



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

Date: 9/9/2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1128193 - Fenestration Alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached applications for a Historic Area Work Permit (HAWP). This application was **approved with one condition** at the September 3, 2025 HPC meeting.

1. Measured drawings, including profiles, of the proposed window need to be submitted to Staff before issuing the final HAWP approval documents.

The HPC staff has reviewed and stamped the attached submission materials and has determined the condition has been satisfied.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Alexandru Cojocaru
Address: 7319 Willow Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Dan Bruechert at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.





FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/

Is the Property Located with _____

Is there an Historic Preservation Commission map of the easement, and _____

Are other _____
(Conditions) _____
supplemental _____

APPROVED
Montgomery County
Historic Preservation Commission

Karen Buehler

REVIEWED

By Dan Bruechert at 10:02 am, Sep 08, 2025

_____ Name _____
_____ Site Name _____
_____ ment on the Property? If YES, include a
_____ older supporting this application.

Required as part of this Application?
Information on these reviews as _____

Building Number: _____ Street: _____
Town/City: _____ Nearest Cross Street: _____
Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

New Construction
Addition
Demolition
Grading/Excavation

Deck/Porch
Fence
Hardscape/Landscape
Roof

Shed/Garage/Accessory Structure
Solar
Tree removal/planting
Window/Door
Other: _____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Hannah Meyer

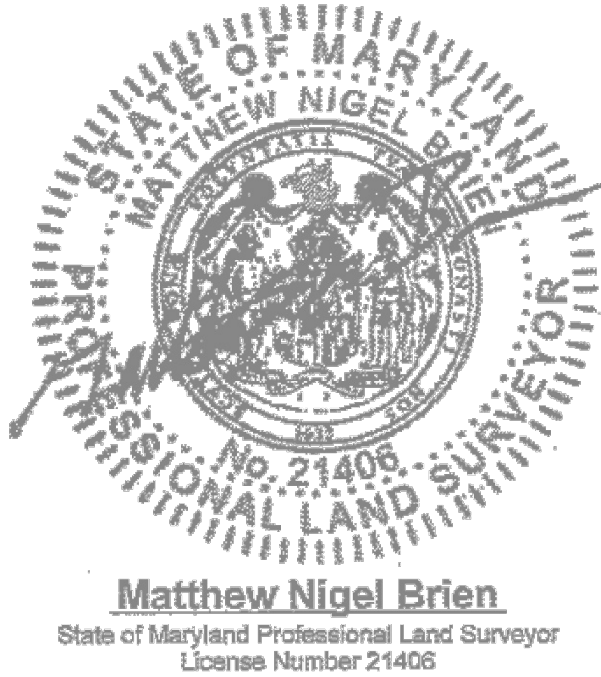
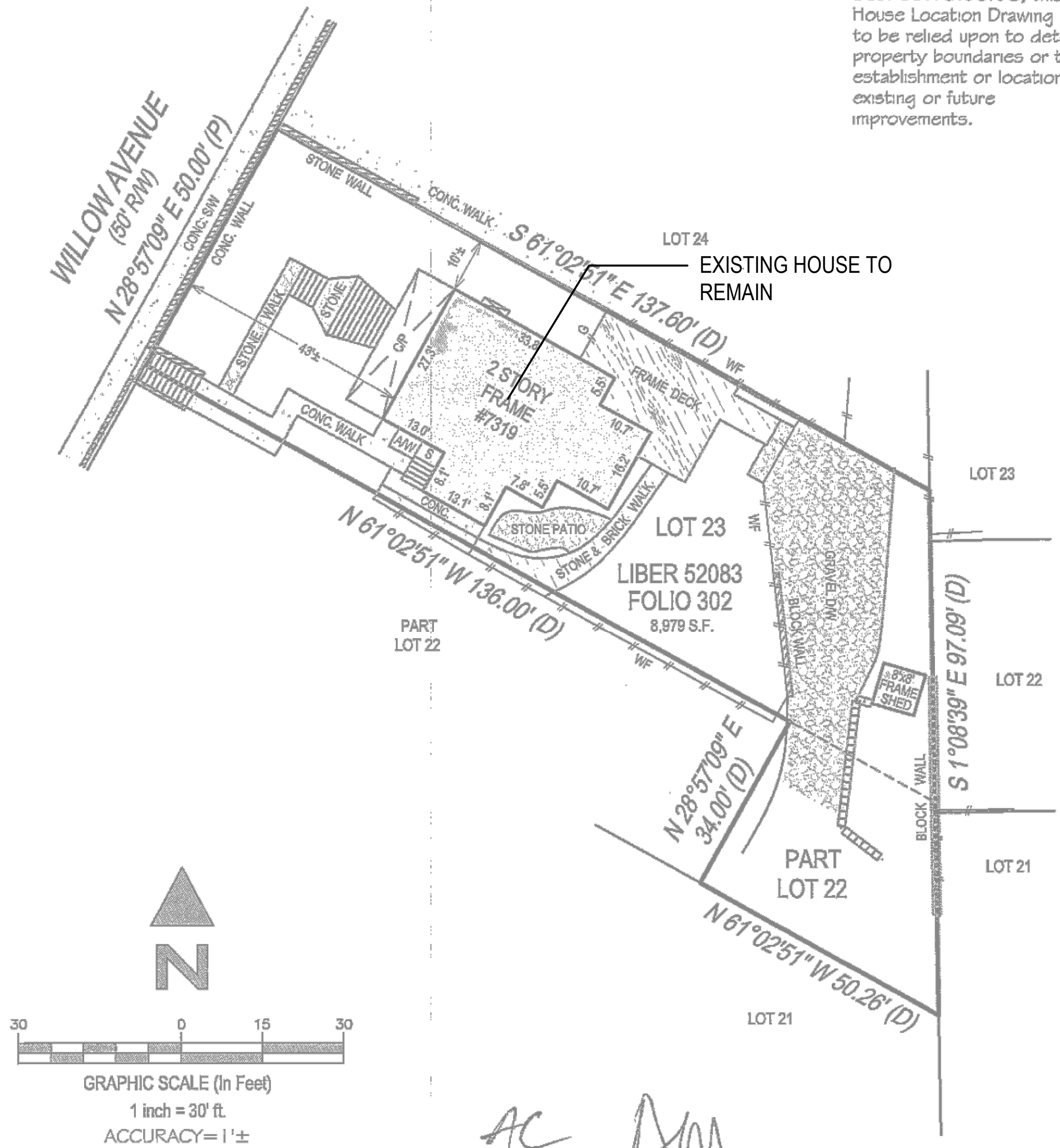
Signature of owner or authorized agent

Date



SURVEY NUMBER: 2504.6058

Per Maryland State Code, Sec. 09.13.06.06, this House Location Drawing is not to be relied upon to determine property boundaries or the establishment or location of existing or future improvements.



POINTS OF INTEREST:
NONE VISIBLE



SNIDER & ASSOCIATES
LB-21937
office: 301-948-5100
19544 Amaranth Drive, MD | Germantown, MD 20874
a division of Exacta Land Surveyors, LLC



SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

Karen Benoit

Karen Buntz

By Dan Bruechert at 10:04 am, Sep 08, 2025

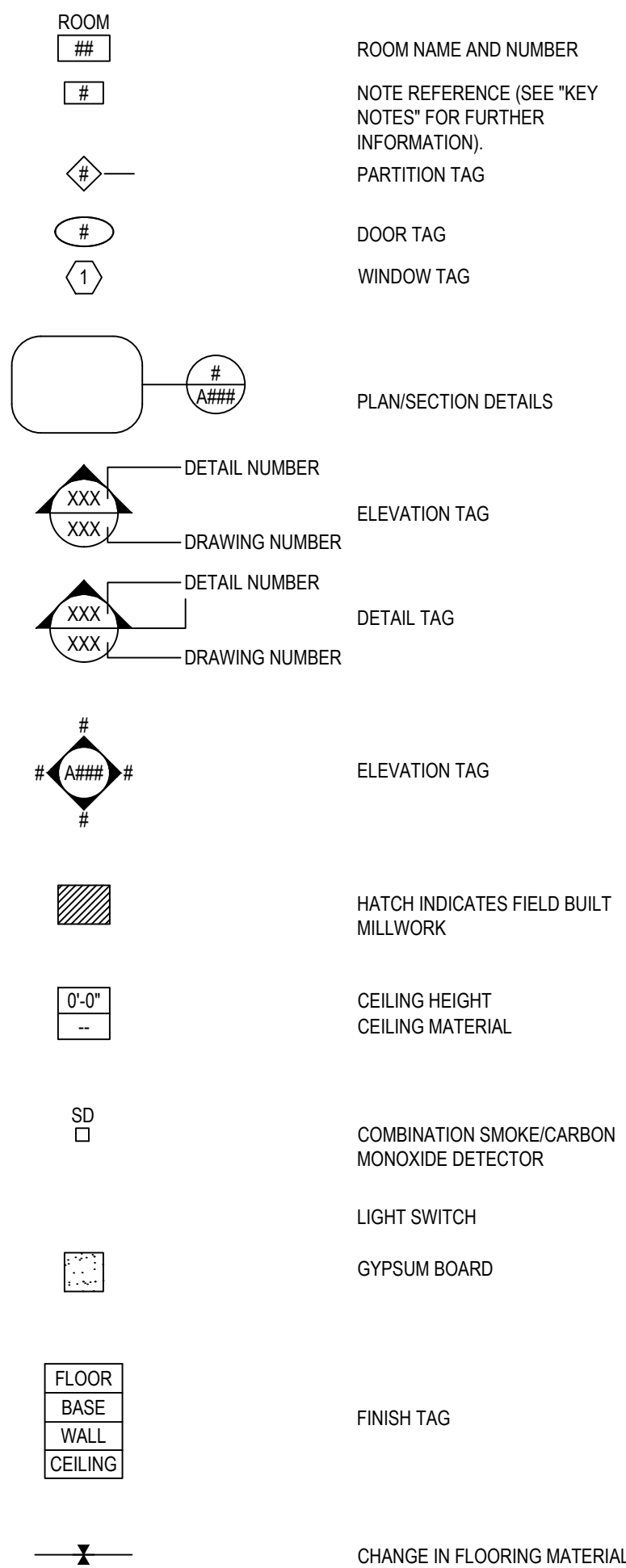
LIST OF DRAWINGS

STRUCTURAL ENGINEER:
APAC Engineering, Inc.
2110 Seminary Road
Silver Spring, Maryland 20910
TEL: 301 565 0543

A001	COVER SHEET
A002	GENERAL NOTES & SCHEDULE
D001	DEMO PLANS
A100	FLOOR PLANS
A200	ELEVATIONS
A201	ELEVATIONS
A300	SECTIONS
A600	INTERIOR ELEVATIONS
A601	INTERIOR ELEVATIONS
S001	STRUCTURAL NOTES & DETAIL
S002	STRUCTURAL PLAN
S003	FRAMING PLAN
S004	STRUCTURAL DETAILS
E100	POWER AND LIGHTING PLANS

wakako tokunaga architecture
509 albany avenue
takoma park, md 20912
202 320 3867

PROJECT DATA



ZONING: R- 60

LOT AREA: PROVIDED:	8,979	SF	
BUILDING HEIGHT: MAX ALLOWABLE: PROVIDED:	35' -		EXISTING TO REMAIN
LOT OCCUPANCY: MAX ALLOWABLE: PROVIDED:	35% -		EXISTING TO REMAIN
SET BACK:			
FRONT:	25'		EXISTING TO
REAR:	20'		EXISTING TO
SIDE:	8'		EXISTING TO

REVIEW	—
PERMIT	—
BID	—
CD	07-31-2025

REGISTRATION

DESIGN PARAMETERS

GROUND SNOW LOAD:	30 PSF (1.4 KNN/M ²)
WIND SPEED:	115 MPH (145KM/HR)
SEISMIC DESIGN CATEGORY:	B
WINTER DESIGN TEMP:	13 DEGREE F (-10.6 C)
ICE SHIELD UNDERLAYMENT:	REQUIRED
FLOOD HAZARDS:	JULY 2, 1979
AIR FREEZING INDEX:	300
MEAN ANNUAL TEMP:	55 DEGREES F (12.8 C)
FROST LINE DEPTH:	30"
SUBJECT TO DAMAGE FROM:	
WEATHERING - SEVERE	
TERMITE - MODERATE TO HEAVY	
DECAY - SLIGHT TO MODERATE	

COVER SHEET

A001

Professional Certification.
I certify that these documents were prepared or
approved by me, and that I am a duly licensed architect
under the laws of the State of Maryland,
license number 15793, expiration date 5/6/2025.

GENERAL CONDITIONS

1. PERFORM ALL WORK IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION. UNLESS OTHERWISE AGREED UPON, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED FOR WORK HE/SHE IS TO PERFORM AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS DURING THE COURSE OF WORK.
2. UNLESS OTHERWISE AGREED UPON, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION SHALL BE A.I.A. DOCUMENT A105, 2007.
3. THE CONTRACTOR SHALL VISIT THE SITE AND BE AWARE OF EXISTING CONDITIONS TO THE EXTENT AND INFLUENCE OF THE WORK.
4. POINT OUT TO THE ARCHITECT ANY DISCREPANCIES FOUND IN THE PLANS, DIMENSIONS, EXISTING CONDITIONS, OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING A PRODUCT OR ITS USE PRIOR TO THE COMMENCEMENT OF WORK. ADDENDA WILL BE ISSUED AS NECESSARY AND WILL BECOME PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT, IT WILL BE ASSUMED THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.
5. ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR INADEQUATE PROTECTIVE OR SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AND ACCEPTANCE BY OWNER, SHALL ADJUST, REPAIR OR REPLACE AT NO COST TO THE OWNER ANY ITEM OF EQUIPMENT, MATERIAL, OR WORKMANSHIP FOUND TO BE DEFECTIVE, INCLUDING OR AFFECTED WITHIN THE SCOPE OF THE CONTRACT.
7. DO NOT SCALE DRAWINGS FOR DIMENSIONS AND/ OR SIZES; WRITTEN DIMENSIONS GOVERN. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING EXISTING CONDITIONS PRIOR TO BEGINNING WORK, AND PERIODICALLY DURING THE PROGRESS OF WORK TO VERIFY ALL CRITICAL DIMENSIONS. ANY DEVIATION FROM DIMENSIONS INDICATED ON DRAWINGS IS TO BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
8. SUBMIT SHOP DRAWINGS FOR FABRICATION AND SUBMITTALS/SAMPLES FOR SPECIFICATION TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH ALL ITEMS. PROVIDE ARCHITECT WITH A LIST OF ALL ITEMS TO BE SUBMITTED PRIOR TO BEGINNING CONSTRUCTION.
9. NOTIFY ARCHITECT FOR REVIEW OF PARTITION CHALK LINE LAYOUT FOR DESIGN INTENT. DO NOT PROCEED WITH INSTALLATION OF STUDS UNTIL LAYOUT IS APPROVED BY ARCHITECT. COORDINATE AND VERIFY CONDITIONS WITH FINAL SYSTEMS FURNITURE AND EQUIPMENT SELECTION TO ENSURE PROPER FIT. IMMEDIATELY INFORM ARCHITECT IF ANY CONFLICTS ARE FOUND. DESIGN INTENT REVIEW DOES NOT RELEASE CONTRACTOR FROM THE RESPONSIBILITY OF MAINTAINING CRITICAL DIMENSIONS.
10. CHANGES IN THE WORK SHALL BE INITIATED THROUGH CONSTRUCTION DIRECTIVES. CONTRACTOR SHALL NOT PROCEED WITH EXECUTION OF CHANGES WITHOUT WRITTEN APPROVAL OF CHANGE ORDER NOTING CHANGES TO CONTRACT PRICE AND TIME BY THE OWNER.
11. REVIEW DOCUMENTS, VERIFY DIMENSIONS, CEILING TO SLAB CLEARANCES AND ALL FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICT OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
12. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
13. COORDINATE WORK WITH BUILDING OWNER INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, AND USE OF BUILDING FACILITIES. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
14. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION.

