

DESCRIPTION OF THE **PROPOSED** PROJECT AND ITS
EFFECT ON THE HISTORIC RESOURCE:
7411 Piney Branch Road, Takoma Park, MD 20912

This project scope of work is demolishing an existing 14'-0" x 18'-0" 1st floor screen porch structure, and constructing a new space.

NOTE: This structure was built without a HAWP or a Mont. Co. building permit.

The new structure will be a new 18'-0" x 19'-0" Family Room, with a small wood stoop and stairs to grade. At grade, a new stone and concrete patio will be added. On the 1st floor middle bedroom, a code-required rear window will be closed up, so 2 new side code-required egress/glazing windows will be added; on the 2nd floor, an existing mezzanine will be converted into a new Bedroom; a new French casement window matching the existing window will be added in order to increase the "aggregate glazing area" up to 8%.

1st Floor Family Room: *A new 19'-0" long x 18'-0" wide (342 sf) Family Room space will be built at the rear of the house. The roof structure will a 5:12 roof slope on both sides of the gable, in keeping with the architecture of the existing house; eave and rake overhangs will both be extended to 2'-0". There will be a 2'-0" x 5'-0" side extension to accommodate a direct-vent fireplace; this will be covered by the 2'-0" eave overhang so there will be no chimney extension above the roofline. This structure will be built using the following materials/details:*

- a. **Siding:** *Painted fiber cement smooth lap siding (5" exposure) on all 3 façades, with a 5/4 x 4 Boral corner trim. A 5/4 x 10 Boral bandboard will be located at the head of the windows all around, and at the water table level.*
- b. **Roofing:** *Asphalt shingles.*
- c. **Windows and Doors:** *New windows in the 1st floor rear Family Room are all to be aluminum-clad wood casement windows (9-over-1 appearance), 2'-9" wide x 7'-8" high. There will also be two 90-degree triangular direct-glaze alum.-clad wood windows at the rear wall inside the gable. New windows in the 1st floor Bedroom are to be aluminum-clad wood casement windows (6-over-1 appearance). On the 2nd floor, there will be a new aluminum-clad wood French casement window to match the existing French casement; each sash will have 6 lites. All casement windows with mullions (for a double hung appearance) will have standard 7/8" mullion sizes, with a 2" wide center bar, SDL. The rear aluminum-clad wood French door will be salvaged from existing house and re-used. Above the salvaged French doors will be an 8" wide aluminum-clad transom window, divided into 5 lites. There will be painted 5/4 x 4 Boral trim at the windows head and jambs.*
- d. **Foundation Structure:** *Parged CMU foundation wall.*
- e. **Wood Stoop and Stairs:** *A PT wood stoop and stairs with ipe deck and a wood railing along one side. (See details)*



REVIEWED

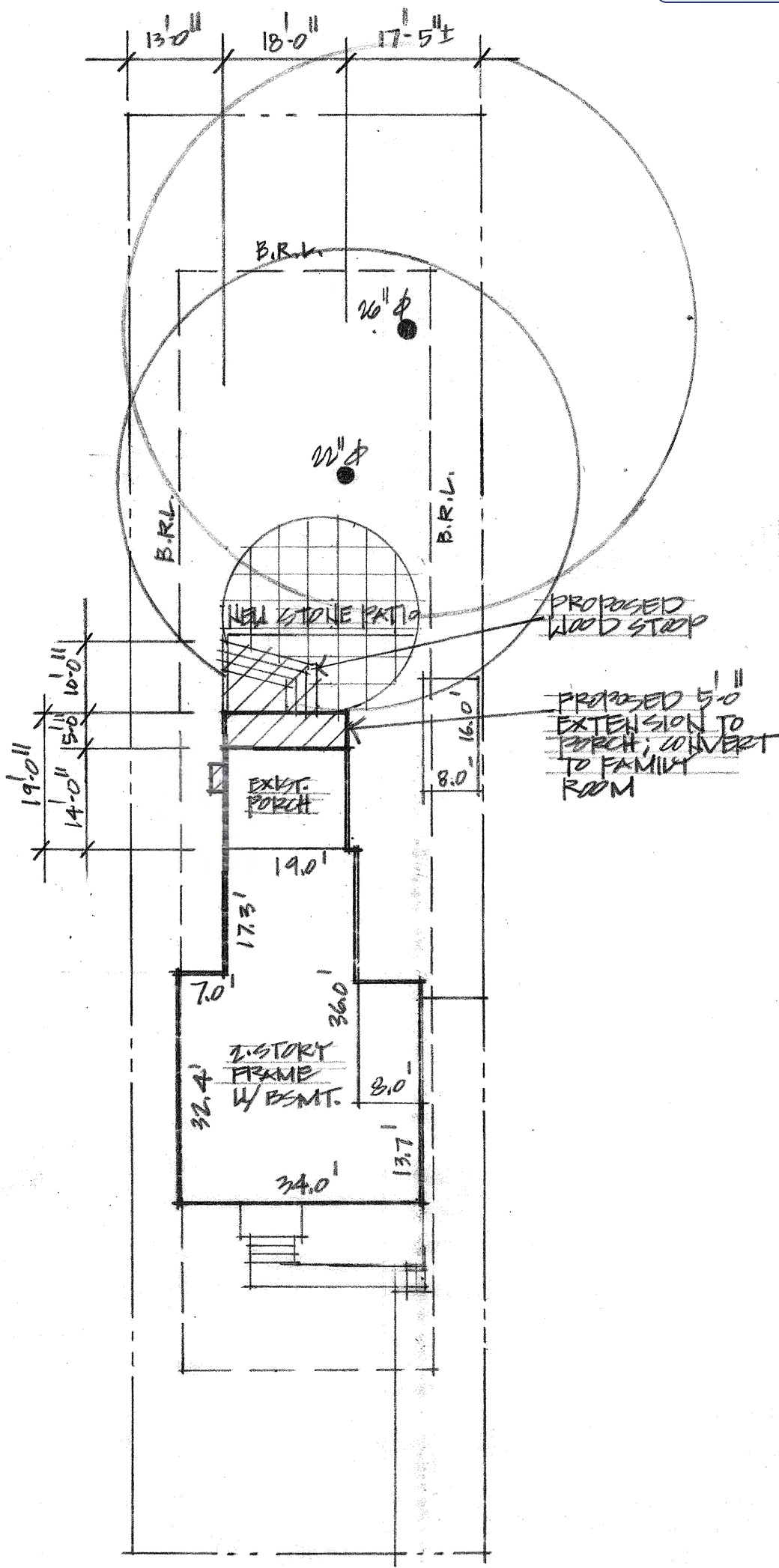
By Devon.Murtha at 12:49 pm, Oct 09, 2025

- f. ***New Rear Stone/Concrete Patio:*** A 27'-0" diameter patio will be built adjacent to the wood stoop. (See site plan).



