



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

Date: 9/19/2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1129402 – Demolition and replacement of an accessory structure

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached applications for a Historic Area Work Permit (HAWP). This application was **approved** at the September 17, 2025 HPC meeting.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Matthew Brest; Ethan Santos, Agent
Address: 12 Hesketh Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

REVIEWED
By Laura DIPasquale at 9:57 am, Sep 19, 2025

APPROVED
Montgomery County
Historic Preservation Commission


Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2.

REVIEWED

By Laura DiPasquale at 9:57 am, Sep 19, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Buntit

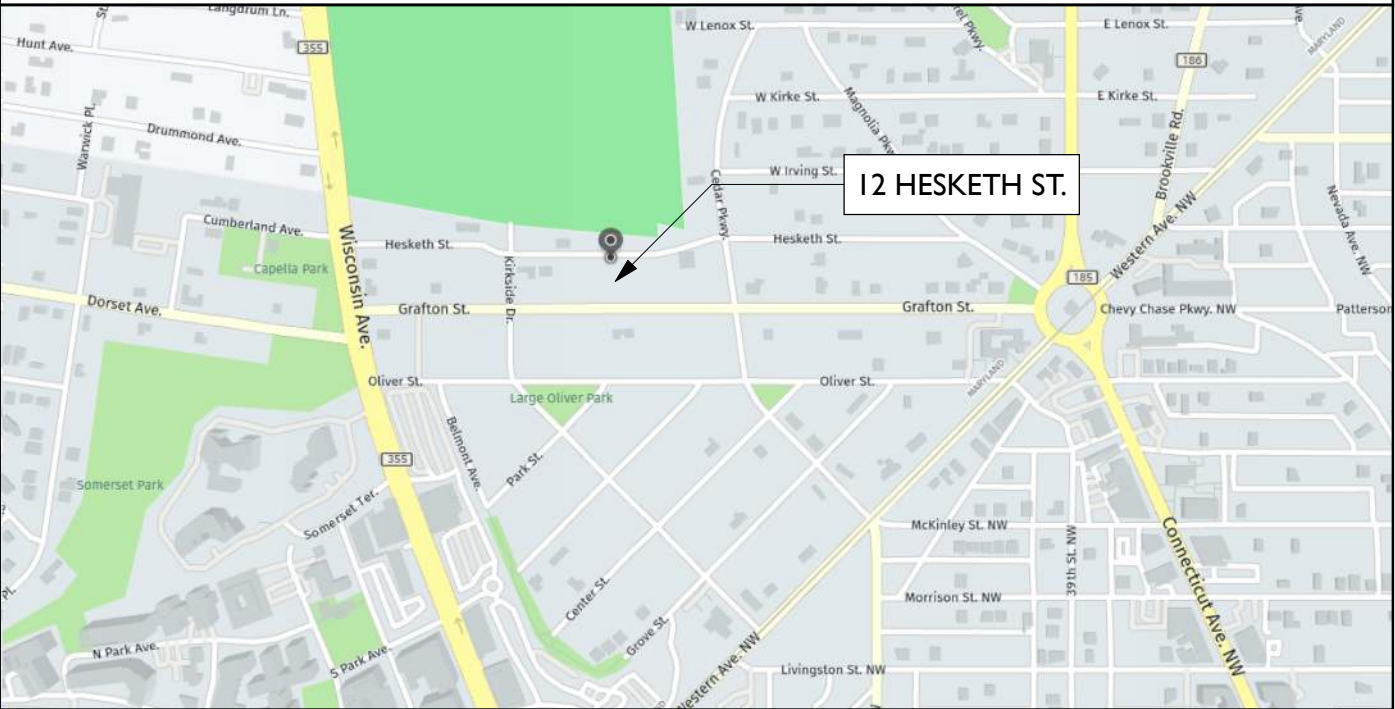
Work Item 3: _____

Description of Current Condition:

Proposed Work:

BREST & RAPP RESIDENCE PROPOSED
DETACHED REAR OFFICE
12 HESKETH ST., CHEVY CHASE MD 20815

LOCATION MAP:



Layout Page Table

Label	Title	Number	Comments
CV1	COVER SHEET & PROJECT INFORMATION	1	
G01	GENERAL NOTES	2	
Z01	SITE SURVEY	3	
Z02	SITE SURVEY	4	
EC	EXISTING SITE PLAN	5	
EC/D	DEMOLITION PLAN	6	
A1	PROPOSED FLOOR PLAN	7	
A2	ROOF LAYOUT PLAN	8	
A3	ELEVATIONS	9	
A4	ELEVATIONS	10	
E1	PROPOSED ELECTRICAL PLAN	11	
E2	ELECTRICAL DIAGRAMS	12	
S1	PROPOSED FOUNDATION	13	
S2	PROPOSED CROSS SECTION 1/S2	14	
S3	PROPSOED ROOF FRAMING PLAN	15	
S4	LATERAL BRACING	16	



SCOPE OF WORK:
TO RECONSTRUCT A 254 SQFT INSULATED DETACHED OFFICE (IN PLACE OF EXISTING SHED)
WITH NEW MILLWORK AND FINISHES

MECHANICAL:
NEW MINI SPLIT TO BE ADDED PER CODE AND PLAN FOR HEATING & COOLING

ELECTRICAL:
NEW LIGHTING, ELECTRICAL, & OUTLET INCLUDING NEW SUB PANEL

PLUMBING:
NO NEW PLUMBING IN THIS PERMIT

REVIEWED

By Laura DiPasquale at 9:57 am, Sep 19, 2025

ZONING DATA: (NO CHANGES)
LOT # P8 - BLOCK # 25
LOT SIZE: 7357sqft
ALLOWABLE LOT COVERAGE: 35%

CURRENT LOT COVERAGE W/ HOSUE AND SHED
SQFT: 1864sqft
PERCENTAGE: 25.3%

NEW LOT COVERAGE W/ HOUSE AND OFFICE
SQFT: 1883sqft
PERCENTAGE: 25.59%

LOCATION OF WORK: REAR DETACHED OFFICE
ZONING DISTRICT / USE: **R60** SINGLE FAMILY HOME (EXISTING - NO CHANGE)
LOAD CHANGE: NONE HISTORICAL: YES



GENERAL NOTES

BUILDING CODES:

A. ALL CONSTRUCTION SHALL CONFORM WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) AND MONTGOMERY COUNTY EXECUTIVE REGULATION #MCER13-24

B. ALL CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE LOCAL CODES AS AMENDED BY MONTGOMERY COUNTY MARYLAND.

DESIGN LOADS: (PER SECTION R301 OF IRC 2021)

A. THE DESIGN DEAD LOADS FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOW ON THE DRAWINGS AND INDICATED IN THE GENERAL NOTES.

B. THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADS FOR ALL NEW FRAMING SHALL BE AS FOLLOWS:

FLOOR LOAD (U.O.N.)	LL=40 PSF / DL=10 PSF
SLEEPING RMS / ATTIC WITH FIXED STAIR	LL=30 PSF / DL=10 PSF
GARAGE FLOOR	LL=50 PSF / 2000# POINT
ROOF LIVE LOAD	MIN. 30 PSF
ATTIC AND TRUSS BOTTOM CHORD	LL=20 PSF (LIMITED STORAGE)
	LL=10 PSF (NO STORAGE)

C. ROOF SNOW LOAD DESIGN CRITERIA:

GROUND SNOW LOAD (Pg)=	30 PSF
FLAT ROOF SNOW LOAD (Pf)=	21 PSF
EXPOSED FACTOR (Ce)=	1
IMPORTANCE FACTOR (I)=	1

D. WIND LOAD DESIGN CRITERIA:

BASIC WIND SPEED=	115 MPH
WIND EXPOSURE=	8
IMPORTANCE FACTOR (I)=	1

E. EARTHQUAKE LOAD DESIGN CRITERIA:

SEISMIC DESIGN CATEGORY=	8
SPECTRAL RESPONSE COEFFICIENT (SDS)=	0.199
(SD1)=	0.101
SITE CLASS=	D

F. SUBJECT TO DAMAGE FROM:

WEATHERING	SEVERE
FROST LINE DEPTH	30"
TERMITE	MODERATE TO HEAVY
DECAY	SLIGHT TO MODERATE

G. TEMPERATURE AND FLOORING:

WINTER DESIGN TEMPERATURE	13 F
ICE SHIELD UNDERLAYMENT REQUIRED	YES < 4:12
FLOOD HAZARDS	1979
AIR FREEZING INDEX	1000
MEAN ANNUAL TEMPERATURE	50 F

H. THE STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF THE FLOORS AND ROOF. THE CONTRACTOR IS

RESPONSIBLE FOR THE METHOD OF CONSTRUCTION AND SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO

MAINTAIN THE STABILITY OF THE STRUCTURE AND TO SUPPORT CONSTRUCTION LOADS DURING CONSTRUCTION. INCLUDING SOILS ON

WALLS FROM BACK FILLING PRIOR TO PLACING SLABS ON GRADE. DESIGN OF THE BRACING IS THE CONTRACTORS RESPONSIBILITY.

SPREAD FOOTING FOUNDATIONS:

A. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 30" BELOW FINISH GRADE FOR FROST PROTECTION.

B. ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSI.

C. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL FOUNDATION AND SOIL CONDITIONS WHICH DIFFER FROM THOSE ANTICIPATED OR INDICATED IN THE CONTRACT DOCUMENTS.

WOOD FRAMING:

A. ALL WOOD FRAMING SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.

B. ALL NEW LUMBER SHALL BE SPRUCE-PINE-FIR NO 2 OR BETTER. ALL NEW PRESSURE TREATED LUMBER SHALL BE SOUTHERN PINE NO 2 OR BETTER.

C. NAILING OF ALL WOOD FRAMING SHALL MEET THE MINIMUM RECOMMENDED REQUIREMENTS PROVIDED IN THE NAILING SCHEDULE OF THE IRC BUILDING CODE.

D. PROVIDE DOUBLE JOISTS OR HEADERS ALONG EACH SIDE OF THE FLOOR OR ROOF OPENING. UNDER THE CENTERLINE OF PARTITION WALLS PARALLEL TO JOISTS SPANS, AND ABOVE ALL WALL OPENINGS UNLESS OTHERWISE INDICATED.

E. THE CONTRACTOR SHALL CUT OR NOTCH THE WOOD FRAMING ONLY AS REQUIRED AND IN ACCORDANCE WITH THE IRC BUILDING CODE, THE "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION". OR AS SHOWN ON CONTRACT DRAWINGS.

F. PROVIDE DOUBLE OR TRIPLE STUDS AT ALL CORNERS SIDES OF OPENINGS AND BENEATH ALL WOOD BEAMS AND LINTELS, UNLESS OTHERWISE INDICATED.

G. WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTES "NATIONAL DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" FOR THE DESIGN LOADS INDICATED ON THE CONTRACT DOCUMENTS.

H. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ALL WOOD TRUSSES INCLUDING MEMBER LAYOUT, WOOD SPECIES AND GRADE, MEMBER SIZES. TRUSSES BEARING CONNECTION DETAILS. CAPACITY OF CONNECTION PLATES AND THE SIZE AND LOCATION OF ALL REQUIRED BRIDGING. THE CALCULATION AND SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REQUESTED IN THE STATE OF WHERE WORK IS BEING DONE.

I. THE CONTRACTOR SHALL PROVIDE TRUSS TIES EQUIVALENT TO OR BETTER THAN THE UPLIFT LOADS INDICATED ON THE TRUSS SHOP DRAWINGS.

MECHANICAL, ELECTRICAL & PLUMBING:

A. H.V.A.C. DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED MECHANICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES

B. ELECTRICAL DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED MECHANICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES

C. PLUMBING DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED MECHANICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES

D. H.V.A.C. DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED MECHANICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES

PROJECT GENERAL NOTES:

A. WALL DIMENSIONS ARE FROM OUTSIDE FACE OF FRAMING AND ARE AS FOLLOWS (U.N.O.)

INTERIOR PARTITIONS = 3-1/2" (2x4) WOOD STUDS @ 16" O.C.) U.N.O.

EXTERIOR WALLS = 6" (2x6 STUDS @ 16" O.C. PLUS 1/2 SHEATHING) U.N.O.

B. THE CONTRACTOR AND HIS ASSOCIATED SUBCONTRACTORS ARE REASONABLE TO THOROUGHLY REVIEW ALL DRAWINGS. ANY INCONSISTENCIES OR ERRORS ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION OR CORRECTION PRIOR TO THE START CONSTRUCTION OR MANUFACTURING OF PRE-FABRICATED COMPONENTS.

C. SIZING/SPACING OF ALL PRE-ENGINEERED WOOD FRAMING PRODUCTS (MICROLAMS, PARALLAMS & FLOOR/ROOF TRUSSES) TO BE ENGINEERED/VERIFIED BY MANUFACTURER

D. IF FLOOR FRAMING TO BE ACCOMPLISHED WITH PRE-ENGINEERED WOOD "I" JOISTS, MANUFACTURES AGENT TO DESIGN JOIST LAYOUT AND PROVIDE ENGINEERED SHOP DRAWINGS; FLOOR SYSTEM TO BE DESIGNED WITH L/480 LIVE LOAD DEFLECTION MIN. (L/600 IN AREAS TO BE FINISHED WITH TILE)

E. IF ROOF FRAMING TO BE ACCOMPLISHED WITH PRE-ENGINEERED WOOD TRUSSES; MANUFACTURES AGENT TO DESIGN TRUSS LAYOUT AND PROVIDE ENGINEERED SHOP DRAWINGS.

