAL SPD SURGE PROTECTION DEVICE SWBD SWITCHBOARD SYM SYMMETRICAL TGB TELECOMMUNICATIONS GROUND BAR TMBG TELECOMMUNICATIONS MAIN GROUND BAR TELE TELEPHONE TB TELEPHONE TERMINAL BOARD TMS THERMAL MANUAL SWITCH KCM THOUSAND CIRCULAR MILS 3P THREE POLE XFMR TRANSFORMER TYP TYPICAL UE UNDERGROUND ELECTRIC UT UNDERGROUND TELECOMMUNICATIONS UL UNDERWRITERS LABORATORY UNO UNLESS NOTED OTHERWISE V VOLTS VA VOLT-AMPERE WH WATER HEATER W WATTS, WIRE WP WEATHERPROOF W/ WITH WCR WITHSTAND AND CLOSE-ON RATING Y WYE CONNECTED </p>
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NOTES

- CHART IS BASED ON 1920 WATT LOAD, 120 VOLTS WITH 3% VOLTAGE DROP. ANY DEVIATION, INCLUDING DE-RATING, SHALL BE FIELD CALCULATED. TOTAL MAXIMUM VOLTAGE DROP (ON FEEDER AND BRANCH CIRCUIT) SHALL BE LESS THAN 5% WHERE A DISCREPANCY EXISTS BETWEEN THIS CHART AND WIRE SIZE ON PANEL SCHEDULE, PROVIDE THE LARGER SIZE.

BRANCH CIRCUIT WIRE SIZING (120V, 20 AMPERE SINGLE PHASE CIRCUITS) ¹	
LENGTH OF RUN	CIRCUIT WIRE SIZE
0' - 60'	#12
60' - 100'	#10
100' - 150'	#8

LIGHTING SYMBOLS

	LIGHTING FIXTURE, CEILING MOUNTED
	LIGHTING FIXTURE, WALL MOUNTED
	EMERGENCY LIGHTING FIXTURE
	EMERGENCY BATTERY TYPE LIGHTING FIXTURE
	EMERGENCY REMOTE HEAD TYPE LIGHTING FIXTURE
	EXIT SIGN, SINGLE FACE, CEILING/WALL MOUNTED
	EXIT SIGN, DOUBLE FACE, CEILING/WALL MOUNTED
	EXIT SIGN, AS ABOVE, WITH DIRECTIONAL ARROWS
	COMBINATION EXIT SIGN EMERGENCY LIGHT, SINGLE FACE, WALL MOUNTED
\$	SINGLE POLE TOGGLE SWITCH
\$ ₃	THREE-WAY TOGGLE SWITCH
\$ _{LV}	LOW VOLTAGE PUSHBUTTON WALL STATION
\$ _O	LIGHTING CONTROL OCCUPANCY/VACANCY SENSOR WALL SWITCH
	LIGHTING CONTROL OCCUPANCY SENSOR WITH DAYLIGHT HARVESTING FEATURE, CEILING MOUNTED
	LIGHTING CONTROL OCCUPANCY SENSOR, WALL MOUNTED

POWER SYMBOLS

	DUPLEX RECEPTACLE, NEMA CONFIGURATION 5-15R/5-20R, PER SPECIFICATION
	DUPLEX RECEPTACLE AS ABOVE, GROUND FAULT CIRCUIT INTERRUPTER (GFCI) TYPE OR PROTECTED BY UPSTREAM GFCI RECEPTACLE
	DUPLEX RECEPTACLE AS ABOVE, COUNTERTOP
	DUPLEX RECEPTACLE AS ABOVE, COUNTERTOP GROUND FAULT CIRCUIT INTERRUPTER (GFCI) TYPE OR PROTECTED BY UPSTREAM GFCI RECEPTACLE
	WEATHER RESISTANT GFCI DUPLEX RECEPTACLE AS ABOVE, WITH WEATHERPROOF LOCKABLE COVER
	20A SIMPLEX RECEPTACLE, DEDICATED FOR REFRIGERATOR
	GFCI DUPLEX RECEPTACLE AS ABOVE, DEDICATED FOR COUNTERTOP MICROWAVES
	OVEN RECEPTACLE, NEMA 14-20R
	JUNCTION BOX - CEILING, WALL OR FLOOR MOUNTED
	MANUAL MOTOR STARTER SWITCH - NO OVERLOADS
	METER
	120/240V PANELBOARD, EXTENDED FRONT LINES INDICATE RECESSED, OTHERWISE SURFACE MOUNTED.
	COMBINATION COMMUNICATION OUTLET
	PROVIDE 2-GANG BOX WITH SINGLE GANG ADAPTER PLATE, 1" CONDUIT W/BUSHING, AND PULLSTRING TO ABOVE ACCESSIBLE CEILING.
	PROVIDE ONE VOICE AND ONE DATA AND ONE TYPE F CONNECTOR

ACCESS CONTROL AND DETECTION SYSTEMS SYMBOLS

	KEYPAD ACCESS CONTROLLED DOOR ROUGH-IN, COORDINATE LOCATION WITH ARCHITECT. KEYPAD PROVIDED BY SECURITY VENDOR. COORDINATE MANUFACTURER AND MODEL NUMBER WITH SECURITY VENDOR.
	SECURITY SYSTEM CONTROLLER, COORDINATE LOCATION WITH ARCHITECT. CONTROLLER PROVIDED BY SECURITY VENDOR. COORDINATE MANUFACTURER AND MODEL NUMBER WITH SECURITY VENDOR.

FIRE ALARM SYSTEM SYMBOLS

	SINGLE- OR MULTI-STATION SMOKE DETECTOR, CEILING MOUNTED
--	--

DRAWING LIST - ELECTRICAL	
SHEET NUMBER	SHEET NAME
E - 001	ELECTRICAL NOTES & ABBREVIATIONS
E - 101	ELECTRICAL FLOOR PLANS
E - 501	ELECTRICAL DETAILS & SCHEDULES



The Maryland-National Capital Park and Planning Commission

Montgomery Parks
 Park Development Division
 2425 Reedie Drive, 11th Floor
 Wheaton, MD 20902
 (301) 495-2595
 MontgomeryParks.org

MEP ENGINEER
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 10710 Gilroy Road
 Hunt Valley, Maryland 21031
 443-589-2400



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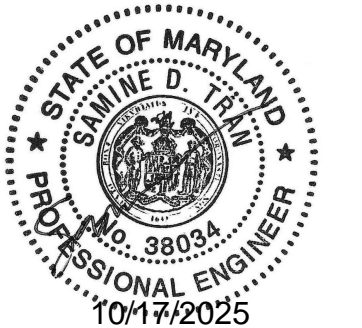
REVIEWED

By Laura DiPasquale at 10:48 am, Nov 05, 2025

APPROVED

Montgomery County
 Historic Preservation Commission

Karen Bulleit



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.

License No. 38034

Expiration Date 12/08/2025

Project Name and Location

Norbeck-Muncaster Mill Neighborhood Park Park Activity Building Renovation

4101 Muncaster Mill Road
 Norbeck, MD 20853

Project ID: B39-001
 Project Manager: Alexandra Dahlman

Liber: 29914 Tax Map: HS342
 Folio: 0259 WSSC:

Revisions

No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
 Drawn: M-NCPPC, Montgomery Parks
 Checked: M-NCPPC, Montgomery Parks
 Issue Date: October 15, 2025

Drawing Title

ELECTRICAL NOTES & ABBREVIATIONS

100% Construction Documents (Permit Set)

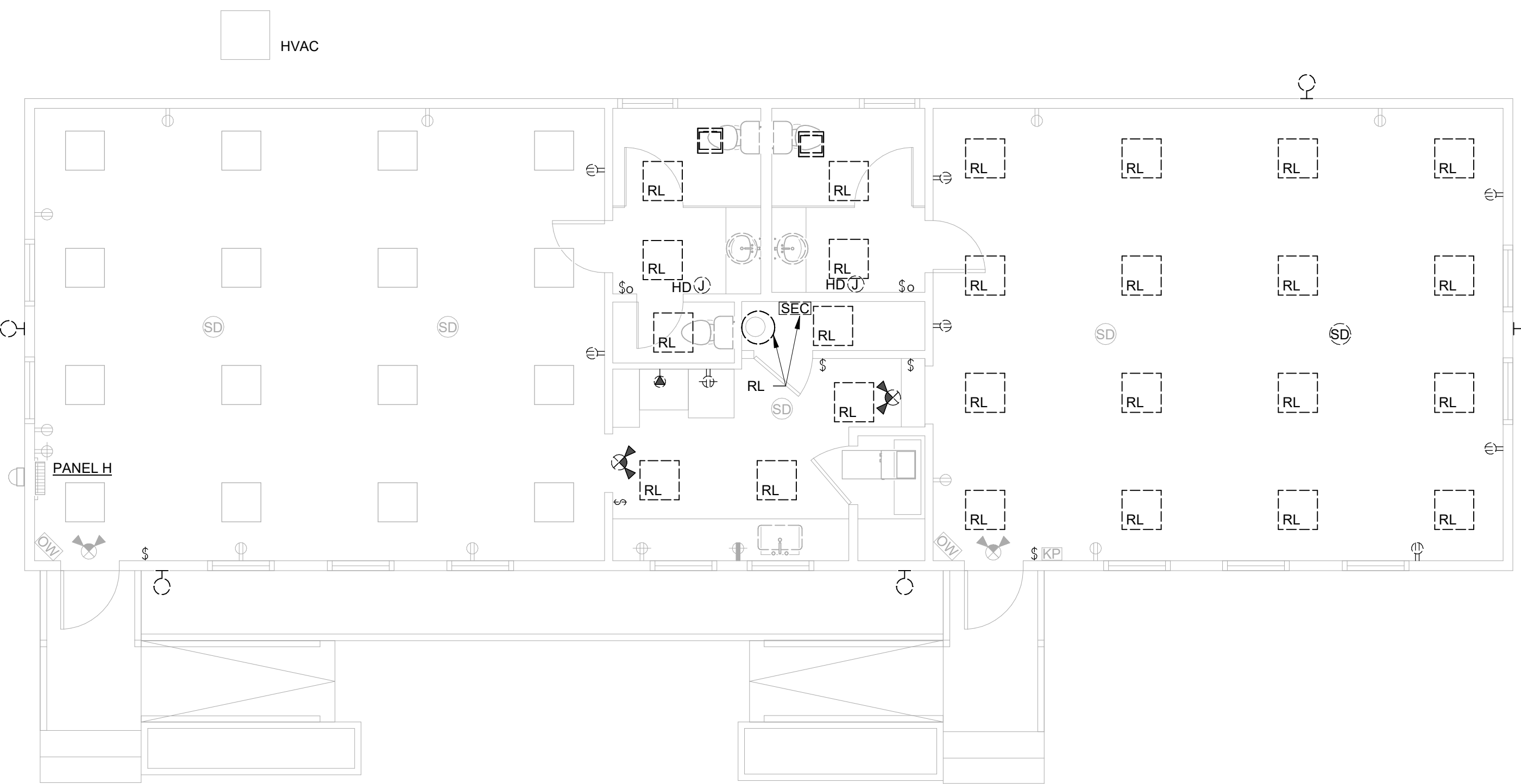
Drawing No.

E - 001

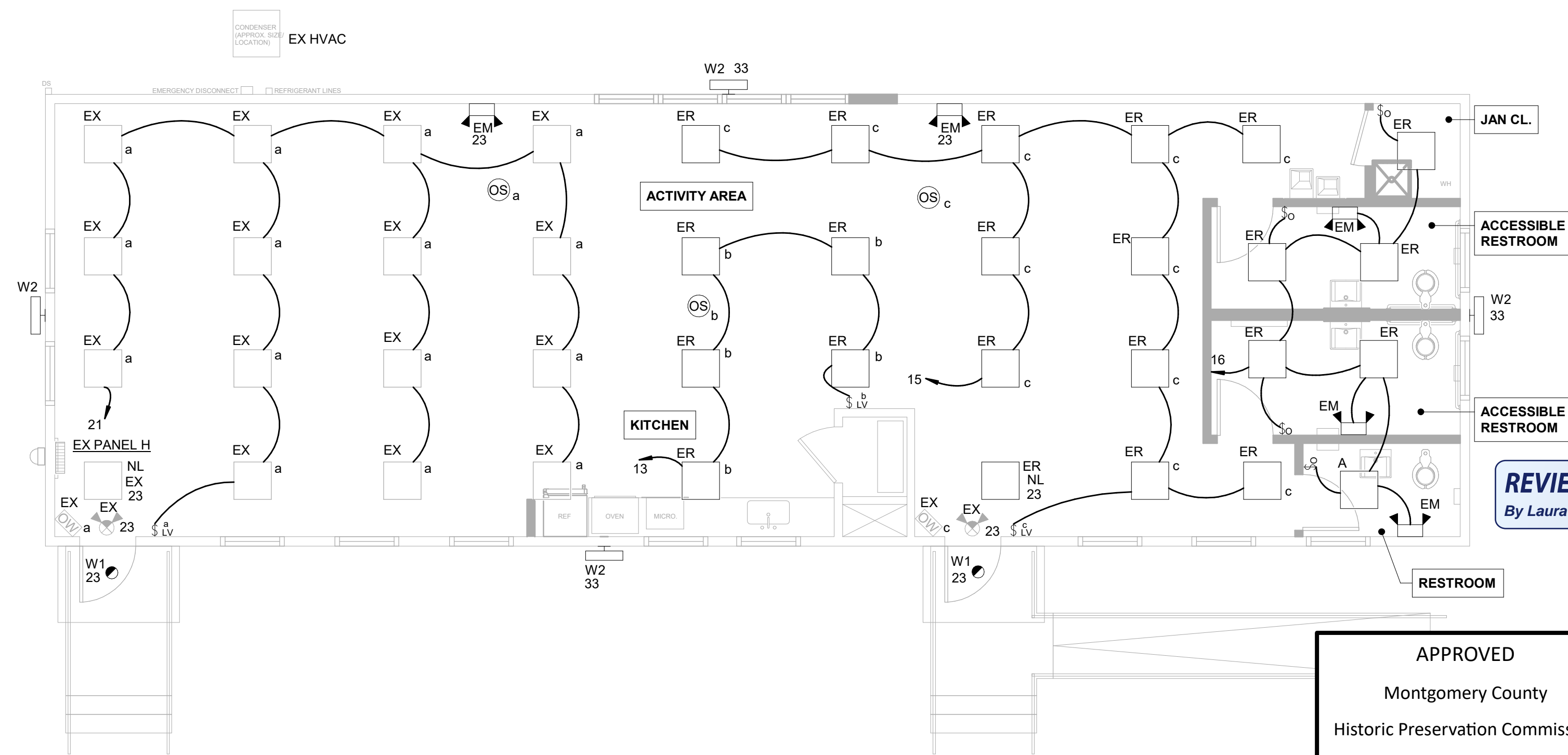
PERMIT SHT. # 14 of 23
 OVERALL SHT. # 14 of 23

DEMOLITION DRAWING NOTES

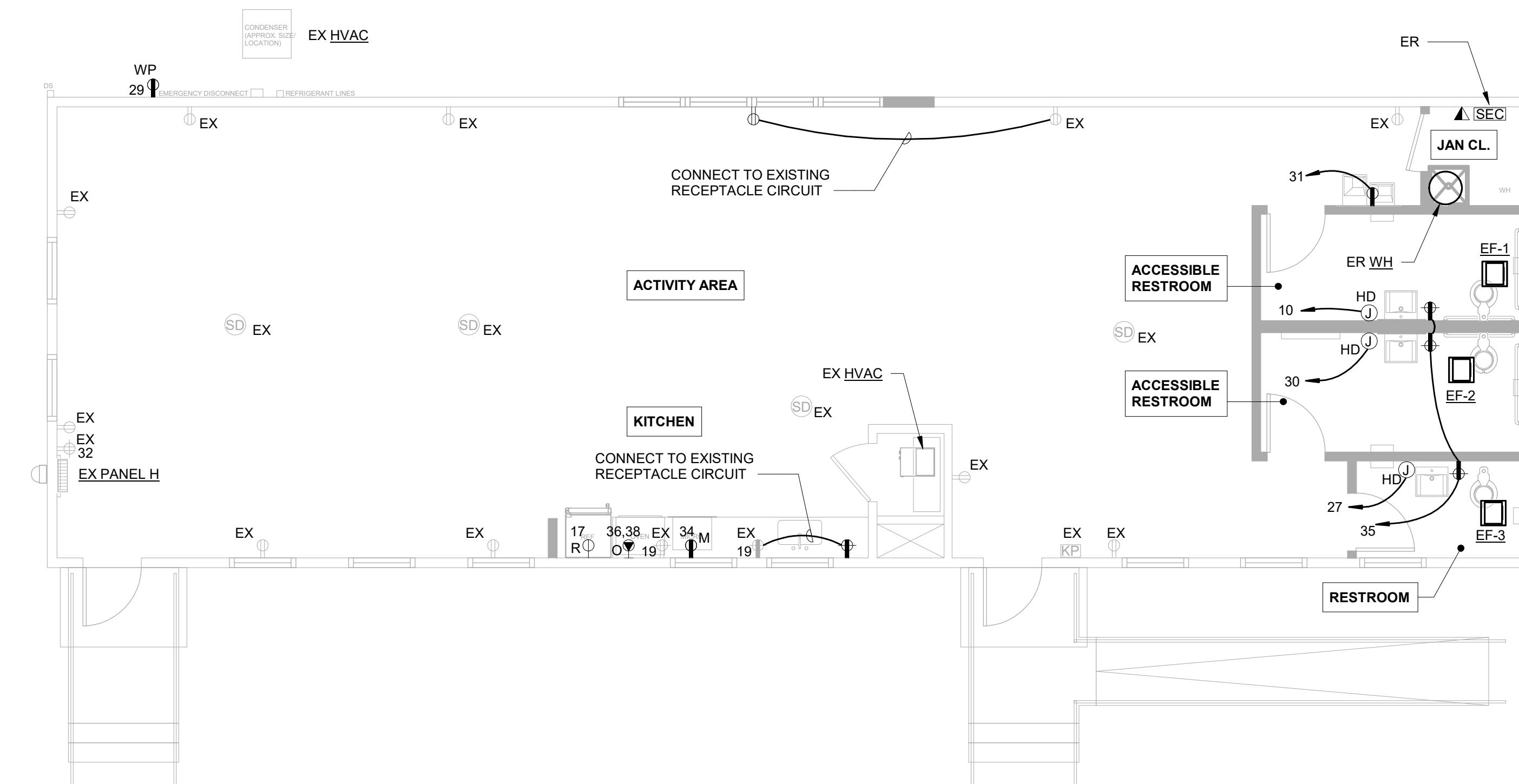
1. RETAIN REMOVED 2 x 2 LIGHTS FOR REUSE. CLEAN AND TEST ALL DEVICES TO BE REUSED FOR FULL OPERATION BEFORE REUSE. REFER TO ELECTRICAL LIGHTING PLAN FOR NEW LOCATION, WIRING AND CONTROLS. REPLACE LIGHTS AS NEEDED WITH TYPE A FIXTURES.
2. REMOVE RECEPTACLES SHOWN DASHED. REMOVE WIRING BACK TO OTHER DEVICES REMAINING ON CIRCUIT. EXISTING CIRCUIT BREAKERS FOR RECEPTACLES TO REMAIN. IF ONLY ONE DEVICE ON CIRCUIT REMOVE WIRING BACK TO PANEL AND LABEL CIRCUIT BREAKER AS SPARE.
3. DISCONNECT EXISTING WATER HEATER AND PROVIDE JUNCTION BOX FOR EXTENSION OF CIRCUIT TO NEW LOCATION. PROVIDE CONDUIT AND WIRING AS REQUIRED. REFER TO ELECTRICAL POWER PLAN FOR NEW LOCATION.
4. DISCONNECT EXISTING SECURITY CONTROL PANEL AND PROVIDE JUNCTION BOX FOR EXTENSION OF CIRCUIT TO NEW LOCATION. PROVIDE CONDUIT AND WIRING AS REQUIRED. COORDINATE WITH IT SUPPORT DEPARTMENT FOR FINAL LOCATION. REFER TO ELECTRICAL POWER PLAN.



