



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

Date: September 24, 2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1131524 – Shed construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** by HPC staff.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Keith Sieverding; Claire McLane, Agent
Address: 7303 Holly Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: _____ at: _____

submitted on: _____

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by Laura B. Aguilar on _____. The approval memo and stamped drawings follow.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

This 13770 SF property has an original structure built in 1897 with a 2022 two-story addition and deck in the rear. The lot is deep and narrow. It slopes downward toward the rear lot line. Several large trees dot the land but will not be disturbed by the proposed work. There are no other detached structures on the lot.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The owner proposes to place a pre-fabricated shed in the rear yard. The contractor will prepare a foundation area and assemble wall panels and roof over the floor which will be tied down with earth anchors. Construction of the wall panels and roof will be done off-site. The pieces will be delivered to the property and assembled in a short time, possibly less than one day.

REVIEWED

By Laura DiPasquale at 4:03 pm, Sep 24, 2025

APPROVED

Montgomery County

Historic Preservation Commission



Work Item 1: assemble new shed

Description of Current Condition:

The rear yard is clear of any other detached structures. The property is sloped toward the rear lot line and the area of the proposed shed is not visible from Holly Avenue or the front of the existing house.

Proposed Work:

a 9 x 11 shed is proposed. The wall panels and roof will be delivered to the site and installed over a prepared floor area, tied down with earth anchors.

Site plans, including an existing tree plan, photos of views from the street, and detailed plans of the proposed shed are included in the DOCUMENTS and DRAWINGS folders of DPS ePlans

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Karen Bunkit

Work Item 3: _____

Description of Current Condition:

Proposed Work:

BOUNDARY SURVEY

LOT 26 - BLOCK 6 - PLAT B-24

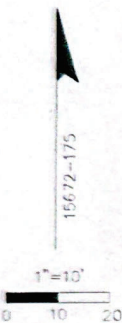
PREPARED FOR:
BACKYARD BOUNTY

FIELD SURVEY DATE:
10/5/2022

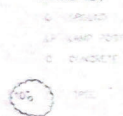
PROPERTY:
7303 HOLLY AVE, TAKOMA PARK, MD 20912

DATUM:
ELEVATIONS SHOWN HEREON ARE ON AN ASSUMED
DATUM.

NOTE: NO RECORD OF SHARED DRIVEWAY AGREEMENT
FOUND, NO TITLE REPORT/SEARCH PROVIDED



LEGEND:



PREPARED BY:

RUF LAND SURVEYING

Reliable & Ultra Fast

2700 Pike Road
Chevy Chase MD 20815
202-643-2556
RUFLand.com

J/N 22-121

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Montgomery County

Historic Preservation Commission

Karen Buelit

26,
RECT
PLAT
30'
TWEEN
REFORE
D PLAT.

REVIEWED

By Laura DiPasquale at 4:03 pm, Sep 24, 2025

Photos show location of shed - in open area where wood chips currently sit, is 10 feet from fence line shown in first photo.



