HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

October 23, 2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services
FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission
SUBJECT: Historic Area Work Permit #1097561 REVISION– Alterations to previously-approved new construction

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached applications for a Historic Area Work Permit (HAWP). This application was **approved** at the October 22, 2025 HPC meeting.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Partap Verma
Address: 2500 Holman Avenue, Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The property consists of two previously subdivided lots that are next to a historically designated property (privately owned). The adjoining two lots are 200 ft deep, 10,000 sf in size, and are substantially lower in topography than the historical home. There are no encumbrances on the lot and regular in shape (rectangular). The two lots are wooded but consist of low quality plantings and include substantial amounts of invasive species and is currently in a non-conformance state given the historic nature and is being used as a dumping ground for landscape supplies and other household items. The surrounding area is an eclectic dense infill area that is three blocks from the Forest Glen Metro Station. The immediate neighborhood includes a wide variety of housing such as a set of condo buildings built in the 1950s directly across from the street, rambler homes built in the 1970s and other homes built in the 1980s. In addition there are a handful of previously designated historic homes, a historic church and graveyard, a local community club and a gas station.

Description of Work Proposed: Please give an overview of the work to be undertaken:

HAWP is currently approved. Requesting a change of materials from a mix of siding and shakes to HardiBoard siding as specified in plans. This is to make the project for cost effective and more in line with other historic projects in the County. We are not proposing any design or size changes at this time.

REVIEWED

By Laura DIPasquale at 9:22 am, Oct 23, 2025

APPROVED

Montgomery County

Historic Preservation Commission

NOT FOR CONSTRUCTION

AVATAR DESIGN BUILD

9715 CANEY PLACE
SILVER SPRING, MD 20910
TEL: (202) 277 - 0318

REVIEWED
By Laura DIPasquale at 9:22 am, Oct 23, 2025

APPROVED
Montgomery County
Historic Preservation Commission

JOBSITE LOCATION:

2506 HOLMAN AVENUE
SILVER SPRING, MD 20910
DATE: 09-18-2025

GENERAL NOTES

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDER-LAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
			Weathering	Frost line depth	Termite	Decay					
30 p.s.f.	115 mph	B	Severe	30"	Moderate to Heavy	Slight to Moderate	13°F	Yes	7-2-79	300	55°F

1) All construction to be in conformance with 2021 I.R.C., one and two family dwelling code & all MONTGOMERY COUNTY additions and revisions thereto.

2) Design live loads:
- Sleeping room load .. 30 p.s.f.
- Floor load ..... 40 p.s.f.
- Roof load ..... 30 p.s.f.
- Deck load ..... 60 p.s.f.
- Garage load..... 50 p.s.f.

3) Soil bearing to be 2000 p.s.f. minimum. Design for 60 p.s.f. lateral soil pressure

4) Design wind load 115 mph.

5) Bottom of all concrete footings to be 30" minimum below finished grade.

6) Foundation walls shall comply to I.R.C. Sec. R-401. thru 404.

7) Foundation drainage shall comply to I.R.C. Sec. R-405.

8) Foundation waterproofing shall comply to I.R.C. Sec. R-406.

9) Attached Garages shall comply to I.R.C. Sec. R-309.

10) Concrete floors shall comply to I.R.C. Sec. R-506.

11) All concrete to be 150 p.c.f. and conform to the latest A.C.I. 318 specifications. Porches, garages, slabs and steps exposed to weather, to be 3500 p.s.i. air entrained concrete. Foundation walls, exterior walls and other vertical concrete work to be 3000 p.s.i. air entrained concrete. All other concrete to be 4000 p.s.i.

12) All c.m.u. used in basement and foundation walls shall be load bearing units conforming to A.S.T.M. C 90-70 for hollow units. At wood post and wood beam bearing locations on c.m.u. wall cells shall be filled solid with grout or mortar for top two course minimum.

13) All c.m.u. walls shall have standard truss type DUR-O-WALL bed joint reinforcing at maximum 16" vertical spacing.

14) All brick units used in exterior shall conform to A.S.T.M. C 62 or A.S.T.M. C 216

15) All mortar shall be type "S" conforming to A.S.T.M. C 270

16) Stone and masonry veneer shall conform to I.R.C. Sec. R-703.8.

17) Backfilling against basement walls shall not be performed until first floor framing is in place and top of reinforced c.m.u. walls are braced against overturning.

18) Maximum allowable lateral pressure on basement walls 60 p.s.f.

19) All reinforcing steel to be grade 60 and conform to A.S.T.M. Spec. A 615. Unless otherwise noted. Provide corner bars at all wall corners. Submit reinforcing steel shop drawings for approval.

20) Steel post cap plates to conform to A.S.T.M., Spec. A 36, Fy = 36,000 p.s.i. Bolts shall be A.S.T.M. A 307 or better.

21) Steel columns in basement to be adjustable 3"I.D. S40 columns unless specified otherwise. structural steel shall meet A.S.T.M.982 standards. All connections to be A.I.S.C. standard.

22) All structural wood framing, including roof and floor sheathing, to be in accordance with the "National Design Specifications for Wood Construction", published by The National Forest Products Association. Framing lumber shall be of the following grades or better:

CLASSIFICATION	SIZE	BENDING "Fb"	MODULUS OF ELASTICITY "E"
POSTS #1 D.F.		1200	1600000
HEADERS, BEAMS, ROOF HIPS #1 S.P.	2X4	1850	1700000
	2X6	1650	1700000
	2X8	1500	1700000
	2X10	1300	1700000
	2X12	1250	1700000
RAFTERS, JOISTS AND STUDS #2 H.F.	2X4	1000	1500000
	2X6	1000	1500000
	2X8	1000	1500000
	2X10	1000	1500000
	2X12	1000	1500000
Gang-Lam Beams (Fv = 285 PSI)	all	2800	2000000

23) All headers to be 2 - 2" x 12" unless specified otherwise.

24) Provide double jack studs at each end of headers and beams, 4'-0" to 5'-11", and triple jack studs for 6'-0" or longer, unless noted otherwise.

25) Splices of the bottom and top portion of a double top plate must be staggered a minimum of 4'-0".

26) All roof, floor and girder trusses to be designed by truss manufacturer to carry required loads and to be installed according to manufacturer's specifications.

27) Contractor to provide architect with shop drawings for all roof and floor trusses. Shop drawings to be provided to architect for approval prior to ordering trusses.

28) Provide solid blocking under all jack studs not bearing directly on joists or T.J.I.'s.

29) In those cases where floor trusses are not centered directly over the studs, splices of the top plate shall occur only over the studs.

30) Where installation of plumbing, heating or other pipes necessitates cutting of top plates, a metal tie not less than eighteen gauge, forty-five thousandths (0.045)" thickness and 1 1/2" wide shall be fastened to the plate across and to each side of the opening with not less than 16d nails.

31) Double beams, double hip and valley rafters shall be nailed securely together to ensure that the two members act conjointly in resisting the applied load.

32) Unless specified otherwise provide the following lintel over masonry openings:

BRICK & STONE: UP TO 4"	3'-0"	3 1/2" X 3 1/2" X 1/4"
	5'-0"	3 1/2" X 4" X 1/4"
	8'-0"	3 1/2" X 5" X 5/16"
	9'-0"	3 1/2" X 6" X 5/16"
STONE: UP TO 6"	3'-0"	6" X 4" X 5/16"
	5'-0"	6" X 6" X 5/16"
	8'-0"	6" X 6" X 3/8"
	9'-0"	6" X 8" X 7/16"

33) All untreated lumber to be minimum of 8" above finished grade. All lumber in contact with concrete or c.m.u. to be pressure treated.

34) All prefab fireplaces to be U.L. rated and installed according to manufacturers specifications.

35) Chimney and fireplace construction to be in accordance with I.R.C. Chapter 10 and fig. R-1001.1.

36) Fireplace hearth to project 20" from front of facing and 12" to side of opening.

37) Fireblocking shall be provided according to I.R.C. Sec. R - 602.8. The integrity of all fireblocking shall be maintained.

38) Draftstopping shall be provided according to I.R.C. Sec. R - 302.12.

39) Provide radon mitigation according to I.R.C. - Appendix AF.

40) Provide interconnected smoke detectors, carbon monoxide dectectors & automatic sprinkler systems to protect all floors, bedrooms, and basements according to I.R.C. Sec. R-313 & R-314.

41) Stairways shall comply with I.R.C. Sec. R-311. Minimum headroom to be 6'-8" clear at all points. Minimum tread to be 10". Maximum riser to be 7 3/4".

42) Handrails & guardrails shall comply to I.R.C. Sec. R-311 & 312.

43) All exits shall comply to I.R.C. Sec. R-311.

44) Sleeping room windows shall comply with I.R.C. Sec. R-310 Maximum sill height 44" above finished floor.

45) All Glazing shall comply to I.R.C. Sec. R-308.

46) All Ceiling heights shall comply to I.R.C. Sec. R-305.

47) All exterior wall coverings shall comply to I.R.C. Sec. R-703.

48) All gas piping shall conform to N.F.P.A. 54 or 2021 IFGC.

49) Electrical wiring must conform to the latest 2017 National Electrical Code and County Requirements.

50) Steel joists to be accordance with S.J.I specifications. Provide angle bridging top and bottom per S.J.I. . Submit shop drawings for approval.

51) Steel deck shall conform to S.J.I. specifications.

Note: Builder shall provide roof framing plans signed and sealed by truss manufacturer and shop drawings for floor joists at framing inspection.

Note: Trusses shall be braced per. manufacturers recommendations.

INDEX

000	COVER SHEET
A100	BASEMENT & FIRST FLOOR PLANS
A101	FIRST FLOOR & ROOF PLANS
A200	FRONT & RIGHT ELEVATIONS AND DETAILS
A201	REAR & LEFT ELEVATIONS AND DECK DETAILS
A300	SECTIONS A & A1
A301	SECTIONS B, C, D, E, E1, F, G, & H
A400	WIND BRACING DETAILS
S100	FIRST & SECOND FLOOR FRAMING PLANS
S101	ROOF FRAMING PLAN
S110 - 111	BEAM CALCULATIONS
S200 - 201	STRUCTURAL PANEL ANALYSIS
EC100	THERMAL ENVELOPE
RT100	RETAINING WALL DETAILS

REVISIONS

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FLOOR AREA (SQ. FT.)