F. THESE DOCUMENTS ARE NOT TO BE SCALED. DIMENSIONS SHALL GOVERN ON ALL DRAWINGS ANY OMISSIONS ON AREAS OF DISCREPANCY SHALL BE REFEREED TO THE PROPERTY OWNER PRIOR TO CONSTRUCTION.

REVIEWED

By Laura DiPasquale at 9:57 am, Sep 19, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

ENGINEER'S SEAL FOR
STRUCTURAL INFORMATION ONLY



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License NO. 24342, Expiration Date: 11-17-2025.

SPECTRUM
DESIGN + BUILD
2700 GARFIELD AVE, SUITE C
SILVER SPRING, MD 20910

BREST & RAPP
DETACHED REAR OFFICE
12 HESKETH ST.
CHEVY CHASE, MD 20815

PROJECT #25.003

GENERAL NOTES

8/8/2025

GN1

THIS DOCUMENT IS CERTIFIED TO:



CASE #: 25-MD-1863



LEGEND:

- FENCE
- BASEMENT ENTRANCE
- BAY WINDOW
- BRICK
- BLDG. RESTRICTION LINE
- BSMT
- BASEMENT
- C/S
- CONCRETE STOOP OR SLAB
- CONC
- CONCRETE
- DRIVEWAY
- UP
- UTILITY POLE
- FR
- FRAME
- MAC
- MACADAM
- WW
- WINDOW WELL
- O/H
- OVERHANG
- PUE
- PUBLIC UTILITY ESMT.
- PIE
- PUBLIC IMPROVEMENT ESMT.

COLOR KEY:

- (RED) - RECORD INFORMATION
- (BLUE) - IMPROVEMENTS
- (GREEN) - ESMTS & RESTRICTION LINES

LOCATION DRAWING OF:

#12 HESKETH STREET
PART OF LOT 8, BLOCK 25 &
PART OF LOT 17, BLOCK 24
CHEVY CHASE

PLAT No. 106

MONTGOMERY COUNTY, MARYLAND

SCALE: 1"=20' DATE: 04-10-2025

DRAWN BY: AP FILE #: 252983-757



SURVEYOR'S CERTIFICATE
I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OF THE SURVEY AND THE SURVEY WORK REFLECTED HEREON IS IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION 12 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY WAS RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUT NO IMPROVEMENTS, THIS PLAT DOES NOT PROVIDE FOR THE IDENTIFICATION OF PROPERTY BOUNDARY LINES. BUT SUCH IDENTIFICATION IS NOT REQUIRED BY THE MARYLAND PROFESSIONAL LAND SURVEYOR ACT. AS IT IS REQUIRED BY THE MARYLAND PROFESSIONAL LAND SURVEYOR ACT, THIS PLAT DOES NOT PROVIDE FOR THE IDENTIFICATION OF PROPERTY BOUNDARY LINES. BUT SUCH IDENTIFICATION IS NOT REQUIRED BY THE MARYLAND PROFESSIONAL LAND SURVEYOR ACT. AS IT IS REQUIRED BY THE MARYLAND PROFESSIONAL LAND SURVEYOR ACT, THIS PLAT DOES NOT PROVIDE FOR THE IDENTIFICATION OF PROPERTY BOUNDARY LINES. BUT SUCH IDENTIFICATION IS NOT REQUIRED BY THE MARYLAND PROFESSIONAL LAND SURVEYOR ACT.

REVIEWED

By Laura DiPasquale at 9:57 am, Sep 19, 2025

APPROVED

Montgomery County
Historic Preservation Commission

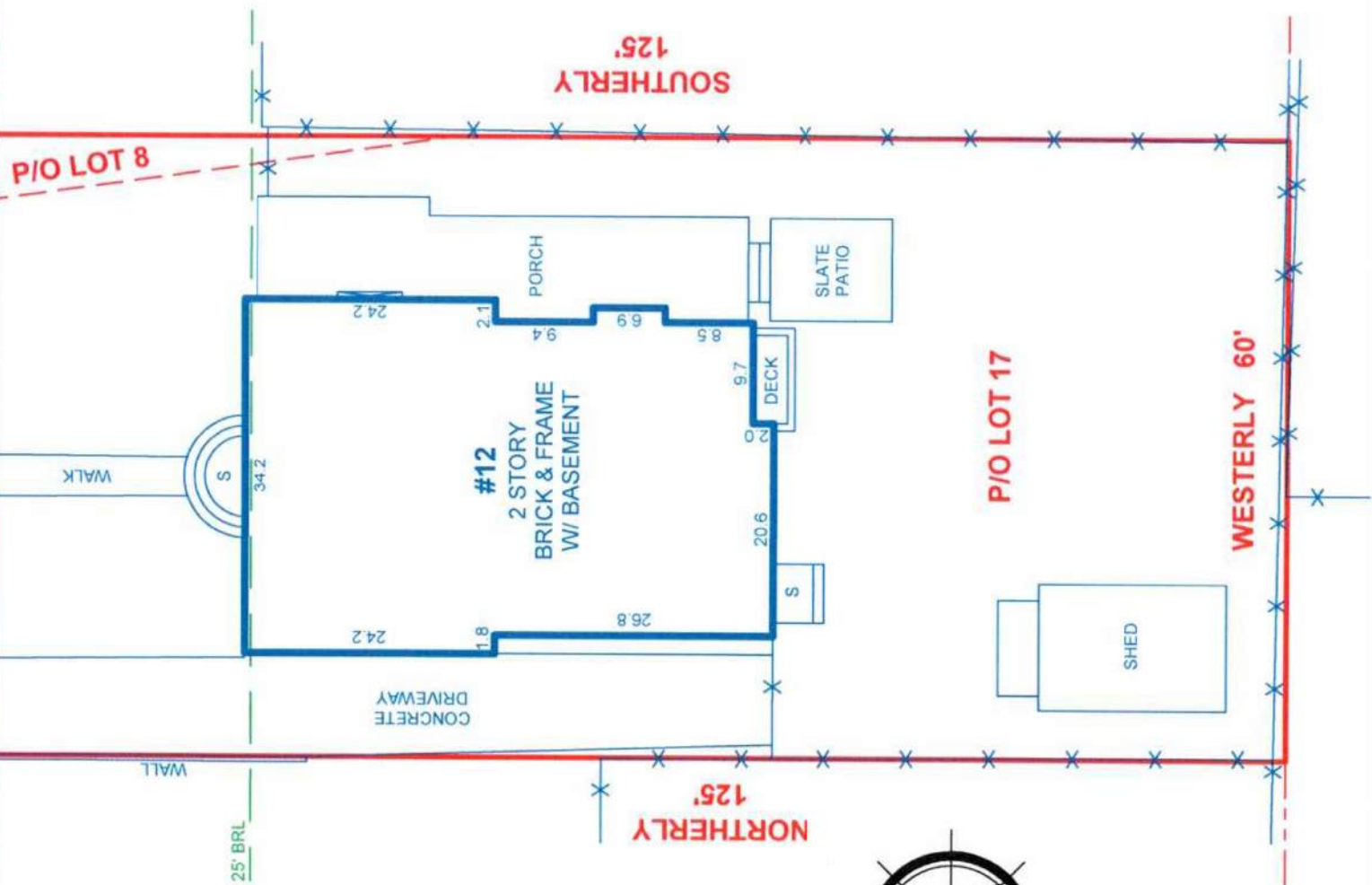
Karen Bulleit

A Land Surveying Company
DULEY and Associates, Inc.
Serving D.C. and MD.
14604 Elm Street, Upper Marlboro, MD 20772
Phone: 301-888-1111 Fax: 301-888-1114
Email: orders@duley.biz On the web: www.duley.biz

THE LEVEL OF ACCURACY OF DISTANCES TO APPARENT PROPERTY LINES IS: **2'±**

HESKETH STREET

EASTERLY 60'



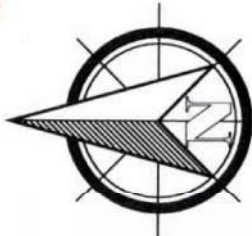
NORTHERLY 125'

P/O LOT 17

WESTERLY 60'

SOUTHERLY 125'

P/O LOT 8



PLAT No. 106

House Location Survey - 12 Hesketh

8/13/2025

Z01

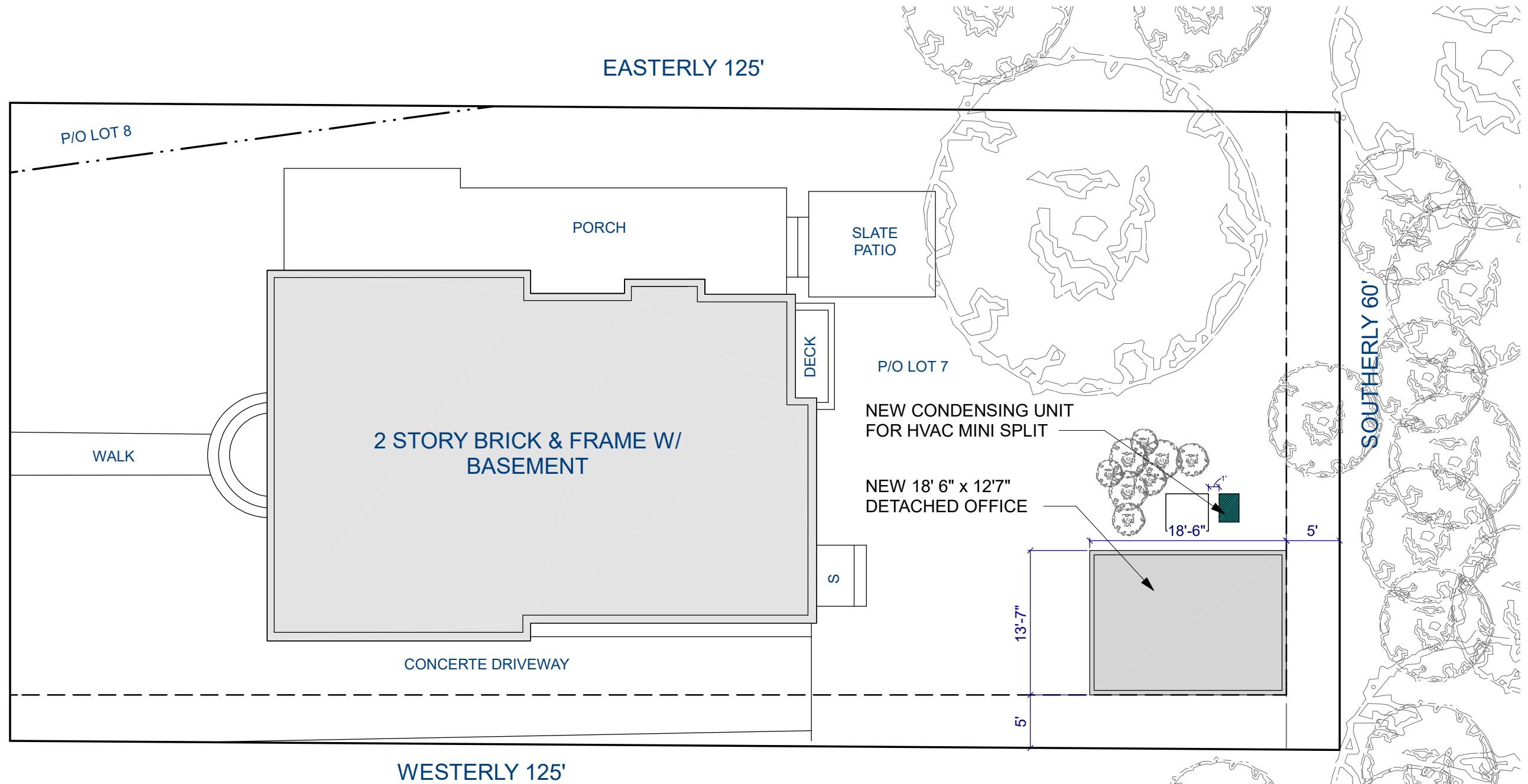
SITE SURVEY

BREST & RAPP
DETACHED REAR OFFICE
12 HESKETH ST.
CHEVY CHASE, MD 20815

SPECTRUM
DESIGN + BUILD
2700 GARFIELD AVE, SUITE C
SILVER SPRING, MD 20910

HESKETH STREET

NORTHERLY 60'



REVIEWED

By Laura DiPasquale at 9:57 am, Sep 19, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Benoit

1 PROPOSED SITE PLAN
3/32" = 1'

SPECTRUM DESIGN BUILD EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, OR ARE THEY TO BE COPIED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING EXPRESS WRITTEN PERMISSION AND CONSENT OF SPECTRUM DESIGN BUILD. ALL DIMENSIONS ARE APPROXIMATE AND ROUNDED TO THE NEAREST 1". VERIFY IN FIELD BEFORE USE AS CRITICAL DIMENSIONS OR CONSTRUCTION.

