



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

October 23, 2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1134380 – Fenestration alterations and siding installation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached applications for a Historic Area Work Permit (HAWP). This application was **approved** at the October 22, 2025 HPC meeting.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Joel Rosenberg and Jill Wertheim; Eric Saul, Architect
Address: 312 Tulip Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Existing non-contributing resource located in the Takoma Park Historic District. No significant features on the property

Description of Work Proposed: Please give an overview of the work to be undertaken:

Replace the existing garage door with a regular door and window on the front elevation. Add a window on the side elevation.

REVIEWED

By Laura DiPasquale at 8:59 am, Oct 23, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Bunkle

Work Item 1: New front door and window

Description of Current Condition:

Existing garage door

Proposed Work:

New regular entrance door and window

Work Item 2: New side window

Description of Current Condition:

No window

Proposed Work:

New window

REVIEWED

By Laura DiPasquale at 8:59 am, Oct 23, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Bunkit

Work Item 3: _____

Description of Current Condition:

Proposed Work:

MUNICIPAL STAMPS

REVIEWED
By Laura DiPasquale at 8:59 am, Oct 23, 2025

APPROVED
Montgomery County
Historic Preservation Commission

Karen Benoit

SAUL ARCHITECTS
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 3012700395
info@saularchitects.com
www.saularchitects.com

REVISIONS

WERTHEIM/ROSENBERG RESIDENCE
ACCESSORY DWELLING UNIT

312 TULIP AVENUE | TAKOMA PARK, MD 20912

DO NOT SCALE THE DRAWINGS. THE ORIGINAL SHEET SIZE IS 11" X 17". A COPY OF ANY OTHER SHEET BEING CLOSED, DRAWING OR SCALE. THIS SHEET IS NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ANY REUSE OF THIS SHEET WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED.



PROFESSIONAL CERTIFICATION:
I, ERIC SAUL, HEREBY CERTIFY
THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF
THE STATE OF MARYLAND.
LICENSE NO. 14248, EXPIRATION
DATE: JUNE 30, 2027

PROJECT NUMBER: 25005

PRINTING LOG	
DATE	PURPOSE
09.05.25	PRE-DESIGN/SD MEETING 1
09.25.25	HAWP SUBMITTAL

EXISTING/DEMO
FLOOR PLANS

A1

DEMOLITION KEYNOTES:

- EXISTING GARAGE DOOR TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- BEARING WALL TO BE REMOVED - SEE FRAMING PLANS FOR NEW BEAM
- DEMO EXISTING MASONRY WALL FOR NEW OPENING

GENERAL DEMO NOTES

- DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
- EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
- SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
- EXISTING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
- ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
- ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.

