



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

Date: 9/4/2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1128484– Partial demolition and construction of second-floor rear addition and window replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached applications for a Historic Area Work Permit (HAWP). This application was **approved** at the September 3, 2025 HPC meeting.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Ben Davidson and Katherine Mastman; Eric Saul, Architect
Address: 7204 Holly Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Existing craftsman-style historic house with a previous 1-story non-historic addition on the rear.
House is located in the Takoma Park Historic District.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Proposed is a 2nd floor addition over the footprint of the existing first floor addition to create a Master bedroom suite upstairs.

REVIEWED

By Laura DiPasquale at 11:22 am, Sep 04, 2025

APPROVED

Montgomery County

Historic Preservation Commission



Work Item 1: Addition

Description of Current Condition:

1-story rear addition (non-historic)

Proposed Work:

A new 2nd story built above the first floor addition

Work Item 2: replacement of rear windows

Description of Current Condition:

double window facing rear

Proposed Work:

single window facing rear

REVIEWED

By Laura DiPasquale at 11:22 am, Sep 04, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

Work Item 3: _____

Description of Current Condition:

Proposed Work:

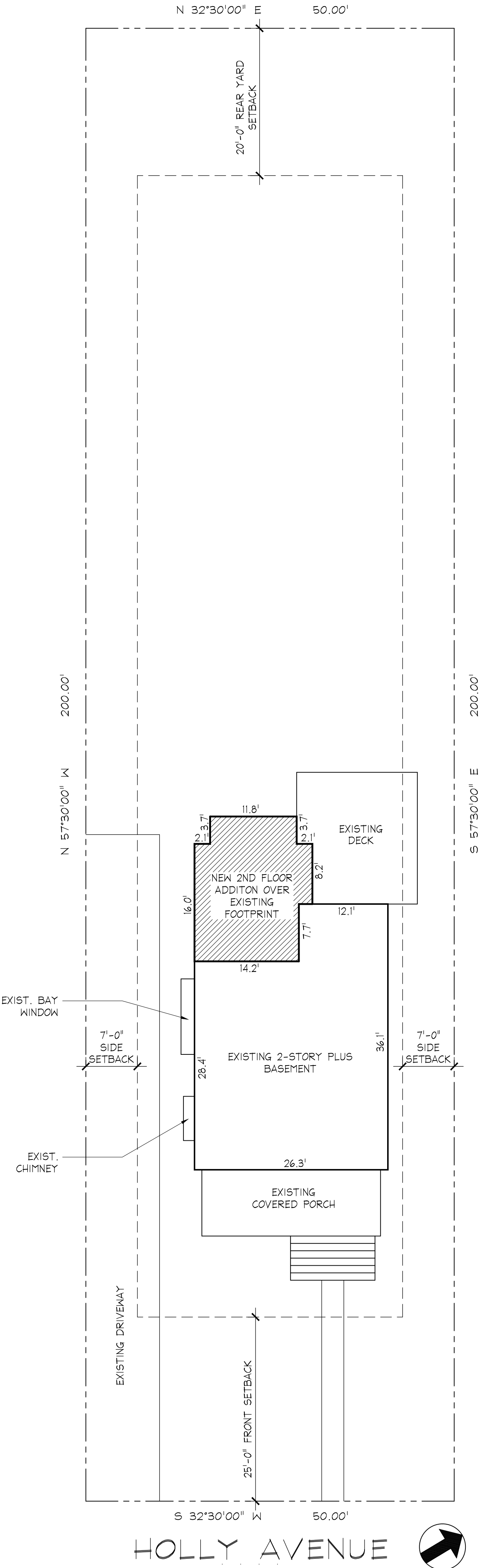
MUNICIPAL STAMPS

REVIEWED

By Laura DiPasquale at 11:22 am, Sep 04, 2025

APPROVED

Montgomery County
Historic Preservation Commission



1 SITE PLAN
CS 1/4" = 1'-0"

SAUL ARCHITECTS

8114 CARROLL AVENUE | TAKOMA PARK, MD 20912

P: 30127010395
info@saularchitects.com
www.saularchitects.com

REVISIONS

DAVIDSON RESIDENCE
ADDITION AND RENOVATION

7204 HOLLY AVENUE | TAKOMA PARK, MD 20912

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LICENSE NO. 14248, EXPIRATION
DATE JUNE 30, 2027

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PRINTING LOG	
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12.13.24	PRE-DESIGN/SD MEETING 1
12.20.24	SD MEETING 2

