



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Jeffrey Hains
Chair

Date: April 30, 2026

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Devon Murtha
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1149145 – Partial demolition, enclosure of rear stoop

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with one (1) condition** at the March 11, 2026 HPC meeting. The condition is that

1. The applicant must submit complete materials specifications for review prior to issuance of final approval documents, including specifications for the proposed door, new slate, and dimensional PVC.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Sean Cronin; Pagenstecher Group Inc. (Agent)
Address: 5605 York Lane, Bethesda, MD 20814

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Devon Murtha at 301-495-1328 or devon.murtha@montgomeryplanning.org to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

5604 York Lane is a contributing structure in the Greenwich Forest Historic District in Bethesda, MD. The home is a 2-1/2 story center hall colonial that was built in 1938. The home sits on a corner lot with near continuous high canopy forest cover. The property has had a number of improvements and / or additions that have been previously approved by the Historic Preservation Commission.

Description of Work Proposed: Please give an overview of the work to be undertaken:

We propose to enclose the existing 3'-6" x 3'-10" covered rear stoop. (see attached drawings and photographs).

Exterior finish details:

1. Exterior walls to be clad in new wood siding to match the existing house
2. All trim will be dimensional PVC as is allowed by the Greenwich Forest Historical Guidelines "modern scrutiny" for materials used on non forward-facing portions of rear and side additions.
3. Roofing will be reclaimed or new slate to match the existing house as close as possible
4. Gutters and downspouts will be copper to match the style of the existing house.
5. Rear stoop entry door to be painted wood with half glass panel (spec cab be provided upon request).



Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



REVIEWED

By Devon.Murtha at 4:35 pm, Apr 30, 2026

5605 York Lane photo of existing covered rear stoop (image #1)



REVIEWED

By Devon.Murtha at 4:35 pm, Apr 30, 2026



5605 York Lane photo of existing covered rear stoop (image #2)

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Devon.Murtha at 4:35 pm, Apr 30, 2026

RESIDENTIAL CODE NOTES:

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH INTERNATIONAL RESIDENTIAL CODE (IRC), 2021 EDITION, AS AMENDED BY MONT. CO. EXECUTIVE REGULATION #13-24. ALL CHAPTERS, TABLES, SECTIONS, FIGURES AND APPENDICES REFERENCED HERE WITHIN ARE FROM IRC.

2. TABLE R301.2 (1). THE RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS ARE SHOWN IN THE FOLLOWING TABLE:

GROUND SNOW LOAD 30 PSF	WIND SPEED 115 MPH	SEISMIC DESIGN CATEGORY B	RESIDENTIAL CONSTRUCTION DESIGN PARAMETER				WINTER DESIGN TEMP. 13 DEG.	ICE SHIELD UNDERLAYMENT REQUIRED YES	FLOOD HAZARDS JULY 2, 1979	AIR FREEZING INDEX 300	MEAN ANNUAL TEMP. 55 DEG.
			WEATHERING	FROST LINE DEPTH	TERMITES	DECAY					
			SEVERE	30 IN.	MODERATE/HEAVY	SLIGHT/MODERATE					

3. TABLE R305.1 MINIMUM DESIGN LIVE LOAD VALUES SHALL CONFORM TO THE FOLLOWING:

TABLE R305.1

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
(IN POUNDS PER SQ. FT.)

USE	LIVE LOAD
ATTICS WITHOUT STORAGE (b)	10
ATTICS WITH LIMITED STORAGE (b,g)	20
HABITABLE ATTICS AND ATTICS SERVED W/ FIXED STAIR	30
BALCONIES (EXTERIOR) AND DECKS (e)	40
FIRE ESCAPES	40
GUARDRAILS AND HANDRAILS (d)	200
GUARDRAILS IN-FILL COMPONENTS (f)	50
PASSANGER VEHICLE GARAGES (a)	50 (a)
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40 (c)

FOR SI: 1 POUND PER SQ. FT. = 0.0479 kN/m2, 1 SQ. IN. = 645 MN2, 1 POUND = 4.45 N.
ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2,000-PD.

