



The Bouzi Interior Remodel

10210 Capitol View Ave
Silver Spring, MD 20910

Floor	Existing S.F.
Second Floor	480
First Floor	1,314
Basement	456
Total	2,250



"Professional Certification.
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8/23/2025

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General Notes

- Contractors to verify all dimensions, elevations, and existing conditions prior to ordering of supplies/materials and prior to initiating construction. When a discrepancy or an error or omission is identified, the contractor shall comply with code and immediately notify the Owner and Wye Home Designs, LLC for proper adjustments.
- It is the responsibility of all contractors to coordinate their work with all other trades involved.
- Store all materials in such a manner as not to over stress or damage any structure or material during construction.
- Do not scale drawings to determine dimensions. Contact the designer prior to construction.
- Details are generally typical and are not always limited to those specific areas. Review any detail questions or conflicts with Wye Home Designs, LLC prior to construction.
- All interior walls are to be 2x4 studs at 16" O.C. unless noted otherwise. All exterior walls are as follows:
 - Walls up to 8'-1" - 9'-0" high -- 2x6 @ 16" O.C. (UNO)
 - Walls above 9'-1" - 9'-11" high -- 2x6 @ 16" O.C. (UNO)
 - Walls above 10'-0" -- see structural drawings
- Dimensional lumber used for all framing, except trusses, studs, sole plates, and cap plates shall be S.P.F. No. 2 or better.
- Dimensional lumber used for wall studs, sole plates, and cap plates shall be KD SPF.
- All dimensional lumber shall have a maximum moisture content of 5-14%.
- All interior dimensions are interior stud to interior stud unless otherwise noted. Stud width for 2x4 is 3-1/2". All exterior dimensions are from outside bearing edge of stud exterior unless otherwise noted.
- All bedroom windows must meet emergency egress code requirements.
- Number of treads and risers at exterior stairs to be determined by contractor according to site conditions.
- Air space behind masonry veneer is to be kept clean and free of debris to allow for proper draining to weep holes.
- Sub flooring shall be 3/4" tongue and groove exterior grade.
- All gluing and nailing shall be per code.
- Contractors to provide required flashing and take necessary precautions to ensure that the house will be water tight. All flashing is to be lapped a min. of 6" to form a continuous barrier and sealed with an approved material. When flashing is not continuous, such as over an opening, turn ends of flashing up to form a dam.
- Provide blocking as required in walls and ceilings to anchor all wall and ceiling mounted items.
- All dissimilar floor materials shall meet under the center of the door leaf unless noted otherwise.
- All wood in contact with masonry is to be pressure treated.
- Center footings on the column centerlines.
- Encase all steel columns, bearing plates and anchor bolts below slab grade with a minimum 3" concrete cover.
- All mechanical and plumbing requirements shall be verified prior to beginning construction.
- Contractor to size heating and cooling load per local codes, climate conditions, and building orientation.
- All codes and design loads per IRC 2021 code and local county codes. Any discrepancies should be reported to Wye Home Designs, LLC.
- These plans and notes are the property of Wye Home Designs, LLC. Use of these plans and/or any portion within without written consent of Wye Home Designs, LLC is prohibited.

Design Loads

Topic	Value(s)
IRC	2021 and Local
Walls	KD SPF
Floor Joists	Dimensional
First Floor	40 P.S.F. live load 10 P.S.F. dead load
Sleeping Rooms	30 P.S.F. live load 10 P.S.F. dead load



Second Floor
Roof
Roof Snow L
Wind Speed
Seismic Desi
Weathering
Frost Depth
Termites
Decay
Winter Desig

Ice Barrier Underlayment	Yes
Assumed Soil	2000 P.S.F.
Concrete	3000 P.S.F.
Concrete	