BSMT	FINISHED	1278			
	UNFINISHED	231			
1ST FL.	MAIN	1619			
	GARAGE	397			
	FRONT PORCH	108			
	REAR STOOP	139			
2ND FL.	MAIN	2041			

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE# 7603-R, EXPIRATION DATE 04-26-2027

STATE OF MARYLAND · CLAUDE C. LAPP · No. 7603 · ARCHITECT

ENERGY COMPLIANCE PATH

OPTION	2021 IECC CODE
☐ PRESCRIPTIVE COMPLIANCE OPTION	R402.1.2
☐ PRESCRIPTIVE R-VALUE ALTERNATIVE	R402.1.3
☐ TOTAL UA ALTERNATIVE	R402.1.5
☒ MD PRESCRIPTIVE R-VALUE ALTERNATIVE	R402.1.3.1
☐ TOTAL BUILDING PERFORMANCE	R405
☐ ENERGY RATING INDEX COMPLIANCE ALTERNATIVE	R406

NOTE:

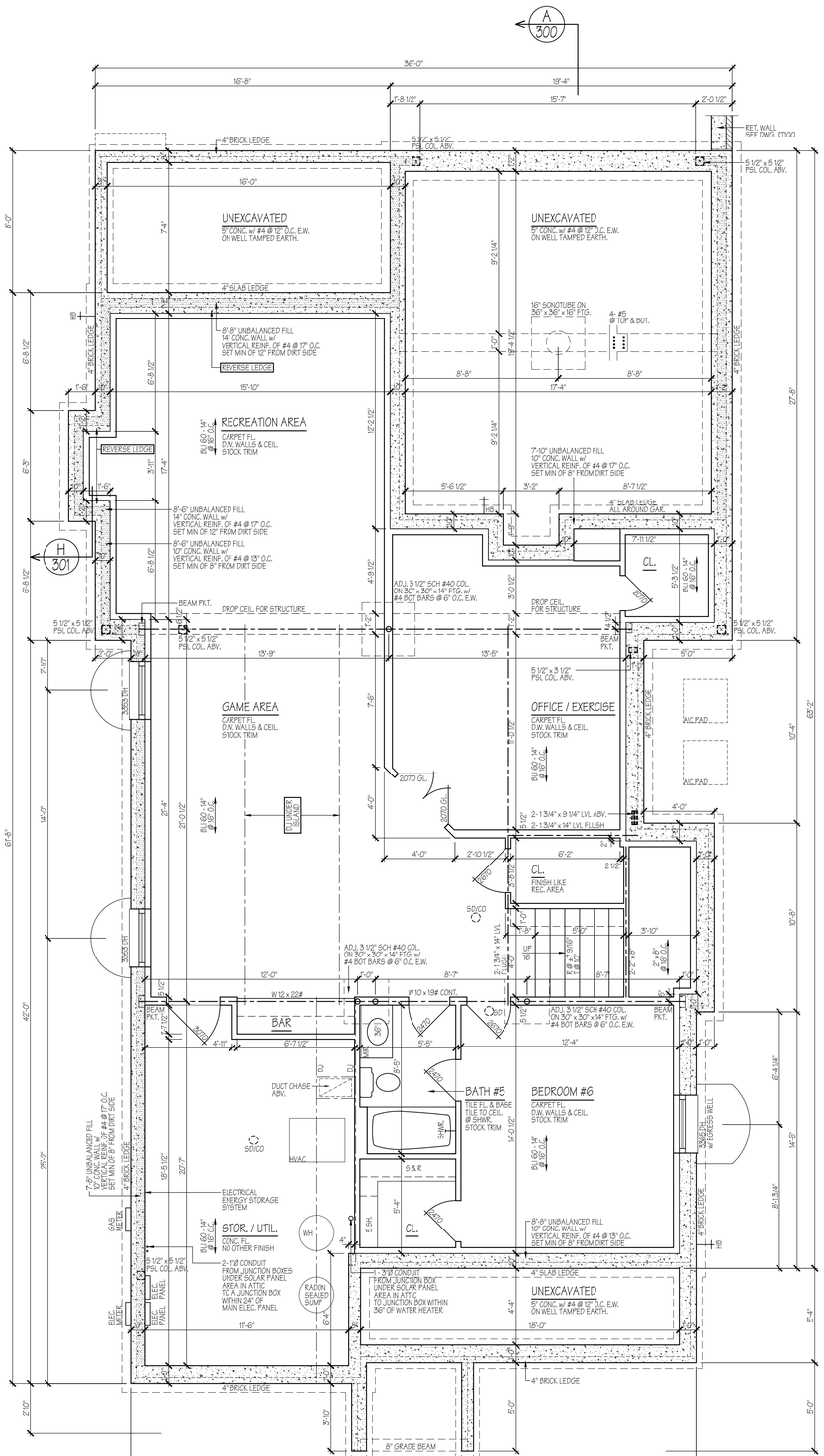
RETAINING WALLS

LOCATION	ELEVATION	LENGTH (FT.)	MAX. HEIGHT (FT.)
SIDE YARD	A	90.00	5.00

NOT FOR CONSTRUCTION

REVIEWED
By Laura DiPasquale at 9:22 am, Oct 23, 2025

APPROVED
Montgomery County
Historic Preservation Commission



BASEMENT FLOOR PLAN
1/4"=1'-0"
1278 SQ. FT. FINISHED
231 SQ. FT. UNFINISHED

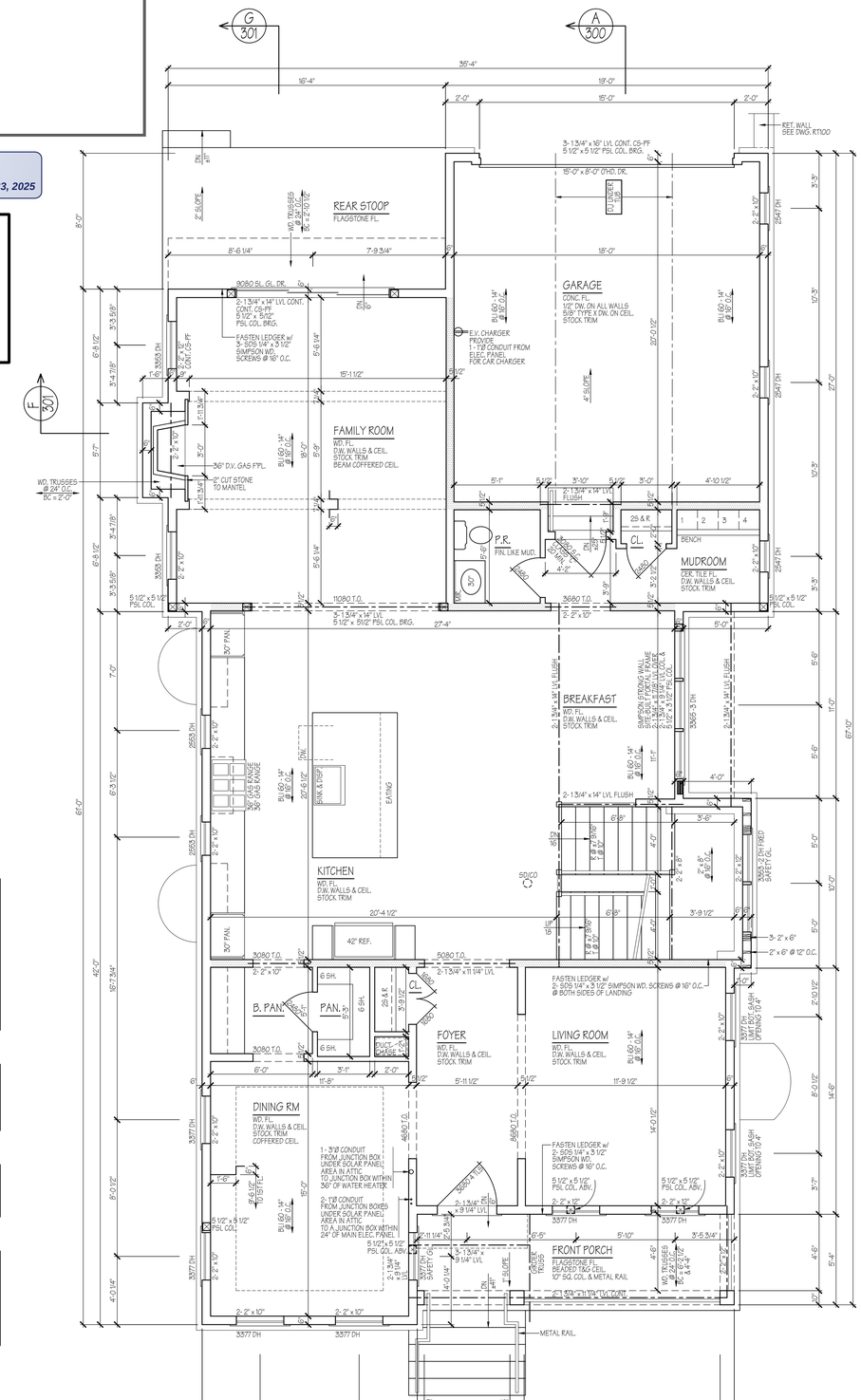
NOTES
1. SEE BEAM CALCULATIONS FOR BEAM FASTENING
2. TRUSS MANUFACTURER AND ROOF MANUFACTURER TO CHECK AND VERIFY FRAMING & STRUCTURE
3. ALL WINDOWS ARE PELLA LIFESTYLE SERIES, U.N.O. / PROVIDE 1 1/8" MIN. GRILLE SIZE
4. ALL LTS. WILL BE MOTION SENSOR & DIMMABLE
5. ALL OUTLETS WILL BE ARC/FAULT WHERE APPLICABLE
6. RANGE, HVAC, OUTSIDE UNIT, DRYER & HWH WILL BE CONNECTED TO PANEL BOX w/ 1" CONT. CONDUIT

CONC. FDN. WALL HEIGHT FROM BSMT. FL.	
TYPICAL	8'-8"
REVERSE LEDGE	8'-8"
	3" LOWER THAN 1ST FL.
4" SLAB LEDGE	SEE SECTIONS

LEGENDS
CONC.
ADDITIONAL POUR ON CONC.
BEARING PARTITION WALL

SIMPSON STRONG WALL FASTENING INFO.

SIMPSON SITE-BUILD PORTAL FRAME
2- 1 3/4" x 9 1/4" LVL COLUMNS & 2- 1 3/4" x 11 7/8" LVL BEAM (MIN.), INSTALL PER MANUF. INSTRUCTIONS, FASTEN TO CONCRETE w/ (2) 5/8"Ø ASTM F1554 GRADE 36 OR ASTM A36 TREATED RODS SET IN DRILLED HOLES w/ EPOXY & MIN. 14" EMBEDMENT



FIRST FLOOR PLAN
1/4"=1'-0"
1619 SQ. FT. MAIN
108 SQ. FT. FRONT PORCH
397 SQ. FT. GARAGE
139 SQ. FT. REAR STOOP

DATE	REMARKS

CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.

NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ALL INTERIOR WALL DIMENSIONS TO BE 3 1/2" UNLESS NOTED OTHERWISE.

CLAUDE C. LAPP ARCHITECTS, LLC EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS AND DRAWINGS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF CLAUDE C. LAPP ARCHITECTS, LLC

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RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318