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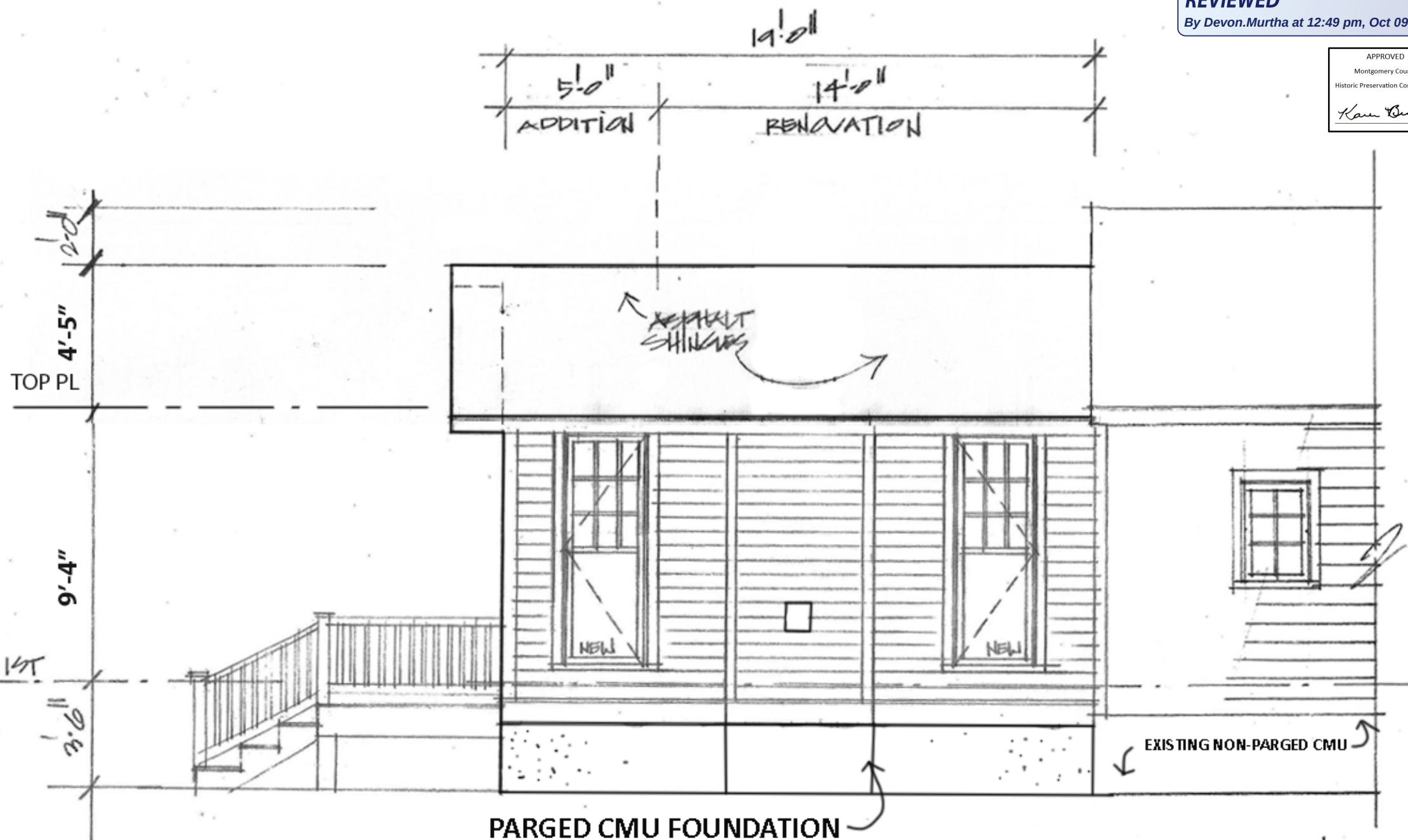
PINEY BRANCH ROAD
PROPOSED
SITE PLAN
1" = 20'-0"