REVIEWED

By Devon.Murtha at 12:27 pm, Sep 18, 2025

Wye Home Designs, LLC

Doug Gunn
(410) 924-7856
wyehomedesigns@gmail.com

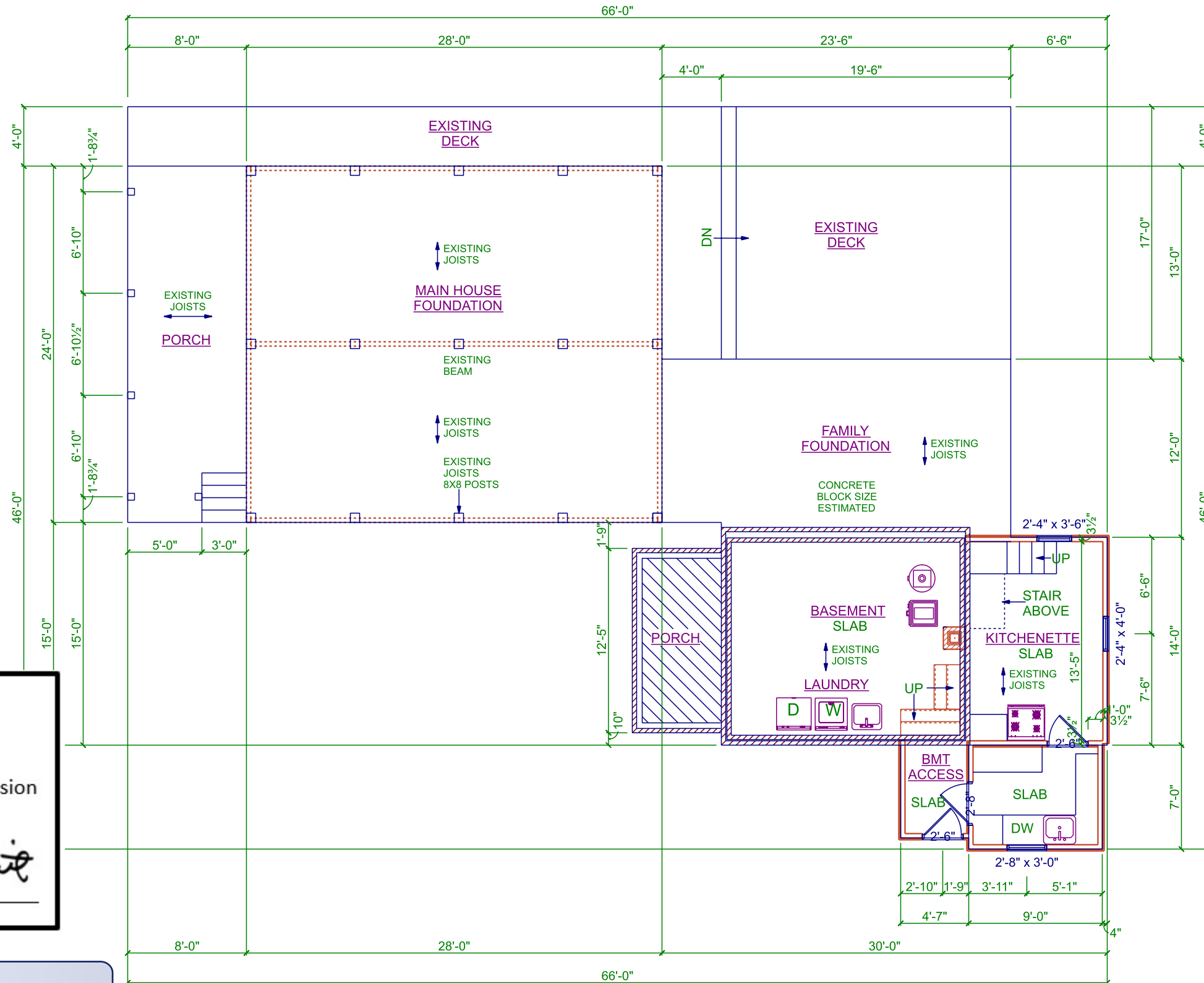
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The Bouzi Residence

1'0"

Karen Benoit

CONTRACTORS TO VERIFY
ALL DIMENSIONS PRIOR TO ORDERING
MATERIALS AND PRIOR TO CONSTRUCTION

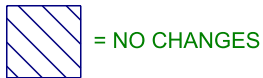


LIVING AREA = 456 S.F.



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2 of 9



NOTE: TYPICAL HEADERS
(3) 2X10 SYP #2
WITH 1/2" PLYWOOD SPACERS
UNLESS NOTED OTHERWISE

NOT ALL
ANY
SAM
WILL

NOT ALL
WILL
MATERIALS
AND PRIOR TO CONSTRUCTION

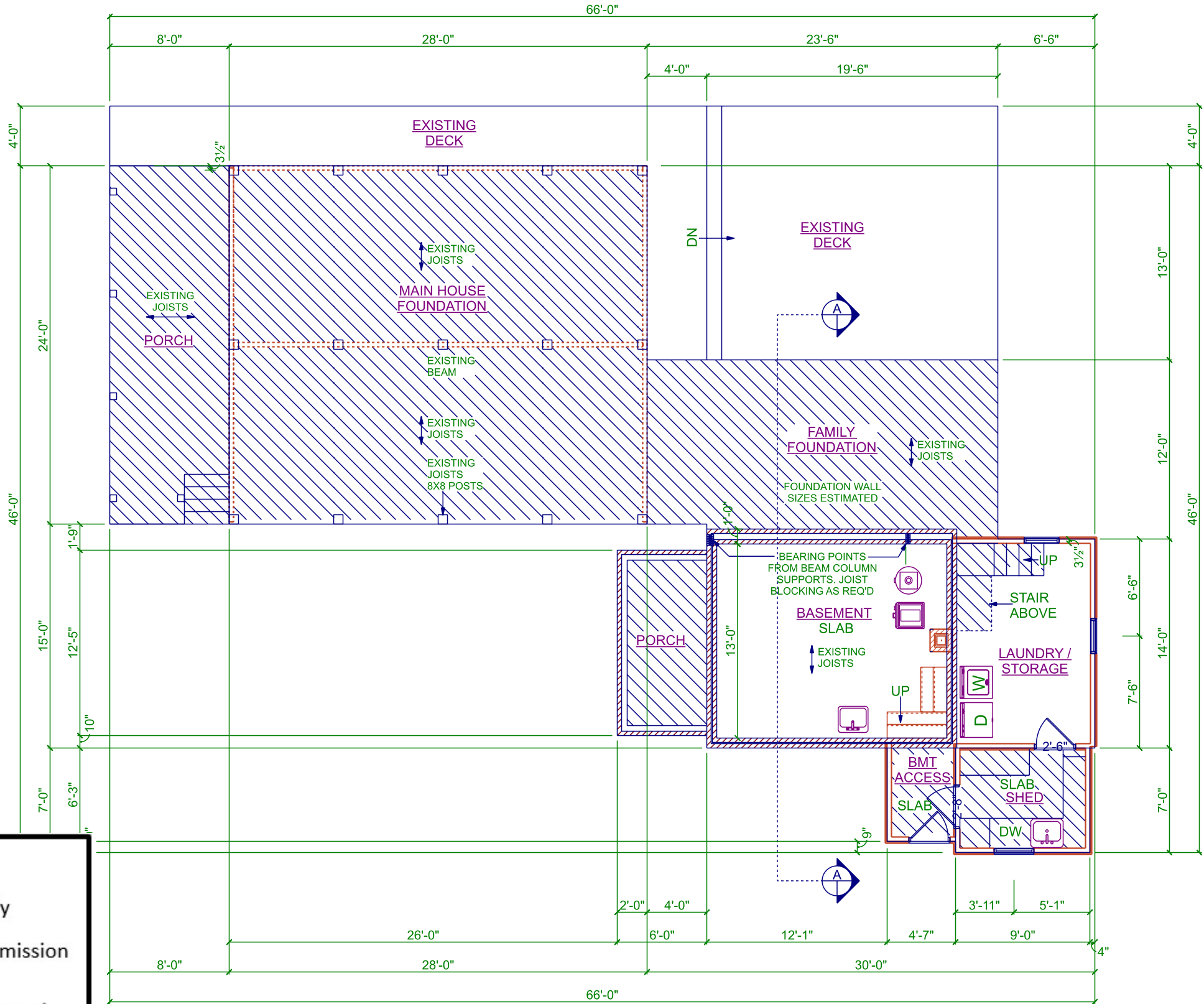
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Montgomery County