① ELECTRICAL DEMOLITION PLAN
3/16" = 1'-0"



② ELECTRICAL LIGHTING PLAN
3/16" = 1'-0"



③ ELECTRICAL POWER PLAN
3/16" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Karen Boudit

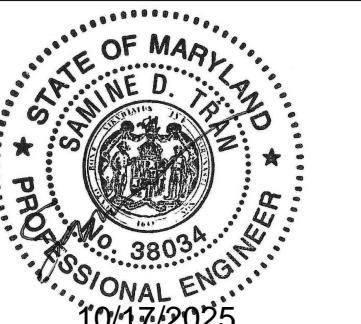
REVIEWED
By Laura DiPasquale at 10:48 am, Nov 05, 2025



The Maryland-National
Capital Park and Planning
Commission

Montgomery Parks
Park Development Division
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License No. 38034
Expiration Date 12/08/2025

Project Name and Location

**Norbeck-Muncaster Mill
Neighborhood Park
Park Activity
Building
Renovation**

4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman

Liber: 29914 Tax Map: HS342
Folio: 0259 WSSC:

Revisions

No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title

**ELECTRICAL FLOOR
PLANS**

100% Construction Documents (Permit Set)

Drawing No.

E - 101

PERMIT SHT. # 15 of 23
OVERALL SHT. # 15 of 23



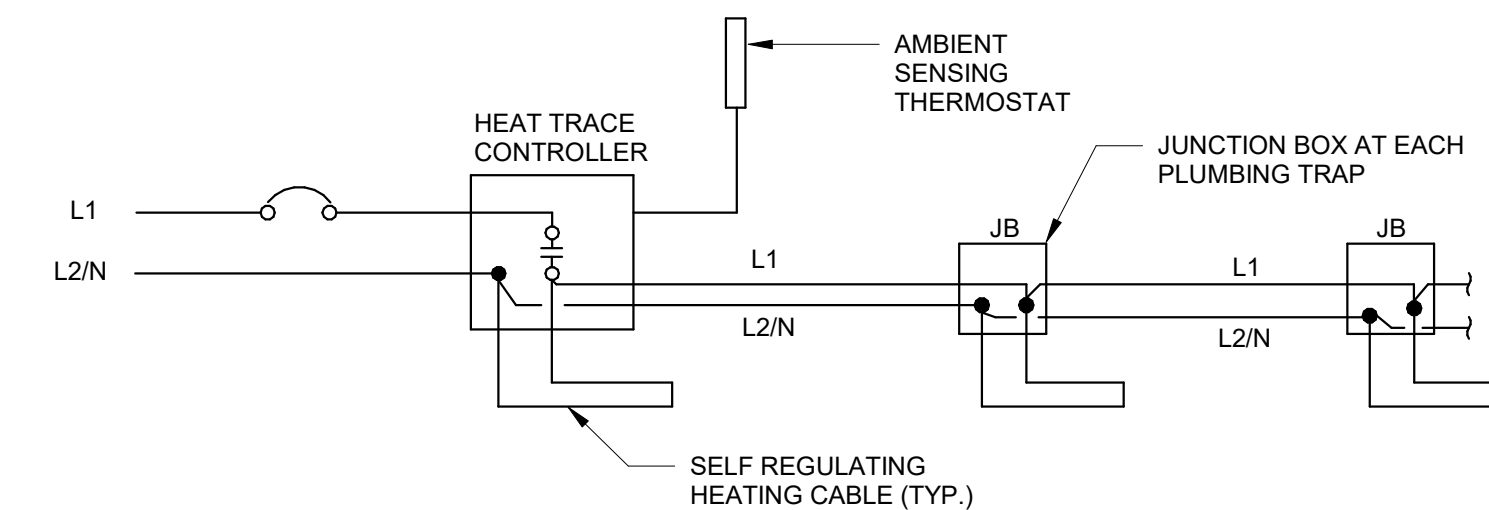
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NOTE : HEAT TRACE COMPONENTS (CONTROLLER, THERMOSTAT, HEATING CABLE, ETC.) SHALL BE PROVIDED UNDER DIVISION 20.
ELECTRICAL COMPONENTS (CIRCUIT BREAKER, WIRING, JUNCTION BOXES, AND TERMINATIONS) SHALL BE PROVIDED UNDER DIVISION 26.

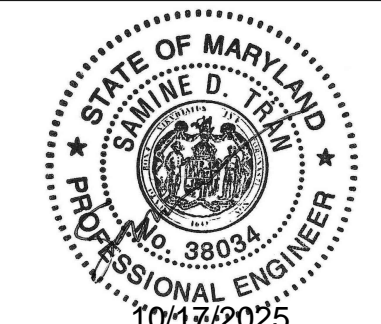
① FREEZE PROTECTION HEAT TRACE SCHEMATIC
NO SCALE

ID TAG	VOLTS	PH	MCA	MOCP	SS POLES	SS RATED AMPS	FUSE AMPS	FUSE TYPE	MOTOR STARTER/SIZE	PANEL	CIRCUIT	REMARKS
EF-1	120 V	1	3 A	20 A	1	CORD AND PLUG				PANEL H	16	
EF-2	120 V	1	3 A	20 A	1	CORD AND PLUG				PANEL H	16	
EF-3	120 V	1	3 A	20 A	1	CORD AND PLUG				PANEL H	16	
EX. WH	120 V	1	19 A	20 A	1		NF	NA	NA	PANEL H	28	

TYPE	DESCRIPTION	VOLTS	LAMP TYPE	WATTS	LUMENS	COLOR TEMP. (K)	CRI	MOUNTING	MANUFACTURER	MODEL SERIES
A	2 X 2 MVOLT, LENS, RECESSED FLAT PANEL, MATCH EXISTING 2 X 2 STYLE	120 V	LED	39 VA	4000 lm	3500 K	80	RECESSED	LITHONIA	FRAME SERIES
EM	DUAL HEAD EMERGENCY LIGHTING UNIT, MVOLT WITH TEST SWITCH, 90 MINUTE BATTERY BACKUP	120 V	LED	3 VA	220 lm	5000 K		WALL	LITHONIA	ELM2L SERIES
W1	6" DIAMETER DOWNLIGHT, SWITCHABLE, WET LOCATION LISTED, BATTERY BACKUP	120 V	LED	13 VA	1000 lm	4000 K	90	RECESSED	LITHONIA	LDN6 SERIES
W2	ARCHITECTURAL WALL LUMINAIRE, BUILT-IN PHOTOCELL, MVOLT, P3 PERFORMANCE, FULL CUT OFF, FINISH COLOR BY ARCHITECT	120 V	LED	24 VA	3300 lm	4000 K	80	WALL	LITHONIA	ARC2 LED SERIES

REVIEWED
By Laura DiPasquale at 10:48 am, Nov 05, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Dunlop



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License No. 38034
Expiration Date 12/08/2025

Branch Panel: PANEL H

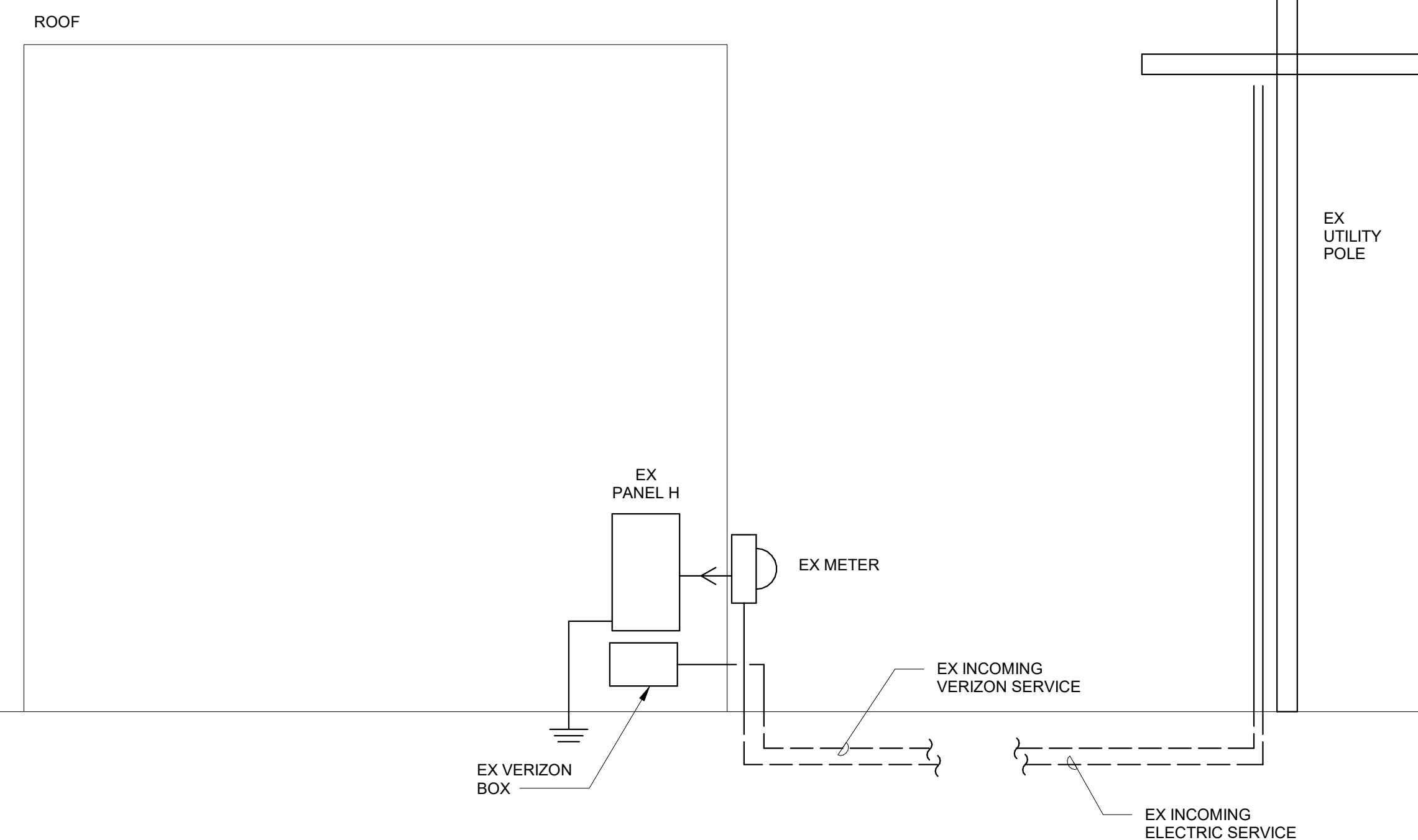
Location: Volts: 240/120 Single
Supply From: Phases: 1
Mounting: SURFACE Wires: 3
Enclosure: NEMA 1 A.I.C. Rating: EXISTING
BUS OCP Type: MCB
BUS Rating: 225 A
MCB Rating: 200 A

Notes: EXISTING SQUARE D QO LOADCENTER.

CKT	Circuit Description	Notes	Trip	Poles	Wire & Conduit Size	A	B	A	B	Wire & Conduit Size	Poles	Trip	Notes	Circuit Description	CKT
1	EX HVAC	3	60 A	2		4.8 kVA		4.8 kVA			2	60 A	3	EX HVAC	2
3	--	--	--	--	--	4.8 kVA		4.8 kVA		--	--	--	--	--	4
5	EX HVAC	3	60 A	2		3.7 kVA		0.0 kVA			2	40 A	3	EX SPARE	6
7	--	--	--	--	--	3.7 kVA		0.0 kVA		--	--	--	--	--	8
9	EX B.B. COURT LTG	3	20 A	2		0.2 kVA		0.9 kVA		2#12, 1#12 G, 3/4" C	1	20 A	3	HAND DRYER	10
11	--	--	--	--	--						1	20 A	3	EX CIRCUIT	12
13	KITCHEN AREA LIGHTS	3	20 A	1	2#12, 1#12 G, 3/4" C	0.2 kVA	0.4 kVA	0.4 kVA			1	20 A	3	EX RECEPTS	14
15	LIGHTS RIGHT SIDE	3	20 A	1	2#12, 1#12 G, 3/4" C	0.4 kVA	0.5 kVA	0.5 kVA		2#12, 1#12 G, 3/4" C	1	20 A	3	LTG/EP'S BATHROOM / JAN	16
17	REFRIGERATOR	3	20 A	1	2#12, 1#12 G, 3/4" C	0.3 kVA	0.4 kVA	0.4 kVA			1	20 A	3	EX RECEPTS	18
19	EX KITCHEN RECEPTS	3	20 A	1		0.5 kVA		0.4 kVA			1	20 A	3	EX RECEPTS	20
21	EX LIGHTS LEFT SIDE	3	20 A	1	2#12, 1#12 G, 3/4" C	0.6 kVA	0.4 kVA	0.4 kVA			1	20 A	3	EX RECEPTS	22
23	EXIT EMERGENCY NL	1,3	20 A	1		0.2 kVA	0.4 kVA	0.4 kVA			1	20 A	3	EX RECEPTS	24
25	EX PARKING LOT LTG	3	20 A	1		0.2 kVA	0.4 kVA	0.4 kVA			1	20 A	3	EX RECEPTS	26
27	HAND DRYER	2	20 A	1	2#12, 1#12 G, 3/4" C	0.9 kVA	2.0 kVA	2.0 kVA		2#10, 1#10 G, 3/4" C	1	20 A	3	WATER HEATER	28
29	EXTERIOR RECEPT	2	20 A	1	2#12, 1#12 G, 3/4" C	0.2 kVA	0.9 kVA	0.9 kVA		2#12, 1#12 G, 3/4" C	1	20 A	3	HAND DRYER	30
31	WATER COOLER	2	20 A	1	2#12, 1#12 G, 3/4" C	0.2 kVA	0.2 kVA	0.2 kVA			1	20 A	3	EX PANEL RECEPT	32
33	EXTERIOR LIGHTS	2	20 A	1	2#12, 1#12 G, 3/4" C	0.1 kVA	1.5 kVA	1.5 kVA		2#12, 1#12 G, 3/4" C	1	20 A	2	MICROWAVE	34
35	BATHROOM RECEPTS	2	20 A	1	2#12, 1#12 G, 3/4" C	0.5 kVA	0.5 kVA	1.9 kVA		3#12, 1#12 G, 3/4" C	2	20 A	2	OVEN	36
37	HEAT TRACE	5	20 A	1	2#12, 1#12 G, 3/4" C	0.5 kVA	--	1.9 kVA		--	2	20 A	2,4	SPD	38
39	EX SPACE	--	--	1		--	0.0 kVA	0.0 kVA		--	--	--	--	--	40
41	EX SPACE	--	--	1		--	0.0 kVA	0.0 kVA		--	--	--	--	--	42
Total Load:						22.3 kVA	22.0 kVA	0.0 kVA							
Total Amps:						186 A	184 A	0 A							

Load Classification	Connected Load	Demand Factor	Demand	Panel Totals
HVAC	26800 VA	100.00%	26800 VA	
Lighting - General	1659 VA	125.00%	2074 VA	Total Conn. Load: 44354 VA
Power - General	7975 VA	100.00%	7975 VA	Total Est. Demand: 44919 VA
Receptacle	4320 VA	100.00%	4320 VA	Total Conn. Current: 185 A
Spare	1000 VA	100.00%	1000 VA	Total Est. Demand Current: 187 A
Water Heating	2000 VA	100.00%	2000 VA	
Lighting	600 VA	125.00%	750 VA	

- Notes:
- PROVIDE CLIP ON LOCK ON CIRCUIT BREAKER.
 - PROVIDE CIRCUIT BREAKER, MATCH EXISTING STYLE AND AIC RATING.
 - EXISTING CIRCUIT BREAKER.
 - SIZE PER MANUFACTURER RECOMMENDATION.
 - PROVIDE GFPE CIRCUIT BREAKER.