LOAD OVER A 20-SQ IN. AREA

- A. ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2,000 POUND LOAD APPLIED OVER A 20-SQ. IN. AREA
- B. NO STORAGE WITH A ROOF SLOPE NOT OVER SUNITS IN 12UNITS
- C. INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300-POUND CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES, WHICHEVER PRODUCES THE GREATER STRESSES.
- D. A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
- E. SEE SECTION R502.2.1 FOR DECKS ATTACHED TO EXTERIOR WALLS.
- F. GUARD IN-FILL COMPONENTS (ALL THOSE EXCEPT HANDRAIL, BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQ. FT. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT.

GENERAL NOTES:

ALL WORK SHALL COMPLY TO ALL APPLICABLE LOCAL CODES.

ALL CONSTRUCTION SHALL BE CLASSIFIED AS AND COMPLY TO EITHER OF THE FOLLOWING: USER GROUP R-4 UNDER THE 2021 IRC ONE & TWO FAMILY DWELLING CODE.

THESE PLANS ARE SUBJECT TO MODIFICATION AS NECESSARY TO MEET CODE REQUIREMENTS OR TO FACILITATE MECHANICAL/PLUMBING INSTALLATIONS OR TO INCORPORATE DESIGN IMPROVEMENTS.

THE OWNER SHALL DEFEND, INDEMNIFY AND SAVE HARMLESS PAGENSTECHER GROUP, INC FROM AND AGAINST ALL SUITS, ACTIONS, LIABILITIES, LOSSES, AND/OR EXPENSES, INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF ANY WORK BY OWNER OR ITS EMPLOYEES, SUBCONTRACTORS, AGENTS, OR REPRESENTATIVES, CAUSED IN WHOLE OR IN PART BY ANY ACT OF OMISSION, WHETHER NEGLIGENT OR OTHERWISE, ON PART OF THE OWNER OR ITS EMPLOYEES, SUBCONTRACTORS, AGENTS, OR REPRESENTATIVES.

THE CONTRACTOR SHALL COMPARE AND COORDINATE ALL DRAWINGS. WHEN A DISCREPANCY OR AN ERROR OR OMISSION EXISTS, HE SHALL COMPLY WITH THE CODE AND CONTACT THE OWNER IN WRITING FOR PROPER ADJUSTMENT.

THESE PLANS ARE NOT TO BE SCALED FOR CONSTRUCTION PURPOSES. WRITTEN DIMENSIONS AND NOTES SUPERSEDE ALL SCALE REFERENCES.

IN THE EVENT CERTAIN FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.

INTEGRAL GARAGES IN DWELLING SHALL BE SEPARATED FROM ALL ADJACENT LIVING SPACE WITH FIRE SEPARATION AS REQUIRED BY CODE.

METAL:

STRAP ANCHORS OR ANCHOR BOLTS SHALL BE BOCA CODE AND BUILDING INSPECTOR APPROVED: MINIMUM 2 STRAPS/BOLTS PER SECTION OF PLATING 12" MAX. FROM EACH END WITH INTERMEDIATE STRAPS/BOLTS AT 4'-0" O.C. GUTTERS, DOWNSPOUTS, BLEEDERS SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED BY LOCAL CODE.

STRUCTURAL GENERAL NOTES:

ALL FOOTINGS TO BEAR AN UNDISTURBED SOIL. CONCRETE QUALITY 3000 PSI @ 28 DAYS.

ASSUMED ALLOWABLE SOIL BEARING CAPACITY 2000 PSI

REINFORCING STEEL ASTM A615 GR60

STRUCTURAL STEEL ASTM A36

TUBULAR STEEL ASTM A501

BASIC WIND SPEED 115 MPH (15 PSF) EXPOSURE CAT "B"

WINDOWS & DOORS:

PROVIDE SAFETY GLAZING AS REQUIRED BY LOCAL CODE.

ALL DOORS AND WINDOWS SHALL BE SEALED AND FLASHED ON ALL SIDES AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND AS PER LOCAL CODE.