Historic Preservation Commission

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Queenstown, MD 21658

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Date: 8/23/2025

Scale:

1/8" = 1' 0"

BASEMENT - REMODEL

Sheet Name

A-102

Sheet Number

3 of 9

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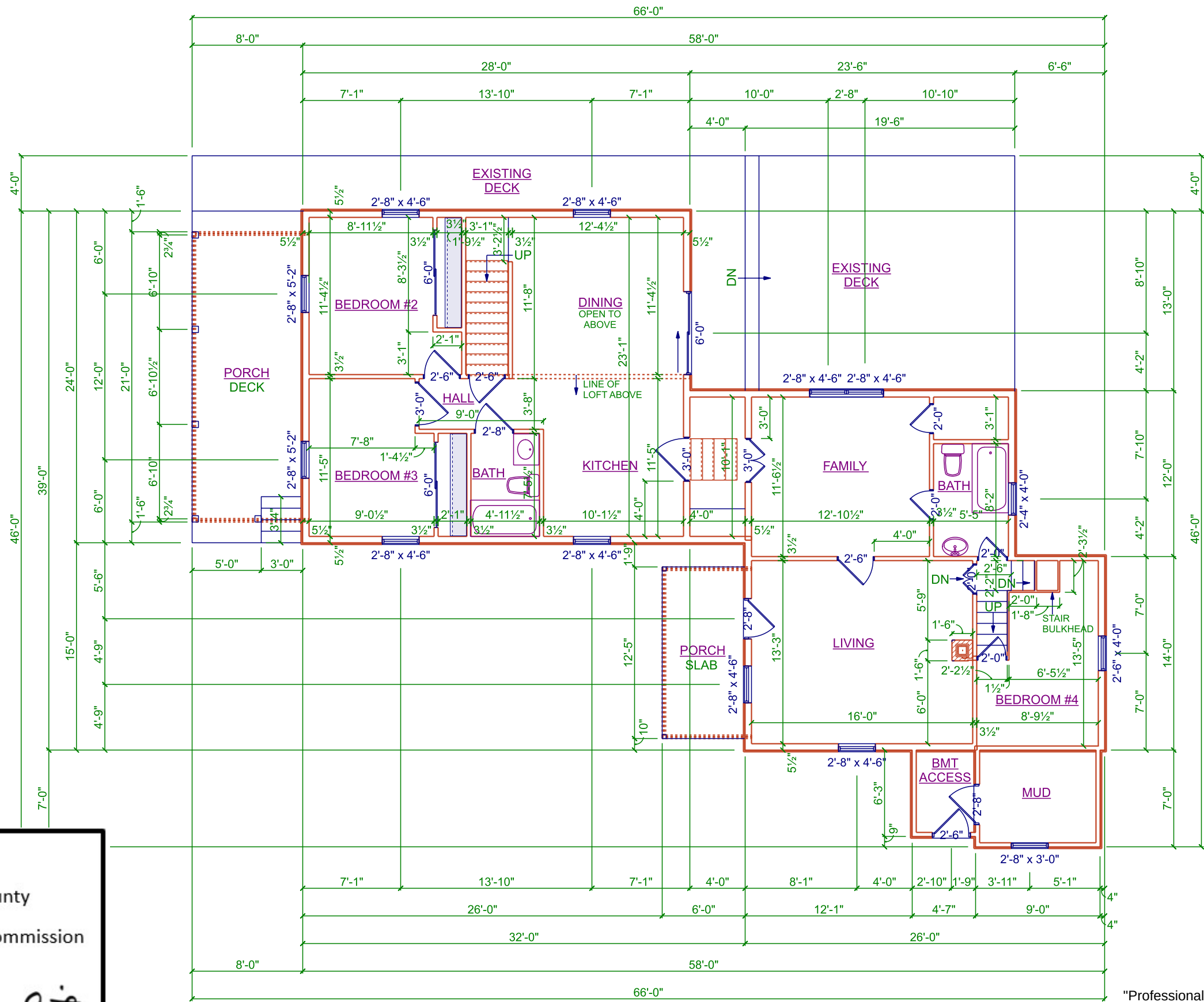
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MATERIALS AND PRIOR TO CONSTRUCTION