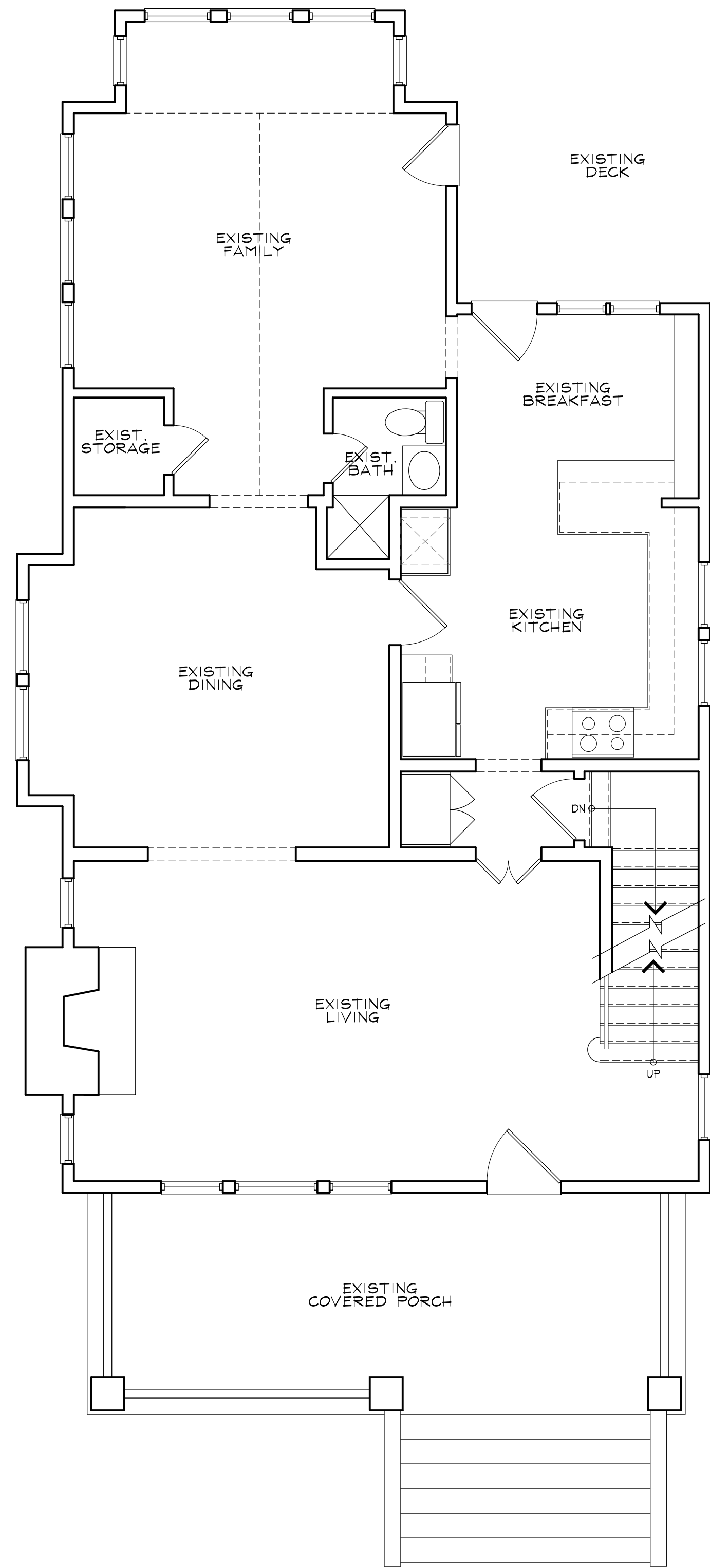
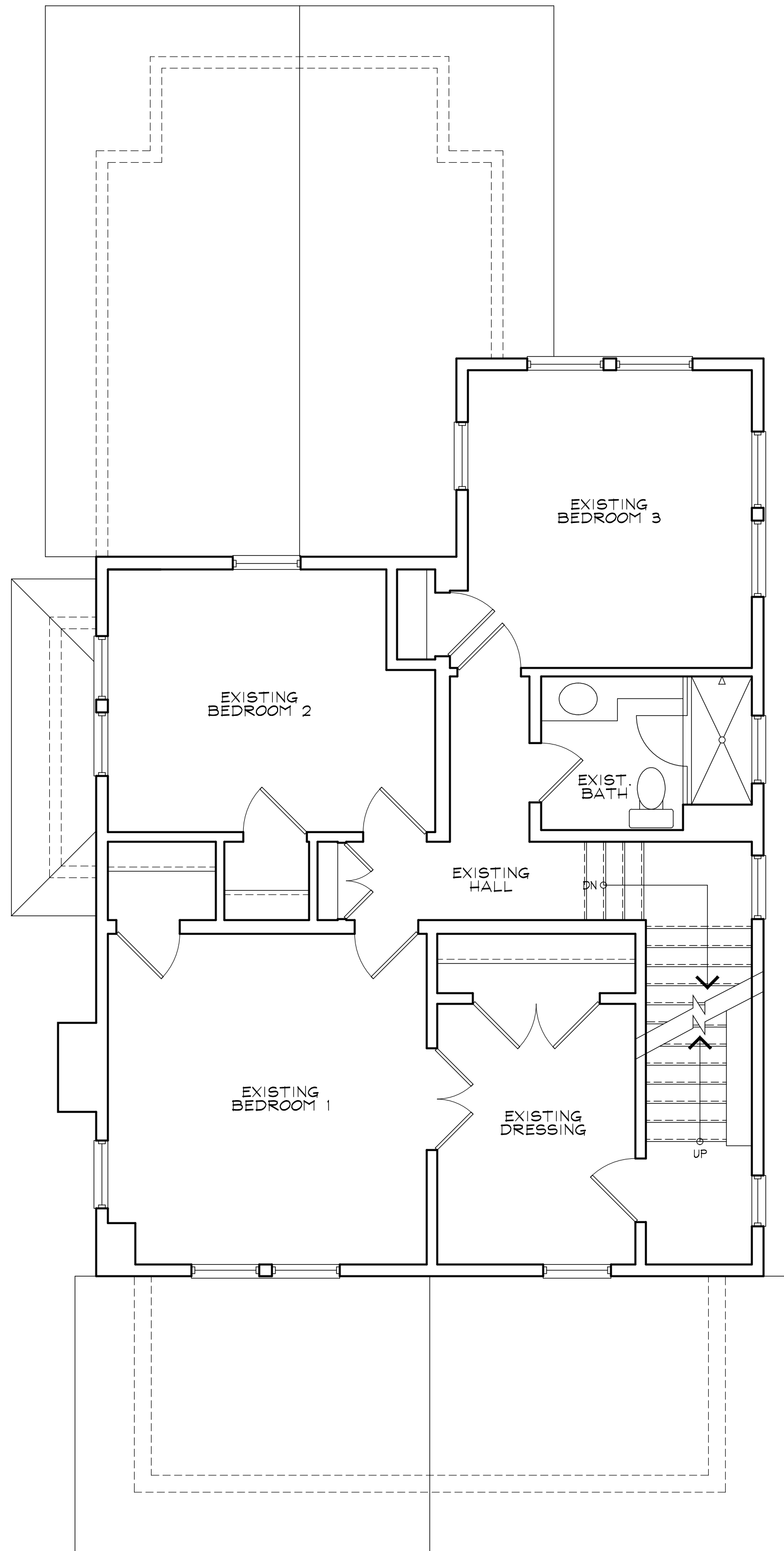