② ELECTRICAL RISER DIAGRAM - EXISTING CONDITION
NO SCALE

Project Name and Location
**Norbeck-Muncaster Mill
Neighborhood Park
Park Activity
Building
Renovation**
4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman

Liber: 29914 Folio: 0259 Tax Map: HS342 WSSC:

Revisions		
No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title
**ELECTRICAL DETAILS &
SCHEDULES**

100% Construction Documents (Permit Set)

Drawing No.
E - 501

PERMIT SHT. # 16 of 23
OVERALL SHT. # 16 of 23

GENERAL NOTES

(APPLY TO WORK PROVIDED UNDER DIV. 20):

1. PROVIDE LABOR, EQUIPMENT AND MATERIALS NECESSARY FOR THE INSTALLATION OF THE COMPLETE MECHANICAL SYSTEMS AS SPECIFIED HEREIN AND INDICATED IN THE CONTRACT DOCUMENTS. OUTLINE DESCRIPTION AND DIAGRAMMATIC REPRESENTATION OF SYSTEM OPERATION AND EQUIPMENT DOES NOT LIMIT CONTRACTOR LIABILITY FOR FURNISHING AND INSTALLING COMPLETE AND OPERABLE SYSTEMS.
2. THE INSTALLATION SHALL COMPLY WITH THE LATEST EDITION OF THE CODE OF THE LOCAL AUTHORITY HAVING JURISDICTION.
3. "DRAWING NOTES" APPLY TO THE ENTIRE DRAWING ON WHICH THEY APPEAR, WHERE RELEVANT. "SPECIFIC NOTES" APPLY ONLY WHERE INDICATED WITH THE "SPECIFIC NOTE" SYMBOL. REFER TO LEGEND.
4. DUCTWORK TO BE SHEET METAL UNLESS NOTED OTHERWISE.
5. PROVIDE REQUIRED CLEARANCE FOR MAINTENANCE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS OR AS REQUIRED BY CODE FOR MECHANICAL EQUIPMENT.
6. VERIFY THAT EXISTING EQUIPMENT THAT IS TO REMAIN IS FULLY FUNCTIONAL AND OPERATIONAL.
7. INCLUDE IN THE BID PRICE THE PAYMENT OF NECESSARY PERMITS. FURNISH THE OWNER PRIOR TO THE FINAL PAYMENT A CERTIFICATE FROM THE INSPECTION DEPARTMENT HAVING JURISDICTION CERTIFYING THAT THE WORK MEETS THE REQUIREMENTS OF THE LOCAL INSPECTION AUTHORITIES AND/OR THE NATIONAL BOARD OF FIRE UNDERWRITERS.
8. COORDINATE WITH THE OWNER FOR SCHEDULING OF WORK.
9. WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.
10. KEEP THE WORK SITE AND SURROUNDING AREA FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH GENERATED BY WORK FROM THIS CONTRACT. PROPERLY AND LEGALLY DISPOSE OF MATERIALS.
11. JOB SITE SAFETY SHALL BE IN STRICT ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
12. VISIT THE SITE AND CAREFULLY EXAMINE EXISTING CONDITIONS THAT MAY AFFECT THE BID.
13. EXISTING MECHANICAL WORK WHICH WILL NOT BE RENDERED OBSOLETE AND WHICH MAY BE DISTURBED DUE TO ANY CHANGES REQUIRED UNDER THIS CONTRACT SHALL BE RESTORED TO ITS ORIGINAL OPERATING CONDITION. OTHER MECHANICAL ITEMS RENDERED OBSOLETE SHALL BE ABANDONED WHERE CONCEALED AND REMOVED WHERE EXPOSED.
14. WHERE EXISTING MECHANICAL WORK INTERFERES WITH NEW WORK AND WHERE SUCH INSTALLATIONS ARE TO REMAIN IN USE, THE INSTALLATIONS SHALL BE DISCONNECTED AND RELOCATED AND/OR RECONNECTED TO COORDINATE WITH NEW WORK AS INDICATED IN THE CONTRACT DOCUMENTS AND AS SPECIFIED.
15. DO NOT DISCONTINUE ANY MECHANICAL SYSTEM SERVICE WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE USER AGENCY. THE MECHANICAL SYSTEM OUTAGES SHALL BE KEPT TO A MINIMUM.
16. PROVIDE SUBMITTALS (SHOP DRAWINGS) FOR REVIEW FOR NEW MATERIALS AND EQUIPMENT. PRIOR TO SUBMITTING, REVIEW SUBMITTALS FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS, CONFLICTS WITH OTHER TRADES, AND CONSTRUCTABILITY. IDENTIFY ANY DEVIATIONS IN SUBMITTALS FROM CONTRACT DOCUMENTS. ENGINEER'S REVIEW OF SUBMITTALS DOES NOT INCLUDE REVIEW OF DIMENSIONS, DETAILS, OR QUANTITIES. REVIEW DOES NOT WAIVE ANY REQUIREMENTS OF CONTRACT DOCUMENTS, INCLUDING REQUIREMENT TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM.
17. WHEN MOUNTING MECHANICAL WORK IN AREAS SUBJECT TO PEDESTRIAN TRAFFIC, MAINTAIN REQUIRED HEADROOM CLEARANCES.
18. MECHANICAL MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS TO MAINTAIN THEIR RESPECTIVE UL RATING AND SHALL CONFORM TO FACTORY MUTUAL STANDARDS AS APPLICABLE.
19. MECHANICAL WORK SHALL BE CONCEALED IN FINISHED AREAS SHOWN ON THE ARCHITECTURAL DRAWINGS UNLESS NOTED OTHERWISE.
20. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT DIFFUSER LOCATIONS AND THE ELECTRICAL DRAWINGS FOR EXACT ELECTRICAL EQUIPMENT LOCATIONS. LOCATIONS OF MECHANICAL EQUIPMENT, DUCTWORK, AND PIPING ARE SHOWN DIAGRAMMATICALLY. DETERMINE EXACT LOCATIONS IN THE FIELD.
21. WHERE NEW OR RELOCATED CONTROL DEVICES ARE SHOWN ON EXISTING WALLS, CUT WALL, INSTALL DEVICE AND CONDUIT, AND REPAIR WALL PROPERLY TO ITS ORIGINAL CONDITION.
22. SEALING FITTINGS AND APPROVED SEALING COMPOUND SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE CODE. SEAL AROUND PENETRATIONS OF FIRE-RATED WALLS WITH AN APPROVED SEALANT.
23. LOCATIONS OF DUCTWORK, AIR DEVICES, TEMPERATURE CONTROLS, AND EQUIPMENT SHALL BE COORDINATED WITH THE ARCHITECTURAL LAYOUTS, EQUIPMENT CUTS AND PLUMBING/ELECTRICAL/STRUCTURAL PLANS. NO WORK SHALL BE INSTALLED UNTIL THE LOCATIONS HAVE BEEN VERIFIED. BRING ANY DISCREPANCY TO THE ARCHITECTS ATTENTION PRIOR TO MANUFACTURING OF DUCTWORK OR INSTALLATION.
24. NORTH ARROWS ON THESE DRAWINGS INDICATE PLAN NORTH ONLY.
25. INSTALL A MANUAL VOLUME DAMPER IN EACH BRANCH DUCT THAT RUNS TO (1) AIR DEVICE. VERIFY EACH BRANCH IN EXISTING TO REMAIN DUCTWORK HAS AN OPERABLE DAMPER. PROVIDE NEW MANUAL VOLUME DAMPER WHERE ONE DOES NOT EXIST OR EXISTING DAMPER IS INOPERABLE.
26. PROVIDE PIPE SLEEVE FOR PIPING PENETRATIONS THROUGH RATED SLABS OR WALLS.
27. DUCT JOINTS SHALL BE SEALED USING 3M MODEL 540 DUCT SEALER. EXCESS SEALER SHALL BE REMOVED FROM DUCTWORK AND JOINTS. PAINT SEALED JOINTS TO MATCH FINISH OF DUCTWORK.

GENERAL DEMOLITION NOTES

(APPLY TO WORK PROVIDED UNDER DIV. 20):

1. DEMOLITION WORK IS GENERALLY INDICATED AS PART OF THESE NOTES AND THE NOTES INDICATED ON THE ARCHITECTURAL DEMOLITION PLANS.
2. VERIFY THAT EXISTING PIPING, EQUIPMENT, ETC. THAT IS CALLED FOR REMOVAL IS NO LONGER IN SERVICE BEFORE BEGINNING DEMOLITION.
3. THE DEMOLITION NOTES INDICATE THE MAIN COMPONENTS OF SYSTEMS AND EQUIPMENT THAT SHALL BE REMOVED UNDER THIS CONTRACT. IF SYSTEMS AND EQUIPMENT ARE FOUND DURING CONSTRUCTION THAT THE OWNER AUTHORIZES FOR REMOVAL BUT HAVE NOT BEEN SPECIFICALLY CALLED FOR DEMOLITION, REMOVE THE SYSTEMS AND EQUIPMENT.
4. WHEN THE WORK SPECIFIED HEREFUNDER CONNECTS TO ANY EXISTING EQUIPMENT, PIPING, ETC., PERFORM NECESSARY ALTERATIONS, CUTTING, FITTING, ETC. OF THE EXISTING WORK AS MAY BE NECESSARY OR REQUIRED TO MAKE SATISFACTORY CONNECTIONS BETWEEN THE NEW AND EXISTING WORK AND LEAVE THE COMPLETE WORK IN A FINISHED AND WORKMANLIKE CONDITION.
5. WHEN THE WORK SPECIFIED UNDER OTHER DIVISIONS NECESSITATES RELOCATION OF EXISTING EQUIPMENT, PIPING, ETC. PERFORM WORK AND MAKE NECESSARY CHANGES TO EXISTING WORK AS MAY BE REQUIRED TO LEAVE THE COMPLETED WORK IN A FINISHED AND WORKMANLIKE CONDITION.
6. REMOVE FROM THE PREMISES AND DISPOSE OF EXISTING PIPING, MATERIAL, FIXTURES, EQUIPMENT, ETC. NOT REQUIRED FOR RE-USE OR RE-INSTALLATION.
7. DELIVER ON THE PREMISES WHERE DIRECTED EXISTING MATERIAL AND EQUIPMENT WHICH IS REMOVED AND IS DESIRED BY THE OWNER OR IS INDICATED TO REMAIN THE PROPERTY OF THE OWNER.
8. OTHER MATERIALS AND EQUIPMENT WHICH ARE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES.
9. PIPING ABANDONED IN CONCRETE SLABS, WALLS, OR OTHER INACCESSIBLE LOCATIONS SHALL BE LEFT EMPTY.

SPECIFIC NOTES - HVAC	
M2	RELOCATED EXISTING AIR DEVICE.
M3	6" DIA. EA TO TERMINATE AS WALL CAP WITH INTEGRAL BACKDRAFT DAMPER.
M4	LOW SIDEWALL RETURN CONNECT TO EXISTING DUCT PLENUM.
MD1	REMOVE AND REFURBISH AIR DEVICE. AIR DEVICE SHALL BE REINSTALLED. REFER TO NEW WORK PLAN FOR LOCATION.
MD2	REMOVE AIR DEVICE.
MD3	CAP AND SEAL THE DUCT.
MD4	REMOVE AND RETAIN THE EXISTING THERMOSTAT. THERMOSTAT SHALL BE LOCATED. REFER TO NEW WORK PLAN FOR LOCATION.
MD5	DEMOLISH THE RETURN DUCT.

MECHANICAL LEGEND

SYMBOL	ABBREV	DESCRIPTION	ABBREV	DESCRIPTION
		SHUTOFF VALVE	AFF	ABOVE FINISHED FLOOR
		CHECK VALVE	BTU	BRITISH THERMAL UNIT
	BWV	BACK WATER VALVE	CB	CATCH BASIN
	PRV	PRESSURE REDUCING VALVE	CFH	CUBIC FEET HOUR
		PIPE TURNING UP	CFM	CUBIC FEET MINUTE
		PIPE TURNING DOWN	DIFF	DIFFUSER
		TEE TURNING UP	DB	DRY BULB
		TEE TURNING DOWN	EAT	ENTERING AIR TEMPERATURE
		THERMOSTAT	ESP	EXTERNAL STATIC PRESSURE
		CARBON MONOXIDE SENSOR	EX	EXISTING
		NITROGEN DIOXIDE SENSOR	EXH	EXHAUST
		AIR SENSOR	EXTR	EXISTING TO REMAIN
		VENTILATION CONTROLLER	(FLOOR PLAN-M-1)	FOR CONTINUATION SEE FLOOR PLAN ON DRAWING M-1
		SUPPLY DUCT TURNED UP	GR	GRILLE
		SUPPLY DUCT TURNED DOWN	GPM	GALLONS PER MINUTE
		RETURN OR OUTSIDE AIR DUCT TURNED UP	KW	KILOWATTS
		RETURN OR OUTSIDE AIR DUCT TURNED DOWN	LAT	LEAVING AIR TEMPERATURE
		EXHAUST AIR DUCT TURNED UP	MBH	THOUSAND BTU/HR
		EXHAUST AIR DUCT TURNED DOWN	OA	OUTSIDE AIR
		FLEXIBLE DUCT CONNECTION	PD	PRESSURE DROP
	MVD	MANUAL VOLUME DAMPER	RA	RETURN AIR
	MOD	MOTOR OPERATED DAMPER	REG	REGISTER
	SD	SMOKE DAMPER	RX	REMOVE EXISTING
	FD	FIRE DAMPER	SA	SUPPLY AIR
	F/SD	FIRE SMOKE DAMPER	TSP	TOTAL STATIC PRESSURE
	BDD	BACKDRAFT DAMPER	V-PH	VOLT-PHASE
	WBD	WEIGHTED BAROMETRIC RELIEF DAMPER	VTR	VENT THROUGH ROOF
		INCLINED DUCT RISE		
		INCLINED DUCT DOWN		
		MATCH LINE		
		SECTION DESIGNATION		
		DETAIL DESIGNATION		
		CONNECT TO EXISTING		
		DEMO TO THIS POINT		

REVIEWED
By Laura DiPasquale at 10:48 am, Nov 05, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bunkit



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
License No. 63630
Expiration Date 09/22/26

Project Name and Location

Norbeck-Muncaster Mill Neighborhood Park Activity Building Renovation

4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman

Liber: 29914 Folio: 0259 Tax Map: HS342 WSSC.

Revisions

No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title

SYMBOLS, NOTES AND ABBREVIATIONS

100% Construction Documents (Permit Set)

Drawing No.

M-001

PERMIT SHT. # 17 of 23
OVERALL SHT. # 17 of 23

DRAWING LIST - MECHANICAL	
SHEET NUMBER	SHEET NAME
M-001	SYMBOLS, NOTES AND ABBREVIATIONS
M-101	MECHANICAL FLOOR PLANS
M-701	MECHANICAL SCHEDULE



The Maryland-National
Capital Park and Planning
Commission

Montgomery Parks
Park Development Division
2425 Reedie Drive, 11th Floor
Wheaton, MD 20902
(301) 495-2595
MontgomeryParks.org

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By Laura DiPasquale at 10:48 am, Nov 05, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Karen Benoit



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Neighborhood Park
Park Activity
Building
Renovation**

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Norbeck, MD 20853

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Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title
**MECHANICAL FLOOR
PLANS**

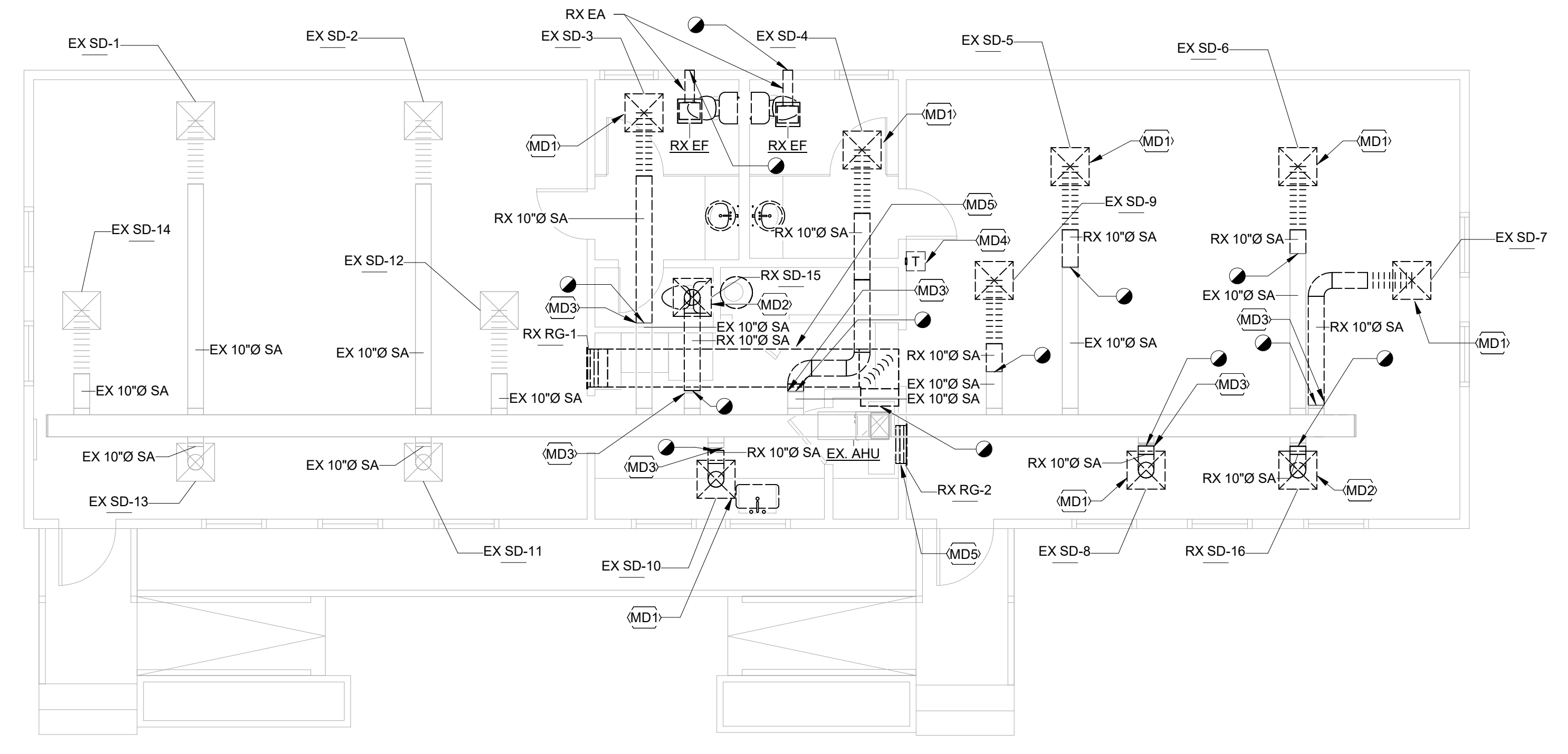
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Drawing No.
M-101

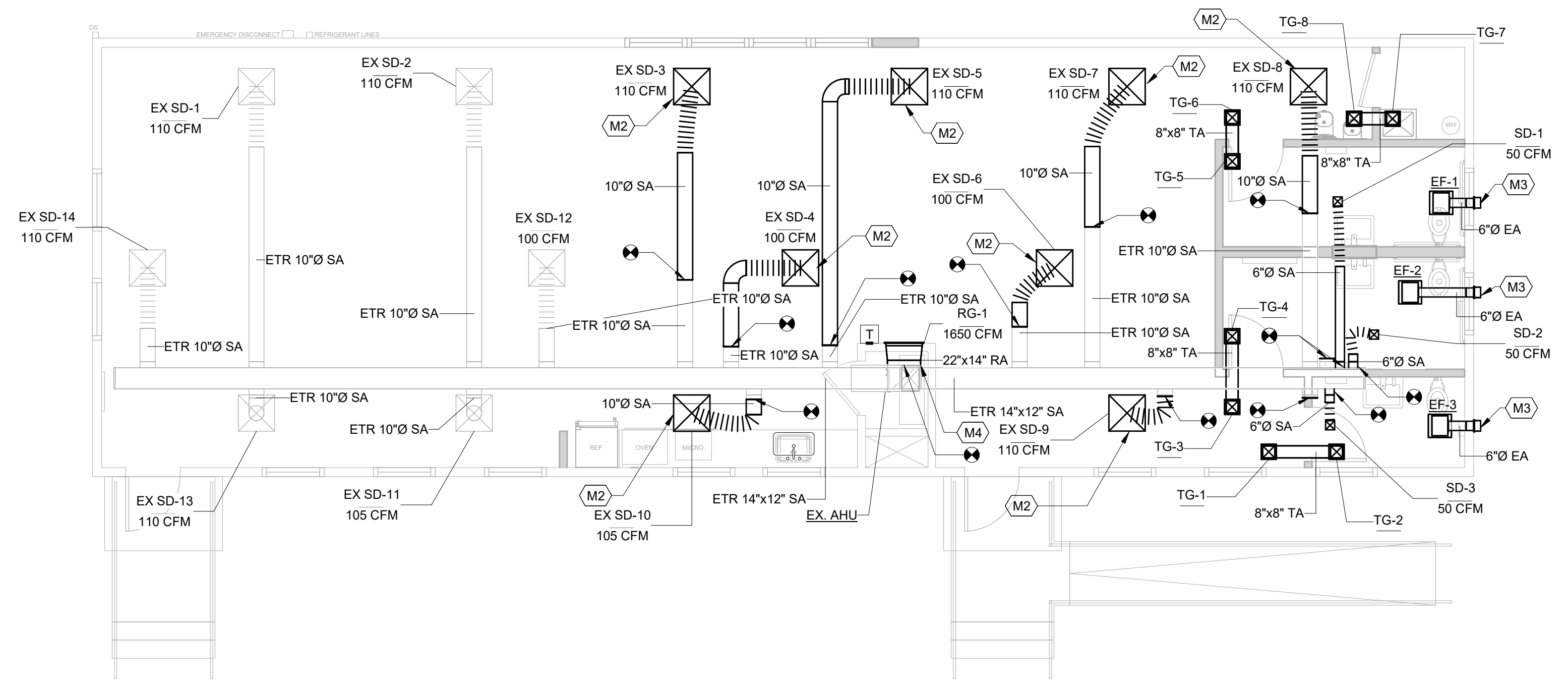
PERMIT SHT. # 18 of 23
OVERALL SHT. # 18 of 23

SPECIFIC NOTES - HVAC DEMO	
MD1	REMOVE AND REFURBISH AIR DEVICE. AIR DEVICE SHALL BE REINSTALLED, REFER TO NEW WORK PLAN FOR LOCATION.
MD2	REMOVE AIR DEVICE.
MD3	CAP AND SEAL THE DUCT.
MD4	REMOVE AND RETAIN THE EXISTING THERMOSTAT. THERMOSTAT SHALL BE LOCATED. REFER TO NEW WORK PLAN FOR LOCATION.
MD5	DEMOLISH THE RETURN DUCT.