SPECTRUM
DESIGN + BUILD
2700 GARFIELD AVE, SUITE C
SILVER SPRING, MD 20910

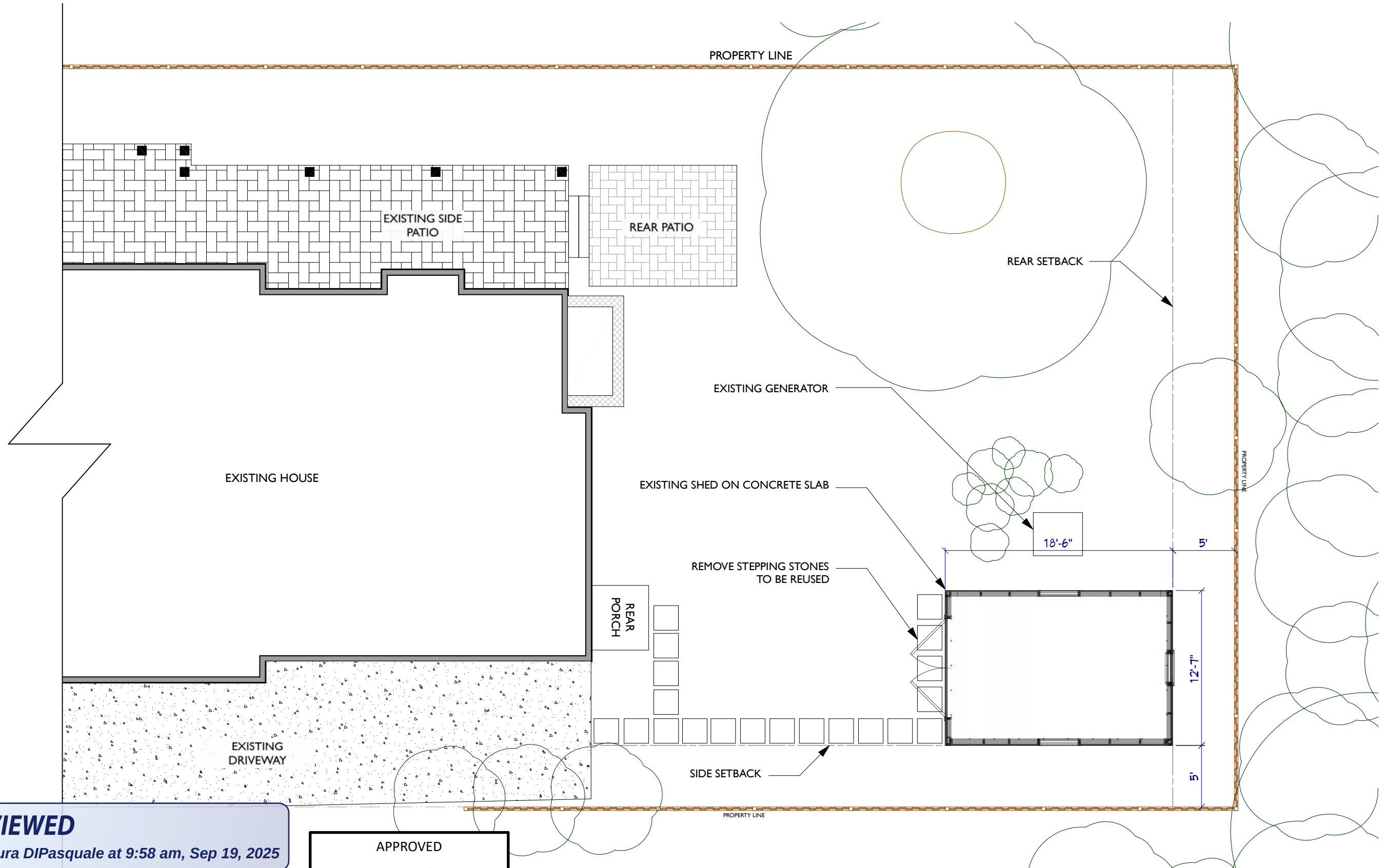
BREST & RAPP
DETACHED REAR OFFICE
12 HESKETH ST.
CHEVY CHASE, MD 20815

PROJECT#25.003

PROPOSED SITE PLAN

9/16/2025

Z02



REVIEWED

By Laura DiPasquale at 9:58 am, Sep 19, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Boudit

1 EXISTING SITE PLAN
1/8" = 1'

SPECTRUM DEIGN BUILD EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE ARE NOT TO BE REPRODUCED CHANGED OR COPIED IN ANY FORM OR MANNER WHATEVER, OR ARE THEY TO BE COPIED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING EXPRESS WRITTEN PERMISSION AND CONSENT OD SPECTRUM DESIGN BUILD. ALL DIMENSIONS ARE APPROXIMATE AND ROUNDED TO THE NEAREST 1". VERIFY IN FIELD BEFORE USE AS CRITICAL DIMENSIONS OR CONSTRUCTION.

SPECTRUM
DESIGN + BUILD
2700 GARFIELD AVE, SUITE C
SILVER SPRING, MD 20910

BREST & RAPP
DETACHED REAR OFFICE
12 HESKETH ST.
CHEVY CHASE, MD 20815

PROJECT#25.003

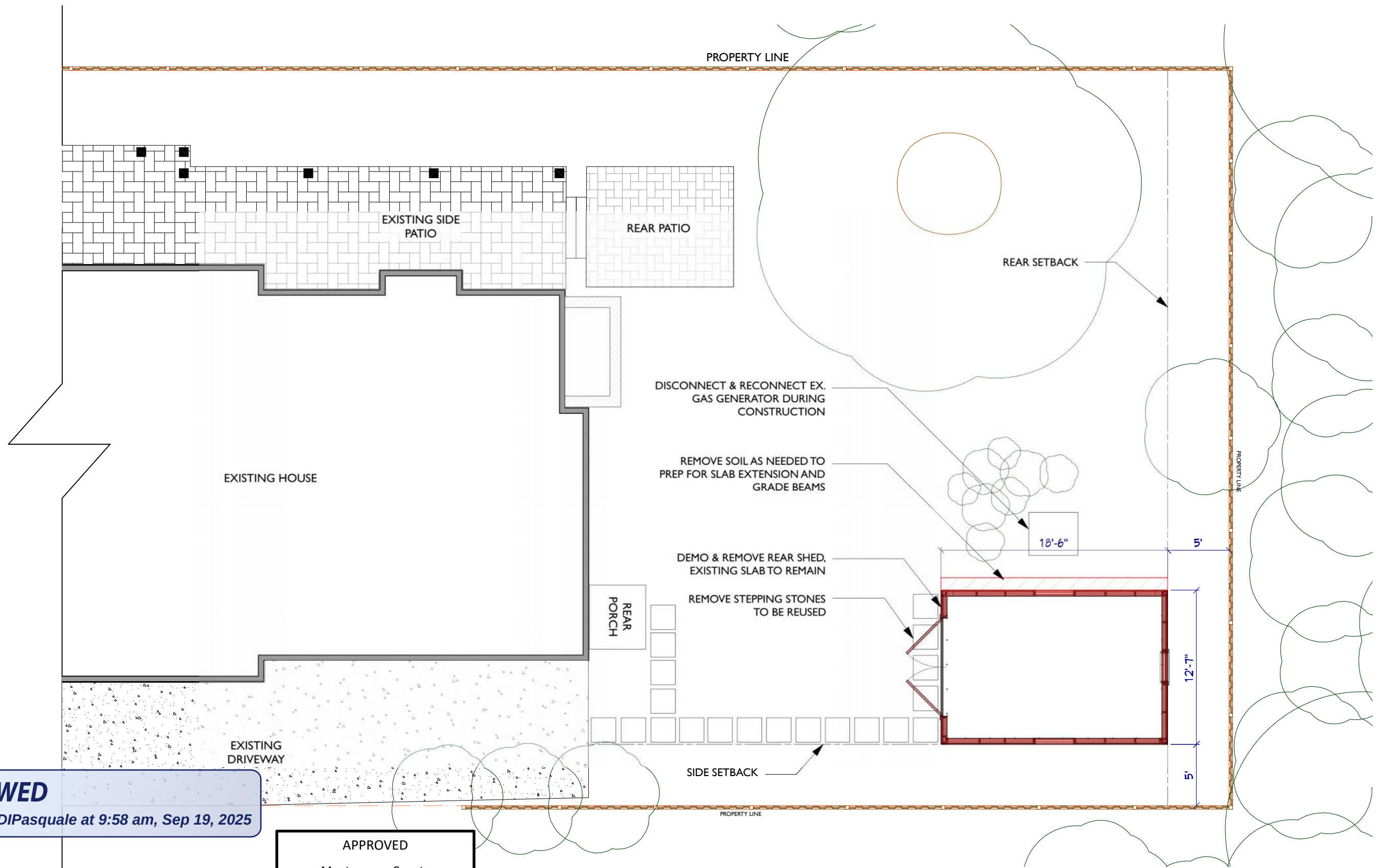
EXISTING SITE PLAN

8/13/2025

EC

REVIEWED
By Laura DiPasquale at 9:58 am, Sep 19, 2025

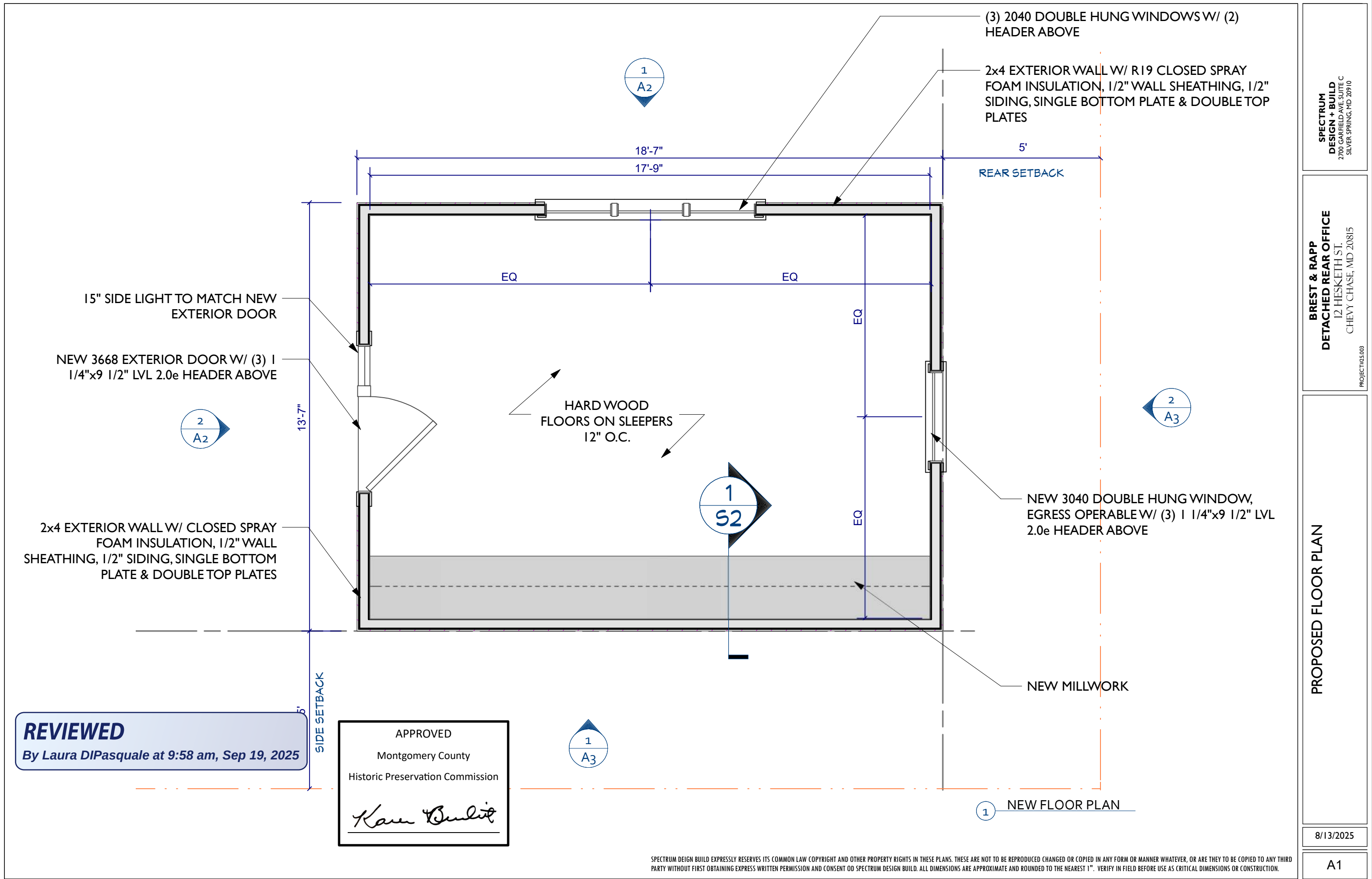
APPROVED
Montgomery County
Historic Preservation Commission
Karen Bulleit



1 EXISTING CONDITIONS AND DEMOLITION

SPECTRUM DESIGN BUILD EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE ARE NOT TO BE REPRODUCED CHANGED OR COPIED IN ANY FORM OR MANNER WHATEVER, OR ARE THEY TO BE COPIED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING EXPRESS WRITTEN PERMISSION AND CONSENT OF SPECTRUM DESIGN BUILD. ALL DIMENSIONS ARE APPROXIMATE AND ROUNDED TO THE NEAREST 1". VERIFY IN FIELD BEFORE USE AS CRITICAL DIMENSIONS OR CONSTRUCTION.