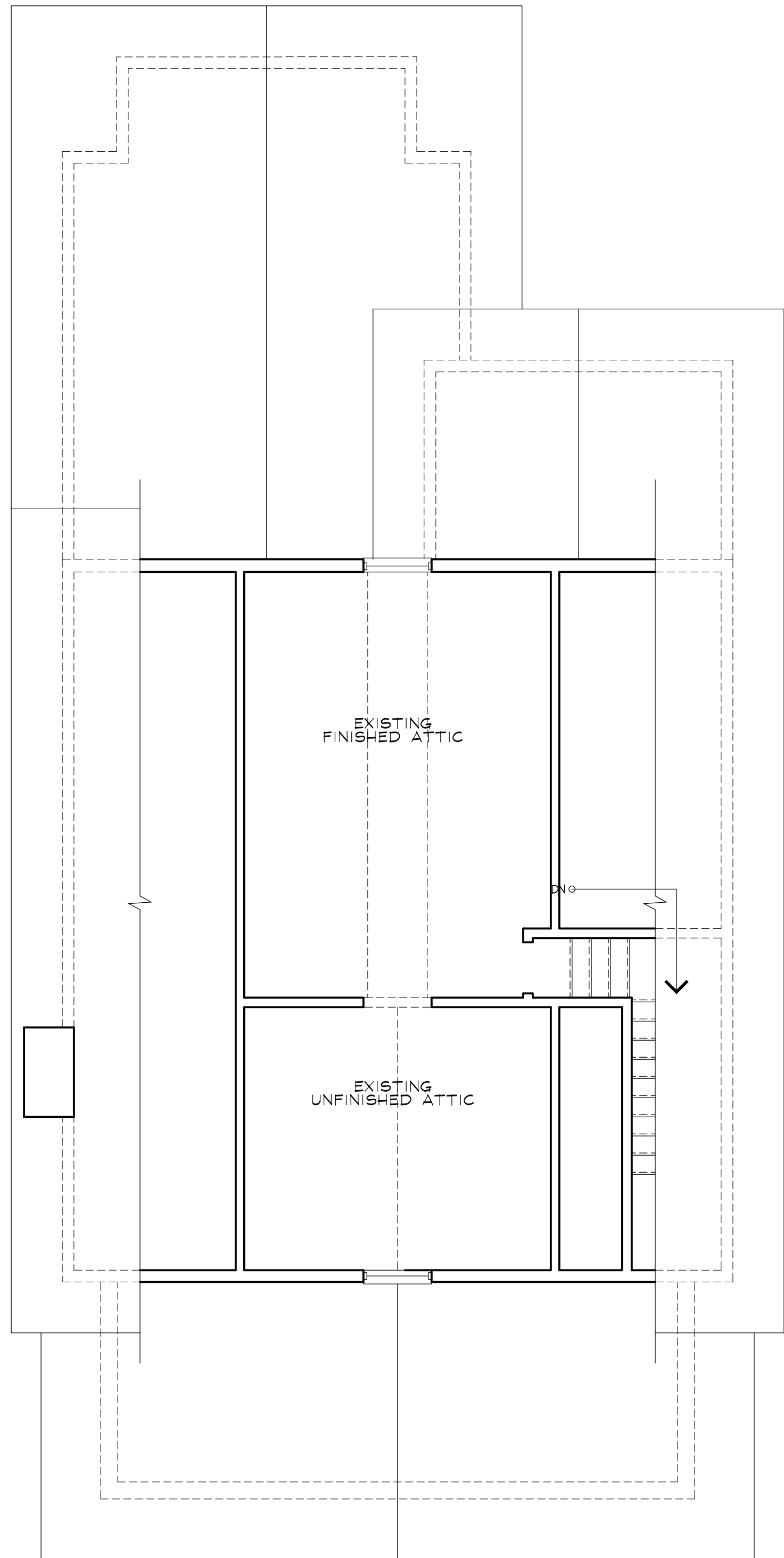
ZONING