FLOOR PLAN LEGEND

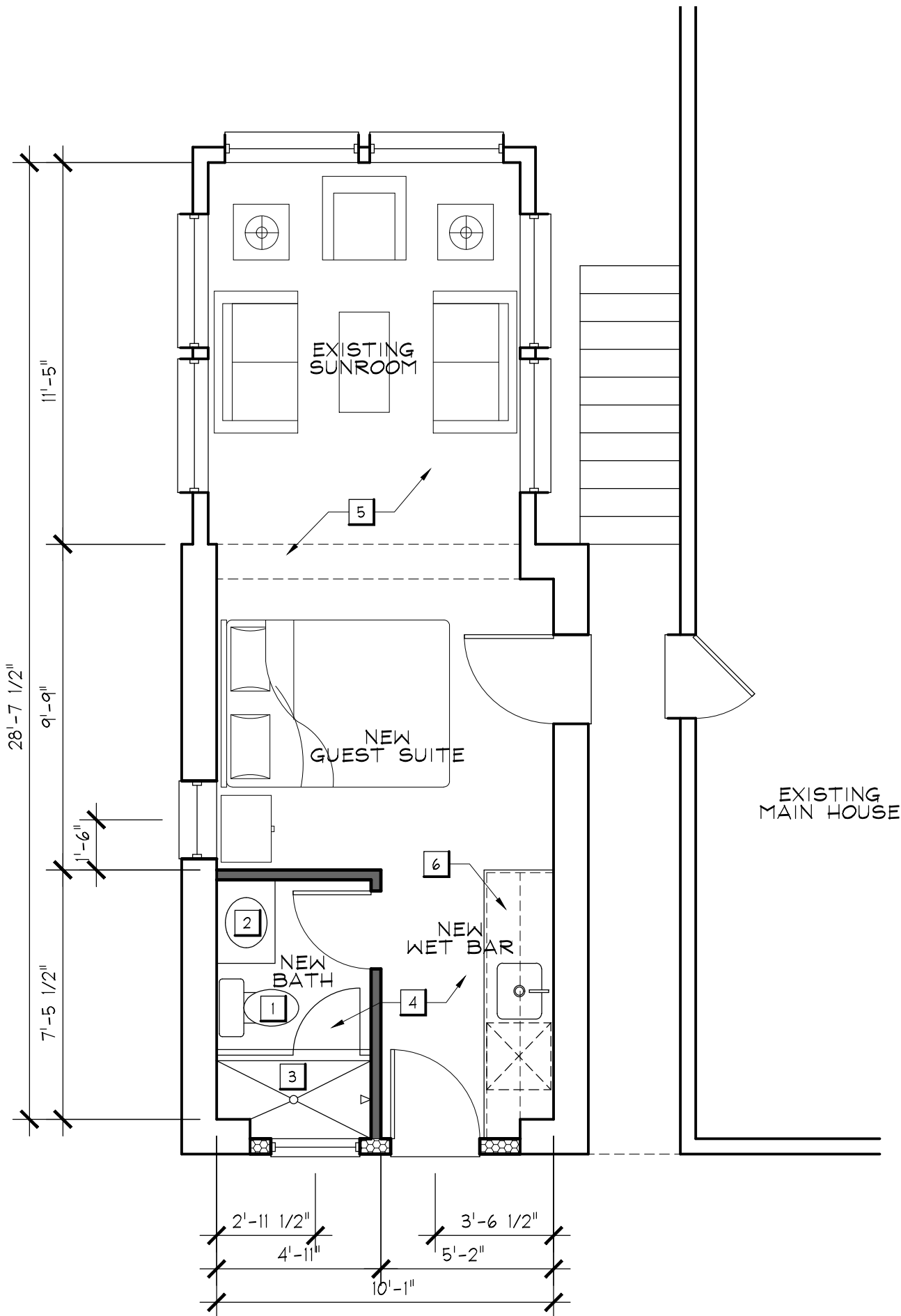
	EXISTING WALL TO REMAIN
	NEW INT. 2X4 STUD WALL, U.N.O.
	NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
	NEW EXTERIOR 2X6 STUD WALL; R-20 MIN. INSULATION
	NEW 8" CONC. MASONRY WALL
	NEW BRICK MASONRY WALL OR PIER
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED
	CEILING HEIGHT INDICATOR

FLOOR PLAN KEYNOTES:

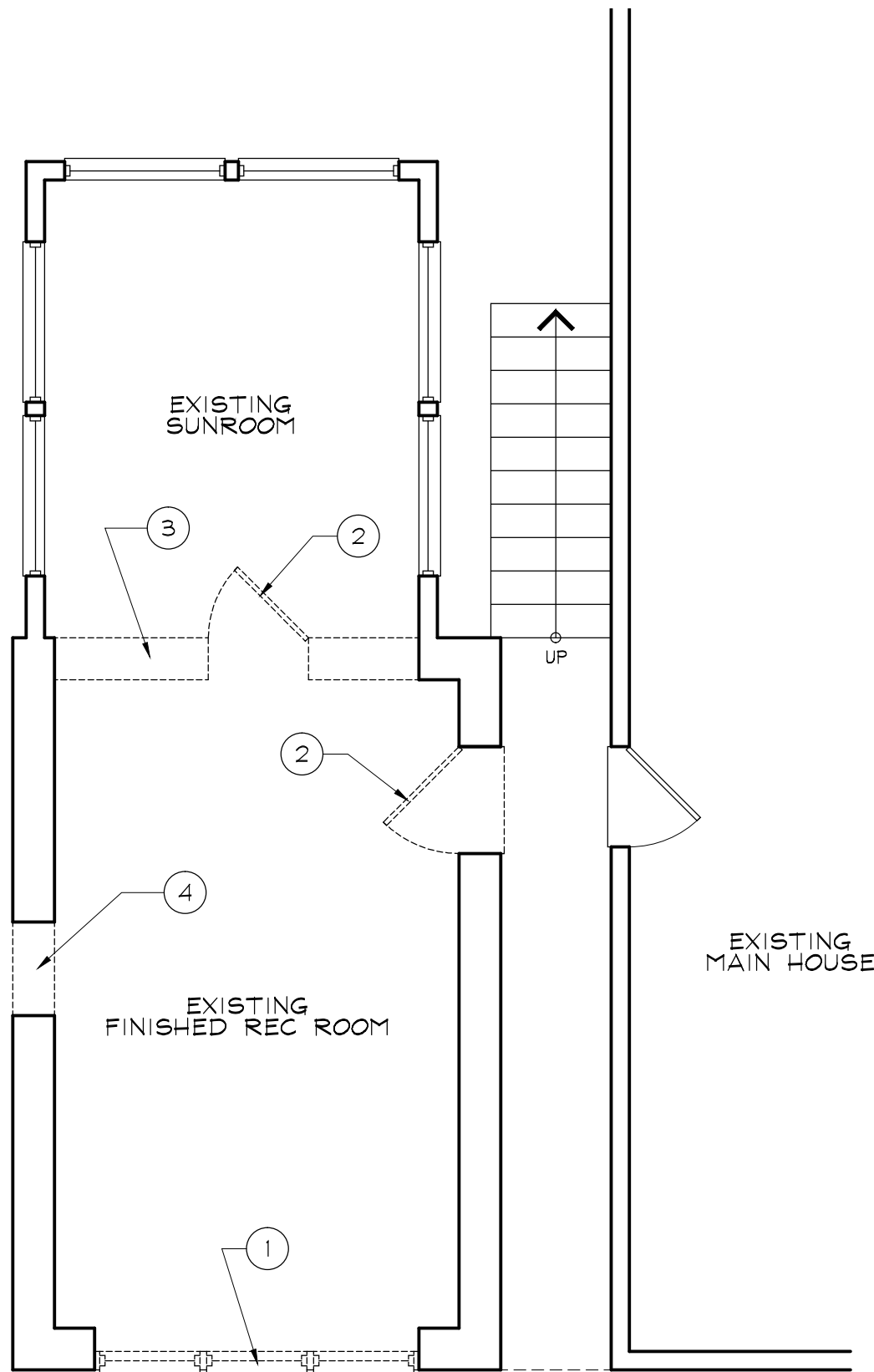
- NEW TOILET
- NEW 30" VANITY
- NEW CUSTOM TILED SHOWER W/ GLASS ENCLOSURE AND TILED SOAP NICHE
- NEW TILE FLOORING - SELECTED BY OWNER
- NEW LVT FLOORING OVER 3/4" OSB SUBFLOOR OVER NEW 2X6 SLEEPERS WITH R-19 MIN. INSULATION
- NEW KITCHEN CABINETS PER SEPARATE KITCHEN DESIGN DRAWINGS

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
- ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.
- DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.



2 PROPOSED FIRST FLOOR PLAN
A1 1/4" = 1'-0"



1 EXISTING/DEMO FIRST FLOOR PLAN
A1 1/4" = 1'-0"



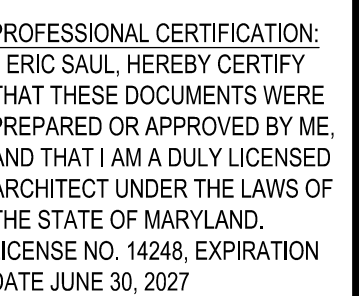
REVIEWED
By Laura DiPasquale at 8:59 am, Oct 23, 2025

Karen Benoit



REVISIONS

DO NOT SCALE THE DRAWINGS. THE ORIGINAL SHEET SIZE IS 24" X 36". A COPY OF ANOTHER SIZE MEANS SCALES ARE INACCURATE. THE DESIGNS ON THIS SHEET ARE COPYRIGHTED INSTRUMENTS OF SERVICE. ANY USE OR REUSE BY ANY METHOD, IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED.



DATE	PURPOSE
05.25	PRE-DESIGN/SD MEETING 1
05.25	HAWP SUBMITTAL

A2



Hyattsville 10PM 20782

What c...