SPECIFIC NOTES - HVAC NEW	
M2	RELOCATED EXISTING AIR DEVICE.
M3	6" DIA. EA TO TERMINATE AS WALL CAP WITH INTEGRAL BACKDRAFT DAMPER.
M4	LOW SIDEWALL RETURN CONNECT TO EXISTING DUCT PLENUM.



1 MECHANICAL DEMOLITION PLAN
3/16" = 1'-0"



2 MECHANICAL NEW WORK FLOOR PLAN
3/16" = 1'-0"



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By Laura DiPasquale at 10:48 am, Nov 05, 2025



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4101 Muncaster Mill Road
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Project ID: B39-001
Project Manager: Alexandra Dahlman

Liber: 29914 Tax Map: HS342
Folio: 0259 WSSC:

Revisions

No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title

**MECHANICAL
SCHEDULE**

100% Construction Documents (Permit Set)

Drawing No.

M-701

PERMIT SHT. # 19 of 23
OVERALL SHT. # 19 of 23

GENERAL SECTION - STAND ALONE SYSTEM NOTES -

1. OCCUPIED/UNOCCUPIED CONTROL, IF REQUIRED, SHALL BE DETERMINED BY THE INTEGRAL PROGRAMMABLE OCCUPIED/UNOCCUPIED MODE SCHEDULE PROVIDED WITH THE INDEPENDANT EQUIPMENT CONTROL DEVICE.

EXHAUST FAN CONTROLS (EF-1 THRU EF-3)

1. EXHAUST FAN SHALL BE INTERLOCKED WITH LIGHT.

EXHAUST SPLIT SYSTEM HEAT PUMP CONTROLS

1. UNIT SHALL OPERATE ON EXISTING CONTROL SEQUENCE AND OCCUPANCY SCHEDULE.

AIR DEVICE SCHEDULE - CEILING SUPPLY DIFFUSERS

MARK	SERVING	FLOW (CFM)	NECK SIZE	FACE SIZE	MANUFACTURER	SERIES
SD-1	SUPPLY	50	6"Ø	6"x6"	TITUS	TDC
SD-2	SUPPLY	50	6"Ø	6"x6"	TITUS	TDC
SD-3	SUPPLY	50	6"Ø	6"x6"	TITUS	TDC

NOTES:

1. MAXIMUM PRESSURE DROP SHALL BE 0.1 IN. W.C.

AIR DEVICE SCHEDULE - RETURN GRILLE

MARK	SERVING	FLOW (CFM)	LENGTH (IN.)	WIDTH (IN.)	MANUFACTURER	SERIES
RG-1	RETURN	1650	24	22	TITUS	350R

NOTES:

1. MAXIMUM PRESSURE DROP SHALL BE 0.05 IN. W.C.

AIR DEVICE SCHEDULE - TRANSFER AIR GRILLE

MARK	SERVING	NECK SIZE	LENGTH (IN.)	WIDTH (IN.)	MANUFACTURER	SERIES
TG-1	TRANSFER	8"x8"	8	8	TITUS	350
TG-2	TRANSFER	8"x8"	8	8	TITUS	350
TG-3	TRANSFER	8"x8"	8	8	TITUS	350
TG-4	TRANSFER	8"x8"	8	8	TITUS	350
TG-5	TRANSFER	8"x8"	8	8	TITUS	350
TG-6	TRANSFER	8"x8"	8	8	TITUS	350
TG-7	TRANSFER	8"x8"	8	8	TITUS	350
TG-8	TRANSFER	8"x8"	8	8	TITUS	350

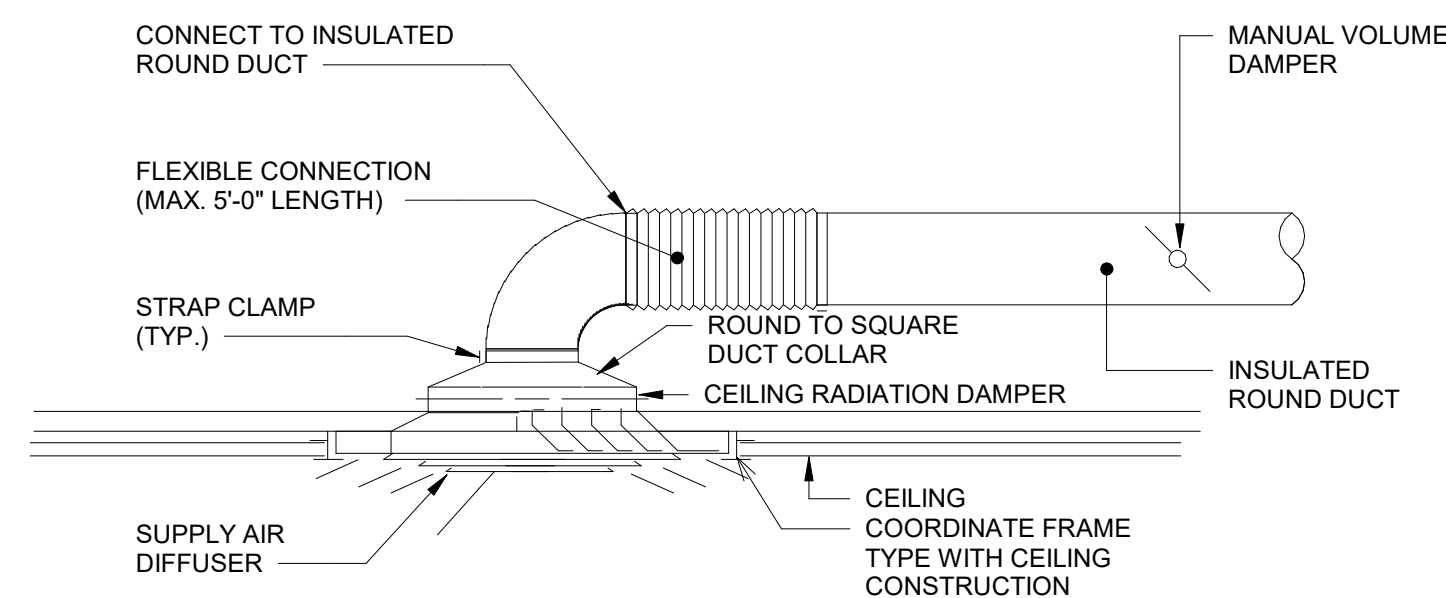
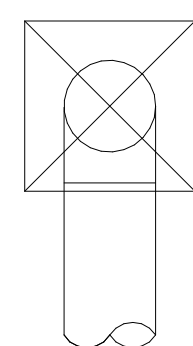
NOTES:

1. MAXIMUM PRESSURE DROP SHALL BE 0.05 IN. W.C.

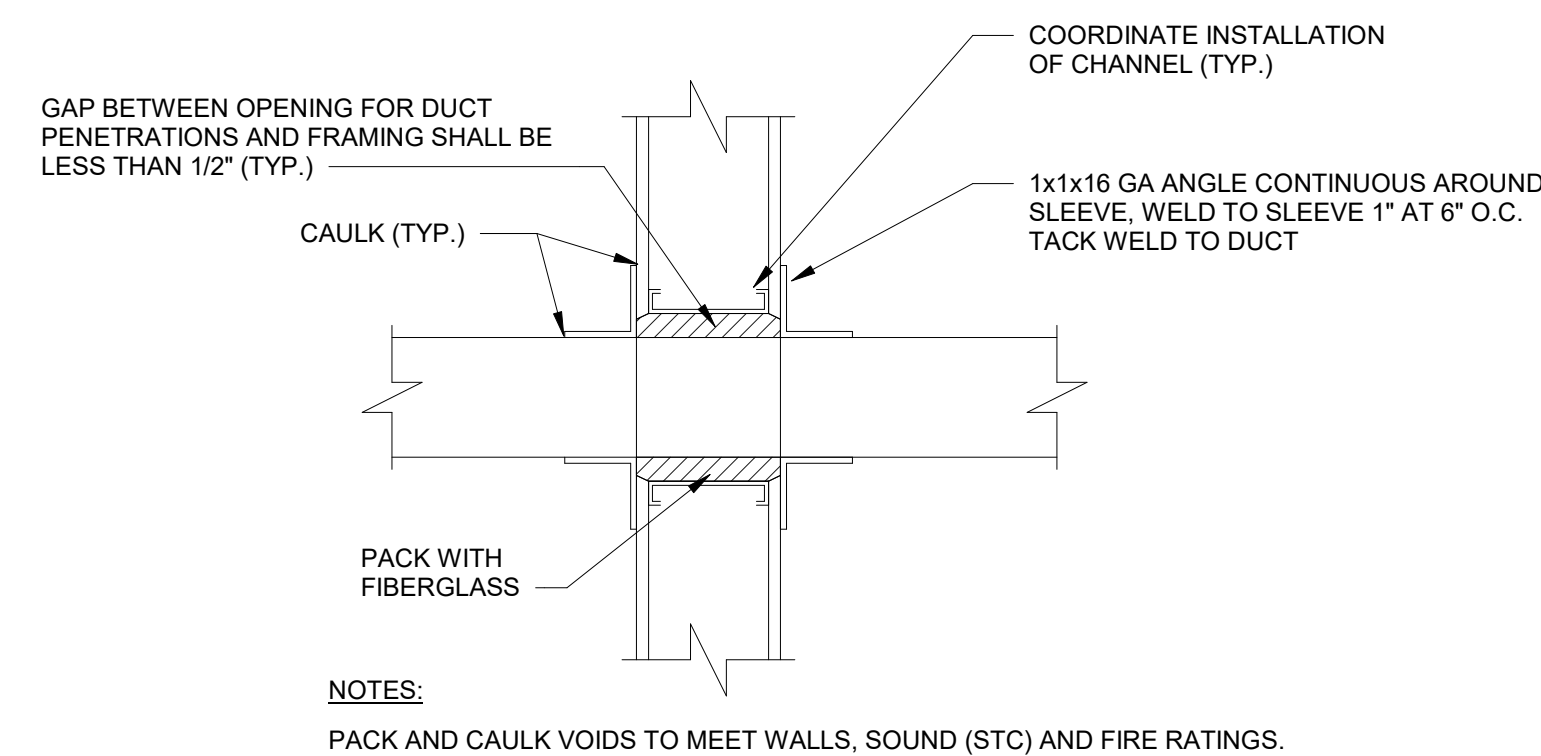
EXHAUST FAN SCHEDULE

DESIG.	SERVING	CFM	ESP (IN. W.C.)	MOTOR RPM	DRIVE TYPE	FAN TYPE	WATTAGE	ELECTRICAL		MANUFACTURER	SERIES
								VOLTAGE	PHASE		
EF-1	TOILET	85 CFM	0.50	900	DIRECT	CEILING	19	120 V	1	GREENHECK	SP-B
EF-2	TOILET	85 CFM	0.50	900	DIRECT	CEILING	19	120 V	1	GREENHECK	SP-B
EF-3	TOILET	85 CFM	0.50	900	DIRECT	CEILING	19	120 V	1	GREENHECK	SP-B

PLAN VIEW



1 TYPICAL COMMON AREA DIFFUSER CONNECTION
NO SCALE



2 TRANSFER DUCT DETAIL - WALL PENETRATION
NO SCALE

GENERAL NOTES

(APPLY TO WORK PROVIDED UNDER DIV. 20):

- PROVIDE LABOR, EQUIPMENT AND MATERIALS NECESSARY FOR THE INSTALLATION OF THE COMPLETE PLUMBING SYSTEMS AS SPECIFIED HEREIN AND INDICATED IN THE CONTRACT DOCUMENTS. OUTLINE DESCRIPTION AND DIAGRAMMATIC REPRESENTATION OF SYSTEM OPERATION AND EQUIPMENT DOES NOT LIMIT CONTRACTOR LIABILITY FOR FURNISHING AND INSTALLING COMPLETE AND OPERABLE SYSTEMS.
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- VERIFY THAT EXISTING EQUIPMENT THAT IS TO REMAIN IS FULLY FUNCTIONAL AND OPERATIONAL.
- INCLUDE IN THE BID PRICE THE PAYMENT OF NECESSARY PERMITS. FURNISH THE OWNER PRIOR TO THE FINAL PAYMENT A CERTIFICATE FROM THE INSPECTION DEPARTMENT HAVING JURISDICTION CERTIFYING THAT THE WORK MEETS THE REQUIREMENTS OF THE LOCAL INSPECTION AUTHORITIES AND/OR THE NATIONAL BOARD OF FIRE UNDERWRITERS.
- COORDINATE WITH THE OWNER FOR SCHEDULING OF WORK.
- WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.
- KEEP THE WORK SITE AND SURROUNDING AREA FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH GENERATED BY WORK FROM THIS CONTRACT. PROPERLY AND LEGALLY DISPOSE OF MATERIALS.
- JOB SITE SAFETY SHALL BE IN STRICT ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- VISIT THE SITE AND CAREFULLY EXAMINE EXISTING CONDITIONS THAT MAY AFFECT THE BID.
- EXISTING PLUMBING WORK WHICH WILL NOT BE RENDERED OBSOLETE AND WHICH MAY BE DISTURBED DUE TO ANY CHANGES REQUIRED UNDER THIS CONTRACT SHALL BE RESTORED TO ITS ORIGINAL OPERATING CONDITION. OTHER PLUMBING ITEMS OR PLUMBING FIXTURES RENDERED OBSOLETE SHALL BE ABANDONED WHERE CONCEALED AND REMOVED WHERE EXPOSED.
- WHERE EXISTING PLUMBING WORK INTERFERES WITH NEW WORK AND WHERE SUCH INSTALLATIONS ARE TO REMAIN IN USE, THE INSTALLATIONS SHALL BE DISCONNECTED AND RELOCATED AND/OR RECONNECTED TO COORDINATE WITH NEW WORK AS INDICATED IN THE CONTRACT DOCUMENTS AND AS SPECIFIED.
- DO NOT DISCONTINUE ANY PLUMBING SYSTEM SERVICE WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE USER AGENCY. THE PLUMBING SYSTEM OUTAGES SHALL BE KEPT TO A MINIMUM.
- PROVIDE SUBMITTALS (SHOP DRAWINGS) FOR REVIEW FOR NEW MATERIALS AND EQUIPMENT. PRIOR TO SUBMITTING, REVIEW SUBMITTALS FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS, CONFLICTS WITH OTHER TRADES, AND CONSTRUCTABILITY. IDENTIFY ANY DEVIATIONS IN SUBMITTALS FROM CONTRACT DOCUMENTS. ENGINEER'S REVIEW OF SUBMITTALS DOES NOT INCLUDE REVIEW OF DIMENSIONS, DETAILS, OR QUANTITIES. REVIEW DOES NOT WAIVE ANY REQUIREMENTS OF CONTRACT DOCUMENTS, INCLUDING REQUIREMENT TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM.
- WHEN MOUNTING PLUMBING WORK IN AREAS SUBJECT TO PEDESTRIAN TRAFFIC, MAINTAIN REQUIRED HEADROOM CLEARANCES.
- PLUMBING MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS TO MAINTAIN THEIR RESPECTIVE UL RATING AND SHALL CONFORM TO FACTORY MUTUAL STANDARDS AS APPLICABLE.
- PLUMBING WORK SHALL BE CONCEALED IN FINISHED AREAS SHOWN ON THE ARCHITECTURAL DRAWINGS UNLESS NOTED OTHERWISE.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT FIXTURE LOCATIONS AND THE ELECTRICAL DRAWINGS FOR EXACT ELECTRICAL EQUIPMENT LOCATIONS. LOCATIONS PLUMBING EQUIPMENT AND PIPING ARE SHOWN DIAGRAMMATICALLY. DETERMINE EXACT LOCATIONS IN THE FIELD.
- SEALING FITTINGS AND APPROVED SEALING COMPOUND SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE CODE. SEAL AROUND PENETRATIONS OF FIRE-RATED WALLS WITH AN APPROVED SEALANT.
- SANITARY AND DRAINAGE PIPING SHALL RUN AT 1% SLOPE MINIMUM, UNLESS NOTED OTHERWISE.
- LOCATIONS OF DRAINS AND CONNECTIONS TO FIXTURES AND EQUIPMENT SHALL BE COORDINATED WITH FLOOR PLANS, EQUIPMENT CUTS AND MECHANICAL/ELECTRICAL/STRUCTURAL PLANS. NO WORK SHALL BE INSTALLED UNTIL LOCATIONS HAVE BEEN VERIFIED.
- PLUMBING FIXTURES SHALL BE CAULKED TO THE ADJOINING FLOOR OR WALL SURFACE.
- PROVIDE CLEANOUTS IN SANITARY AND DRAIN LINES EVERY 50 FEET UNLESS INDICATED AT CLOSER INTERVALS ON THE DRAWINGS AND AT CHANGES OF DIRECTION.
- THE PLUMBING FIXTURE SCHEDULE AND SPECIFICATIONS SUPERCEDE THE SYMBOLS INDICATED ON THE FLOOR PLANS.
- PIPE DROPS IN EXTERIOR WALLS SHALL BE INBOARD OF INSULATION.
- EXTEND VENT PIPING FROM GAS PRESSURE REGULATORS TO DISCHARGE TO THE EXTERIOR.
- PROVIDE INSULATION AND SELF-REGULATING HOT WATER TEMPERATURE MAINTENANCE TAPE (HWAT) ON THE HOT WATER LINES TO COMPLY WITH THE INTERNATIONAL ENERGY CONSERVATION CODE. THE MAXIMUM ALLOWABLE PIPE LENGTH FROM THE NEAREST SOURCE OF HEATED WATER TO THE TERMINATION OF THE SUPPLY PIPE SHALL BE IN ACCORDANCE WITH THE FOLLOWING CHART UTILIZING THE LARGEST SIZE OF PIPING WITH THE PLUMBING SYSTEM, TO THE DETERMINE THE MAXIMUM ALLOWABLE LENGTH.