SITE:

GENERAL: THESE DRAWINGS DO NOT COVER SITEWORK, GRADING, OR LANDSCAPING.

BUILDING FOUNDATIONS HAVE BEEN DESIGNED BASED ON AN ASSUMED SOIL BEARING CAPACITY OF 2000 PSF. ADDITIONAL ENGINEERING IS REQUIRED IF SOIL BEARING CAPACITY IS LESS THEN 2000 PSF.

PROVIDE CONTINUOUS PERIMETER FOUNDATION DRAINAGE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS. WHERE BOTH INTERIOR AND EXTERIOR DRAINS ARE REQUIRED PROVIDE MIN. 1/2" DIA. BLEEDER PIPES THROUGH MID LINE OF FOOTING AT MAX. 8" O.C. TYPICALLY DRAINS SHALL BE LEAD TO SUMP PIT OR TO POSITIVE DAYLIGHT DISCHARGE POINTS.

SLOPE ALL STOOPS, PORCHES, WALKS AND GARAGE SLABS AWAY FROM BUILDING 1/4" MIN. PER FOOT

ALL WORK SHALL COMPLY TO LOCAL CODE.

MECH. PLUMB. ELEC.

MECHANICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF MECHANICAL SYSTEMS INCLUDING DUCT SIZES, TRUNK AND REGISTER SIZE FOR AIR CONDITIONING AND HEATING. SYSTEMS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS AND PER ALL APPLICABLE CODES.

PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF PLUMBING AND PIPING. ALL PLUMBING, PIPING AND FIXTURES SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS AND AS PER ALL APPLICABLE CODES.

ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS. ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE CODES. FIXTURES AND APPARATUS ARE SELECTED BY THE BUILDER AND SHALL BE U.L. APPROVED.

THERM. PROTECTION:

SILL SEALER/COMPRESSIBLE MATERIAL SHALL BE INSTALLED UNDER ALL MUD SILL PLATES (FOUNDATION WALL AND WOOD FLOOR SYSTEMS) AND SOLE PLATES (SLAB ON GRADE).

PROVIDE SOFFIT VENTS AND RIDGE VENTS, OR GABLE END VENTS AS SHOWN ON THE DRAWINGS AND AS PER CODE. INSTALL INSULATION BAFFLES IN ACCORDANCE WITH LOCAL CODE. IN EACH TRUSS/RAFTER, TO MAINTAIN FREE AIR FLOW, FLASHING: PREFINISHED ALUMINUM OR EQUAL, AT ALL ROOF OFFSETS, CHIMNEYS, ROOF OPENINGS, HIPS, VALLEYS, RIDGES, DORMERS AND WHERE ROOF INTERSECTS WALL.

CONTRACTOR SHALL MAINTAIN IN ALL CIRCUMSTANCES PROPER FIRE, SOUND, AND INSULATION RATINGS WHEN PENETRATING THROUGH WALLS, FLOORS, CEILINGS, AND ROOFS. ALL MISCELLANEOUS PENETRATIONS DURING CONSTRUCTION SHALL BE PATCHED AND REPAIRED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND AS PER CODE.

THE ROOFING CONTRACTOR IS RESPONSIBLE FOR THE DESIGN & CONSTRUCTION OF ALL ROOFING. ALL WORK SHALL BE IN COMPLIANCE WITH LOCAL CODE.

SCOPE OF WORK:

1. DEMO EXISTING EXTERIOR WALL AND ENCLOSE EXISTING SIDE PORCH
2. CONSTRUCT NEW ROOF OVERHANG @ ENCLOSED PORCH

NOTE: ABOVE WORK APPROVED BY HAWP #1149145

3. INTERIOR RENOVATIONS (NON STRUCTURAL) TO CREATE NEW MUDROOM AND BUTLERS PANTRY

NOTE:
EXG MECHANICAL SYSTEM TO REMAIN.
EXTEND (1) NEW DUCT TO SERVE MUDROOM

DRAWING LIST:

C001 COVER SHEET

A001 EXISTING FIRST FLOOR PLAN, DEMOLITION PLAN

A002 FIRST FLOOR PLAN, FIRST FLOOR ELECTRICAL PLAN, INTERIOR ELEVATIONS

A003 EXTERIOR ELEVATIONS

A004 BUILDING SECTION

Z001 SITE PLAN

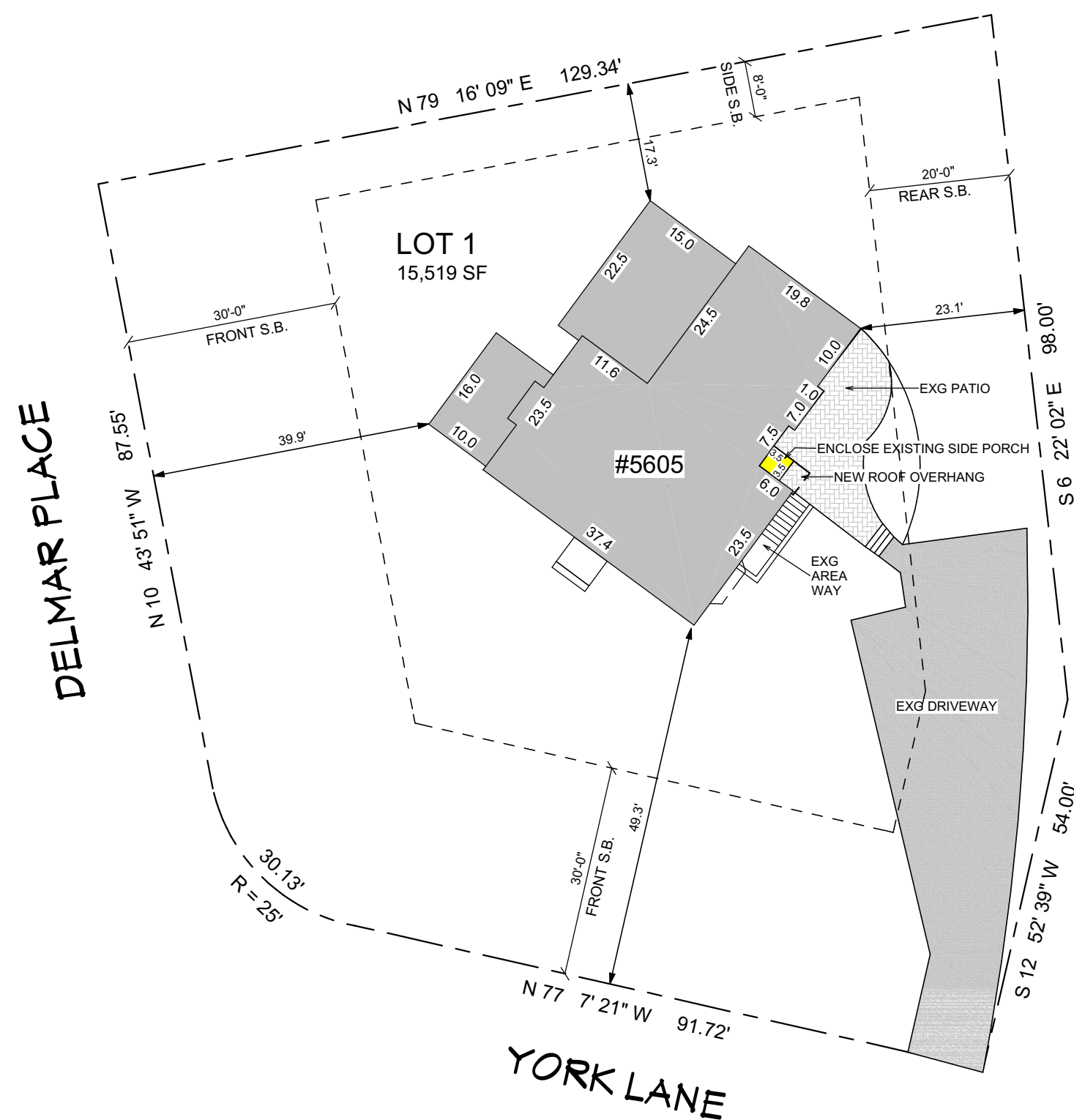
SITE INFORMATION:

ADDRESS: 5605 YORK LANE
LOT: 1
BLOCK: J
SUBDIVISION: GREENWICH FOREST*
LOT SIZE: 15,519 SF

PRIMARY STRUCTURE BUILT IN 1938
*GREENWICH FOREST HISTORIC DISTRICT

SITE PLAN:

SCALE 1"=20'



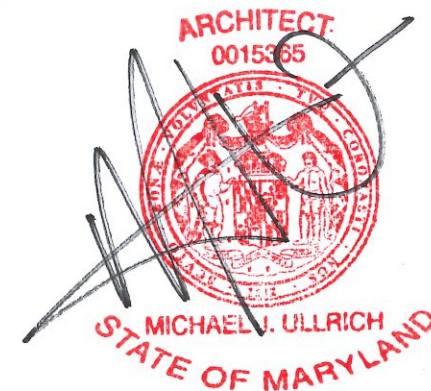
NOTE: SIDE PORCH ENCLOSURE AND OVERHANG APPROVED BY HAWP #1149145

PROFESSIONAL CERTIFICATION:

"I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND."

MD LICENSE # 15365

EXPIRATION DATE: 3/28/2028



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CRONIN RESIDENCE
5605 YORK LANE
BETHESDA, MD 20814

COVER SHEET

PERMIT SET: 4/21/26

SHEET NUMBER

C001

APPROVED

Montgomery County
Historic Preservation Commission

REVIEWED

By Devon.Murtha at 4:35 pm, Apr 30, 2026

1

2

3

4

5

6

A

B

C

D

A

B

C

D

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CRONIN RESIDENCE

5605 YORK LANE
BETHESDA, MD 20814

EXISTING FIRST FLOOR PLAN
FIRST FLOOR DEMO PLAN

PROGRESS: _____
FINAL PRICING: 2/25/26
PERMIT SET: 4/27/26

SHEET NUMBER

A001

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[Signature]

D1 A001 EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

2

3

4

5

6

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D4 A001 FIRST FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"