MODEL:
2506 HOLMAN AVENUE, SILVER SPRING, MD 20910

DRAWING TITLE
BASEMENT & FIRST FLOOR PLANS

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DL/EC	09-18-25	A100
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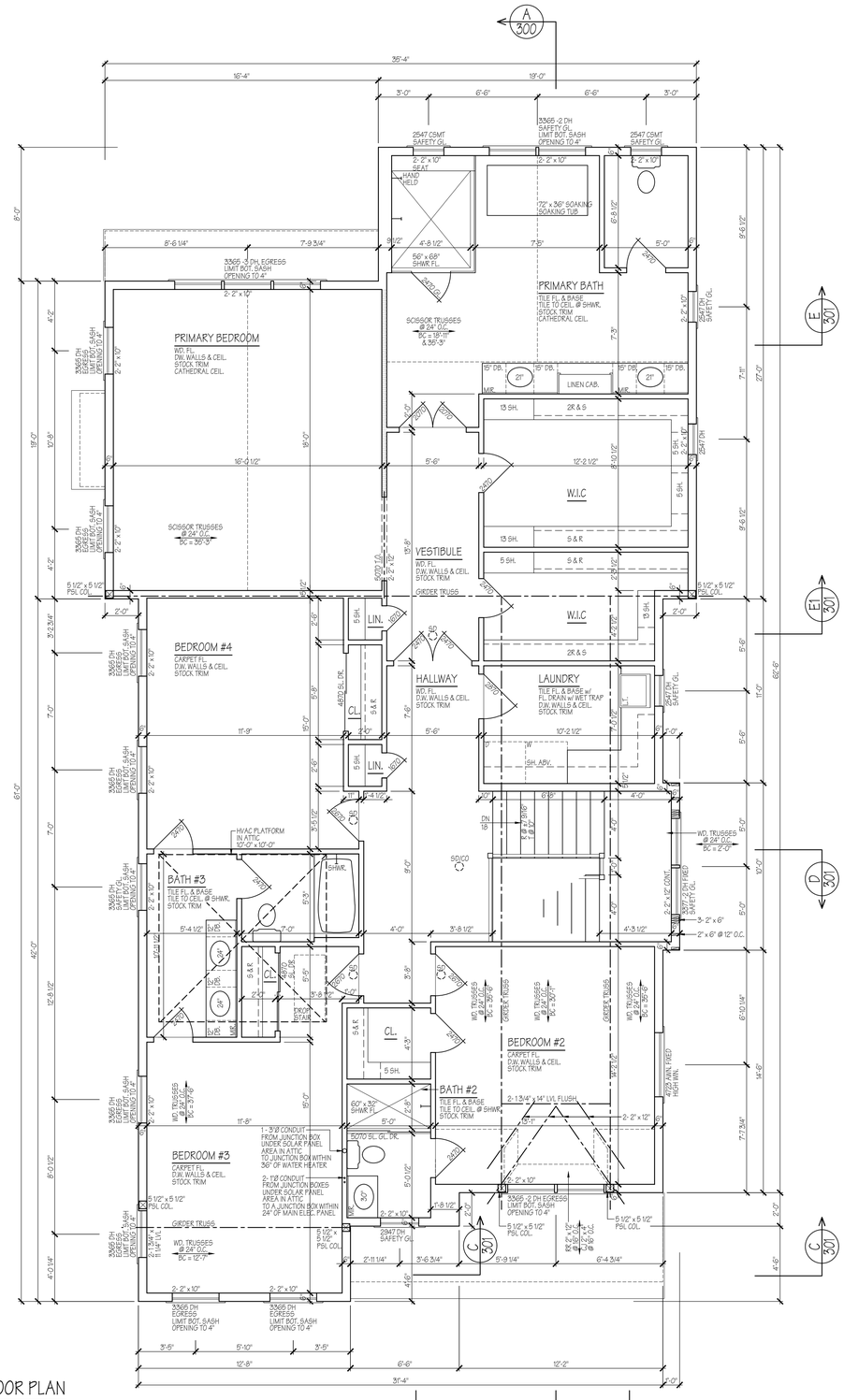
PAGE 2 OF 15		



SECOND FLOOR PLAN

1/4"=1'-0"

2041 SQ. FT. MAIN

REVIEWED

By Laura DIPasquale at 9:24 am, Oct 23, 2025

APPROVED

Montgomery County

Historic Preservation Commission

NOTES

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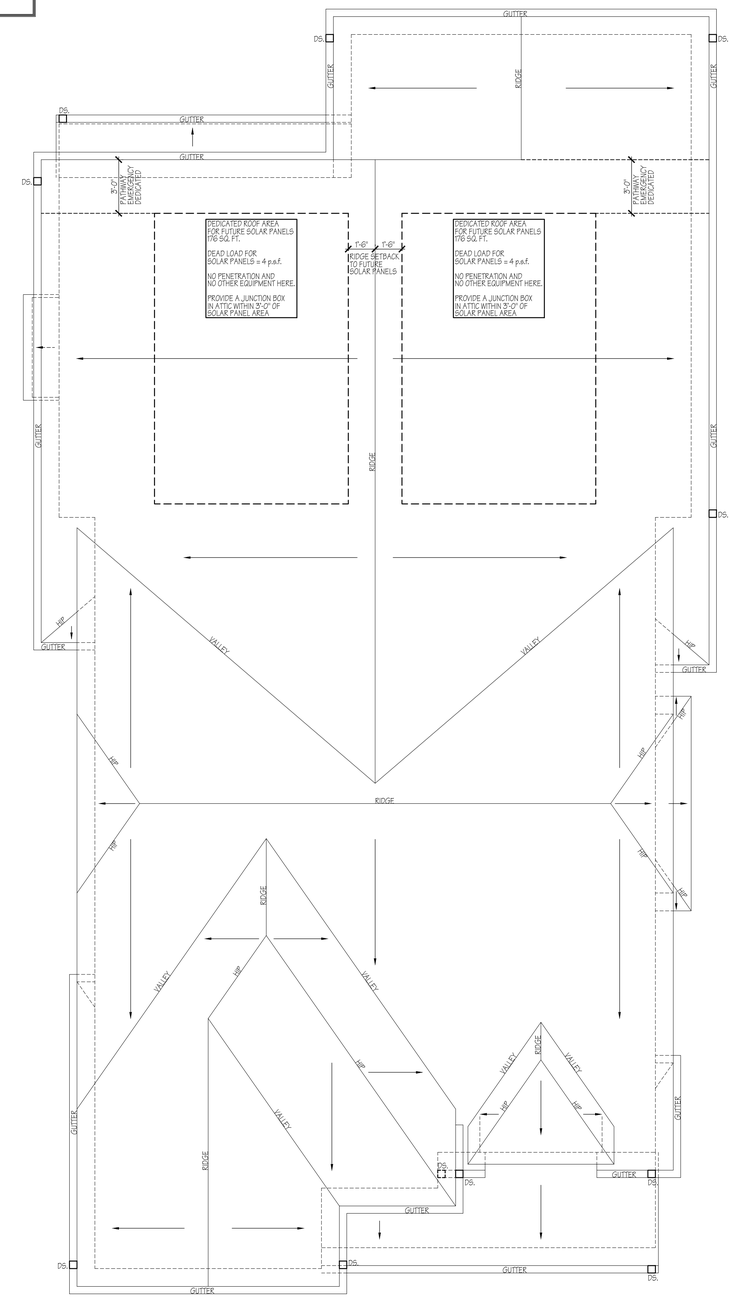
2. TRUSS MANUFACTURER AND ROOF MANUFACTURER TO CHECK AND VERIFY FRAMING & STRUCTURE
3. ALL WINDOWS ARE PELLA LIFESTYLE SERIES, U.N.O. / PROVIDE 1 1/8" MIN. GRILLE SIZE
4. ALL LTG. WILL BE MOTION SENSOR & DIMMABLE
5. ALL OUTLETS WILL BE ARC/FAULT WHERE APPLICABLE
6. RANGE, HVAC, OUTSIDE UNIT, DRYER & HWH WILL BE CONNECTED TO PANEL BOX w/ 1" CONT. CONDUIT
7. ALLOW HVAC PLATFORM IN ATTIC.

LEGENDS

BEARING PARTITION WALL



ROOF PLAN

1/4"=1'-0"

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PHONE: 202-277-0318

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SECOND FLOOR & ROOF PLANS

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PAGE 3OF15		

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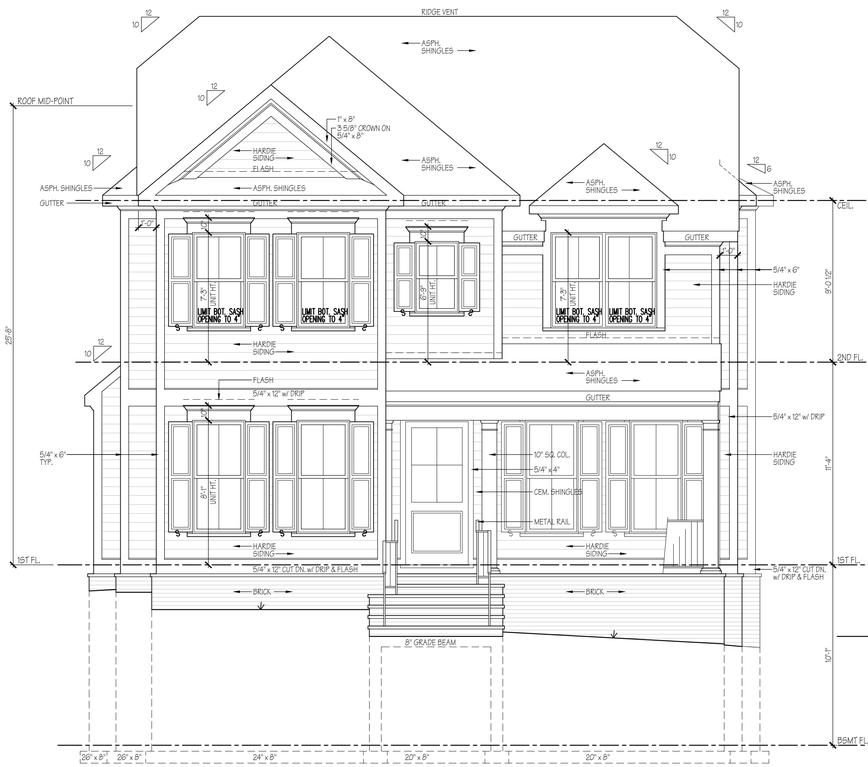
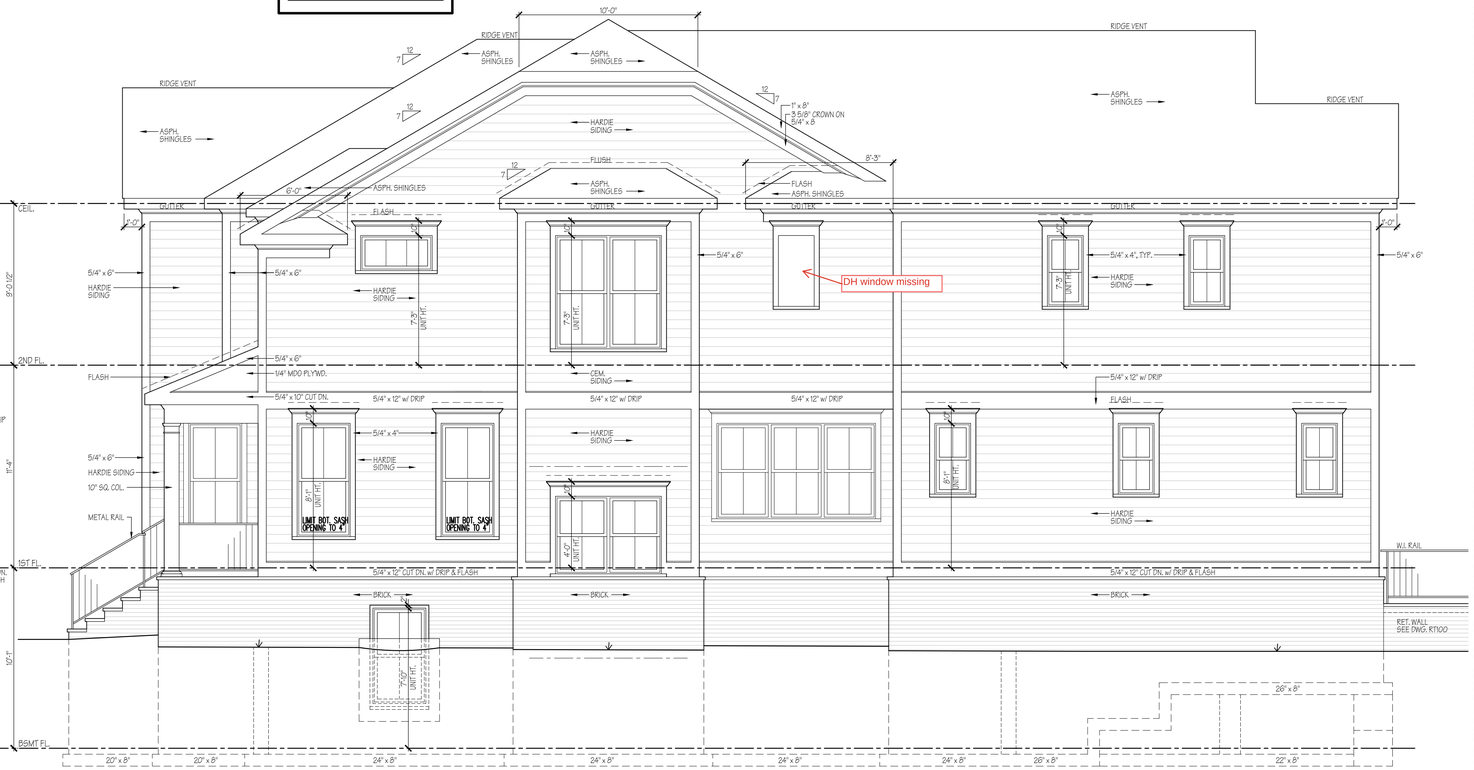
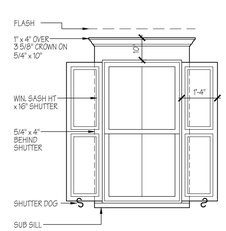