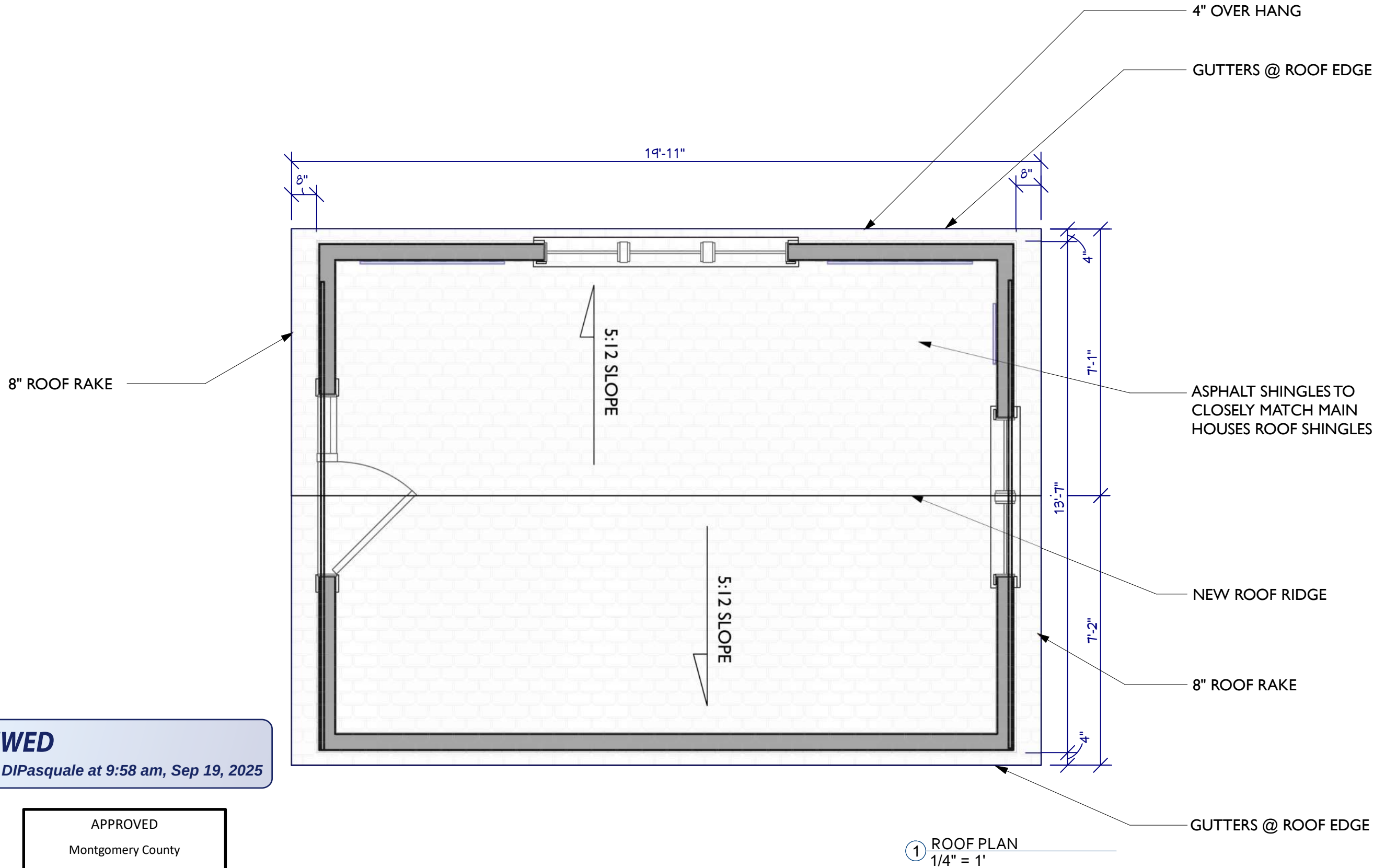
SPECTRUM DESIGN + BUILD 2700 GARFIELD AVE, SUITE C SILVER SPRING, MD 20910
BREST & RAPP DETACHED REAR OFFICE 12 HESKETH ST. CHEVY CHASE, MD 20815 PROJECT #25.003
DEMOLITION PLAN
8/13/2025
EC/D



REVIEWED

By Laura DiPasquale at 9:58 am, Sep 19, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bunkit

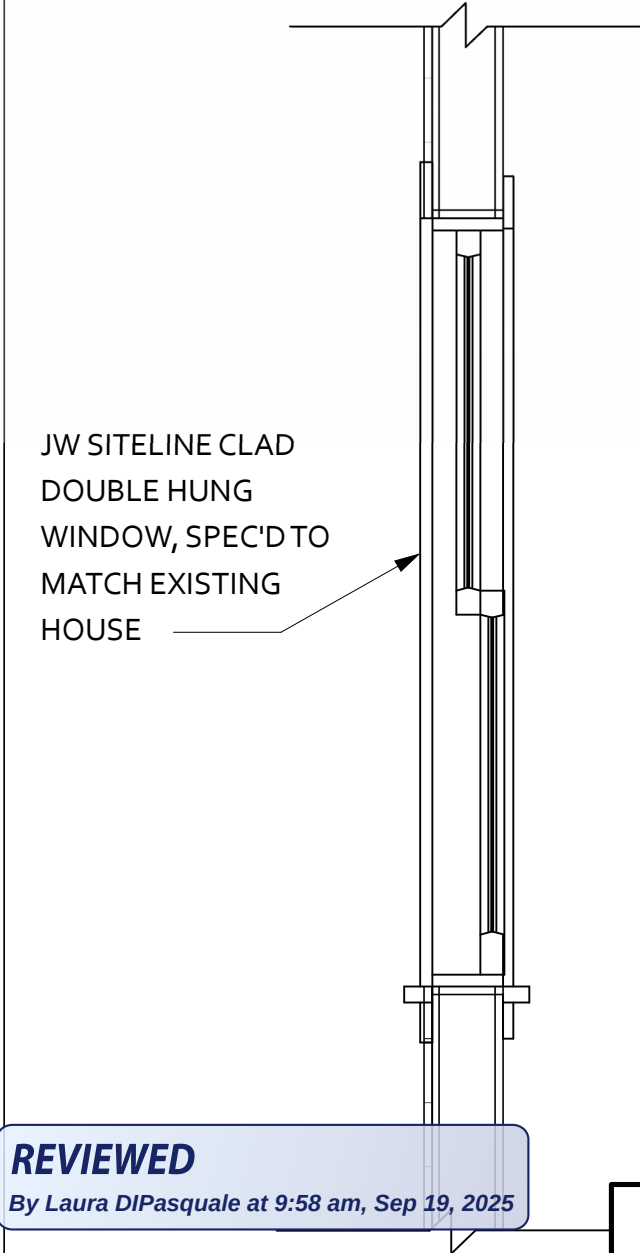


REVIEWED
By Laura DiPasquale at 9:58 am, Sep 19, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Bullock

SPECTRUM DESIGN + BUILD 2700 GARFIELD AVE, SUITE C SILVER SPRING, MD 20910	BREST & RAPP DETACHED REAR OFFICE 12 HESKETH ST. CHEVY CHASE, MD 20815 PROJECT#25.003	ROOF LAYOUT PLAN
8/13/2025		
A2		

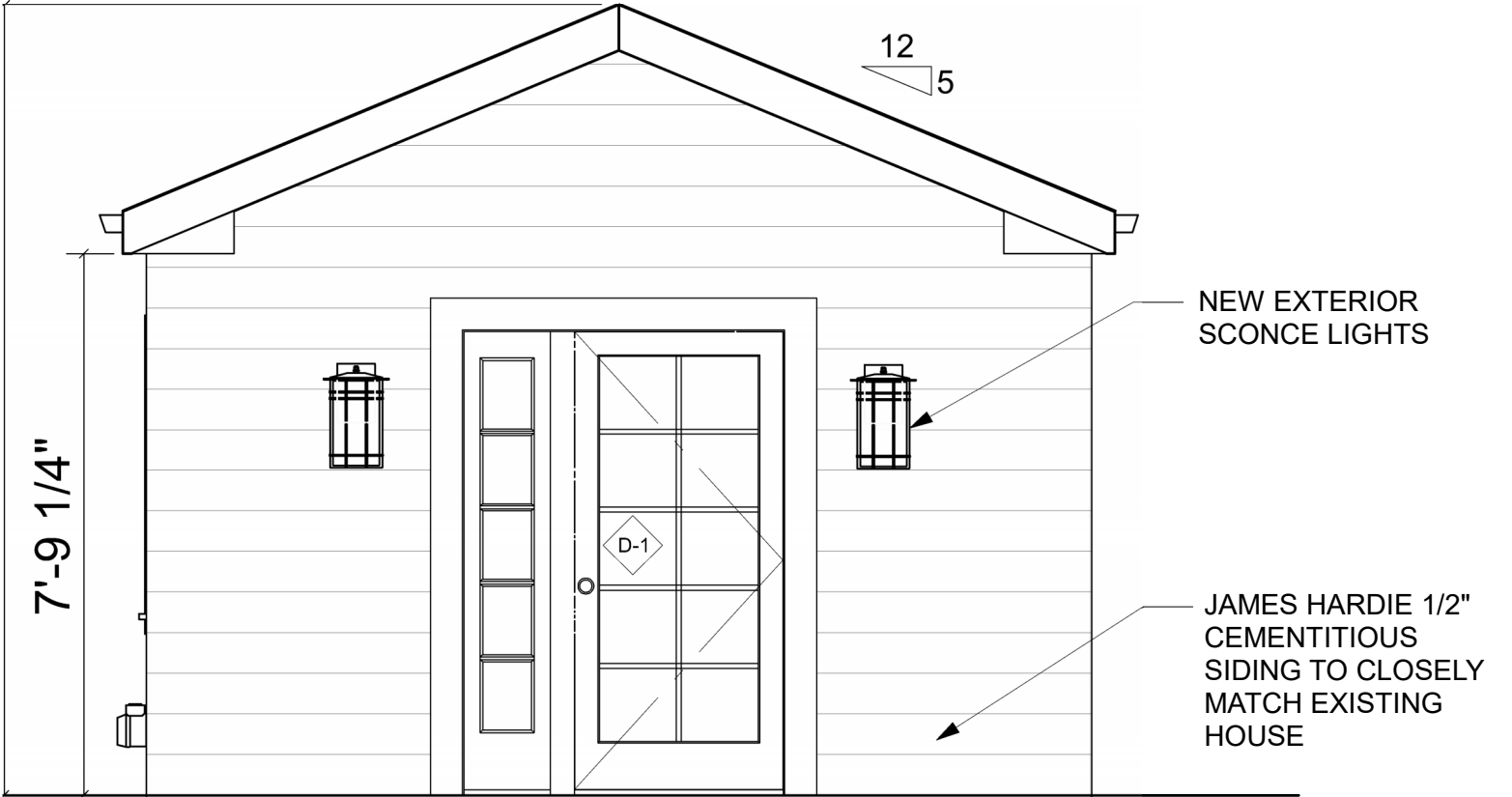
LABEL	QTY	FRAME SIZE	R/O	DESCRIPTION	U-FACTOR	MANUF.	LITES
W-1	1	25 3/8"x48"	26 1/8"x48 3/4"	STANDARD DBL HUNG	.30	JELD-WEN	4 OVER 4
W-2	1	25 3/8"x48"	26 1/8"x48 3/4"	STANDARD DBL HUNG	.30	JELD-WEN	4 OVER 4
W-3	1	25 3/8"x48"	26 1/8"x48 3/4"	STANDARD DBL HUNG	.30	JELD-WEN	4 OVER 4
W-4	1	25 3/8"x48"	26 1/8"x48 3/4"	STANDARD DBL HUNG	.30	JELD-WEN	4 OVER 4
D-1	1	54 1/4"x 82 1/2"	55" x 83"	STANDARD DBL HUNG	.30	JELD-WEN	4 OVER 4



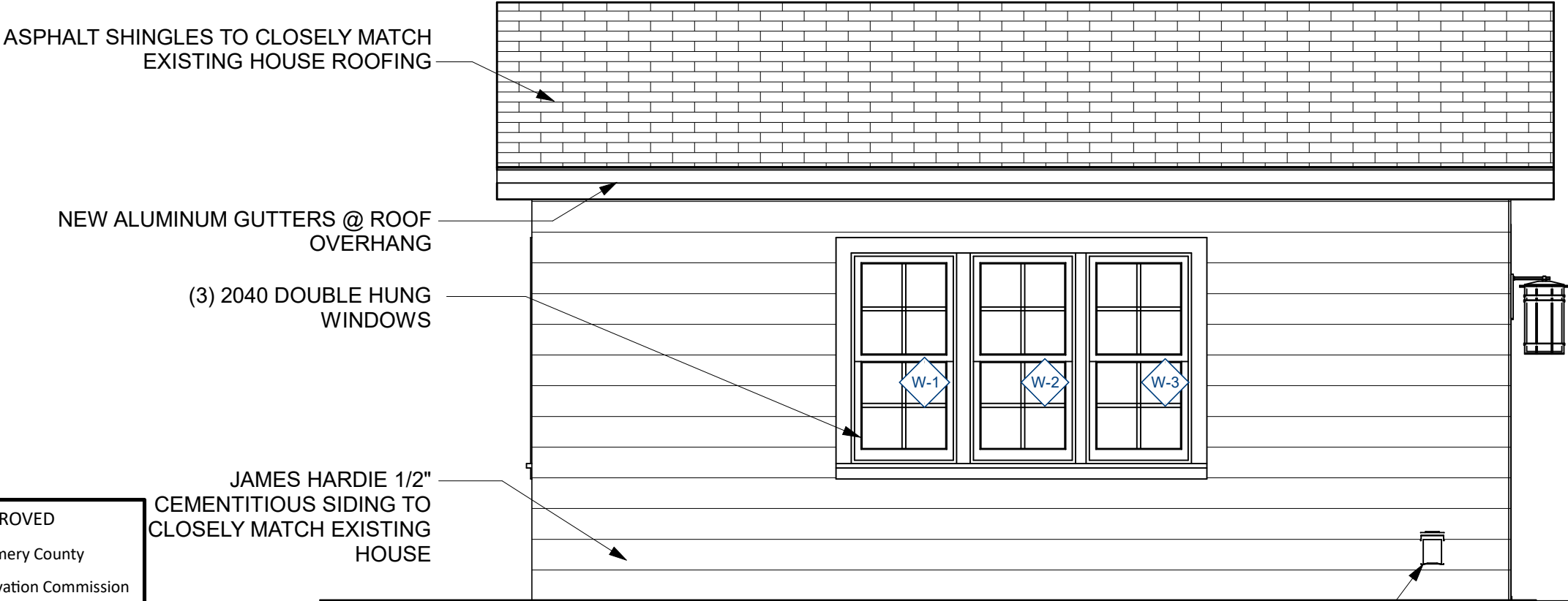
REVIEWED
By Laura DiPasquale at 9:58 am, Sep 19, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Benoit

1 TYPICAL WINDOW SECTION
SCALE: 1" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/8" = 1'-0"



1 EAST ELEVATION
SCALE: 3/8" = 1'-0"

SPECTRUM DEIGN BUILD EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE ARE NOT TO BE REPRODUCED CHANGED OR COPIED IN ANY FORM OR MANNER WHATEVER, OR ARE THEY TO BE COPIED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING EXPRESS WRITTEN PERMISSION AND CONSENT OD SPECTRUM DESIGN BUILD. ALL DIMENSIONS ARE APPROXIMATE AND ROUNDED TO THE NEAREST 1". VERIFY IN FIELD BEFORE USE AS CRITICAL DIMENSIONS OR CONSTRUCTION.