REVIEWED

By Devon.Murtha at 12:49 pm, Oct 09, 2025

APPROVED
Montgomery County
Historic Preservation Commission

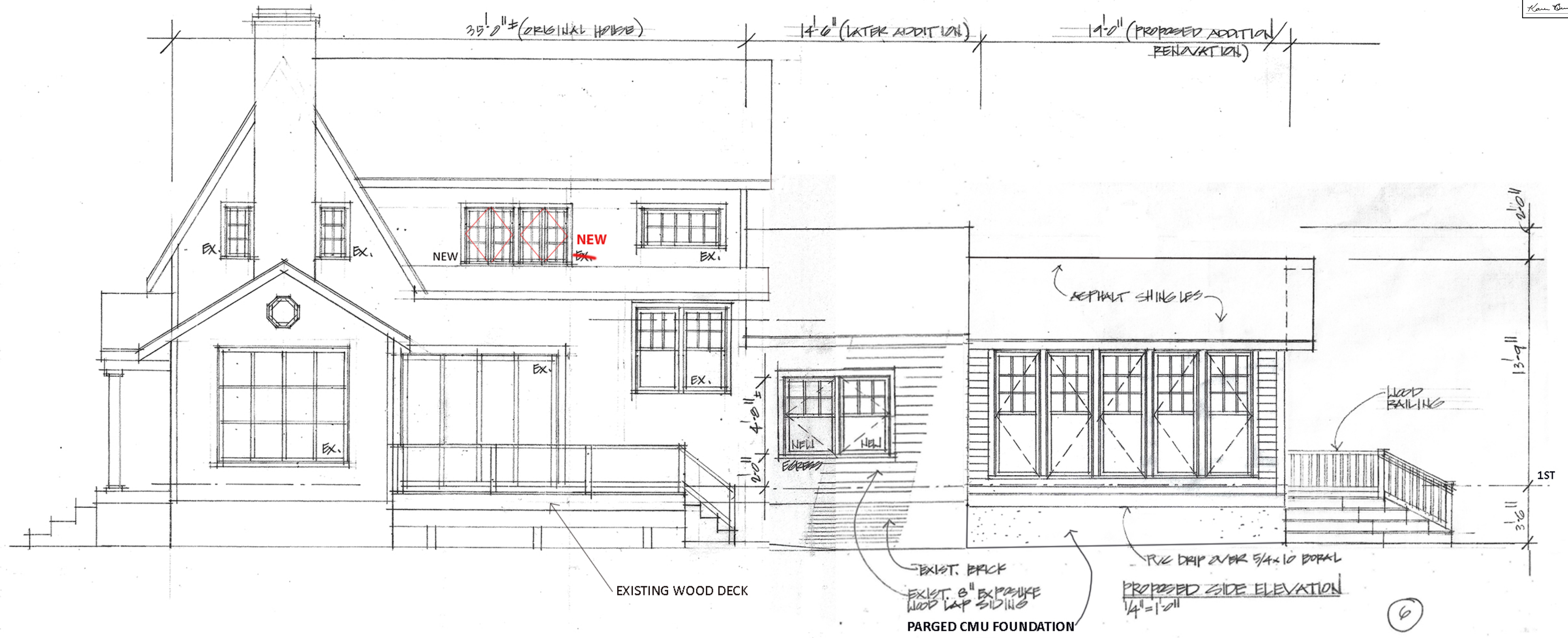
Karen Bullock



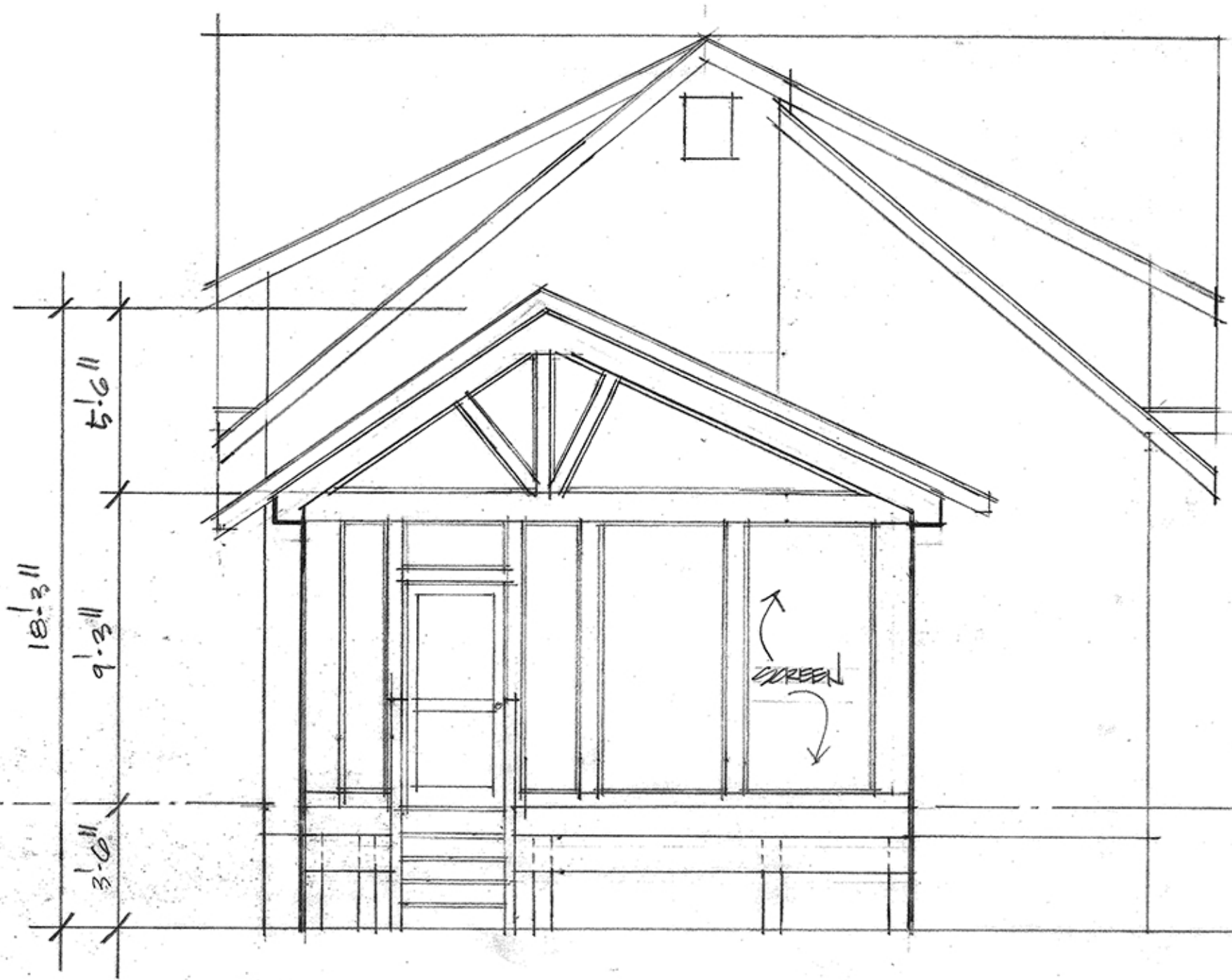
PROPOSED SIDE ELEVATION

1/4" = 1'-0"

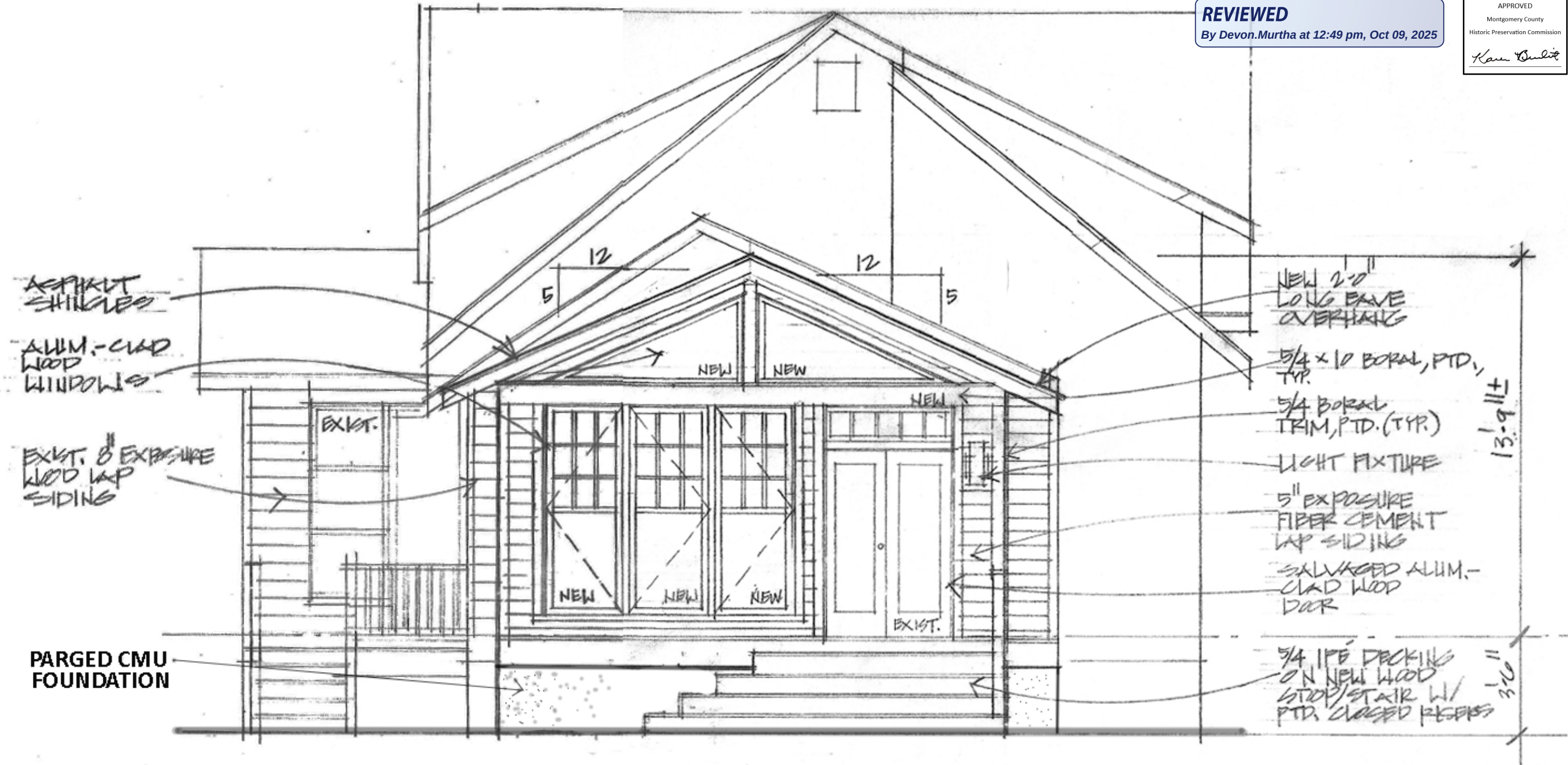
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Montgomery County
Historic Preservation Commission
Karen Daulton