FRONT ELEVATION
1/4"=1'-0"



RIGHT ELEVATION
1/4"=1'-0"

DETAILS
3/8"=1'-0"



WINDOW @ FRONT ELEV.
3/8"=1'-0"

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FRONT & RIGHT ELEVATIONS AND DETAILS

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PAGE 4 OF 15		

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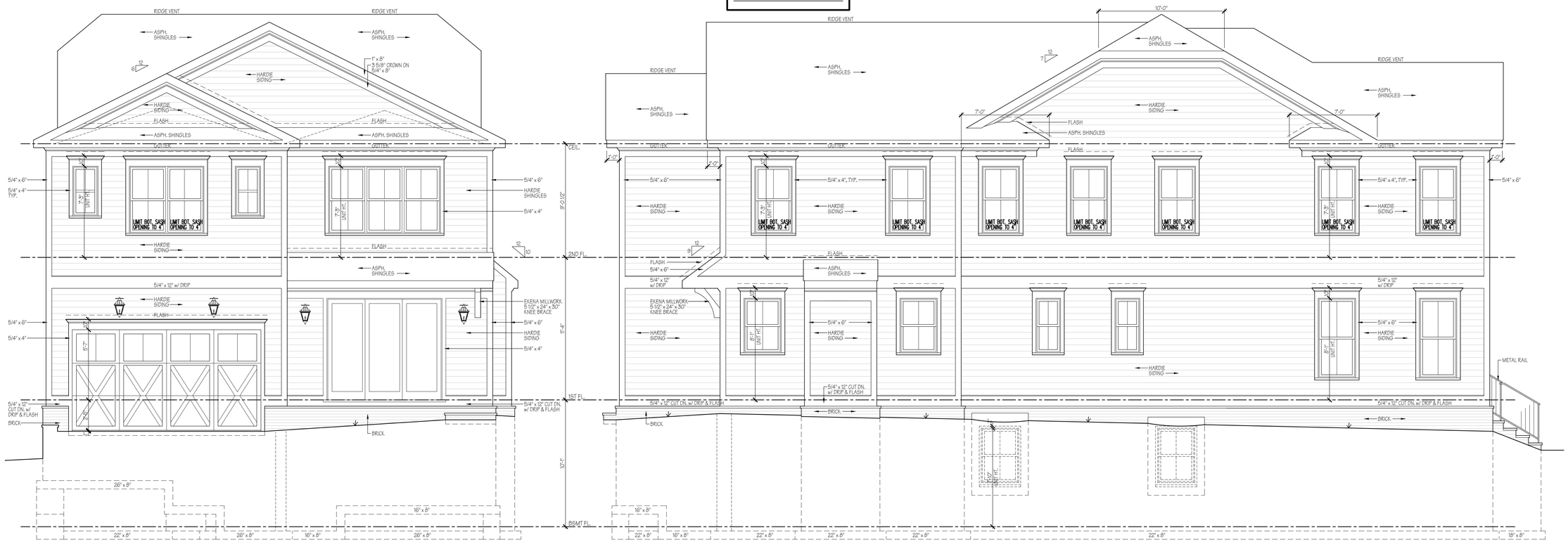

REAR ELEVATION
1/4"=1'-0"

LEFT ELEVATION
1/4"=1'-0"

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DRAWING TITLE
REAR & LEFT ELEVATIONS

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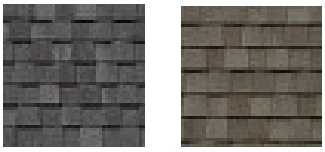
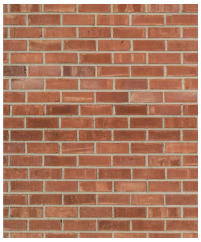
PAGE 5 OF 15		

certainteed
SAINT-GOBAIN



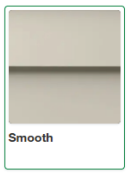
CERTAINTEED LANDMARK SERIES SHINGLES
- COLOR: PEWTER OR WEATHERED WOOD

ASPHALT SHINGLE ROOF



RED BRICK

JamesHardie



Statement Collection®

Evening Blue
Countrylane Red
Timber Bark
Arctic White

JAMES HARDIE PLANK SIDING & TRIM
- SMOOTH, STATEMENT COLLECTION® IN "EVENING BLUE", "COUNTRYLANE RED", "TIMBER BARK", OR "ARCTIC WHITE"
- 6" EXPOSURE & 3 1/2" TRIM IN "ARCTIC WHITE" OR "TIMBER BARK"

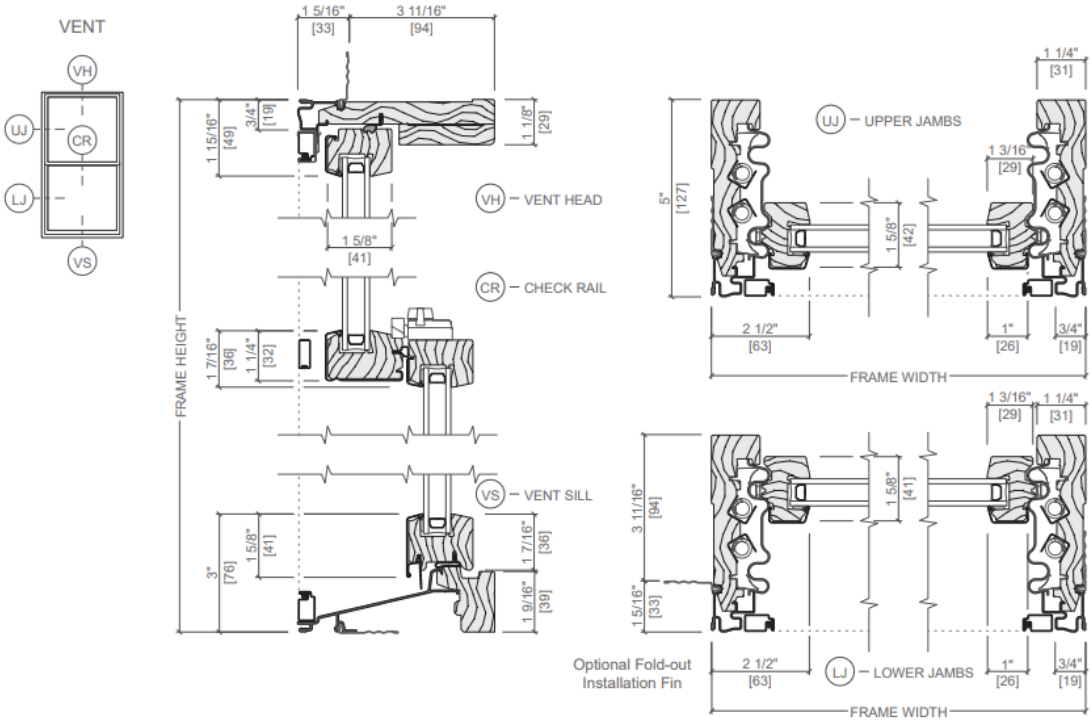
SIDING & TRIM

Pella Windows & Doors

REVIEWED
By Laura DIPasquale at 9:25 am, Oct 23, 2025

APPROVED
Montgomery County
Historic Preservation Commission

LIFESTYLE SERIES DOUBLE-HUNG WINDOWS
- DUAL-PANE VENT
- TRADITIONAL 2/2 PATTERN
- 1 1/4" GRILLE THICKNESS



WINDOWS AND DOORS

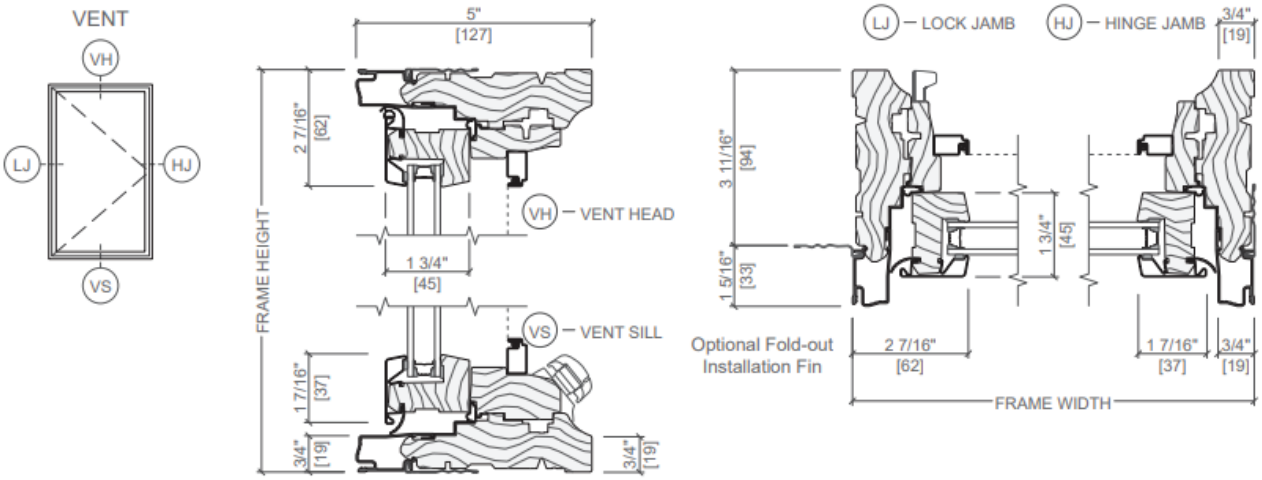
Pella Windows & Doors

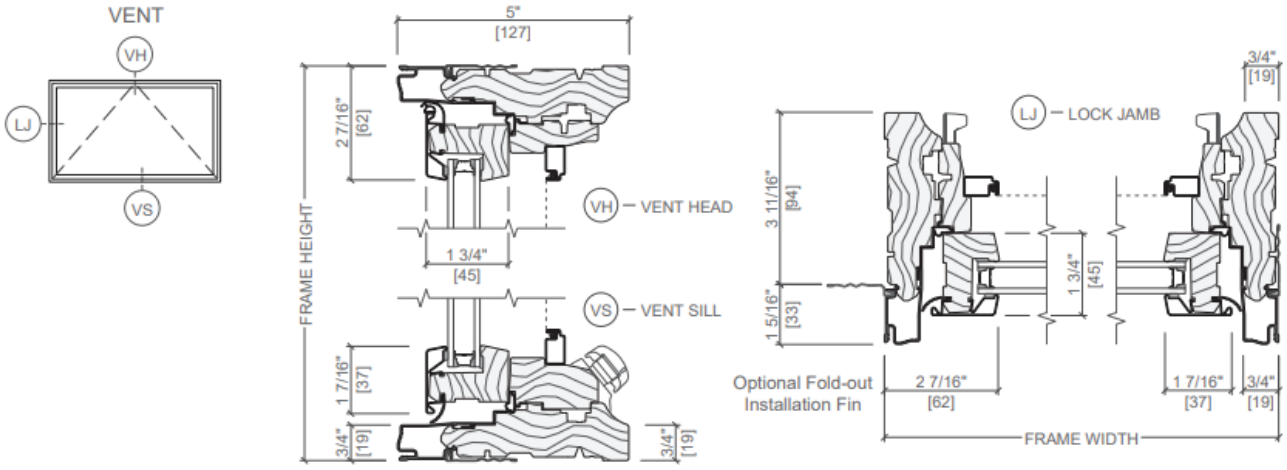
REVIEWED
By Laura DIPasquale at 9:25 am, Oct 23, 2025