REVIEWED

By Laura DiPasquale at 4:03 pm, Sep 2

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit





REVIEWED

By Laura DiPasquale at 4:03 pm, Sep 24, 2025

APPROVED

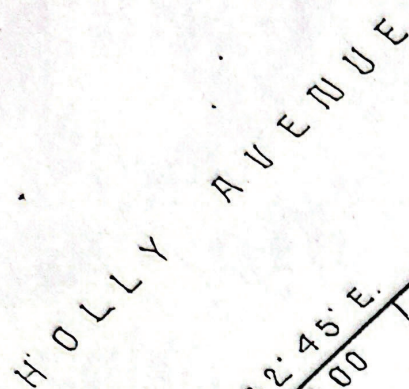
Montgomery County

Historic Preservation Commission

Karen Benoit

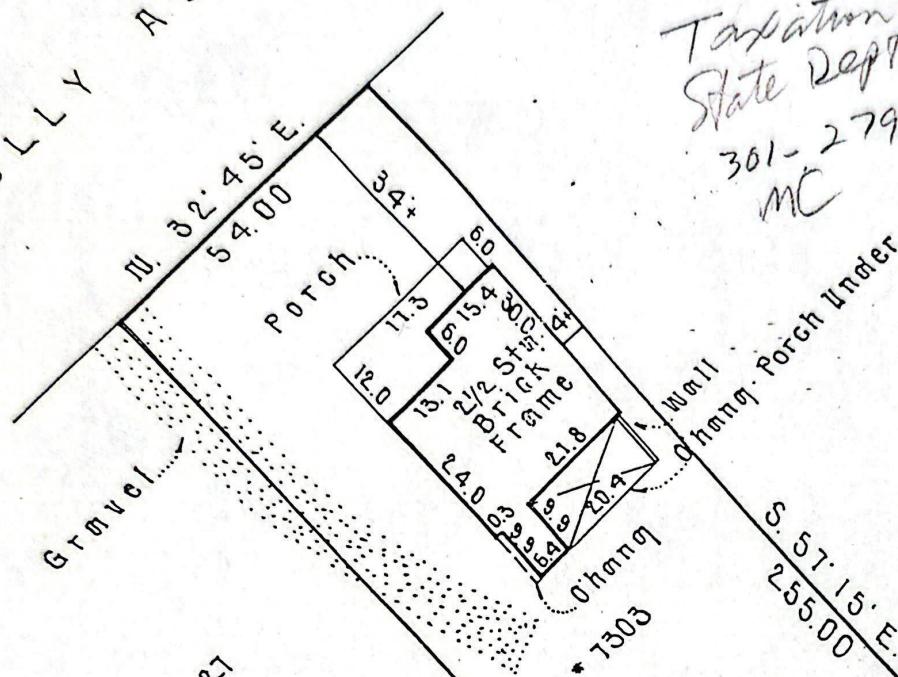


Photos from street & driveway. Shed will not be visible from either vantage point. For reference, the tree with split branch is 12' at the split, and shed will not be that high.



2006

enclosed space 202859
Assessment and
Taxation
State Dept of
301-279-1355
MC



27

$\begin{array}{r} 255.00 \\ \times 100 \\ \hline 25500 \end{array}$

~~S. 57.15 E
255.00~~

57.00
2.45 W.

HOUSE LOCATION
LOT 26 BLOCK 6
TAKOMA PARK
MONTGOMERY COUNTY, MD.

REVIEWED

Per P.B. 45 P. # 3365

By Laura DiPasquale at 4:03 pm, Sep 24, 2025

EXISTING ENCROACHMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT TAPE SURVEY AND THAT UNLESS OTHERWISE SHOWN, THERE ARE NO ENCROACHMENTS.

Wm. O. Lawrence

JEFFERSON D. LAWRENCE
PROFESSIONAL LAND SURVEYOR
REGISTERED LAND SURVEYOR MARYLAND #5216

PLAT NO. 24

LIBER

FOLIO

APPROVED

Montgomery County

Historic Preservation Commission

Karen Bunick

HSE. LOC.: 9.21.77

BOUNDARY:

JOB NO.: 130677



American Earth Anchors

The best screw you will have in the dirt™

americanearthanchors.com

QUICK REFERENCE

3ST-36TH | Specifications

3" steel arrowhead with 3' cable and thimble



Steel Arrowheads



Anchor

Galvanized steel

3" (7.5 cm)



Cable

Galvanized steel aircraft cable

Diameter: 1/8" (3 mm)

Length: 3' (.9 m)

Breaking strength:
2,000 lb (8.9 kN)

Available in stainless steel
as specified

Thimble

Galvanized steel

3/4" (19 mm)



REVIEWED

By Laura DiPasquale at 4:04 pm, Sep 24, 2025

LOAD CAPACITY

Soil Class 1	Soil Class 2	Soil Class 3	Soil Class 4
Hardpan Asphalt	Sandy gravel Very dense sand	Medium dense sand	Very loose sand
2,000 lb 8.90 kN	1,800 lb 8.01 kN	756 lb 3.39 kN	267 lb 1.19 kN

Soil classification per ASTM D-2487/2488

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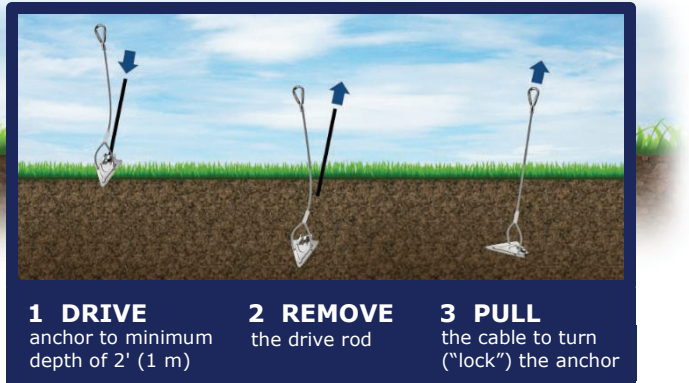
3ST-36TH | Installation



Don't use rebar – it can get stuck in the anchor!