**SPECTRUM
DESIGN + BUILD**
2700 GARFIELD AVE, SUITE C
SILVER SPRING, MD 20910

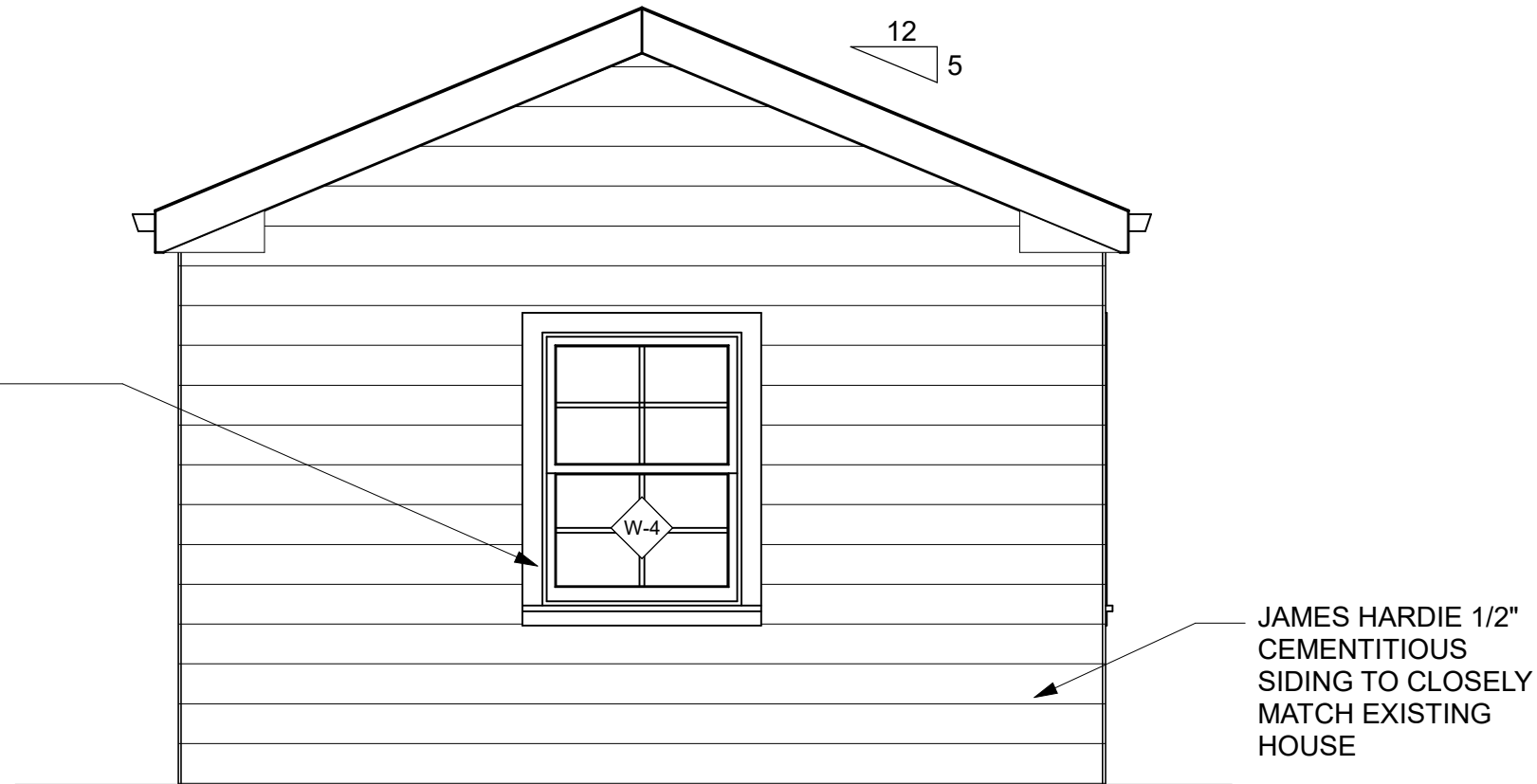
**BREST & RAPP
DETACHED REAR OFFICE**
12 HESKETH ST.
CHEVY CHASE, MD 20815

PROJECT#25.003

ELEVATIONS

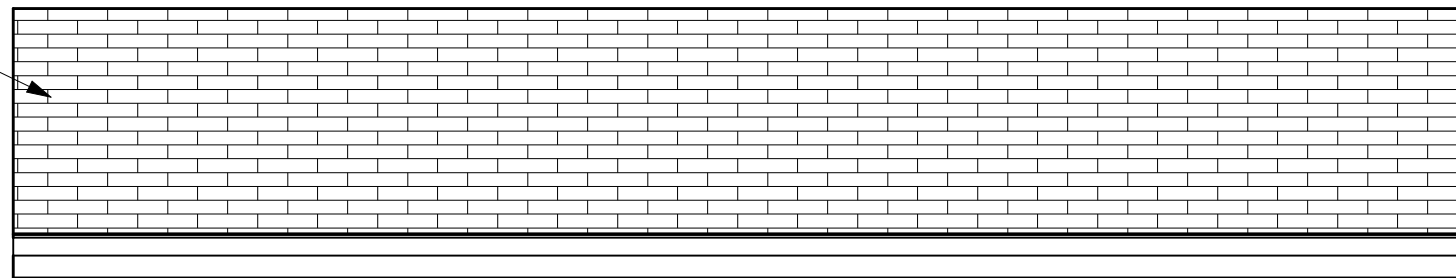
9/16/2025

A3

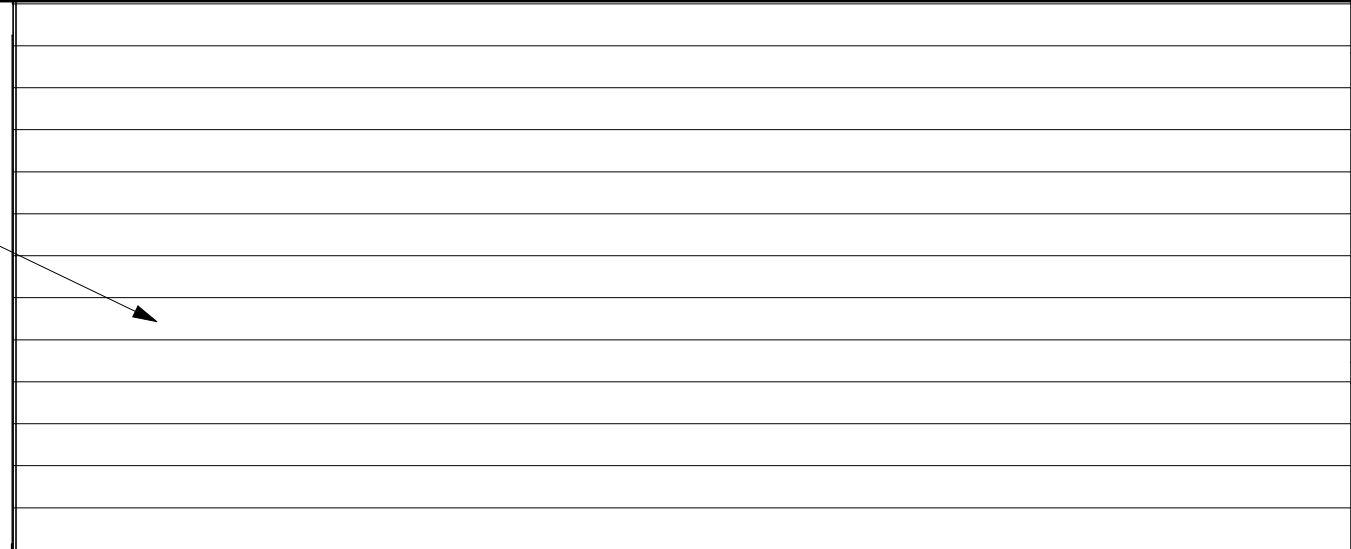


2 SOUTH ELEVATION
SCALE: 3/8" = 1'

ASPHALT SHINGLES TO CLOSELY MATCH
EXISTING HOUSE ROOFING



JAMES HARDIE 1/2"
CEMENTITIOUS SIDING TO
CLOSELY MATCH
EXISTING HOUSE



1 WEST ELEVATION
SCALE: 3/8" = 1'

SPECTRUM DESIGN BUILD EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE ARE NOT TO BE REPRODUCED CHANGED OR COPIED IN ANY FORM OR MANNER WHATEVER, OR ARE THEY TO BE COPIED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING EXPRESS WRITTEN PERMISSION AND CONSENT OF SPECTRUM DESIGN BUILD. ALL DIMENSIONS ARE APPROXIMATE AND ROUNDED TO THE NEAREST 1". VERIFY IN FIELD BEFORE USE AS CRITICAL DIMENSIONS OR CONSTRUCTION.

REVIEWED

By Laura DiPasquale at 9:58 am, Sep 19, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Bulleit

SPECTRUM
DESIGN + BUILD
2700 GARFIELD AVE, SUITE C
SILVER SPRING, MD 20910

BREST & RAPP
DETACHED REAR OFFICE
12 HESKETH ST.
CHEVY CHASE, MD 20815

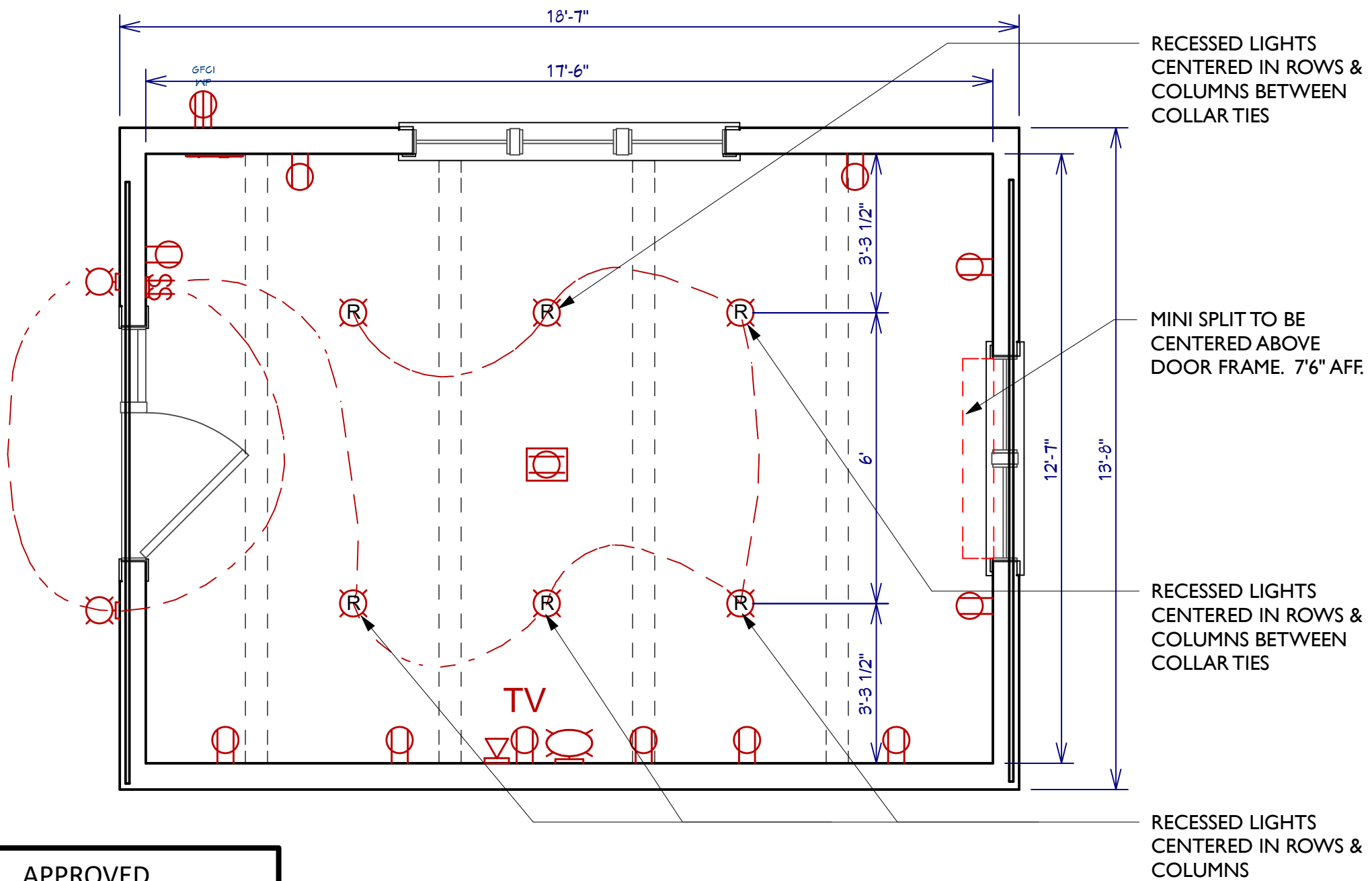
PROJECT#25.003

ELEVATIONS

9/16/2025

A4

ELECTRICAL SCHEDULE	
SYM	DESCRIPTION
	220V GFCI WEATHERPROOF RECEPTACLE
	ART LIGHT 3
	DUPLEX
	DUPLEX RECEPTACLE
	DUPLEX, FLOOR MOUNTED
	ELECTRICAL PANEL - RECESSED
	EXTERIOR LANTERN 2
	RECESSED DOWN LIGHT 6
	SINGLE POLE
	TELEPHONE JACK / CAT / COAX