APPROVED
Montgomery County
Historic Preservation Commission

LIFESTYLE SERIES CASEMENT WINDOWS
- DUAL-PANE VENT
- TRADITIONAL 4-LIGHT PATTERN w/ SIMULATED MEETING RAIL.
- 1 1/4" GRILLE THICKNESS

LIFESTYLE SERIES AWNING WINDOWS
- DUAL-PANE VENT
- TRADITIONAL 3-LIGHT PATTERN
- 1 1/4" GRILLE THICKNESS





WINDOWS AND DOORS

Pella Windows & Doors

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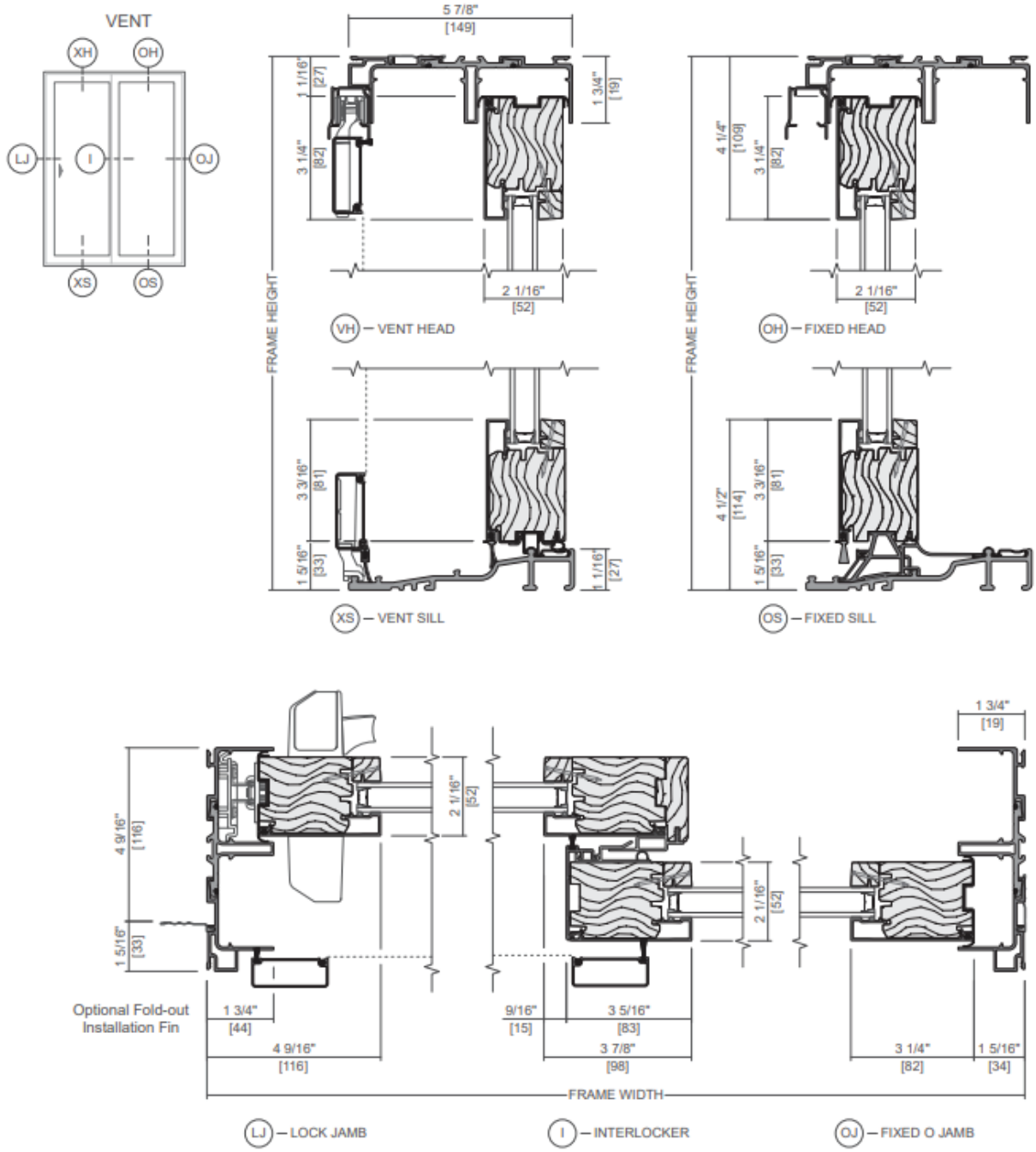
Historic Preservation Commission

LIFESTYLE SERIES SLIDING PATIO DOORS
- DUAL-PANE VENT



NO CHANGES TO 2504 HOLMAN AVENUE DESIGN ON FOLLOWING PAGES

AVATAR DESIGN BUILD

9715 CANEY PLACE
SILVER SPRING, MD 20910
TEL: (202) 277 - 0318

REVIEWED
By Laura DIPasquale at 9:28 am, Oct 23, 2025

APPROVED
Montgomery County
Historic Preservation Commission

JOBSITE LOCATION:

2504 HOLMAN AVENUE
SILVER SPRING, MD 20910
DATE: 09-18-2025

GENERAL NOTES

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDER-LAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
			Weathering	Frost line depth	Termite	Decay					
30 p.s.f.	115 mph	B	Severe	30"	Moderate to Heavy	Slight to Moderate	13°F	Yes	7-2-79	300	55°F

1) All construction to be in conformance with 2021 I.R.C., one and two family dwelling code & all MONTGOMERY COUNTY additions and revisions thereto.

2) Design live loads:
- Sleeping room load .. 30 p.s.f.
- Floor load ..... 40 p.s.f.
- Roof load ..... 30 p.s.f.
- Deck load ..... 60 p.s.f.
- Garage load..... 50 p.s.f.

3) Soil bearing to be 2000 p.s.f. minimum. Design for 60 p.s.f. lateral soil pressure

4) Design wind load 115 mph.

5) Bottom of all concrete footings to be 30" minimum below finished grade.

6) Foundation walls shall comply to I.R.C. Sec. R-401. thru 404.

7) Foundation drainage shall comply to I.R.C. Sec. R-405.

8) Foundation waterproofing shall comply to I.R.C. Sec. R-406.

9) Attached Garages shall comply to I.R.C. Sec. R-309.

10) Concrete floors shall comply to I.R.C. Sec. R-506.

11) All concrete to be 150 p.c.f. and conform to the latest A.C.I. 318 specifications. Porches, garages, slabs and steps exposed to weather, to be 3500 p.s.i. air entrained concrete. Foundation walls, exterior walls and other vertical concrete work to be 3000 p.s.i. air entrained concrete. All other concrete to be 4000 p.s.i.

12) All c.m.u. used in basement and foundation walls shall be load bearing units conforming to A.S.T.M. C 90-70 for hollow units. At wood post and wood beam bearing locations on c.m.u. wall cells shall be filled solid with grout or mortar for top two course minimum.

13) All c.m.u. walls shall have standard truss type DUR-O-WALL bed joint reinforcing at maximum 16" vertical spacing.

14) All brick units used in exterior shall conform to A.S.T.M. C 62 or A.S.T.M. C 216

15) All mortar shall be type "S" conforming to A.S.T.M. C 270

16) Stone and masonry veneer shall conform to I.R.C. Sec. R-703.8.

17) Backfilling against basement walls shall not be performed until first floor framing is in place and top of reinforced c.m.u. walls are braced against overturning.

18) Maximum allowable lateral pressure on basement walls 60 p.s.f.

19) All reinforcing steel to be grade 60 and conform to A.S.T.M. Spec. A 615. Unless otherwise noted. Provide corner bars at all wall corners. Submit reinforcing steel shop drawings for approval.

20) Steel post cap plates to conform to A.S.T.M., Spec. A 36, Fy = 36,000 p.s.i. Bolts shall be A.S.T.M. A 307 or better.

21) Steel columns in basement to be adjustable 3"I.D. S40 columns unless specified otherwise. structural steel shall meet A.S.T.M.982 standards. All connections to be A.I.S.C. standard.

22) All structural wood framing, including roof and floor sheathing, to be in accordance with the "National Design Specifications for Wood Construction", published by The National Forest Products Association. Framing lumber shall be of the following grades or better:

CLASSIFICATION	SIZE	BENDING "Fb"	MODULUS OF ELASTICITY "E"
POSTS #1 D.F.		1200	1600000
HEADERS, BEAMS, ROOF HIPS #1 S.P.	2X4	1850	1700000
	2X6	1650	1700000
	2X8	1500	1700000
	2X10	1300	1700000
	2X12	1250	1700000
RAFTERS, JOISTS AND STUDS #2 H.F.	2X4	1000	1500000
	2X6	1000	1500000
	2X8	1000	1500000
	2X10	1000	1500000
	2X12	1000	1500000
Gang-Lam Beams (Fv = 285 PSI)	all	2800	2000000

23) All headers to be 2 - 2" x 12" unless specified otherwise.

24) Provide double jack studs at each end of headers and beams, 4'-0" to 5'-11", and triple jack studs for 6'-0" or longer, unless noted otherwise.

25) Splices of the bottom and top portion of a double top plate must be staggered a minimum of 4'-0".

26) All roof, floor and girder trusses to be designed by truss manufacturer to carry required loads and to be installed according to manufacturer's specifications.

27) Contractor to provide architect with shop drawings for all roof and floor trusses. Shop drawings to be provided to architect for approval prior to ordering trusses.

28) Provide solid blocking under all jack studs not bearing directly on joists or T.J.I.'s.

29) In those cases where floor trusses are not centered directly over the studs, splices of the top plate shall occur only over the studs.

30) Where installation of plumbing, heating or other pipes necessitates cutting of top plates, a metal tie not less than eighteen gauge, forty-five thousandths (0.045)" thickness and 1 1/2" wide shall be fastened to the plate across and to each side of the opening with not less than 16d nails.

31) Double beams, double hip and valley rafters shall be nailed securely together to ensure that the two members act conjointly in resisting the applied load.

32) Unless specified otherwise provide the following lintel over masonry openings:

BRICK & STONE: UP TO 4"	3'-0"	3 1/2" X 3 1/2" X 1/4"
	5'-0"	3 1/2" X 4" X 1/4"
	8'-0"	3 1/2" X 5" X 5/16"
	9'-0"	3 1/2" X 6" X 5/16"
STONE: UP TO 6"	3'-0"	6" X 4" X 5/16"
	5'-0"	6" X 6" X 5/16"
	8'-0"	6" X 6" X 3/8"
	9'-0"	6" X 8" X 7/16"

33) All untreated lumber to be minimum of 8" above finished grade. All lumber in contact with concrete or c.m.u. to be pressure treated.

34) All prefab fireplaces to be U.L. rated and installed according to manufacturers specifications.

35) Chimney and fireplace construction to be in accordance with I.R.C. Chapter 10 and fig. R-1001.1.

36) Fireplace hearth to project 20" from front of facing and 12" to side of opening.

37) Fireblocking shall be provided according to I.R.C. Sec. R - 602.8. The integrity of all fireblocking shall be maintained.