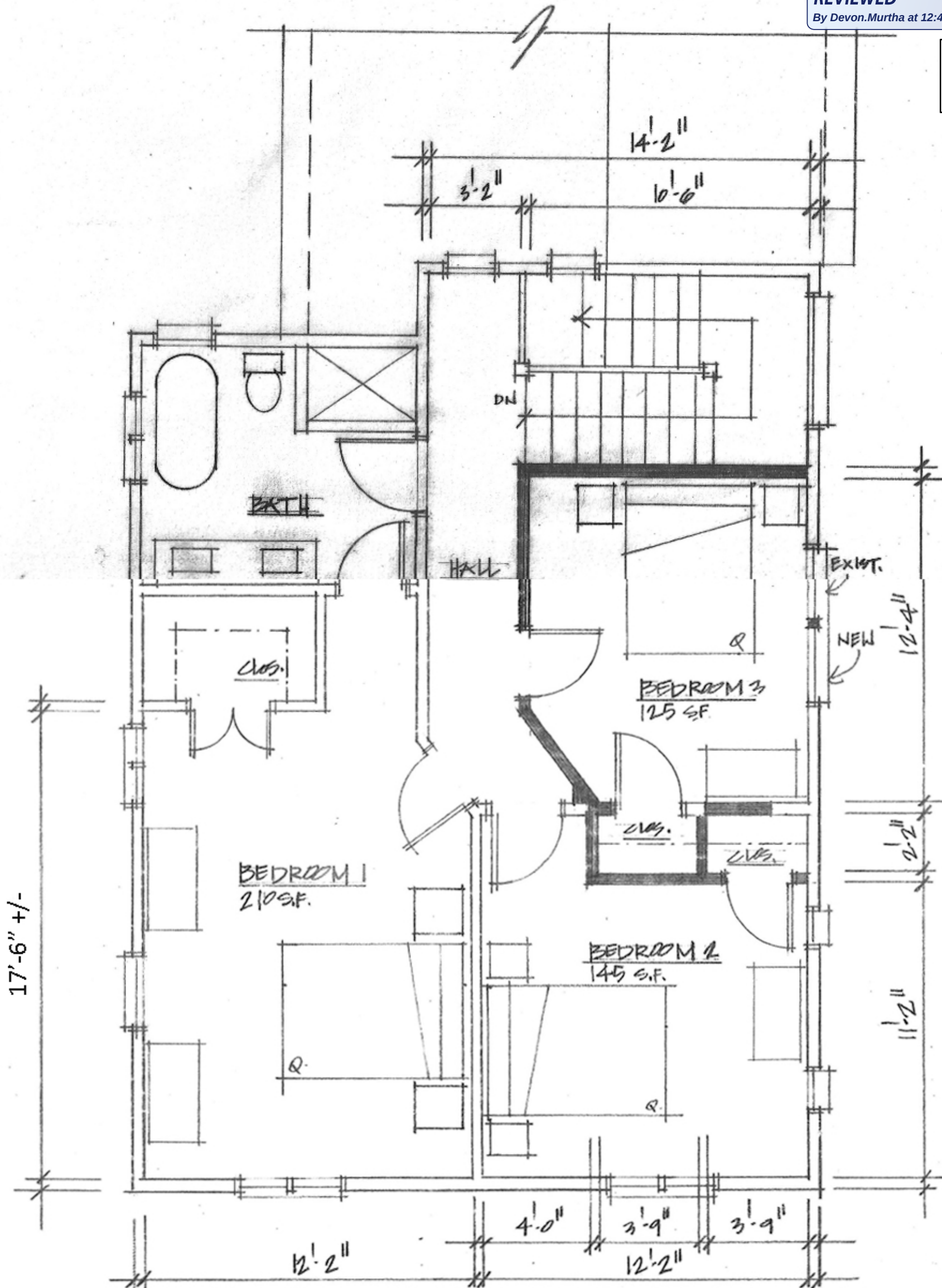


EXISTING REAR ELEVATION
1/4" = 1'-0"



PROPOSED REAR ELEVATION
1/4" = 1'-0"

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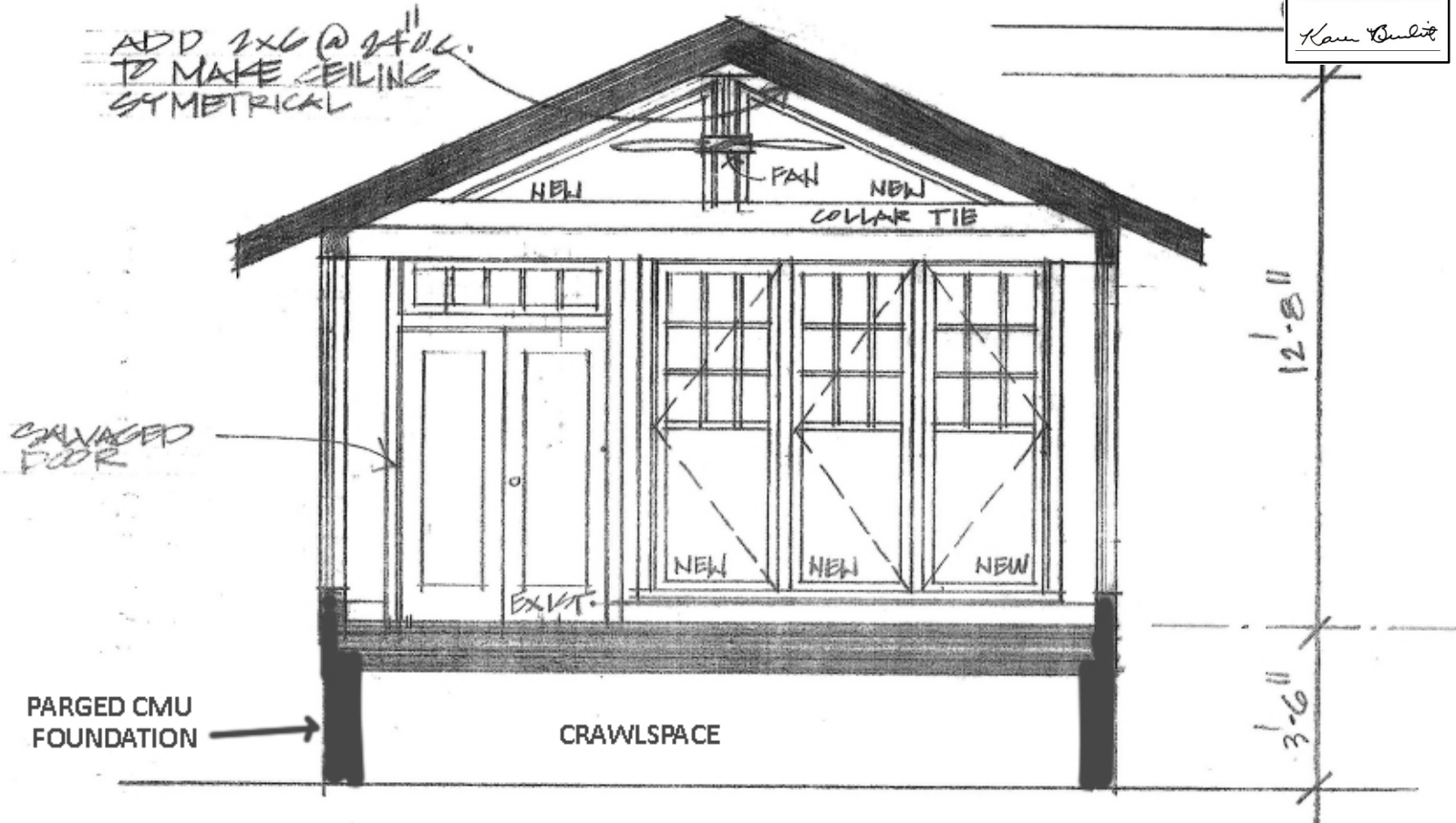
PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

REVIEWED

By Devon.Murtha at 12:49 pm, Oct 09, 2025

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Historic Preservation Commission