Drive rod fits into back of arrowhead



1 DRIVE
anchor to minimum
depth of 2' (1 m)

2 REMOVE
the drive rod

3 PULL
the cable to turn
("lock") the anchor

Into the ground

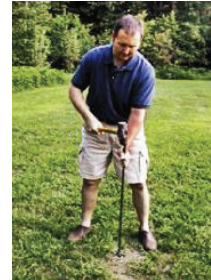
3' (.9 m) drive rod

1/2" (13 mm)
diameter

DR-3ST



Safety
holding handle
DR-SHH



Sledge hammer



Demolition hammer

Locking the anchor



During locking, anchor will pull up as it turns, settles, and locks. Depending on soil type, this can typically be 1-4 inches (3-10 cm).

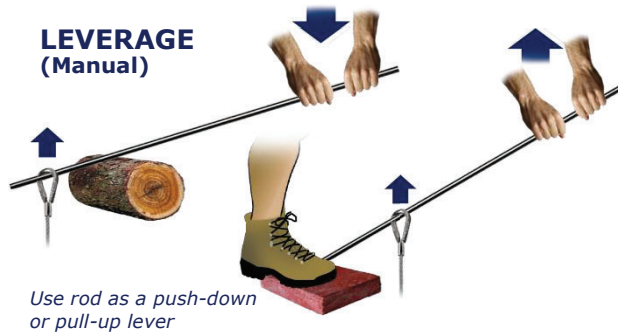
SIMPLE PULL



Put drive rod through thimble and PULL

Most common method for this size anchor

LEVERAGE (Manual)



Use rod as a push-down or pull-up lever

LEVERAGE (Mechanical)

Not usually needed for this size anchor



Ratchet-lever hoist ("come-along")



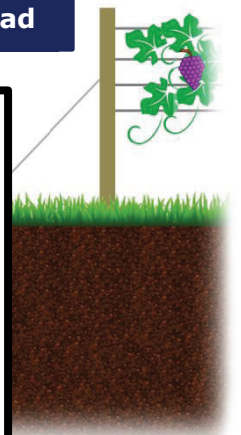
Bumper jack

Through asphalt

Make slot through asphalt



Non-vertical load



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By Laura DiPasquale at 4:04 pm, Sep 24, 2018



American Earth Anchors
info@americaneaa.com
americaneearthanchors.com

Contact us for CUSTOM WORK
Size, length, shape, material,
prototypes, cable assemblies



866-520-8511

+1 508-520-8511



Sheds Unlimited LLC
2025 Valley Rd
Morgantown, PA 19543

Phone: 717-442-3281

Estimate

Estimate Date: Apr-03-2025

Estimate Number: 1107725

Payment Terms: 30% Down / Bal on Del

Total Amount: \$15664.15

Price quoted is valid for 30 days

Sales Rep: William H Dokas

Bill To:

Keith Sieverding
7303 Holly Avenue
Takoma Park, MD 20912

Deliver To:

Keith Sieverding
7303 Holly Avenue
Takoma Park, MD 20912

202-375-1761

ksiev@hotmail.com

Details

Shed:	Door:	Shutter:
Roof:	Trim (Around Door):	Drip Edge:
Corner Trim:	Trim Color (On Door):	
Fascia Trim:	Window Trim Color:	