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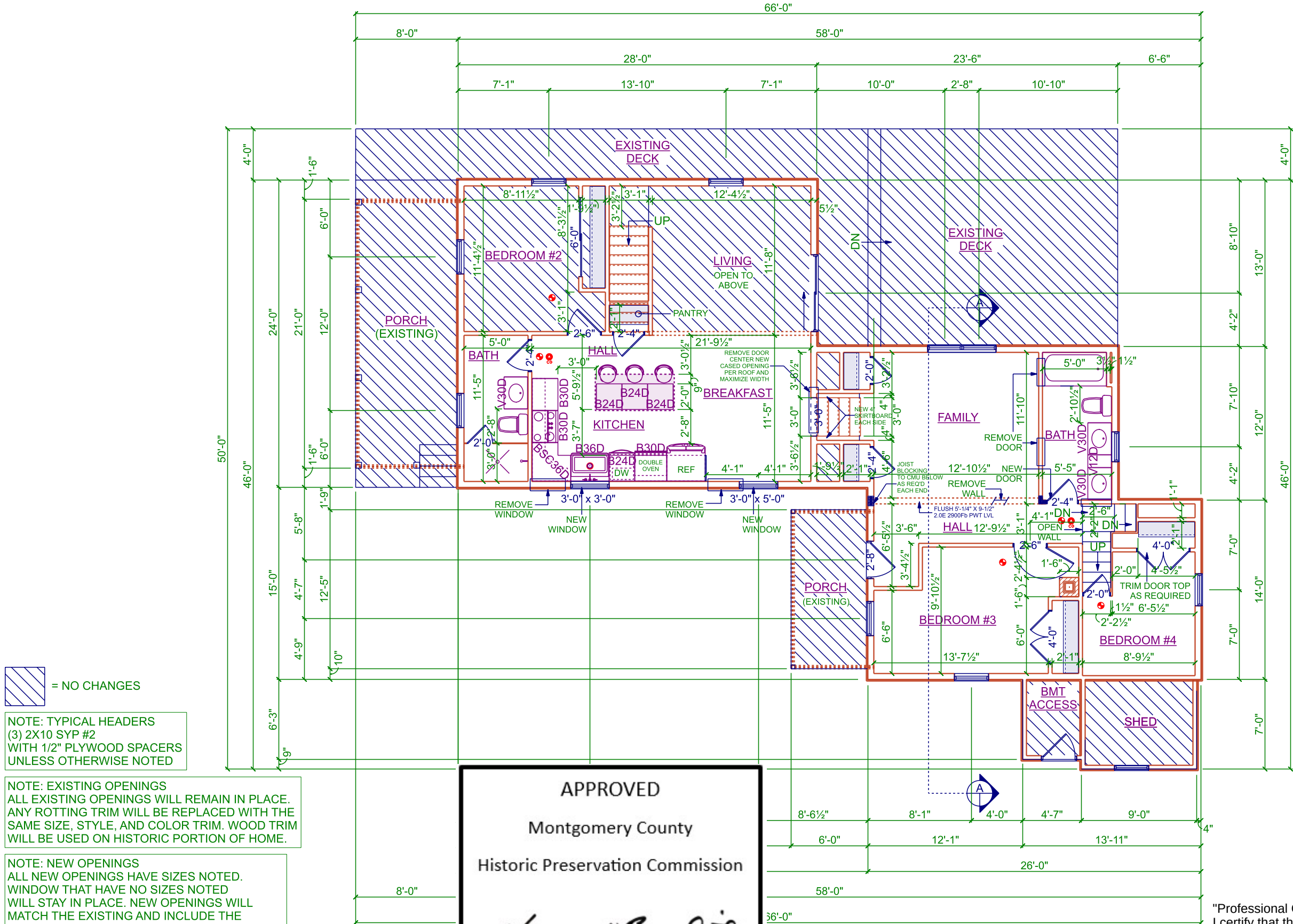


LIVING AREA = 1,314 S.F.



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Wye Home Designs, LLC		Doug Gunn (410) 924-7856 wyehomedesigns@gmail.com		P.O. Box 95 Queenstown, MD 21658	
The Bouzi Residence					
Date: 8/23/2025		Scale: 1/8" = 1' 0"		FIRST FLOOR - EXISTING	
Sheet Name		A-103		Sheet Number	
				4 of 9	



 = NO CHANGES

NOTE: TYPICAL HEADERS
(3) 2X10 SYP #2
WITH 1/2" PLYWOOD SPACERS
UNLESS OTHERWISE NOTED

NOTE: EXISTING OPENINGS
ALL EXISTING OPENINGS WILL REMAIN IN PLACE.
ANY ROTTING TRIM WILL BE REPLACED WITH THE
SAME SIZE, STYLE, AND COLOR TRIM. WOOD TRIM
WILL BE USED ON HISTORIC PORTION OF HOME.

NOTE: NEW OPENINGS
ALL NEW OPENINGS HAVE SIZES NOTED.
WINDOW THAT HAVE NO SIZES NOTED
WILL STAY IN PLACE. NEW OPENINGS WILL
MATCH THE EXISTING AND INCLUDE THE
SAME TRIM SIZE, STYLE, MATERIAL AND COLOR

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Historic Preservation Commission


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LIVING AREA = 1,314 S.F.



