



## HISTORIC PRESERVATION COMMISSION

**Marc Elrich**  
*County Executive*

**Karen Burditt**  
*Chair*

November 6, 2025

### MEMORANDUM

TO: Rabbiah Sabbakhan  
Department of Permitting Services

FROM: Laura DiPasquale  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1104437 REVISION 3– Revision to previous approval, alterations to hardscaping and construction of retaining wall

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached revisions for Historic Area Work Permit (HAWP) #1104437. This application was **approved** by HPC staff.

The parent HAWP #1104437 was **approved with four (4) conditions** at the March 26, 2025 HPC meeting:

1. The applicant must submit additional and precise documentation and updated window specifications confirming the dimensions for all window types. The proposed windows must match exactly the dimensions of the historic windows.
2. The presence and condition of the shutter hardware must be added to the window survey. The historic shutter hardware must be retained on all windows where it exists.
3. The front door must be a single-light half-light door, based on a design in Figure 19 or Figure 20 of the staff report.
4. The applicant must submit a ridge detail for the standing-seam porch roof. The panel width must be between 12 and 18 inches. The seams must be hand crimped in the field and measure no more than 1” high.

Previous revisions to the approval were approved by staff on June 24, 2025 and July 23, 2025. The attached revisions provide additional documentation at the southeast corner of the proposed / approved driveway as required by DPS, given the height differential between the approved driveway elevation and adjacent finished grade.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.





## HISTORIC PRESERVATION COMMISSION

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*Chair*

Applicant: Pat and Wyman Stokes; Shawn Buehler, Architect.  
Address: 3806 Williams Lane, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or [laura.dipasquale@montgomeryplanning.org](mailto:laura.dipasquale@montgomeryplanning.org) to schedule a follow-up site visit.





## HISTORIC PRESERVATION COMMISSION

HAWP #: \_\_\_\_\_ at: \_\_\_\_\_

Revision 3

submitted on: \_\_\_\_\_

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by \_\_\_\_\_ on \_\_\_\_\_. The approval memo and stamped drawings follow.

# WILLIAMS LANE RENOVATION

3806 Williams Lane, Chevy Chase, MD 20815 - Project # 2462

## SPECIFICATIONS

### DIVISION 1: GENERAL REQUIREMENTS

- 1.1.1 General Conditions: The general conditions of the Agreement Between the Owner and Contractor if not addressed here, shall be AIA Document A201 (most current edition).
- 1.1.2 Lien Waivers: At the time of final payment by the Owner, the Contractor shall provide lien waivers from his company as well as all major subcontractors (plumbing, electrical, mechanical, mason, roofer, etc.) and suppliers exceeding \$10,000 in value.
- 1.2.1 Contractor's Liability Insurance: The Contractor shall purchase and maintain such insurance as will protect the Contractor from claims which may arise out of or result from the Contractor's or Subcontractors' operations under the Contract. The Architect shall be named as an additional insured on the General Contractor's policy.
- 1.2.2 Owner's Liability Insurance: The Owner shall be responsible for purchasing and maintaining the Owner's usual liability insurance.
- 1.2.3 Property Insurance: The Owner shall purchase and maintain property insurance in the amount of the initial Contract Sum (as well as subsequent modifications) on a replacement cost basis. The policy shall be on an all-risk policy form and shall insure against the perils of fire and extended coverage and loss or damage including theft, vandalism, malicious mischief, collapse and falsehood. The Contractor shall be responsible for paying the deductible for losses attributable to an unsecured job-site.
- 1.3 Licenses: The Contractor and all Subcontractors shall be licensed and/or registered to perform their respective trades in the jurisdiction of the project property.
- 1.4 Permits: Owner shall obtain general building permit. General Contractor shall be responsible for all other permits including, but not limited to trade permits, right-of-way / public space permits, parking and dumpster permits, etc.
- 1.5 Warranty: All workmanship and materials shall be guaranteed for a minimum period of one year from the date of Substantial Completion.
- 1.6 Owners Manuals and Instructions: The General Contractor shall collect, consolidate and convey to the Owner all Owners Manuals, Instructions, Warranty registrations and all other pertinent information for new equipment and fixtures. The General Contractor or designated subcontractor(s) shall review with the Owner the proper operation and maintenance schedule as appropriate for all equipment and controls.
- 1.7 Interpretation: The Architect shall be the interpreter of the requirements of the Contract Documents. If the builder or subcontractor has any question about the meaning of the drawings or specifications for the Work, or should he find any discrepancy or omission therein, the Builder/subcontractor shall immediately so notify the Architect.
- 1.8 Dimensions: Verify all dimensions. All dimensions are to framing, except to existing construction or where otherwise noted. Window opening dimensions are to rough openings; add 2 1/2" to swinging interior door sizes for rough openings. Do NOT scale drawings.
- 1.9 Building Protection: All precautions shall be taken by subcontractors to protect existing hardwood floors, tile and other finishes to remain for the period of construction. Any damage shall be rectified by the responsible subcontractor(s) or general contractor prior to completion of work. See also section 2.2.
- 1.10 Debris: All subcontractors shall, at regular intervals, remove all their respective construction debris from site and shall not allow such debris to drift, be blown or otherwise transported onto adjacent property. Subcontractors shall place barricades or take such other precautions as necessary to prevent injury to the public.
- 1.11 Codes: All construction to be in accordance with International Residential Code 2021 edition, and in accordance with all applicable Montgomery County, State of Maryland and Federal rules and regulations (including local amendments to model code).
- 1.12 Quality: All work will be performed in a workmanlike fashion in conformance with rules of accepted good practice. All materials contemplated in these drawings shall be new and of good quality and shall be protected from weather when stored on the building site.
- 1.13 Changes in Work: The Owner without invalidating the Contract, may order extra work or make changes by altering, adding or deducting from the work, the contract sum being adjusted accordingly by a change order. All such work shall be executed under the conditions of the original contract except for claims for extension of time caused hereby which shall be adjusted at time of change order execution.
- 1.14 Claims for Extra Work: If a subcontractor claims that any instructions by drawings or other requests for changes in the work involve extra cost under the contract he shall give the Owner written notice thereof within a reasonable time after receipt of such instructions and in any event before proceeding to execute the work.
- 1.15 Allowances: NA
- 1.16 Punchlist: At the time of making the final contract payment, the owner may hold back 200% of the value of all Punch List work. The Architect and Contractor will place a fair and reasonable value on each Punch List item. This 200% hold back for Punch List work is intended to assure the Owner that all Punch List work will be completed in a timely manner.
- 1.17 MISS UTILITY: Prior to any excavation at the site the Contractor shall contact Miss Utility, 1-800-257-7177 to ascertain the location of all underground utilities. Avoid unnecessary disturbance, conflict or interruption of services with underground utilities to the fullest extent possible.

- 1.18 Definitions: The Contractor shall understand that the word "provide", as used in these documents, includes the purchase of the item specified, including taxes and any associated shipping and handling charges. Also included shall be the procurement and provision of all materials, equipment and labor associated with the complete installation of the item(s) specified in good working order.
- 1.19 Construction by Owner or By Separate Contractors: The Owner reserves the right to perform construction or operations related to the Project with the Owner's own forces. The Contractor shall provide the Owner and separate contractors reasonable opportunity for placement and storage of materials and equipment in the performance and completion of other activities. The Contractor shall cooperate and coordinate activities as provided within the agreement between the Owner and the Contractor.
- 1.20 Temporary Utilities: Electricity and water shall be provided to the General Contractor from the existing house. The General Contractor shall be responsible for providing and maintaining porta potty and propane fired heating as needed.
- 1.21 Coordination between Drawings and Specifications: Should a conflict exist between the drawings and specifications, the more restrictive or costly shall apply for pricing. The Owner and Architect shall be consulted to determine proper design alternative. If the less restrictive or costly item is selected the Contractor shall apply appropriate credit to the Owner under the contract.
- 1.22 Shop Drawings: Shop Drawings are required for, but not limited to, the following items:
  - Prefabricated stairs
  - Prefabricated floor or roof trusses
  - Metal railings
- 1.23 Samples: provide samples for the following items:
  - Flagstone
  - Stone and brick veneer, including mortar
  - Roof shingles
  - Hardwood floor stain and finish options
  - Paint colors, per Division 9
  - Gutter and downspout colors
  - Exterior flashing colors
- 1.24 Owner Supplied Items: see individual specification divisions for further information. Install the following Owner provided:
  - Bath accessories
  - Primary closet shelving / rod / built-ins
  - Items salvaged for re-use as noted in Division 2 or on demolition drawings
  - Kitchen and bathroom cabinets, hardware and tops
  - Exterior doors and windows
  - Appliances
  - Interior door hardware
  - Plumbing fixtures
  - Electrical fixtures
  - Shower glass
  - Tile
  - Sheet flooring and laminated plank flooring
- 1.25 Energy Code Certificate: Owner shall provide an Energy Coder Certificate Label, per DC Energy Code 401.3. Label shall include all energy code requirements and features identified by 401.3

### DIVISION 2: SITENETWORK AND DEMOLITION

- 2.1 Utilities: Water, sewer, gas, electric, telephone and CATV utilities on site are to remain and be extended as required. Verify size and condition and remove, replace, upgrade as necessary. Locate all underground utilities. See note above regarding contact with Miss Utility.
- 2.2 Protection of Existing Landscaping: Protect from physical damage all paved / landscaped surfaces, existing trees, and vegetation that are to remain. Consult with Owner and Section 5-approved Tree Protection Plan (TPP) prior to removing any trees, vegetation or obstructions as indicated or which would interfere with new construction. Feeder root zones below all tree canopies shall be respected such that no heavy equipment storage/parking or grading shall occur without the permission of the Owner. See also section 1.9. Damaged elements shall be replaced or restored as appropriate.
- 2.3 Landscape: Landscape work shall be limited to finish grading and seeding of disturbed areas. Redistribute available topsoil. Provide finish grade that slopes approximately 1/4" per foot away from perimeter of the building.
- 2.4 Erosion Control: Provide staked hay bales and/or siltation fence, or other means as necessary to provide erosion control in accordance with requirements of the local jurisdiction.
- 2.5 Demolition: Protect all adjacent finishes to remain. Protect sensitive equipment and surfaces from dust and debris. Provide and secure plastic sheeting to isolate the area of work from occupied portions of the residence. Provide adequate shoring and bracing as necessary before removing any load bearing components. Cap/block HVAC registers in affected areas to avoid the conveyance of dust into any central systems.
- 2.6 Not used
- 2.7 Salvage:
  - Interior stair newel posts (save for re-use)
  - Review existing framing to be discarded for possible re-use in built-ins
  - Laundry appliances (save possible re-use at basement)
  - Existing trim and siding shall be salvaged as removed for reuse wherever feasible. Contractor shall store salvaged material off-site (after clearly logging its removed location) for protection prior to re-installation.
  - Salvage existing shutters and all shutter hardware on site for re-use.
- 2.8 Foundation Drainage: Provide 4" perforated, corrugated PVC foundation drain with filter cloth in gravel bed. Completely cover drains with filtering material to a width of 6" minimum on each side and 12" above top of pipe. Slope drain to daylight or sump crock pumped to daylight.

CONTINUED ON SP-100

REVIEWED  
By Laura DiPasquale at 1:57 pm, Nov 06, 2025

APPROVED  
Montgomery County  
Historic Preservation Commission

*Karen Quilit*

## PROJECT DESCRIPTION

THIS PROJECT INVOLVES A NEW 2 1/2 STORY REAR ADDITION TO AN EXISTING HISTORICAL HOME, AND A NEW ACCESSORY STRUCTURE TO ACCOMMODATE A GARAGE AND A LOFT / OFFICE SPACE. WORK ALSO INCLUDES A FULL INTERIOR REMODEL OF THE EXISTING HOUSE, AS WELL AS A REAR SCREEN PORCH. THE HOME WILL BE UNOCCUPIED DURING CONSTRUCTION.

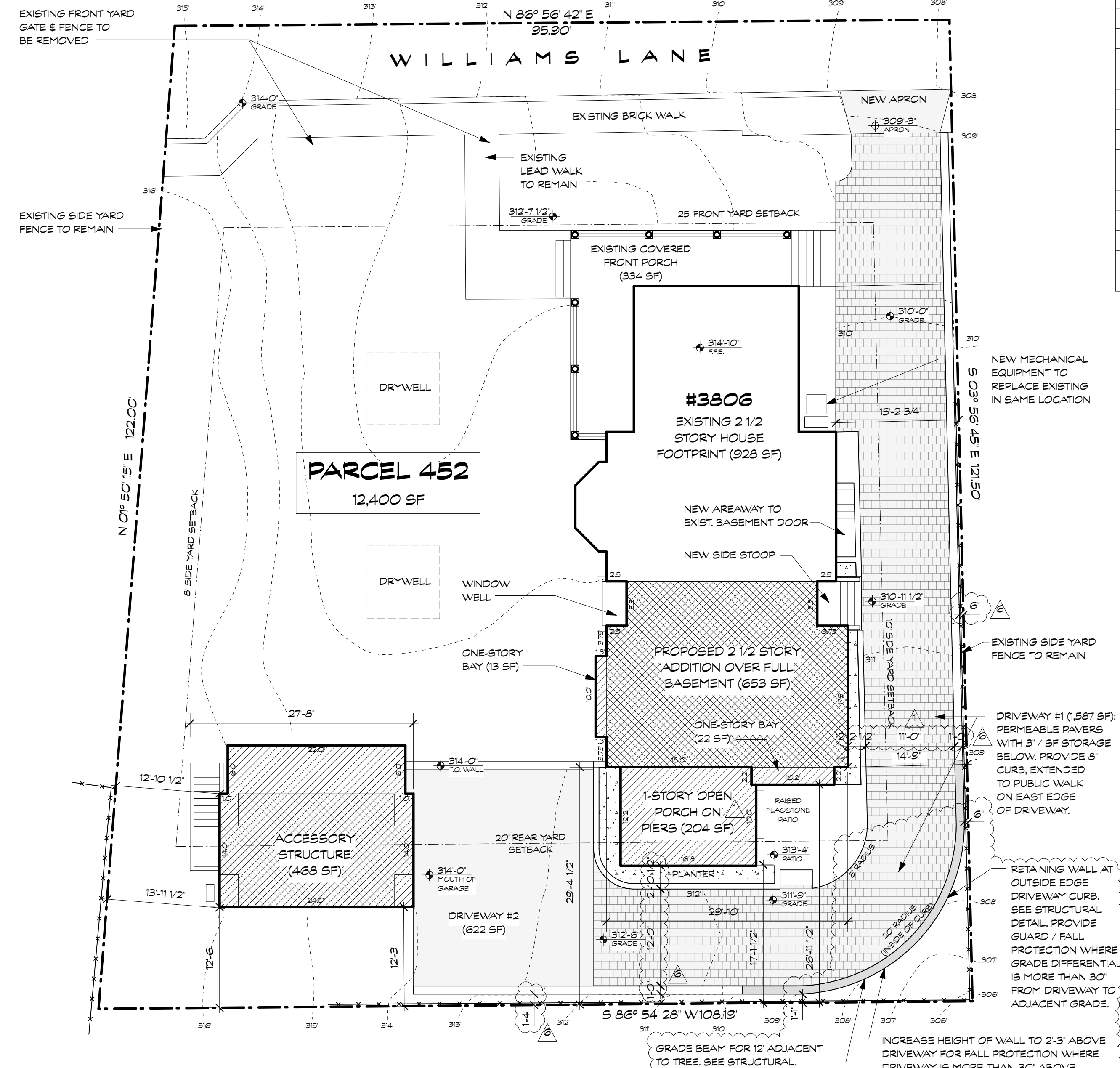
PERMIT REVISION: DRIVEWAY WALL, AS SHOWN ON PREVIOUSLY APPROVED SITE PLAN, HAS BEEN REDESIGNED TO BE A RETAINING WALL.

## ZONING SITE PLAN

SCALE: 1" = 10'-0"

SITE PLAN BASED ON BOUNDARY SURVEY BY LANDTEK PARTNERS, LLC, DATED 1.9.2025, AND FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.

ZONE: R-60  
CHEVY CHASE, SECTION 5  
MONTGOMERY COUNTY, MD



### SITE PLAN SUMMARY

#### 1. LOT COVERAGE

TOTAL LOT COVERAGE	12,400 SF	100%
EXISTING LOT COVERAGE	1,262 SF	10.2%
PROPOSED LOT COVERAGE	2,622 SF	21.1%
INCREASE	1,360 SF	10.9%

#### 2. BUILDING FLOOR AREAS - MAIN HOUSE

LEVEL	EXIST. AREA	ALTERED AREA	NEW AREA	TOTAL AREA
BASEMENT	892 SF	892 SF	653 SF	1,580 SF
FIRST	928 SF	928 SF	892 SF	1,820 SF
SECOND	892 SF	892 SF	653 SF	1,545 SF
ATTIC	623 SF	623 SF	743 SF	1,366 SF
TOTAL	3,335 SF	3,335 SF	2,976 SF	6,311 SF

#### 3. BUILDING FLOOR AREAS - ACCESSORY STRUCTURE

LEVEL	EXIST. AREA	ALTERED AREA	NEW AREA	TOTAL AREA
FIRST	0 SF	0 SF	468 SF	468 SF
SECOND	0 SF	0 SF	298 SF	298 SF
TOTAL	0 SF	0 SF	766 SF	766 SF

#### 4. BUILDING HEIGHT

PREDEVELOPMENT GRADE	312'-1 1/2"	0'-0" HT.
EAVE	332'-6"	20'-4 1/2" HT.
MEAN	338'-0 3/4"	25'-10 3/4" HT.
RIDGE	343'-6 1/2"	31'-5" HT.

### LEGEND

- NEW FIRST FLOOR FOOTPRINT
- NEW SECOND FLOOR FOOTPRINT
- PROPERTY LINE
- SETBACK LINE
- BUILDING OUTLINE
- WOOD FENCE

## ABBREVIATIONS

ABBREVIATION	MEANING	ABBREVIATION	MEANING	ABBREVIATION	MEANING	ABBREVIATION	MEANING	ABBREVIATION	MEANING
&	AND	CONC	CONCRETE	LSW	LOAD BEARING WALL	OSB	ORIENTED STRAND BOARD	SPRK	SPRINKLER
@	AT	CONT	CONTINUOUS	LVL	LAMINATED VENEER LUMBER	PLAM	PLASTIC LAMINATE	STL	STEEL
ABOVE	ABOVE	D	DRYER	MARB	MARBLE	PLYWD	PLYWOOD	TBD	TO BE DETERMINED
FINISHED FLOOR	FINISHED FLOOR	DH	DOUBLE HUNG	MATL	MATERIAL	PTD	PRESSURE TREATED	TES	TONGUE AND GROOVE
APARTMENT	APARTMENT	DIA	DIAMETER	MAX	MAXIMUM	TYP	TYPICAL	TOS	TOP OF SLAB
BLDG	BUILDING	DN	DOWN	MDO	MAXIMUM DENSITY OVERLAY	R	RISER	UNO	UNLESS NOTED OTHERWISE
BSMT	BASEMENT	DR	DOOR	MNO	MINIMUM	R	REFRIGERATOR	VIF	VERIFY IN FIELD
CJ	CONTROL JOINT	DS	DOWNSPOUT	MIN	MINIMUM	RQD	REQUIRED	W	WASHER
CAB	CABINET	DTL	DETAIL	GWB	GYPSUM WALL BOARD	MANU	MANUFACTURER	W	W/
CL	CENTER LINE	DWG	DRAWING	HB	HOSE BIB	MTL	METAL	WC	W/
CLG	CILING	EFS	EXTERIOR FINISHING SYSTEM	HC	HOLLOW CORE	MECH	MECHANICAL	W	W/
CLR	CLEAR	EL	ELEVATION	DWR	DRAWING	NTS	NOT TO SCALE	WD	WOOD
CMU	CONCRETE MASONRY UNIT			UB	UNION BOX	OC	ON CENTER	WO	WITHOUT
				LB	LOAD BEARING	OH	OPPOSITE HAND	WWM	WELDED WIRE MESH

## SYMBOLS

- CENTERLINE
- DOOR TAG: DOOR REFERENCE (SEE DOOR SCHEDULE)
- WINDOW TAG: WINDOW REFERENCE (SEE WINDOW SCHEDULE)
- WALL TAG: WALL TYPE REFERENCE (SEE WALL / PARTITION TYPES)
- DRAWING CALL-OUT: DRAWING NUMBER SHEET REFERENCE
- ELEVATION CALL-OUT: VIEW DIRECTION SHEET REFERENCE
- DRAWING CALL-OUT: VIEW DIRECTION SHEET REFERENCE
- ELEVATION MARKER: XXX-XX X'X" BENCHMARK SPOT LOCATION
- SECTION CUT CALL-OUT: DRAWING REFERENCE SECTION CUT LOCATION
- DRAWING CALL-OUT: DRAWING NUMBER SHEET REFERENCE
- DRAWING CALL-OUT: DRAWING NUMBER SHEET REFERENCE

## PROJECT DATA

JURISDICTION: MONTGOMERY COUNTY, MD  
 BUILDING CODE: 2021 IRC & MONTGOMERY COUNTY AMENDMENTS  
 BUILDING USE GROUP: SINGLE-FAMILY, DETACHED  
 CONSTRUCTION TYPE: SB - COMBUSTIBLE, UNPROTECTED  
 FIRE SUPPRESSION SYSTEM: NA

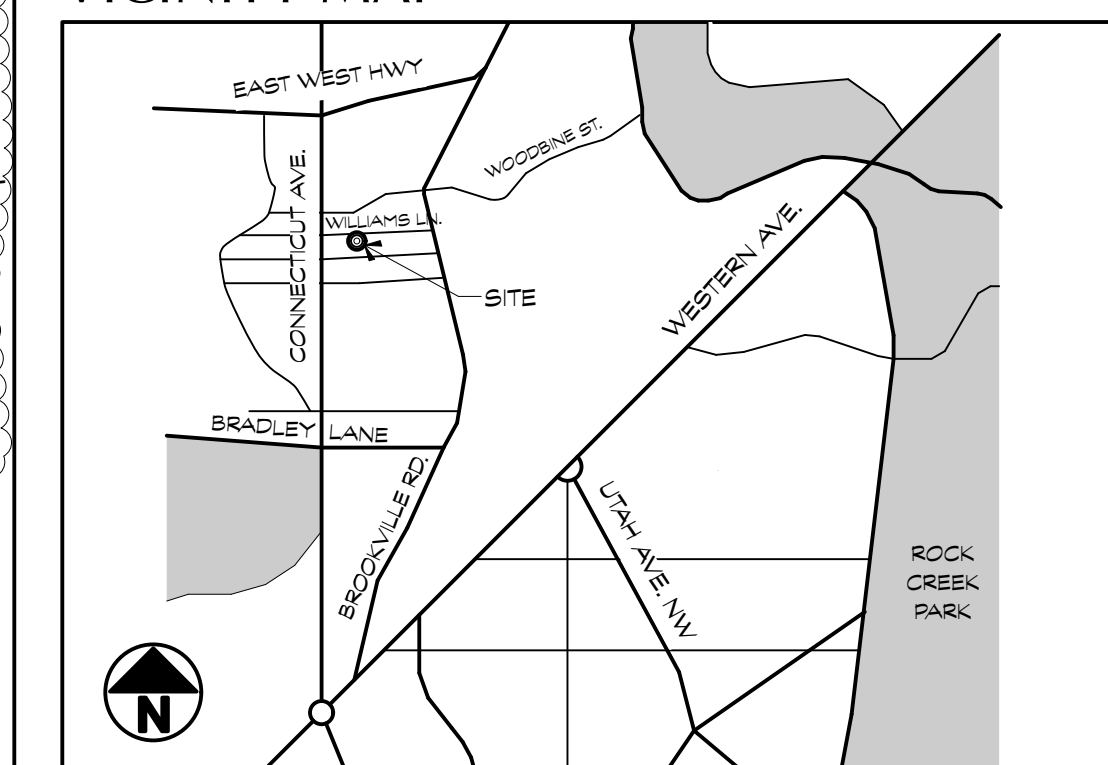
## CERTIFICATION

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: 15218  
 EXPIRATION DATE: 10/31/2025

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## VICINITY MAP



DATE	ISSUE	DATE	ISSUE
4/28/25	PERMIT SET	10/20/25	PERMIT RESPONSE #6
6/8/25	PERMIT RESPONSE #1		
6/8/25	PERMIT RESPONSE #2		
7/8/25	PERMIT RESPONSE #3		
7/8/25	PERMIT RESPONSE #4		
7/22/25	PERMIT RESPONSE #5		

WILLIAMS LN. #2462

## BENNETT FRANK MCCARTHY

architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755  
 (301) 585-2222 www.bfmarch.com fax (301) 585-8917

### OWNER

Pat and Wyman Stokes  
 14830 Canaan Dr.  
 Fort Myers, FL 33908

### STRUCTURAL ENGINEER

Robert Wisxon, APAC Engineering, Inc  
 8555 16th St, Suite 200  
 Silver Spring, MD 20910

(301) 565-0543

### MECHANICAL CONSULTANT

Gallant Mechanical  
 13001 Cleveland Drive  
 Rockville, Maryland 20850

(240) 750-4988

## DRAWING LIST

REV.	SHEET	TITLE
	0000	COVER SHEET
	SP00	SPECIFICATIONS
	SP01	SPECIFICATIONS
	SP02	DRAINAGE PLAN
	CC000	SECTION 5 COMPLIANCE NOTES
	D100	CELLAR & FIRST FLOOR DEMOLITION PLANS
	D101	SECOND FLOOR & ATTIC DEMOLITION PLANS
	D200	DEMOLITION ELEVATIONS
	A100	CELLAR & FIRST FLOOR PLANS
	A101	SECOND FLOOR & ATTIC PLANS
	A102	ROOF PLAN AND SCHEDULES
	A103	GARAGE PLANS AND SCHEDULES
	A104	GARAGE SECTIONS
	A200	PROPOSED ELEVATIONS
	A201	PROPOSED ELEVATIONS
	A202	EXTERIOR DETAILS
	A203	EXTERIOR DETAILS
	A204	EXTERIOR DETAILS
	A300	BUILDING SECTIONS
	A301	BUILDING SECTIONS
	A302	BUILDING SECTIONS
	A303	WALL SECTIONS
	A400	INTERIOR ELEVATIONS
	A401	INTERIOR ELEVATIONS
	A402	INTERIOR ELEVATIONS
	S001	FOUNDATION PLAN
	S001	FIRST FLOOR FRAMING PLAN
	S002	SECOND FLOOR FRAMING PLAN
	S003	ATTIC FRAMING PLAN
	S004	ROOF FRAMING PLAN
	S100	WIND BRACING PLANS
	S101	WIND BRACING PLANS
	S200	STRUCTURAL NOTES & DETAILS
	S201	STRUCTURAL DETAILS
	S202	STRUCTURAL DETAILS
	S203	STRUCTURAL DETAILS
	S300	GARAGE FRAMING PLANS
	S301	GARAGE WIND BRACING PLANS
	S302	RETAINING WALL DETAILS
	M100	CELLAR & FIRST FLOOR MECHANICAL PLANS
	M101	SECOND FLOOR & ATTIC MECHANICAL PLANS
	M102	GARAGE MECHANICAL PLANS & SPECIFICATIONS
	E100	CELLAR & FIRST FLOOR ELECTRICAL PLANS
	E101	SECOND FLOOR & ATTIC ELECTRICAL PLANS
	E102	GARAGE ELECTRICAL PLANS & SPECIFICATIONS

**REVIEWED**  
By Laura DiPasquale at 1:58 pm, Nov 06, 2025

APPROVED  
Montgomery County  
Historic Preservation Commission

*Kam Quilley*

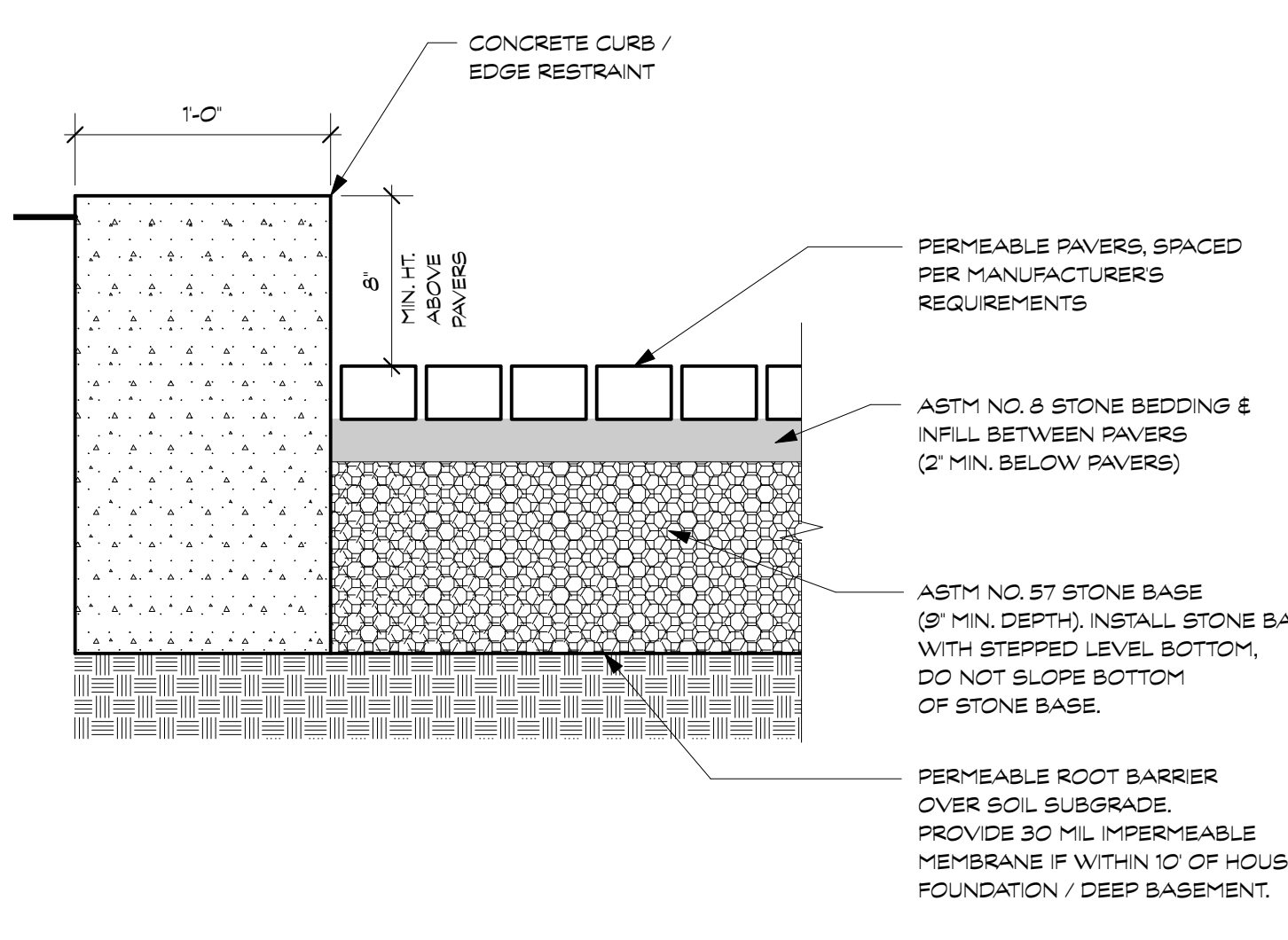
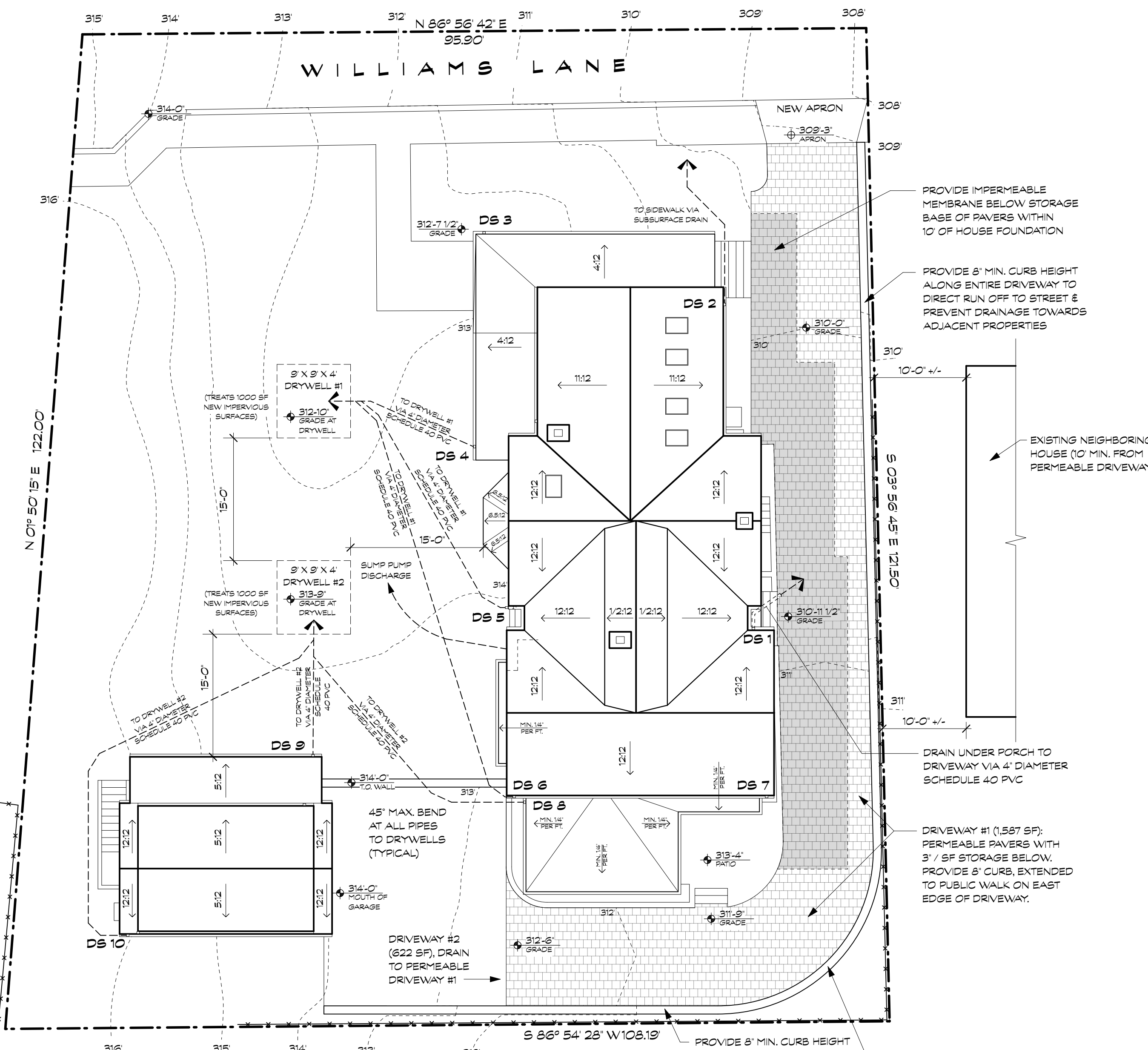
ROOF DRAINAGE ANALYSIS			
DRAINAGE LOCATION	EXISTING ROOF AREA SERVED	PROPOSED ROOF AREA SERVED	DRAINAGE DESTINATION
DOWNSPOUT #1	160 SF	370 SF	TO PERMEABLE PAVER DRIVEWAY
DOWNSPOUT #2	373 SF	373 SF	TO SIDEWALK VIA SUBSURFACE PIPE
DOWNSPOUT #3	234 SF	234 SF	EXISTING D.S. TO GRADE
DOWNSPOUT #4	470 SF	470 SF	TO DRYWELL #1
DOWNSPOUT #5	160 SF	362 SF	TO DRYWELL #1
DOWNSPOUT #6	0 SF	165 SF	TO DRYWELL #1
DOWNSPOUT #7	0 SF	165 SF	TO PERMEABLE PAVER DRIVEWAY
DOWNSPOUT #8	0 SF	228 SF	TO DRYWELL #2
DOWNSPOUT #9	0 SF	340 SF	TO DRYWELL #2
DOWNSPOUT #10	0 SF	208 SF	TO DRYWELL #2
<b>TOTAL</b>	<b>1397 SF</b>	<b>2315 SF</b>	<b>Δ=918 SF</b>

DATE	ISSUE - REMARKS
3/26/25	HAMP PERMIT SET
4/28/25	PERMIT SET
7/15/25	PERMIT RESPONSE #3
7/18/25	PERMIT RESPONSE #4
7/22/25	PERMIT RESPONSE #5
7/30/25	PERMIT RESPONSE #6
10/31/25	REVISION

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: 15218 EXPIRATION DATE: 10/31/2025

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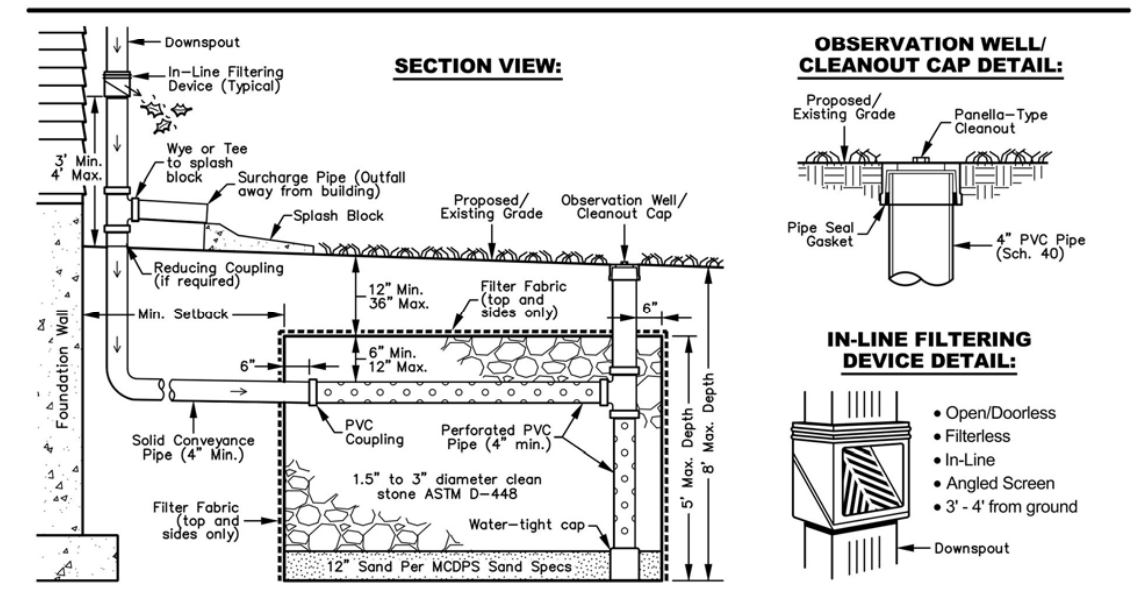


### 2 PERMEABLE PAVER INSTALLATION

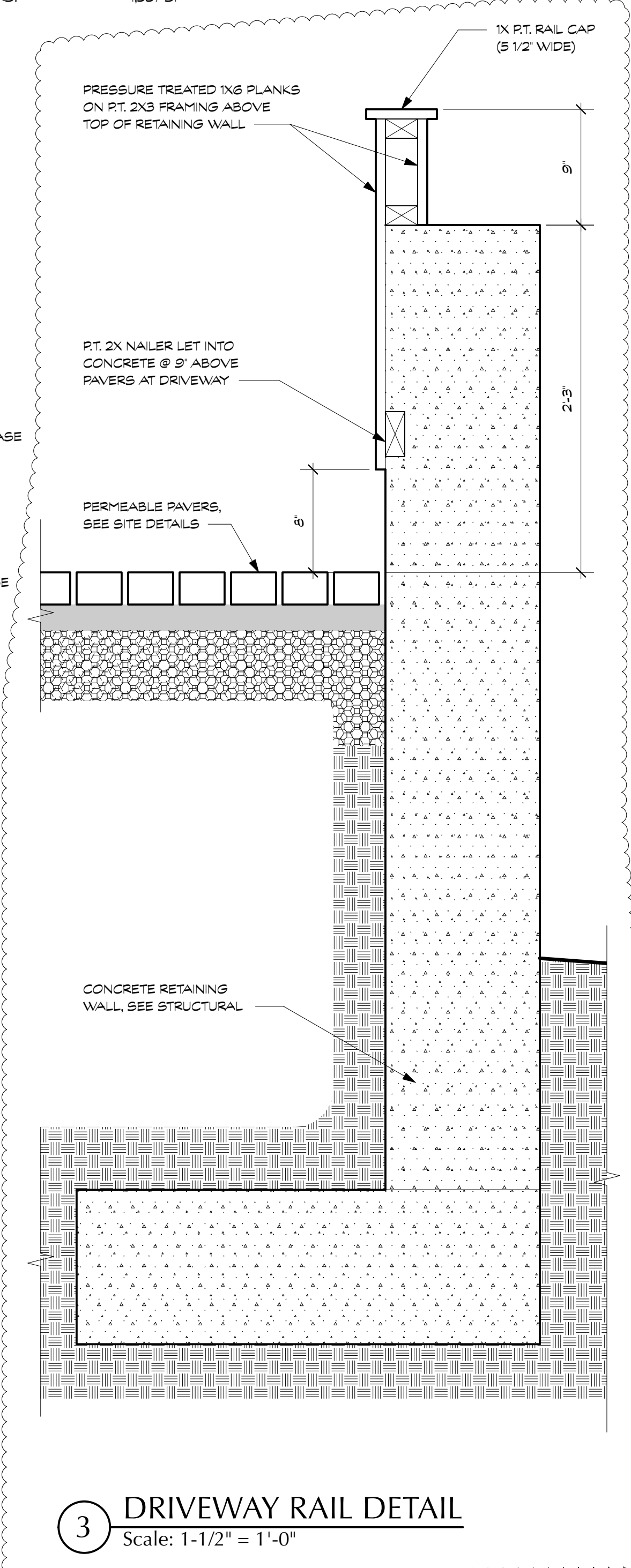
Scale: 1-1/2" = 1'-0"

Appendix B  
Drywell Information and Detail

- GENERAL NOTES:**
- Dry wells may receive water from roof downspouts only.
  - Length, width and depth of each dry well is to be as specified by the design engineer on the approved plan.
  - Manufactured sand is not acceptable. Refer to the MCDPS Sand Specifications.
  - With the inspector's approval dry well locations may be field adjusted for site conditions. All adjustments must meet the minimum setbacks.
  - Impermeable liners may be used when specified by the design engineer and shown on the plan.
  - Overflow pipes may be used when specified by the design engineer and shown on the plan. They shall be set at a minimum 2% slope. If the overflow is to daylight the outlet invert shall be shown.
  - Pop-up emitters may be used when specified by the design engineer and shown on the plan.



- LAYOUT GUIDANCE:**
- Downspouts shall be shown on the plan view.
  - Conveyance pipe(s) from the downspout(s) to the dry well shall be shown on the plan view, including connections from other downspouts. Standard, readily-available bends shall be used at couplings.
  - When possible there should be only one conveyance pipe entering the dry well. It should be centered and should enter at 90 degrees.
  - The interior 6" PVC perforated pipe shall be designed and shown on the plan to maximize distribution within the dry well.
  - When a dry well's length is greater than its width consider locating the perforated pipe along the longest dimension.
  - The observation well with cleanout cap shall be shown on the plan view.
- MINIMUM SETBACKS:**
- 5 feet from property lines. Zero from R/W
  - 10 feet from state-on-grade buildings/pools
  - 15 feet from another dry well
  - 30 feet from septic trench or tank
  - 300 feet from primary well location or open loop geothermal well
  - 50 feet from alternate well location or closed loop geothermal well
  - So as to avoid basement seepage
  - In accordance with other county requirements
- PERFORATED PVC PIPE:**
- Schedule 40 PVC
  - 3/8 inch holes
  - 4" on center
  - 90" around pipe
- EXAMPLE LAYOUTS - PLAN VIEW:**
- Design plans must show the layout of each dry well.



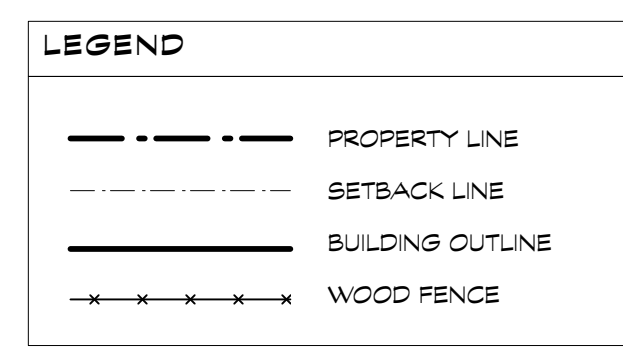
### 3 DRIVEWAY RAIL DETAIL

Scale: 1-1/2" = 1'-0"

- DRYWELL #1**  
TOP OF DRYWELL: 310'-0" (2' BELOW GRADE)  
INVERT ELEVATION OF 4" ENTRY PIPE: 309'-10" (1' BELOW TOP OF DRYWELL)
- D.S. #4:**  
INVERT ELEVATION: 312'-3" (23' FALL)  
DISTANCE TO DRYWELL: 16 ± 4" MIN. FALL REQUIRED
- D.S. #5:**  
INVERT ELEVATION: 313'-0" (38' FALL)  
DISTANCE TO DRYWELL: 33 ± 9" MIN. FALL REQUIRED
- D.S. #6:**  
INVERT ELEVATION: 311'-6" (20' FALL)  
DISTANCE TO DRYWELL: 57'-4" ± 15" MIN. FALL REQUIRED
- DRYWELL #2**  
TOP OF DRYWELL: 311'-9" (2' BELOW GRADE)  
INVERT ELEVATION OF 4" ENTRY PIPE: 310'-9" (1' BELOW TOP OF DRYWELL)
- D.S. #8:**  
INVERT ELEVATION: 311'-6" (9' FALL)  
DISTANCE TO DRYWELL: 35 ± 9" MIN. FALL REQUIRED
- D.S. #9:**  
INVERT ELEVATION: 312'-9" (24' FALL)  
DISTANCE TO DRYWELL: 15 ± 4" MIN. FALL REQUIRED
- D.S. #10:**  
INVERT ELEVATION: 315'-0" (5' FALL)  
DISTANCE TO DRYWELL: 59 ± 15" MIN. FALL REQUIRED

### 1 DRAINAGE PLAN

Scale: 1" = 10'-0"



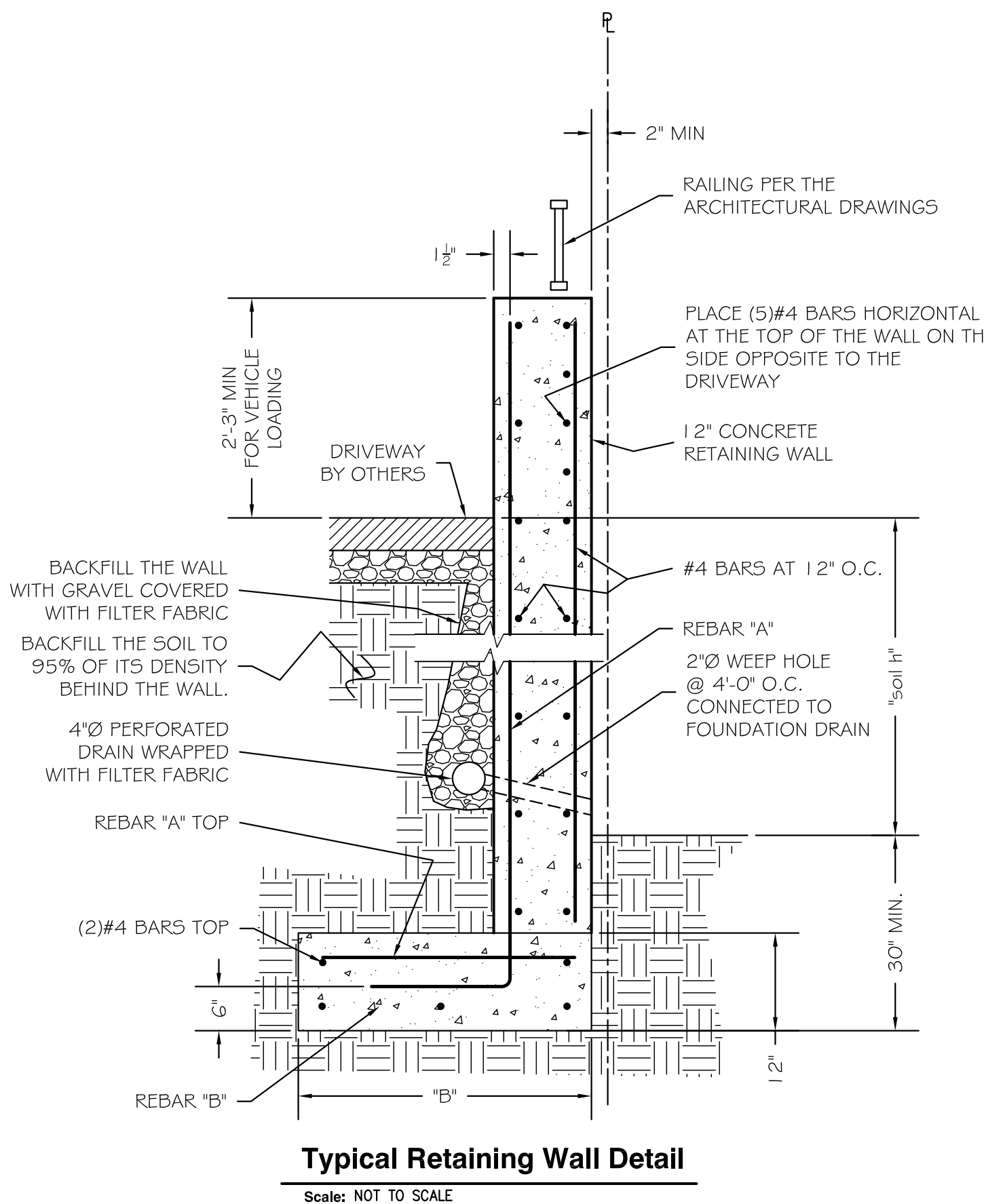
**WILLIAMS LANE RENOVATION**  
3806 Williams Lane, Chevy Chase, MD 20815  
Project # 2462

**DRAINAGE PLAN**  
**DR100**

28 APRIL 2025 - PERMIT SET

REVIEWED  
By Laura DiPasquale at 1:58 pm, Nov 06, 2025

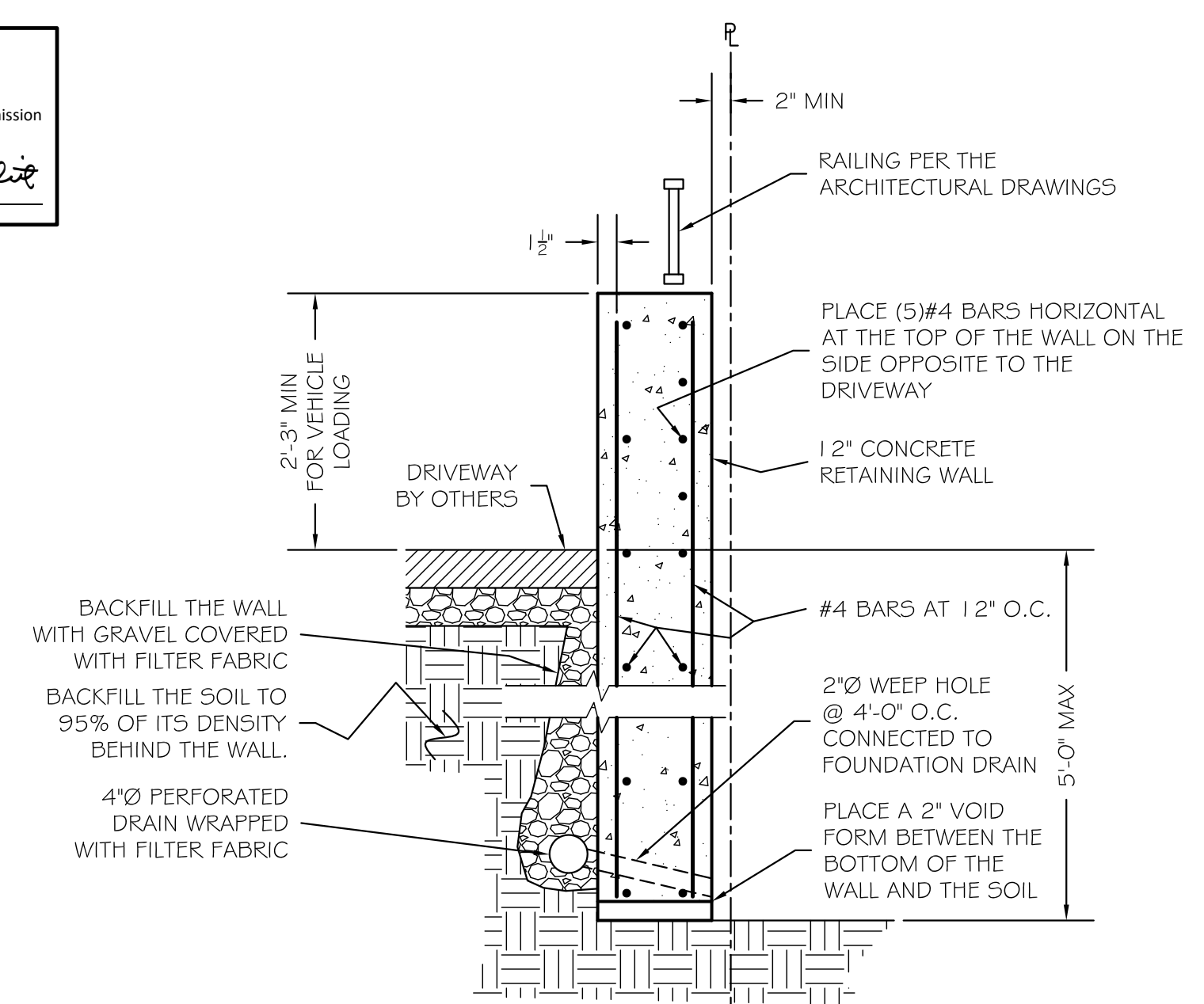
APPROVED  
Montgomery County  
Historic Preservation Commission  
*Karen Quilit*



**Typical Retaining Wall Detail**  
Scale: NOT TO SCALE

RETAINING WALL SCHEDULE

"H"	"B"	REBAR "A"	REBAR "B"
2'-0"	4'-0"	#4 BARS AT 12" O.C.	4-#4 BARS
3'-0"	5'-3"	#4 BARS AT 10" O.C.	5-#4 BARS
4'-0"	5'-9"	#4 BARS AT 8" O.C.	6-#4 BARS
5'-0"	6'-3"	#4 BARS AT 6" O.C.	6-#4 BARS



**Retaining Wall Detail Adjacent to the Existing Tree**  
Scale: NOT TO SCALE

NOTES:  
1. THE MAXIMUM DISTANCE BETWEEN RETAINING WALLS WITH A FOOTING SHALL BE 12'-0".  
2. POUR THE RETAINING WALL MONOLITHICALLY WITH THE RETAINING WALL THAT HAS A FOOTING.