CS

REVIEWED
By Laura DiPasquale at 11:23 am, Sep 04, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Ouellet

MUNICIPAL STAMPS



DEMOLITION KEYNOTES:

- EXISTING WINDOW TO BE REMOVED
- EXISTING BAY WINDOW TO BE REMOVED
- BEARING WALL TO BE REMOVED - SEE FRAMING PLANS FOR NEW BEAM
- EXISTING DOOR TO BE REMOVED
- DEMO EXISTING BRICK WALL FOR NEW WINDOW
- DEMO EXISTING EXTERIOR DECK AND STEPS
- COMPLETE DEMO OF EXISTING ADDITION: DEMO EXISTING KITCHEN, DINING ROOM, SECOND FLOOR BEDROOM. SECOND FLOOR JOISTS TO BE REMOVED AND REPLACED WITH NEW JOISTS PER NEW FRAMING PLANS. EXISTING EXTERIOR MASONRY WALLS TO REMAIN INTACT
- COMPLETE DEMO OF EXISTING BATHROOM: REMOVE ALL CABINETS, PLUMBING FIXTURES, HARDWARE, FINISHES AND FLOORING. CAP ALL PLUMBING AND EXPOSE ALL MECHANICAL AND ELECTRICAL.
- DEMO NON-LOAD BEARING WALL
- DEMO EXISTING FRONT PORCH INCLUDING FOUNDATION
- EXISTING CLOSET TO BE DEMOLISHED
- DEMO EXISTING ROOFING AND RAILING
- DEMO EXISTING AREAWAY

GENERAL DEMO NOTES

- DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
- EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
- SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
- EXISTING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
- ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
- ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.

FLOOR PLAN LEGEND

EXISTING WALL TO REMAIN

NEW INT. 2X4 STUD WALL, U.N.O.

NEW EXT. 2X4 STUD FURRED WALL
R-13 MIN. INSULATION

NEW EXTERIOR 2X6 STUD WALL;
R-20 MIN. INSULATION

NEW 8" CONC. MASONRY WALL

NEW BRICK MASONRY WALL OR PIER

EXISTING WALL TO BE REMOVED

EXISTING ITEM TO BE REMOVED

8'-0"

CEILING HEIGHT INDICATOR

SAUL ARCHITECTS

8914 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
www.saularchitects.com