38) Draftstopping shall be provided according to I.R.C. Sec. R - 302.12.

39) Provide radon mitigation according to I.R.C. - Appendix AF.

40) Provide interconnected smoke detectors, carbon monoxide dectectors & automatic sprinkler systems to protect all floors, bedrooms, and basements according to I.R.C. Sec. R-313 & R-314.

41) Stairways shall comply with I.R.C. Sec. R-311. Minimum headroom to be 6'-8" clear at all points. Minimum tread to be 10". Maximum riser to be 7 3/4".

42) Handrails & guardrails shall comply to I.R.C. Sec. R-311 & 312.

43) All exits shall comply to I.R.C. Sec. R-311.

44) Sleeping room windows shall comply with I.R.C. Sec. R-310 Maximum sill height 44" above finished floor.

45) All Glazing shall comply to I.R.C. Sec. R-308.

46) All Ceiling heights shall comply to I.R.C. Sec. R-305.

47) All exterior wall coverings shall comply to I.R.C. Sec. R-703.

48) All gas piping shall conform to N.F.P.A. 54 or 2021 IFGC.

49) Electrical wiring must conform to the latest 2017 National Electrical Code and County Requirements.

50) Steel joists to be accordance with S.J.I specifications. Provide angle bridging top and bottom per S.J.I. . Submit shop drawings for approval.

51) Steel deck shall conform to S.J.I. specifications.

Note: Builder shall provide roof framing plans signed and sealed by truss manufacturer and shop drawings for floor joists at framing inspection.

Note: Trusses shall be braced per. manufacturers recommendations.

INDEX

000	COVER SHEET
A100	BASEMENT & FIRST FLOOR PLANS
A101	FIRST FLOOR & ROOF PLANS
A200	FRONT & RIGHT ELEVATIONS AND DETAILS
A201	REAR & LEFT ELEVATIONS AND DECK DETAILS
A300	SECTIONS A, A1, & A2
A301	SECTIONS B, C, E, E1, F, G, H, & I
A400	WIND BRACING DETAILS
S100	FIRST & SECOND FLOOR FRAMING PLANS
S101	ROOF FRAMING PLAN
S110 - 111	BEAM CALCULATIONS
S200 - 201	STRUCTURAL PANEL ANALYSIS
EC100	THERMAL ENVELOPE

REVISIONS

FLOOR AREA (SQ. FT.)

BSMT	FINISHED	1278			
	UNFINISHED	231			
1ST FL.	MAIN	1630			
	GARAGE	384			
	FRONT PORCH	108			
	REAR STOOP	131			
2ND FL.	MAIN	2041			

ENERGY COMPLIANCE PATH

OPTION	2021 IECC CODE
☐ PRESCRIPTIVE COMPLIANCE OPTION	R402.1.2
☐ PRESCRIPTIVE R-VALUE ALTERNATIVE	R402.1.3
☐ TOTAL UA ALTERNATIVE	R402.1.5
☒ MD PRESCRIPTIVE R-VALUE ALTERNATIVE	R402.1.3.1
☐ TOTAL BUILDING PERFORMANCE	R405
☐ ENERGY RATING INDEX COMPLIANCE ALTERNATIVE	R406

NOTE:

CLAUDE C. LAPP
ARCHITECTS, LLC

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TEL. 301-881-6856
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INFO@CCLARCHITECTS.COM

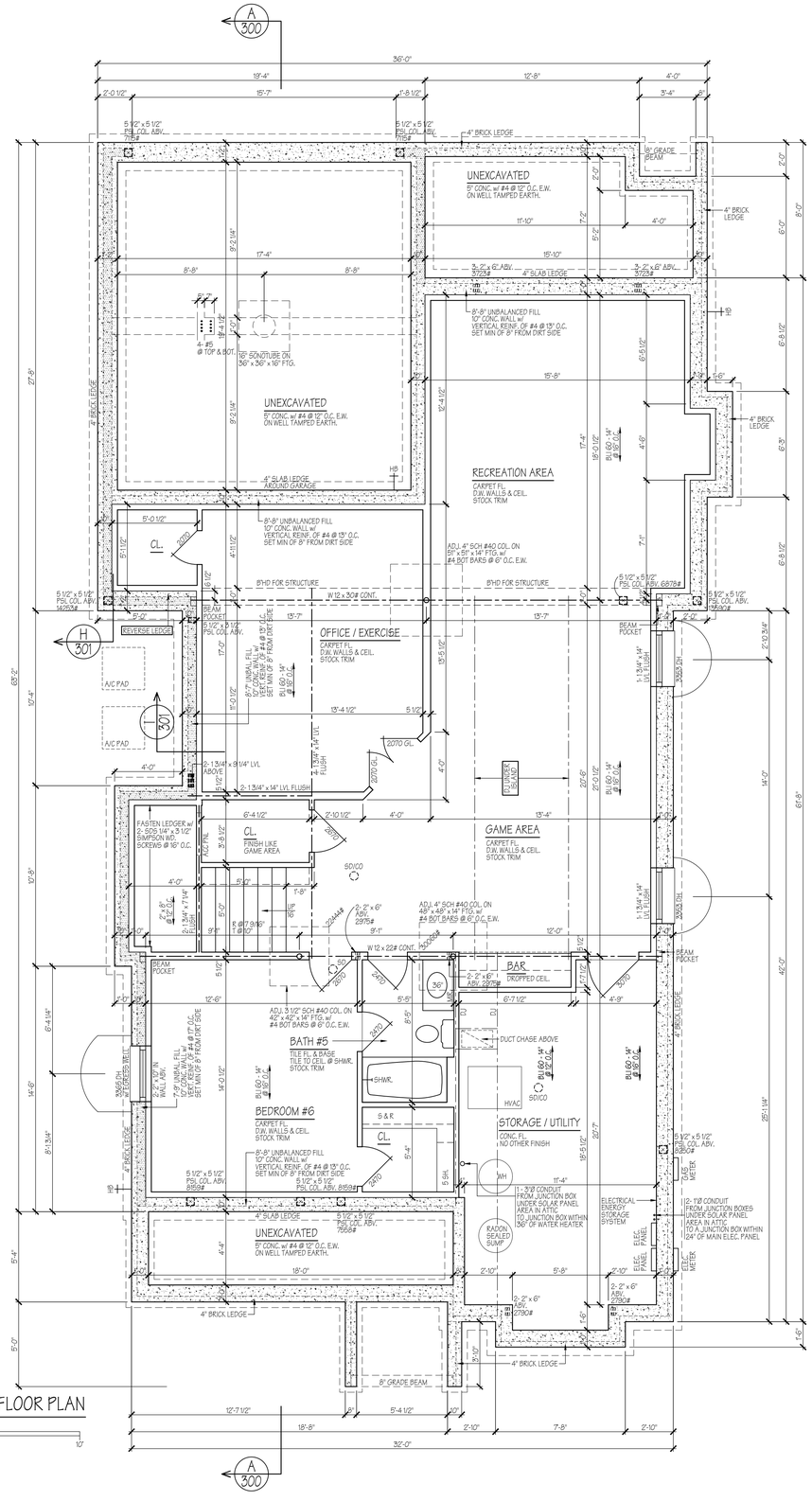
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE# 7603-R, EXPIRATION DATE 04-26-2027

STATE OF MARYLAND
CLAUDE C. LAPP
No. 7603
ARCHITECT

REVIEWED
By Laura DiPasquale at 9:28 am, Oct 23, 2025

APPROVED
Montgomery County
Historic Preservation Commission



BASEMENT FLOOR PLAN

1/4"=1'-0"

1278 SQ. FT. FINISHED
231 SQ. FT. UNFINISHED

NOTES

1. SEE BEAM CALCULATIONS FOR BEAM FASTENING
2. TRUSS MANUFACTURER AND ROOF MANUFACTURER TO CHECK AND VERIFY FRAMING & STRUCTURE
3. ALL WINDOWS ARE PELLA LIFESTYLE SERIES, U.N.O. / PROVIDE 1 1/8" MIN. GRILLE SIZE
4. ALL LTS. WILL BE MOTION SENSOR & DIMMABLE
5. ALL OUTLETS WILL BE ARC/FAULT WHERE APPLICABLE
6. RANGE, HVAC, OUTSIDE UNIT, DRYER & HWH WILL BE CONNECTED TO PANEL BOX w/ 1" CONT. CONDUIT

CONC. FDN. WALL HEIGHT FROM BSMT. FL.	
TYPICAL	8'-8"
REVERSE LEDGE	8'-8"
	3' LOWER THAN 1ST FL.
4" SLAB LEDGE	SEE SECTIONS

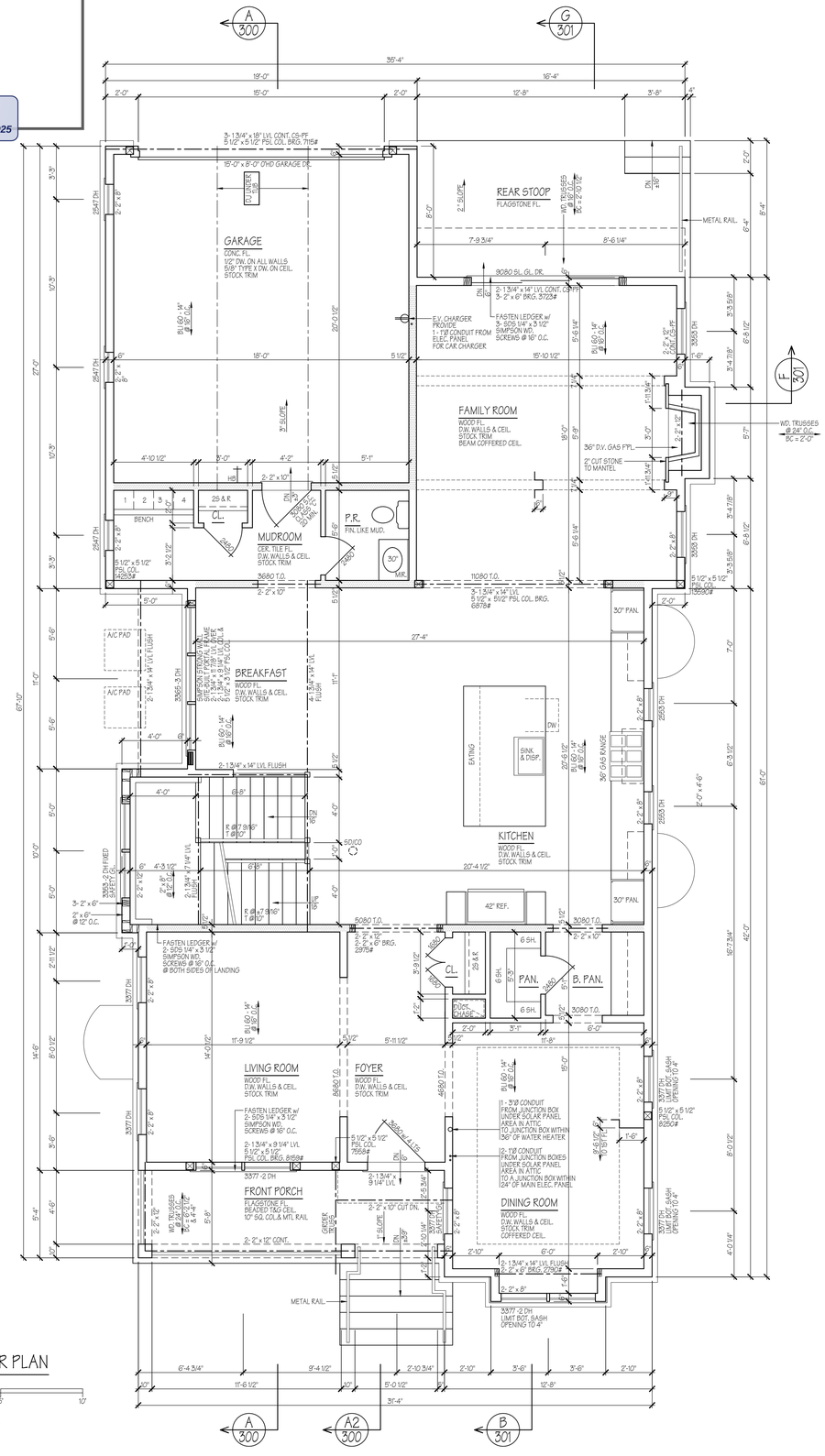
LEGENDS

CONC.
ADDITIONAL POUR ON CONC.
BEARING PARTITION WALL

SIMPSON STRONG WALL FASTENING INFO.