NOMINAL PIPE SIZES (inches)	VOLUME (liquid ounces per foot length)	MAXIMUM PIPING LENGTH (feet)	
		Public lavatory faucets	other fixtures and appliances
1/4	0.33	6	50
5/16	0.5	4	50
3/8	0.75	3	50
1/2	1.5	2	43
5/8	2	1	32
3/4	3	0.5	21
7/8	4	0.5	16
1	5	0.5	13
1 1/4	8	0.5	8
1 1/2	11	0.5	6
2 or larger	18	0.5	4

GENERAL DEMOLITION NOTES
(APPLY TO WORK PROVIDED UNDER DIV. 20):

- DEMOLITION WORK IS GENERALLY INDICATED AS PART OF THESE NOTES AND THE NOTES INDICATED ON THE ARCHITECTURAL DEMOLITION PLANS.
- VERIFY THAT EXISTING PIPING, EQUIPMENT, ETC. THAT IS CALLED FOR REMOVAL IS NO LONGER IN SERVICE BEFORE BEGINNING DEMOLITION.
- THE DEMOLITION NOTES INDICATE THE MAIN COMPONENTS OF SYSTEMS AND EQUIPMENT THAT SHALL BE REMOVED UNDER THIS CONTRACT. IF SYSTEMS AND EQUIPMENT ARE FOUND DURING CONSTRUCTION THAT THE OWNER AUTHORIZES FOR REMOVAL BUT HAVE NOT BEEN SPECIFICALLY CALLED FOR DEMOLITION, REMOVE THE SYSTEMS AND EQUIPMENT.
- WHEN THE WORK SPECIFIED HEREUNDER CONNECTS TO ANY EXISTING EQUIPMENT, PIPING, ETC., PERFORM NECESSARY ALTERATIONS, CUTTING, FITTING, ETC. OF THE EXISTING WORK AS MAY BE NECESSARY OR REQUIRED TO MAKE SATISFACTORY CONNECTIONS BETWEEN THE NEW AND EXISTING WORK AND LEAVE THE COMPLETE WORK IN A FINISHED AND WORKMANLIKE CONDITION.
- WHEN THE WORK SPECIFIED UNDER OTHER DIVISIONS NECESSITATES RELOCATION OF EXISTING EQUIPMENT, PIPING, ETC., PERFORM WORK AND MAKE NECESSARY CHANGES TO EXISTING WORK AS MAY BE REQUIRED TO LEAVE THE COMPLETED WORK IN A FINISHED AND WORKMANLIKE CONDITION.
- REMOVE FROM THE PREMISES AND DISPOSE OF EXISTING PIPING, MATERIAL, FIXTURES, EQUIPMENT, ETC. NOT REQUIRED FOR RE-USE OR RE-INSTALLATION.
- DELIVER ON THE PREMISES WHERE DIRECTED EXISTING MATERIAL AND EQUIPMENT WHICH IS REMOVED AND IS DESIRED BY THE OWNER OR IS INDICATED TO REMAIN THE PROPERTY OF THE OWNER.
- OTHER MATERIALS AND EQUIPMENT WHICH ARE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES.
- PIPING ABANDONED IN CONCRETE SLABS, WALLS, OR OTHER INACCESSIBLE LOCATIONS SHALL BE LEFT EMPTY.

SPECIFIC NOTES - PLUMBING	
P2	RELOCATED WATER HEATER SHALL BE MOUNTED ON WALL.
PD1	REMOVE SANITARY PIPING ASSOCIATED WITH PLUMBING FIXTURE. CAP EXISTING SANITARY BRANCH AND ABANDON IN PLACE.
PD2	REMOVE DOMESTIC PIPING ASSOCIATED WITH PLUMBING FIXTURE. CAP EXISTING DOMESTIC BRANCH AND ABANDON IN PLACE.
PD3	REMOVE AND RETAIN EXISTING WATER HEATER, EXPANSION TANK AND ASSOCIATED PIPING. WATER HEATER SHALL BE RELOCATED.
PD4	VERIFY IN FIELD THE LOCATION AND INVERT OF EXISTING SANITARY PIPING.
PD5	REMOVE VENT PIPING ASSOCIATED WITH PLUMBING FIXTURE. CAP EXISTING VENT BRANCH AND ABANDON IN PLACE.

PLUMBING LEGEND

SYMBOL	ABBREVIATION	DESCRIPTION	DETAIL DESIGNATION
---	SW	SANITARY PIPE	AFF ABOVE FINISHED FLOOR
---	SW	STORM WATER	BTU BRITISH THERMAL UNIT
---	D	DRAIN	CB CATCH BASIN
---	CO	CLEANOUT	CFH CUBIC FEET HOUR
---	VP	VENTPIPE	CFM CUBIC FEET MINUTE
---	CW	COLD WATER	DIFF DIFFUSER
---	HW	HOT WATER	DN DOWN
---	T	TEMPERED WATER	EX EXISTING
---	G	GAS	EXTR (FLOOR PLAN -M-1) FOR CONTINUATION SEE FLOOR PLAN ON DRAWING M-1
---	F	FIRE LINE	GPM GALLONS PER MINUTE
---	TP	FLOW METER FITTING	KW KILOWATTS
---	TP	TRAP PRIMER	MBH THOUSAND BTU/HR
---	MAV	RELIEFVALVE	RX REMOVE EXISTING
---	AAV	MANUAL AIR VALVE	V-PH VOLT-PHASE
---	AAV	AUTOMATIC AIR VALVE	VTR VENT THROUGH ROOF
---		STRAINERW/VALVE	
---		UNION	
---	SA	SHOCK ABSORBER	
---		FLOW SWITCH	
---		THERMOMETER	
---		THERMOMETER WELL	
---		PRESSURE GAUGE W/ SYPHON & NEEDLE VALVE	
---	PG	PRESSURE GAUGE WNEEDLE VALVE	
---		PRESSURE GAUGE TAPPING	
---		PIPE GUIDE	
---		ANCHOR	
---		FLEXIBLE PIPE CONNECTION	
---	OS&Y	OS&Y VALVE W/ TAMPER SWITCH	
---		SHUTOFF VALVE	
---	BWV	CHECK VALVE	
---		BACK WATER VALVE	
---	PRV	PRESSURE REDUCING VALVE	
---		PIPE TURNING UP	
---		PIPE TURNING DOWN	
---		TEE TURNING UP	
---		TEE TURNING DOWN	
---	WH	WALL HYDRANT	
---		GAS PRESSURE REGULATOR	
---	AD	AREA DRAIN	
---	FD	FLOOR DRAIN WITH TRAP PRIMER	
---	RD	ROOF DRAIN	
---		MATCH LINE	
---		SECTION DESIGNATION	
---		CONNECT TO EXISTING	
---		DEMO TO THIS POINT	

DRAWING LIST - PLUMBING	
SHEET NUMBER	SHEET NAME
P-001	SYMBOLS, NOTES AND ABBREVIATIONS
P-101	PLUMBING DEMOLITION PLANS
P-102	PLUMBING NEW WORK FLOOR PLANS
P-701	PLUMBING SCHEDULE

REVIEWED
By Laura DiPasquale at 10:48 am, Nov 05, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Karen Buellet



The Maryland-National Capital Park and Planning Commission

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Park Development Division
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License No. 63630
Expiration Date 09/22/26

Project Name and Location

Norbeck-Muncaster Mill Neighborhood Park Activity Building Renovation

4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman

Liber: 29914 Folio: 0259 Tax Map: HS342 WSSC.

Revisions		
No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title

SYMBOLS, NOTES AND ABBREVIATIONS

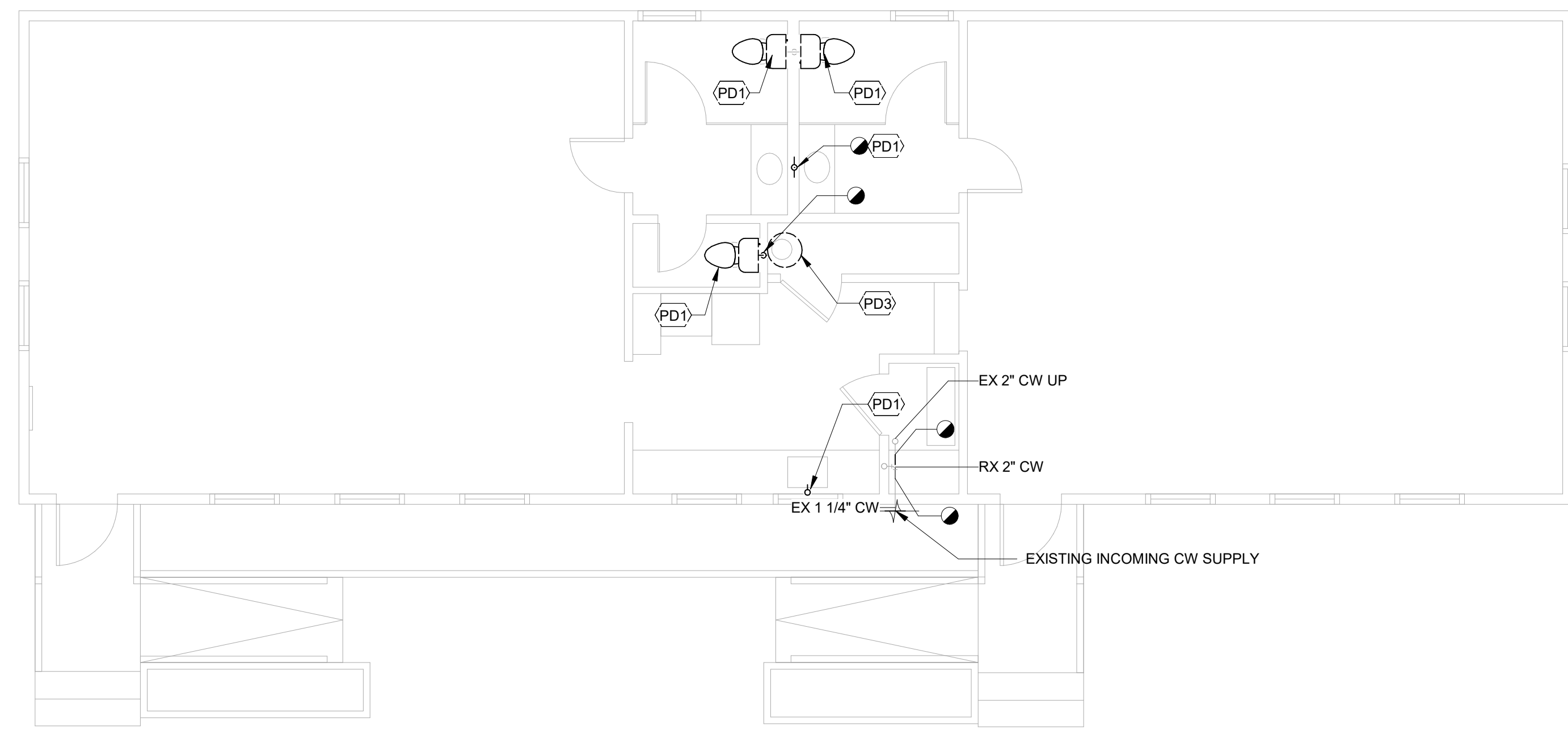
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Drawing No.

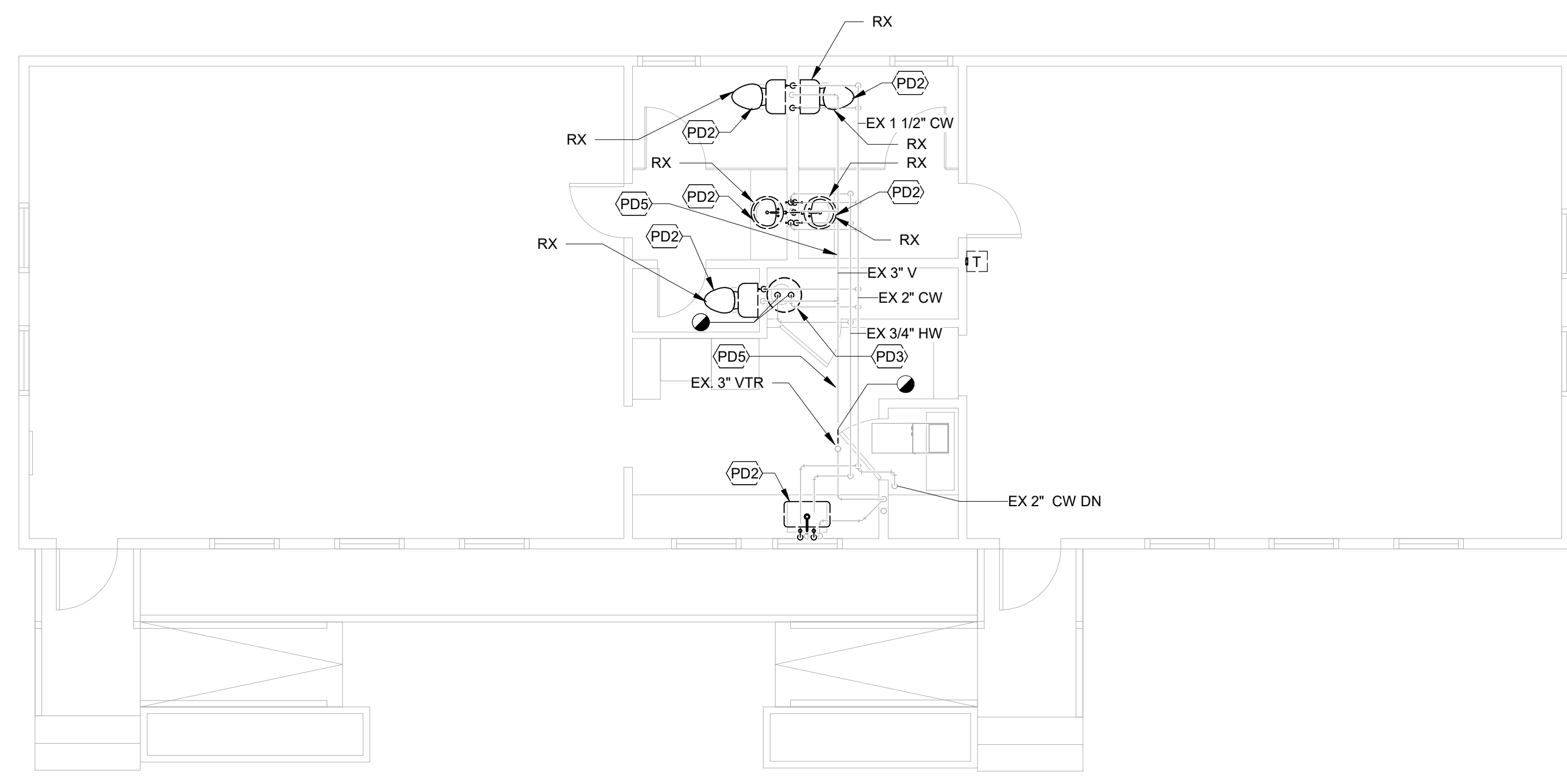
P-001

PERMIT SHT. # 20 of 23
OVERALL SHT. # 20 of 23

SPECIFIC NOTES - PLUMBING DEMO	
PD1	REMOVE SANITARY PIPING ASSOCIATED WITH PLUMBING FIXTURE. CAP EXISTING SANITARY BRANCH AND ABANDON IN PLACE.
PD2	REMOVE DOMESTIC PIPING ASSOCIATED WITH PLUMBING FIXTURE. CAP EXISTING DOMESTIC BRANCH AND ABANDON IN PLACE.
PD3	REMOVE AND RETAIN EXISTING WATER HEATER, EXPANSION TANK AND ASSOCIATED PIPING. WATER HEATER SHALL BE RELOCATED.
PD5	REMOVE VENT PIPING ASSOCIATED WITH PLUMBING FIXTURE. CAP EXISTING VENT BRANCH AND ABANDON IN PLACE.