- Structural Notes**
- All work and materials to comply with the requirements of the 2021 IBC and IRC codes as revised by Montgomery County.
  - Codes: the following design standards are applicable by reference:  
TMS 402-2016 Building Code Requirements for Masonry Structures.  
AWC NDS-2018 - Wood Frame Construction Manual for One and Two Family Dwellings.  
ACI 318-19 Building Code Requirements for Reinforced Concrete  
AISC - 360-16 Specifications for Steel Buildings.
  - Foundations: footings, underpinning and slab on grades are designed to bear on native soil type SM or SC with an allowable bearing pressure of 2000 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
  - Structural steel:
    - All structural steel, including detail material shall conform to ASTM A572 Fy = 50ksi, U.N.O.
    - All structural luting shall conform to ASTM A500, grd.B
    - All steel pipe shall be ASTM A53, type E or S, grade B
    - All welders shop and field, shall be certified. Use E70xx electrodes only.
    - All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
  - Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
  - All exterior structural steel shall receive rust preventative paint.
  - Connections:
    - All beam connections shall be simple shear connections, U.N.O. Where no reaction is provided, the beam shall be assumed to carry 120 % of the allowable uniform load in Kips for beams laterally supported, as given in the AISC steel construction manual.
    - Except as noted, all fasteners shall be 3/4" diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
  - Lumber:
    - Lumber shall be SPF #2 with a min. Fb = 875psi Min. Fv = 135psi and min. E = 1,400,000psi.
    - LVL and PSL shall have a min. Fb = 2850psi; Fv = 285psi; E = 2,000,000psi.
    - Floor decking shall be 3/4" APA rated decking. Roof decking shall be 5/8" APA rated decking. Wall sheathing shall be 5/8" APA rated sheathing. Glue and screw the floor decking to the joists with #8 screws at 6" O.C. at panel edges and 12" O.C. elsewhere. Place blocking between the joists below all splices in the decking perpendicular to the floor joists.
    - Interior wood walls shall be 2x4 studs at 16" O.C. and exterior walls shall be 2x6 studs at 16" O.C. with a double top plate and single bottom plate. Provide solid blocking at the midheight of each wall and at a minimum of 48" O.C. vertically. Place blocking between the studs behind all splices in the sheathing perpendicular to the studs.
    - Provide double joists under all walls that run parallel to floor framing.
    - Nail all multiple members together per the manufacturer's recommendations and at a minimum use 2-10d nails at 6" O.C. stagger sides that nails are driven from.
    - U.N.O. all members shall be fastened together per table R602.3(1).
    - Provide bridging at center of all joist spans Exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams.
    - All posts shall have Simpson Cap and Base Plates typ.
    - All joists shall have Simpson Hangers where applicable.
    - Glue all multiple studs together. Nail together with 2-10d nails at 3" O.C. Stagger the sides of the studs that the nails are driven from.
    - All lumber in contact with masonry or concrete or within 8" of soil shall be pressure treated. All lumber to conform to IRC R317 and R318 for protection against corrosion and termite damage.
    - All lumber shall be kiln dried. Store lumber on site in such a manner as to prevent the seepage of water into the wood.
    - Wood Lintels shall be as follows:  
Opening < 3'-0" - 2-2x6  
3'-0" < Opening < 5'-0" - 2-2x8  
5'-0" < Opening < 8'-0" - 2-2x10  
Greater than 8'-0" - See plans

- Fasteners:
  - All prefabricated angles, bearing plates, and joist hangers shall be installed per the manufacturer recommendations.
  - Follow the manufacturer recommendations for setting epoxy bolts.
  - Expansion bolts shall be rawl power studs.
- Masonry:
  - Masonry construction shall be in conformance with the applicable sections of TMS 402-2016, "Building Code Requirements for Masonry Structures."
  - Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000psi and F'm - 1500psi.
  - All joints to be filled solid with mortar.
  - Mortar to comply with ASTM C270 (type M or S).
  - Provide corrugated masonry ties between brick facia and wood walls or cmu walls at 16" O.C. in each direction.
  - Provide 8ga truss style joint reinforcement @ 16" O.C. vertically.
  - Lintels shall be as follows:  
Opening < 3'-0" - L4x3 @ 1/4 LVL/4" of wall  
3'-0" < Opening < 7'-0" - L6x3 @ 1/2 LVL/4" of wall  
Opening > 7'-0" - See Plan
- Cast in place concrete:
  - Concrete construction shall be in conformance with the applicable sections of ACI 318-19, "Part 3 - Construction Requirements."
  - Concrete shall have a minimum compressive strength at 28 days of 3000psi, UNO (unless noted otherwise).
  - All concrete shall be placed with a slump of 4" (+/-)
  - All concrete shall be normal weight, UNO.
  - All concrete exposed to weather shall have 6% +/- entrained air.
  - Contractor shall pour extra concrete to account for the deflection of the formwork to provide a flat finished surface.
  - Concrete cover for reinforcement shall be:  
Columns and beams 1 1/2"  
Slabs 3/4"  
Footings 3"
- Reinforcement:
  - Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60ksi)
  - Welded wire fabric (wvf) shall conform to ASTM a185. Lap edges of wire fabric at least 6" in each direction.
- Dimensions: The contractor shall field verify all dimensions prior to fabrication of structural components.
- Coordination: The contractor shall coordinate all sleeves, duct openings and holes between trades. Any conduits or pipes embedded in concrete must be in accordance with ACI 318-19, chapter 6. Where sleeves are closely spaced in a group, the group shall be treated as an opening and reinforced accordingly. Submit drawings showing all opening sizes and locations for the approval by the structural engineer.

**Dead Loads:**

SPF #2 -	26 PCF
1/2" Decking -	1.7 PSF
1/2" Decking -	2.5 PSF
Asphalt Shingles -	2.5 PSF
Slate Shingles -	15 PSF
1/2" Drywall -	2.2 PSF
Insulation -	1.5 PSF
Siding -	2.0 PSF
CMU -	87 PCF
Block -	130 PCF

**LIVE LOADS:**

DECK:	40PSF
ATTIC:	20PSF
FLOOR:	40PSF
BALCONY:	60PSF
BEDROOM:	40PSF
ROOF:	30PSF

WIND LOADS:  
WIND SPEED: Vult = 115mph; Vasd = 89mph  
WIND LOAD IMPORTANCE FACTOR: 1.0  
WIND EXPOSURE FACTOR: B  
WIND DESIGN PRESSURE: 11PSF

**SNOW LOADS:**  
GROUND SNOW LOAD (PG): 30PSF  
FLAT ROOF SNOW LOAD(PF): 30PSF  
SNOW EXPOSURE FACTOR (CE): 0.9  
SNOW IMPORTANCE FACTOR (I): 1.0

**Deflection Limitations:**  
Rafters: L/240  
Interior Walls and Partitions: H/180  
Floors and Plastered Ceilings: L/360  
All Other Structural Members: L/240  
Ext. Walls with plaster or stucco finishes: L/360  
Ext. Walls - Wind Loads with Brittle Finishes: L/240  
Ext. walls - Wind Loads with Flexible Finishes: L/120

**SEISMIC DESIGN DATA:**  
SEISMIC IMPORTANCE FACTOR (Ie): 1.0  
SPECTRAL RESPONSE ACCELERATIONS: (Ss): 20.0%  
(S1): 8.0%  
SPECTRAL RESPONSE COEFFICIENTS: (Sds): 33%  
(Sd1): 18.7%  
SEISMIC DESIGN CATEGORY: B  
SEISMIC SITE CLASSIFICATION: D  
SEISMIC COEFFICIENT (Cs): 0.13  
SEISMIC MODIFICATION FACTOR (R): 2.5  
BASE SHEAR: 5.8k  
ANALYSIS PROCEDURE: EQUIV. LATERAL FORCE  
BASIC SFRS: ORDINARY Concrete WALLS

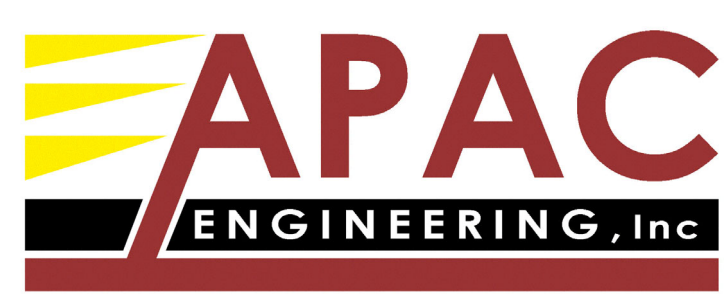
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DATE	ISSUE - REMARKS
**	**



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**Williams Lane Renovation**  
3806 Williams Lane - Chevy Chase, MD 20815  
Project #2462  
24 October 2025  
PERMIT SET



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Retaining Wall Details  
**\$400**