SUN

LR

F

DR

MUD

PR

KIT

SP

SUN

LR

F

DR

MUD

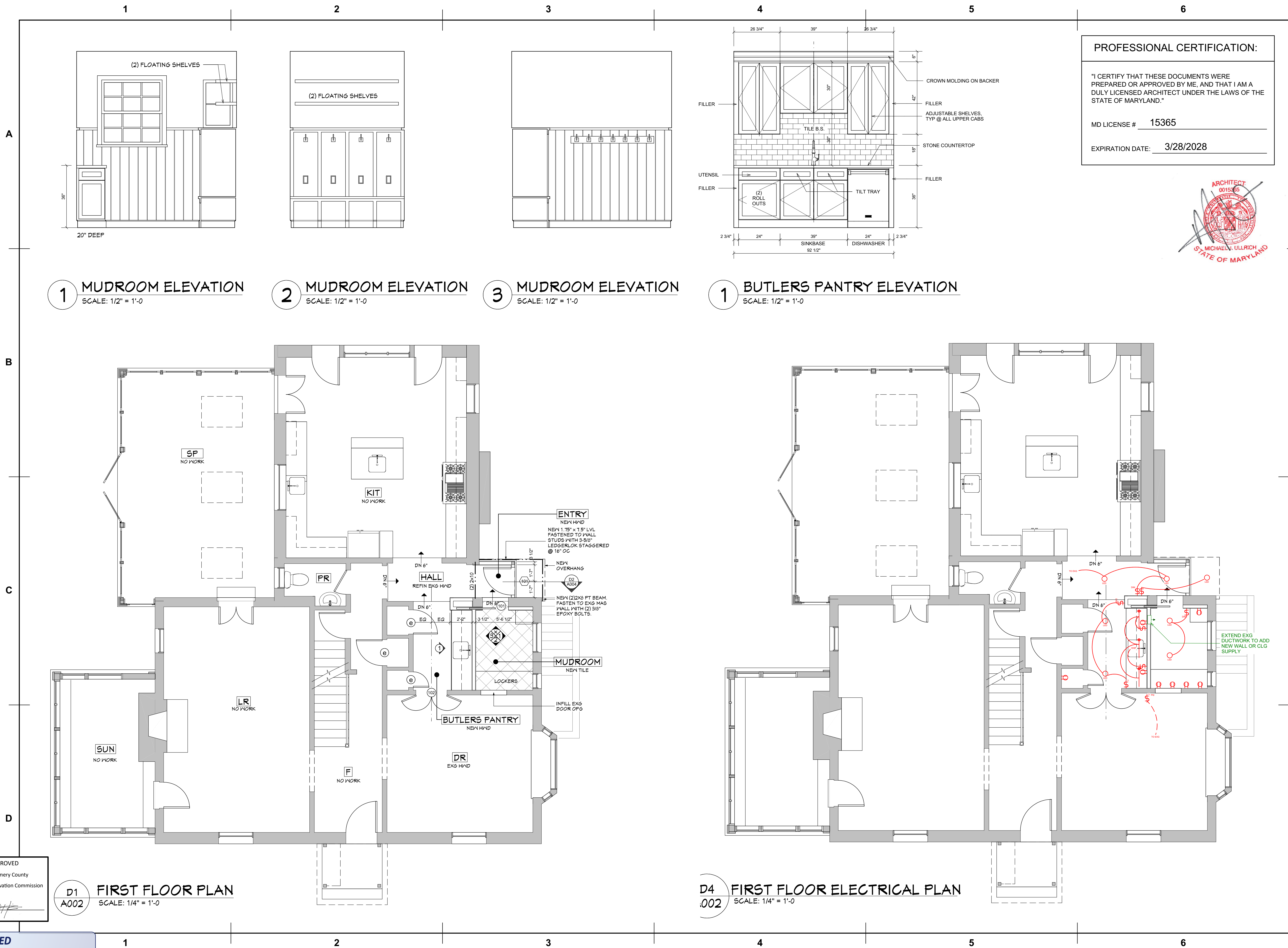
PR

KIT

SP

DEMO EXG MASONRY WALL.
PROVIDE TEMP
SUPPORT AS REQD.

DEMO EXG WALLS,
DOORS, CABINETS
AND FLOORING.



PROFESSIONAL CERTIFICATION:

"I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND."

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FIRST FLOOR PLAN
ELECTRICAL PLAN
INTERIOR ELEVATIONS

PROGRESS: _____
FINAL PRICING: 2/25/26
PERMIT SET: 4/27/26

SHEET NUMBER

A002

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Montgomery County
Historic Preservation Commission

REVIEWED
By Devon.Murtha at 4:35 pm, Apr 30, 2026

1

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5

6

A

B

C

D



B1
A003
EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0



B4
A003
EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0

PROFESSIONAL CERTIFICATION:

"I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND."