REVISIONS

DAVIDSON RESIDENCE
ADDITION AND RENOVATION
7204 HOLLY AVENUE | TAKOMA PARK, MD 20912

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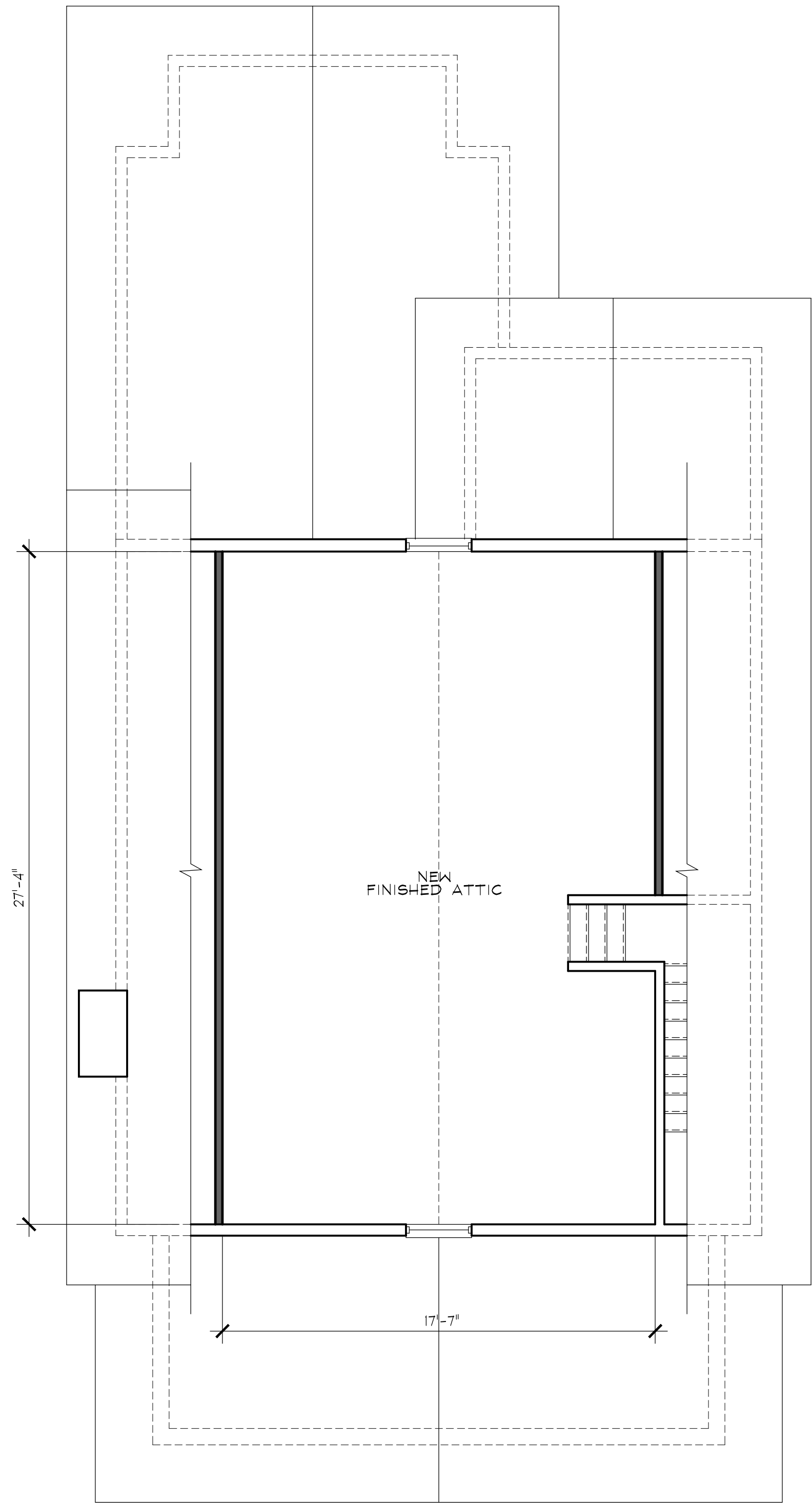
EXISTING/DEMO
FLOOR PLANS

A1

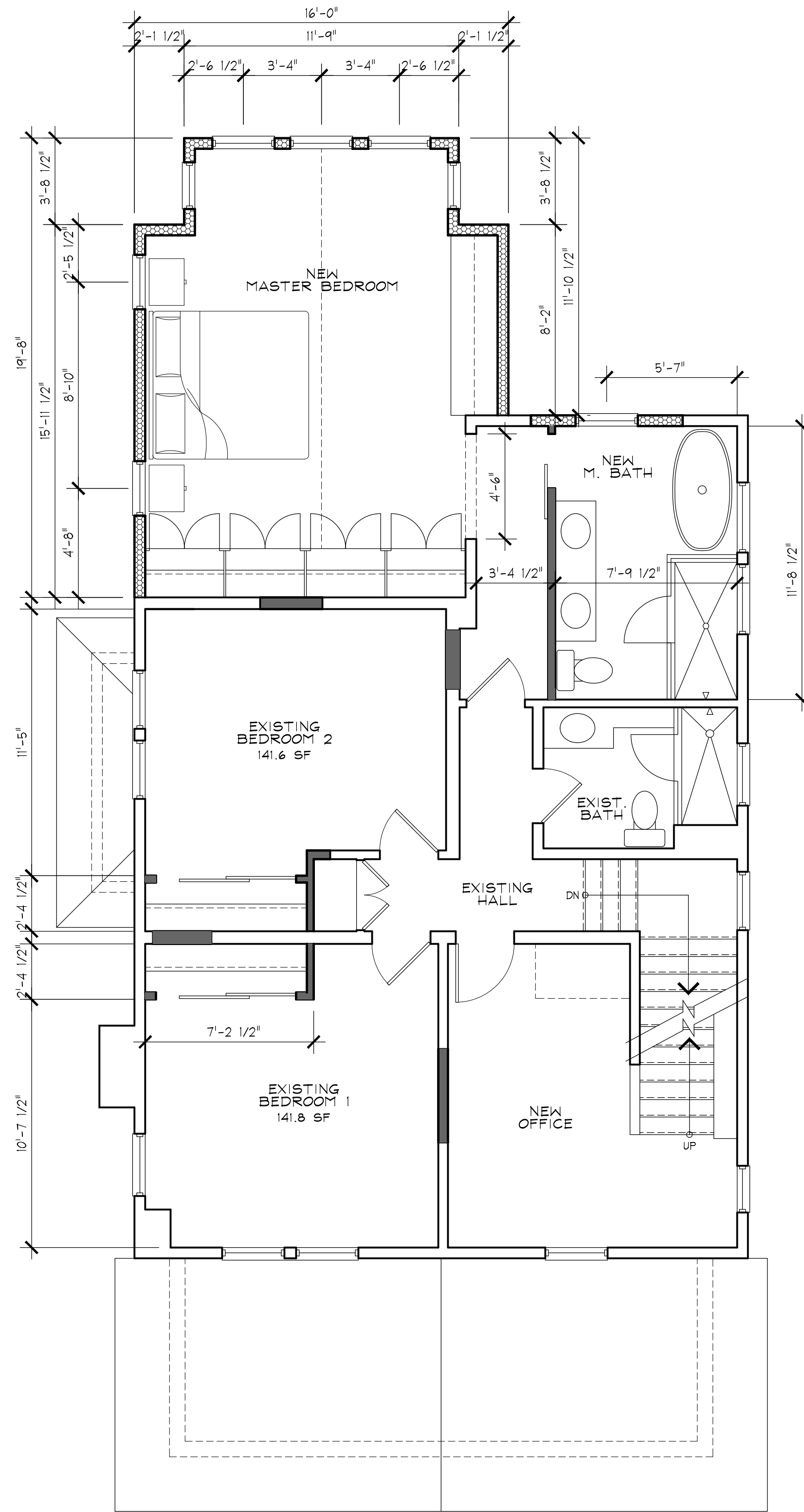
3 EXISTING/DEMO ATTIC FLOOR PLAN
AI 1/4" = 1'-0"