1 PLUMBING FOUNDATION DEMOLITION PLAN
3/16" = 1'-0"



2 PLUMBING DEMOLITION FLOOR PLANS
3/16" = 1'-0"



The Maryland-National
Capital Park and Planning
Commission

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MontgomeryParks.org

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Karen Dunlap



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Project Name and Location
**Norbeck-Muncaster Mill
Neighborhood Park
Park Activity
Building
Renovation**
4101 Muncaster Mill Road
Norbeck, MD 20853

Project ID: B39-001
Project Manager: Alexandra Dahlman

Liber: 29914 Tax Map: HS342
Folio: 0259 WSSC:

Revisions		
No.	Date	Description

Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title
**PLUMBING
DEMOLITION PLANS**

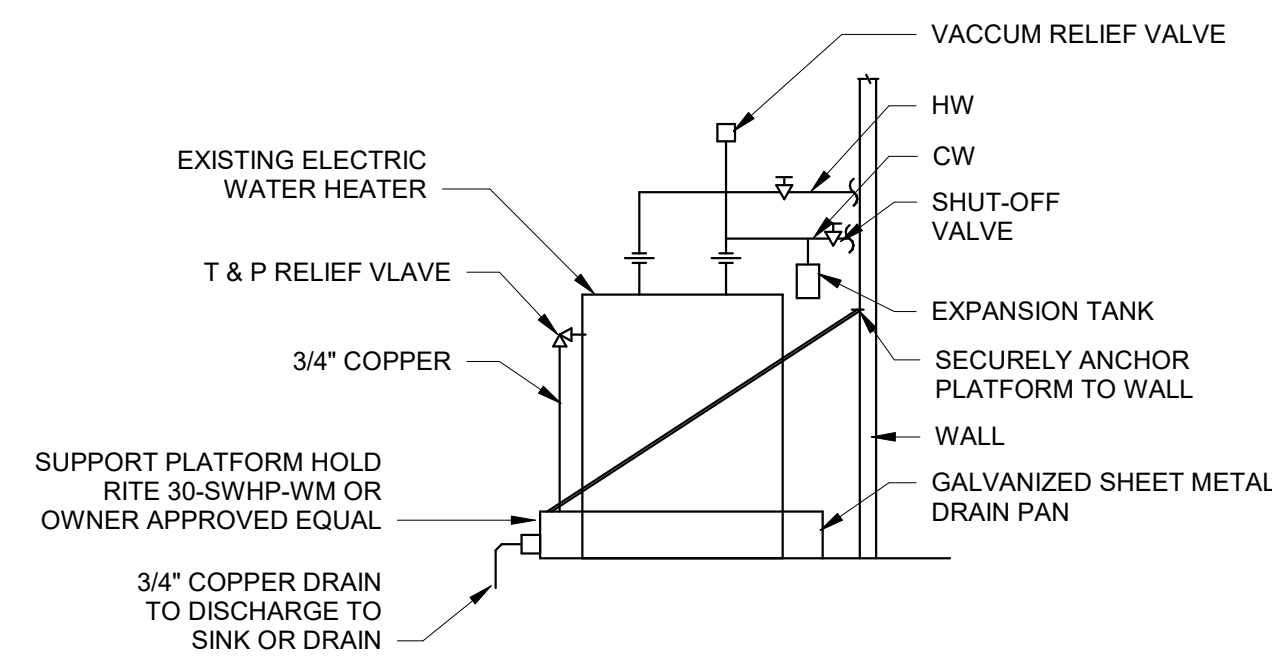
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Drawing No.
P-101

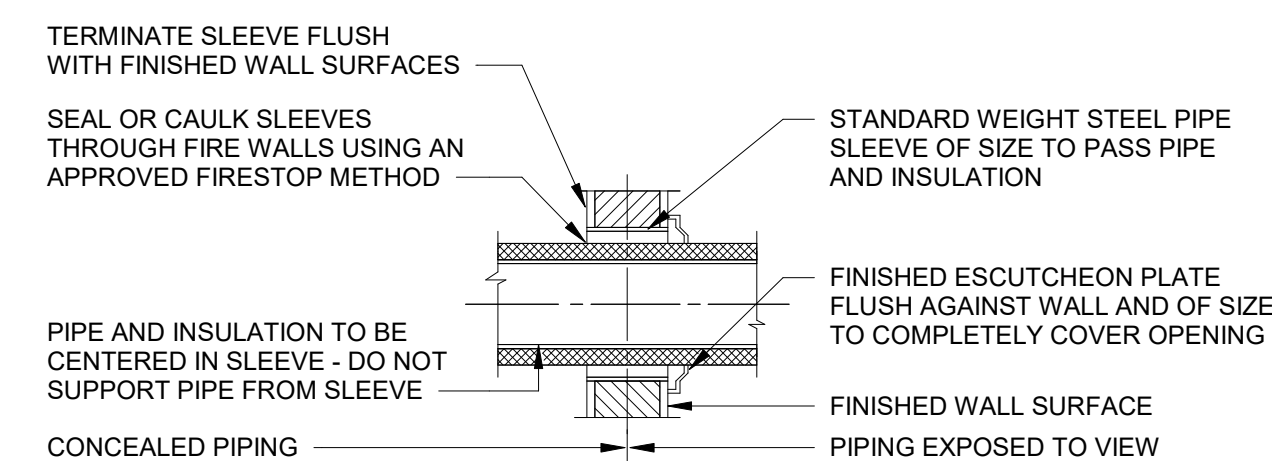
PERMIT SHT. # 21 of 23
OVERALL SHT. # 21 of 23

ELECTRICAL WATER HEATER SCHEDULE									
DESIG	SERVING	EFFICIENCY (UEF)	STORAGE CAP. (GAL)	LOAD WATTAGE	TOP OR SIDE WATER CONNECTION	ELECTRICAL		MANUFACTURER	SERIES
						VOLTAGE	PHASE		
EX. WH	WHOLE FLOOR PLANS	0.92	6.0	2 kW	TOP	120	1	BRADFORD WHITE	RE16

PLUMBING FIXTURE CONNECTION SCHEDULE					
DESIG.	FIXTURE	CW SIZE (IN.)	HW SIZE (IN.)	SANITARY (IN.)	VENT (IN.)
P-1A	WATER CLOSET	1 1/2"		4"	2"
P-2A	LAVATORY	1/2"	1/2"	2"	2"
P-3	KITCHEN SINK	1/2"	1/2"	2"	2"
P-4	DRINKING FOUNTAIN	1/2"		2"	2"
P-5	MOP SINK	1/2"	1/2"	3"	2"



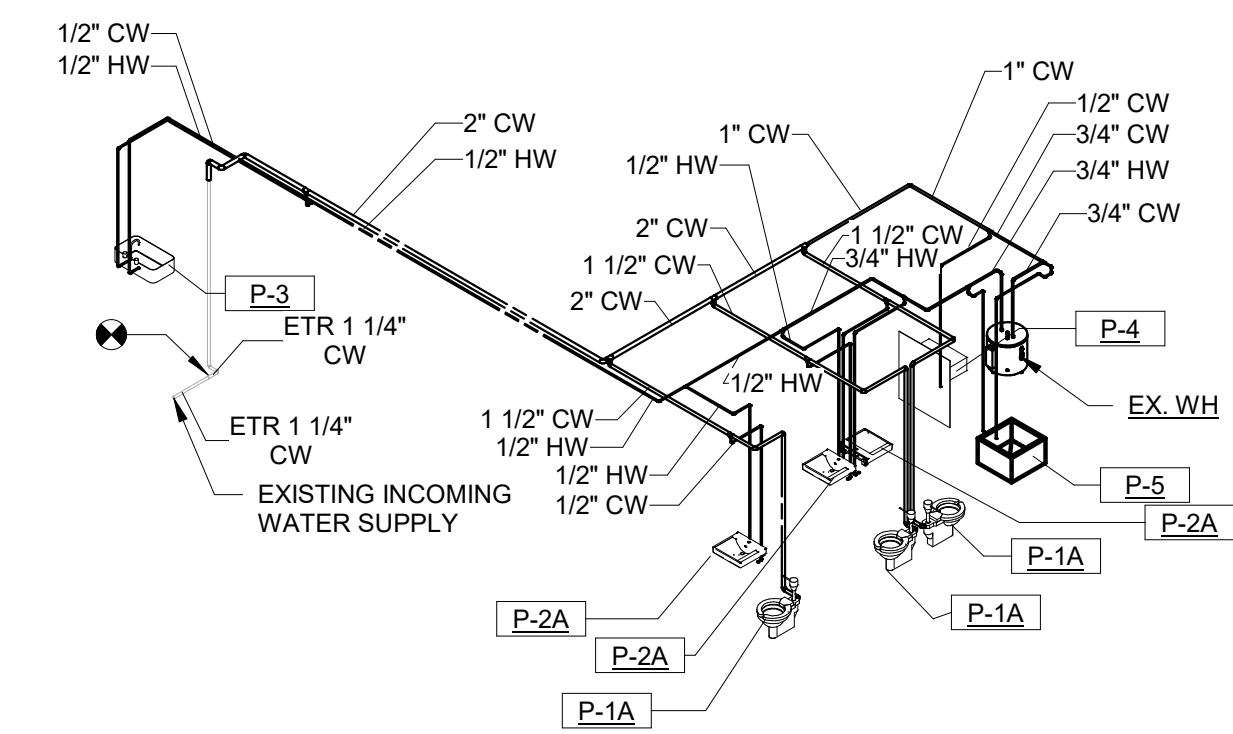
1 ELECTRIC WATER HEATER (SHELF)
NO SCALE



- NOTES:
- REFER TO ARCHITECTURAL DRAWING FOR TYPES OF WALLS & CONSTRUCTION.
 - PROVIDE SLEEVES @ RATED WALL PENETRATIONS.
 - PACK AND CAULK WALLS TO MEET THE WALLS SOUND (STC) RATING AND FIRE RATINGS.

2 TYPICAL SLEEVE THROUGH INTERIOR WALL
NO SCALE

SPECIFIC NOTES - PLUMBING NEW



REVIEWED

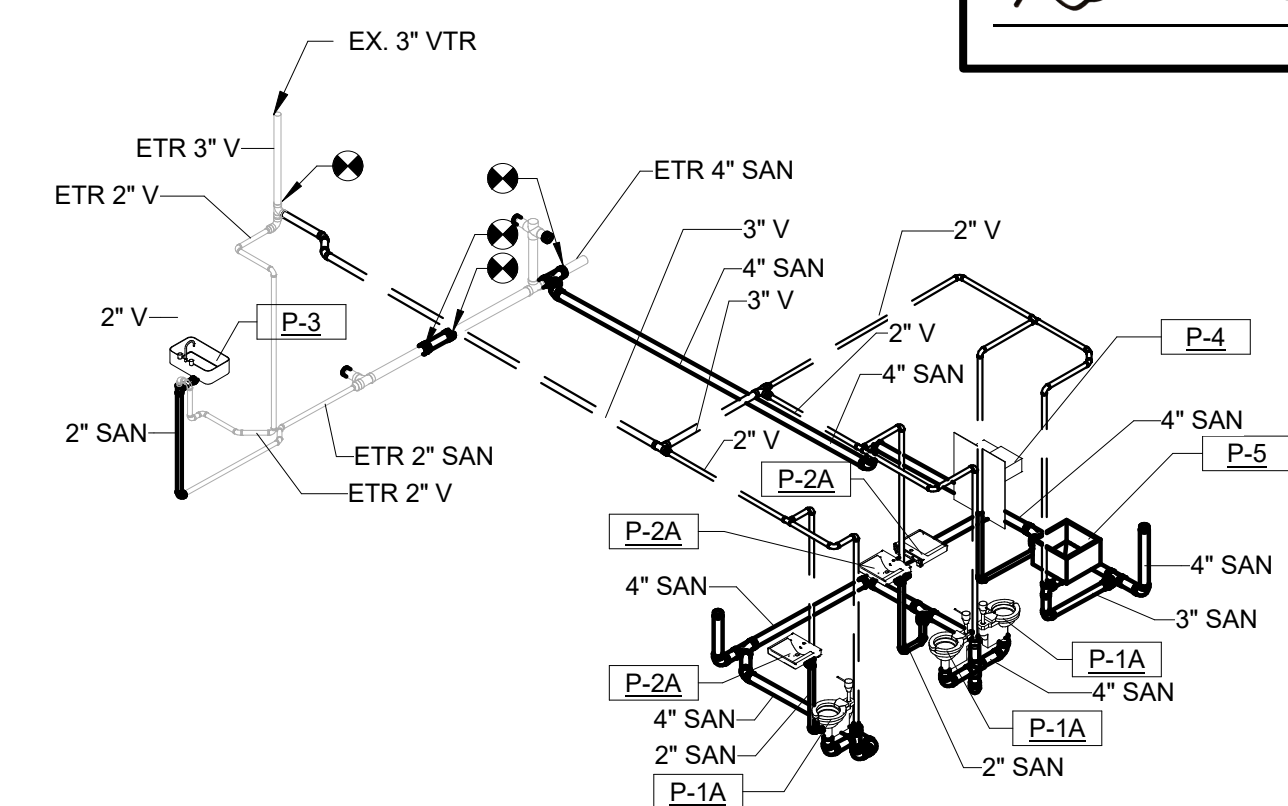
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Historic Preservation Commission

Karen Buelitt

3 OVERALL DOMESTIC RISER DIAGRAM



4 OVERALL SANITARY RISER DIAGRAM



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Park Activity
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4101 Muncaster Mill Road
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Project Manager: Alexandra Dahlman

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Folio: 0259 WSSC:

Revisions

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Designed: M-NCPPC, Montgomery Parks
Drawn: M-NCPPC, Montgomery Parks
Checked: M-NCPPC, Montgomery Parks
Issue Date: October 15, 2025

Drawing Title

PLUMBING SCHEDULE

100% Construction Documents (Permit Set)

Drawing No.

P-701

PERMIT SHT. # 23 of 23
OVERALL SHT. # 23 of 23

JELD-WEN®

FIBERGLASS
AND STEEL
EXTERIOR DOORS

REVIEWED

By Laura DiPasquale at 10:48 am, Nov 05, 2025

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Karen Benoit

**Norbeck Rosenwald School
Entrance Doors
Jeld-Wen or Equal
October 15, 2025**

1 CHOOSE YOUR MATERIAL

FIBERGLASS

The look of wood without the upkeep. Provides greater panel detail for an improved appearance and won't warp, dent, or rust.

DESIGN-PRO™



Mahogany

Oak

Fir

SMOOTH-PRO™



Smooth

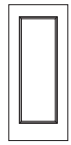
STEEL

Economical, low-maintenance choice that provides strength and style.



2 SELECT DOOR DESIGN

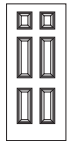
Personalize your home with a door that suits your home's architecture. Here are just a few options.



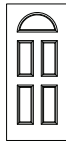
Full View



Full Oval



6-Panel



Sunburst



2-Panel
1/2 View



4-Panel



1-Panel
Square
Top 3/4
Oval



2-Panel
3/4 View



1-Panel
3/4 View



8-Panel
Center
Arch



2-Panel
Arch Top



1-Panel
1/2 View



Craftsman

3 SELECT GLASS

Decorative glass inserts can elevate the look of your entry door. Choose your level of privacy and optional caming for added detail.



Clear Glass Options

Clear glass inserts maximize natural light to create a clean, open, and inviting feel at the home's entryway.



Privacy Glass Options

Textured and obscure glass options allow some light to shine through while maintaining your preferred level of privacy.



Decorative Glass Options

Add visual interest to your entryway with decorative glass designs with various caming options.



REVIEWED

Direct glaze glass options to your direct glaze door for visual interest and clean design.

Simulated Divided Lites

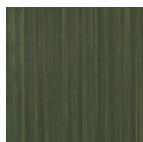
Add simulated divided lites to your direct glaze door for visual interest and clean design.

4 SELECT FINISH

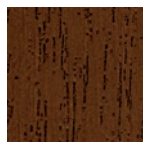
Choose from our variety of on-trend paint, stain, and Statement™ Collection finish colors, or choose a primed door to finish yourself.



Paint



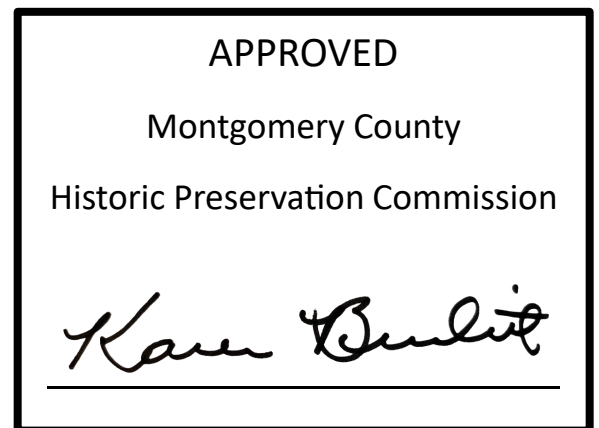
Statement™
Collection



Stain



Primed



DOOR CONSTRUCTION

FIBERGLASS DOORS



REVIEWED

By Laura DiPasquale at 10:49 am, Nov 05, 2025

- Woodgrain fiberglass facing
- Square edge design
- Composite capped LVL
- Composite top and bottom rails
- Polyurethane foam core
- 12" lock block
- 20-minute fire rating construction available

- Smooth fiberglass facing

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Historic Preservation Commission

Karen Benoit

STEEL DOORS



STEEL

1-3/4" DOOR

- LVL stiles and rails
- Steel bottom rail
- Galvanized steel facing
- 12" lock block
- Energy efficient core
- 20-minute fire rating construction available
- Optional steel edge for 90-minute fire rating

JELD-WEN MODEL NUMBERS DEFINED

HOW TO CONFIGURE A DOOR CODE



**DOOR MATERIAL
& DOOR HEIGHT**



SMOOTH-PRO™
6'8" HEIGHT

**DOOR
DESIGN**



FULL
LITE

**GLASS
DESIGN**

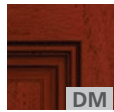


ATHERTON
GLASS

DOOR MATERIAL

Material	Species	Code
Design-Pro™	Mahogany	DM
Design-Pro™	Oak	DO
Design-Pro™	Fir	DF
Steel	N/A	CT
Steel	N/A	GL
Smooth-Pro™	Smooth	SP

Design-Pro™



Mahogany



Oak



Fir

Smooth-Pro™



Smooth

Door Height	Code
6'8" Height	—
7'0" Height	7
8'0" Height	8

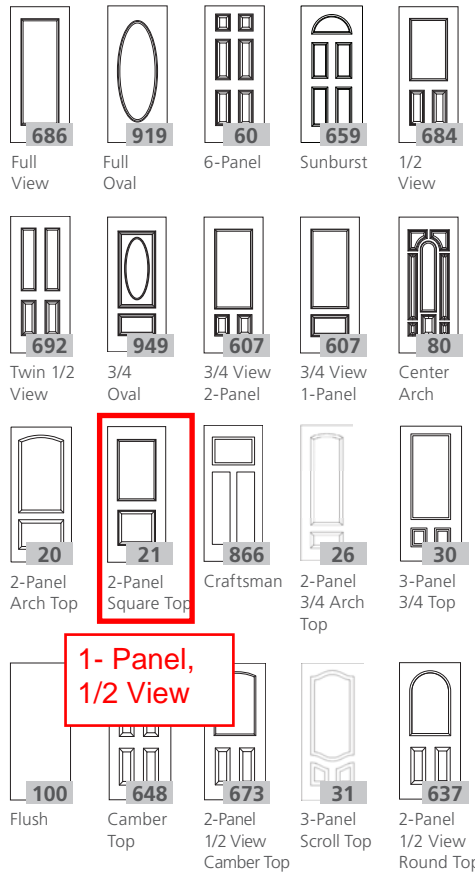
Steel



CT



GL



1- Panel,
1/2 View

GLASS DESIGN

Glass Name	Glass Code
Atherton	ATN
Ballantyne	BLY
Brevard	BVR
Caldwell	CWL
Dilworth	DWH
Eastfield	EFD
Harris	HAR
McAlpine	MCA
Montclair	MTC
Sardis	SDS
Selwyn	SWY
Tryon	TYN
Blanca	BLC
Rain	RN
Streamed	STM
Vapor	VPR
Micro Granite	MG
Clear	CL
Low-E	LE
Other Codes	Code
4-Lite SDL	SD4
6-Lite SDL	SD6
8-Lite SDL	SD8
10-Lite SDL	SD10