REVIEWED
By Laura DIPasquale at 9:58 am, Sep 19, 2025

APPROVED
Montgomery County
Historic Preservation Commission


1 ELECTRICAL PLAN
1/4" = 1'

**SPECTRUM
DESIGN + BUILD**
2700 GARFIELD AVE, SUITE C
SILVER SPRING, MD 20910

**BREST & RAPP
DETACHED REAR OFFICE**
12 HESKETH ST.
CHEVY CHASE, MD 20815

PROJECT#25.003

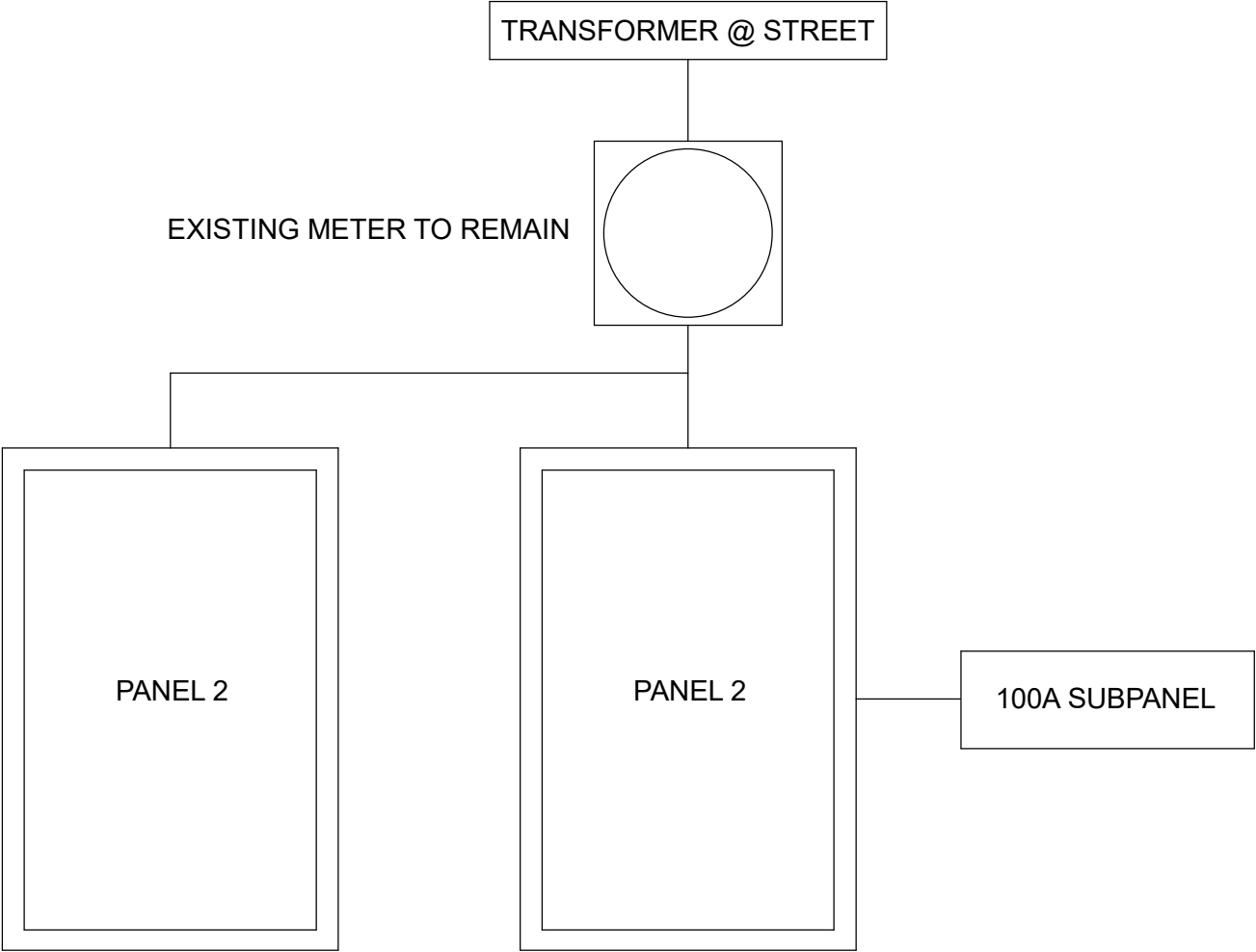
PROPOSED ELECTRICAL PLAN

8/13/2025

E1

ELECTRICAL NOTES:

- 1) INSTALL ARC FAULT BREAKERS FOR RECEPTACLES IN EXISTING ELECTRICAL PANELS AS REQUIRED PER NEC SECTION 210
- 2) ALL ELECTRICAL WORK AT MAIN PANEL TO REUSE EXISTING CIRCUITS WITH SAME USE OR CREATE NEW CIRCUIT ON EXISTING OPEN CIRCUIT



REVIEWED

By Laura DiPasquale at 9:58 am, Sep 19, 2025

APPROVED

Montgomery County

Historic Preservation Commission



SUB PANEL SCHEDULE NOTES:

- 1) CIRCUIT BREAKERS SERVING CIRCUITS THAT CONTAIN OUTLETS SHALL BE LISTED AS A COMBINATION-TYP ARC FAULT CIRCUIT INTERRUPTER (AFCI) PER NFPA 70 ARTICLE 210.12 (A)(I)

ELEC SUB-PANEL SCHEDULE					
KVA	VOLT	POLE	TRIP	ITEM	CIRC. #
9.6	240	2	40	MINI SPLIT	1
9.6	240	2	40	MINI SPLIT	2
1.5	120	1	20	EXT. LIGHTS	3
1.5	120	1	20	EXT. GFCI OUTLETS	4
1.5	120	1	20	INT. LIGHTS	5
1.5	120	1	20	INT. OUTLETS	6
1.5	120	1	20	MINI FRIDGE	7
1.5	120	1	20	UNUSED	8
1.5	120	1	20	UNUSED	9
1.5	120	1	20	UNUSED	10

BREST & RAPP
DETACHED REAR OFFICE
12 HESKETH ST.
CHEVY CHASE, MD 20815

ELECTRICAL DIAGRAMS

8/13/2025

E2

SPECTRUM
DESIGN + BUILD
2700 GARFIELD AVE, SUITE C
SILVER SPRING, MD 20910

PROJECT#25.003

NEW CONCRETE SLAB AND GRADE BEAMS

EXISTING CONCRETE SLAB

ENGINEER'S SEAL FOR
STRUCTURAL INFORMATION ONLY



STATE OF MARYLAND
JEFFREY BEN FERLICH
PROFESSIONAL ENGINEER
No. 24342



STRUCTURAL
ENGINEERING
RESOURCES, LLC

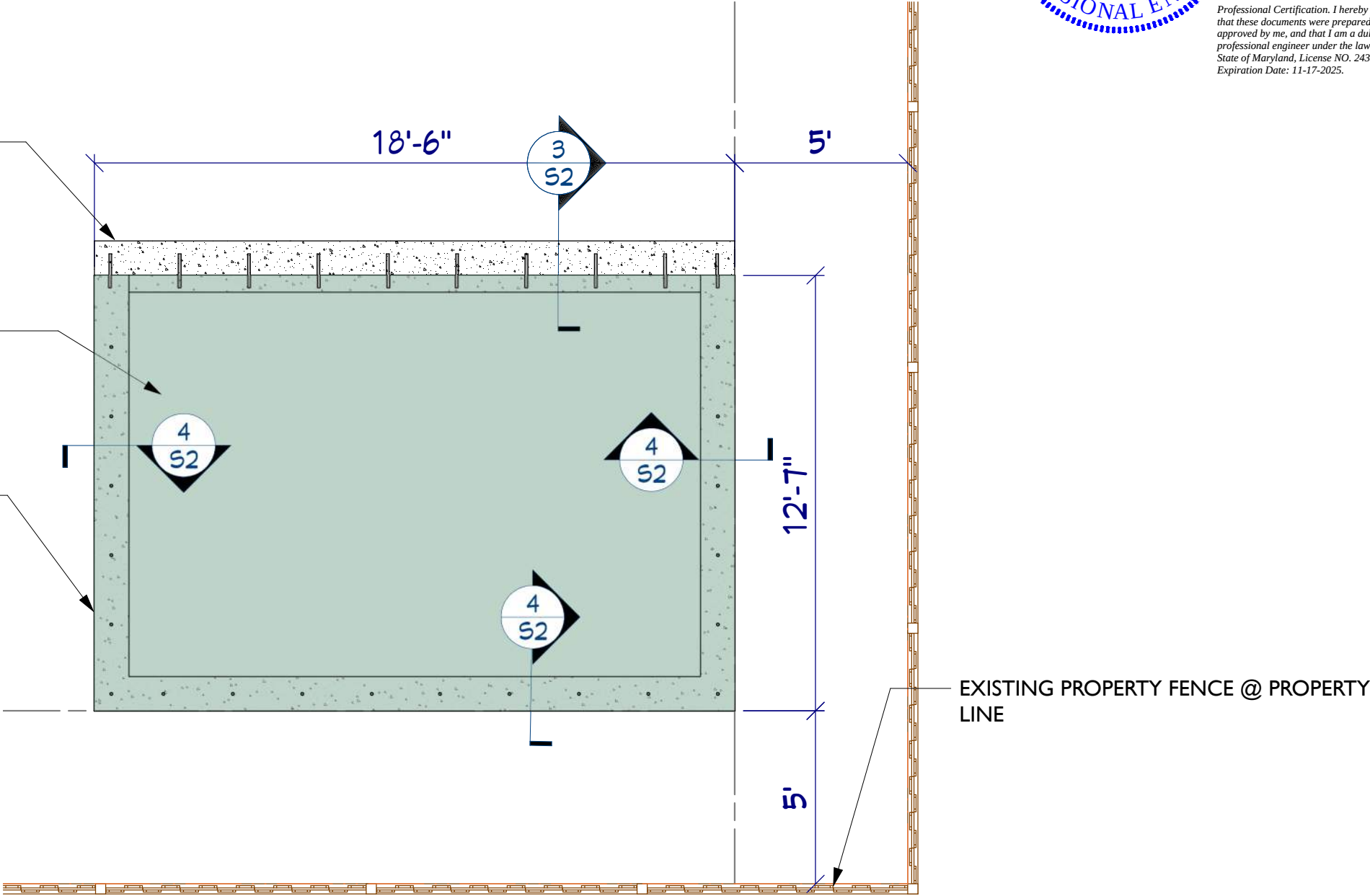
26 NORTH FOURTH STREET
GETTYSBURG, PA 17325
(717)-337-1335
JEFF@SERLLC.US

Professional Certification. I hereby certify
that these documents were prepared or
approved by me, and that I am a duly licensed
professional engineer under the laws of the
State of Maryland, License NO. 24342,
Expiration Date: 11-17-2025.