Hyattsville 10PM 20782

Shop All Services

DIY

Log In

... / Exterior Doors / Front Doors / Fiberglass Doors / Fiberglass Doors With Glass

Internet # 203114640 Model # 27141 Store SKU # 266388 Store SO SKU #476575

REVIEWED

By Laura DiPasquale at 9:00 am, Oct 23, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

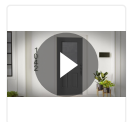
Feedback

1.4k

Masonite

36 in. x 80 in. Craftsman 6 Lite Left Hand Inswing Primed White Smooth Fiberglass Prehung Front Door w/ Brickmold

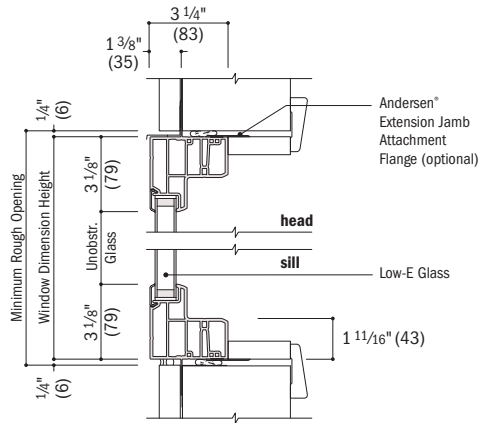
★★★★★ (264) Questions & Answers (154)



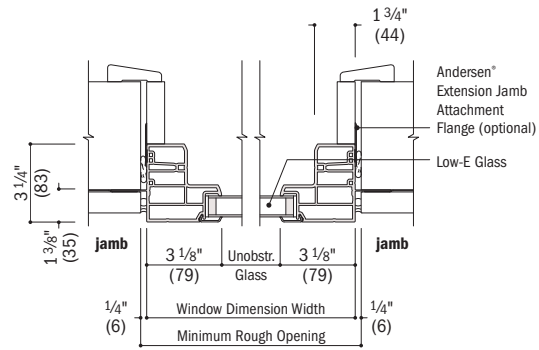
Picture, Transom and Specialty Window Details – New Construction

Scale 1 1/2" (38) = 1'-0" (305) – 1:8

1 3/8" Flange Setback

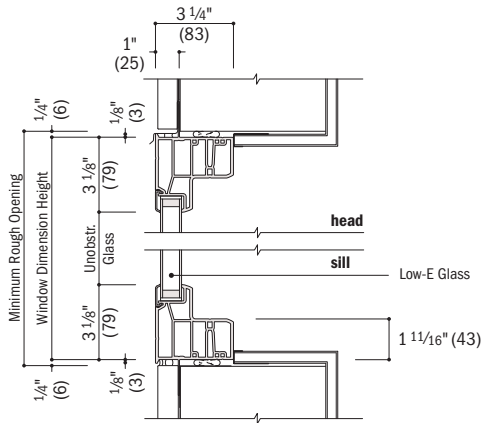


Vertical Section

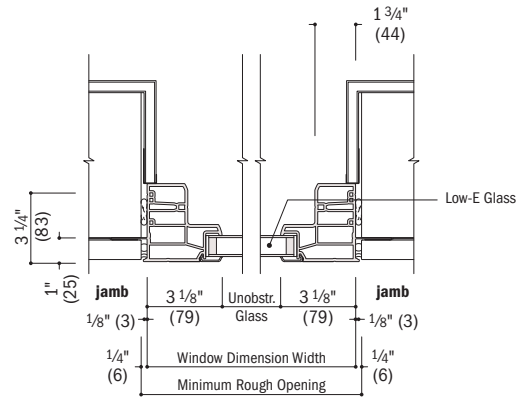


Horizontal Section

1" Flange Setback With Stucco Key



Vertical Section
Stucco Exterior



Horizontal Section
Stucco Exterior

REVIEWED

By Laura DiPasquale at 9:00 am, Oct 23, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Benoit

*Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.