Description	Quantity	Price	Total
Building use: Storage Area =====	1	\$0.00	\$0.00
10x12 Workshop w Smart Panel T111 Siding - Classic Shed Collection - Pressure treated skids - 2x4 Pressure treated floor joists 16" O.C. - 5/8" Flooring - 2x4 walls and trusses 16" O.C. - 6' 6" high walls - Two 18x36 windows with screens and painted Z shutters - Wooden classic 5ft double door with heavy duty hinges - 6/12 roof pitch - 8" overhang all around - 30 year architectural shingles ----- Features above included in base price ----- =====	1	\$4,411.00	\$4,411.00
James Hardie Cement Clapboard (Reveal: 5" or 7"?) (Smooth or Cedarmill?) Factory primed, not pre-finished VERSATEX Stealth trim package included (Smooth or Timber Ridge?) 12" higher walls on sheds Paint by the Gallon 24" Flower Box (Color:?)			3,657.36
Change to Standard 5' double door	1	\$0.00	\$0.00
Change to 1x3 Window trim, instead of shutters	2	\$0.00	\$0.00
Change to 24" x 36" non-insulated window with screen (shutters not included) Color: White, Bronze, or Black (\$15 more per window for black)?	2	\$0.00	\$0.00
5K (\$21 per ft. for 6K) Seamless Gutters and downspouts for sheds and garages, 12' + in length (Color : White, Royal Brown, Musket, Dark Bronze, Red, Herringbone, Eggshell, Brandywine, Cream, Wicker, Green, Ivy Green, Territone, Sand Castle, Ivory, Pearl Gray, Heather, Clay, Dark Gray, Norwood, Black, Linen, Heritage Blue, Almond, and Copper). Downspouts on the (choose one: left or right) side as you look at the doors from the outside. If doors are on the gable end, the downspouts will be towards the gable end opposite the doors.	46	\$15.75	\$724.50
Shed American Earth Anchor kit (includes four earth anchors)	1	\$205.00	\$205.00
Classic Painted Gable Vent (same as face trim color)	2	\$71.37	\$142.74

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ksiev@hotmail.com

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Shed:	Door:	Shutter:
Roof:	Trim (Around Door):	Drip Edge:
Corner Trim:	Trim Color (On Door):	
Fascia Trim:	Window Trim Color:	

Description	Quantity	Price	Total
Build onsite on wood floor Please Note: A clear workspace of 2 feet around the building is necessary. If this workspace is not available, please let us know as we may need to adjust the installation price for the extra time needed onsite before the crew begins construction.	1	\$2,866.41	\$2,866.41
Shipping for BOS	1	\$650.00	\$650.00

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Shed:	Door:	Shutter:
Roof:	Trim (Around Door):	Drip Edge:
Corner Trim:	Trim Color (On Door):	
Fascia Trim:	Window Trim Color:	

Description	Quantity	Price	Total
12' x 14' Stone Foundation Features Include: (Please note: the Customer Disclosure document must be signed onsite before any work can begin) Foundation Size is From Outside of Perimeter. Excavation and Leveling of the Site. Pressure Treated 4x6 or 4x4 Perimeter w/ 24" Rebar Stakes Through 4x6s or 4x4s to Maintain Stability. 4" to 6" of 3/4" Clean Stone Leveled And Compacted. Geotextile Woven Fabric Will Separate the Stone From The Ground, This Will Help For Faster Drainage and Will Give The Foundation More Stability, It Also Prevents Weeds From Growing Around The Structure. The Stone Foundation is Not Only a Foundation But is Also a Drainage Bed to Prevent Moisture From Rotting The Sides and The Floor of Your Structure, It Will Prevent Uneven Settling and Extend The Lifetime Of Your Structure.	1	\$1,785.00	\$1,785.00

NOTE:

The base price assumes the site is within 8 inches of level. If the pad site is more than 8 inches off level, additional charges may apply, as determined by the site crew on the day of work.

Additional charges may also apply if excavation through rock, stumps, or roots is required.

Leveling Adjustments:

Pad 8" to 14" off level: +20%

Pad 15" to 20" off level: +30%

Pad 21" to 26" off level: +40%

Pad more than 26" off level: Custom quote required

NOTE:

All excavated dirt is intended for use around the foundation. If dirt needs to be hauled away, an additional charge will apply.

DAMAGE WAIVER:

The customer is responsible for ensuring equipment has clear access to the site. Any damage to

REVIEWED

By Laura DiPasquale at 4:04 pm, Sep 24, 20

APPROVED

Montgomery County

Historic Preservation Commission

Karen Bunkit

Questions?

Contact us using the contact information on the right.