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By Laura DiPasquale at 10:49 am, Nov 05, 2025

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STEEL



BEADED STICKING

OVOLO STICKING

CRAFTSMAN RAISED STICKING

FLAT STICKING

STEEL
3-PANEL CRAFTSMAN FLAT IN CRANBERRY



STEEL
6-PANEL IN MODERN WHITE

REVIEWED

By Laura DiPasquale at 10:49 am, Nov 05, 2025

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Historic Preservation Commission
Karen Buelitt



4-Panel

Door	2'8"	2'10"	3'0"
CT-40	•	•	•
CT7-40	•	•	•

Available in ovolo sticking

STEEL



2-Panel Flat

Door	2'8"	2'10"	3'0"
CT-FP-2	•	•	•
CT7-FP-2	•	•	•

Available in flat sticking



3-Panel Craftsman Flat

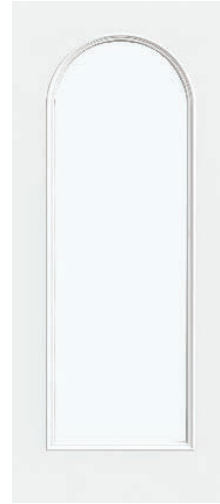
Door	2'8"	2'10"	3'0"
CT-FP-3	•	•	•
CT7-FP-3	•	•	•

Available in flat sticking



Full View

Door	2'0"	2'4"	2'6"	2'8"
CT-686CL	•	•	•	•
CT7-686CL	•	•	•	•
CT8-686CL	•	•	•	•
GL-686CL	•	•	•	•



Full View Round Top

Door	2'8"	2'10"	3'0"
CT-636CL	•	•	•
CT7-636CL	•	•	•



3-Lite Equal

Door	2'8"	2'10"	3'0"
CT-303CL	•	•	•
CT7-303CL	•	•	•

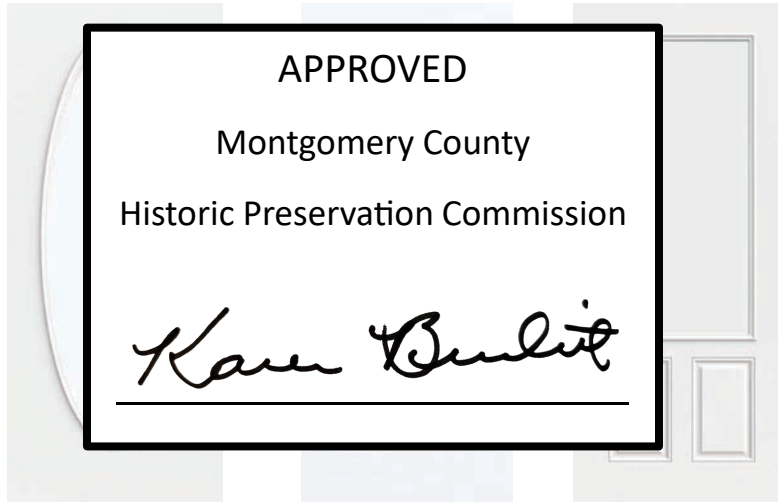
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By Laura DiPasquale at 10:49 am, Nov 05, 2025



4-Lite Equal

Door	2'8"	2'10"	3'0"
CT-404CL	•	•	•
CT7-404CL	•	•	•
CT8-404CL	•	•	•



Full Oval

Door	2'8"	2'10"	3'0"	3'6"
CT-919CL	•	•	•	•
CT7-919CL	•	•	•	•
CT8-919CL	•	•	•	•
GL-919CL	•	•	•	•

1-Panel 3/4 View

Door	2'8"	2'10"	3'0"
CT-28CL	•	•	•
CT7-28CL	•	•	•
CT8-28CL	•	•	•

2-Panel 3/4 View

Door	2'8"	2'10"	3'0"
CT-607CL	•	•	•
CT7-607CL	•	•	•



1-Panel 1/2 View

Door	2'8"	2'10"	3'0"
CT-684CL-1P	•	•	•
CT7-684CL-1P	•	•	•

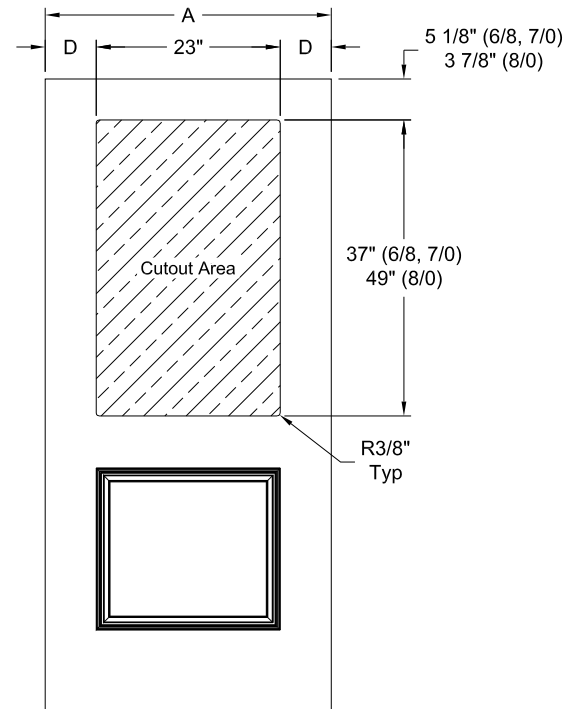
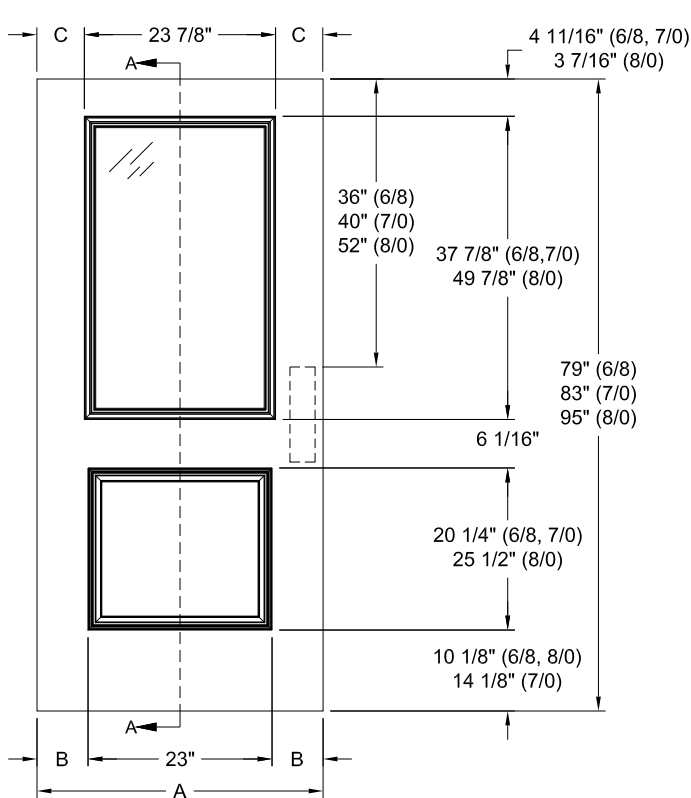
ADA-COMPLIANT DOORS STEEL ADA DOOR OFFERING

Design Name	Item #	Heights	34"	36"	42"	Bottom Rail Height
Twin 3/4 View	CT7-422	79"				
		83"	X	X		10.875
		95"				
1/2 View 1-Panel	CT-684-1P ADA	79"	X	X		10.125"
		83"	X	X		12.875"
		95"	X	X		10.125"
1/2 View 1-Panel Plank	CT-684-1PL ADA	79"	X	X		10.125"
		83"	X	X		12.875"
		95"				
1/2 View 2-Panel	CT7-684	79"				
		83"	X	X		12.875"
		95"	X	X		12.375"
1/2 View Camber Top 1-Panel	CT-673-1P ADA	79"	X	X		10.125"
		83"	X	X		12.875"
		95"				
1/2 View Camber Top 1-Panel Plank	CT-673-1PL ADA	79"	X	X		10.125"
		83"	X	X		12.875"
		95"				
1/2 View Camber Top 2-Panel	CT7-673-2P	79"				
		83"	X	X		12.875"
		95"				
1/2 View Round Top 2-Panel	CT7-637	79"				
		83"	X	X		12.8125"
		95"				
Twin 1/2 View	CT7-692	79"				
		83"	X	X		12.875"
		95"				
Craftsman 2-Panel Flat 1-Lite	CT7-FP-C2	79"				
		83"	X	X		12.875"
		95"				
Craftsman Lite 2-Panel Raised 1-Lite	CC7-866	79"				
		83"	X	X		12.875"
		95"				
3-Panel Equal 1-Lite	CT-301	79"				
		83"	X	X		12.875"
		95"	X	X		10.125"
3-Panel Equal 3-Lite	CT7-303	79"				
		83"	X	X		12.875"
		95"	X	X		10.125"

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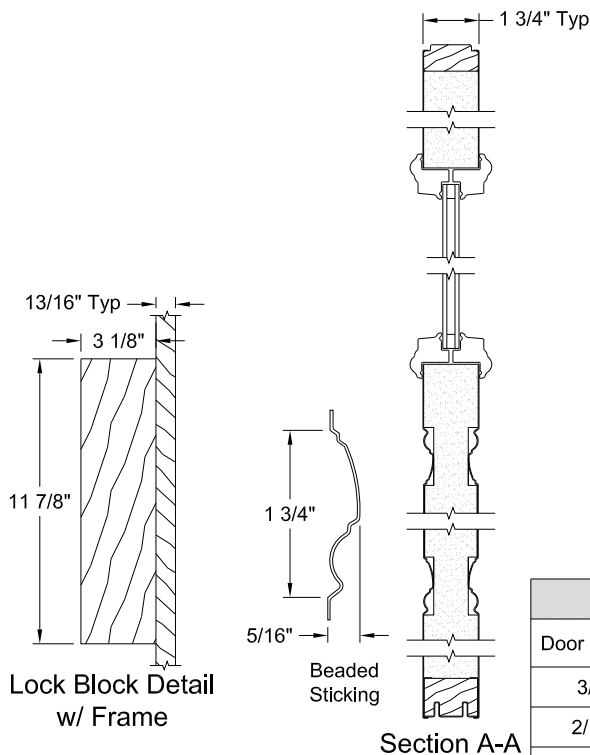
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1/2 VIEW 1 PANEL - 6/8, 7/0 & 8/0



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DIMENSION TABLE						
Door Width	A	B	C	D	Daylight Opening	Contours
3/0	35 3/4"	6 3/8"	5 15/16"	6 3/8"	5.13 ft ² (6/8, 7/0) 6.87 ft ² (8/0)	CT-684-1PA CT7-684-1PA CT8-684-1P
2/10	33 3/4"	5 3/8"	4 15/16"	5 3/8"		
2/8	31 3/4"	4 3/8"	3 15/16"	4 3/8"		

Norbeck Rosenwald School (Permit #: 1136980)
New Single Hung Windows
Marvin or Equal
October 15, 2025

DOUBLE HUNG WINDOWS
Ultimate Double Hung windows combine state-of-the-art design with classic style. Advanced engineering and high-quality construction make our double hung windows incredibly durable, versatile, and easy to use.



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By Laura DiPasquale at 10:49 am, Nov 05, 2025

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ULTIMATE DOUBLE HUNG G2 WINDOW IN EBONY

ULTIMATE DOUBLE HUNG G2

Single Hung Options same as Double Hung



REVIEWED

By Laura DiPasquale at 10:49 am, Nov 05, 2025

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Karen Benoit

Photo: Laury W. Glenn

ULTIMATE DOUBLE HUNG G2 WINDOW IN WHITE WITH OIL RUBBED BRONZE HARDWARE

ULTIMATE DOUBLE HUNG G2

The Ultimate Double Hung G2 window is an embodiment of our dedication to the craft of creating windows and doors. Influenced by the rich, historical significance of this window style and inspired by innovative design, each feature is thoughtfully added and every detail is carefully considered. This is all in service of shaping a window that deserves to be in the unique homes our customers desire.



INTERIOR



EXTERIOR



UNIQUE WASH MODE ALLOWS CLEANING OF BOTH SIDES OF GLASS FROM INDOORS

Extruded Aluminum Exterior / Wood Interior
Exterior Color to match existing windows
Primed interior, color TBD
One-over-one, no muntins

ULTIMATE DOUBLE HUNG G2 WINDOW IN DESIGNER BLACK

ULTIMATE DOUBLE HUNG G2

Engineered for performance and designed to inspire, each aspect of the Ultimate Double Hung G2 window was made with purpose. Our engineers consider every detail from the most innovative features to the most minute subtleties, all because the windows in your home help illuminate the most important parts of your life.

INTERIOR FEATURES AND PERFORMANCE

RICH WOOD INTERIOR
Offers beauty and warmth with six wood species and ten interior finish options.

NARROW CHECKRAIL
Provides a sleek aesthetic at 1 15/16 inches to maximize daylight opening while maintaining historical accuracy.

TILT WASH MODE
Allows easy access to exterior glass for cleaning and maintenance.

EXCLUSIVE AUTOLOCK
Activates when the sashes are closed, locking the window.

ENERGY EFFICIENCY
Multiple glass options for meeting ENERGY STAR® standards in energy efficiency for various regions and climates.

SASH BALANCE SYSTEMS
Enables smooth operation at the largest sizes.

REVIEWED

By Laura DiPasquale at 10:49 am, Nov 05, 2025



EXTERIOR FEATURES AND PERFORMANCE

DURABLE CLADDING
Extruded aluminum exterior cladding with an AAMA verified 2605 finish and backed by a 20-year warranty against chalking and fading.

EXPANSIVE SIZES
Larger than 5 feet wide by 10 feet high.

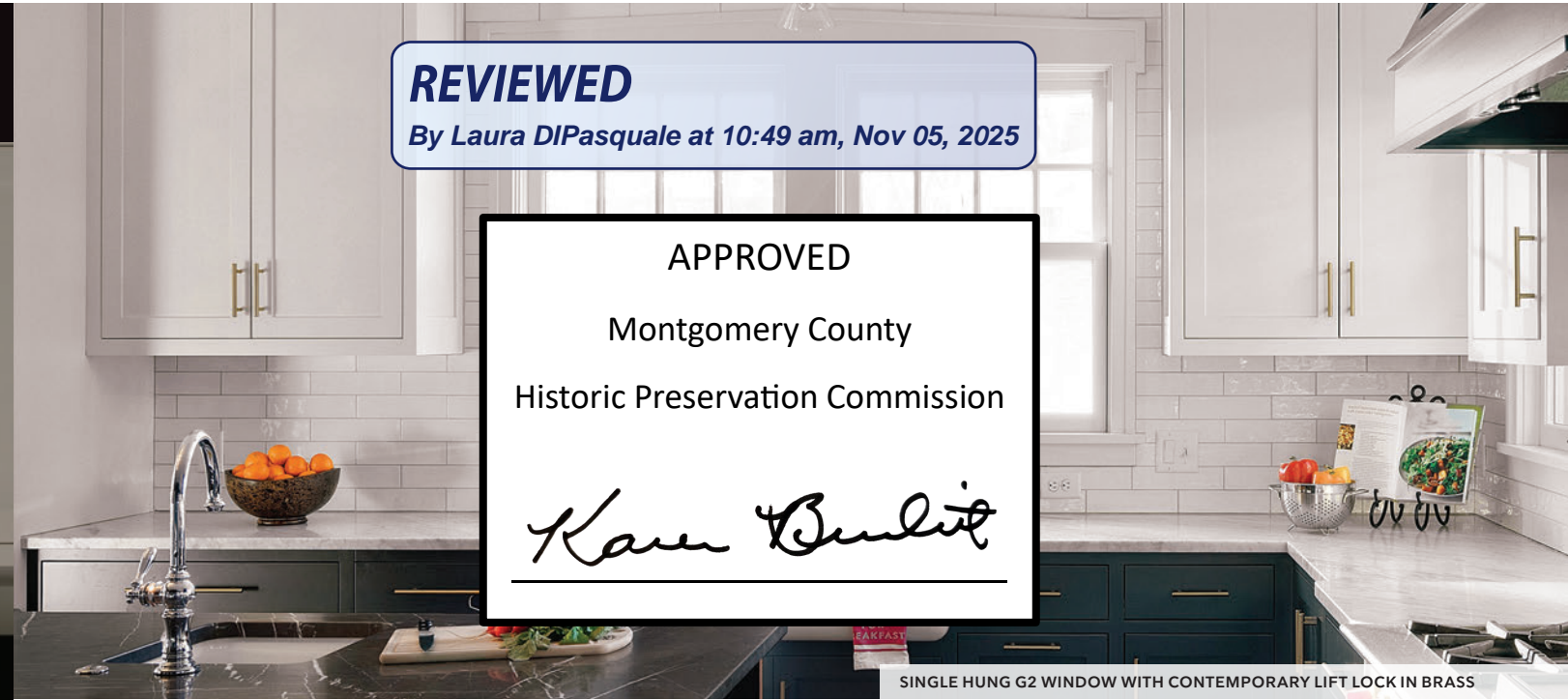
TRADITIONAL SILL BEVEL
The 14-degree bevel provides optimal water management while maintaining a classic look.

SUPERIOR WEATHER PERFORMANCE
LC-PG50 on most sizes. Optional commercial (CW) performance and IZ3 certified coastal performance on most sizes.

DESIGN VERSATILITY
An array of simulated divided lite patterns, interior and exterior color options, ten hardware finishes, and archtop models.

ALUMINUM INTER-LOCK
Eliminates drafts and improves the window's overall structural integrity.

ULTIMATE SINGLE HUNG G2



REVIEWED

By Laura DiPasquale at 10:49 am, Nov 05, 2025

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SINGLE HUNG G2 WINDOW WITH CONTEMPORARY LIFT LOCK IN BRASS

ULTIMATE SINGLE HUNG G2

A contemporary classic, the Ultimate Single Hung G2 window blends traditional beauty and state-of-the-art performance. With the top sash stationary and the bottom sash operable, a single hung style is often preferred in a cottage-style window with a small top sash that doesn't need to open. Reliable and energy efficient, the Ultimate Single Hung G2 window offers an auto-lock feature for convenient security, durable hardware for smooth operation, and Marvin's unique Wash Mode for easy cleaning. Customize your design with round top styles or optional Lift Lock, Marvin's exclusive bottom rail locking mechanism for easier operation in hard-to-reach areas.