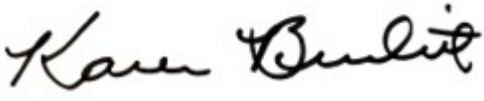
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Date: 8/23/2025		Scale: 1/8" = 1' 0"	
FIRST FLOOR - REMODEL			
Sheet Name A-104		Sheet Number 5 of 9	

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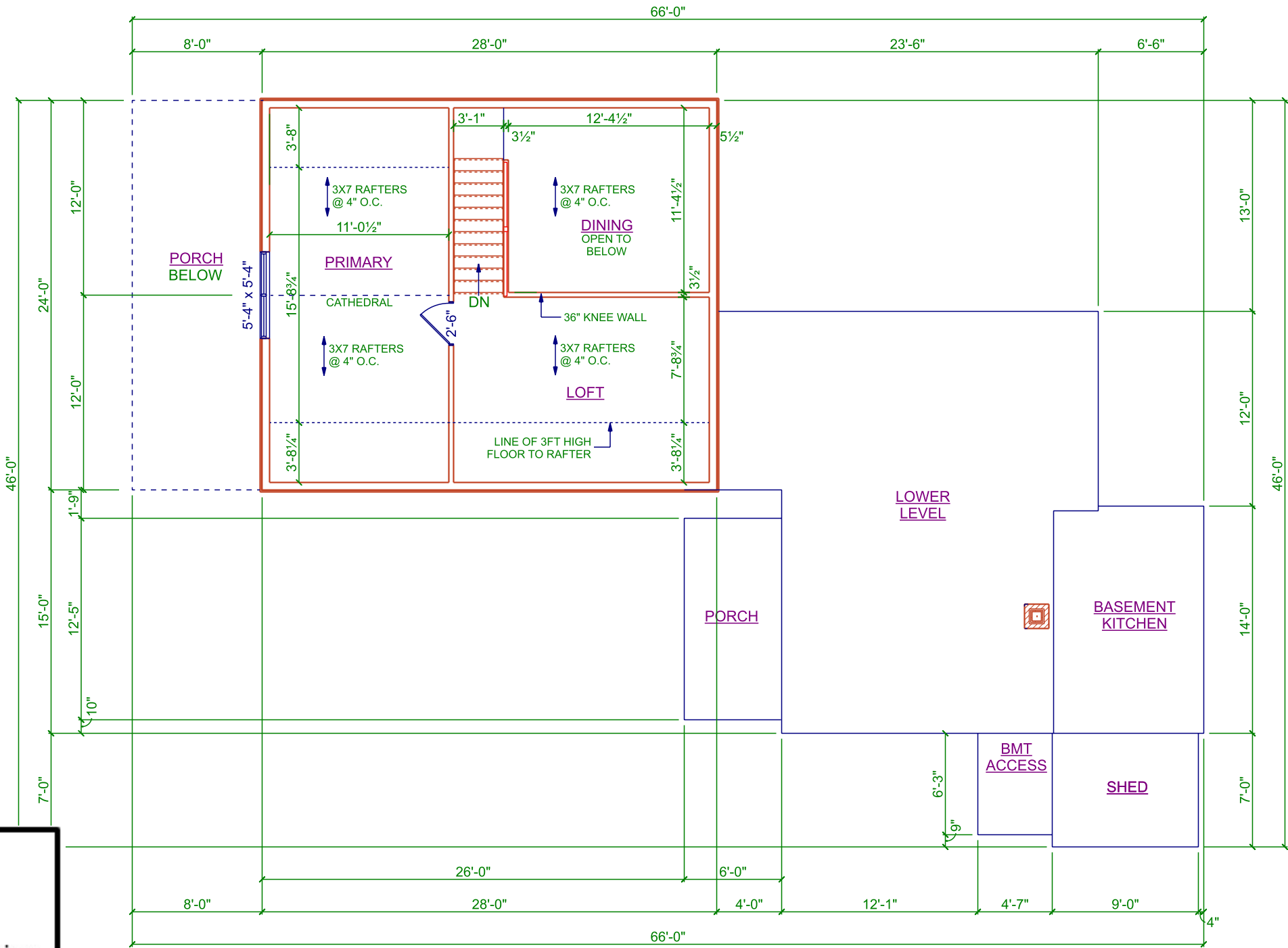
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FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION

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SECOND FLOOR - EXISTING

Sheet Name

A-105

Sheet Number

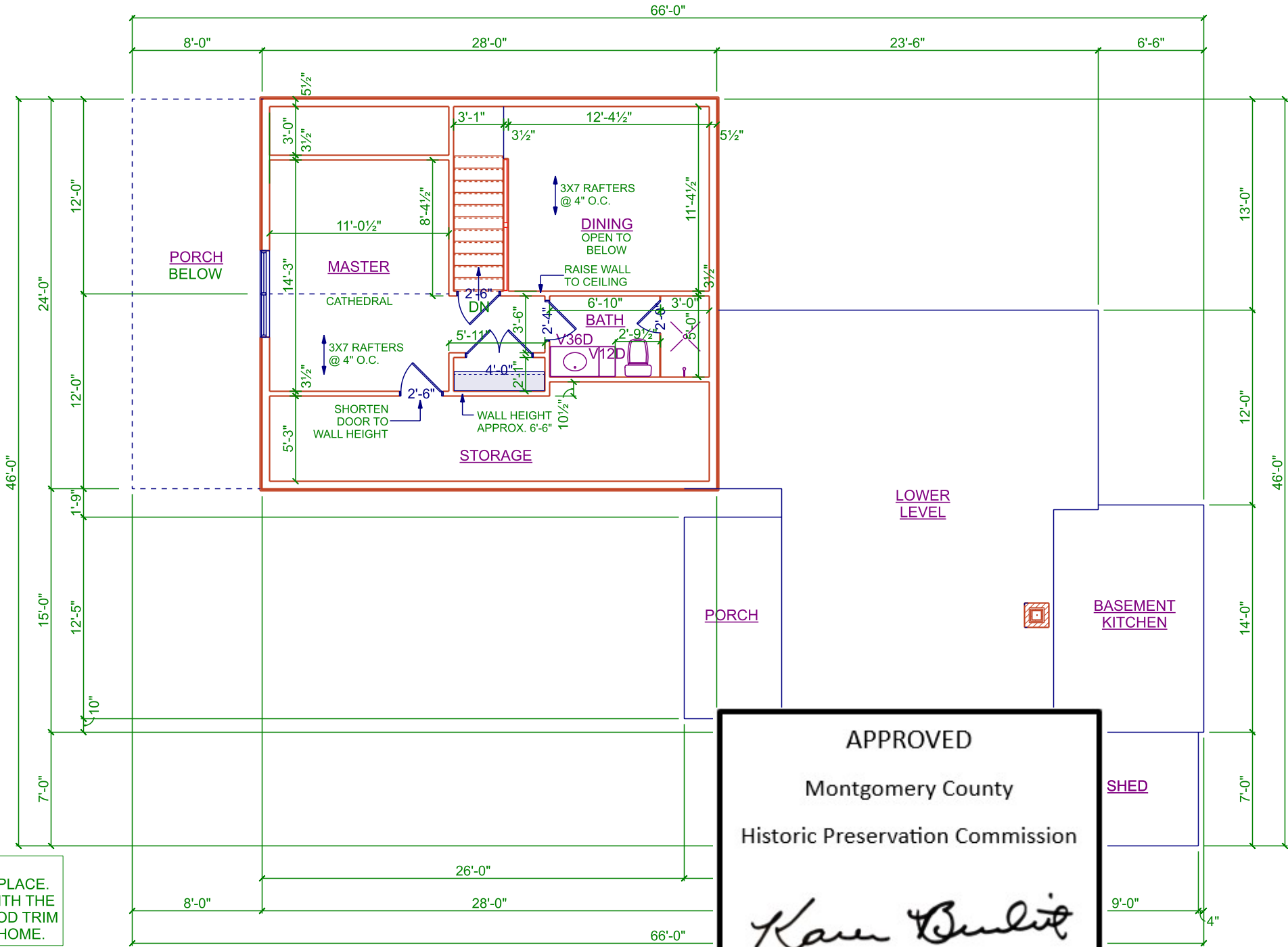
6 of 9

NOTE: TYPICAL HEADERS
(3) 2X10 SYP #2
WITH 1/2" PLYWOOD SPACERS
UNLESS OTHERWISE NOTED

NOTE: EXISTING OPENINGS
ALL EXISTING OPENINGS WILL REMAIN IN PLACE.
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Queenstown, MD 21658

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Date: 8/23/2025
Scale: 1/8" = 1' 0"