Sheds Unlimited LLC | Morgantown, PA 19543
Phone: 717-442-3281 | office@shedsunlimited.net



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Details

Shed:	Door:	Shutter:
Roof:	Trim (Around Door):	Drip Edge:
Corner Trim:	Trim Color (On Door):	
Fascia Trim:	Window Trim Color:	

Description	Quantity	Price	Total
property, tree or shrubbery roots, underground wires, or water pipes is the customer?s responsibility.			
The customer is also responsible for verifying and marking any underground utilities (e.g., calling 811) prior to our arrival.			
Credit for non-engineered shop plans (Additional charge will be required if building style changes)	1	-\$250.00	(\$250.00)

REVIEWED

By Laura DIPasquale at 4:04 pm, Sep 24, 2025

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Karen Bunkit

Customer is responsible for any and all site preparation, including leveling, fill and grading. Sheds Unlimited requests that delivery be rescheduled if Customer believes weather, soft ground or other conditions exist which would impede the safe delivery of the building or cause damage to the property. Customer also waives any course of action against Sheds Unlimited for any damage caused to lawn, pastures, ground, fences, gates, structures, buildings, animals or other property whatsoever. Customer is responsible to make pre-hung door adjustments, when a building with such a door is placed on a pad other than concrete. The balance of the purchase price is due at time of delivery. Any unpaid payments shall bear interest at the rate of two percent (2%) per month. No complaint about work or product shall excuse Customer from completing its payment obligations under this Agreement. Our cancellation and refund policy is as follows. 95% of the total is refundable if supplies have not been ordered. If supplies have been ordered the refund will be 95% or remaining balance after supplies are deducted. NOTE: If shed delivery time exceeds one hour charges of \$60.00 per hour will apply.

Subtotal: \$14,915.33
Sales Tax: \$748.82
Total: \$15,664.15

Signed By:

Date: _____

Questions?
Contact us using the contact information on the right.

Sheds Unlimited LLC | Morgantown, PA 19543
Phone: 717-442-3281 | office@shedsunlimited.net

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By Laura DiPasquale at 4:04 pm, Sep 24, 2025

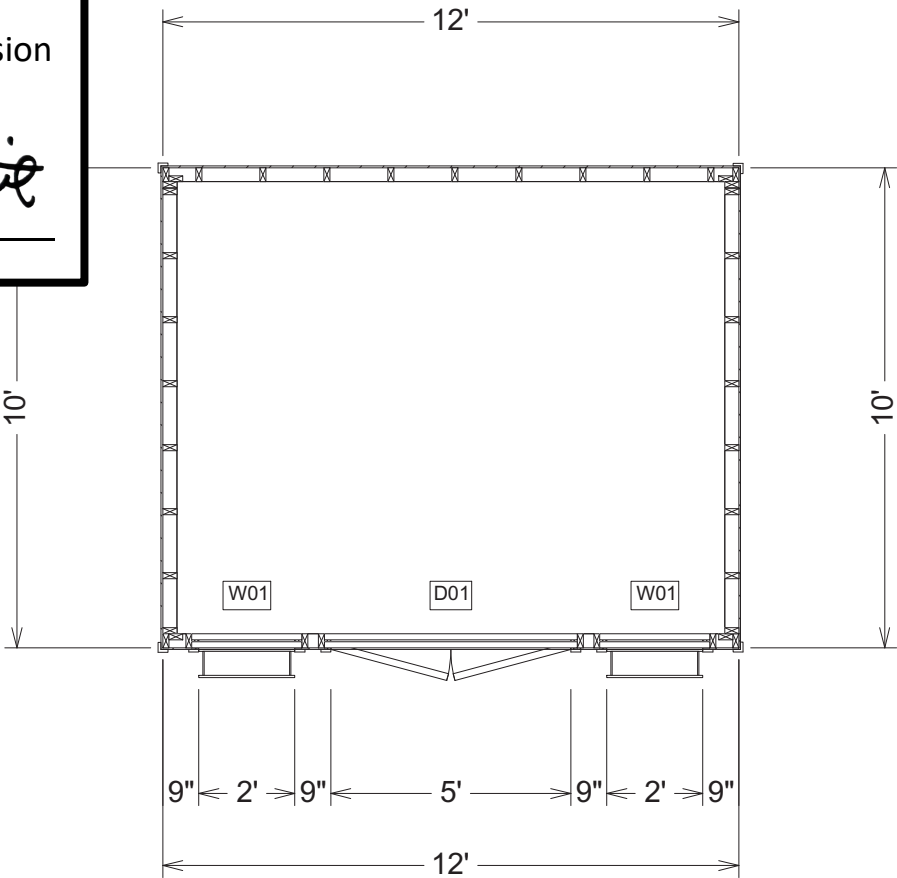
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Karen Buelit