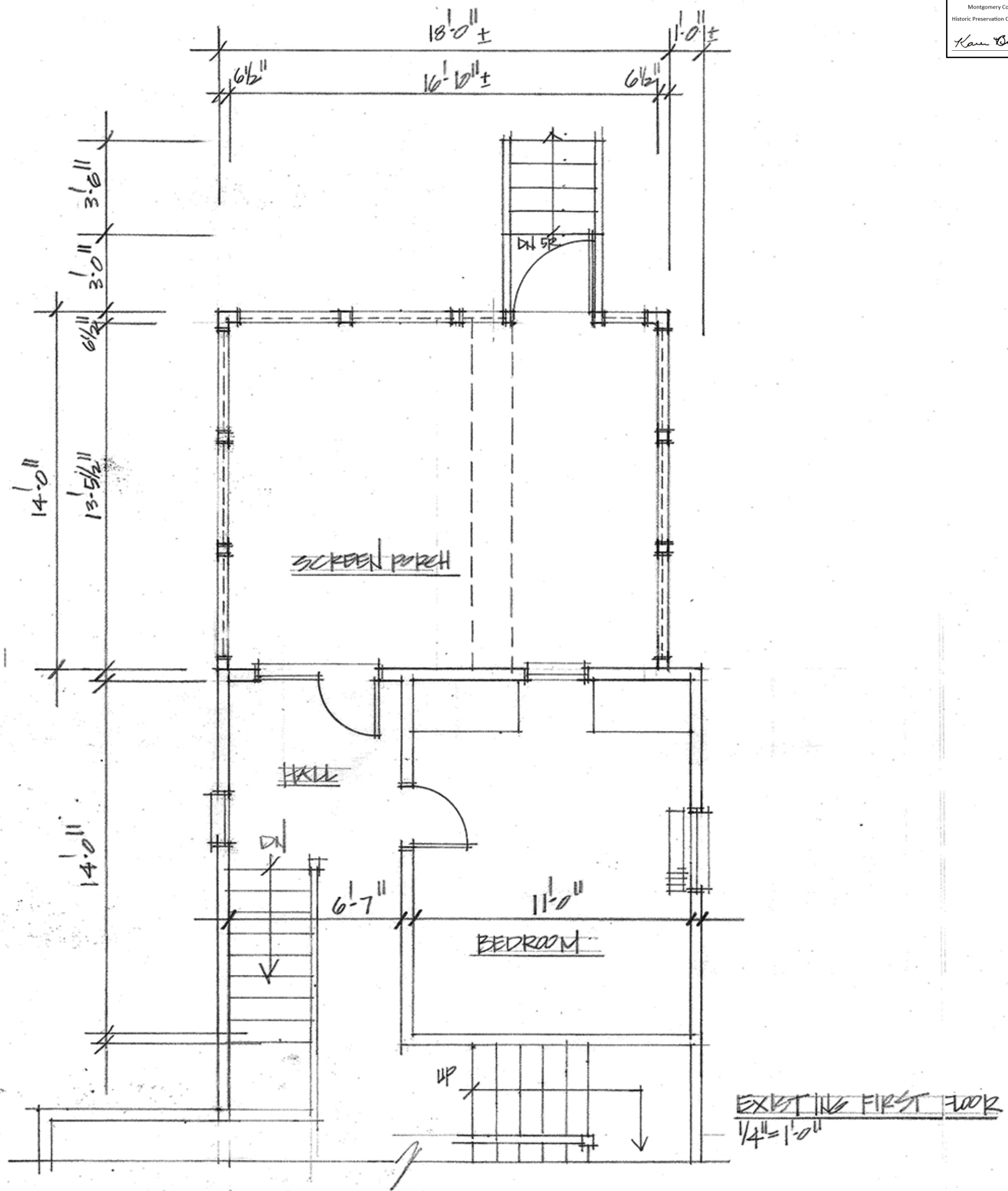
Karen Buelit

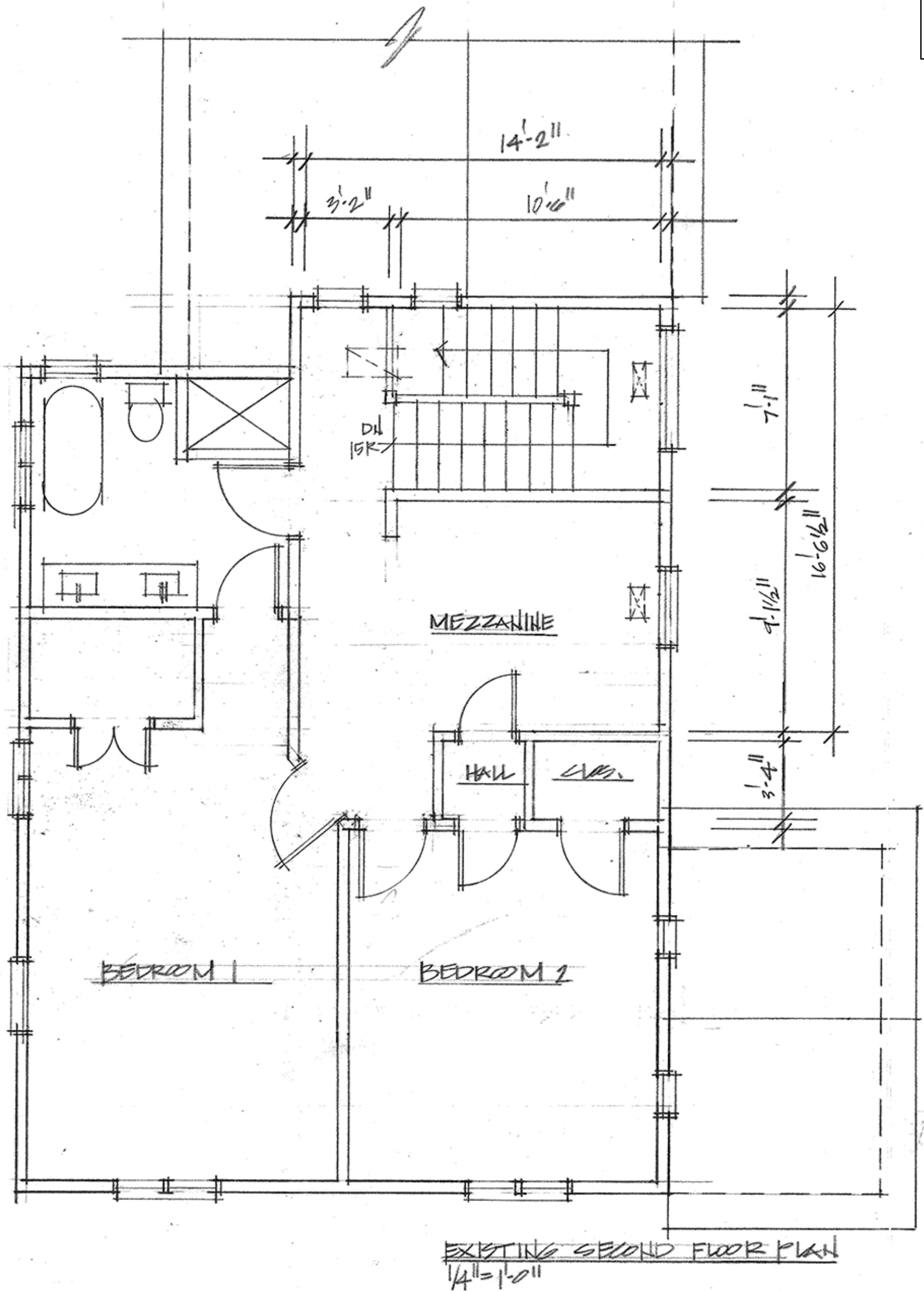


FAMILY ROOM SECTION
1/4" = 1'-0"