INTERIOR WITH CONTEMPORARY LIFT LOCK



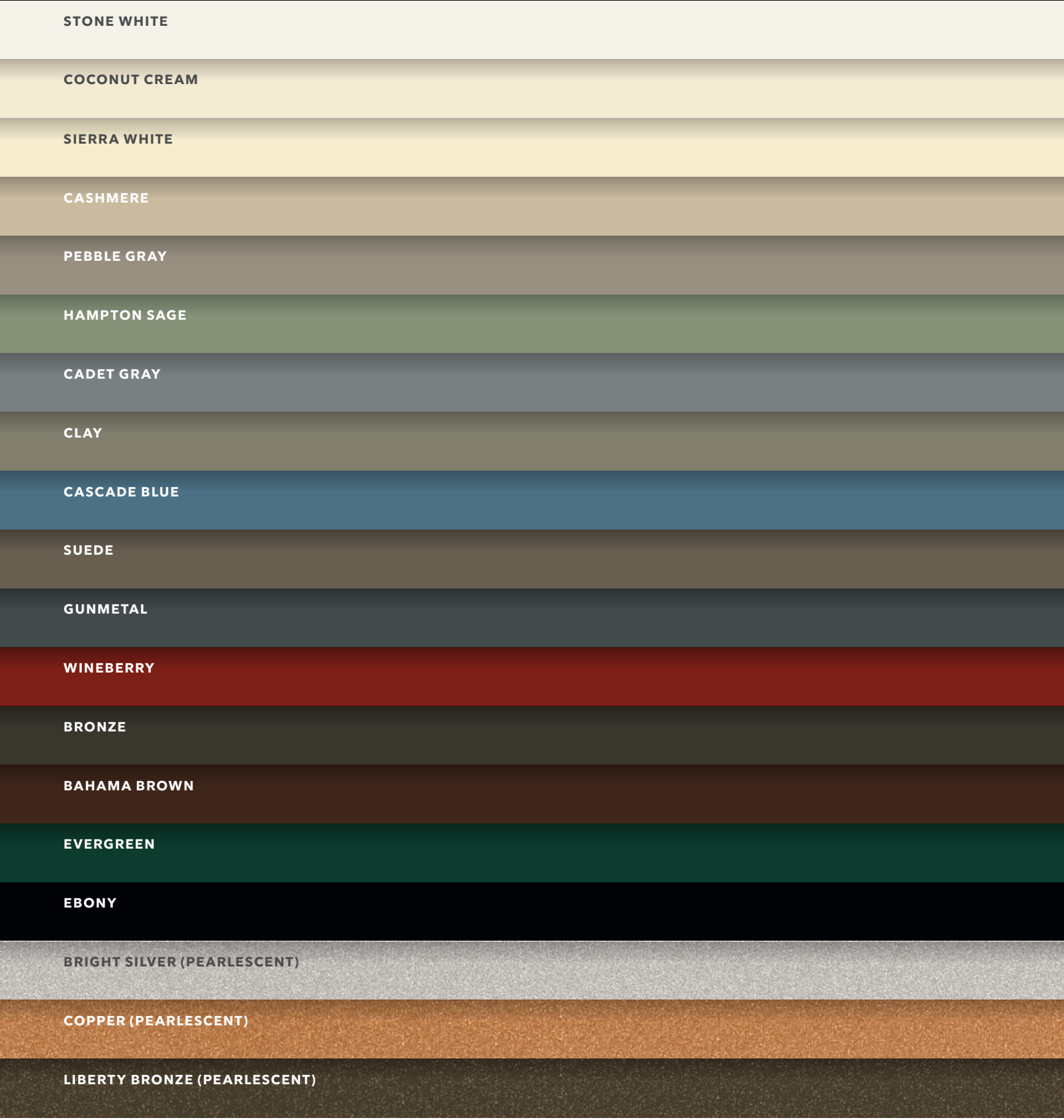
INTERIOR WITH TRADITIONAL LIFT LOCK



CONTEMPORARY AND TRADITIONAL LIFT LOCKS IN SATIN NICKEL

EXTERIOR FINISH OPTIONS

TBD: Exterior Color to match existing windows



CUSTOM COLOR: ANY COLOR YOU WANT

EXTRUDED ALUMINUM

Extruded aluminum is an extremely tough cladding that protects wood windows, mimics the profiles of wood, and provides superior durability. It is the most commonly ordered exterior material for our Ultimate products.

Select from our palette of 19 durable extruded aluminum colors, including a spectrum of rich hues and three pearlescent finishes. If you have more specialized needs, we can also work with you to create a custom color.

WOOD

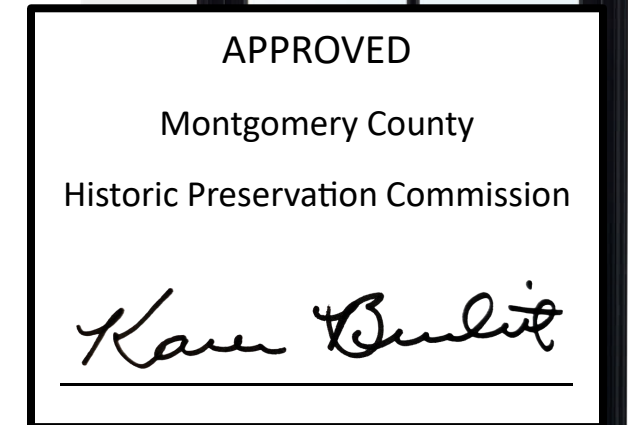
Wood is a premium material for windows and doors, offering classic aesthetic appeal, many options for customization, and design versatility.

We treat exposed millwork with a water repellent wood preservative to help it last longer. Choose from one of the four options below. Each is ready to be finished to match your project's exacting requirements.

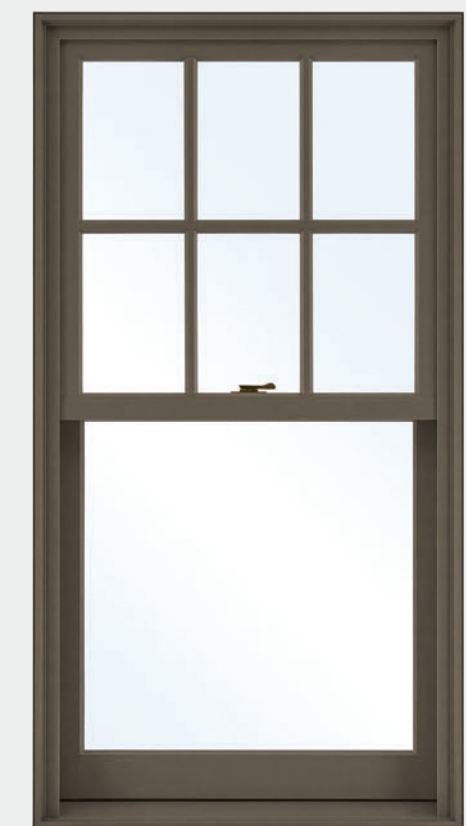


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By Laura DiPasquale at 10:49 am, Nov 05, 2025



Double Hung G2 window in Ebony



Double Hung G2 window in Suede

EXTERIOR CASINGS + SUBSILLS



BRICK MOULD CASING AND SPECIAL SUBSILL WITH CUSTOM MULL COVER IN HAMPTON SAGE

REVIEWED
By Laura DiPasquale at 10:49 am, Nov 05, 2025

EXTERIOR CASINGS + SUBSILLS

Adding Marvin extruded aluminum or wood casings and subsills to your windows and doors provides great architectural detail to any home. Ultra-durable extruded aluminum casings feature a beautiful factory-applied finish that resists chalking, fading, pitting, corrosion, and marbling. Casing profiles are consistent around the sides and top of window or door, except for the Potter casing profile, which has a taller head. Custom casings and subsills are also available.

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BRICK MOULD CASING WITH A246 SUBSILL



FLAT CASING WITH A246 SUBSILL



COLUMBUS CASING WITH A1450 SUBSILL



RIDGELAND CASING WITH A1453 SUBSILL



GRAYSON CASING WITH A1451 SUBSILL



THORTON CASING WITH A1450 SUBSILL



STRATTON CASING WITH A1453 SUBSILL



POTTER CASING WITH A217 SUBSILL



Grayson Casing in Bronze



Potter Casing with A1451 Subsill in Cascade Blue

GLASS + GLAZING



ULTIMATE AWNING AND PICTURE WINDOWS AND INSWING FRENCH DOOR IN PEBBLE GRAY

GLAZING PROFILES

Interior and exterior glazing profiles are available in Ogee and Square. Choose Ogee for more traditional projects, and Square for a clean, contemporary look. Interior and exterior glazing profile options vary by product type.



OGEE



SQUARE



SQUARE EXTERIOR GLAZING PROFILE



DUAL PANE GLAZING

Our standard glazing is dual pane: two panes of glass with Low E coatings and insulated with argon gas. Compared to a single glass pane, dual pane glass cuts energy costs significantly because of low emissivity coating and the gas-filled insulating space between the glass layers.



TRIPLE PANE GLAZING

Triple pane glazing consists of three panes of glass with Low E coatings applied to the surface. Two glass spaces are insulated with argon gas between the panes. Available in products where glazing thickness can be greater than 3/4 inch.

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By Laura DiPasquale at 10:49 am, Nov 05, 2025

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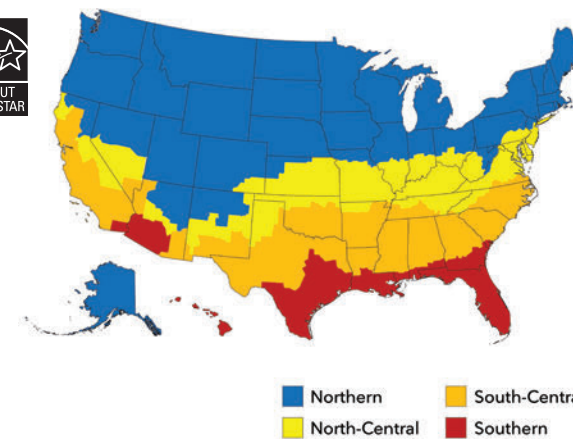
Karen Benoit

GLASS + GLAZING

The thermal and structural properties of the right glazing make Marvin products an optimal choice for thousands of window and door applications of glass and a range of glazing challenges of any climate.

GLASS COATING

Low E coatings are microscopic coatings on the glass surface that reduce heat and heat conducted through a window pane or reflected away from it, reducing a home's dependence on heat and air conditioning. The national ENERGY STAR® program recognizes products that meet strict energy-efficiency guidelines to suit climates in different areas of the country, and Marvin offers products to meet climate and code requirements in every region.



LOW E1

Low E1 coating is a good choice when you want maximum solar heat gain and radiant heating properties. This type of coating is generally used in Northern climates where heating is prioritized over cooling. You'll reap maximum benefits when windows with this type of coating are positioned to receive direct sun exposure.

LOW E2

The most common Low E coating since it works well across most geographic regions and climates. Low E2 with two metallic coatings balances less solar heat gain and improved radiant heating properties.

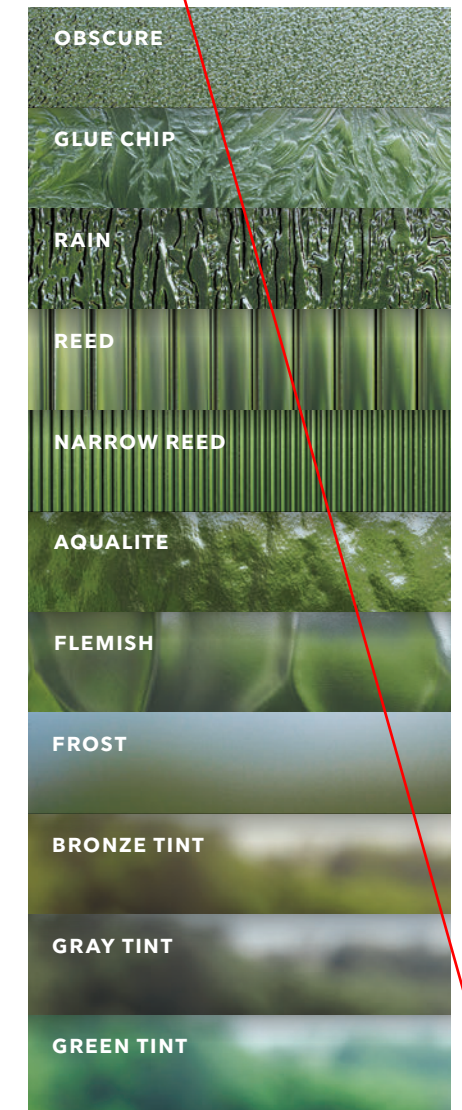
LOW E3

Used in applications where solar heat gain may be a concern, low E3 coating uses multiple metallic layers for radiant properties similar to Low E2. This type of coating is most commonly used in Southern, sunny climates where cooling is prioritized over heating.

SPECIALTY GLASS

Our specialty options include glass for unique project needs like sound abatement (STC/OITC), high altitudes, Sea Turtle Conservation Codes, and California fire zones. We also offer laminated glass on certain products that are designed specifically for hurricane zones.

A variety of decorative glass options, including those shown below and others, are available to meet the unique needs of each project. Laminated glass is also available in clear, bronze, gray, or green with tinted interlayers.



SCREENS



ULTIMATE DOUBLE HUNG INSERT G2 WINDOW IN STONE WHITE WITH FULL SCREENS

SCREENS

Choose from an aluminum surround in three finishes or a wood interior surround that complements warm wood interiors. Marvin screens come standard with Marvin Bright View™ - a fiberglass screen mesh that provides improved airflow and more natural light while keeping insects out. Bright View repels water and resists dirt and grime for a sharp, vivid view.

CASEMENT SCREEN OPTIONS



WOOD SCREEN SURROUND
The patented wood screen surround with wood interior and aluminum exterior features Marvin Bright View™ screen mesh. Aluminum screen mesh options also available.

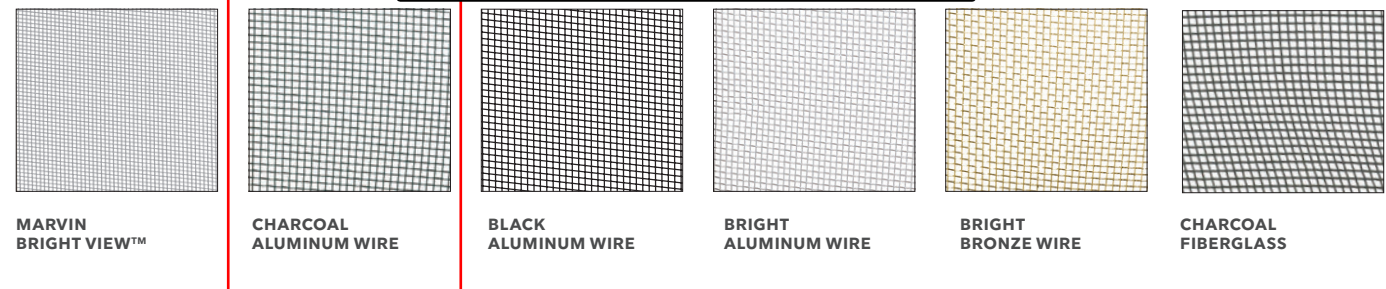


INSWING CASEMENT SCREEN
The beautifully crafted inswing screen adds a classic touch and allows access

REVIEWED push-out casement and awning windows.
By Laura DIPasquale at 10:49 am, Nov 05, 2025



SCREEN MESH OPT



DOUBLE HUNG SCREEN OPTIONS

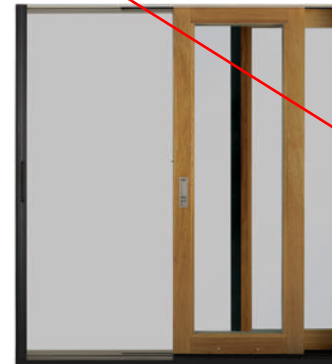


FULL OR HALF SCREEN

Exterior aluminum screen with an aluminum surround. The full screen covers both the top and bottom sash. The half screen only covers the bottom sash.



DOOR SCREEN OPTIONS



SCENIC DOOR SLIDING SCREEN

The Marvin Ultimate Sliding Screen operates with ease and conceals when not in use. The screen is unobtrusive even in large sizes measuring up to 15 feet wide and up to 10 feet high uni-directional or up to 29.5 feet wide bi-parting.



ULTIMATE SWINGING SCREEN DOOR

With profiles that complement the aesthetics of the door, swinging door screens feature robust, durable extruded aluminum surrounds and concealed hinges.



ULTIMATE SLIDING SCREEN DOOR

Aluminum top hung sliding screen with roller bar, adjustable rollers and unmatched sliding operation.

Marvin window and door screens come standard with Marvin Bright View™ - a fiberglass screen mesh that provides improved airflow and more natural light while keeping insects out. Bright View repels water and resists dirt and grime for a sharp, vivid view.

REVIEWED

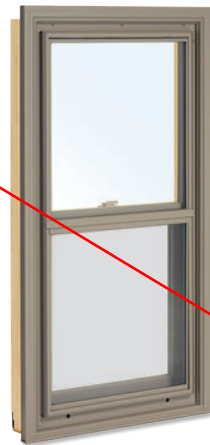
By Laura DiPasquale at 10:49 am, Nov 05, 2025

DOUBLE HUNG STORM OPTIONS



TWO-LITE WOOD STORM SASH OR SCREEN

A wood frame containing non-removable glass. The storm sash can be removed during the summer and replaced with a wood-framed screen. Available only for wood windows.



STORM AND SCREEN COMBINATIONS

A combination unit is composed of two glass panels and one screen panel that can be easily removed from the interior for cleaning. Available with a wood (bare or primed) or aluminum surround, panels can be configured multiple ways, glass above screen, screen above glass, or glass above glass.



ENERGY PANEL

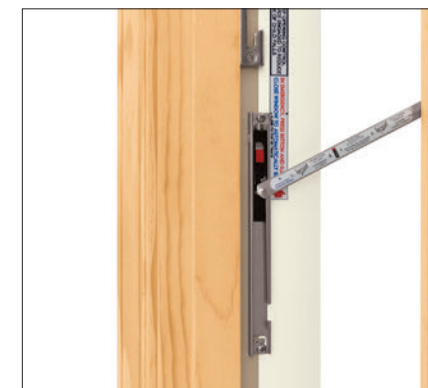
Often confused with storm windows, an energy panel is technically a glazing option. It is a removable, exterior glass panel finished on the edges by a surround. Energy panels cover the exposed glass surface of each sash and offer added energy efficiency for wood windows with single glazing.

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Karen Buelit

WINDOW OPENING CONTROL DEVICES

Marvin Window Opening Control Devices (WOCD) meet the ASTM F2090-21 standard, created to assist in the prevention of window falls. To meet the standard, our devices limit the window's net clear opening to less than 4 inches (when the sash is open) and have a release function allowing the window to open completely. In order to meet the safety standard, WOCD disengagement takes two independent actions, which helps prevent accidental release. Devices will then automatically reengage once the window is closed and again limit the window opening to less than 4 inches upon re-opening.



ULTIMATE CASEMENT



ULTIMATE DOUBLE HUNG G2



ULTIMATE GLIDER