• **Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items.**

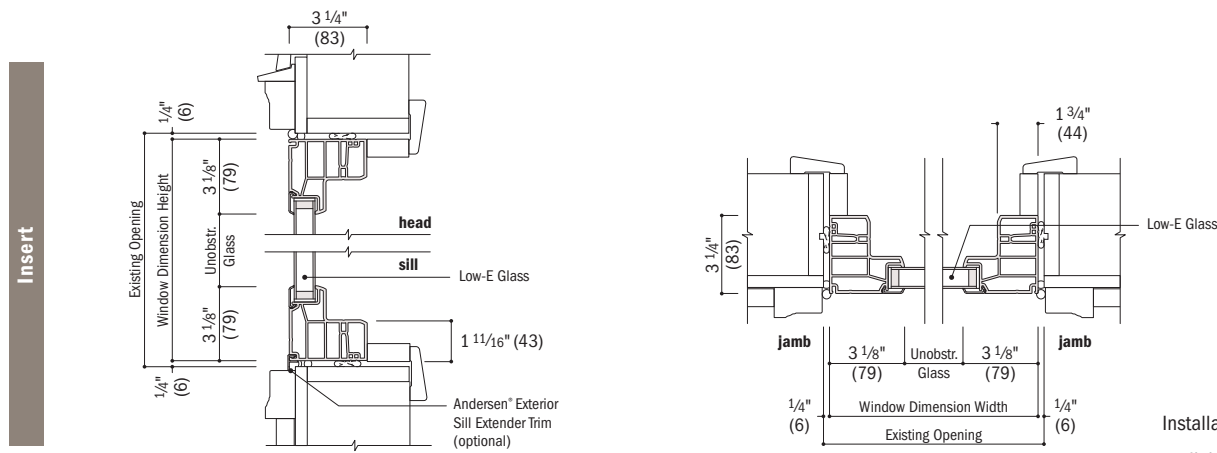
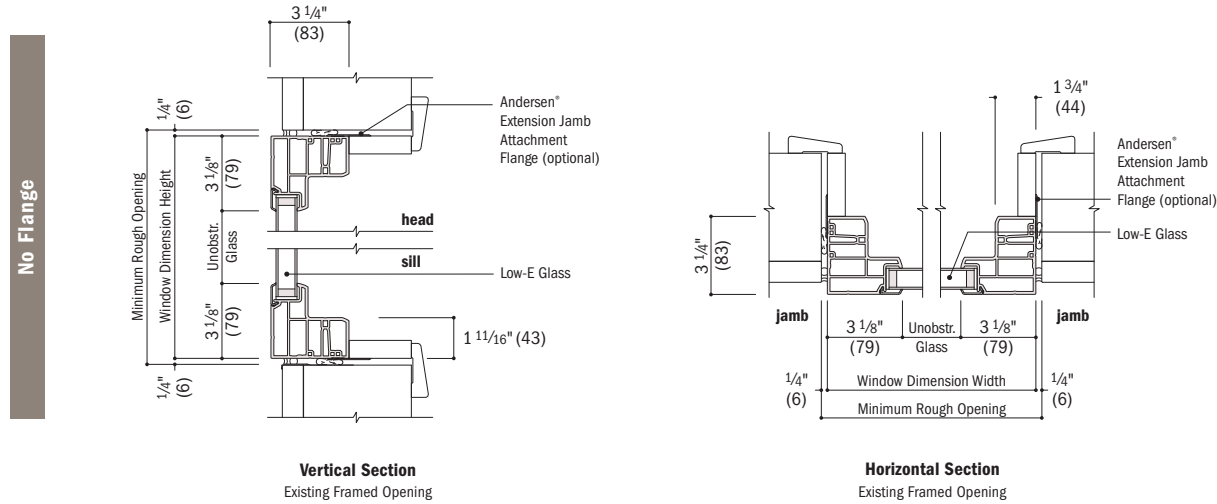
• Drip cap is required to complete window installation as shown but may not be included with window. Use of drip cap is recommended for proper installation.

• Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation instructions at andersenwindows.com.

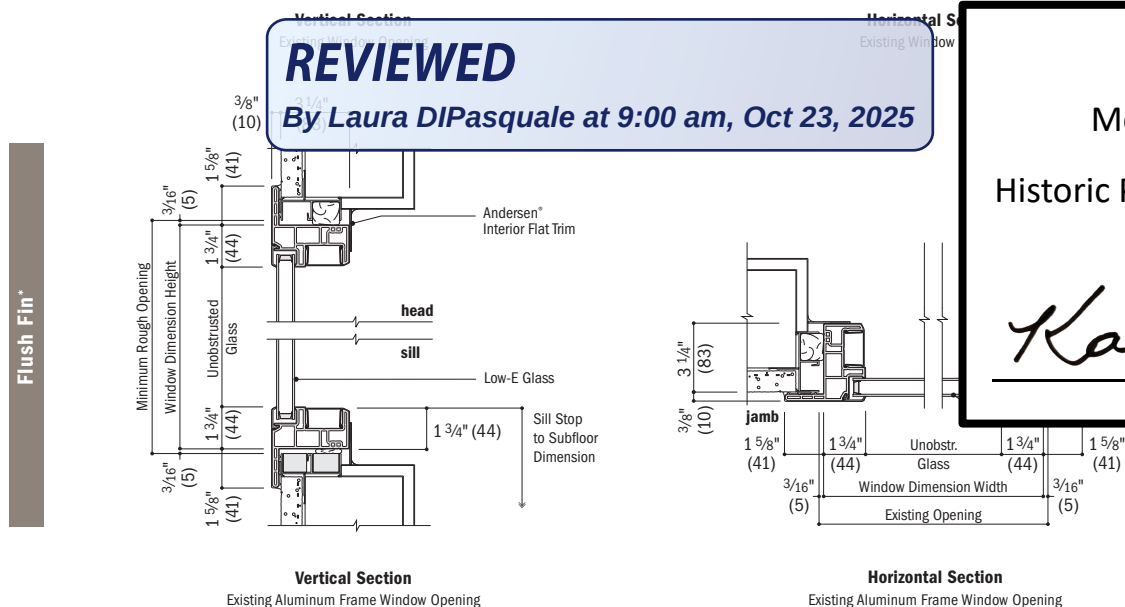
• Dimensions in parentheses are in millimeters.

Picture, Transom and Specialty Window Details – Replacement

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



Installation accessories are available for windows with



REVIEWED

By Laura DiPasquale at 9:00 am, Oct 23, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen B. Burt

*Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.

• **Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items.**

• Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation instructions at andersenwindows.com.

• Dimensions in parentheses are in millimeters.

• Windows with flush fin frame are available in select Southwestern states including Arizona, California, Nevada, New Mexico and Utah. Limited configuration availability. See your Andersen supplier for more information.

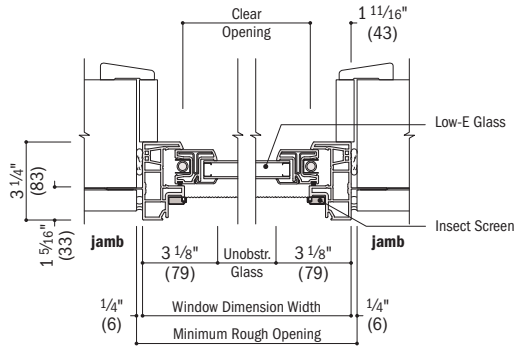
100 SERIES SINGLE-HUNG WINDOWS



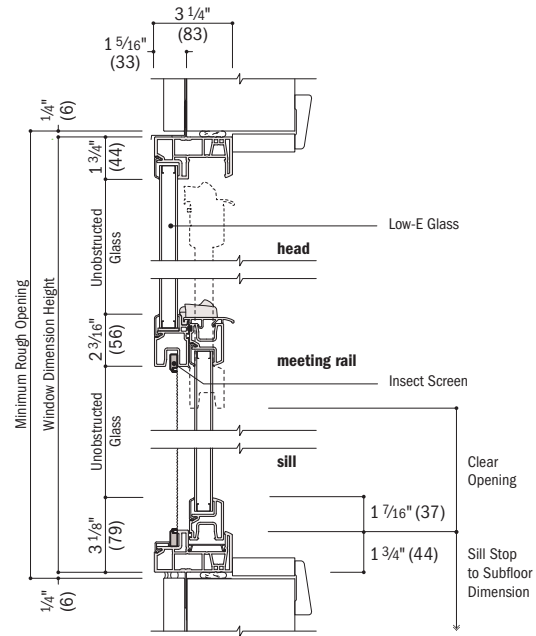
Arch Single-Hung Window Details – New Construction

Scale 1 1/2" (38) = 1'-0" (305) – 1:8

1 3/8" Flange Setback

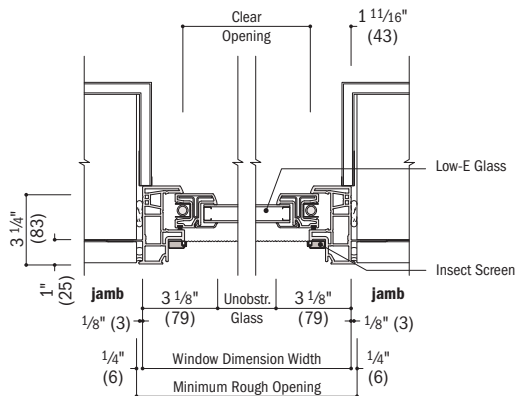


Horizontal Section
Arch Single-Hung

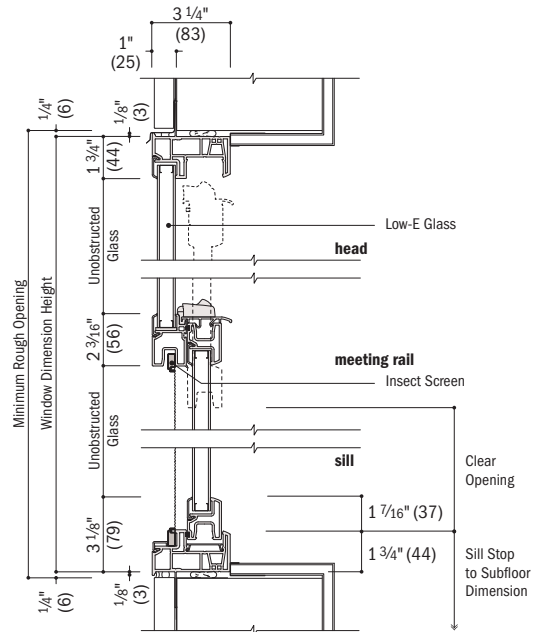


Vertical Section
Arch Single-Hung

1" Flange Setback With Stucco Key



Horizontal Section
Arch Single-Hung, Stucco Exterior



Vertical Section
Arch Single-Hung, Stucco Exterior

REVIEWED

By Laura DiPasquale at 9:00 am, Oct 23, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen B. Burt

- Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete installation.
- Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, etc.
- Drip cap is required to complete window installation as shown but may not be included with window. Use of drip cap is recommended.
- Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product literature for more information.
- Dimensions in parentheses are in millimeters.

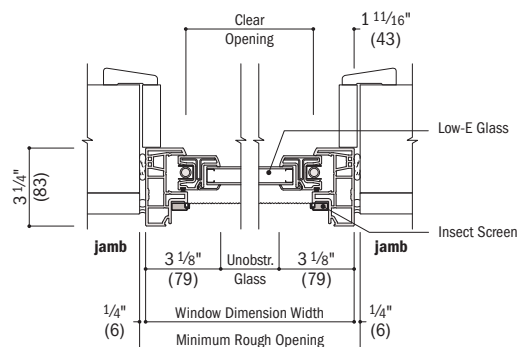
100 SERIES SINGLE-HUNG WINDOWS



Arch Single-Hung Window Details – Replacement

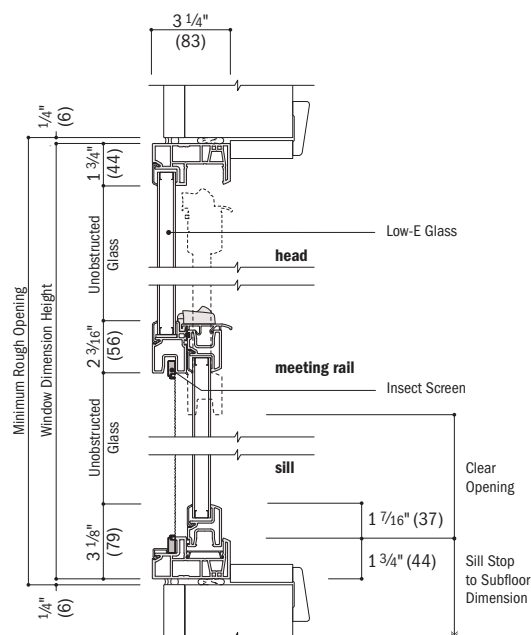
Scale 1 1/2" (38) = 1'-0" (305) – 1:8

No Flange



Horizontal Section

Arch Single-Hung, Existing Framed Opening



Vertical Section

Arch Single-Hung, Existing Framed Opening

Arch single-hung windows are not available with insert or flush fin frames.

REVIEWED

By Laura DiPasquale at 9:00 am, Oct 23, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen B. Burt

- Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
- **Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items.**
- Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation instructions at andersenwindows.com.
- Dimensions in parentheses are in millimeters.