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CRONIN RESIDENCE

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BETHESDA, MD 20814

EXISTING ELEVATIONS
PROPOSED ELEVATIONS

PROGRESS: _____
FINAL PRICING: 2/25/26
PERMIT SET: 4/27/26

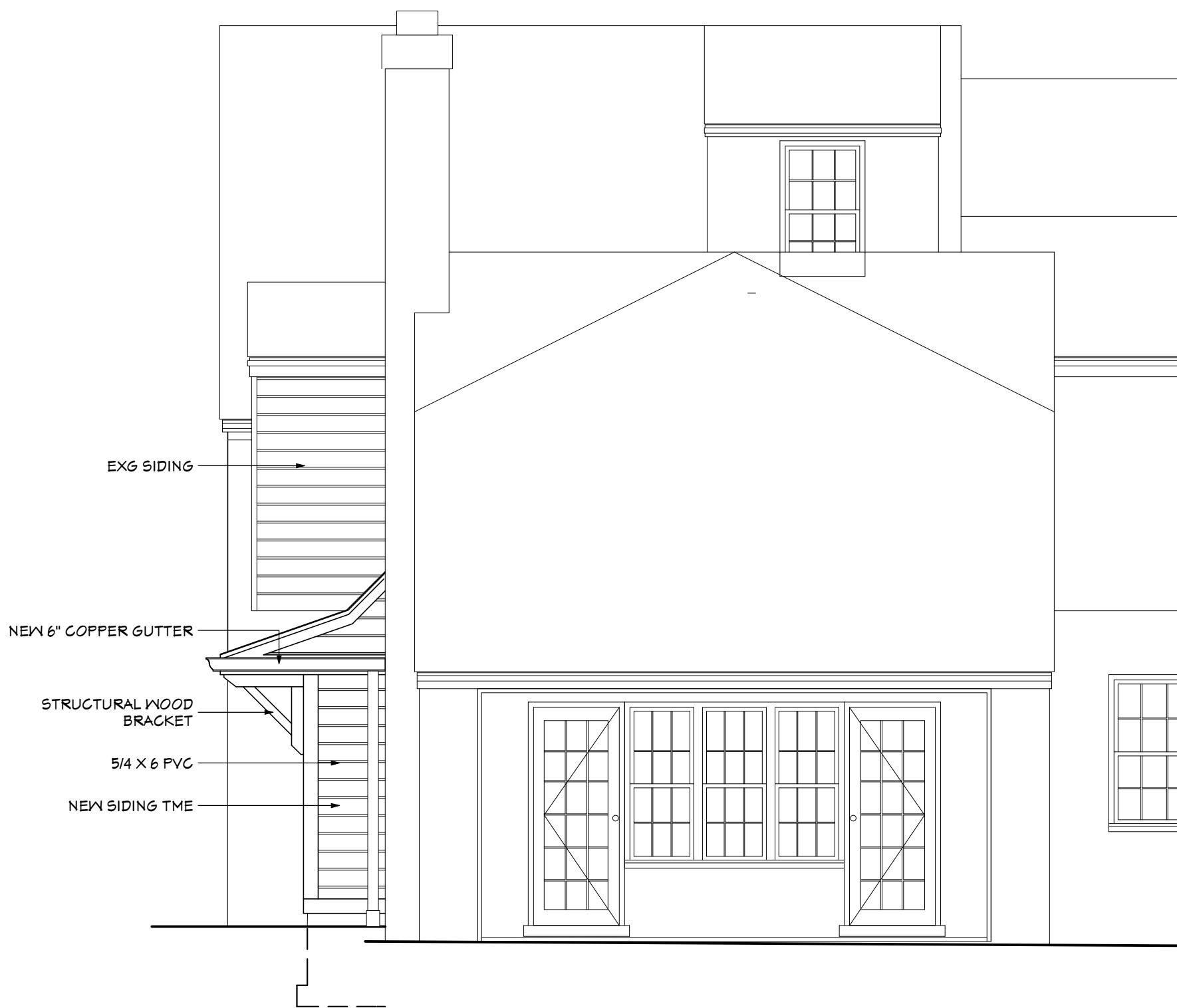
SHEET NUMBER

A003

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[Signature]