2 EXISTING/DEMO SECOND FLOOR PLAN
AI 1/4" = 1'-0"

1 EXISTING/DEMO FIRST FLOOR PLAN
AI 1/4" = 1'-0"



3 PROPOSED ATTIC PLAN
A1.1 1/4" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN
A1.1 1/4" = 1'-0"

MUNICIPAL STAMPS

REVIEWED
By Laura DiPasquale at 11:23 am, Sep 04, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bullock

FLOOR PLAN KEYNOTES:

- 1 NEW TOILET
- 2 NEW 84" VANITY SINK
- 3 NEW CUSTOM TILED SHOWER W/ GLASS ENCLOSURE AND TILED SOAP NICHE
- 4 NEW 36" VANITY
- 5 NEW TILE FLOORING - SELECTED BY OWNER
- 6 NEW CASED OPENING
- 7 NEW HARDWOOD FLOORING TO MATCH DIRECTION OF EXISTING - ADD BLOCKING UNDER FLOOR AS NEEDED
- 8 NEW KITCHEN CABINETS PER SEPARATE KITCHEN DESIGN DRAWINGS
- 9 NEW 36" HIGH DECK GUARDRAIL
- 10 PT DECKING BOARDS
- 11 5' PRE-FINISHED GUTTER TO MATCH EXISTING HOUSE
- 12 DOWNSPOUT - MATCH EXISTING HOUSE
- 13 NEW 30 YEAR ARCHITECTURAL ROOF SHINGLE - COLOR SELECTED BY OWNER
- 14 NEW BUILT-IN
- 15 CUSTOM CLOSET ORGANIZING
- 16 NEW RIDGE VENT
- 17 NEW 6X6 PT POST (TYP.)
- 18 NEW 9.5' SQ. COLUMN WRAP (6X6 PT POST INSIDE)
- 19 POURED CONCRETE PORCH. OPTION TO COVER IN STONE
- 20 CLOSET/PANTRY SHELVING TO BE DESIGNED OR SELECTED BY OWNER
- 21 NEW PEDESTAL SINK

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
2. ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.
3. DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW INT. 2X4 STUD WALL, U.N.O.
- NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
- NEW EXTERIOR 2X6 STUD WALL; R-20 MIN. INSULATION
- NEW 8" CONC. MASONRY WALL
- NEW BRICK MASONRY WALL OR PIER
- EXISTING WALL TO BE REMOVED
- EXISTING ITEM TO BE REMOVED
- 8'-0" CEILING HEIGHT INDICATOR

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PROPOSED
SECOND FLOOR
AND ATTIC PLANS

A1.1

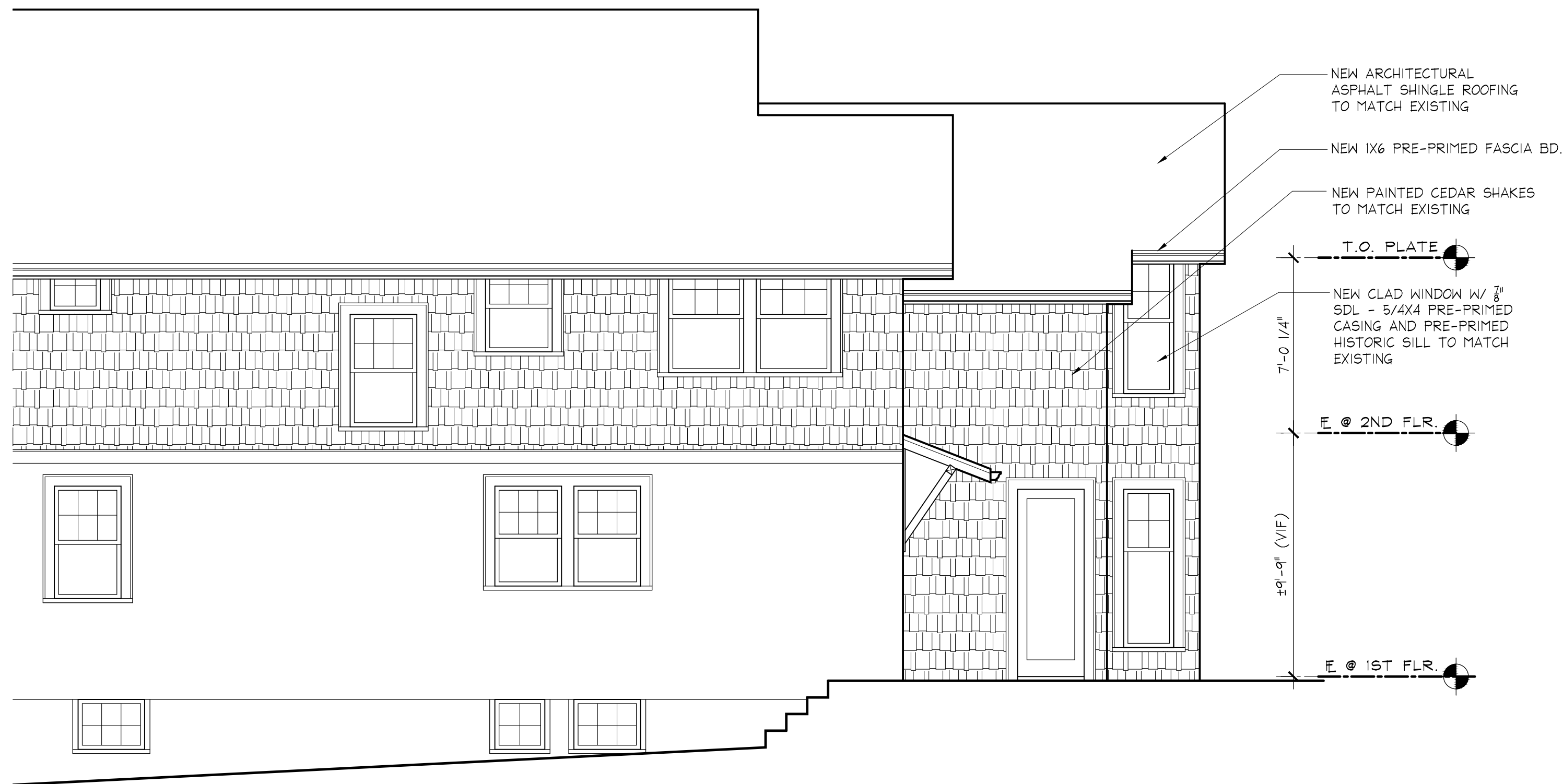
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By Laura DiPasquale at 11:23 am, Sep 04, 2025