SIMPSON SITE-BUILD PORTAL FRAME

2- 13/4" x 9 1/4" LVL COLUMNS &
2- 13/4" x 11 7/8" LVL BEAM (MIN.).
INSTALL PER MANUF. INSTRUCTIONS,
FASTEN TO CONCRETE w/
(2) 5/8"Ø ASTM F1554 GRADE 36 OR
ASTM A36 TREATED RODS
SET IN DRILLED HOLES w/
EPOXY & MIN. 14" EMBEDMENT



FIRST FLOOR PLAN

1/4"=1'-0"

1630 SQ. FT. MAIN
108 SQ. FT. FRONT PORCH
384 SQ. FT. GARGE
131 SQ. FT. REAR STOOP

DATE	REMARKS

CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.

NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ALL INTERIOR WALL DIMENSIONS TO BE 3 1/2" UNLESS NOTED OTHERWISE.

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STATE OF MARYLAND CLAUDE C. LAPP 7603 ARCHITECT

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RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318

MODEL:
2504 HOLMAN AVENUE, SILVER SPRING, MD 20910

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BASEMENT & FIRST FLOOR PLANS

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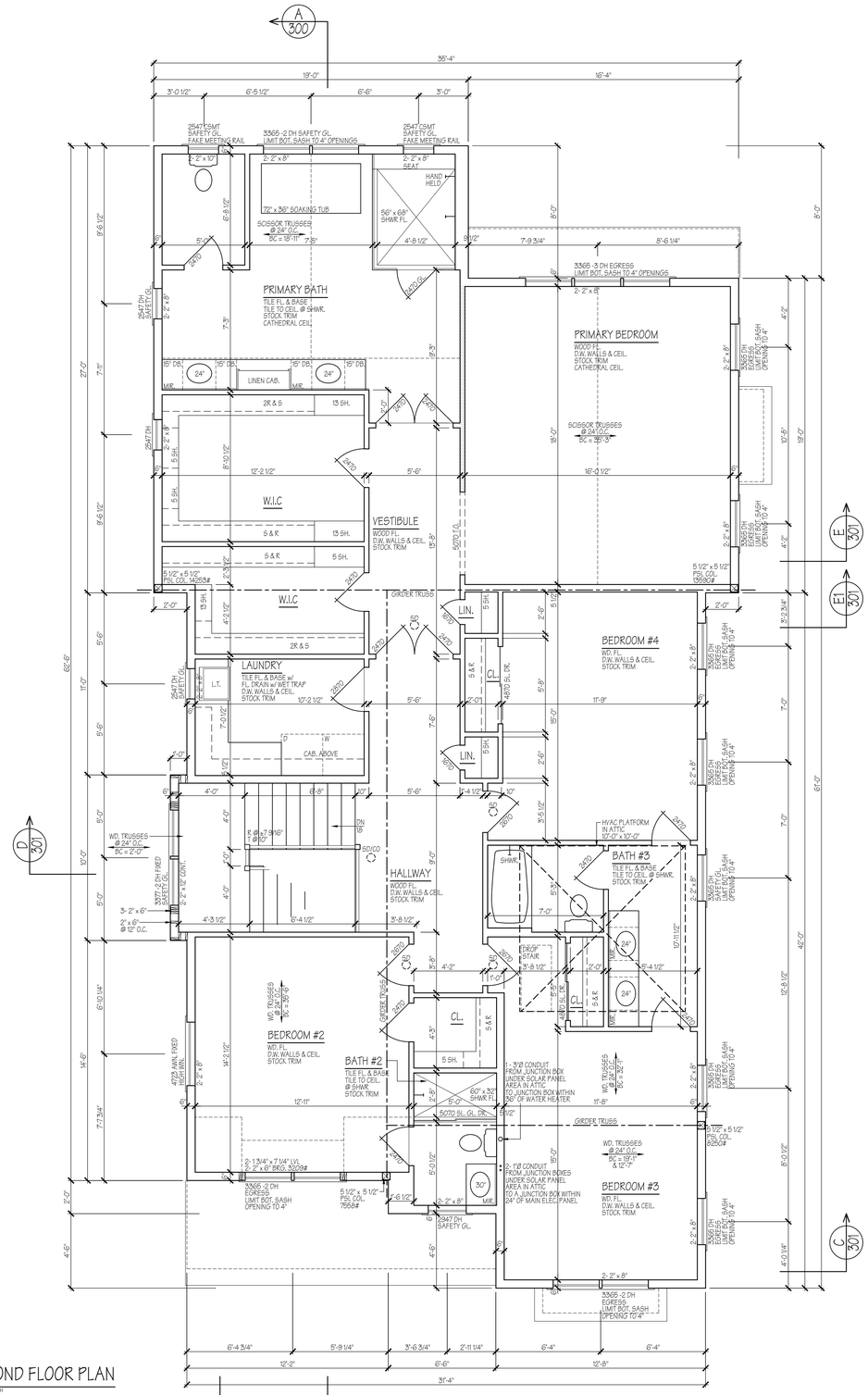


SECOND FLOOR PLAN

1/4"=1'-0"

2041 SQ. FT. MAIN

REVIEWED
By Laura DiPasquale at 9:28 am, Oct 23, 2025

APPROVED
Montgomery County
Historic Preservation Commission

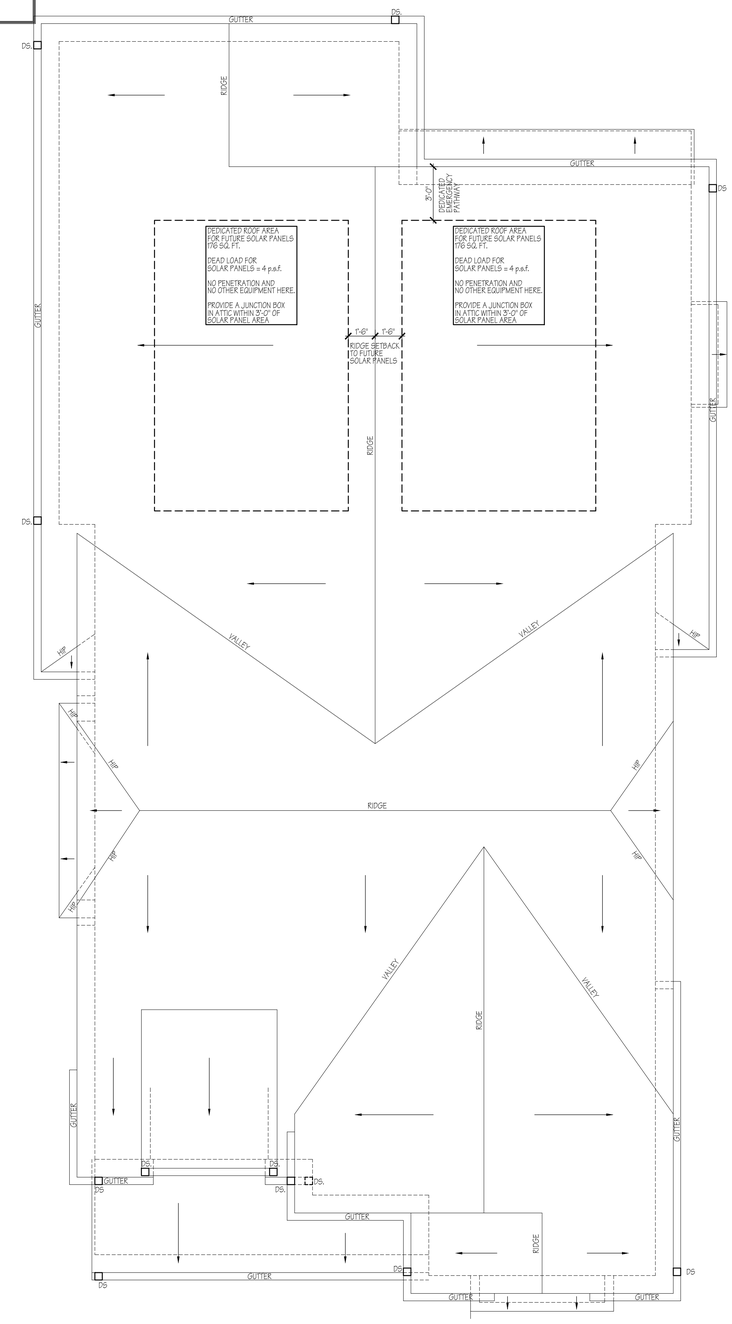
NOTES

1. SEE BEAM CALCULATIONS FOR BEAM FASTENING
2. TRUSS MANUFACTURER AND ROOF MANUFACTURER TO CHECK AND VERIFY FRAMING & STRUCTURE
3. ALL WINDOWS ARE PELLA LIFESTYLE SERIES, U.N.O. / PROVIDE 1 1/8" MIN. GRILLE SIZE
4. ALL LTS. WILL BE MOTION SENSOR & DIMMABLE
5. ALL OUTLETS WILL BE ARC/FAULT WHERE APPLICABLE
6. RANGE, HVAC, OUTSIDE UNIT, DRYER & HWH WILL BE CONNECTED TO PANEL BOX w/ 1" CONT. CONDUIT
7. ALLOW HVAC PLATFORM IN ATTIC.