SECOND FLOOR - REMODEL

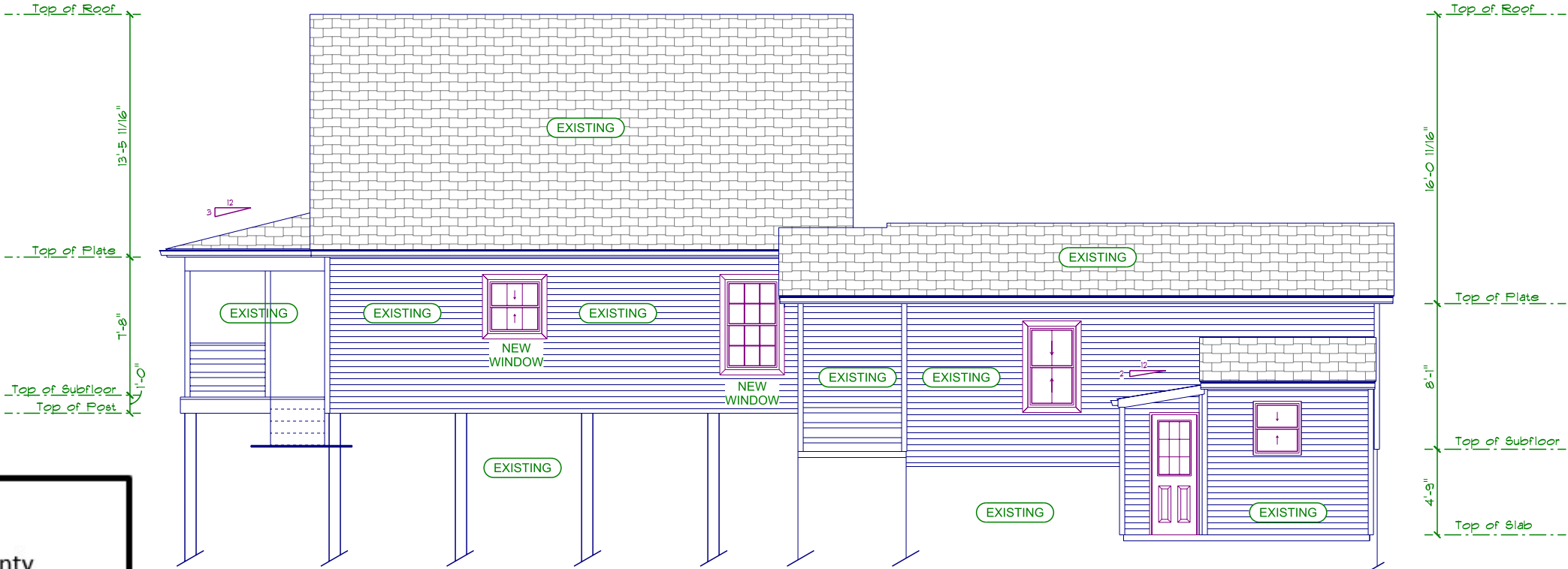
Sheet Name

A-106

Sheet Number

7 of 9

Approved windows are 3/3 and 6/1 double hung wood sash windows. 6/6 windows as shown are NOT approved.



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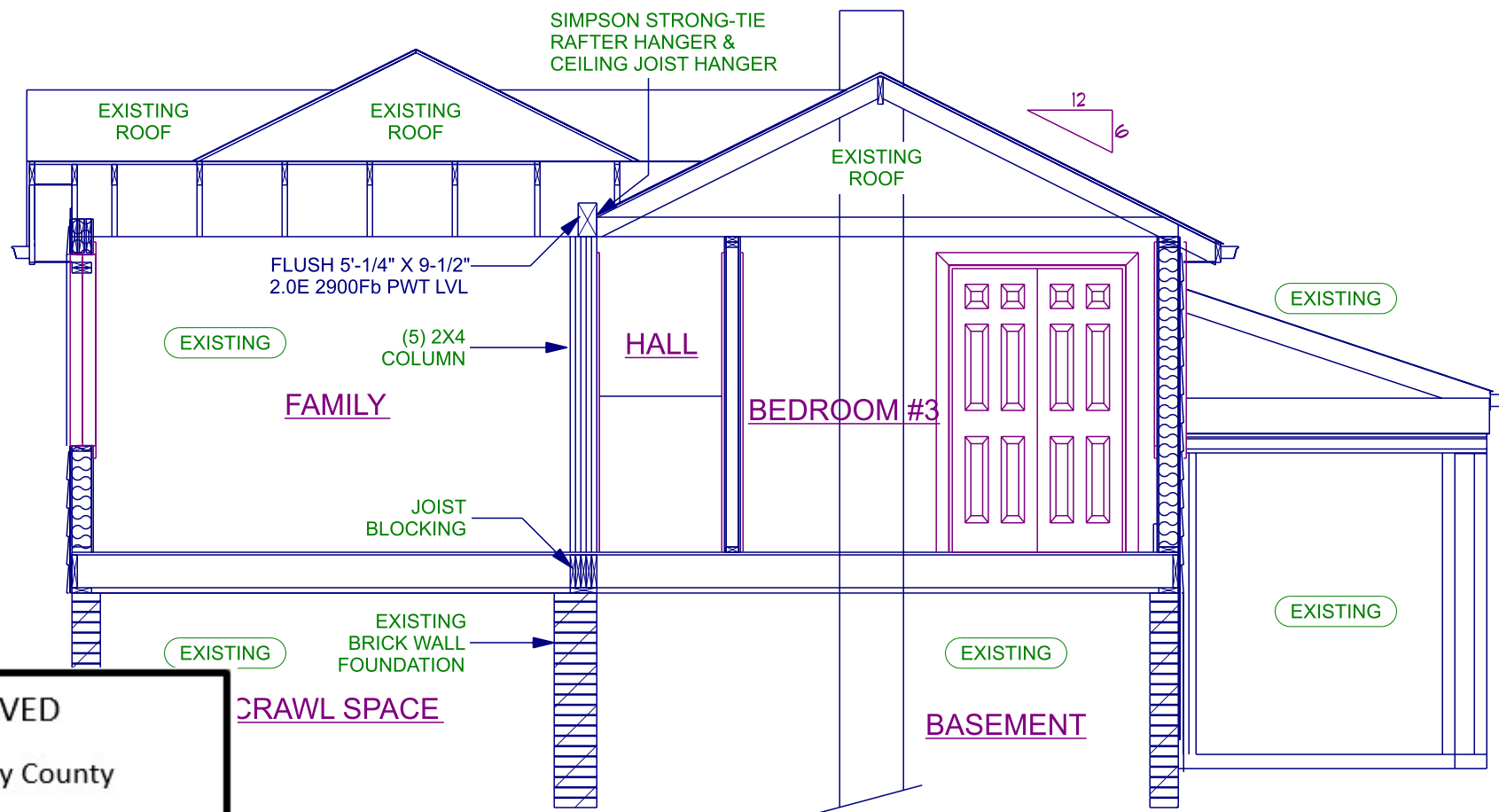
RIGHT ELEVATION

Sheet Name

A-201

Sheet Number

8 of 9



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Historic Preservation Commission
Karen B. Smith

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AND PRIOR TO CONSTRUCTION.