⑦

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Karen Gault





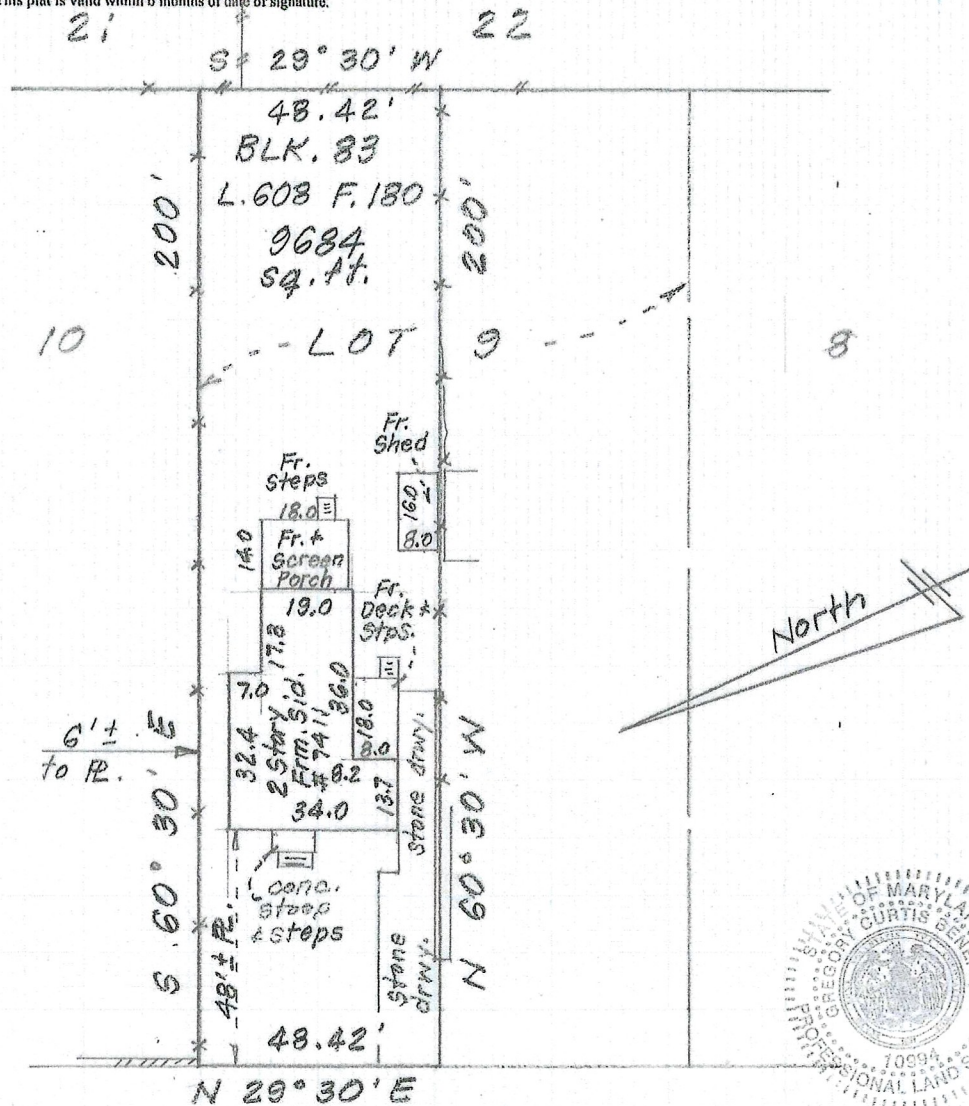
NOTES:

1. This plat is not intended for use in the establishment of property lines, but prepared for the exclusive use of the present property owners of record and/or those who purchase, mortgage or guarantee the title within six months from the date hereof and as to them I warrant this house location plat.
2. For title purposes only.
3. No title reports furnished at this time, subject to all easements and rights of way of record.
4. Property corners have not been set with this survey. Property information was taken from the best available records.
5. This location plat is not to be used for the construction of fences or other improvements. A boundary Survey and lot stakeout would have to be performed to determine the location of all property lines as shown.
6. The Property shown hereon is located within Zone _____ as shown on F.E.M.A. Flood Insurance Rate Map Community Panel No. _____ of _____ County, Maryland.
7. This plat is valid within 6 months of date of signature.

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Karen Buelit



PINEY BRANCH ROAD
(Chestnut Avenue)
40' R/W

DRAWN BY LC
CHECKED BY GB
DATE 7-22-25
SCALE: 1" = 30'
JOB NO. 2025-52
CASE NO. _____

SURVEYOR'S CERTIFICATE

I hereby certify that the position of all the existing improvements on the above described property has been carefully surveyed by me or directly under my supervision and that they are located as shown. THIS IS NOT A BOUNDARY SURVEY.

7-28-25

Date

Gregory C. Benefiel
Registered Professional
Land Surveyor, MD. No. 10994
License Expiration 08-08-2026

HOUSE LOCATION PLAT

7411 Piney Branch Road

Lot(s)/Parcel Part of 9, TM/Block 83

Plat _____ Section _____ Phase _____

PART OF
BARCLAY TRACT
TAKOMA PARK

13th Election District
Montgomery County, Maryland

Plat Book _____ Plat No. _____
Liber 608 Folio 180

S-6204

SURVEYS, INC.

SURVEYORS * ENGINEERS * LAND PLANNERS
PERMIT SERVICES

350 MAIN STREET LAUREL, MARYLAND, 20707
PHONE 301-776-0561 E-MAIL SURVEYSINC@VERIZON.NET



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Historic Preservation Commission

Karen B. Smith

REVIEWED

By Devon.Murtha at 12:49 pm, Oct 09, 2025



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Karen G. Smith

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By Devon.Murtha at 12:49 pm, Oct 09, 2025



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Karen Dunlap

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Karen Ouellet

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Karen D. Smith

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Karen Quilley

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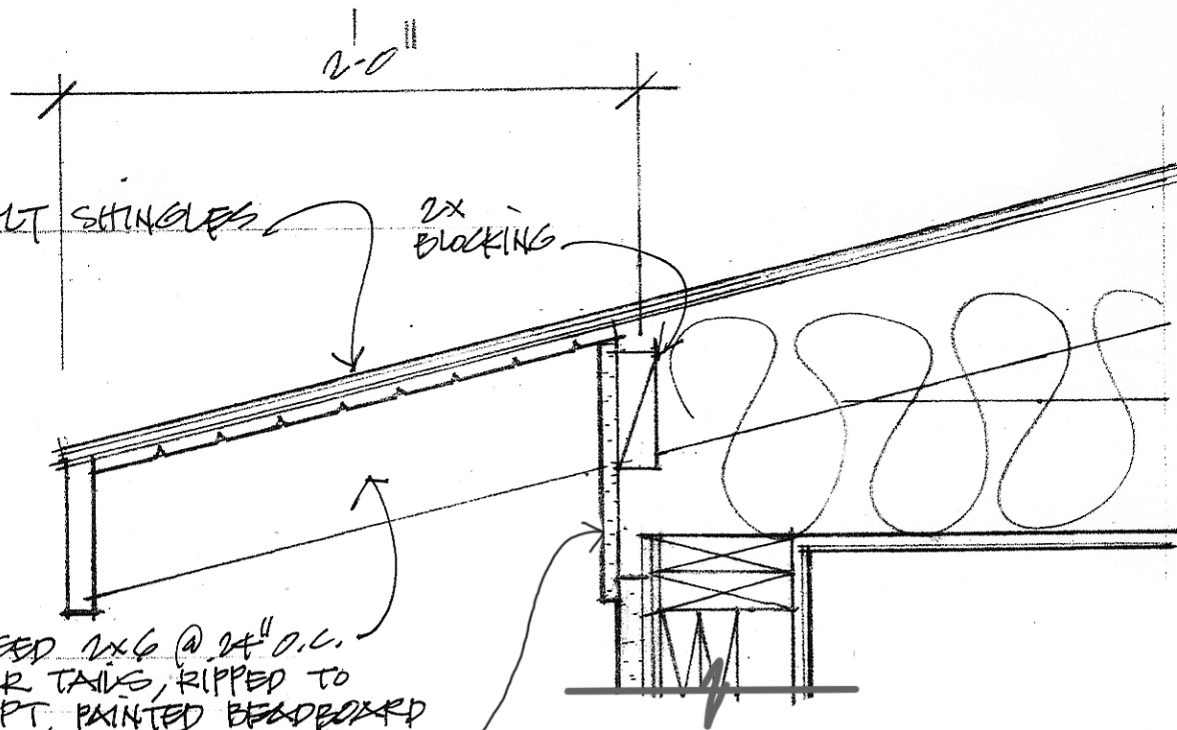
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ORIGINAL HOUSE

LATER ADDITION



EXPOSED 2x6 @ 24" O.C.
RAPTER TAILS, RIPPED TO
ACCEPT PAINTED BEADBOARD
UNDER 5/8" ROOF SHEATHING

BORAL OR WOOD TRIM, PTD.