LEGENDS

BEARING PARTITION WALL

(#) BEAM CALCULATION NUMBER



ROOF PLAN

1/4"=1'-0"

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7693
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PHONE: 202-277-0318

MODEL
2504 HOLMAN AVENUE, SILVER SPRING, MD 20910

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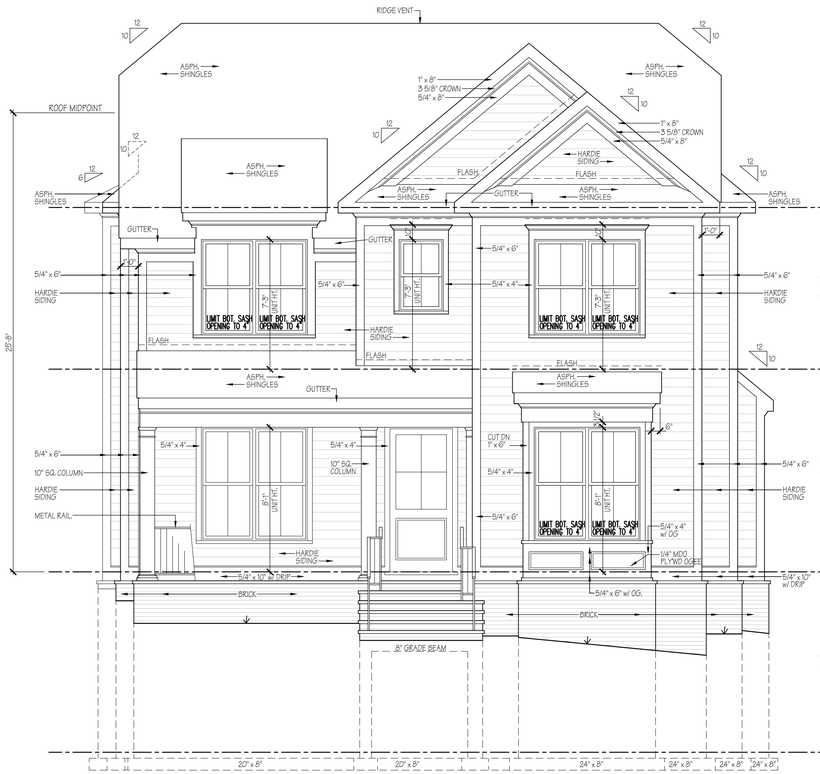
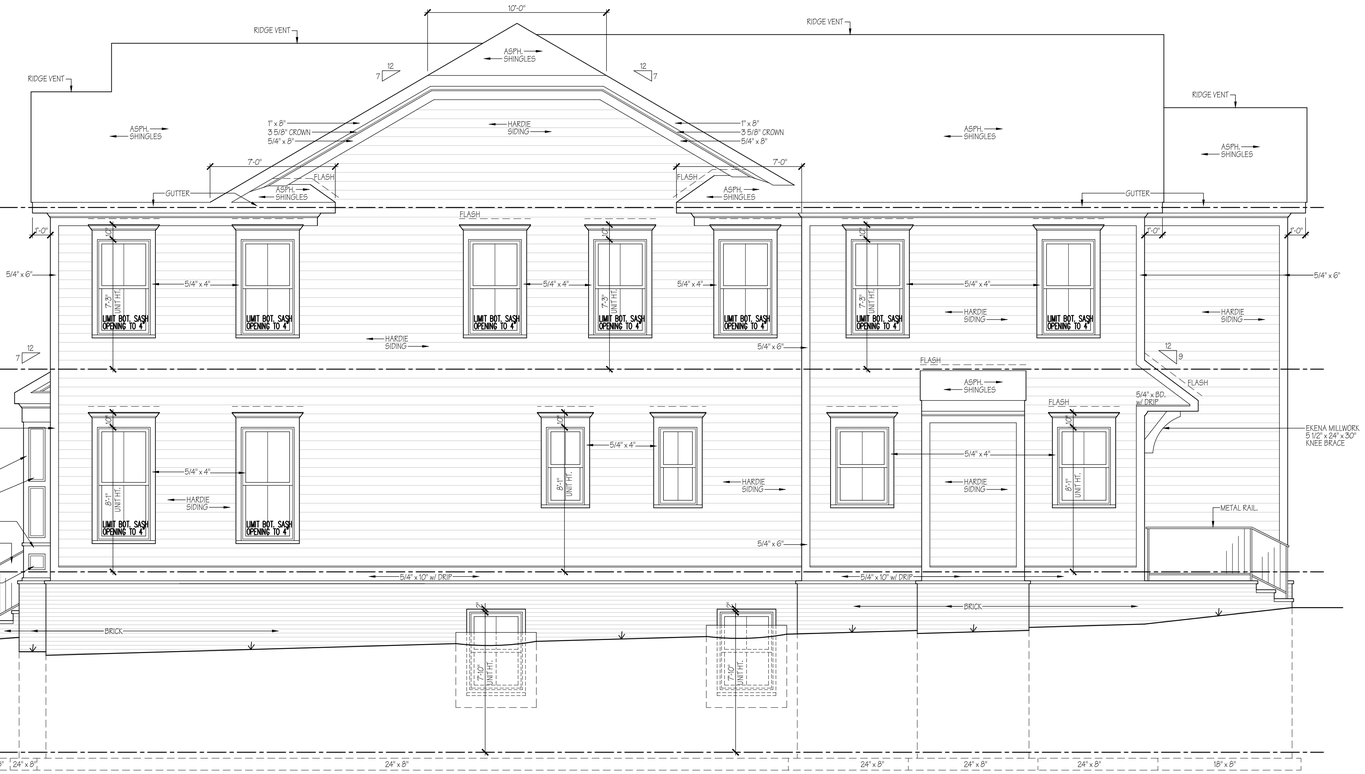
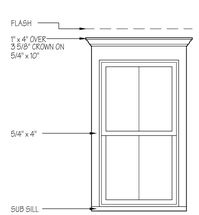


FRONT ELEVATION
1/4"=1'-0"
0' 2' 5' 10'



RIGHT ELEVATION
1/4"=1'-0"
0' 2' 5' 10'

DETAILS
3/8"=1'-0"
0' 1' 2' 4' 6'



WINDOW @ FRONT ELEV.
3/8"=1'-0"

DATE	REMARKS

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PHONE: 202-277-0318

MODEL
2504 HOLMAN AVENUE, SILVER SPRING, MD 20910

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FRONT & RIGHT ELEVATIONS AND DETAILS

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PAGE 4 OF 15		

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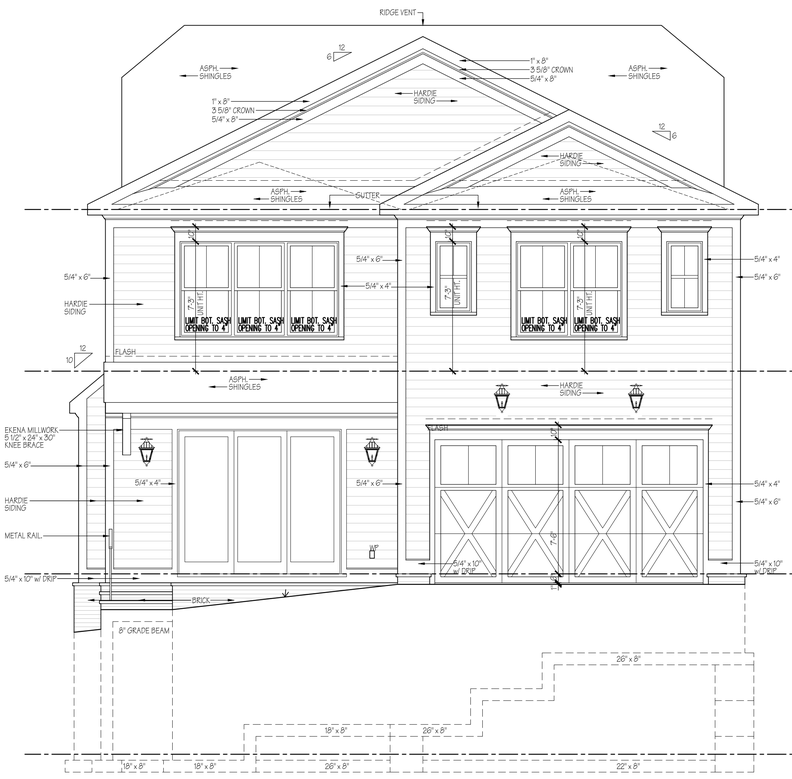
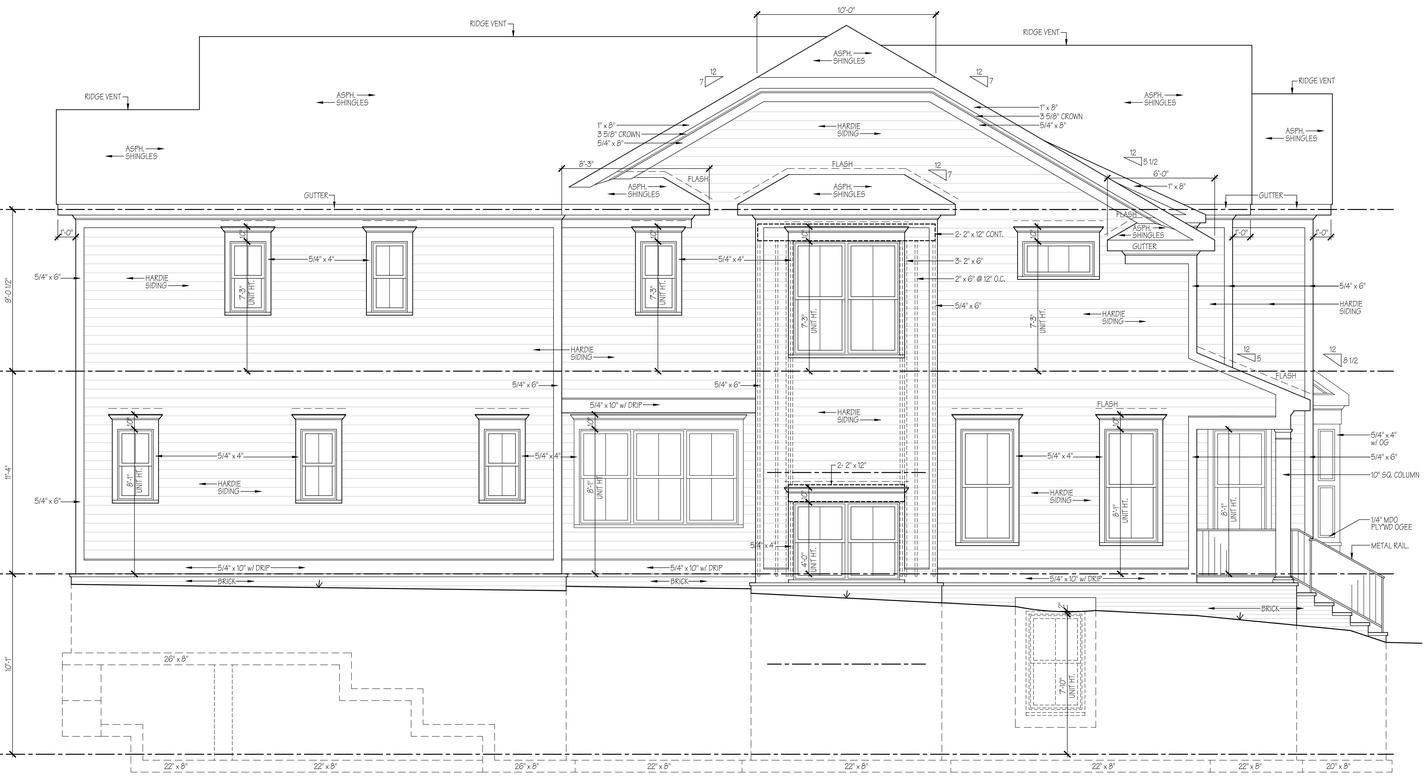


REAR ELEVATION
1/4"=1'-0"
0' 2' 5' 10'



LEFT ELEVATION
1/4"=1'-0"
0' 2' 5' 10'

DATE	REMARKS

CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.

NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ALL INTERIOR WALL DIMENSIONS TO BE 3 1/2" UNLESS NOTED OTHERWISE.

CLAUDE C. LAPP ARCHITECTS, LLC EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS AND DRAWINGS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF CLAUDE C. LAPP ARCHITECTS, LLC

STATE OF MARYLAND CLAUDE C. LAPP 7603 ARCHITECT

CLAUDE C. LAPP ARCHITECTS LLC

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SUITE 205
ROCKVILLE, MD 20855
T-(301) 881-6856
INFO@CCLARCHITECTS.COM
WWW.CCLARCHITECTS.COM

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE# 7603-R, EXPIRATION DATE 04-26-2027

RESIDENCE FOR:
AVATAR DESIGN BUILD
9715 CANEY PLACE, SILVER SPRING, MD 20910
PHONE: 202-277-0318

MODEL:
2504 HOLMAN AVENUE, SILVER SPRING, MD 20910

DRAWING TITLE
REAR & LEFT ELEVATIONS

DRAWN BY	DATE	SHEET NO.
DL/EC	09-18-25	A201
CHECKED BY CCL		
PAGE 5 OF 15		