FLOOR PLAN



DOOR SCHEDULE

LABEL	QTY	WIDTH	HEIGHT	DESCRIPTION	HEADER	HEADER TYPE	COMMENTS
D01	1	60 "	72 "	WOODEN DOUBLE DOOR (STANDARD)	2X6X63 1/4" (2)	LUMBER	WITH SINGLE JACK STUDS

WINDOW SCHEDULE

LABEL	QTY	WIDTH	HEIGHT	DESCRIPTION	HEADER	HEADER TYPE	COMMENTS
W01	2	24 "	36 "	NON INSULATED SINGLE HUNG	2X6X27 1/2" (2)	LUMBER	WITH SINGLE JACK STUDS 36" FROM FLOOR TO BOTTOM OF WINDOW

SEAL:

REVISIONS:

SS Est. #1107725 Job Name:

Keith Sieverding
7303 Holly Avenue
Takoma Park, MD 20912

Sheds Unlimited LLC
2025 Valley Road
Morgantown, PA 19543

Drawn By: Andrew DiRodio
Sales Rep: William Dokas

DATE:

5/30/2025

SCALE:

1/4"-1'

SHEET:

A1.1

REVIEWED

By Laura DiPasquale at 4:04 pm, Sep 24, 2025

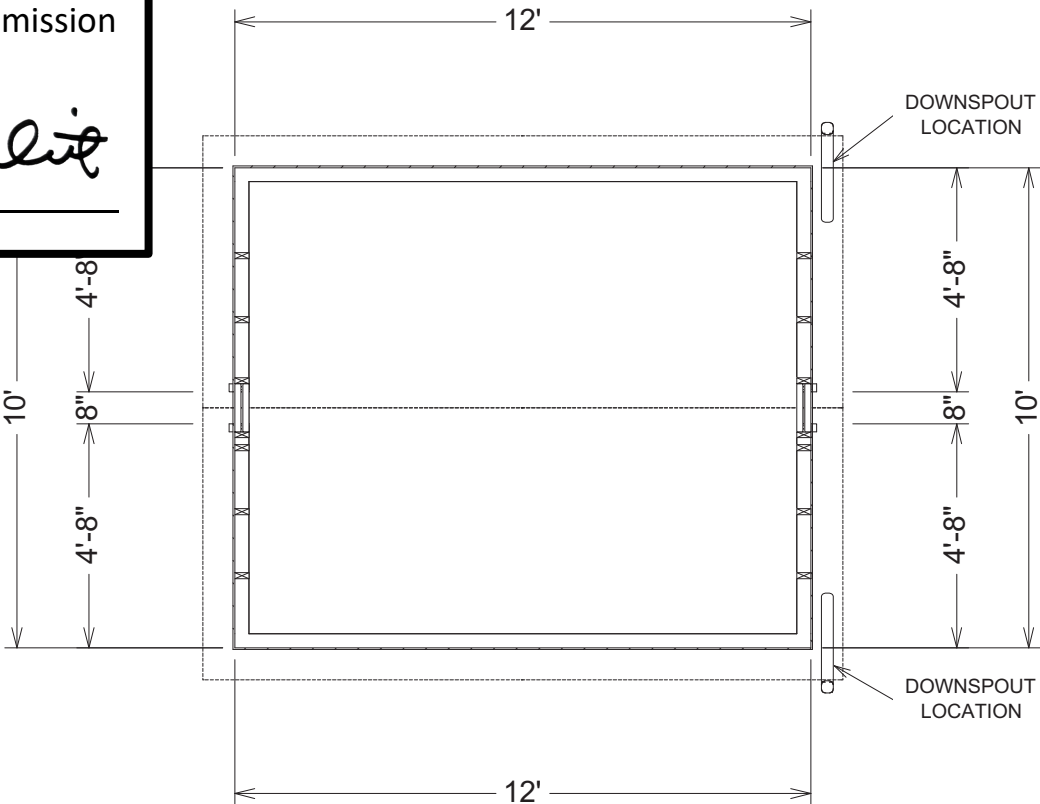
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ROOF AREA