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Historic Preservation Commission
Karen B. Smith

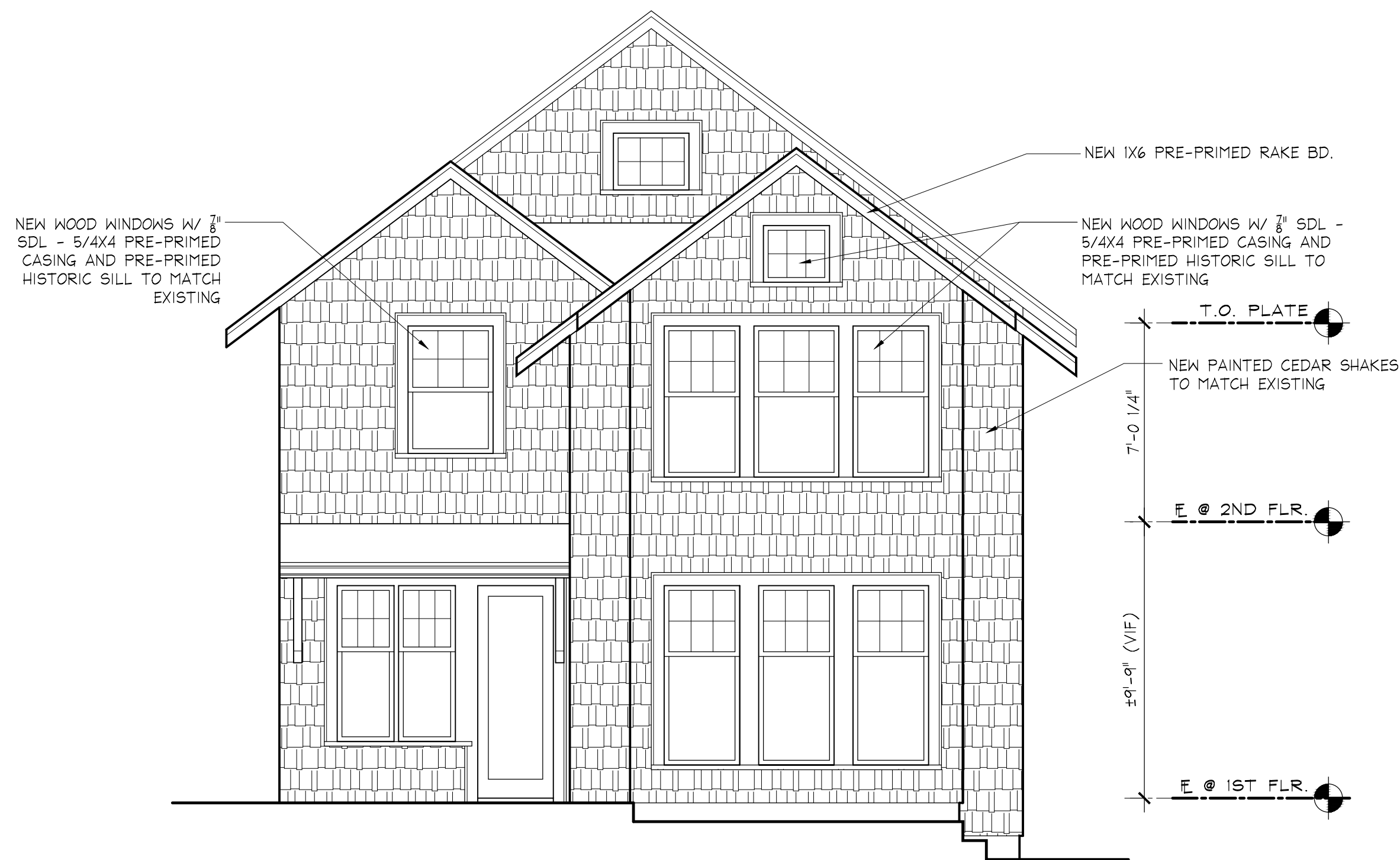
MUNICIPAL STAMPS



3 PROPOSED SIDE (SOUTH) ELEVATION
A2 1/4" = 1'-0"



2 PROPOSED SIDE (NORTH) ELEVATION
A2 1/4" = 1'-0"



1 PROPOSED REAR ELEVATION
A2 1/4" = 1'-0"

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EXTERIOR
ELEVATIONS



2 EXISTING NORTH SIDE ELEVATION
A2 1/4" = 1'-0"



1 EXISTING REAR ELEVATION
A2 1/4" = 1'-0"



3 EXISTING SOUTH SIDE ELEVATION
A2 1/4" = 1'-0"



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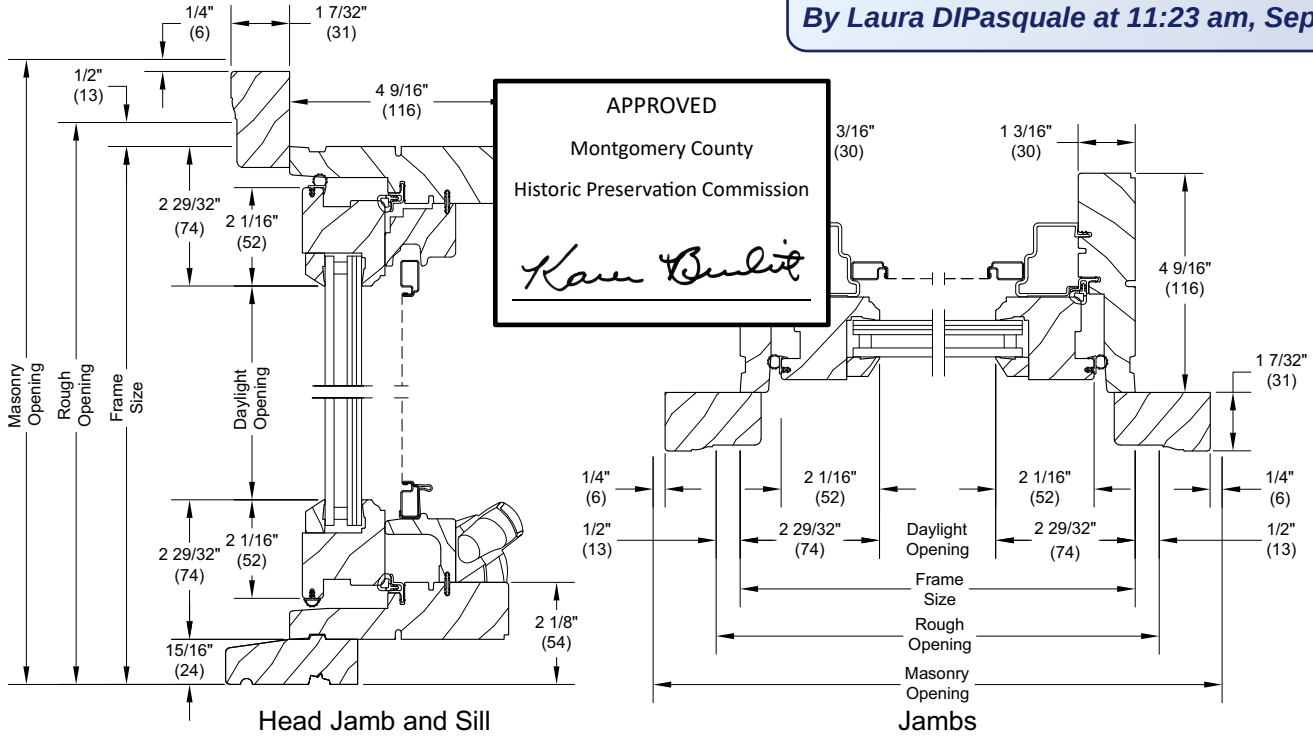
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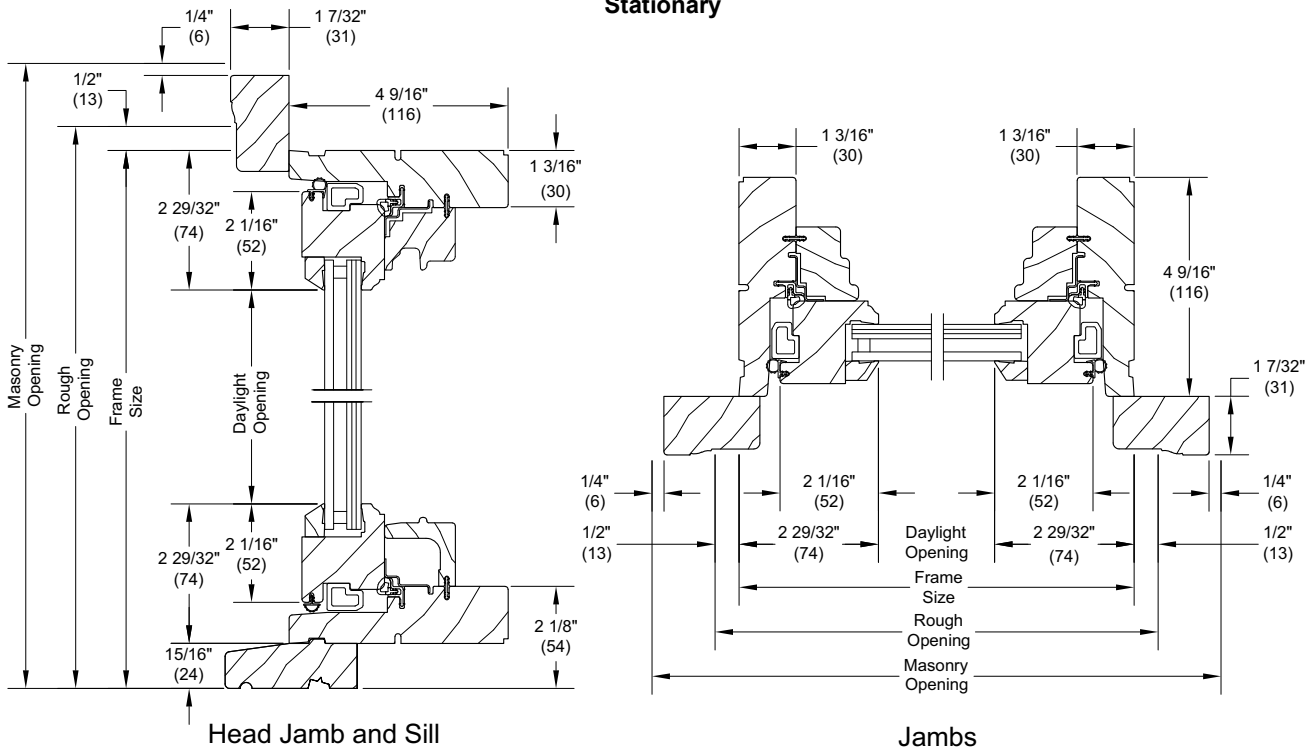
Operating