NEW ~12" WIDE MONOLITHIC GRADE BEAM
AND SLAB EXTENSION WITH 6" TAPER UNDER
EXISTING SLAB. TIED INTO SLAB W/ #4 REBAR
@ 24" O.C., 4" EMBEDMENT W/ EPOXY

EXISTING 8" CONCRETE SLAB
TO REMAIN

NEW ~12" WIDE CONCRETE GRADE BEAM
BELOW EXISTING SLAB SECTION W/ #4 REBAR.
1 VERTICAL REBAR 24" O.C. & 2 HORIZONTAL
SECTIONS OF REBAR



REVIEWED

By Laura DIPasquale at 9:58 am, Sep 19, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

1 FOUNDATION PLAN
1/4" = 1'

SPECTRUM
DESIGN + BUILD
2700 GARFIELD AVE, SUITE C
SILVER SPRING, MD 20910

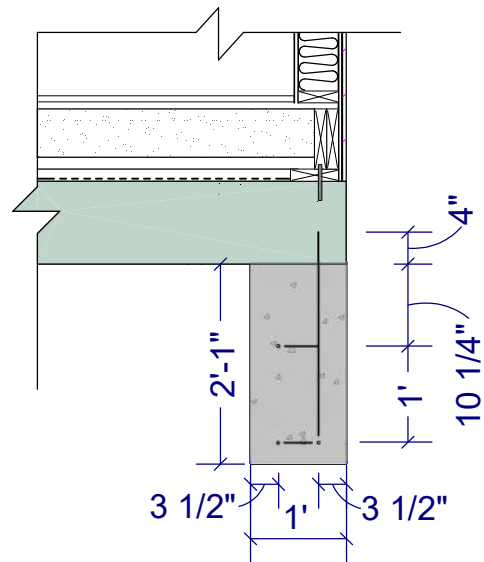
BREST & RAPP
DETACHED REAR OFFICE
12 HESKETH ST.
CHEVY CHASE, MD 20815

PROJECT#25.003

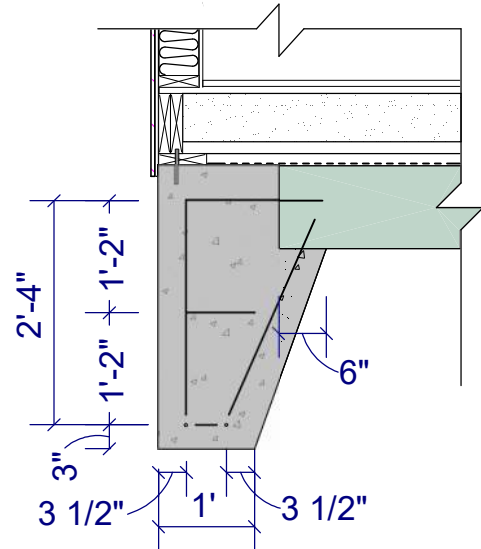
PROPOSED FOUNDATION

8/8/2025

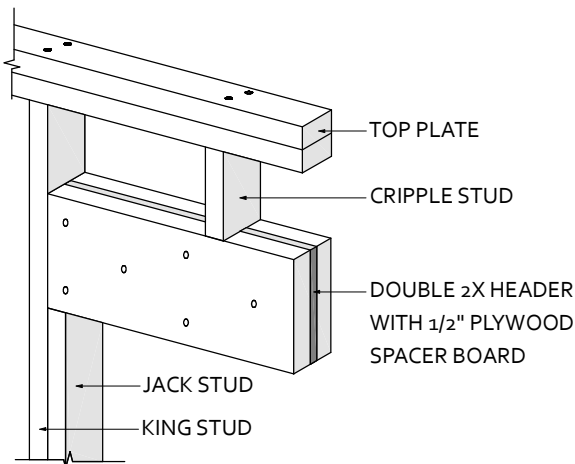
S1



④ GRADE BEAM DETAIL
1/2" = 1'



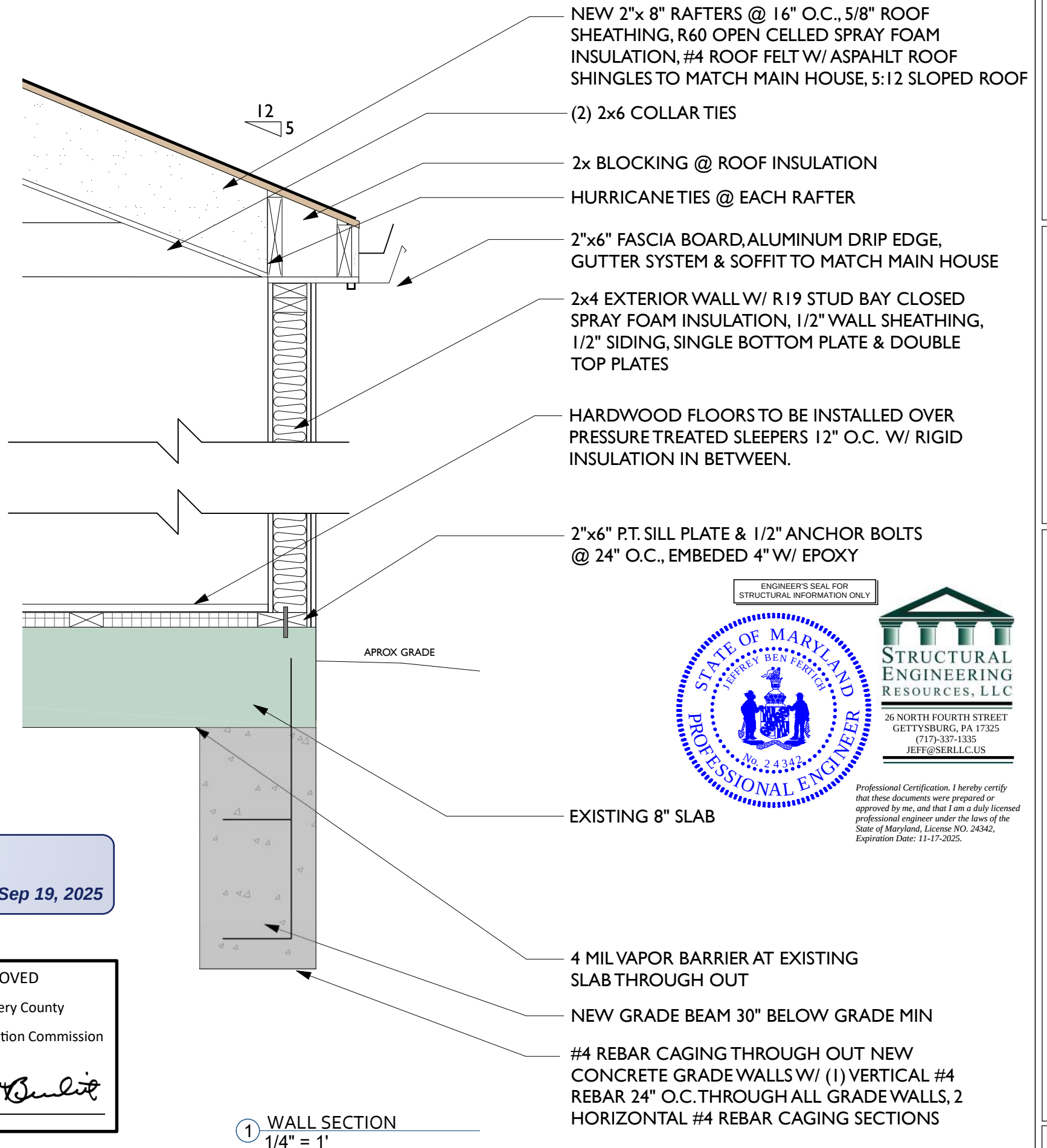
③ TAPERED GRADE BEAM DETAIL
1/2" = 1'



② HEADER DETAIL
NOT TO SCALE

REVIEWED

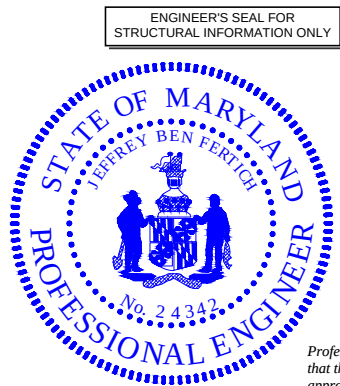
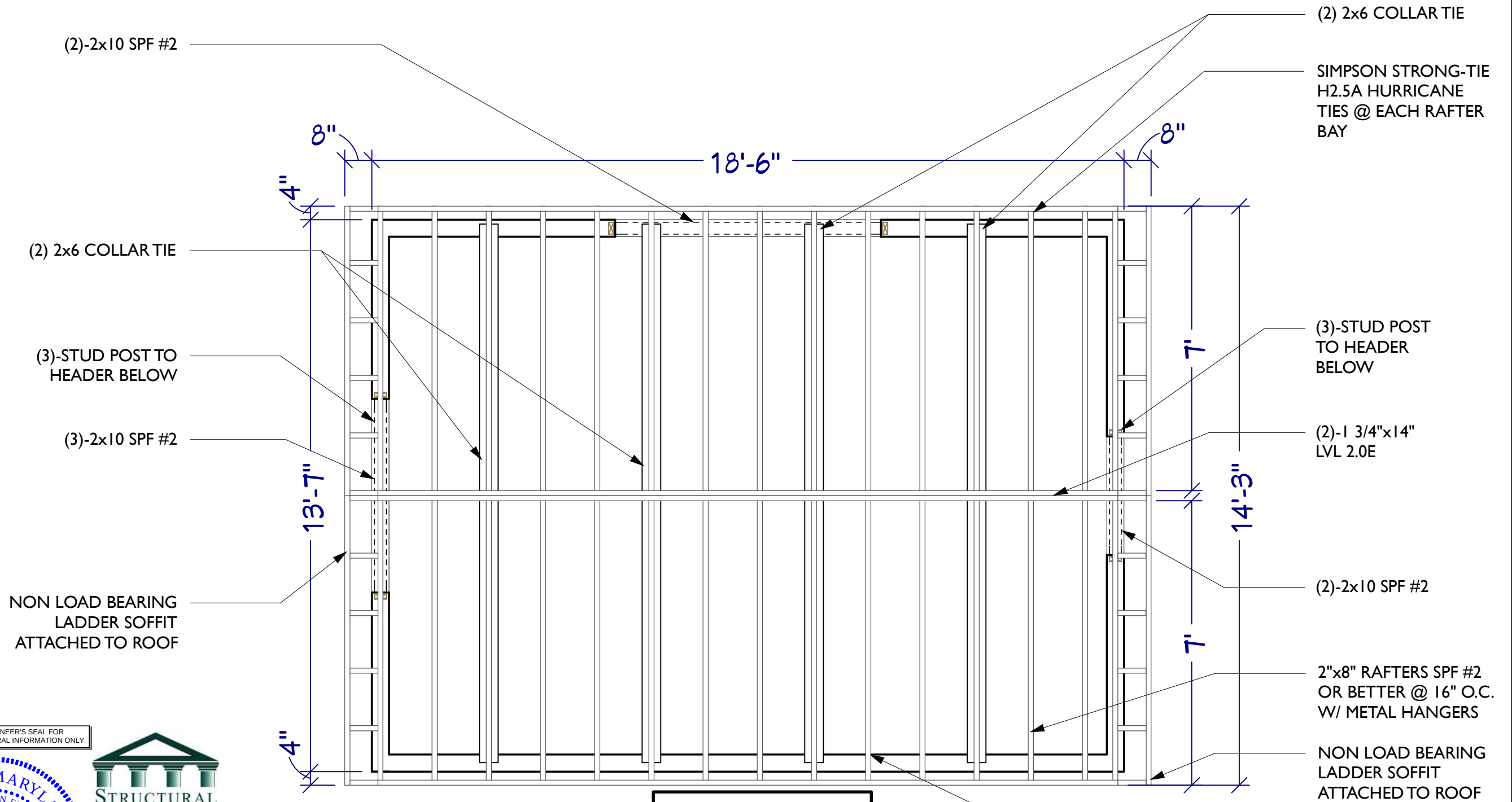
By Laura DiPasquale at 9:58 am, Sep 19, 2025



① WALL SECTION
1/4" = 1'



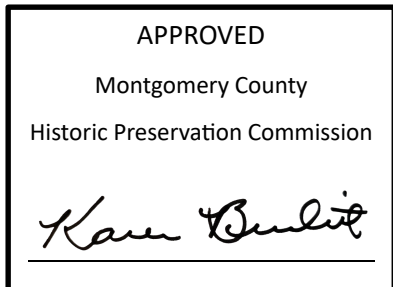
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License NO. 24342, Expiration Date: 11-17-2025.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License NO. 24342, Expiration Date: 11-17-2025.

REVIEWED

By Laura DiPasquale at 9:58 am, Sep 19, 2025



1 WALL SECTION
3/8" = 1'

SPECTRUM DESIGN BUILD EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE ARE NOT TO BE REPRODUCED CHANGED OR COPIED IN ANY FORM OR MANNER WHATEVER, OR ARE THEY TO BE COPIED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING EXPRESS WRITTEN PERMISSION AND CONSENT OF SPECTRUM DESIGN BUILD. ALL DIMENSIONS ARE APPROXIMATE AND ROUNDED TO THE NEAREST 1". VERIFY IN FIELD BEFORE USE AS CRITICAL DIMENSIONS OR CONSTRUCTION.

SPECTRUM
DESIGN + BUILD
2700 GARFIELD AVE, SUITE C
SILVER SPRING, MD 20910

BREST & RAPP
DETACHED REAR OFFICE
12 HESKETH ST.
CHEVY CHASE, MD 20815

PROJECT#25.003

PROPOSED ROOF FRAMING PLAN

8/8/2025

S3

LATERAL BRACING NOTES:

BRACING MEETS THE REQUIREMENTS OF 2018 IRC R602.10 FOR 90MPH BASIC WIND SPEED AND 115MPH ULTIMATE WIND SPEED AND APPROPRIATE ENGINEERING PRINCIPLES AS SIGNED AND SEALED BY THE PROFESSIONAL ENGINEER.

7/16" OSB OR 1/2" PLYWOOD WOOD STRUCTURAL PANELS (CS-WSP OR WSP) MUST BE APPLIED TO ALL EXTERIOR SHEATHABLE SURFACES INCLUDING GABLE END WALLS & ABOVE& BELOW ALL OPENINGS. THE SHEATHING IS TO BE FASTENED W/ 8d NAILS AT 6" OC @ EDGES & 12" OC AT ALL INTERMEDIATE SUPPORTS.

INTERIOR GYPSUM BOARD (GB) BRACED WALLS WHERE INDICATED TO BE FASTENED AT ALL EDGES W/ SCREWS OR NAILS @ 7" OC.

BRACED PANELS "WSP #" OR "CSP-WSP #" INDICATES THE WIDTH IN INCHES AND LOCATION OF PANELS TO MEET CODE. THE SHEATHING & NAIL PATTERN IS THE SAME HERE AS ACROSS THE ENTIRE STRUCTURE, HOWEVER THE TOP & BOTTOM AT THIS LOCATION MUST BE FASTENED PER THE WSP FASTENING DETAILS.

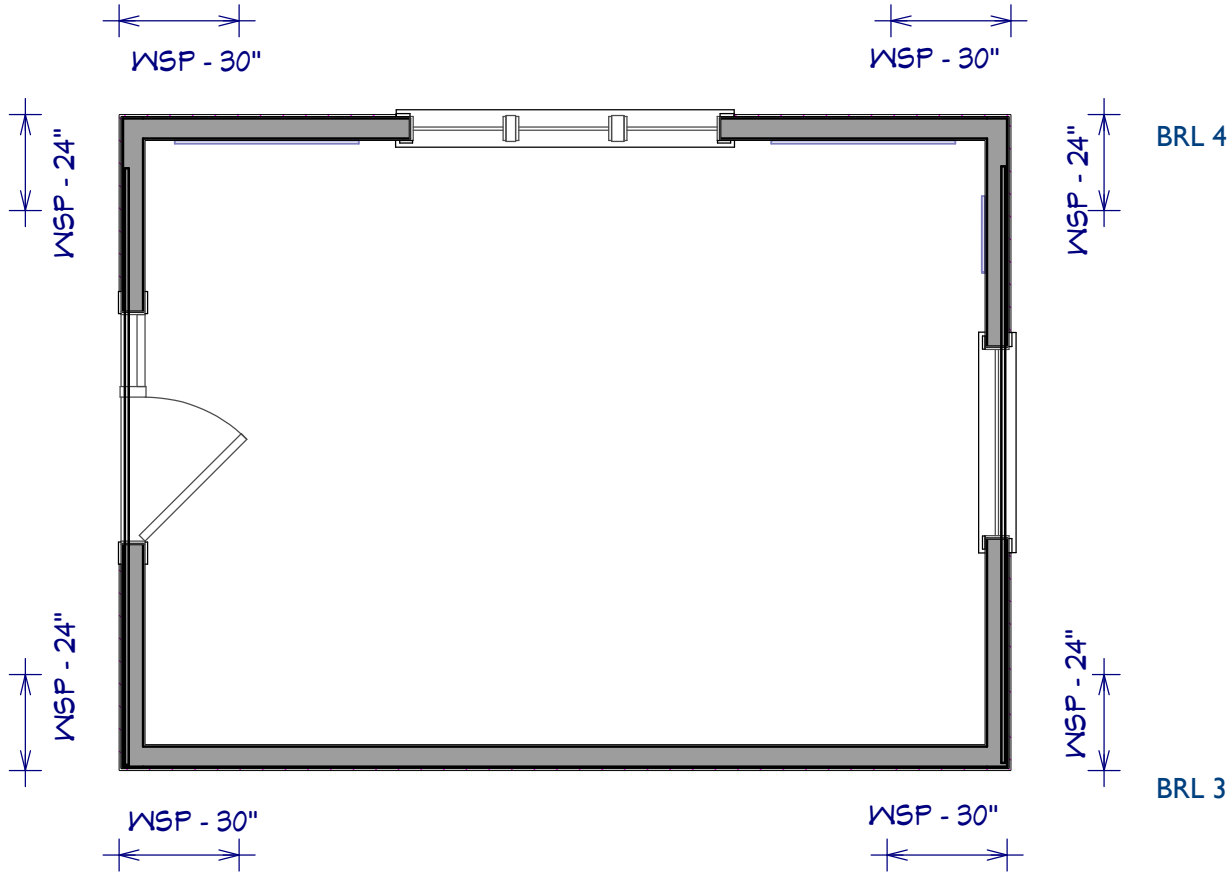
BRACED PANELS "GB #" INDICATES THE WIDTH IN INCHES AND LOCATION OF GYPSUM BOARD PANELS TO MEET CODE, THE BOARD FASTENING, FASTENING AT THE TOP & BOTTOM & ADDITIONAL FLOOR & ROOF BLOCKING AT THIS LOCATION MUST BE PER THE GB FASTENING DETAILS.

BRACED PANEL "PF #" INDICATED A PORTAL FRAME & REQUIRE SPECIAL ATTACHMENT OF THE HEADER. SEE THE CS-PF PORTAL FRAME DETAIL.

EXTERIOR WALL CORNERS, INSIDE & OUTSIDE, MUST BE CONSTRUCTED PER TYPICAL DETAILS.

BWL- INDICATES BRACED WALL LINE

STRAPS, HANGERS, & ANCHORS INDICATED ARE TO BE SIMPSON STRONG TIE OR EQUAL.



REVIEWED

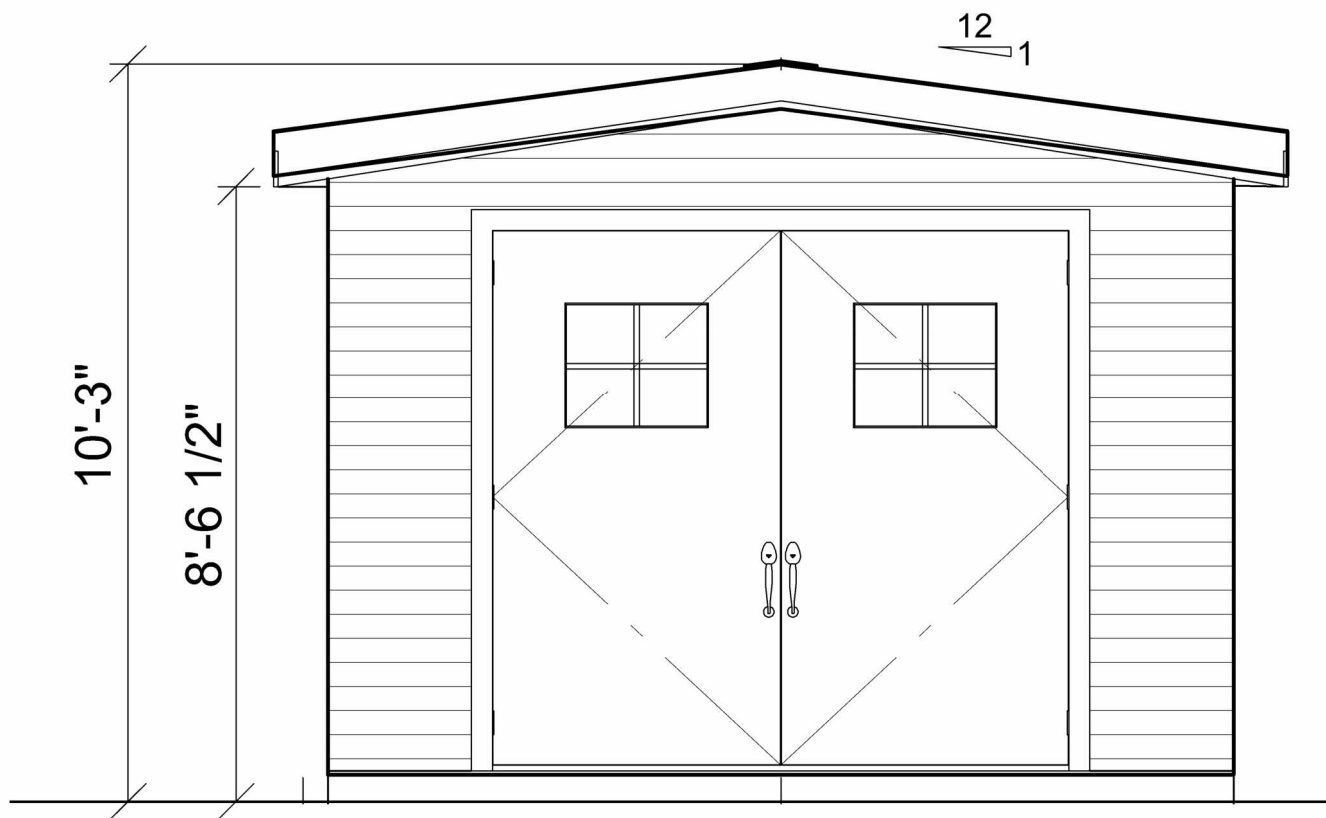
By Laura DIPasquale at 9:58 am, Sep 19, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Benoit



**SPECTRUM
DESIGN + BUILD**
2700 GARFIELD AVE, SUITE C
SILVER SPRING, MD 20910

**MONTGOMERY
COUNTY HPC
SKETCH**



② EXISTING SHED FRONT ELEVATION
1/4" = 1'

REVIEWED
By Laura DiPasquale at 9:58 am, Sep 19, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Benoit

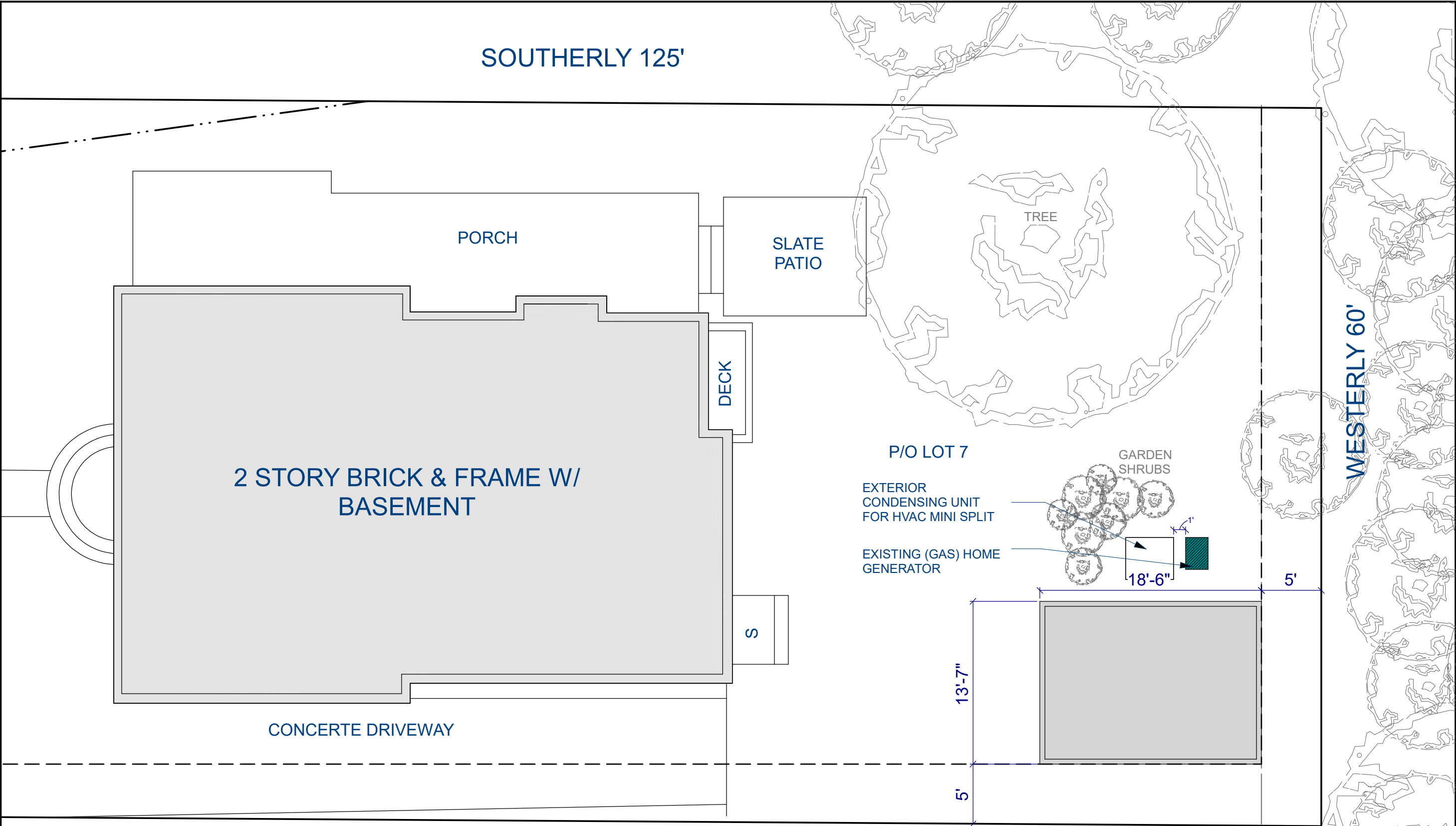


① PROPOSED OFFICE FRONT ELEVATION
1/4" = 1'

DATE:
9/15/2025

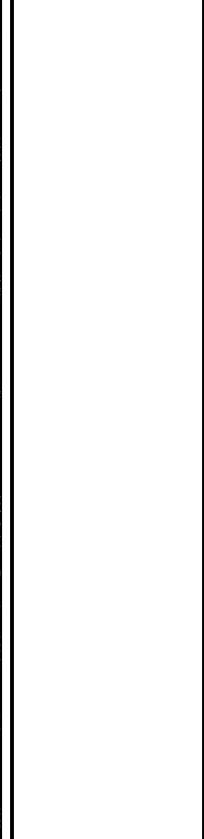
SCALE:

SHEET:
SK-1



**SPECTRUM
DESIGN + BUILD**
2700 GARFIELD AVE, SUITE C
SILVER SPRING, MD 20910

**MONTGOMERY
COUNTY HPC
SKETCH**



DATE:
9/15/2025

SCALE:

SHEET:
SK-1

NORTHERLY 125'

REVIEWED
By Laura DiPasquale at 9:58 am, Sep 19, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Benoit

① SITE PLAN WITH CONDENSING UNIT
1/4" = 1'