SECTIONAL DETAIL @ EAVE

1 1/2" = 1'-0"



REVIEWED

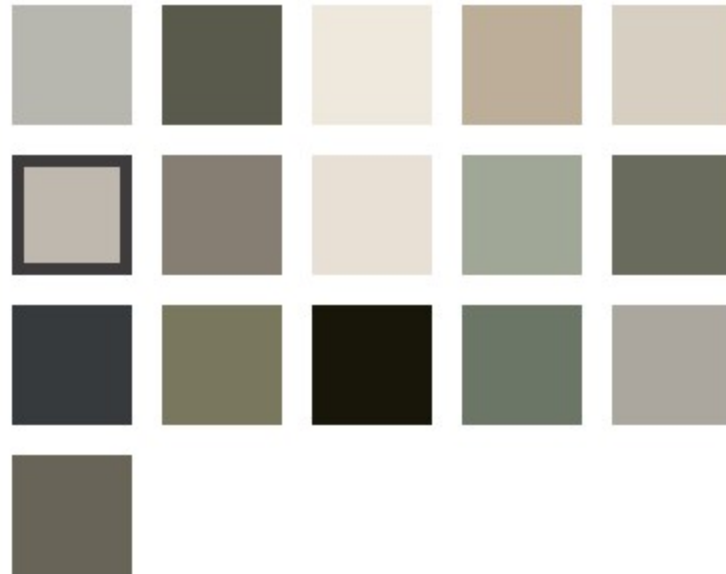
By Devon.Murtha at 12:49 pm, Oct 09, 2025

Joanna Gaines. This collection was inspired by earthy and neutral tones and created to help simplify the process of re-siding your home, so you can design with confidence. All products come with ColorPlus® Technology finishes for added beauty with lower maintenance.



SIDING COLORS

Stone Beach



[Request a Quote >](#)

[Request a Sample >](#)

Colors shown may vary due to screen resolution. Please see actual product sample for true color.



AVAILABLE SIZES

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THICKNESS: 0.312"

LENGTH: 144" boards

WIDTHS:	5.25"	6.25"	7.25"	8.25"
EXPOSURES:	5"	6"	7"	8"

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CASEMENT / CASEMENT

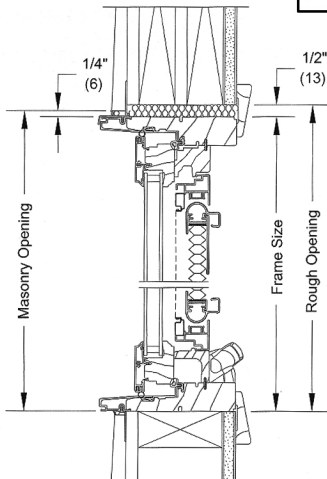
CONSTRUCTION DETAILS

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Karen Buelit



HEAD JAMB AND SILL - OPERATOR
WITH OPTIONAL INTERIOR SHADES

DOUBLE HUNG G2

REVIEWED

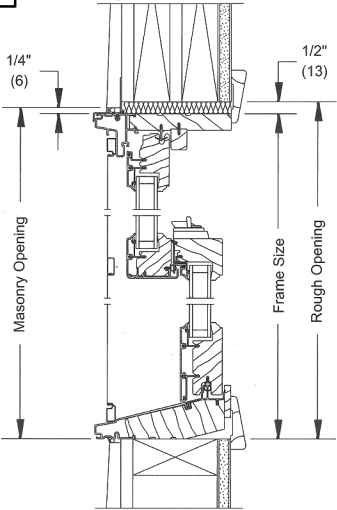
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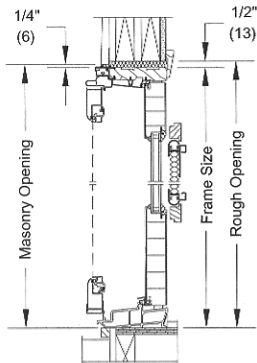
HEAD JAMB AND SILL - OPERATOR

Fiberglass-clad Wood Inswing Door

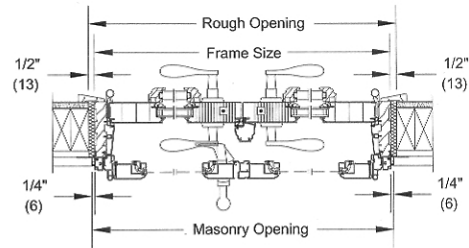
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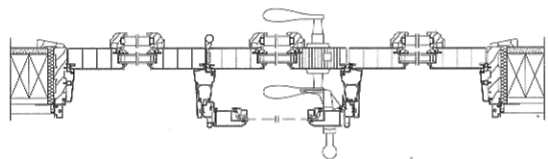
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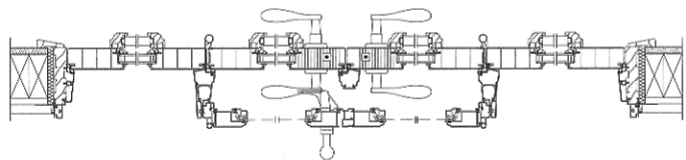
CLAD HEAD JAMB AND SILL
WITH ULTIMATE SWINGING SCREEN -
WITH OPTIONAL INTERIOR SHADES



CLAD 2 PANEL JAMB
XX LHI WITH ULTIMATE SWINGING SCREEN -
WITH INTERIOR SHADES



CLAD 3 PANEL JAMB
OXO LHI WITH ULTIMATE SWINGING SCREEN -
WITH INTERIOR SHADES



CLAD 4 PANEL JAMB
OXXO LHI WITH ULTIMATE SWINGING SCREEN -
WITH INTERIOR SHADES

HANDRAIL

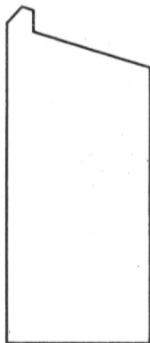
STOCK PINE



SM-8840
1-1/2 X 3-1/2
TOP PORCH RAIL



LWM-237
1-1/4 X 1-1/4
BALUSTER STOCK



SM-6841
1-1/2 X 3-1/2
BOTTOM PORCH RAIL

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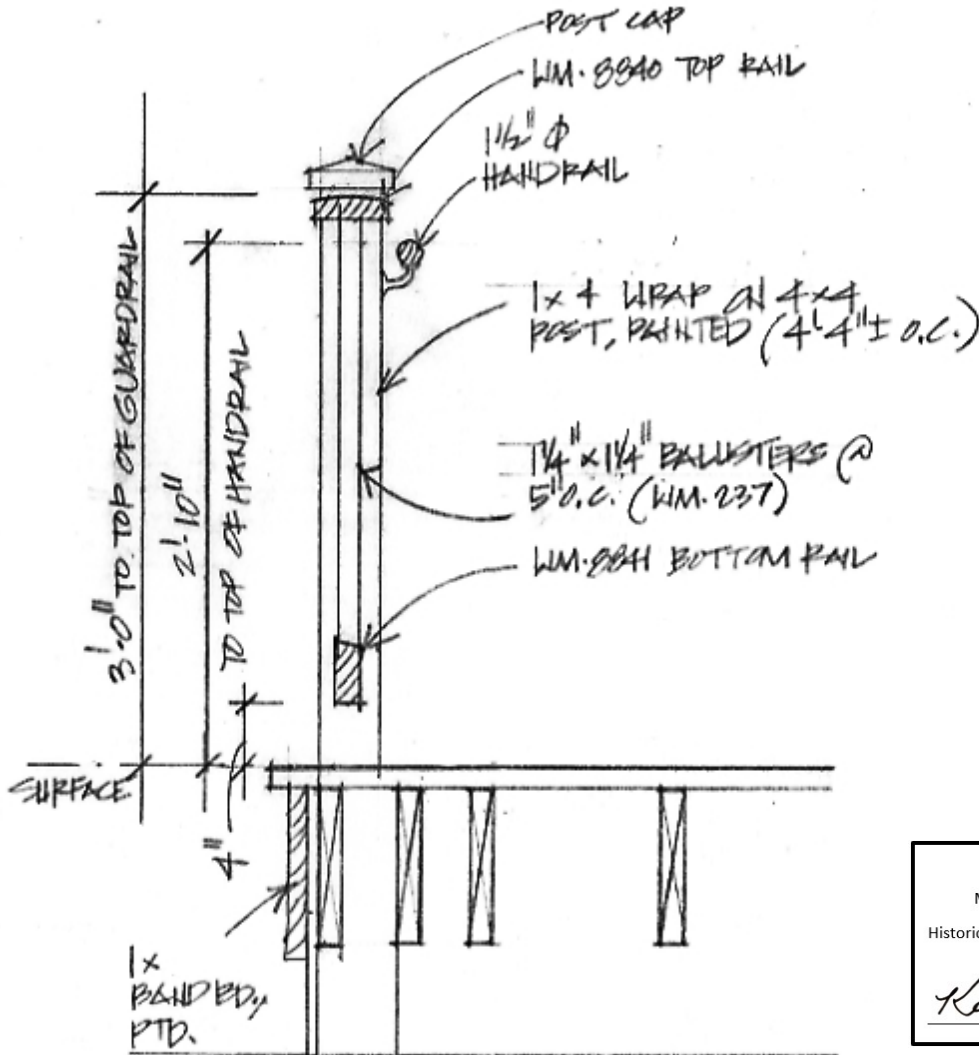
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SCALE: HALF SIZE

PAGE NO. A-54

BAR RAIL



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RAIL SECTION
1"=1'-0"



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 8/20/2025

Application No: 1129952
AP Type: HISTORIC
Customer No: 1534568

Comments

Also add new wood stoop, stairs to grade and a new stone on concrete patio at the rear.

Affidavit Acknowledgement

The Homeowner is the Primary applicant
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 7411 PINEY BRANCH RD
TAKOMA PARK, MD 20912
Othercontact VITULLO
Homeowner Muller (Primary)

Historic Area Work Permit Details

Work Type ADD
Scope of Work Build addition to and renovate existing screen porch into family room. Add windows to 2 bedrooms in order to add adequate glazing and egress.

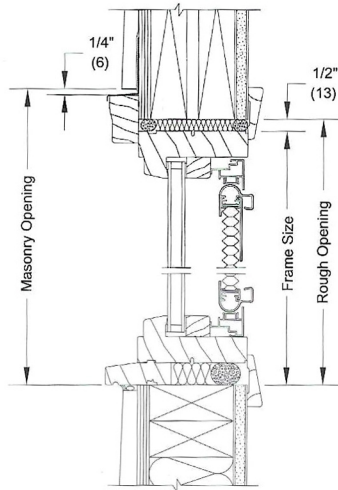


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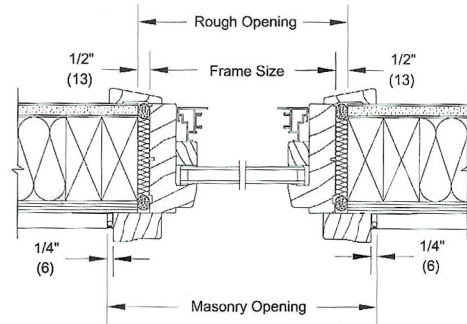
By Devon.Murtha at 12:49 pm, Oct 09, 2025

WOOD DIRECT GLAZE POLYGON / DIRECT GLAZE POLYGON

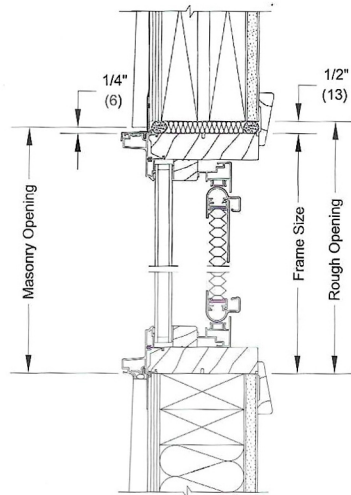
CONSTRUCTION DETAILS



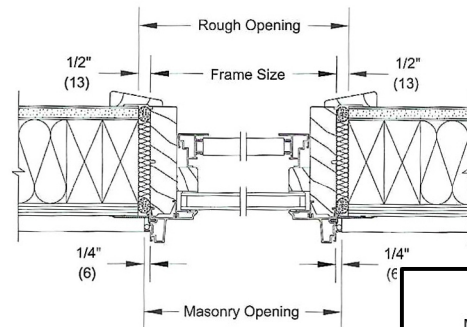
WOOD
HEAD JAMB AND SILL - DIRECT GLAZE
WITH OPTIONAL INTERIOR SHADE



WOOD
JAMB - DIRECT GLAZE
WITH SHADE



CLAD
HEAD JAMB AND SILL - DIRECT GLAZE
WITH INTERIOR SHADE



CLAD
JAMB - DIRECT GLAZE
WITH SHADE

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By Devon.Murtha at 12:49 pm, Oct 09, 2025

FRENCH CASEMENT

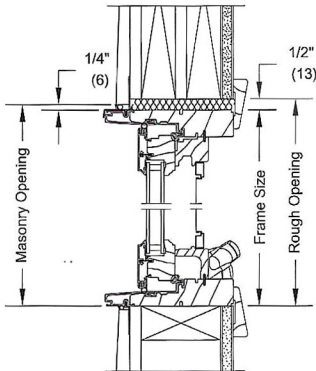
CONSTRUCTION DETAILS

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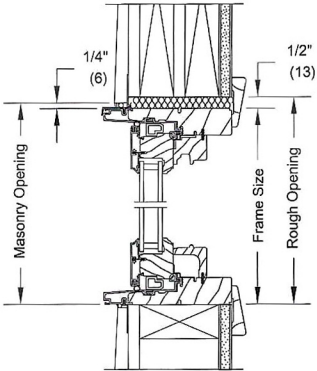
Montgomery County

Historic Preservation Commission

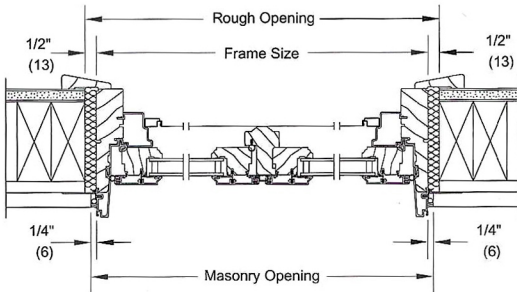
Karen Bunkit



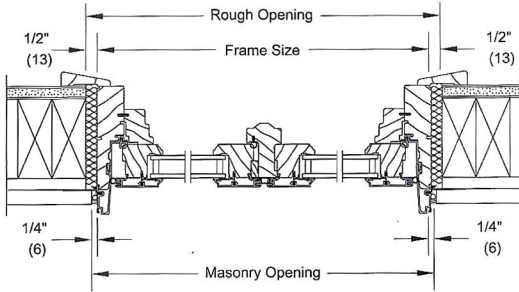
HEAD JAMB AND SILL -
OPERATOR



HEAD JAMB AND SILL -
STATIONARY



JAMB - OPERATOR



JAMB - STATIONARY