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Date: 8/23/2025
Scale: 1/4" = 1' 0"
Sheet Name: A-301
Sheet Number: 9 of 9
CROSS SECTION A



Proposal - Detailed

Sales Rep Name: ABCSUPPLY37, 9
 Sales Rep Phone: 410-737-7660
 Sales Rep E-Mail: MGR379@abcsupply.com
 Sales Rep Fax: 410-242-5205

Phone:

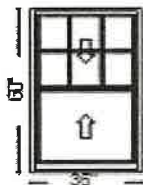
Fax:

Customer Information	Project/Delivery Address	Order Information
ABC Supply - 00379 ABC SUPPLY 1 ABC PKWY BELOIT, WI 53511-4466 Primary Phone: (410) 7377660 Mobile Phone: Fax Number: (410) 2425205 E-Mail: Contact Name: Great Plains #: 2400379 Customer Number: 1008501155 Customer Account: 2400379	ISRAEL 00379 ABC SUPPLY 1807 East St Lot # BALTIMORE, MD 21227 County: BALTIMORE (IND CITY) Owner Name: ABC Supply - 00379 Owner Phone: (410) 7377660	Quote Name: CALDERON Order Number: P24400KUJ Quote Number: 19920309 Order Type: Non-Installed Sales Wall Depth: Payment Terms: C.O.D. Tax Code: Cust Delivery Date: 9/18/2025 Quoted Date: 8/28/2025 Contracted Date: Booked Date: Customer PO #:

Line #	Location:	Attributes
--------	-----------	------------

10 None Assigned

Pella Reserve, Traditional Double Hung, 36 X 60



PK #
2215

Viewed From Exterior

Rough Opening: 36 - 3/4" X 60 - 3/4"

1: Non-Standard Size Non-Standard Size Double Hung, Equal

Frame Size: 36 X 60

General Information: Standard, Luxury, Wood, Pine, 4 3/8", 4 3/16"

Exterior Color / Finish: Primed, Primed Wood

Interior Color / Finish: Unfinished Interior

Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Champagne, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Standard EnduraClad, White, Premium, InView™

Performance Information: U-Factor 0.29, SHGC 0.25, VLT 0.47, CPD PEL-N-234-01143-00001, Perform Rating 45, Calculated Negative DP Rating 45, FPA FL14342, STC 26, OITC 22, Clear Opening Width 32.6 Area 5.791391, Egress Meets minimum clear opening and 5.7 sq.ft

Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 0W0H), Putty Glaze, Ogee

Wrapping Information: No Attachment Method, No Exterior Trim, 4 9/16", 4 3/4", Standard Four Sided Jar Recommended Clearance, Perimeter Length = 192".

Item Price	Qty	Ext'd Price
\$1383.05	1	\$1383.05

REVIEWED

By Devon.Murtha at 12:27 pm, Sep 18, 2025

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Montgomery County

Historic Preservation Commission

Karen B. Smith

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Printed on 9/17/2025

Detailed Proposal

Line #	Location:	Attributes		
15	None Assigned	Pella Reserve, Traditional Double Hung, 36 X 36		Item Price \$1145.38
			Qty 1	Ext'd Price 1145.38
36" 36" Viewed From Exterior Rough Opening: 36 - 3/4" X 36 - 3/4" PK # 2215		1: 3636 Double Hung, Equal Frame Size: 36 X 36 General Information: Standard, Luxury, Wood, Pine, 4 3/8", 4 3/16" Exterior Color / Finish: Primed, Primed Wood Interior Color / Finish: Unfinished Interior Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Champagne, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, White, Premium, InView™ Performance Information: U-Factor 0.29, SHGC 0.25, VLT 0.47, CPD PEL-N-234-01143-00001, Performance Class CW, PG 45, Calculated Positive DP Rating 45, Calculated Negative DP Rating 45, FPA FL14342, STC 26, OITC 22, Clear Opening Width 32.625, Clear Opening Height 13.562, Clear Opening Area 3.072641, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: ILT, No Custom Grille, 7/8", Traditional (3W1H / 3W1H), Putty Glaze, Ogee Wrapping Information: No Attachment Method, No Exterior Trim, 4 9/16", 4 3/4", Standard Four Sided Jamb Extension, Factory Applied, Manufacturer Recommended Clearance, Perimeter Length = 144".		

Thank You For Your Interest In Pella® Products

APPROVED

Montgomery County

Historic Preservation Commission

Karen Bunkit

REVIEWED

By Devon.Murtha at 12:27 pm, Sep 18, 2025

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From: [Maria Schulze](#)
To: [Murtha, Devon](#)
Subject: RE: Montgomery County HPC Preliminary Consultation
Date: Monday, September 15, 2025 4:01:40 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Devon,

I have read the staff report I can confirm the following:

that the trim around windows will be wood to match existing
the window specs 6/1 and 3/3 double hung wood windows with 7/8" ILT,
see below

ILT" refers to Integral Light Technology® (ILT), a window grille system that replicates the appearance of individual window panes without compromising the energy efficiency or cleaning ease of a single pane of glass. ILT grilles are permanently bonded to the inside and outside surfaces of the glass and feature nonglare spacers between them, which cast realistic shadows to create the authentic look of true divided lights.

Here's a breakdown of what ILT entails: ILT is designed to achieve the classic aesthetic of multiple smaller glass panes, known as "true divided lights" or "SDL (Simulated Divided Lite

****Next step is meeting on the 17th and to see if on the Consent agenda for approval, no need to attend meeting, correct?**



our support and patience guiding me through this

ma@montgomeryplanning.org>

25 2:36 PM

semd.com>

C Preliminary Consultation

REVIEWED

By Devon.Murtha at 12:27 pm, Sep 18, 2025

Thank you for your application for a Historic Area Work Permit. Your application is scheduled for the September