SEAL:

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Morgantown, PA 19543

Drawn By: Andrew DiRodio
Sales Rep: William Dokas

DATE:
5/30/2025

SCALE:
1/4"=1'

SHEET:

A1.2

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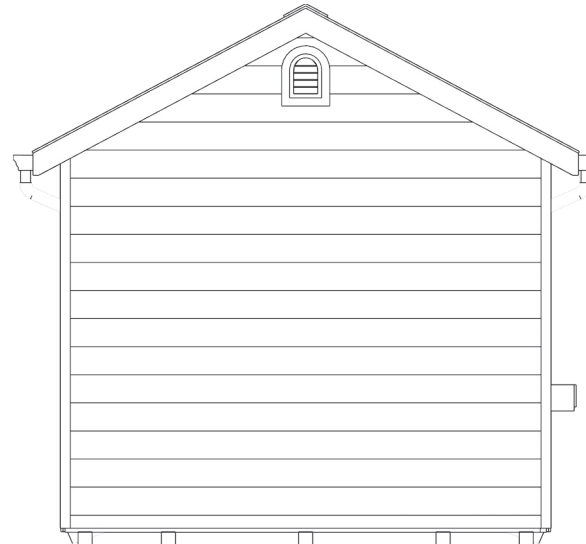
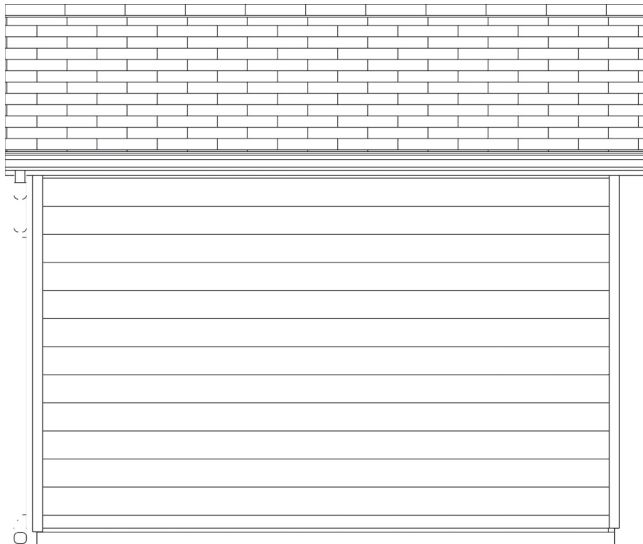
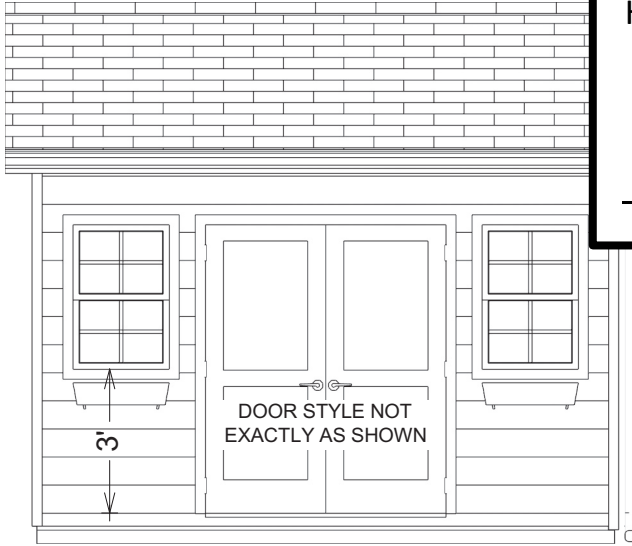
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Morgantown, PA 19543

Drawn By: Andrew DiRodio
Sales Rep: William Dokas

DATE:

5/30/2025

SCALE:

1/4"=1'

SHEET:

A2.1



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By Laura DiPasquale at 4:04 pm, Sep 24, 2025

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IMAGES ARE NOT TO
SCALE AND COLORS
ARE EXAMPLES ONLY

SEAL:

REVISIONS:				

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DATE:
5/30/2025

SCALE:
NTS

SHEET:
A2.2

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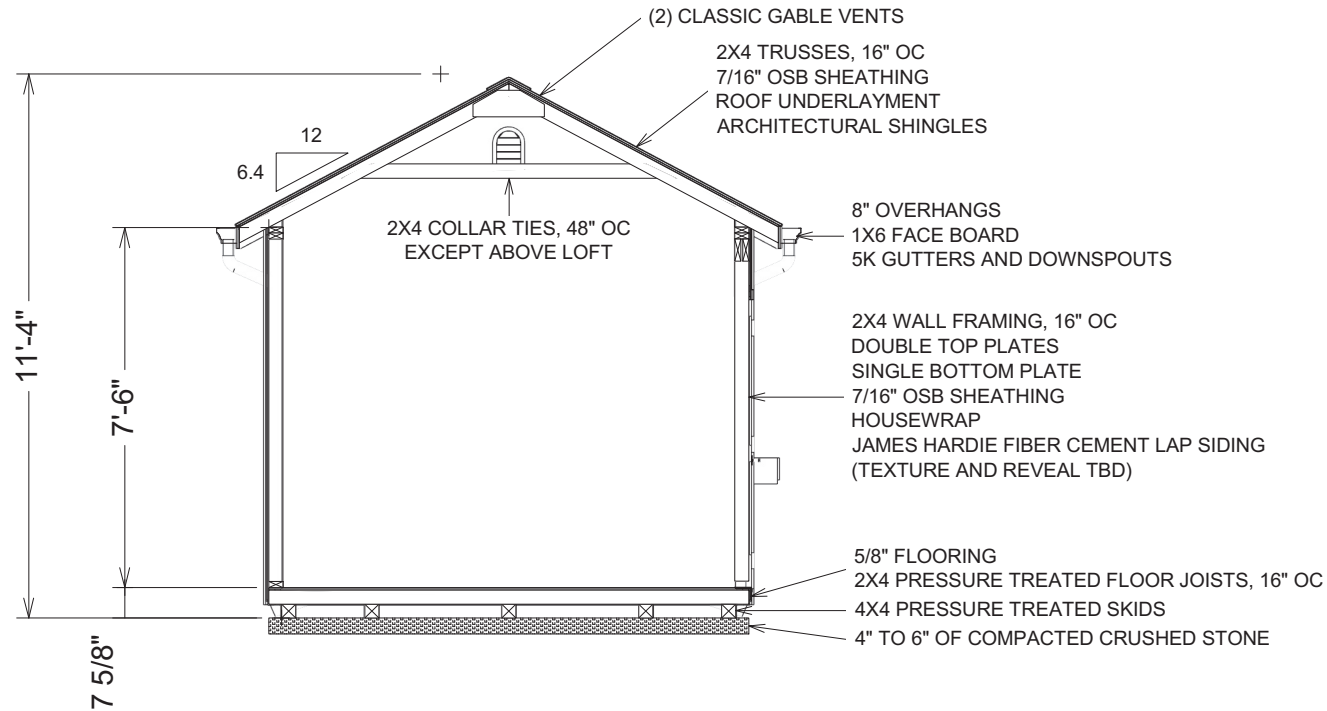
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SEAL:



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Drawn By: Andrew DiRodio
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DATE:

5/30/2025

SCALE:

1/4"-1'

SHEET:

A3.1



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 9/3/2025

Application No: 1131524
AP Type: HISTORIC
Customer No: 1535738

Comments

Pre-fab walls and roof for assembly w hand tools on a prepared crushed stone foundation, tied down w earth anchors. Takoma Park approved tree assessment and right of way access. Questions, pls contact Claire McLane - agent 301-404-2820 or clairemclane@residentialconceptsmd.com

Affidavit Acknowledgement

The Homeowner is the Primary applicant
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 7303 HOLLY AVE
TAKOMA PARK, MD 20912

Othercontact McLane

Homeowner Sieverding (Primary)

Historic Area Work Permit Details

Work Type CONST

Scope of Work Construct a 10x12 pre-fabricated shed in the rear yard on a flat crushed stone foundation, with earth anchor ties.

REVIEWED

By Laura DiPasquale at 4:04 pm, Sep 24, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit