



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chair

December 3, 2025

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1139940– Construction of rear addition, screened porch, and balcony; and fenestration alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached applications for a Historic Area Work Permit (HAWP). This application was **approved** at the December 3, 2025 HPC meeting.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Simon and J. Alane Park; Amy G. Stacy, Architect
Address: 26 Columbia Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The house in question is a 2-story brick and frame residence, originally constructed in 1959 and of no historic significance. A second story was constructed in 2010. The lot is narrow and deep and rises 16' in elevation from the street to the rear yard. There is a WSSC easement through much of the property; the Owners have entered a Hold Harmless Agreement with WSSC as of 9.29.25 for an addition in the rear yard. The agreement is attached.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The proposed addition includes a 151 square foot rear kitchen addition and interior remodeling, a second story rear balcony, and a 193 square foot screened porch. An existing wood deck will remain.

REVIEWED

By Laura DiPasquale at 12:22 pm, Dec 04, 2025

APPROVED

Montgomery County

Historic Preservation Commission

Karen Bunkit

Work Item 1: <u>Addition and interior remodel</u>	
Description of Current Condition: Kitchen was remodeled in 2010, but has an awkward layout.	Proposed Work: The basement stair inside will be relocated, and the new kitchen will be constructed in its former spot and into the new addition.
Work Item 2: <u>Screened porch</u>	
Description of Current Condition: Currently there is not a porch on the rear.	Proposed Work: 193 square foot screened porch, frame construction
<div>REVIEWED By Laura DiPasquale at 12:22 pm, Dec 04, 2025</div>	
Work Item 3: <u>Wood deck</u>	
Description of Current Condition: Existing deck on grade	Proposed Work: To remain

APPROVED

Montgomery County

Historic Preservation Commission



Addition & Alterations to

26 COLUMBIA AVENUE

Takoma Park MD 20912

Historic Area Work Permit Submittal
11.05.25

List of Drawings

- | | |
|------|---------------------------------------|
| 001 | Cover Sheet |
| Z001 | General Info, Project Data, Site Plan |
| TP01 | Tree Plan, Tree Inventory |
| A101 | Basement Floor Plans |
| A102 | 1st Floor Plans |
| A201 | Elevations |
| A301 | Section |

Project Directory

ARCHITECT:
Amy Giller Stacy RA
Stacy Studio
15 Woodmoor Drive
Silver Spring MD 20901
301.593.0099
amy@stacystudio.com

OWNER:
J Alane and Simon Park
26 Columbia Avenue
Takoma Park MD 20912

STRUCTURAL ENGINEER:
Robert Wixson PE
APAC Engineering Inc
8555 16th Street Suite 200
Silver Spring MD 20910
301.565.0543
apacengineering@aol.com

GENERAL CONTRACTOR:
TBD

REVIEWED

By Laura DiPasquale at 12:22 pm, Dec 04, 2025

APPROVED

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Historic Preservation Commission

Karen Quint

Professional Certification:
I hereby certify that these documents
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License #13441, Expiration date 31 March 2027.

ISSUE:		DESIGN DEVELOPMENT	PROGRESS SET	6.26.25
	WSSC SUBMITTAL			7.17.25
	HAMP SUBMITTAL			11.05.25

ADDITION & ALTERATIONS TO		26 COLUMBIA AVENUE	TAKOMA PARK MD 20912

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DRAWING: Cover Sheet Index of Drawings Project Directory	SCALE: No scale
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SHEET: 001 PAGE 1 OF 7

STACY STUDIO

15 Woodmoor Drive Silver Spring MD 20901 301-593-0099

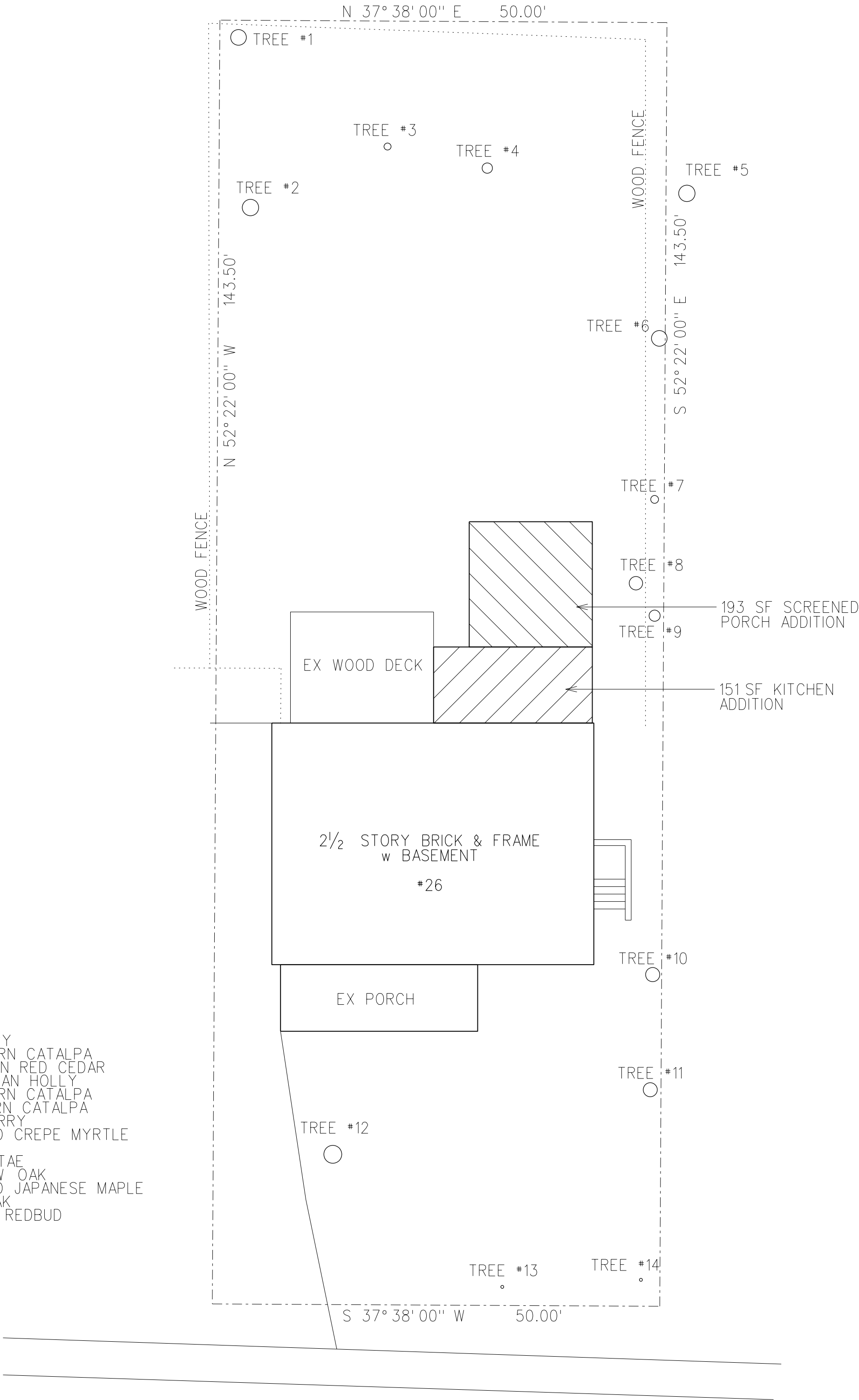
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Montgomery County
Historic Preservation Commission
Karen Bulitt

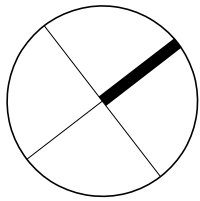
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TREE INVENTORY:

TREE #1	21" ø MULBERRY
TREE #2	22" ø NORTHERN CATALPA
TREE #3	9.4" ø EASTERN RED CEDAR
TREE #4	13.8" ø AMERICAN HOLLY
TREE #5	20" ø NORTHERN CATALPA
TREE #6	21" ø NORTHERN CATALPA
TREE #7	10.5" ø MULBERRY
TREE #8	MULTI-STEMMED CREPE MYRTLE
TREE #9	15" ø ELM
TREE #10	19" ø ARBORVITAE
TREE #11	18.8" ø WILLOW OAK
TREE #12	MULTI-STEMMED JAPANESE MAPLE
TREE #13	5" ø WHITE OAK
TREE #14	5" ø EASTERN REDBUD



1 Tree Plan & Inventory
0 5 10



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	HAMP	SUBMITTAL		11.05.25

ADDITION & ALTERATIONS TO
26 COLUMBIA AVENUE
TAKOMA PARK MD 20912

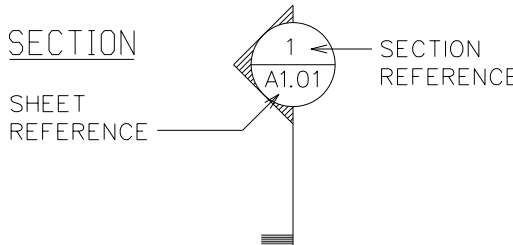
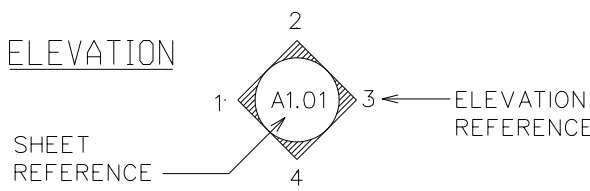
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DRAWING:
Tree Plan
Tree Inventory
SCALE: 1"=10' site plan

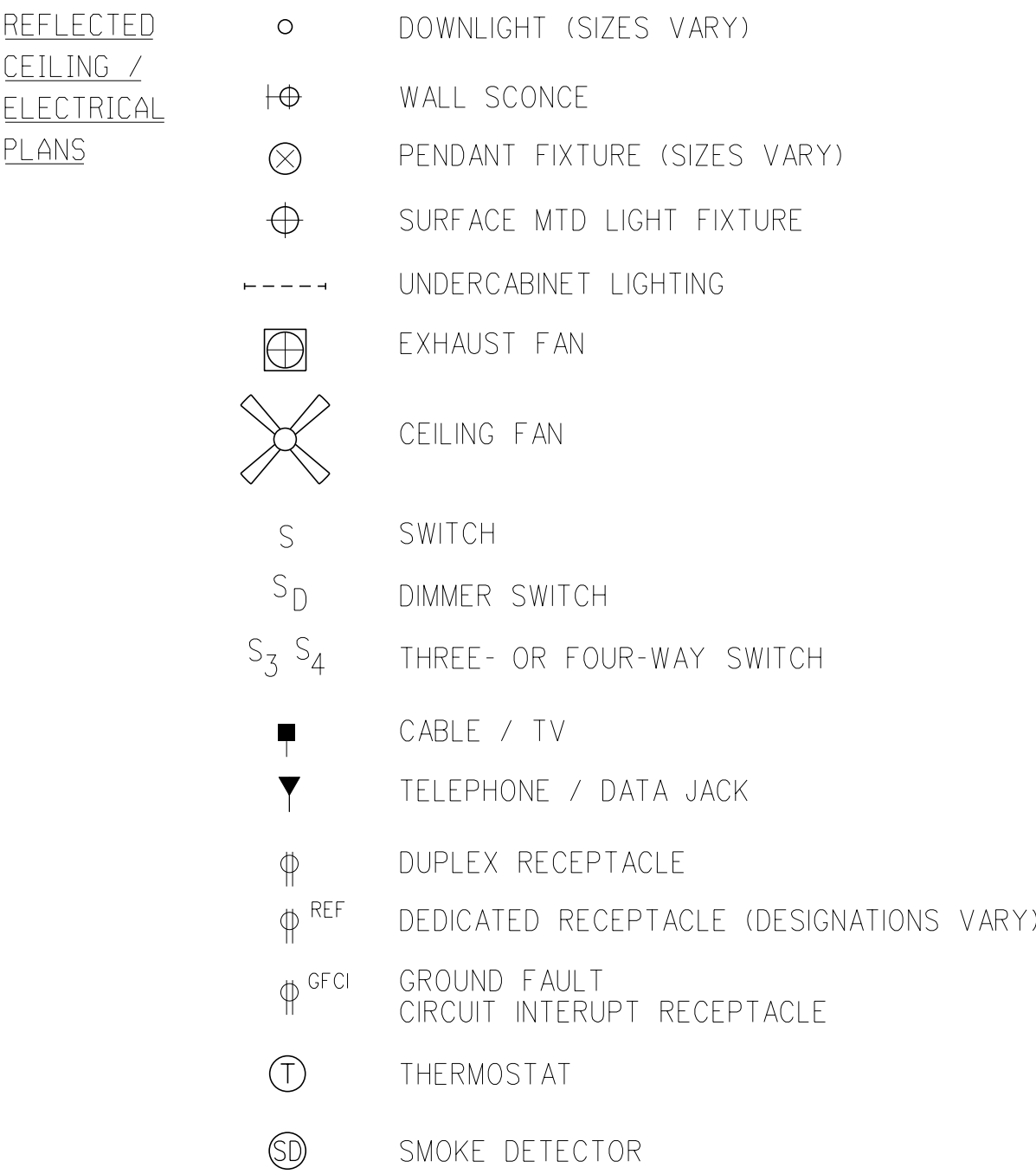
SHEET:
TP01
PAGE 3 OF 7

STACY STUDIO
15 Woodmoor Drive Silver Spring MD 20901 301 593 0099

Drawing Symbols



KITCHEN ROOM NAME



General Notes

1. Drawings in this set and designs thereon are the property of Stacy Studio.
2. These general notes shall apply to all work and all drawings in this set and shall extend to any changes, extras, or additions agreed to during the course of the work.
3. All work shall be done in accordance with all applicable laws, codes and regulations.
4. All construction shall conform to current building code in Montgomery County, MD.
5. All fees, taxes, permits, applications and certifications of inspection and occupancy, and the filing of all work with government agencies shall be the responsibility of the General Contractor unless otherwise stated.
6. The contractor shall visit and inspect the site to verify all dimensions and conditions prior to the proposal submission. Any and all discrepancies shall be reported to the Architect prior to the proposal submission, otherwise, the Contractor shall bear all costs to complete the work as intended on the drawings.
7. If any condition arises that would impede the progress or the intent of the work, the G.C. is to notify the Architect immediately. The G.C. will fully explain the problem and all relevant time constraints.
8. When discrepancies arise between the Architect's drawings and the Engineer's drawings the G.C. shall notify the Architect for verification, clarification and directions.
9. Contractor shall clarify with Architect any conflicts between the construction documents and existing conditions or between the construction documents themselves, prior to proposal submission, if discovered during that time, or during the construction period.
10. Do not scale drawings. Dimensions shall govern, details shall govern over plans and elevations. Large scale details shall govern over small scale details. Please notify Architect immediately for a resolution of any discrepancy that may exist in the drawings before proceeding with the Work.
11. Any information required by Contractors that is not shown on the drawings or contained in the contract documents shall be requested by the G.C. from the Architect prior to submitting the cost proposal.
12. Substitutions, revision, or changes must have prior approval of the Architect.
13. Furniture is to be furnished and installed by others except as noted on drawings.
14. The Contractor shall supervise and direct the work. He shall be solely responsible for all construction means, methods, techniques, sequences and procedures, and for the coordination of all portions of the work.
15. The G.C. is to provide all labor and materials necessary to execute the work as shown on these drawings with the exception of those items noted as separate contracts.
16. All materials shall be new, unused, and of the highest quality in every respect unless mutually agreed upon or directed. Manufactured materials and equipment shall be installed per manufacturer's recommendations unless otherwise noted.
17. All work shall be erected and installed plumb, level, square, and true, and in proper alignment.
18. All installed plumbing, mechanical, and electrical equipment shall operate quietly and free of vibration.
19. All work and materials furnished by the General Contractor and his Subcontractors shall be fully warranted/guaranteed against defects in workmanship and materials for a period of at least one (1) year from the Architects' approval for final payment.
20. Prior to commencing the work, G.C. shall supply to the Architect a list of all proposed Subcontractors. This list shall include the name of principal contact, the address and phone number of each Subcontractor.
21. No work defective in construction or quality, or deficient in any requirement of the Contract Documents will be acceptable in consequence of the Architect's failure to discover or point out defects or deficiencies during construction. Defective work revealed within the warranty period shall be replaced by work conforming with the intent of the contract; the cost of which will be solely borne by the Contractor and/or manufacturer. No payment either partial or final shall be construed as acceptance of defective work or improper materials. G.C. shall coordinate replacement of work with related Subcontractors and/or manufacturers.
22. Contractor shall not proceed with any additional work or changes for which he expects compensation beyond the contract amount unless said work has been approved as a change order by the Owner.
23. The Contractor will be responsible, at his own cost, for the warehousing of all materials to be installed under this contract.
24. All shop fabricated items shall be reviewed by shop drawing process. Shop drawings shall be examined by the Contractor and certified to be in accordance with the contract documents prior to transmittal to Architect.
25. Review of shop drawings, schedules, etc. by the Architect and subsequent approval of same shall not be construed as: a. permitting any departure from the contract requirements b. relieving the Contractor of the responsibility for any errors in details, dimensions quantities, or means of fabrication or assembly.
26. G.C. is responsible for the coordination, installation and final hook-up for all appliances unless otherwise noted. G.C. shall review all appliance installation specs and review with all Subcontractors as required.

Scope of Work

This project consists of a first story kitchen and screened porch addition, along with interior alterations to the basement and first floor of an existing 2½ story brick and frame residence.

Project Data

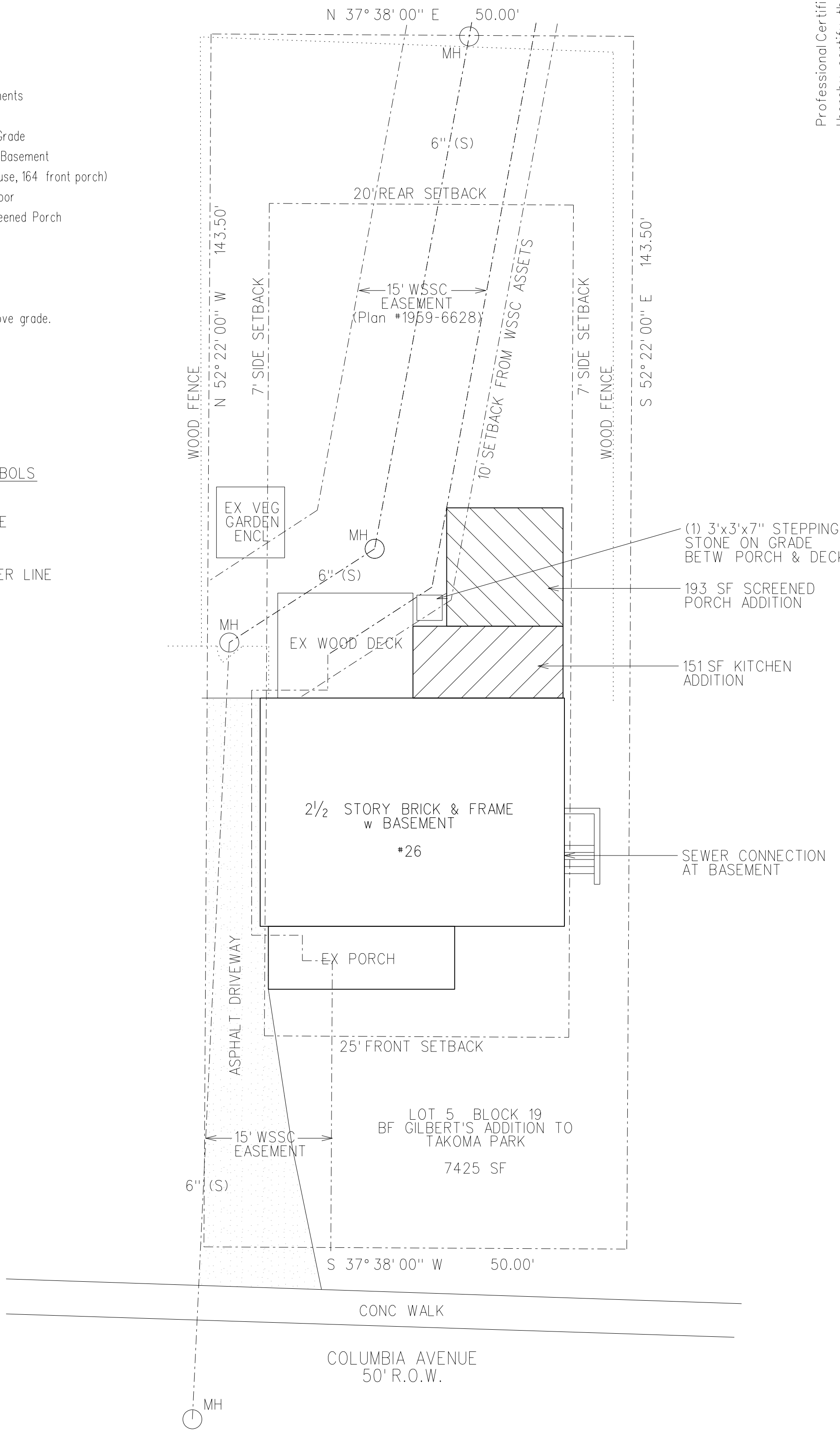
Address:
26 Columbia Avenue
Takoma Park MD 20912
Lot 6, Block 19, BF Gilbert's Addition to Takoma Park
Lot recorded 1886
House constructed 1959
Lot size 7,425 square feet
R-60 Zone

Codes:
2021 IRC with Montgomery County amendments

Existing Square Footage: 1944 SF Above Grade
500 SF Finished Basement
Existing Roofed Area: 1136 SF (972 house, 164 front porch)
Addition Area Added: 151 SF At First Floor
Porch Area Added: 193 SF Rear Screened Porch
New Roof Area: 1480 SF
Roof Area Added: 344 SF
Lot Coverage: 20 %

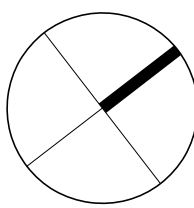
Overall building height remains less than 35' above grade.
See elevations on sheet A201.

WSSC EASEMENT SYMBOLS



Site Plan

0 5 10



Professional Certification:
I hereby certify that these documents
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ISSUE:	DESIGN DEVELOPMENT PROGRESS SET					
	WSSC SUBMITTAL	7.17.25		WSSC SUBMITTAL	7.17.25	
	HAMP SUBMITTAL	11.05.25		HAMP SUBMITTAL	11.05.25	

ADDITION & ALTERATIONS TO

26 COLUMBIA AVENUE

TAKOMA PARK MD 20912

General Information	6.26.25
Project Data	7.17.25
Notes	11.05.25
Site Plan	

DRAWING:	General Information	6.26.25
	Project Data	7.17.25
	Notes	11.05.25
	Site Plan	

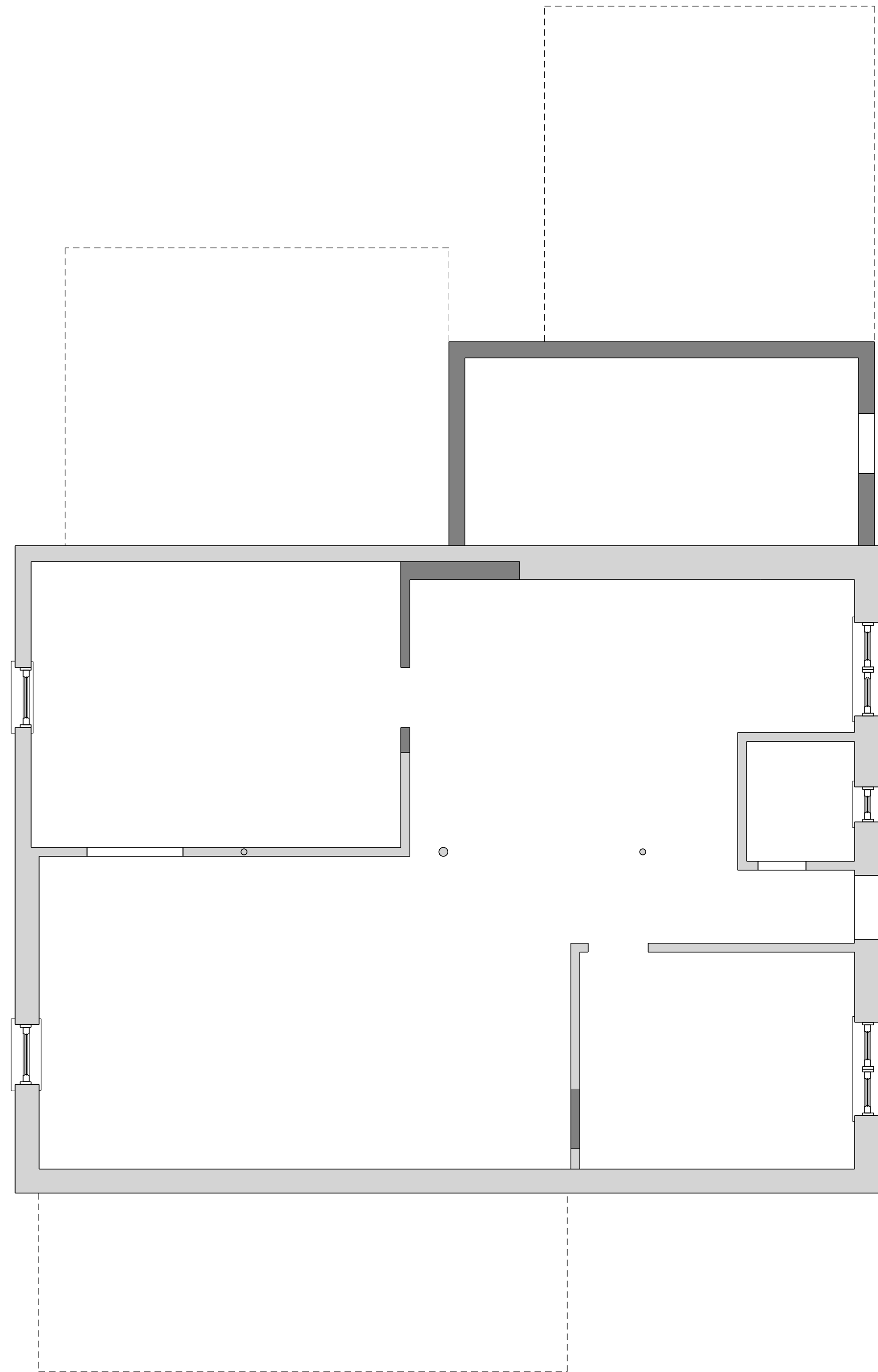
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Z001

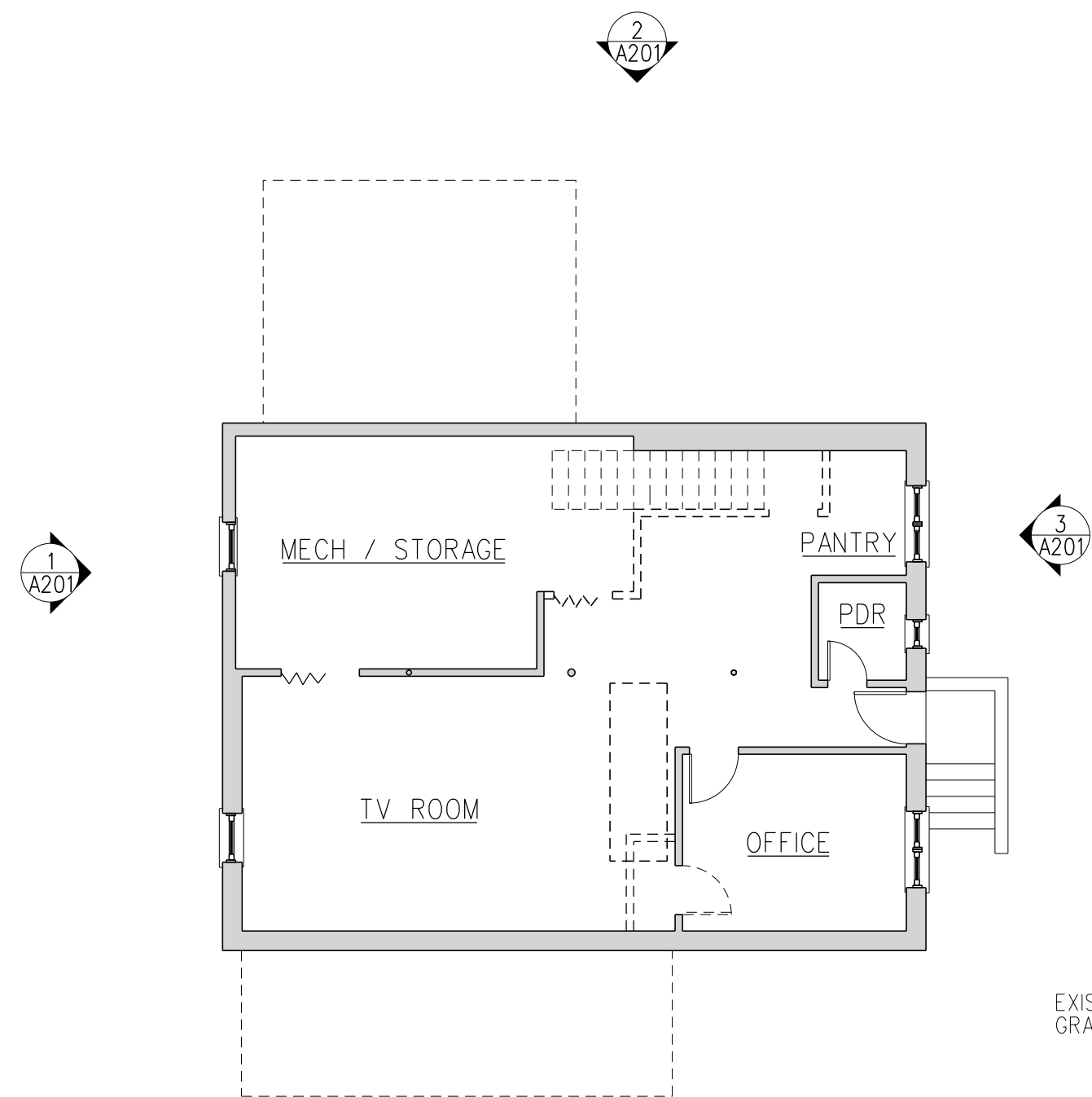
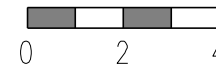
PAGE 2 OF 7

STACY STUDIO

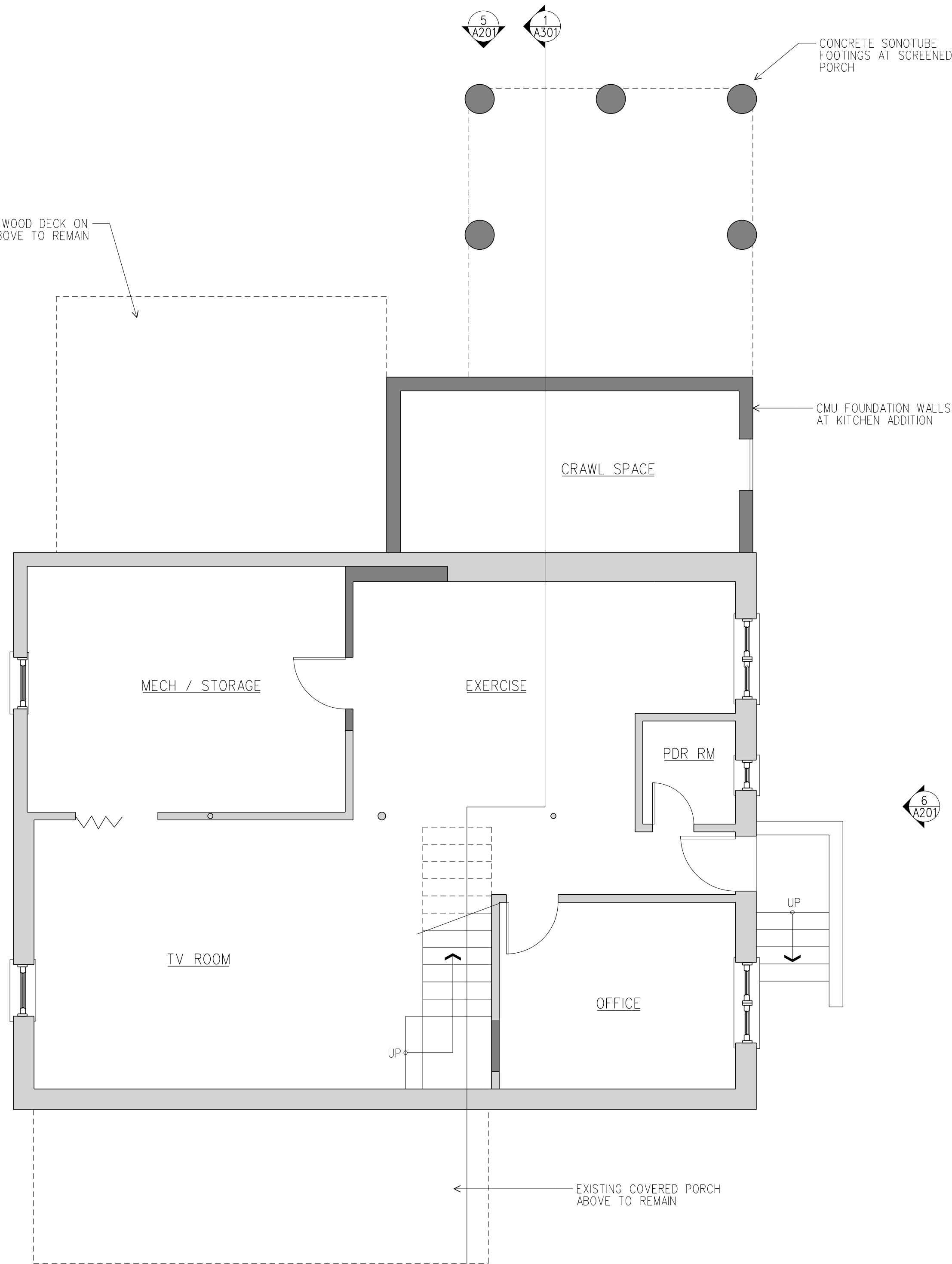
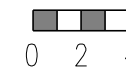
15 Woodmoor Drive Silver Spring MD 20901 301 593 0099



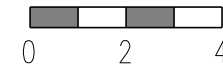
2 Basement Electric & Ceiling Plan



1 Basement Demolition Plan



3 Basement Floor Plan



REVIEWED
By Laura DiPasquale at 12:23 pm, Dec 04, 2025

APPROVED
Montgomery County
Historic Preservation Commission
Karen Buelit

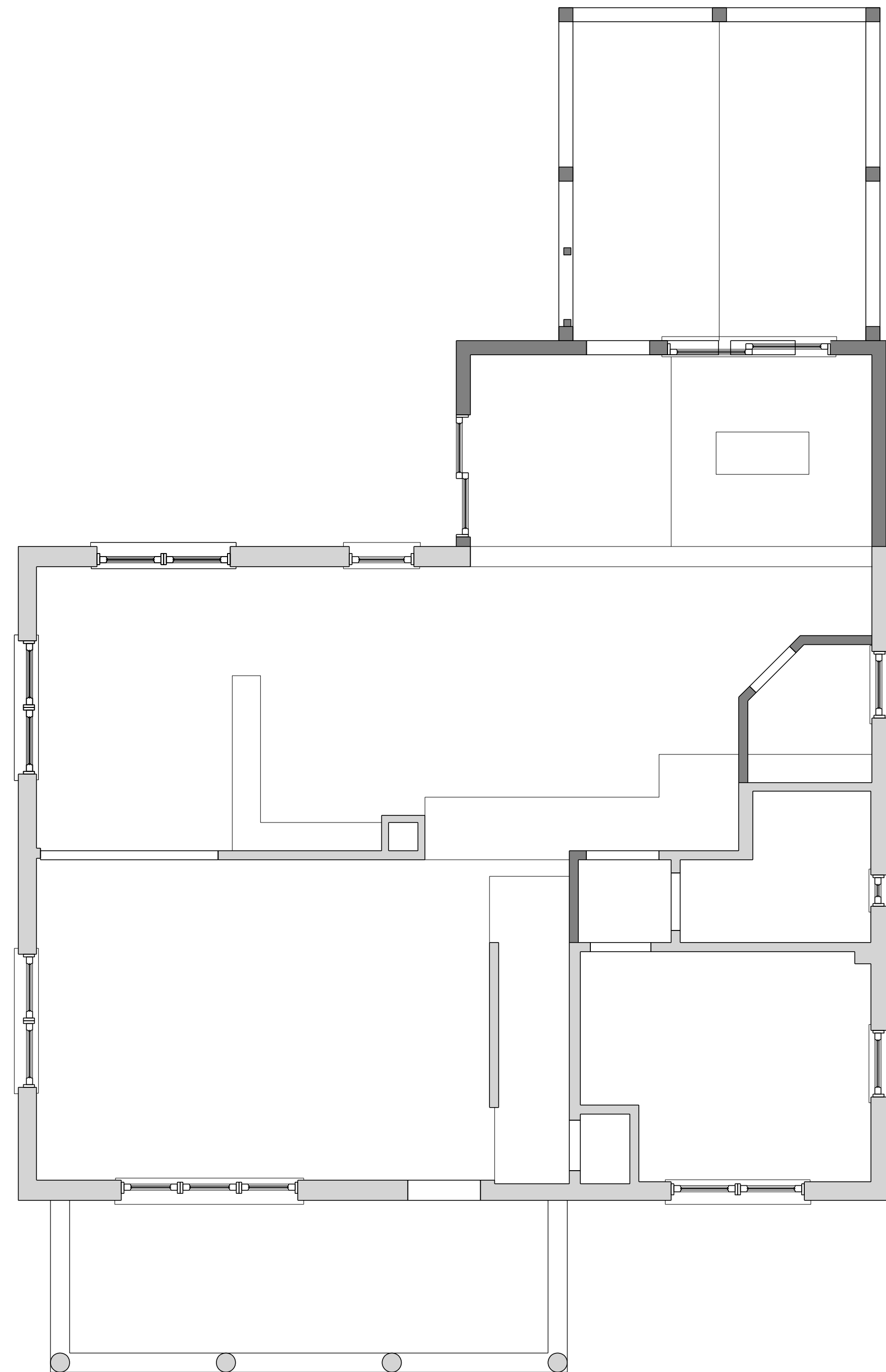
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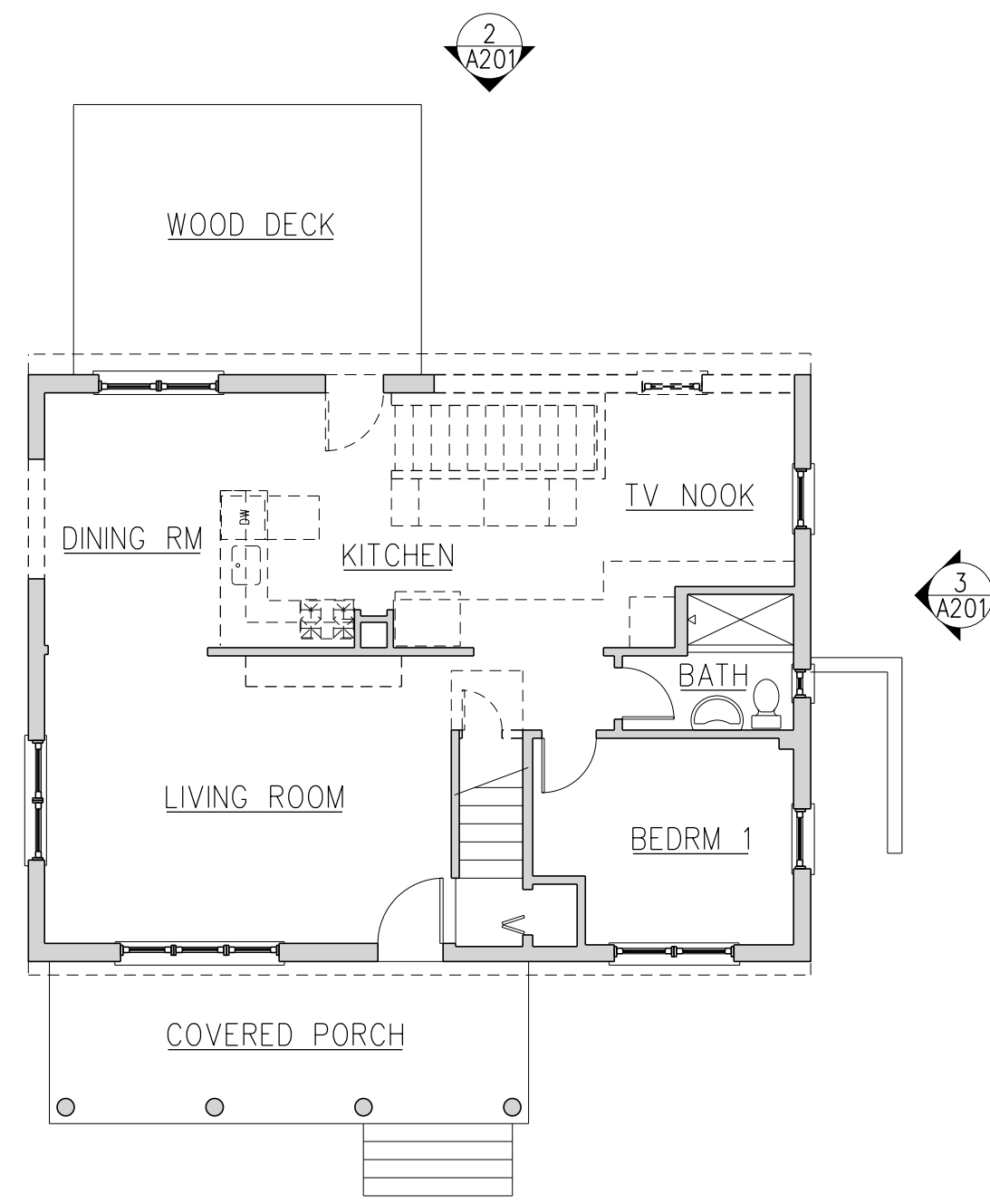
ADDITION & ALTERATIONS TO
26 COLUMBIA AVENUE
TAKOMA PARK MD 20912