REVIEWED

By Laura DiPasquale at 11:23 am, Sep 04, 2025



Stationary



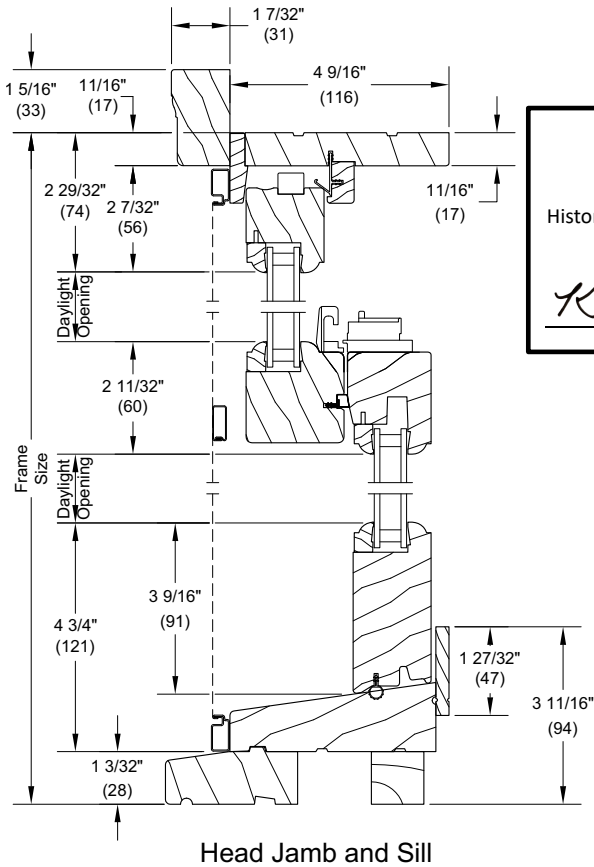
Section Details: Operating

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REVIEWED

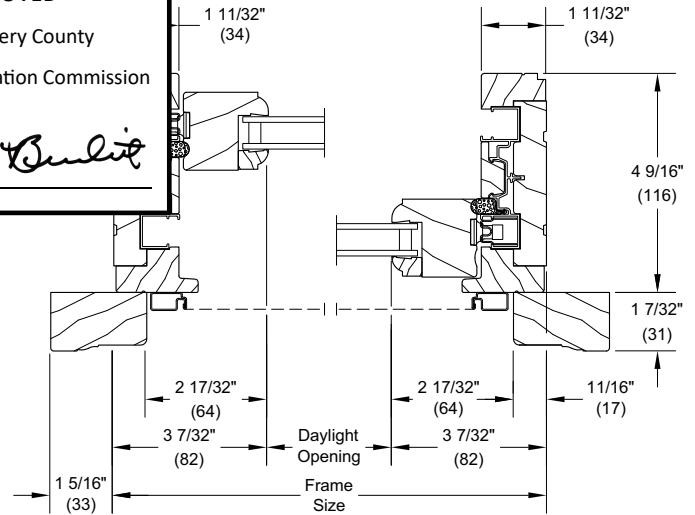
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Double Hung



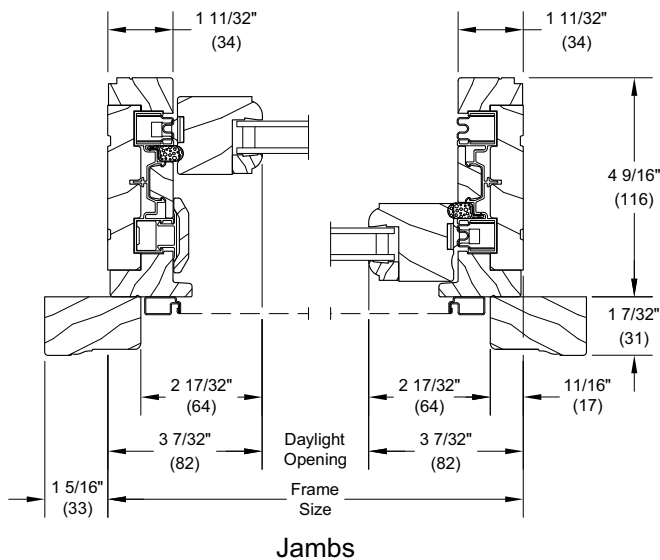
Lower Sash

Upper Sash

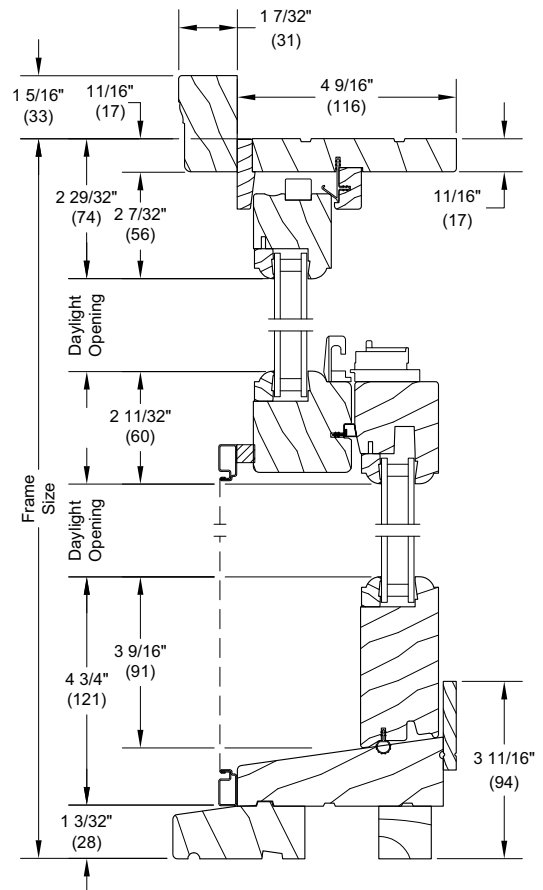


Jamb

Single Hung



Jamb



Head Jamb and Sill