FINISH SCHEDULE					
FINISH	DESCRIPTION	MANUFACTURER	SPECIFICATION/ COLOR		NOTES
F1	EXISTING HARDWOOD		SAND & REFINISH, PATCH & REPAIR AS NEEDED		
F2	TILE	T.B.D.	TO BE SPECIFIED		COLOR TO BE SELECTED BY OWNER
F3	EXISTING VINYL FLOOR				
F4	HARDWOOD	T.B.D.	TO MATCH EXISTING		
B1	WOOD BASE	T.B.D.	RECESSED 4" HIGH WOOD BASE, 1/2" THICK		COLOR TO BE SELECTED BY OWNER
B2	TILE BASE	T.B.D.	TILE- SEE INTERIOR ELEVATIONS		COLOR TO BE SELECTED BY OWNER
W1	PAINT	BENJAMIN MOORE	TO BE SPECIFIED		FINISH TO BE DETERMINED BY ARCHITECT
W2	TILE	T.B.D.	TO BE SPECIFIED		COLOR TO BE SELECTED BY OWNER
C1	PAINT	BENJAMIN MOORE	TO BE SPECIFIED		FINISH TO BE DETERMINED BY ARCHITECT

• SEE FLOOR PLANS FOR FINISH

• SAND AND REFINISH ALL HARDWOOD FLOORING

DOOR TYPES								
DOOR NO.	TYPE	DOOR SIZE		FINISH	FRAME	HWARE	LOCATION	REMARKS
001	A	2'-2"	6'-8"	PAINT	WOOD		BASEMENT	
002	C	5' - 5 1/2"	V.I.F.	SEE SPECIFICATIONS			OFFICE	
100	B	2'-6"	6'-8"	PAINT	WOOD		W.I.C.	
101	B	2'-6"	6'-8"	PAINT	WOOD		PRIMARY BATHROOM	

DOOR TYPES	
APPROVED Montgomery County Historic Preservation Commission REVIEWED By Dan Bruechert at 10:04 am, Sep 08, 2025 TYPE A WD FRAME, PAINT FINISH SOLID WOOD, ONE PANEL HINGED SWING DOOR TYPE B WD FRAME, PAINT FINISH SOLID WOOD, ONE PANEL SLIDING POCKET DOOR TYPE C SURFACE MOUNTED, SLIDING FROSTED GLASS DOOR MTL FRAME, PAINT FINISH CAVITY SLIDER FH - CeilingMountTrack - Single OR E.Q.	
WINDOW SCHEDULE	

7319 WILLOW AVE,
RENOVATION

7319 Willow Avenue, Takoma Park, MD 20912

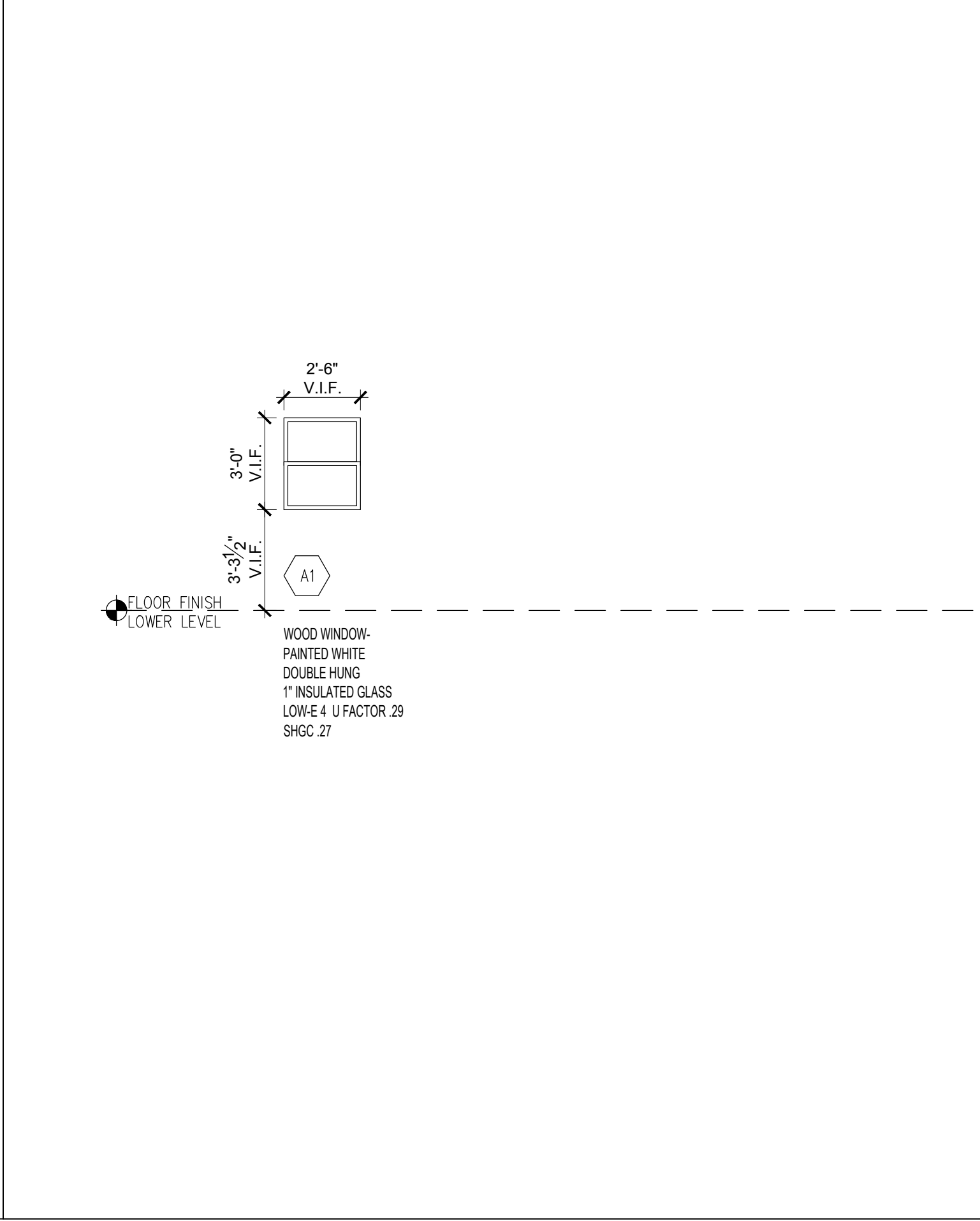
REVIEW	-
PERMIT	-
BID	-
CD	07-31-2025

REGISTRATION

GENERAL NOTES & SCHEDULE

A002

1. REVIEW GENERAL CONDITIONS NOTES BEFORE COMMENCING WORK.
2. PARTITION LOCATIONS, DIMENSIONS AND TYPES, DOOR AND WINDOW LOCATIONS MUST BE AS SHOWN ON ARCHITECTURAL PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION. ARCHITECTURAL PLAN SUPERSEDES OTHER PLANS.
3. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS NOTED OTHERWISE. DO NOT ADJUST DIMENSIONS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT.
4. MAKE NEW GYPSUM BOARD CONSTRUCTION ADJOINING EXISTING CONSTRUCTION IN THE SAME PLANE, FLUSH WITH NO VISIBLE JOINTS UNLESS NOTED OTHERWISE.
5. GYPSUM BOARD FINISHING: COMPLY WITH REQUIREMENTS OF GYPSUM ASSOCIATION GA-216 RECOMMENDED SPECIFICATION FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD AND WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS AND SPECIFICATIONS ALWAYS USING THE MORE STRINGENT OF THE TWO WHEN THERE IS A DISCREPANCY.
6. PROVIDE CORNER BEADS ALONG FULL LENGTH OF OUTSIDE CORNERS AND 'J' BEADS ALONG ENDS OF GYPSUM BOARD UNLESS OTHERWISE NOTED. TAPE, SPACKLE, AND SAND JOINTS. PROVIDE A SMOOTH FINISH CONDITION READY FOR PAINT AND FINISH MATERIAL APPLICATION UNLESS OTHERWISE NOTED.
7. FOR EXPOSED WOOD PROVIDE FINISH GRADE HARDWOOD, FILLED, SANDED, PRIMED AND READY FOR SCHEDULED FINISH.
8. PROVIDE BLOCKING IN WALLS AS REQUIRED TO INSTALL ALL DOORS, WALLS, MILLWORK, ACCESSORIES AND FURNITURE.
9. ALL EXPOSED WALL SURFACES TO BE PATCHED, TREATED AND FINISHED WITH APPROPRIATE FINISH.
10. UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4" UNLESS OTHERWISE NOTED. COORDINATE DOOR SWING WITH DOOR STOP TO ENSURE PROPER CONTACT.



DOOR NO.	TYPE	DOOR SIZE		FINISH	FRAME	HDWARE	LOCATION	REMARKS
001	A	2'-2"	6'-8"	PAINT	WOOD		BASEMENT	
002	C	5' - 5 1/2"	V.I.F.	SEE	SPECIFICATIONS		OFFICE	
100	B	2'-6"	6'-8"	PAINT	WOOD		W.I.C.	
101	B	2'-6"	6'-8"	PAINT	WOOD		PRIMARY BATHROOM	

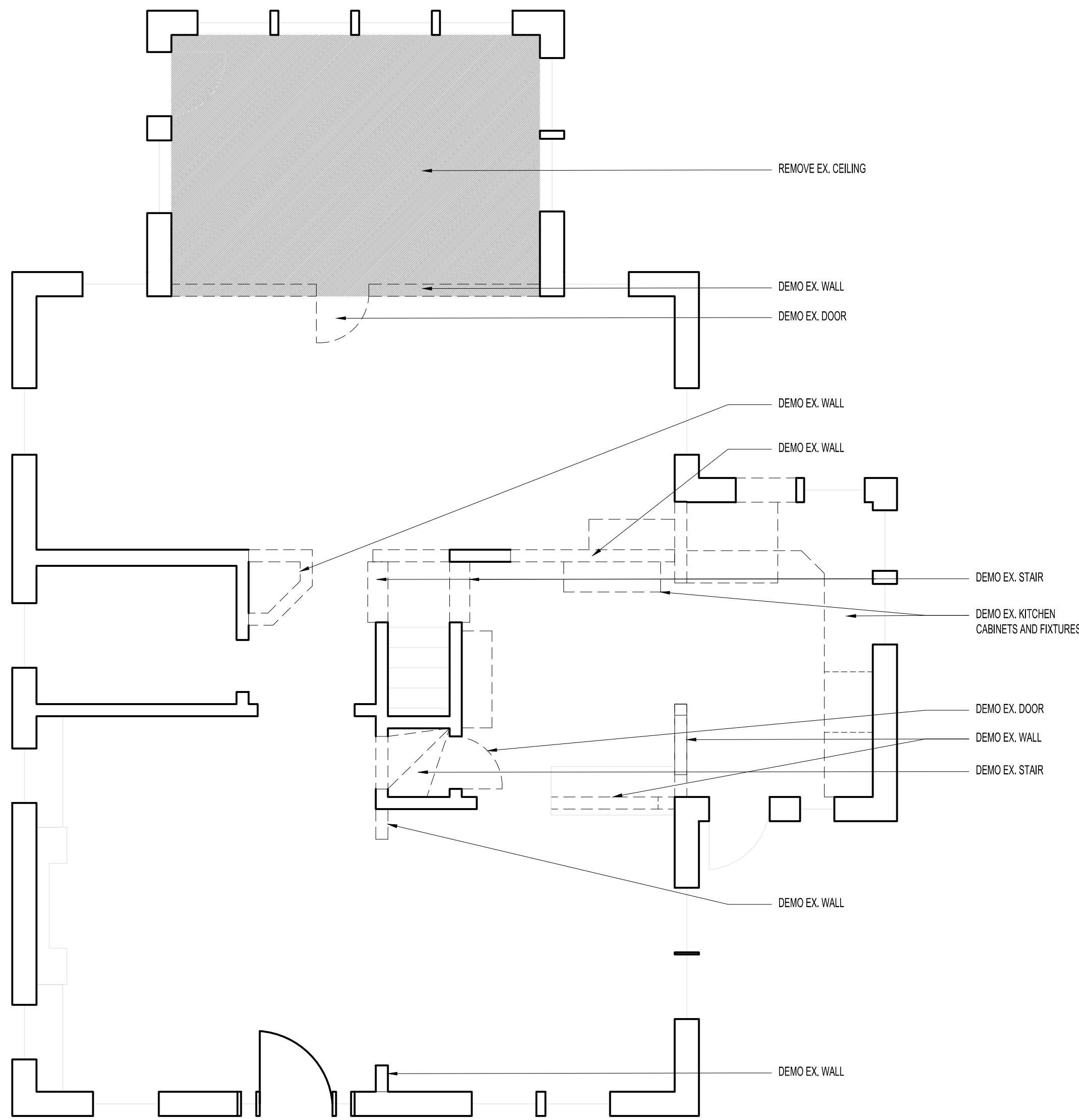
APPROVED

Montgomery County

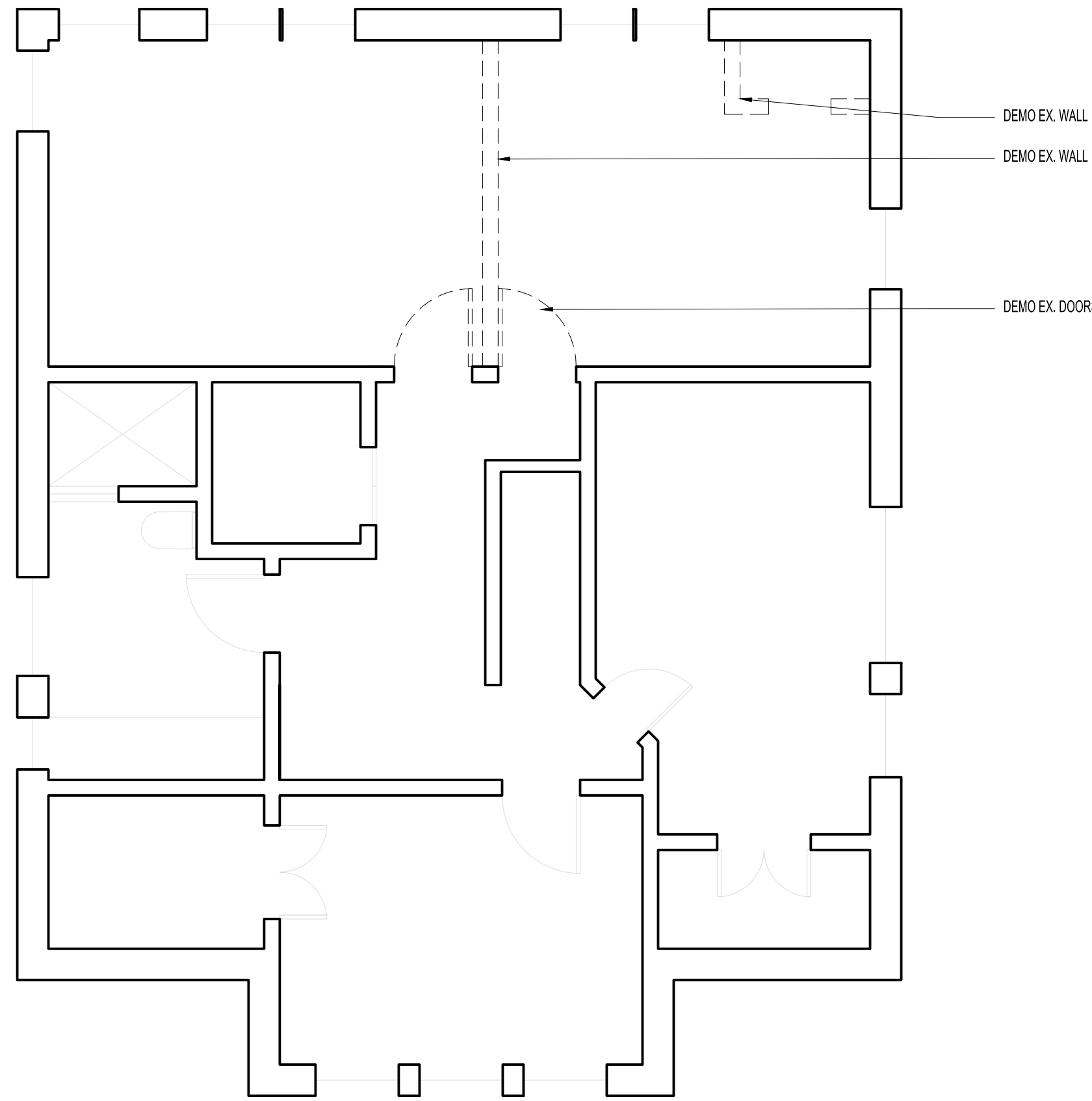
Historic Preservation Commission

Karen Buckle

WINDOW SCHEDULE



1 FIRST LEVEL DEMO PLAN
D100 1/4" = 1'-0"



2 SECOND LEVEL DEMO PLAN
D100 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

Karen Buehert

REVIEWED
By Dan Bruechert at 10:04 am, Sep 08, 2025

wakako tokunaga architecture
509 albany avenue
takoma park, md 20912
202 320 3867

7319 WILLOW AVE.,
RENOVATION
7319 Willow Avenue, Takoma Park, MD 20912

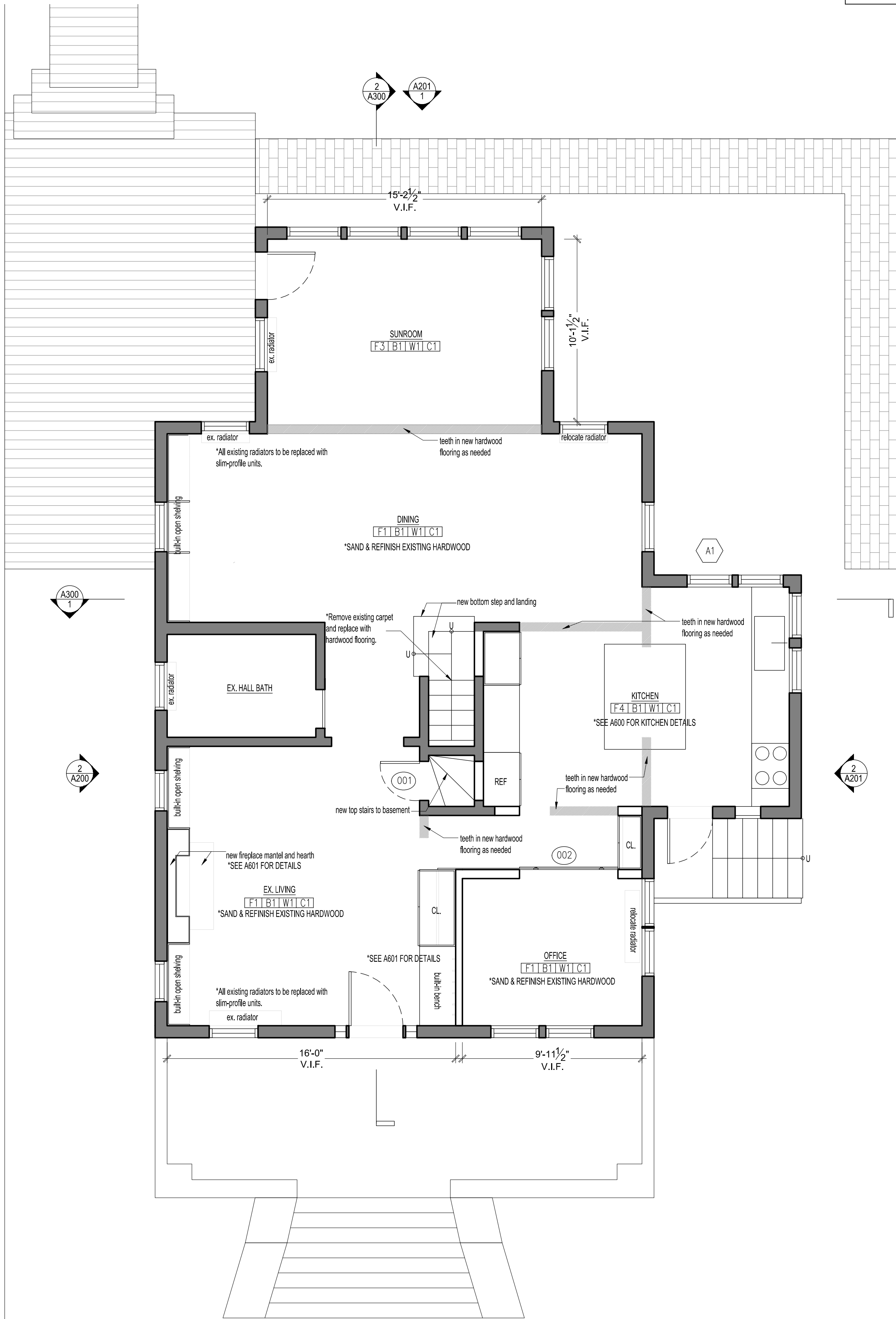
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CD	07-31-2025

REGISTRATION

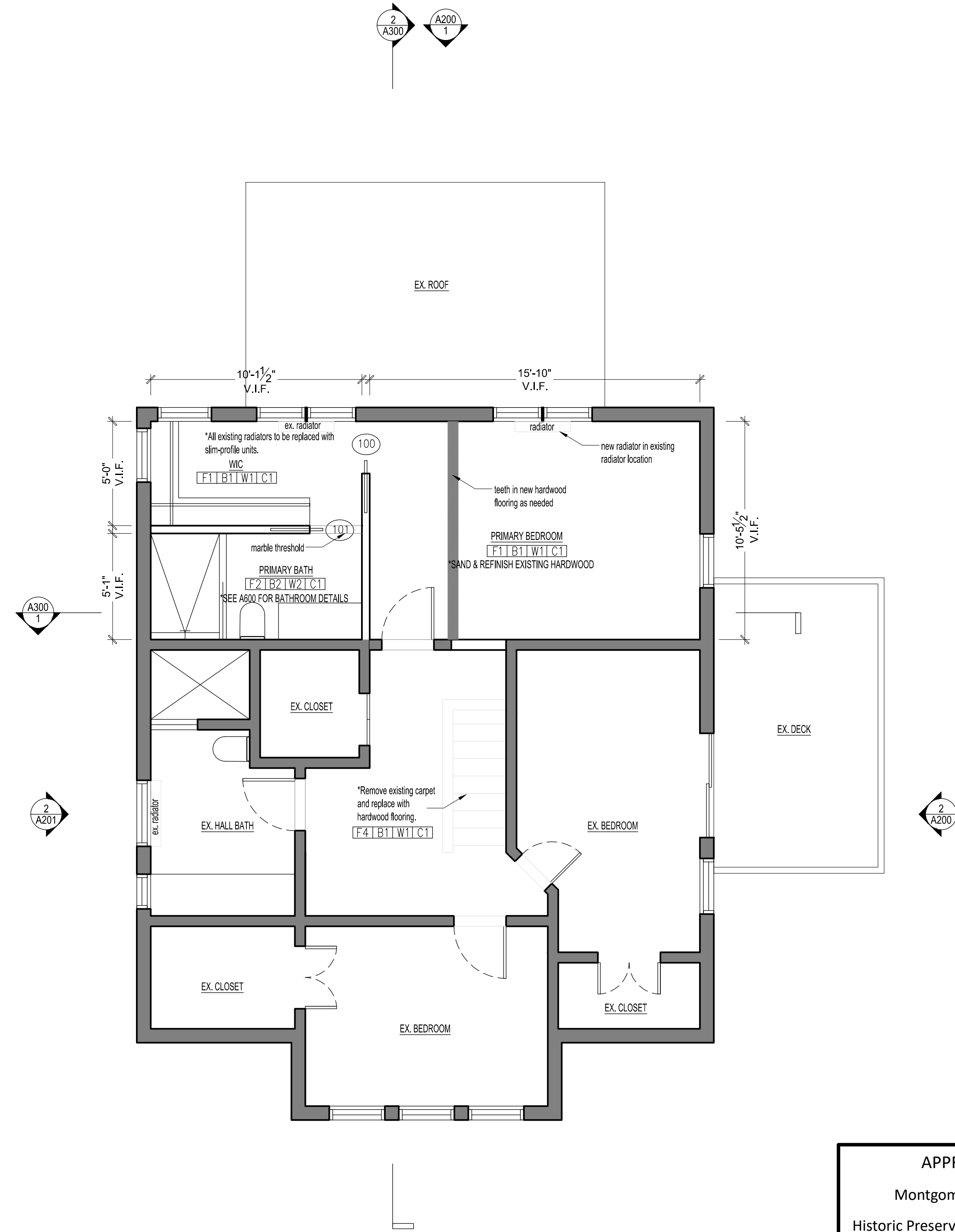
Professional Certification:
I certify that these documents were prepared or
approved by me, and that I am a duly licensed architect
under the laws of the State of Maryland.
license number 0793, expiration date 5/31/2025.

DEMO PLANS

D100



1 FIRST LEVEL PLAN
A100 1/4" = 1'-0"



2 SECOND LEVEL PLAN
A100 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Karen Buelit

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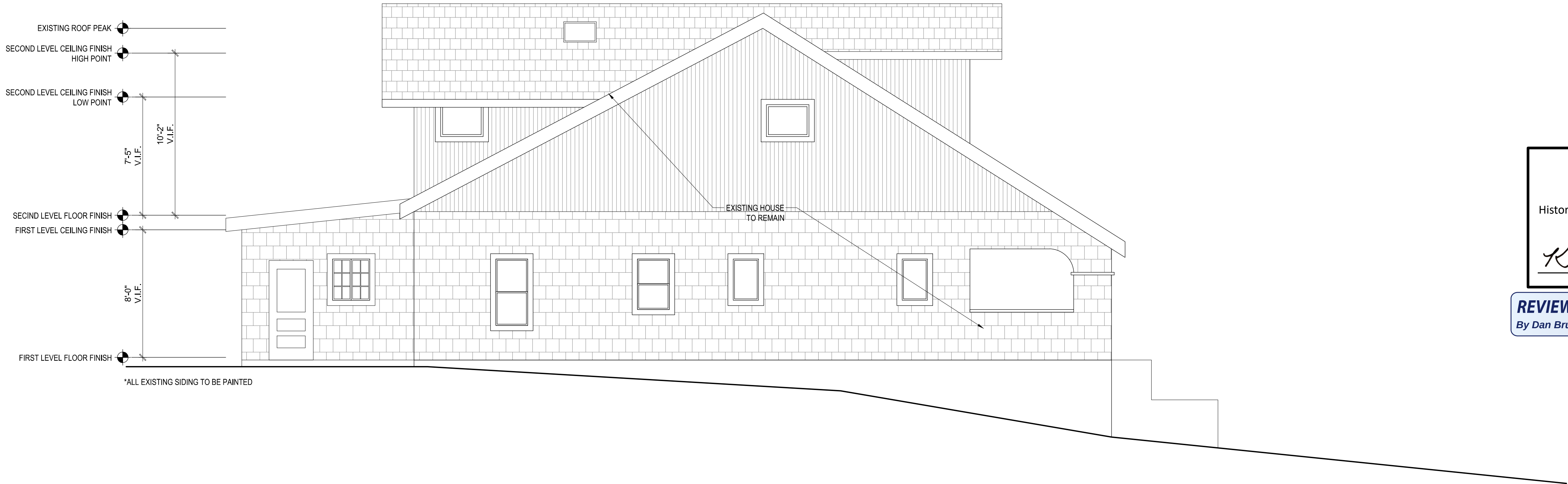
REGISTRATION

Professional Certification:
I certify that these documents were prepared or
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under the laws of the State of Maryland.
License number: 0704, expiration date: 5/31/2025.

FLOOR PLAN

A100

1 WEST ELEVATION
A200 1/4" = 1'-0"



2 NORTH ELEVATION
A200 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bunkit

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REGISTRATION

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ELEVATIONS

A200



1 EAST ELEVATION
A201 1/4" = 1'-0"



2 SOUTH ELEVATION
A201 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bunkin

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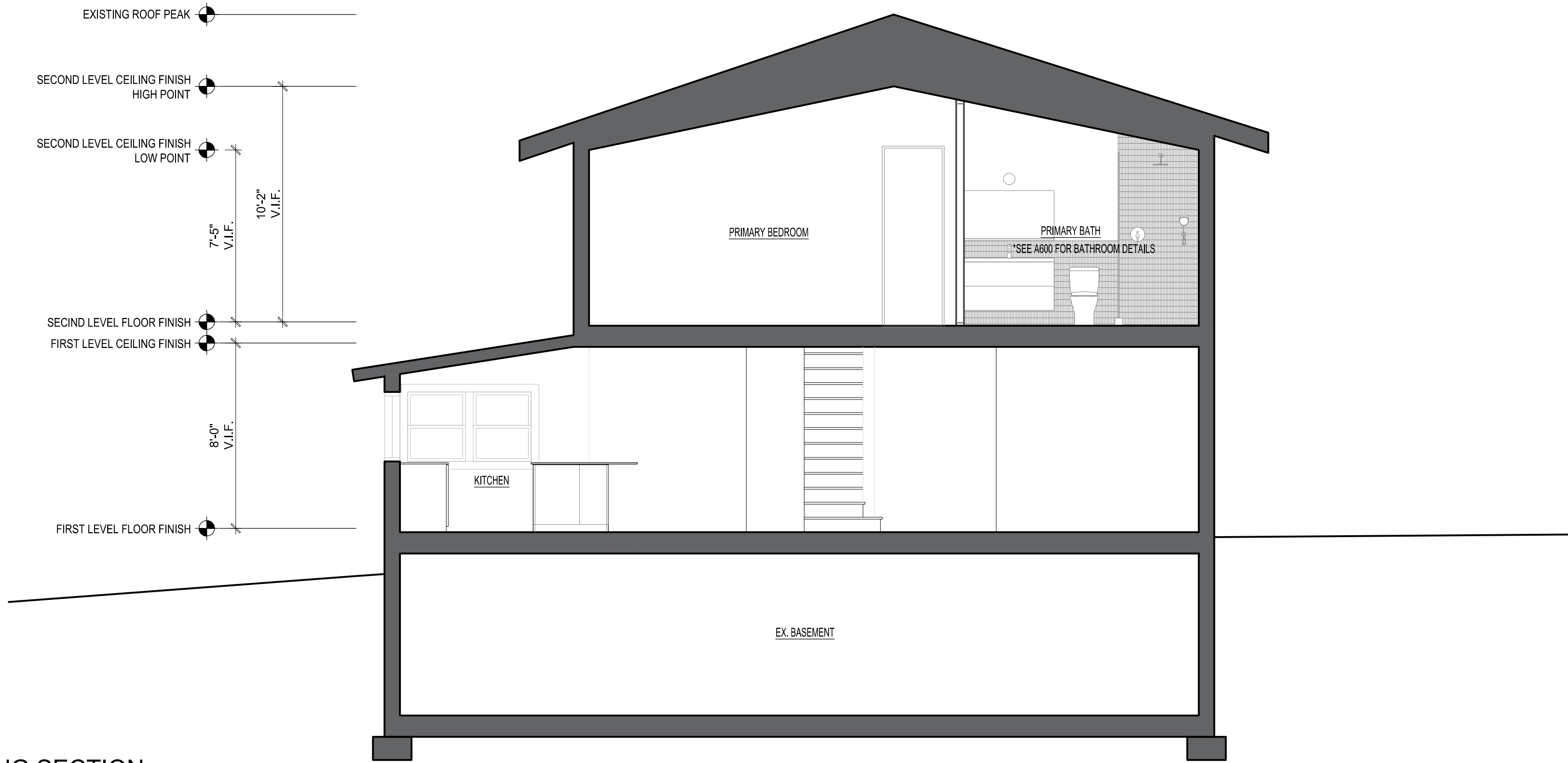
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REVIEW	-
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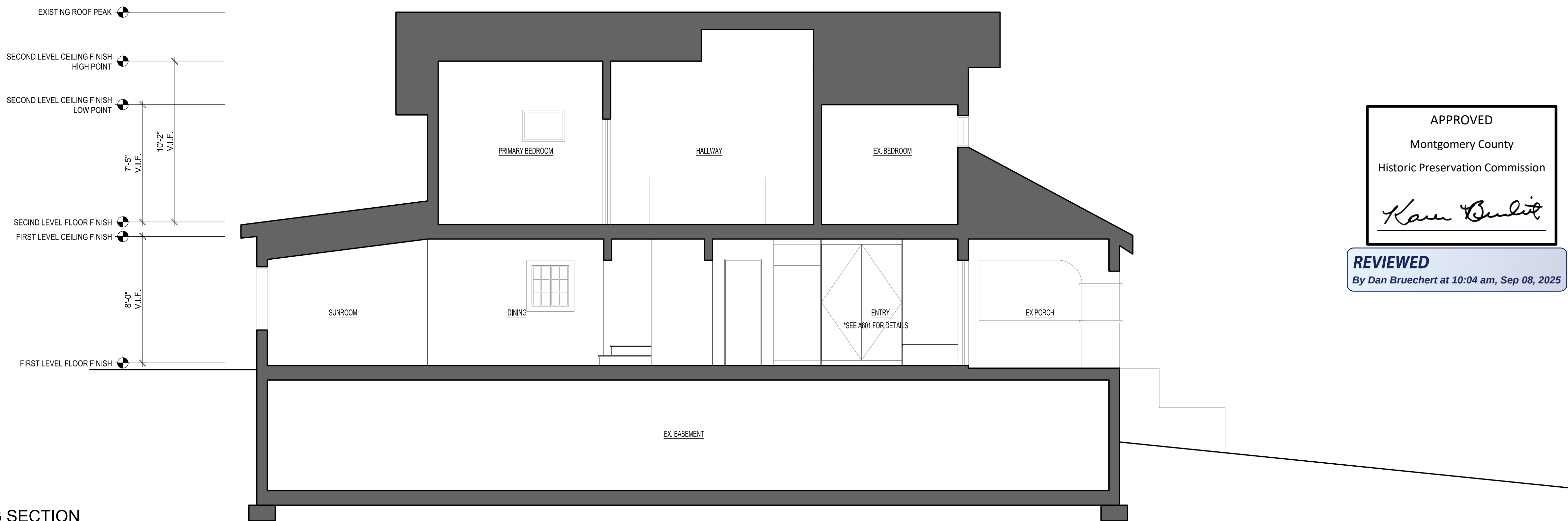
REGISTRATION
Professional Certification:
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license number 0793, expiration date 5/31/2025.

ELEVATIONS
A201

1 BUILDING SECTION
A300 1/4" = 1'-0"



2 BUILDING SECTION
A300 1/4" = 1'-0"



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REVIEWED
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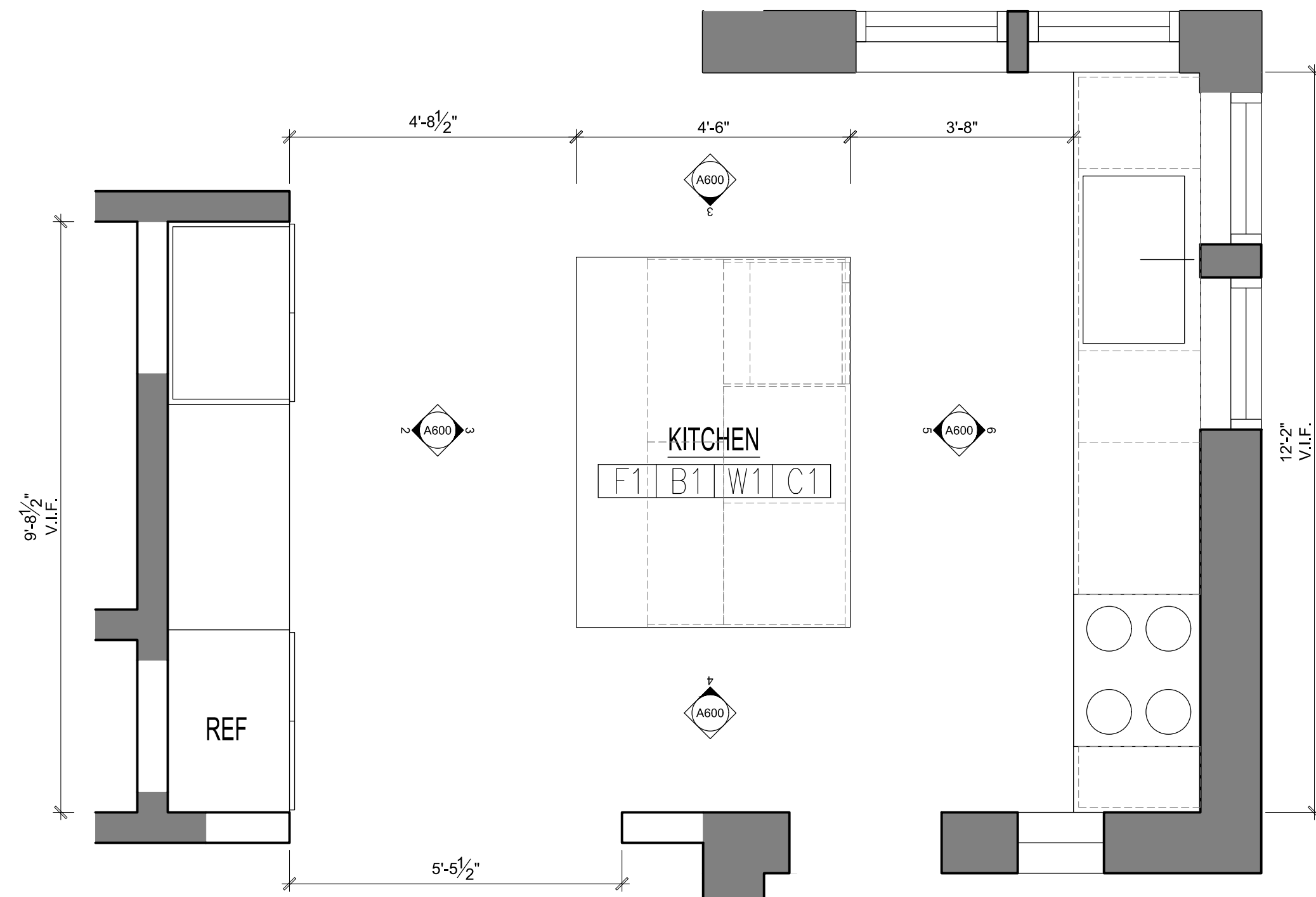
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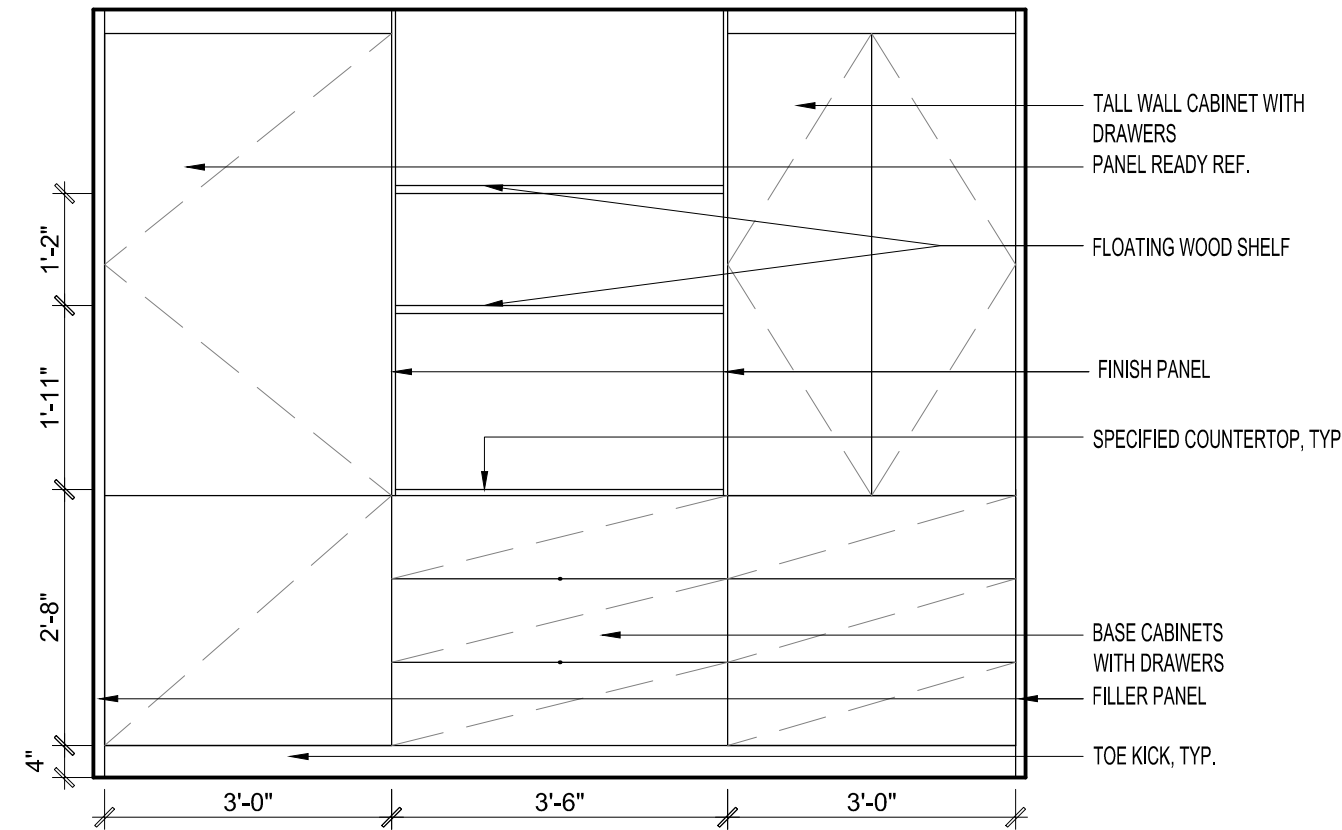
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SECTIONS

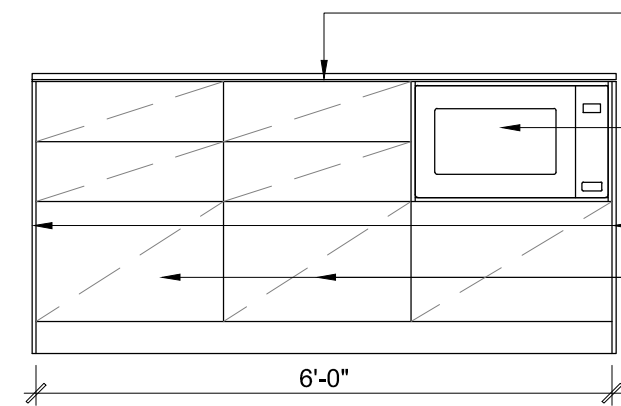
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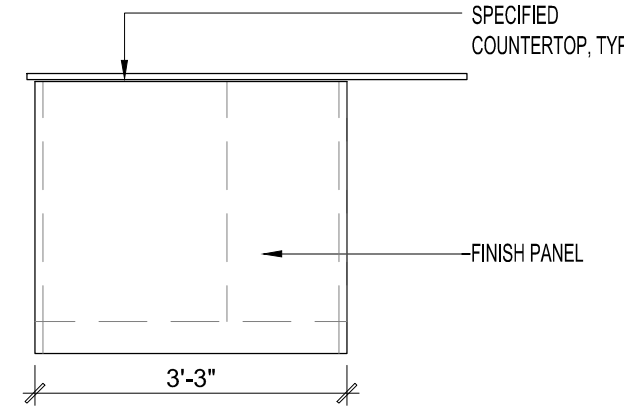
1 KITCHEN PLAN
A600 1/2" = 1'-0"



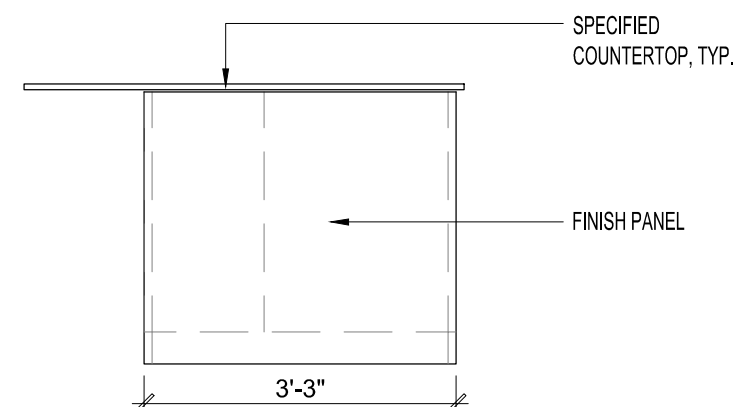
2 KITCHEN ELEVATION
A600 1/2" = 1'-0"



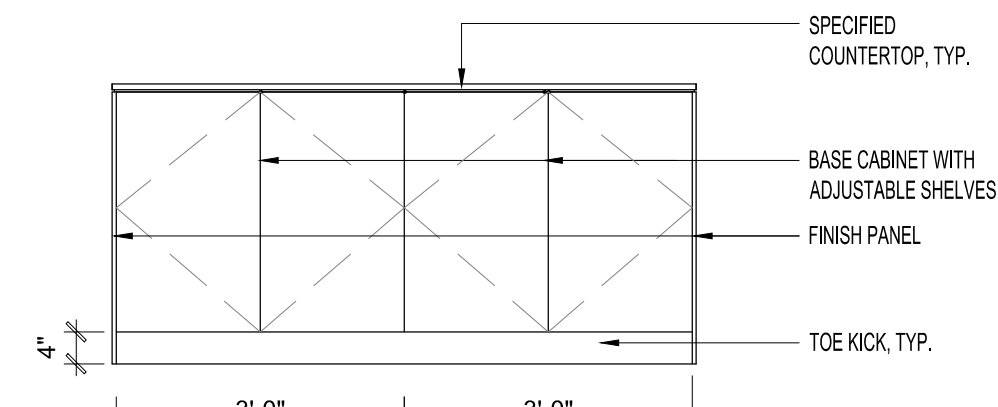
3 KITCHEN ELEVATION
A600 1/2" = 1'-0"



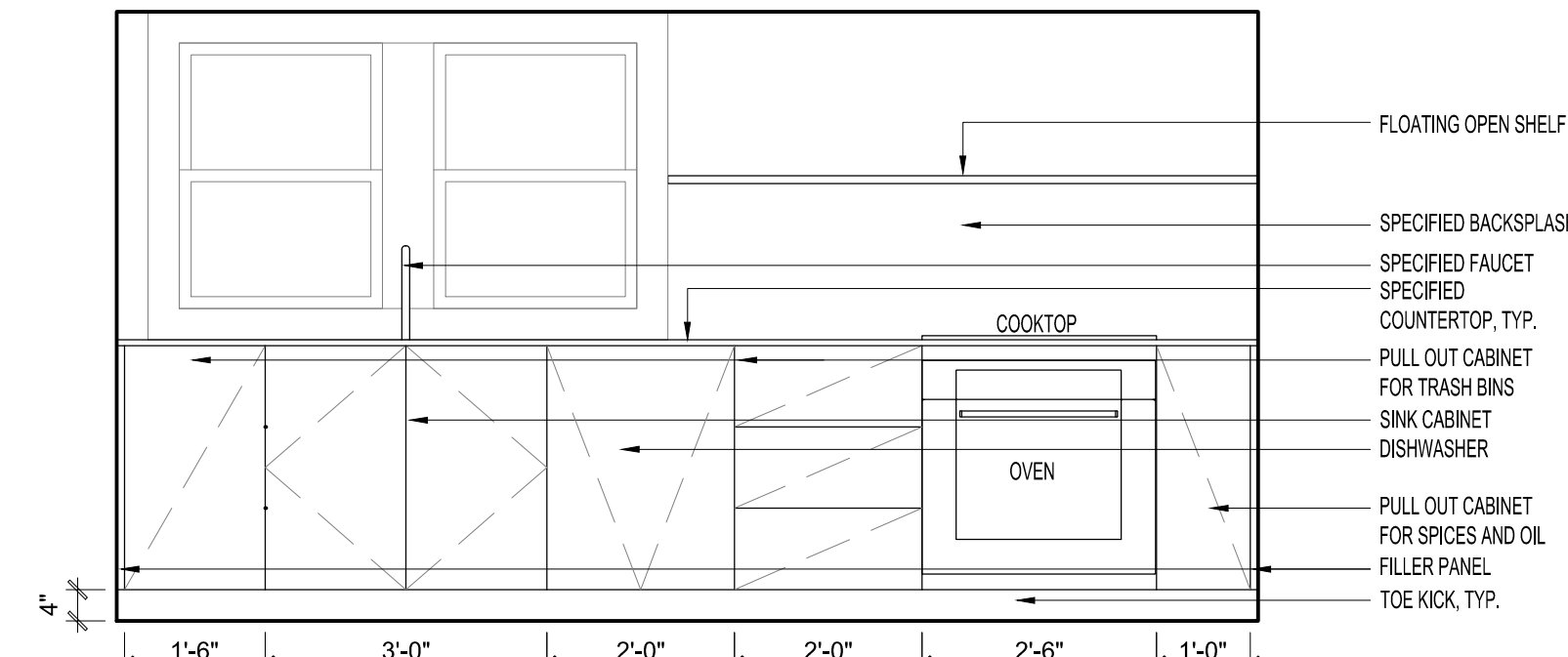
4 KITCHEN ELEVATION
A600 1/2" = 1'-0"



5 KITCHEN ELEVATION
A600 1/2" = 1'-0"

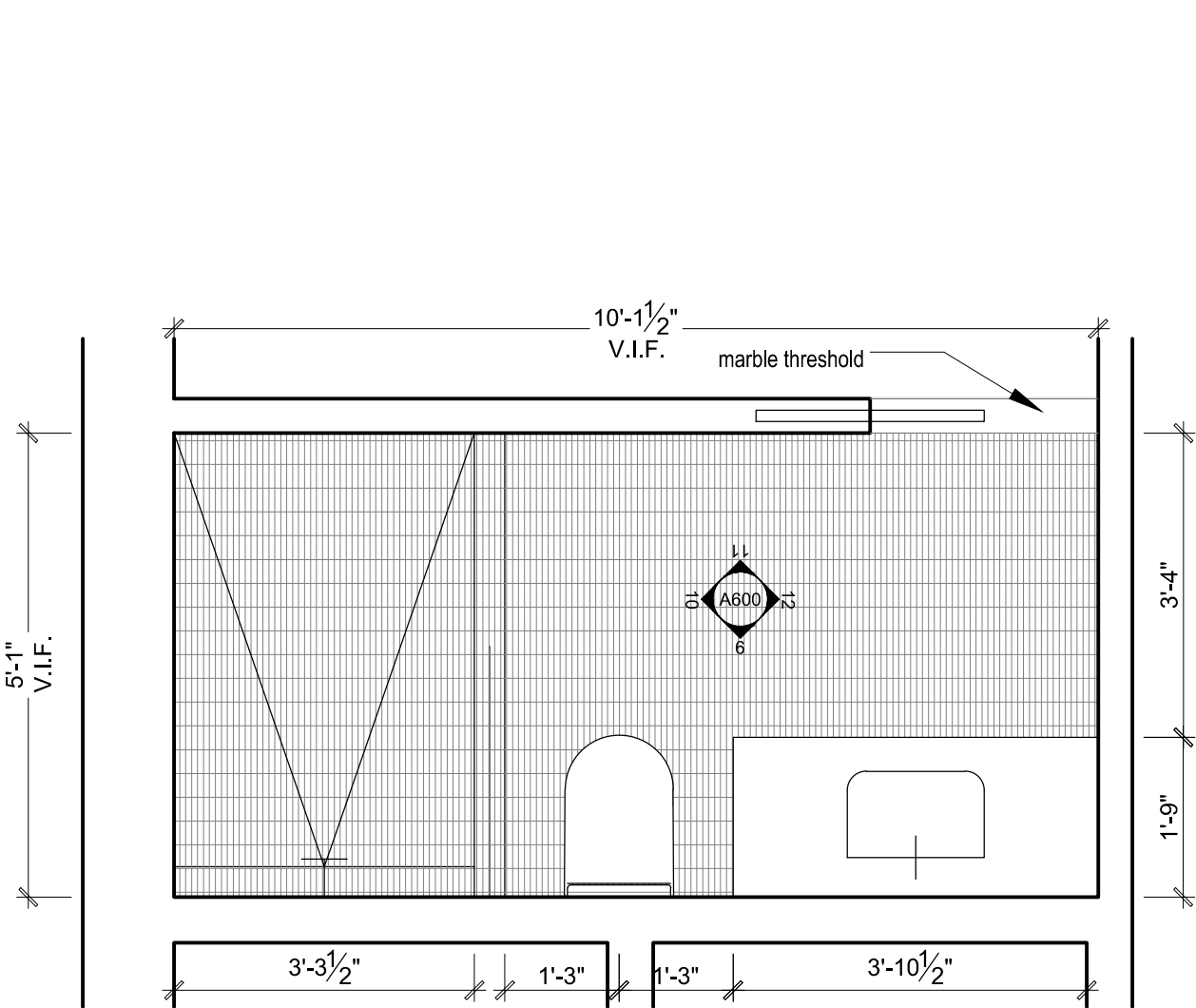


6 KITCHEN ELEVATION
A600 1/2" = 1'-0"

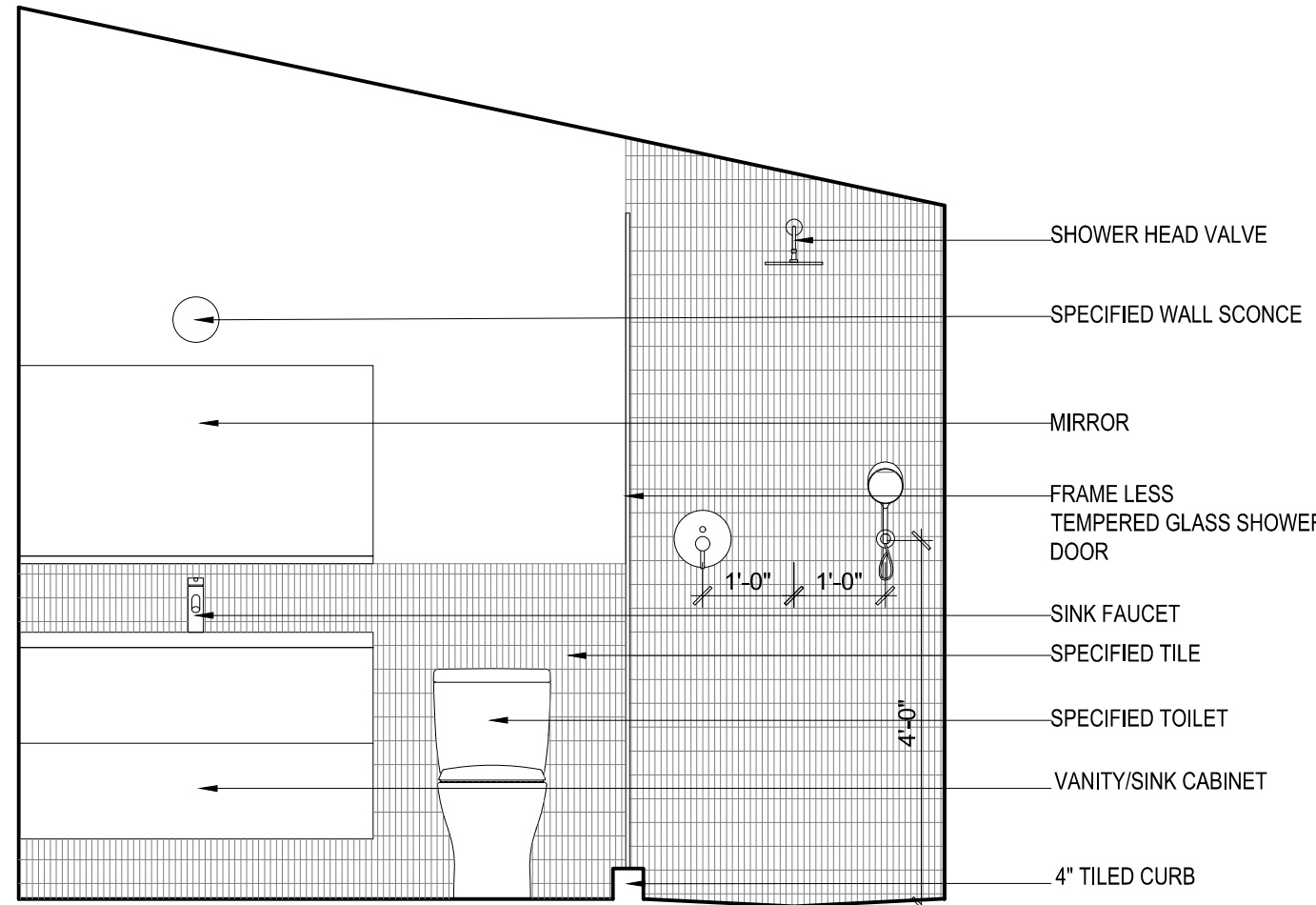


7 KITCHEN ELEVATION
A600 1/2" = 1'-0"

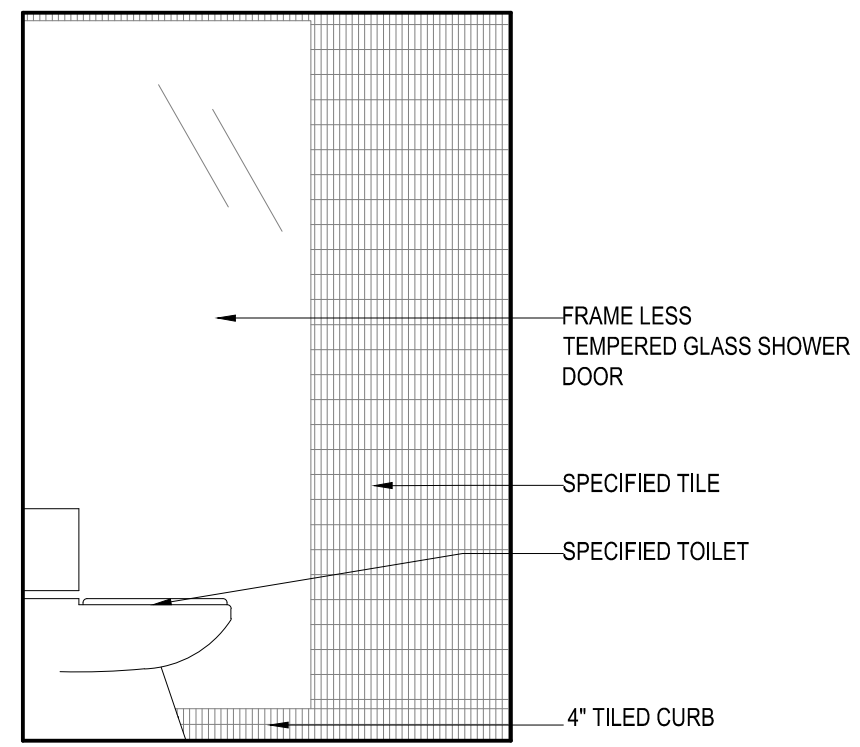
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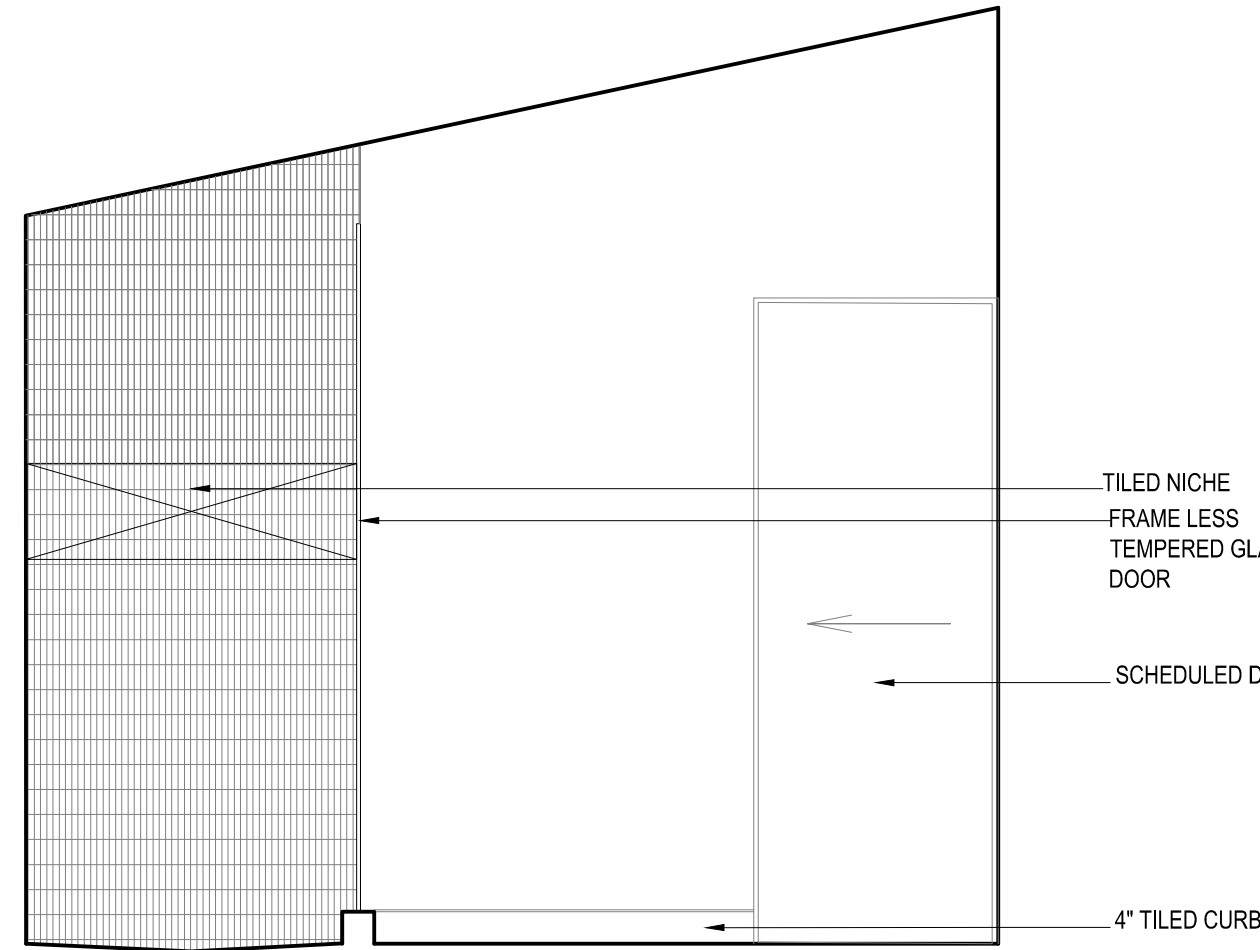
8 BATHROOM PLAN
A600 1/2" = 1'-0"



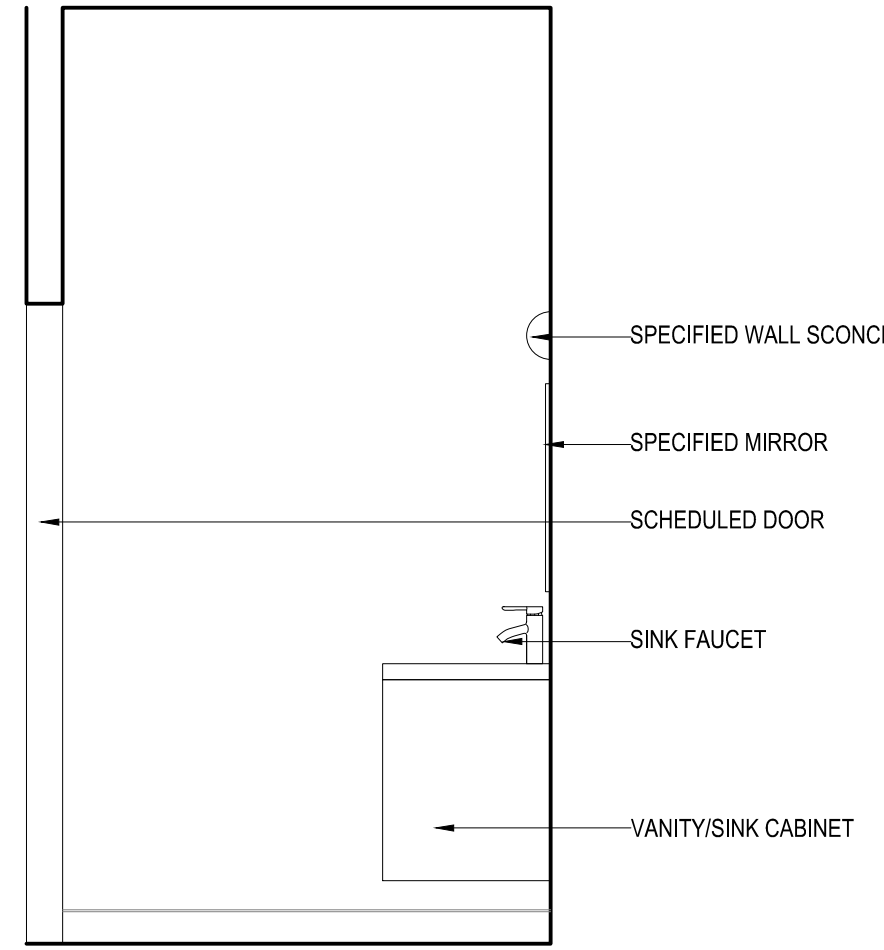
9 BATHROOM ELEVATION
A600 1/2" = 1'-0"



10 BATHROOM ELEVATION
A600 1/2" = 1'-0"



11 BATHROOM ELEVATION
A600 1/2" = 1'-0"



12 BATHROOM ELEVATION
A600 1/2" = 1'-0"

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7319 WILLOW AVE,
RENOVATION

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REVIEW	-
PERMIT	-
BID	-
CD	07-31-2025

Professional Certification:
I certify that these documents were prepared or
designed by me, and that I am a duly licensed architect
under the laws of the State of Maryland.
License number: 07963, expiration date: 5/31/2025.

KITCHEN &
BATHROOM DETAILS

A600

1. All work and materials to comply with the requirements of the 2021 IBC and IRC codes as revised by Montgomery County.
2. Codes: the following design standards are applicable by reference:
 - TMS 402-2011 Building Code Requirements for Masonry Structures.
 - AWC NDS - 2018 - Wood Frame Construction Manual for One and Two Family Dwellings.
 - ACI 318-19 Building Code Requirements for Reinforced Concrete
 - AISC - 360-16 Specifications for Steel Buildings.
3. Foundations: footings, underpinning and slab on grades are designed to bear on native soil type SM or SC with an allowable bearing pressure of 2000 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
4. Structural steel:
 - A. All structural steel, including detail material shall conform to ASTM A572 Fy = 50ksi, U.N.O.
 - B. All structural tubing shall conform to ASTM A500, grade B.
 - C. All steel pipe shall be ASTM A53, type E or S, grade B.
 - D. All welders shop and field, shall be certified. Use E70XX electrodes only.
 - E. All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
 - F. Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
 - G. All exterior structural steel shall receive rust preventative paint.
 - H. Connections:
 - I. All beam connections shall be simple shear connections, U.N.O.. Where no reaction is provided, the beam shall be assumed to carry 120 % of the allowable uniform load in Kips for beams laterally supported, as given in the AISC steel construction manual.
 - II. Erection as noted, fasteners shall be in accordance with AISC A325 bolts, designed to act in bearing type connections with threads included.
5. Lumber:
 - A. Lumber shall be SPF #2 with a min. Fb = 875psi Min. Fv = 135psi and min. E = 1,400,000psi.
 - B. LVL and PSL shall have a min. Fb = 2850psi; Fv = 285psi; E = 2,000,000psi.
 - C. Floor decking shall be 3/4" APA rated decking. Roof decking shall be APA rated decking. Wall sheathing shall be 5/8" APA rated sheathing. Glue and screw the floor decking to the joists with #8 screws at 6" O.C. at panel edges and 12" O.C. elsewhere. Place blocking between the joists below all splices in the decking perpendicular to the floor joists.
 - D. Interior wood walls shall be 2x4 studs at 16" O.C. and exterior walls shall be 2x6 studs at 16" O.C. with a double top plate and single bottom plate. Provide solid blocking at the midheight of each wall and at a minimum of 48" O.C. vertically. Place blocking between the studs behind all splices in the sheathing perpendicular to the studs.
 - E. Provide double joists under all walls to run parallel to floor framing.
 - F. Nail all multiple members together per the manufacturer's recommendations and at a minimum use 2-10d nails at 16" O.C. stagger sides that nails are driven from.
 - G. U.N.O. all members shall be fastened together per table R602.3(1).
 - H. Provide bridging at center of all joist spans Exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams.
 - I. Provide solid blocking below all wood posts.
 - J. All posts shall have Simpson Cap and Base Plates typ.
 - K. All joists shall have Simpson Hangers where applicable.
 - L. Glue all multiple studs together. Nail together with 2-10d nails at 3" O.C. Stagger the sides of the studs that the nails are driven from.
6. All lumber in contact with masonry or concrete or within 8" of soil shall be pressure treated.
 - A. All lumber to conform to IRC R317 and R318 for protection against corrosion and termite damage.
 - N. All lumber shall be kiln dried. Store lumber on site in such a manner as to prevent the seepage of water into the wood.
7. Wood Lintels shall be as follows:
 - Opening ≤ 3'-0" - 2x2x6
 - 3'-0" < Opening ≤ 5'-0" - 2x2x8
 - 5'-0" < Opening ≤ 8'-0" - 2x4x10
 - Greater than 8'-0" - See plans

- Fasteners:
- A. All prefabricated angles, bearing plates, and joist hangers shall be installed per the manufacturer recommendations.
 - B. Follow the manufacturer recommendations for setting epoxy bolts.
 - C. Expansion bolts shall be rawl power studs.
7. Masonry:
- A. Masonry construction shall be in conformance with the applicable sections of TMS 402-2016, "Building Code Requirements for Masonry Structures."
 - B. Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000psi and Fm - 1500psi.
 - C. All joints to be filled solid with mortar.
 - D. Mortar to comply with ASTM C270 (type M or S).
 - E. Provide corrugated masonry ties between brick facia and wood walls or cmu walls at 16" O.C. in each direction.
 - F. Provide 9ga truss style joint reinforcement @ 16" O.C. vertically.
 - G. Lintels shall be as follows:
 - Opening $\leq 3'-0"$ - $L4 \times 3\frac{1}{2} \times \frac{1}{2}$ LLV / 4" of wall
 - 3'-0" < Opening $\leq 7'-0"$ - $L6 \times 3\frac{1}{2} \times \frac{1}{2}$ LLV / 4" of wall.
 - Opening > 7'-0" - See Plan
8. Cast in place concrete:
- A. Concrete construction shall be in conformance with the applicable sections of ACI 318-19, "Part 3 - Construction Requirements."
 - B. Concrete shall have a minimum compressive strength at 28 days of 3000psi, UNO (unless noted otherwise).
 - C. All concrete shall be placed with a slump of 4" ($\pm \frac{3}{4}"$).
 - D. All concrete shall be normal weight, UNO.
 - E. All concrete exposed to weather shall have 6% $\pm$ 1% entrained air.
 - F. Contractor shall pour extra concrete to account for the deflection of the formwork to provide a flat finished surface.
 - G. Concrete cover for reinforcement shall be:
 - Columns and beams $\frac{3}{4}"$
 - Slabs $\frac{3}{8}"$
 - Footings 3"
9. Reinforcement:
- A. Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60ksi).
 - B. Welded wire fabric (wvf) shall conform to ASTM a185. Lap edges of wire fabric at least 6" in each direction.
10. Dimensions: The contractor shall field verify all dimensions prior to fabrication or structural components.
11. Coordination: The contractor shall coordinate all sleeves, duct openings and holes between trades. Any conduits or pipes embedded in concrete must be in accordance with ACI 318-19, chapter 6. Where sleeves are closely spaced in a group, the group shall be treated as an opening and reinforced accordingly. Submit drawings showing all opening sizes and locations for the approval by the structural engineer.

SF# 2 -	25 PCF
1/4 Decking -	1.7 PSF
3/4 Decking -	2.5 PSF
Asphalt Shingles -	2.5 PSF
Slate Shingles -	15 PSF
1/2 Drywall -	2.2 PSF
Insulation -	1.5 PSF
Sliding -	2.0 PSF
CMU -	87 PCF
Brick -	130 PCF
LIVE LOADS:	
DECK:	40PSF
ATTIC:	20PSF
FLOOR:	40PSF
BALCONY:	60PSF
BEDROOM:	40PSF
ROOF:	30PSF
WIND LOADS	
WIND SPEED:	Vult = 110
WIND LOAD IMPORTANCE FACTOR:	1.0
WIND EXPOSURE FACTOR:	B
WIND DESIGN PRESSURE:	11PSF
SNOW LOADS	
GROUND SNOW LOAD (PG):	30PSF
FLAT ROOF SNOW LOAD(PF):	30PSF
SNOW EXPOSURE FACTOR (CE):	0.9
SNOW IMPORTANCE FACTOR (I):	1.0
Deflection Limitations:	
Rafter:	L/240
Interior Walls and Partitions:	H/180
Floors and Plastered Ceilings:	L/360
All Other Structural Members:	L/240
Ext. Walls with plaster or stucco finishes:	L/360
Ext. Walls - Wind Loads with Brittle Finishes:	L/240
Ext. Walls - Wind Loads with Flexible Finishes:	L/120
SEISMIC DESIGN DATA:	
SEISMIC IMPORTANCE FACTOR (Ie):	1.0
SPECTRAL RESPONSE ACCELERATIONS:	
(S1):	20.0%
(Ss):	8.0%
(Sds):	
(Sd1):	33%
	18.7%
SEISMIC DESIGN CATEGORY:	B
SEISMIC SITE CLASSIFICATION:	D
SEISMIC COEFFICIENT (Cs):	0.05
SEISMIC MODIFICATION FACTOR (R):	6.5
BASE SHEAR:	1.9k
ANALYSIS PROCEDURE:	EQUIV. I
BASIC SFRS:	LIGHT F

25 PCF
1.7 PSF
2.5 PSF
2.5 PSF
15 PSF
2.2 PSF
1.5 PSF
2.0 PSF
87 PCF
130 PCF

40PSF
20PSF
40PSF
60PSF
40PSF
30PSF

Vult = 115mph; Vasd = 89mph
1.0
B
11PSF

30PSF
30PSF
0.9
1.0

L/240
H/180
L/360
L/240
L/360
L/240
L/120

1.0
20.0%
8.0%
33%
18.7%
B
D
0.05
6.5
1.9k
EQUIV. LATERAL FORCE
LIGHT FRAMED WALLS

apac engineering, inc
8555 16th St - Suite 200
silver spring, md 20910
301.565.0543

7319 Willow Ave Renovation

7319 Willow Ave - Takoma Park, MD

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PERMIT	-
Revision 1	-
CD	-
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Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 25427, Expiration Date: 7/17/26.

APPROVED

Montgomery County

Historic Preservation Commission

Karen Buntz

REVIEWED

By Dan Bruechert at 10:03 am, Sep 08, 2025

Structural Notes

S001

Foundation Plan

Scale: $\frac{1}{4}'' = 1'-0''$

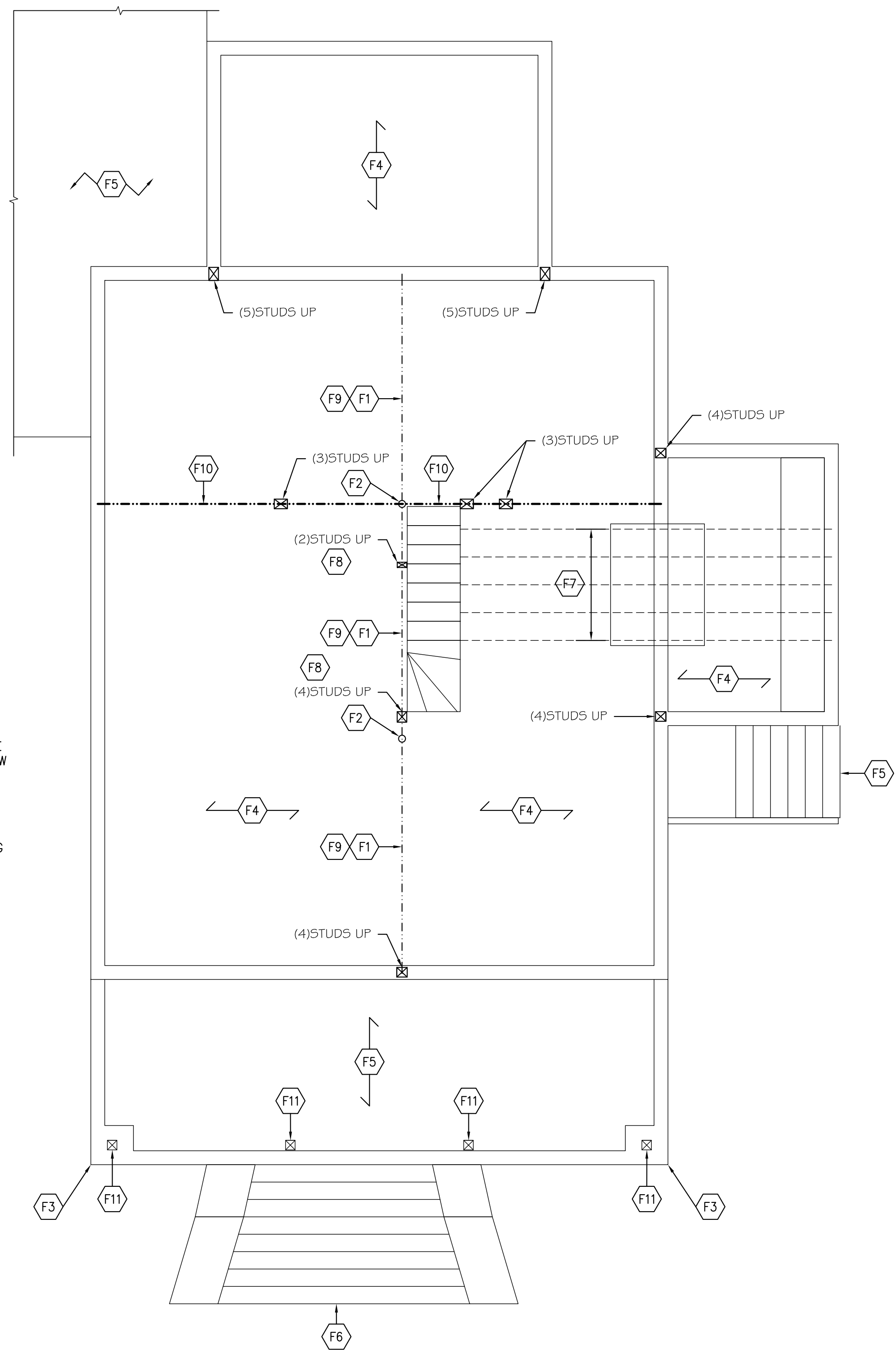
DIMENSIONS ARE SHOWN FOR
STRUCTURAL DESIGN PURPOSES
ONLY. DO NOT ORDER OR
FABRICATE MATERIALS BASED ON
THE DIMENSIONS SHOWN ON THE
STRUCTURAL PLANS.

- 1 EXISTING FOUNDATION WALL AND FOOTING. IF THE EXISTING WALL IS FOUND TO BOW INWARD BY $\frac{3}{8}$ " OR MORE, NOTIFY THE STRUCTURAL ENGINEER SO THAT REPAIR DETAILS CAN BE PROVIDED.
- 2 EXISTING COLUMN AND FOOTING.
- 3 EXISTING PIER AND FOOTING.
- 4 EXISTING FRONT PORCH, SIDE STOOP, OR DECK ABOVE UNCHANGED. THE EXISTING POSTS AND FOOTINGS ARE NOT SHOWN FOR CLARITY.

- | | |
|-----|--|
| F1 | EXISTING BEAM. |
| F2 | EXISTING COLUMN. |
| F3 | EXISTING PIER. |
| F4 | EXISTING 1ST FLOOR FRAMING. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A 2X10 OR A DOUBLE 2X8. |
| F5 | EXISTING FRONT PORCH FRAMING, SIDE STOOP FRAMING OR DECK FRAMING TO REMAIN UNCHANGED. |
| F6 | EXISTING STAIRS UNCHANGED. |
| F7 | OPTIONAL FRAMING PERFORMANCE UPGRADE. SISTER EACH EXISTING JOIST BELOW THE KITCHEN ISLAND OR COUNTER WITH A 2X10 OR A DOUBLE 2X8. PLACE BLOCKING BETWEEN THE MID-POINT OF THE SPAN. |
| F8 | VERIFY THAT THE POST ALIGNS WITH THE EXISTING STEEL BEAM. IF IT DOES, PLACE SQUASH BLOCKING BETWEEN THE TOP OF THE BEAM AND THE FLOOR DECKING BELOW THE POST. IF IT DOES NOT, PLACE TRIPLE 2X8 BLOCKING BETWEEN THE EXISTING JOISTS BELOW THE NEW POST. HANG THE BLOCKING FROM THE EXISTING JOISTS WITH SIMPSON HU-MAX HANGERS. |
| F9 | VERIFY THAT THE EXISTING 1ST FLOOR LOAD BEARING WALL ALIGNS WITH THE EXISTING STEEL BEAM. IF IT DOES, PLACE SQUASH BLOCKING BETWEEN THE TOP OF THE BEAM AND THE FLOOR DECKING BELOW ALL NEW DOOR JAMBS IN THE 1ST FLOOR BEARING WALL. IF IT DOES NOT, PLACE TRIPLE 2X8 BLOCKING BETWEEN THE EXISTING JOISTS BELOW THE NEW JAMBS IN THE 1ST FLOOR BEARING WALL. HANG THE BLOCKING FROM THE EXISTING JOISTS WITH SIMPSON HU-MAX HANGERS. |
| F10 | SISTER THE EXISTING DOUBLE JOIST WITH A 1"x9" STEEL FLUTCH PLATE AND A 1½"x9½" LVL. ATTACH THE LVL AND STEEL PLATE TO THE EXISTING DOUBLE JOIST WITH BOLTS PER THE TYPICAL FLUTCH PLATE FRAMING ELEVATION. |
| F11 | EXISTING POST. |

FRAMING NOTES:

1. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
2. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
3. ATTACH ALL QUADRUUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF $\frac{3}{4}$ " BOLTS AT 16" O.C. STAGGERED.
4. ALL BOLTS FOR WOOD FRAMING CONNECTIONS SHALL BE ASTM A307 BOLTS OR ALL-THREAD RODS WITH A NUT AND WASHER ON EACH SIDE OF THE CONNECTION.
5. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING AND PROPOSED STRUCTURAL ELEMENTS OF THE HOME.
6. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
7. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE WORK AREA FOR CRACKS AND DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
8. WHEN AN EXISTING MASONRY WALL IS ALTERED, INFILLED, RESTORED OR ADDED ON TO, USE BRICKS, BLOCKS, AND MORTAR THAT MATCH THE STRENGTH AND POROSITY OF THE EXISTING MASONRY.
9. TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
10. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
11. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
12. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
13. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS16 ON EACH SIDE.
14. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
15. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
16. TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HGUS HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH BEAM AND THE HANGER.
17. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT ARE PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE JOISTS BELOW THE WALLS AT 16" O.C.
18. ADD JOIST HANGERS TO ALL EXISTING FRAMING CONNECTIONS THAT ARE FOUND TO LACK THEM SUCH AS FRAMING AROUND PLUMBING STACKS, CHIMNEYS, OR THE EXISTING STAIRS.



1st Floor Framing Plan

Scale: $\frac{1}{4}" = 1'-0"$

APPROVED
Montgomery County
Historic Preservation Commission

Karen Bunkit

REVIEWED

By Dan Bruechert at 10:03 am, Sep 08, 2025

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509 albany avenue
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202.320.3867

apac engineering, inc
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7319 Willow Ave Renovation

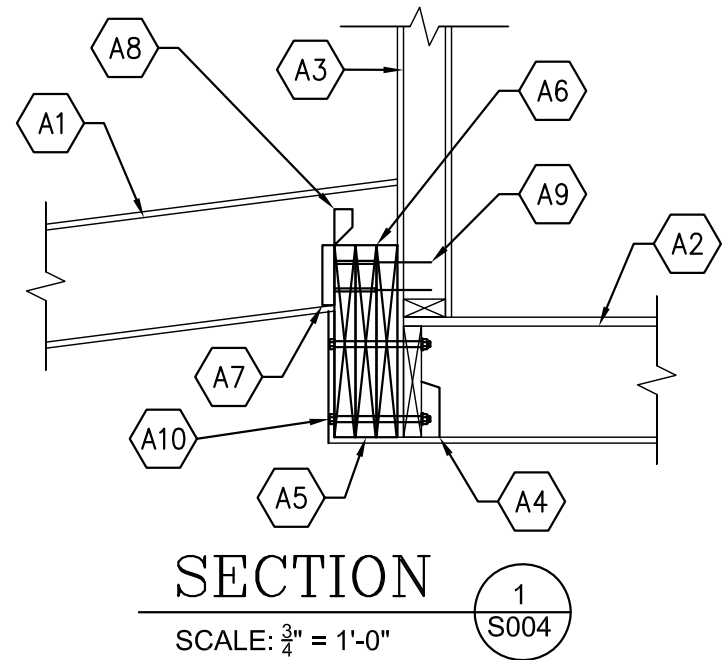
7319 Willow Ave - Takoma Park, MD

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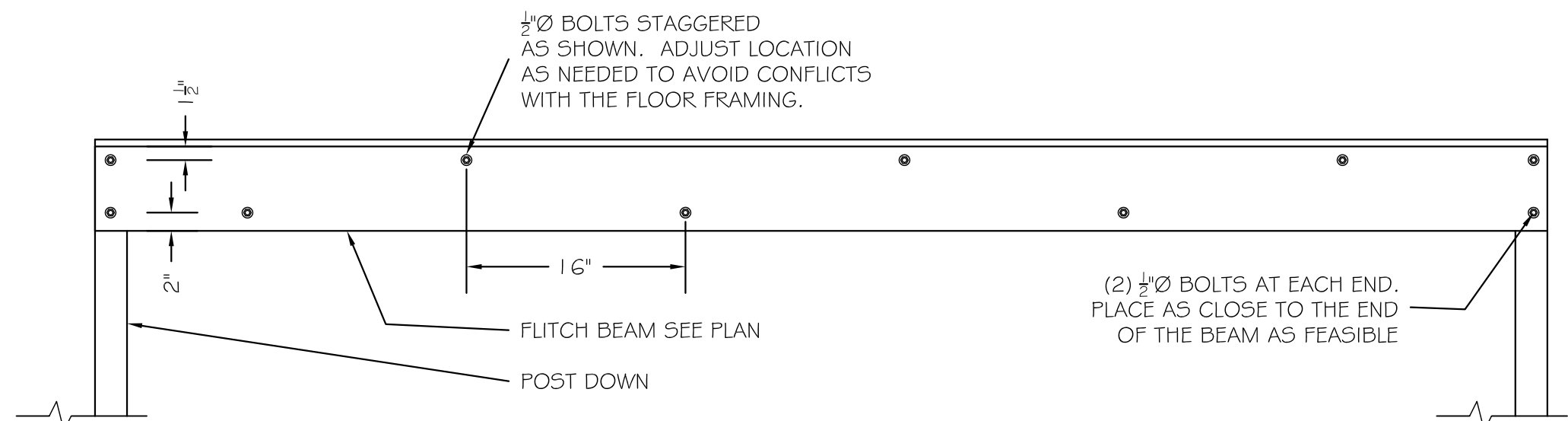
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 25427, Expiration Date: 7/17/26.

Structural Plans

S002

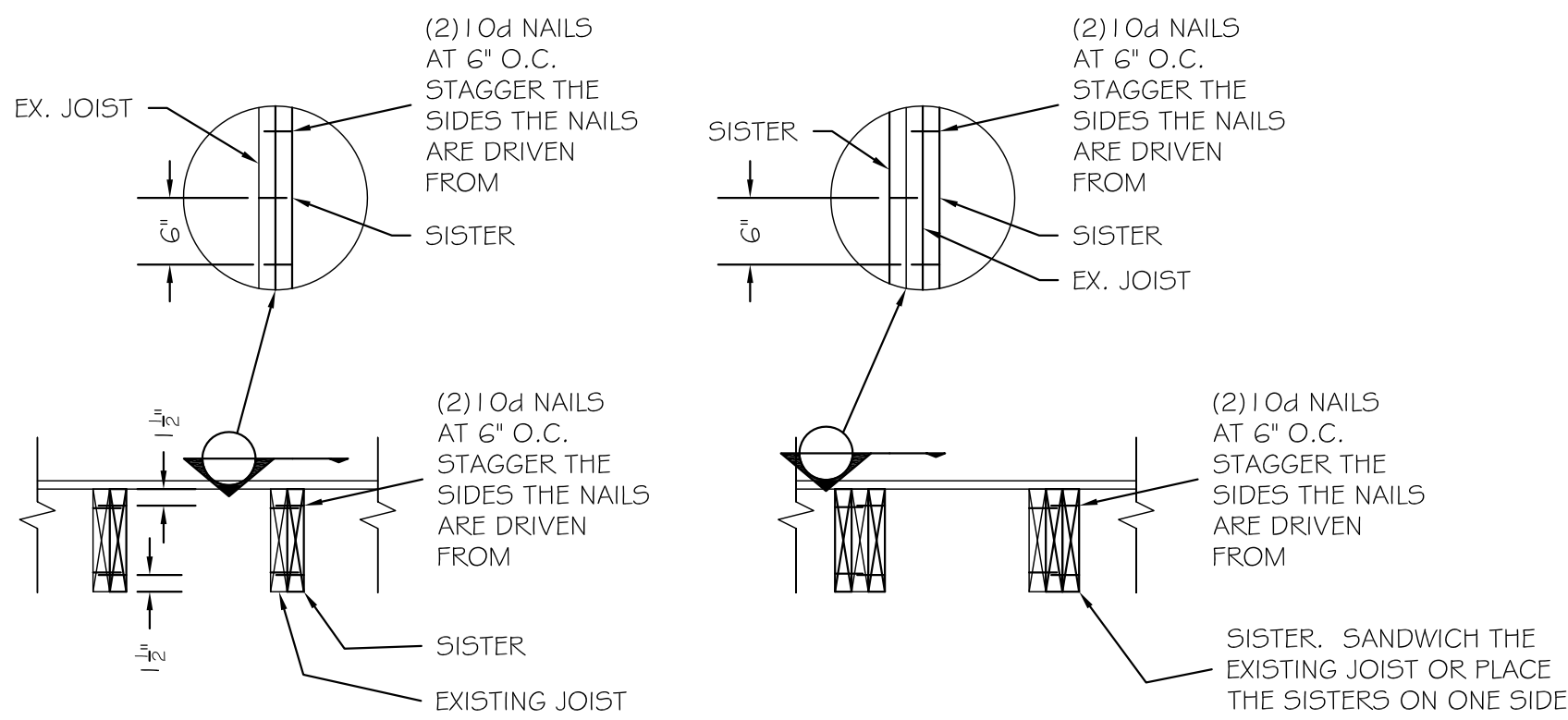


- A1 EXISTING RAFTERS.
A2 EXISTING 2ND FLOOR JOISTS.
A3 EXISTING EXTERIOR WALL.
A4 ATTACH EACH EXISTING JOIST TO THE EXISTING RIM BOARD WITH A SIMPSON LUS HANGER. USE AN OVERSIZED HANGER IF NEEDED.
A5 UPSET LVL BEAM PER THE FRAMING PLAN.
A6 NOTCH THE EXISTING RAFTERS AND PLACE THEM ON THE BEAM.
A7 ATTACH EACH EXISTING RAFTER TO THE BEAM WITH A SIMPSON L50 ON EACH SIDE OF THE RAFTER.
A8 ATTACH EACH EXISTING RAFTER TO THE BEAM WITH A SIMPSON H2.5A HURRICANE TIE.
A9 ATTACH THE LVL BEAM TO EACH EXISTING WALL STUD WITH (2) LEDGERLOK SCREWS. COUNTERSINK THE SCREWS IF NEEDED.
A10 ATTACH THE LVL BEAM TO THE EXISTING RIM BOARD WITH 3/4\"/>



Typical Fitchbeam Framing Elevation

Scale: NOT TO SCALE

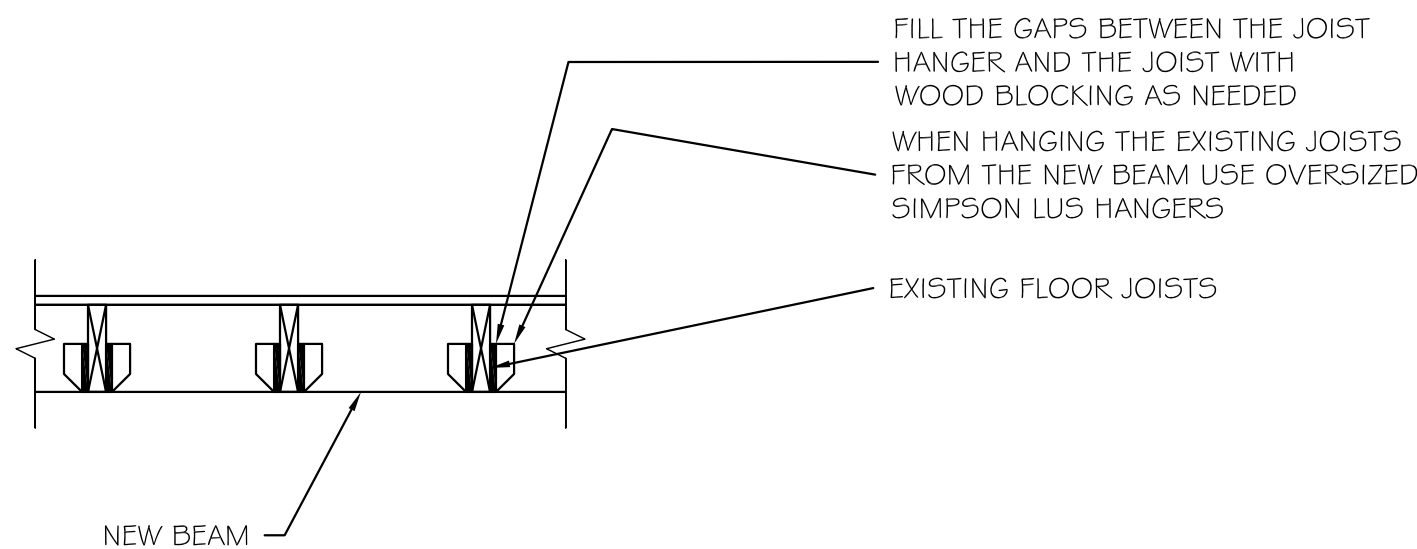


@Single Sister

@Double Sister

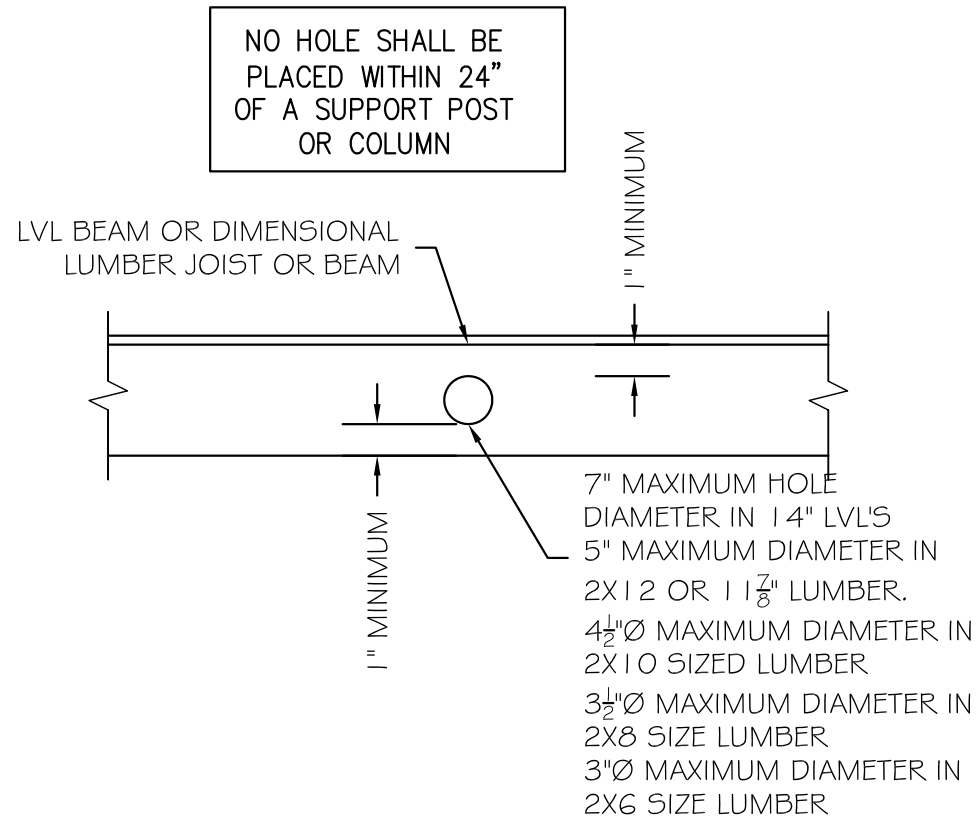
Typical Sistering Details

Scale: NTS



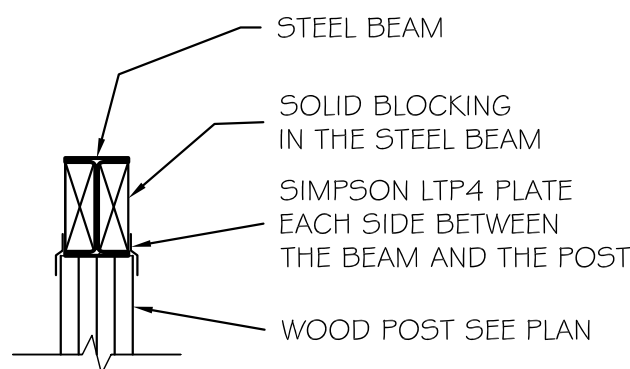
Typical Ex. Joist to New Beam Detail

Scale: 3/4\"/>



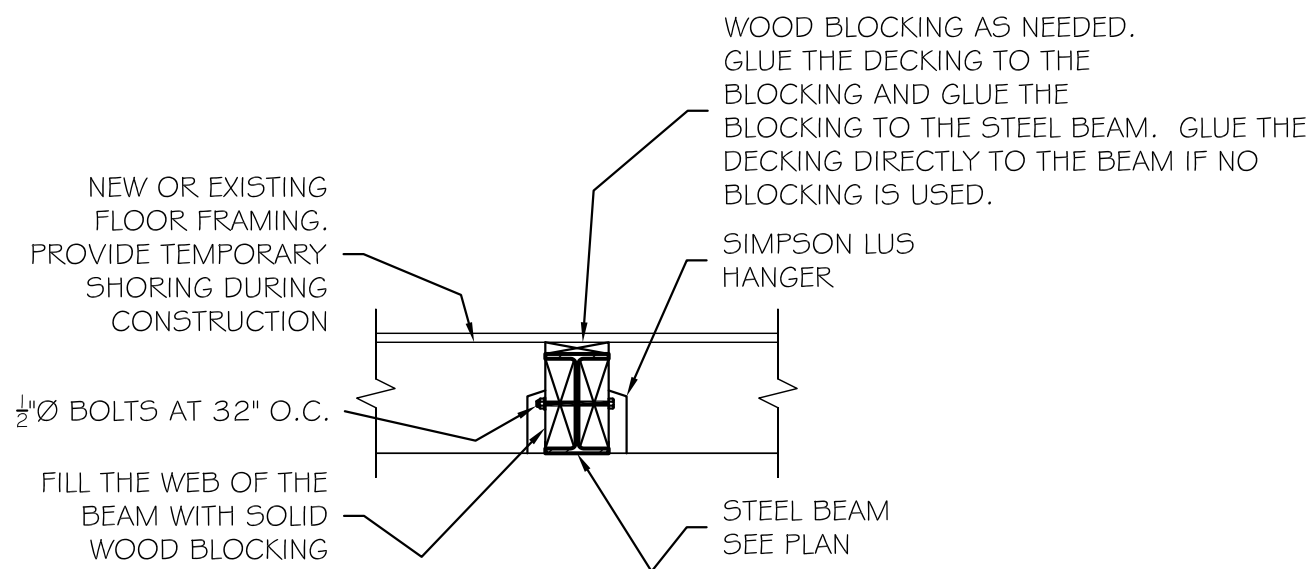
Typical Detail at Holes in LVL's or Dimensional Lumber Beams or Joists

Scale: NOT TO SCALE



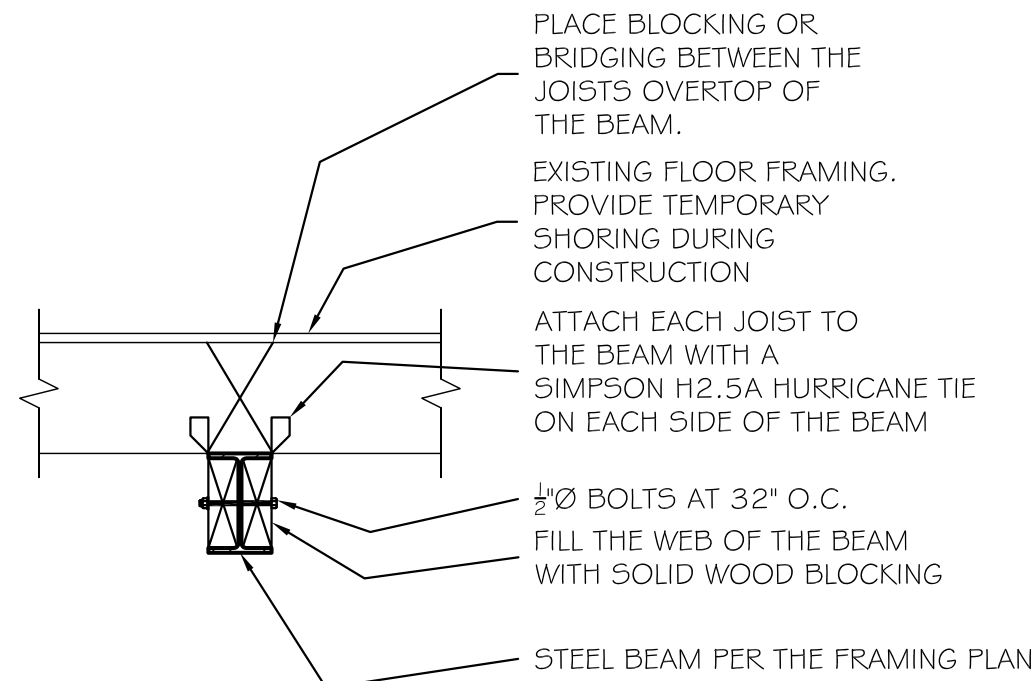
Typical Steel Beam to Wood Post Detail

Scale: 3/4\"/>



Typical Wood Joist to Steel Beam Details

Scale: 3/4\"/>



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7319 Willow Ave Renovation

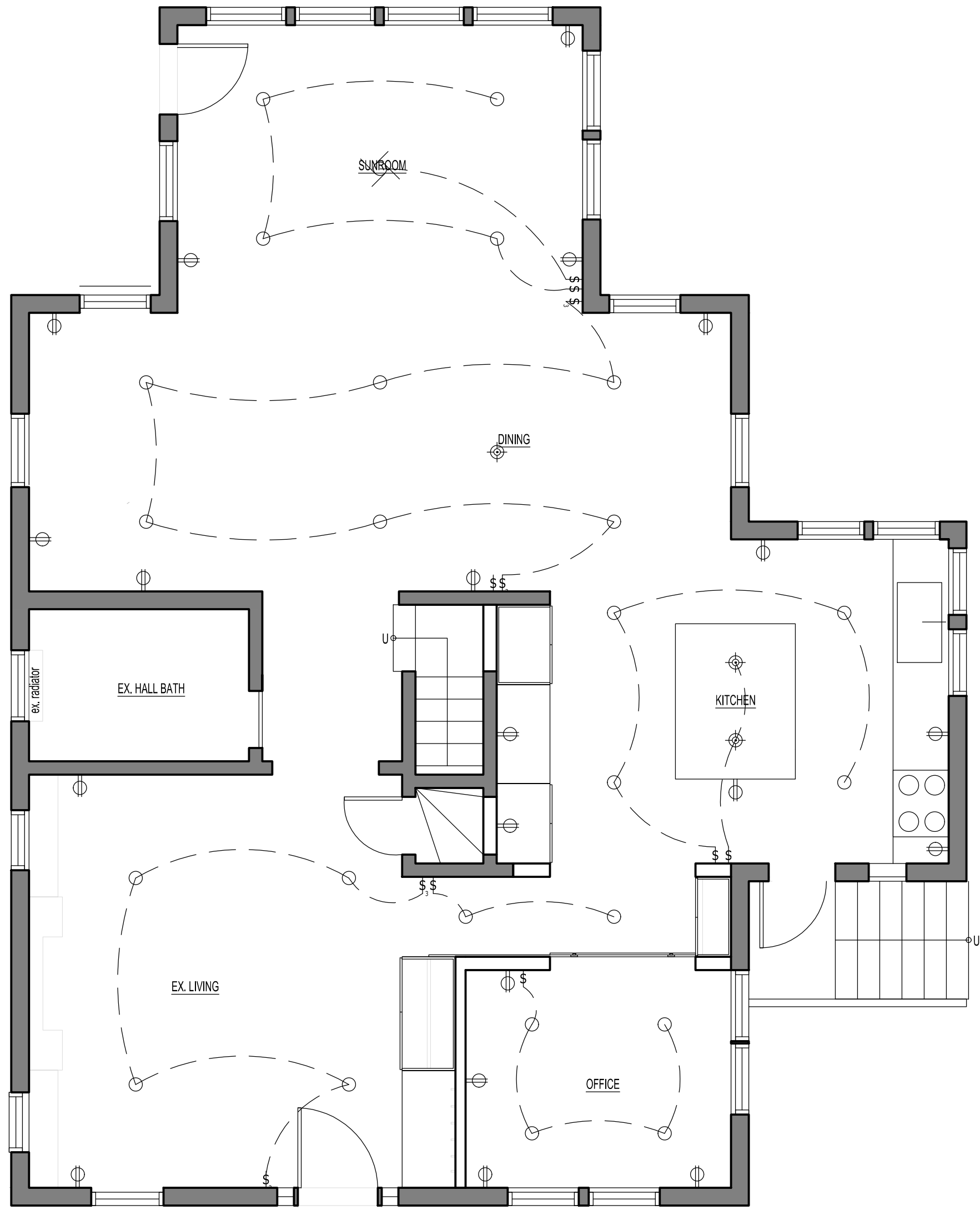
7319 Willow Ave - Takoma Park, MD

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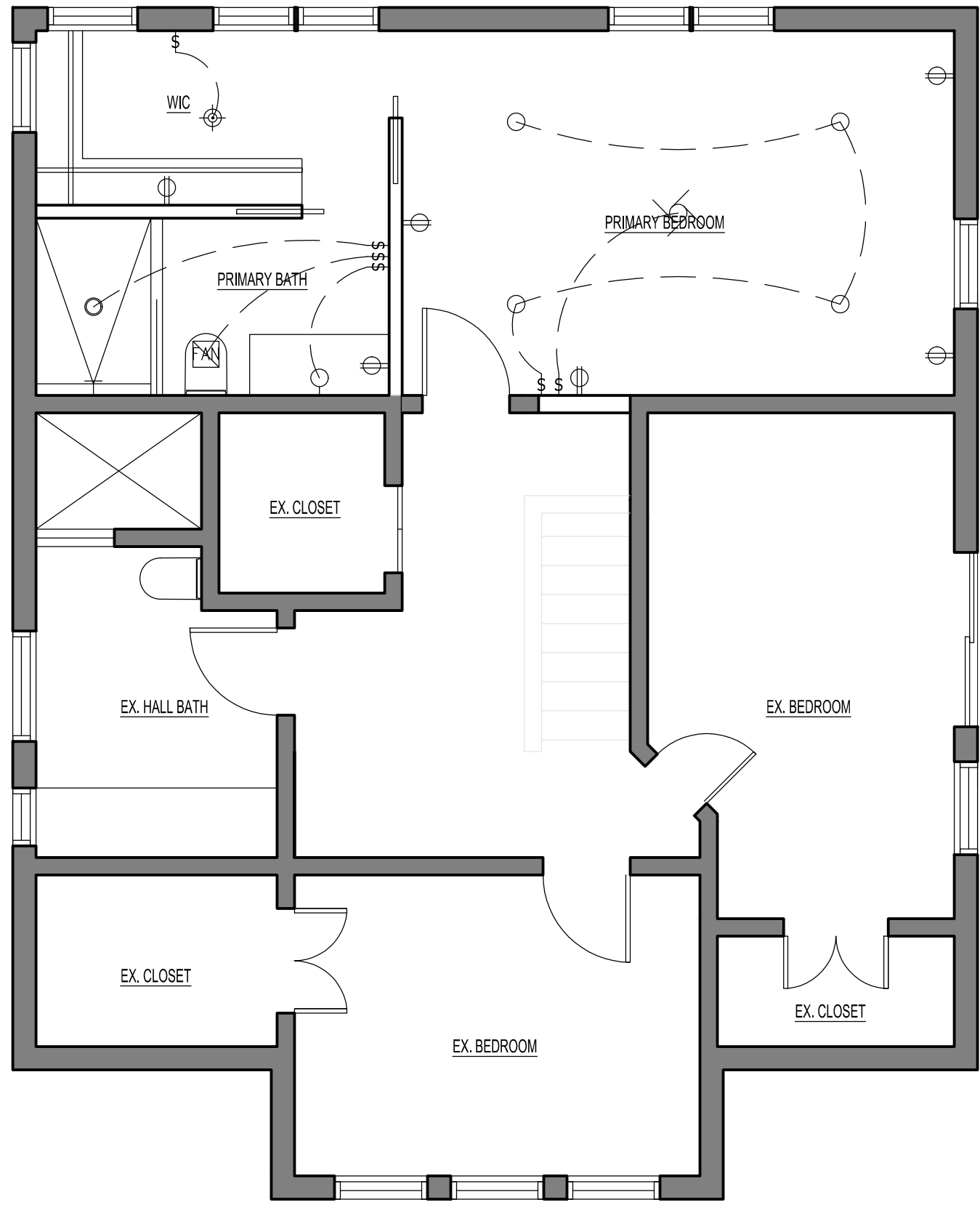
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Structural Details

S004



1 FIRST LEVEL POWER & LIGHTING PLAN
E100 1/4" = 1'-0"



2 SECOND LEVEL POWER & LIGHTING PLAN
E100 1/4" = 1'-0"

SYMBOL	MANUFACTURER	DESCRIPTION	LAMPING	FINISH	DIMMER	REMARKS
⊗	TBD	SURFACE MOUNT FIXTURE	LED		YES	INSTALLATION ONLY FIXTURE BY OWNER
⊕	TBD	PENDANT LIGHT	LED		YES	INSTALLATION ONLY FIXTURE BY OWNER
○	TBD	4" RECESSED DOWNLIGHT; WET LOCATION	LED		YES	
○	TBD	4" RECESSED DOWNLIGHT;	LED		YES	
⊙	TBD	4" RECESSED FRAMELESS DIRECTIONAL LIGHT; WET LOCATION	LED		YES	
⊙	TBD	4" RECESSED FRAMELESS DIRECTIONAL LIGHT	LED		YES	
—	TBD	STRIP LIGHT	LED		YES	
⊙	TBD	WALL SCONCE	LED		YES	INSTALLATION ONLY FIXTURE BY OWNER
⊗	TBD	CEILING FAN				INSTALLATION ONLY FIXTURE BY OWNER
⊗	TBD	SMOKE DETECTOR				
⊗	TBD	GARBAGE DISPOSAL				INSTALLATION ONLY FIXTURE BY OWNER
FXN	PANASONIC	WHISPER GREEN CEILING FAN			DRY/WALL PRO TRIMLESS VENT	INSTALLATION ONLY FIXTURE BY OWNER
≡	INFRA TECH	W4024SS/ FLUSH MOUNT FRAME				INSTALLATION ONLY FIXTURE BY OWNER

- ⊗ SINGLE POLE TOGGLE DIMMER SWITCH, 125V, 15 OR 20 AMP +48" AF.F.
- ⊗ THREE WAY DIMMER SWITCH, 125V, 15 OR 20 AMP +48" AF.F.
- ⊗ DUPLEX RECEPTACLE, 125V, 15 OR 20 AMP +18" AF.F.
- ⊗ DUPLEX RECEPTACLE ABOVE COUNTER, 125V, 15 OR 20 AMP +44" AF.F.
- ⊗ DUPLEX RECEPTACLE WITH BUILT IN GROUND FAULT PROTECTOR, 125V, 20 AMP +44" AF.F U.O.N..
- ⊗ DUPLEX COUNTERTOP RECEPTACLE WITH BUILT IN GROUND FAULT PROTECTOR, 125V, 20 AMP +44" AF.F U.O.N..

*ELECTRICAL WORK TO COMPLY WITH LOCAL CODE

wakako tokunaga architecture
509 albany avenue
takoma park, md 20912
202 320 3867

7319 WILLOW AVE.,
RENOVATION

7319 Willow Avenue, Takoma Park, MD 20912

REVIEW	-
PERMIT	-
BID	-
CD	07-31-2025

REGISTRATION

Professional Certification:
I certify that these documents were prepared or
designed by me, and that I am a duly licensed architect
under the laws of the State of Maryland.
License number: 0796, expiration date: 5/31/2025.

POWER & LIGHTING
PLAN

E100

APPROVED

Montgomery County

Historic Preservation Commission

Karen Bruechert

REVIEWED

By Dan Bruechert at 10:03 am, Sep 08, 2025

HAWP APPLICATION PHOTOS
7319 Willow Avenue
Takoma, Park MD

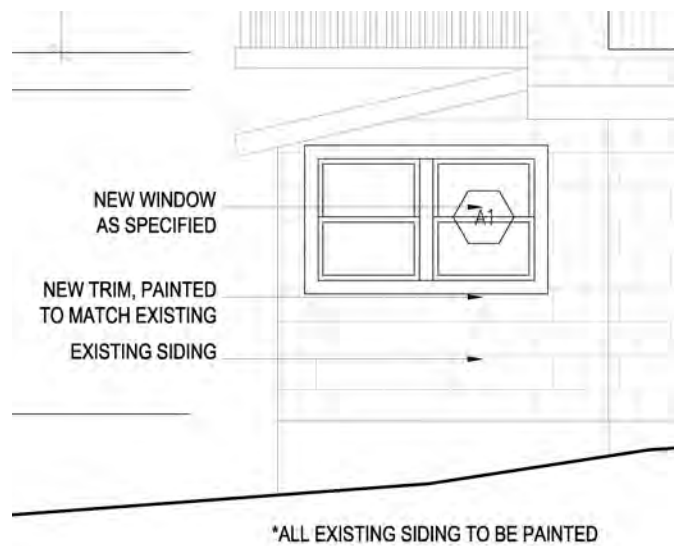
EXTERIOR PHOTOS



REVIEWED

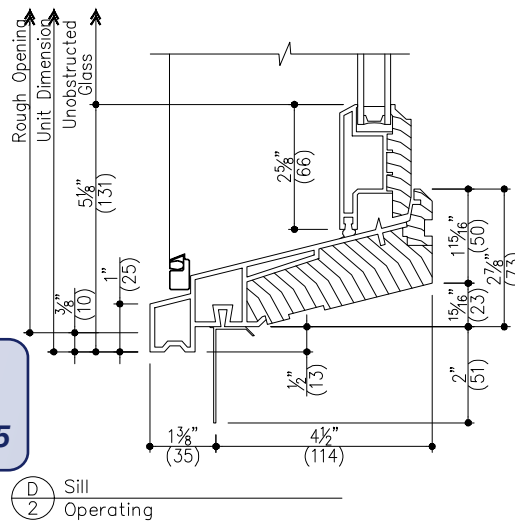
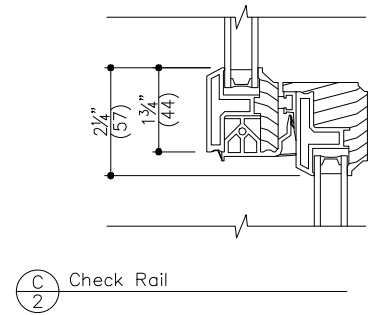
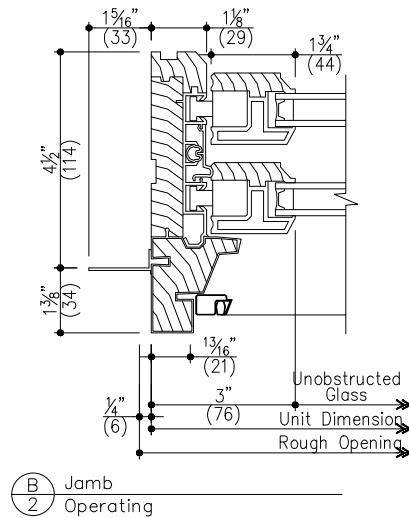
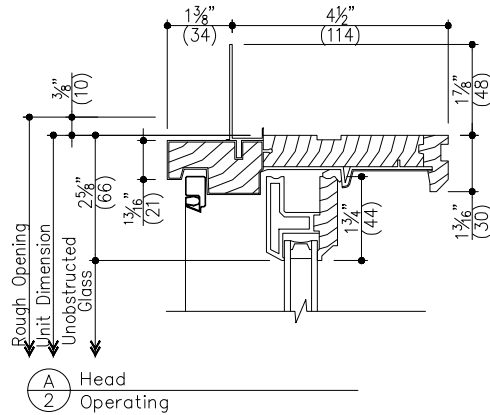
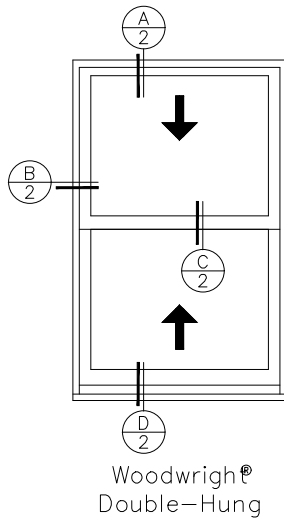
By Dan Bruechert at 10:03 am, Sep 08, 2025

INTERIOR PHOTO



400 SERIES

Woodwright Double-Hung Full-Frame Windows



APPROVED

Montgomery County

Historic Preservation Commission

Karen Buelit

REVIEWED

By Dan Bruechert at 2:52 pm, Sep 08, 2025

Notes:

Details have been optimized for use in architectural software and do not match manufacturing specifications.
Dimensions are in inches and millimeters.

Accessories

Andersen Windows, Inc. reserves the right to change drawing specifications without notice

10/04/16

Date: 3" (76) = 1'

Scale: None

File:	AW	Series	400	Sections	Woodwright	Page	01 of 06
							06