DRAWING:
Basement Plans
Notes

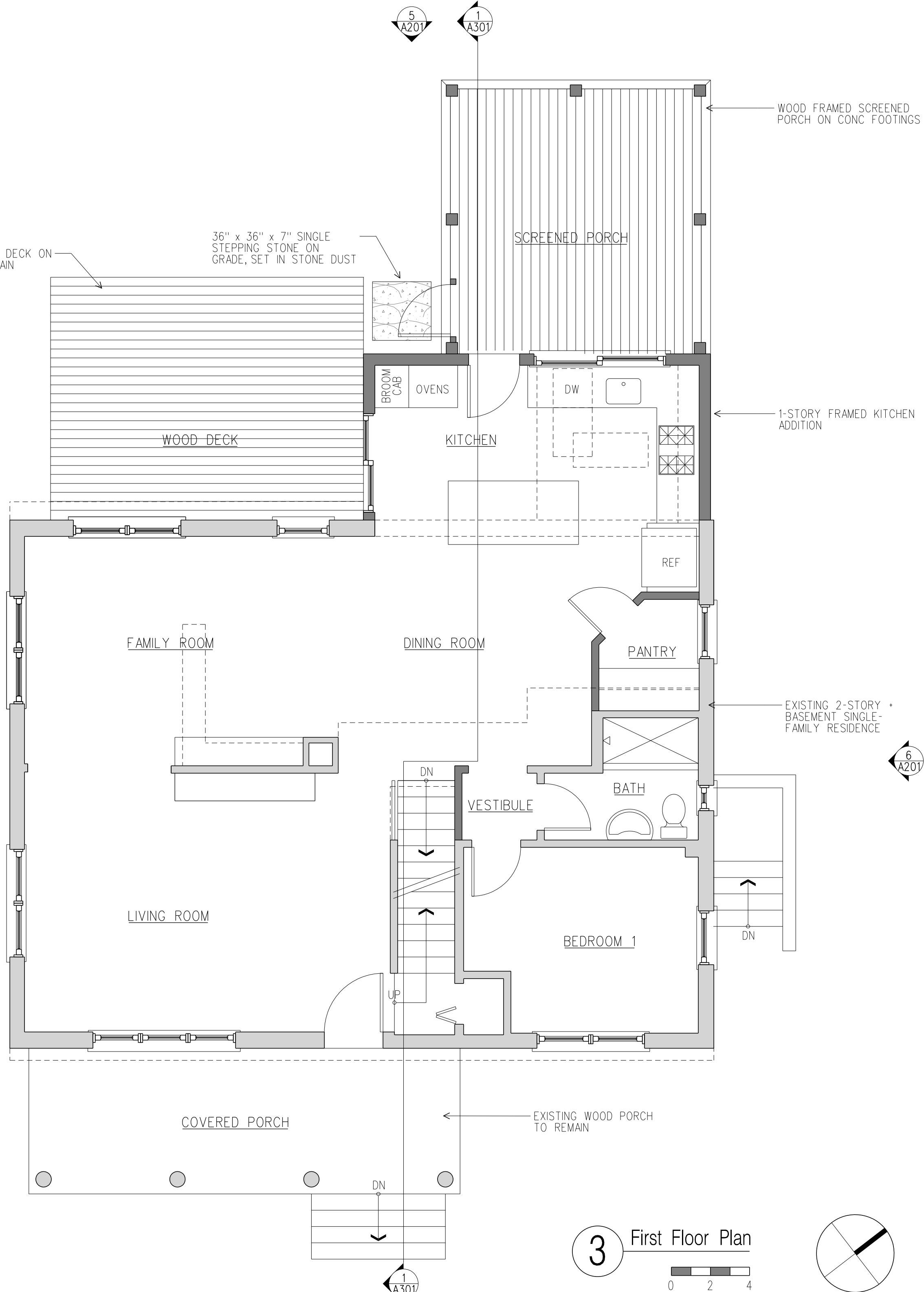
1/8" = 1'-0" existing plan
SCALE: 1/4" = 1'-0" floor plans



2 First Floor Electric & Ceiling Plan



1 First Floor Demolition Plan



3 First Floor Plan

REVIEWED
By Laura DiPasquale at 12:23 pm, Dec 04, 2025

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Historic Preservation Commission
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ADDITION & ALTERATIONS TO
26 COLUMBIA AVENUE
TAKOMA PARK MD 20912

DRAWING:
First Floor Plans
Notes
1/8" = 1'-0" existing plan
1/4" = 1'-0" floor plans
SCALE:

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STACY STUDIO

15 Woodmoor Drive Silver Spring MD 20901 301.593.0099

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ADDITION & ALTERATIONS TO
26 COLUMBIA AVENUE

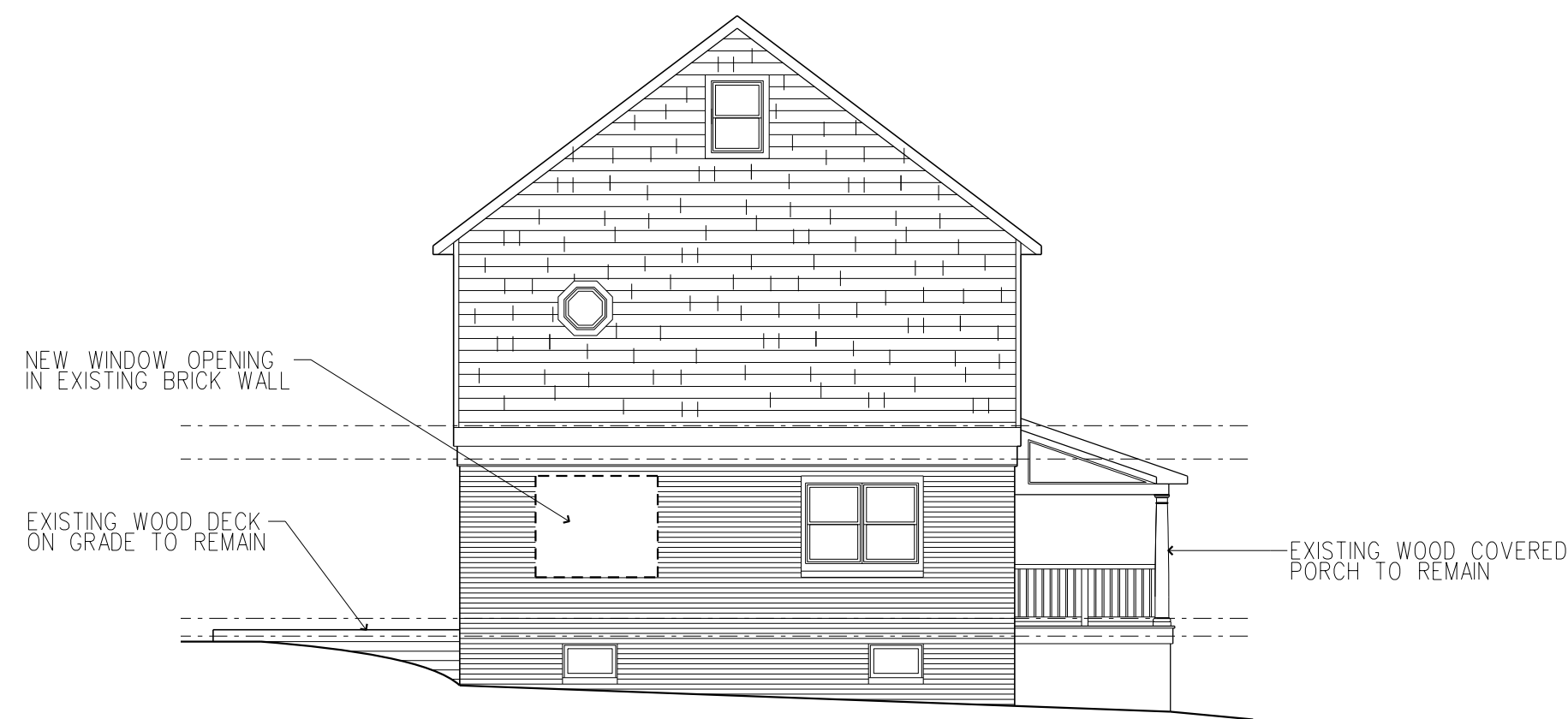
TAKOMA PARK MD 20912

DRAWING:
Exterior Elevations
1/8" = 1'-0" existing elevs
SCALE: 1/4" = 1'-0" elevations

SHEET:

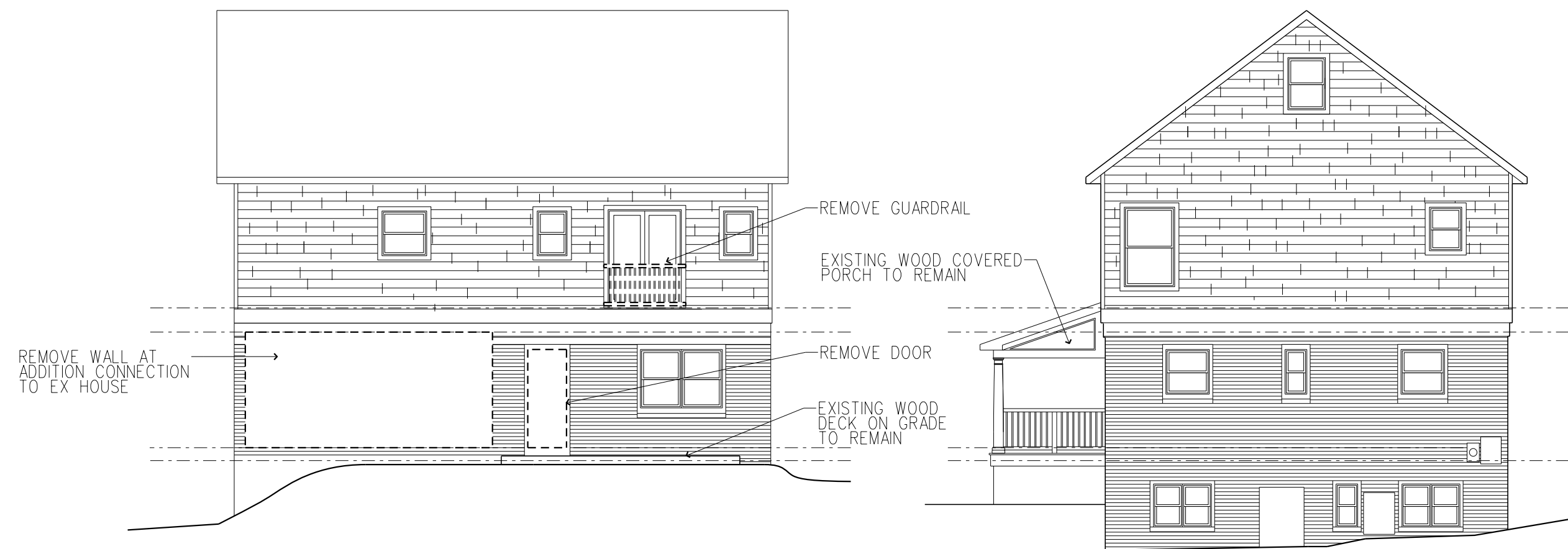
A201

PAGE 6 OF 7



1 Existing South Side Elevation

0 2 4



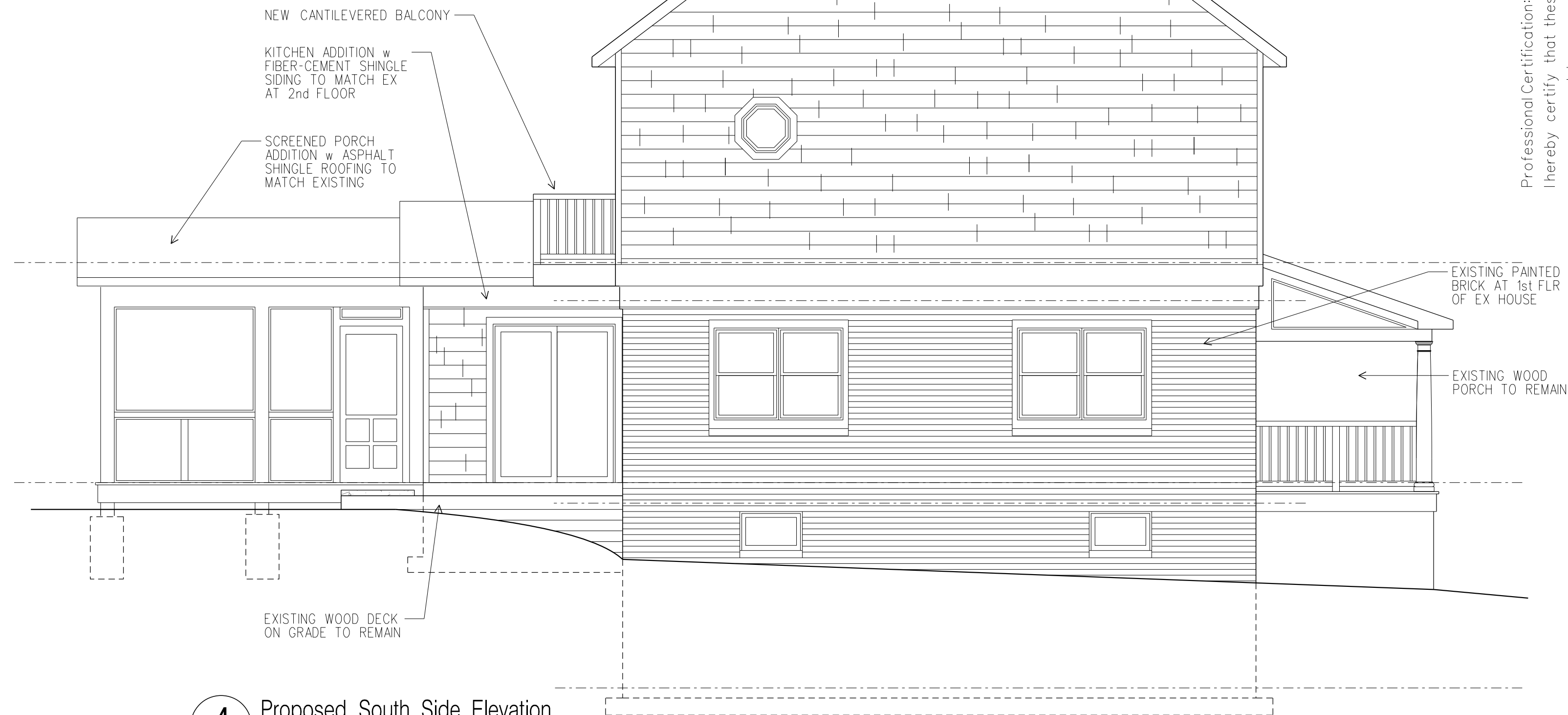
2 Existing West Rear Elevation

0 2 4



3 Existing North Side Elevation

0 2 4



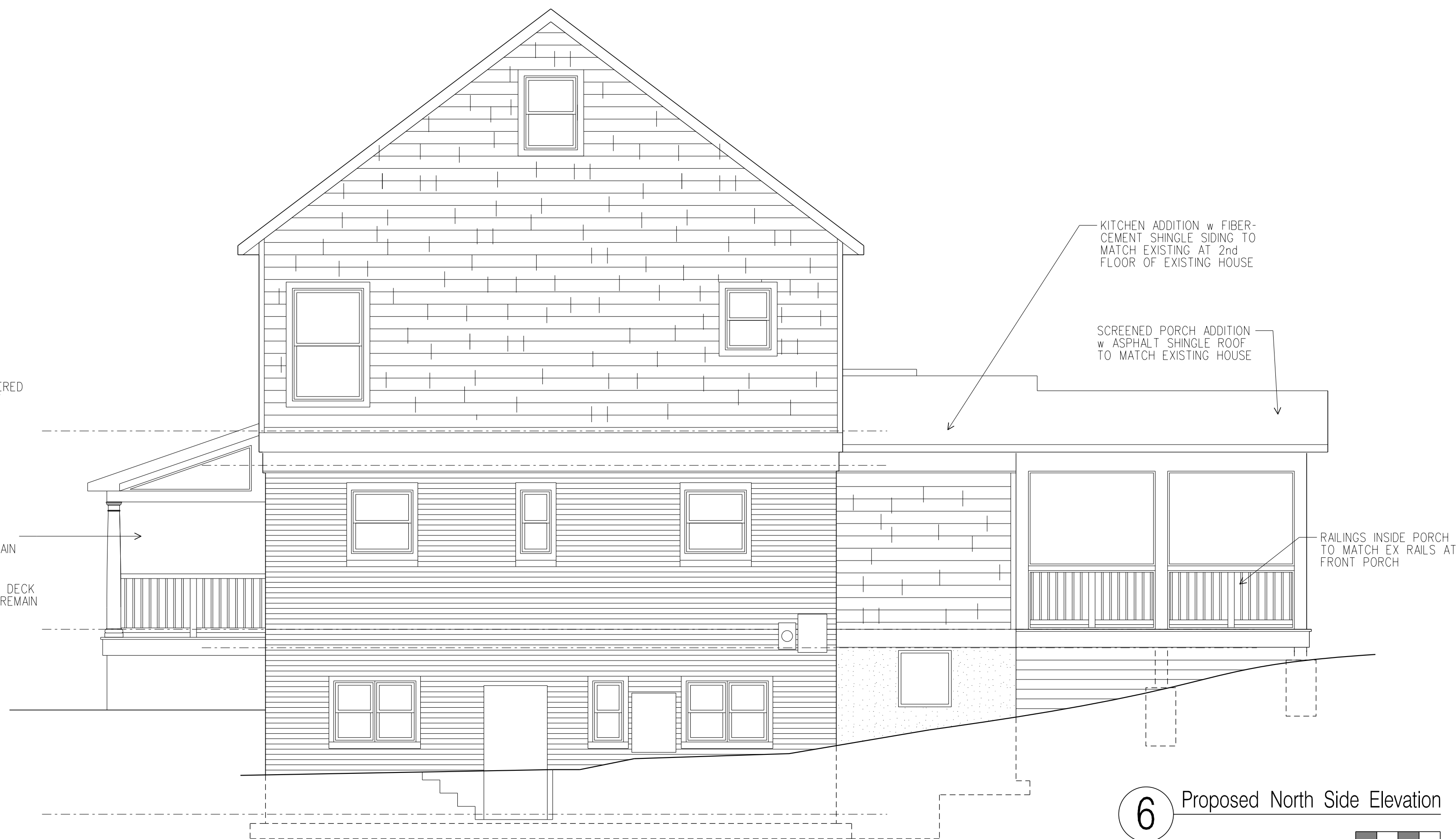
4 Proposed South Side Elevation

0 2 4



5 Proposed West Rear Elevation

0 2 4



6 Proposed North Side Elevation

0 2 4

REVIEWED
By Laura DiPasquale at 12:23 pm, Dec 04, 2025

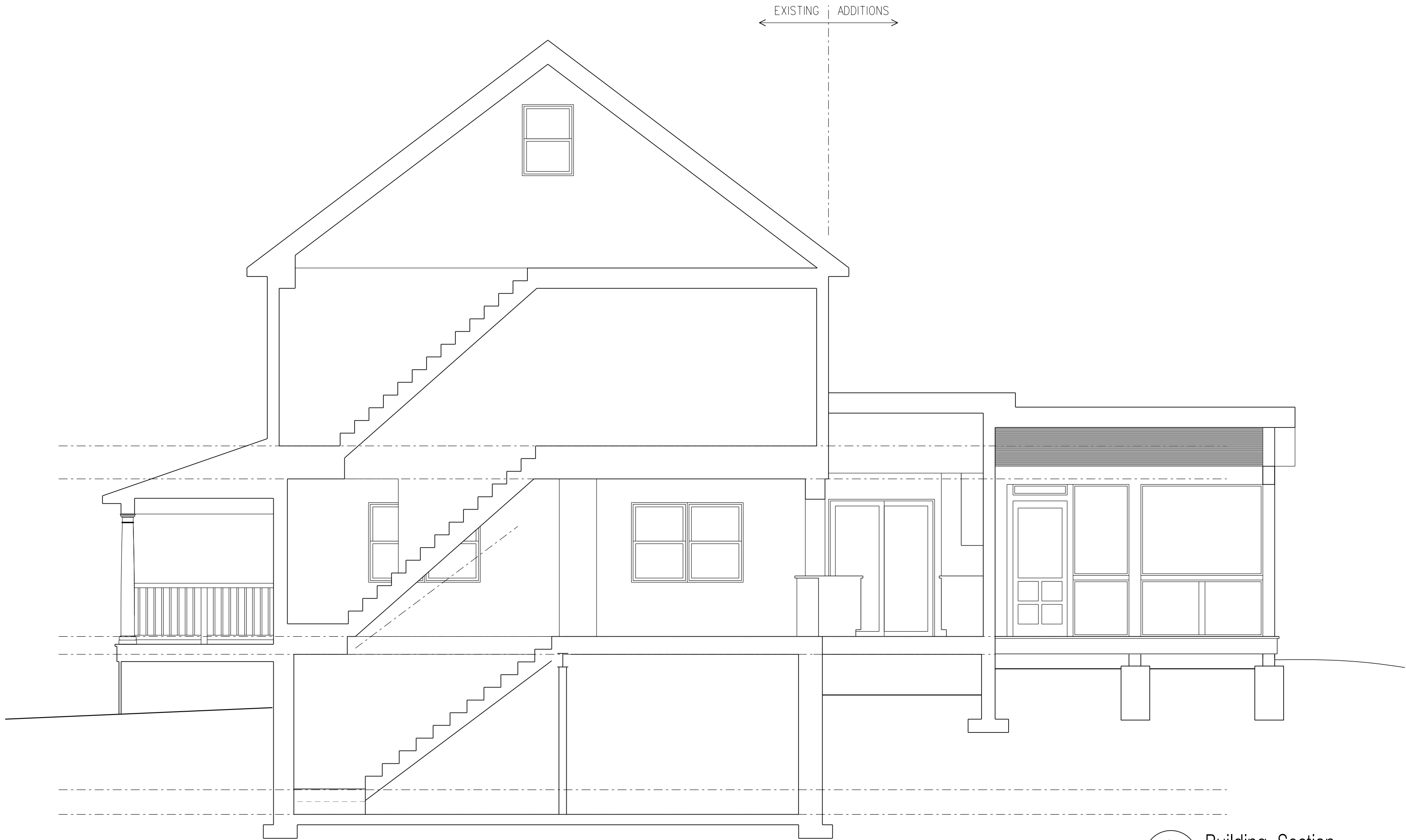
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1 Building Section

0 2 4

ISSUE:	
DESIGN DEVELOPMENT	6.26.25
WSSC SUBMITTAL	7.17.25
HAMP SUBMITTAL	11.05.25

ADDITION & ALTERATIONS TO

26 COLUMBIA AVENUE

TAKOMA PARK MD 20912

DRAWING:

Section

SHEET:

A301

PAGE 7 OF 7

STACY STUDIO

15 Woodmoor Drive Silver Spring MD 20901 301.593.0099

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Karen Buelit

EXHIBIT A

ADDITION & ALTERATIONS TO

26 COLUMBIA AVENUE

TAKOMA PARK MD 20912

Scope of Work

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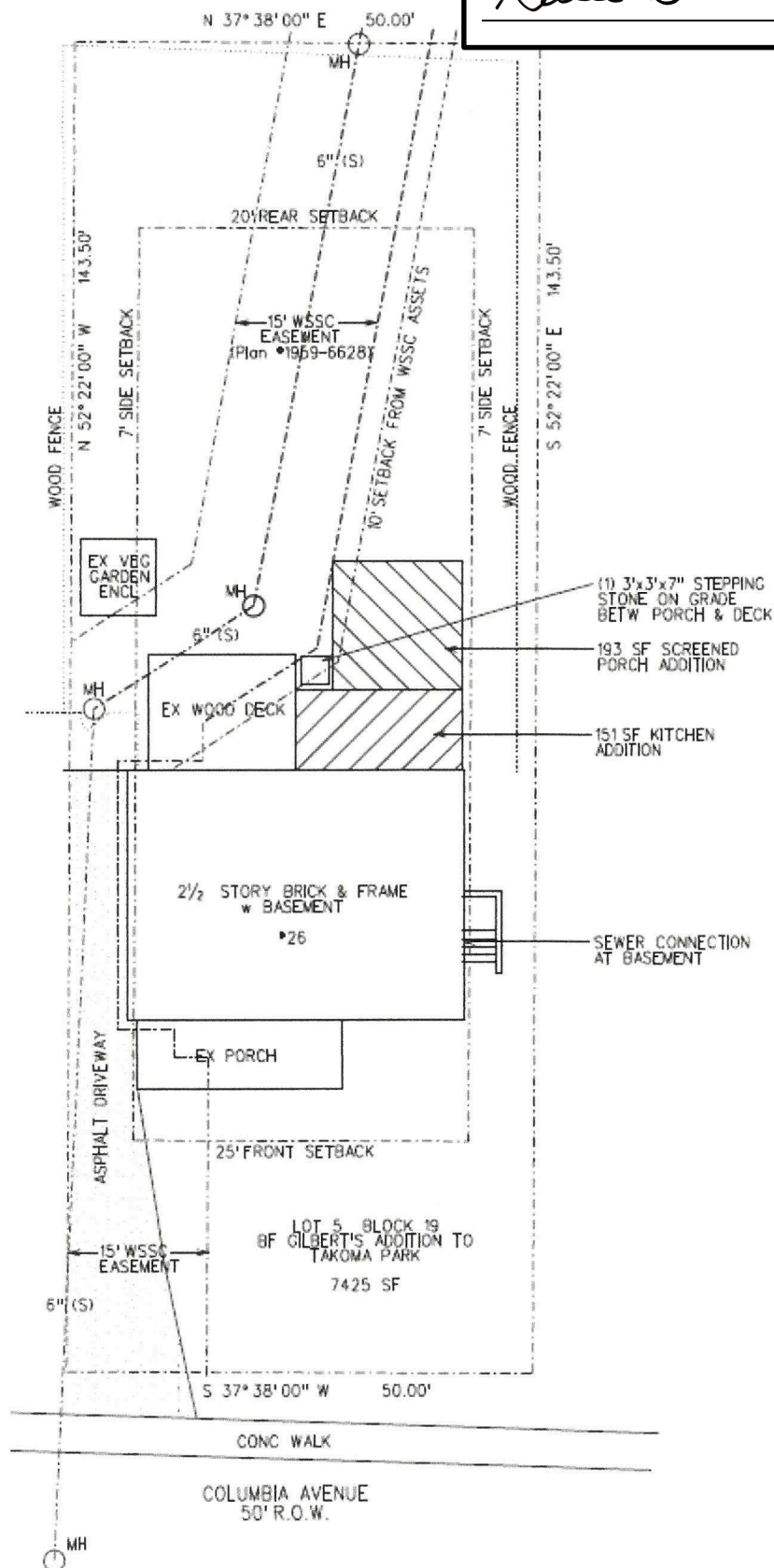
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Site Plan

0 5 10

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APPROVED

Montgomery County

Historic Preservation Commission



STACY STUDIO

15 Woodmoor Drive Silver Spring MD 20901 Phone 301 593 0099
www.stacystudio.com

ARCHITECTURE

Exterior product specifications for 26 Columbia Avenue, Takoma Park HAWP #1139940

Siding:

James Hardie Staggered Edge Shingle Siding, primed

<https://www.jameshardie.com/product-catalog/exterior-siding-products/hardie-shingle-siding/staggered-edge-panel/statement-collection-colors/?color=arctic-white>

Roofing:

existing roofing is 3-tab brown asphalt shingle, and the front roof is covered with solar panels;
new roofing to be architectural asphalt shingles in a similar color, Certainteed Landmark series or similar

<https://www.certainteed.com/products/residential-roofing-products/landmark>

Windows:

existing windows are clad wood Pella windows with a white exterior;

new windows to be clad wood Pella windows (Lifestyle Series) with a white exterior

<https://www.pella.com/ideas/windows/lifestyle-series/>

Railings:

existing railings are painted wood with plain square balusters;

new railings to be painted wood or PVC with plain square balusters

Decking:

existing deck is wood with an opaque stain;

deck at new porch to be Trex or similar composite decking

<https://www.trex.com/products/decking/>

Trim:

new trim to be painted fiber-cement, Boral or PVC

Screens:

screened panels at porch to be infilled with Screen-Eze system, color TBD

<https://www.screeneze.com/products/screeneze>