D1
A003
EAST ELEVATION
SCALE: 1/4" = 1'-0



D4
A003
SOUTH ELEVATION
SCALE: 1/4" = 1'-0

NOTE: ALL DOORS/WINDOWS EXISTING UNLESS OTHERWISE NOTED

REVIEWED

By Devon.Murtha at 4:35 pm, Apr 30, 2026

1

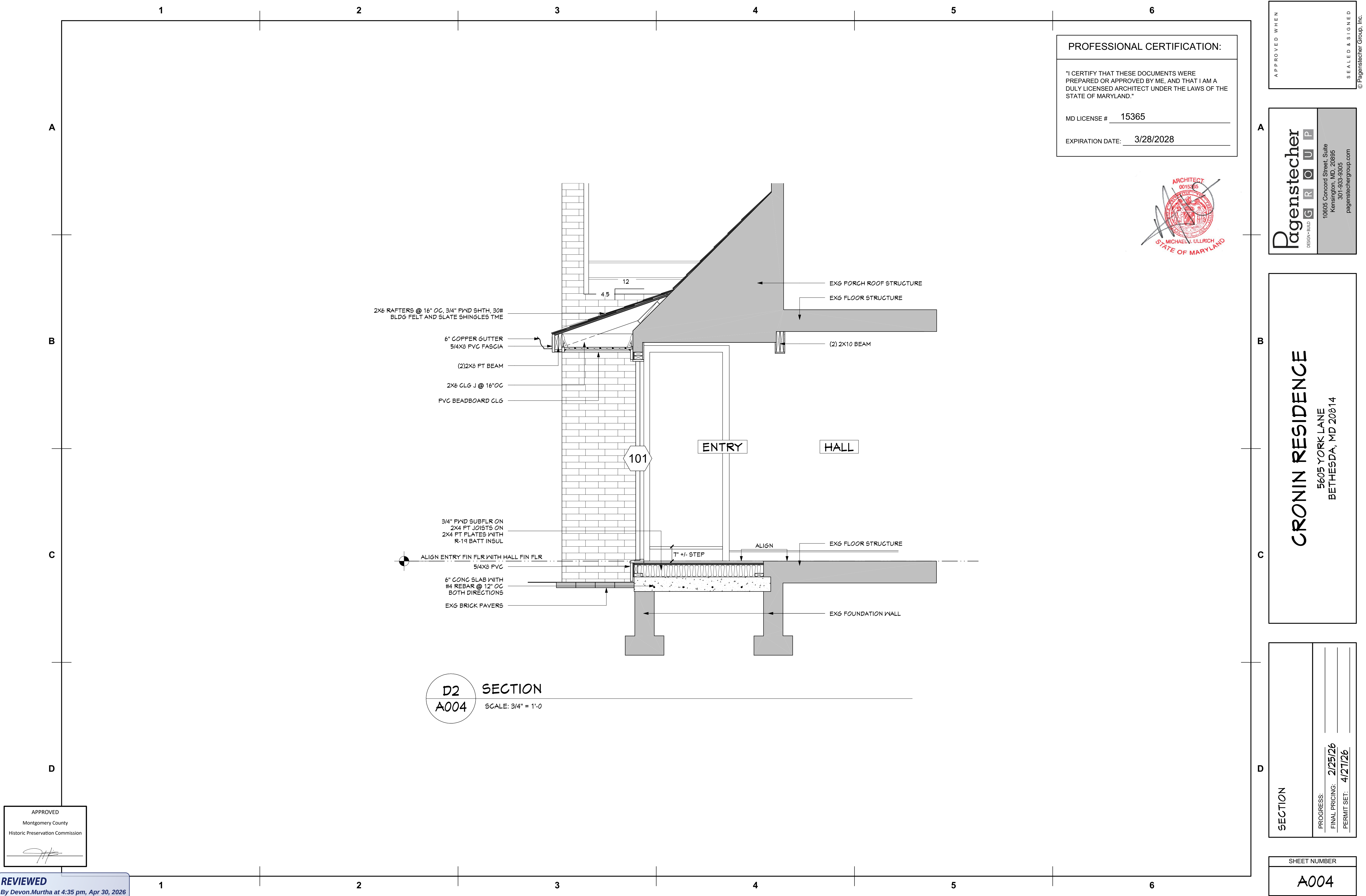
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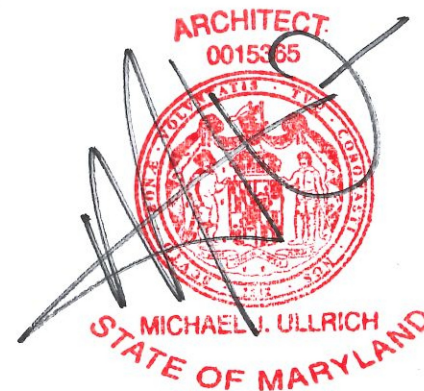


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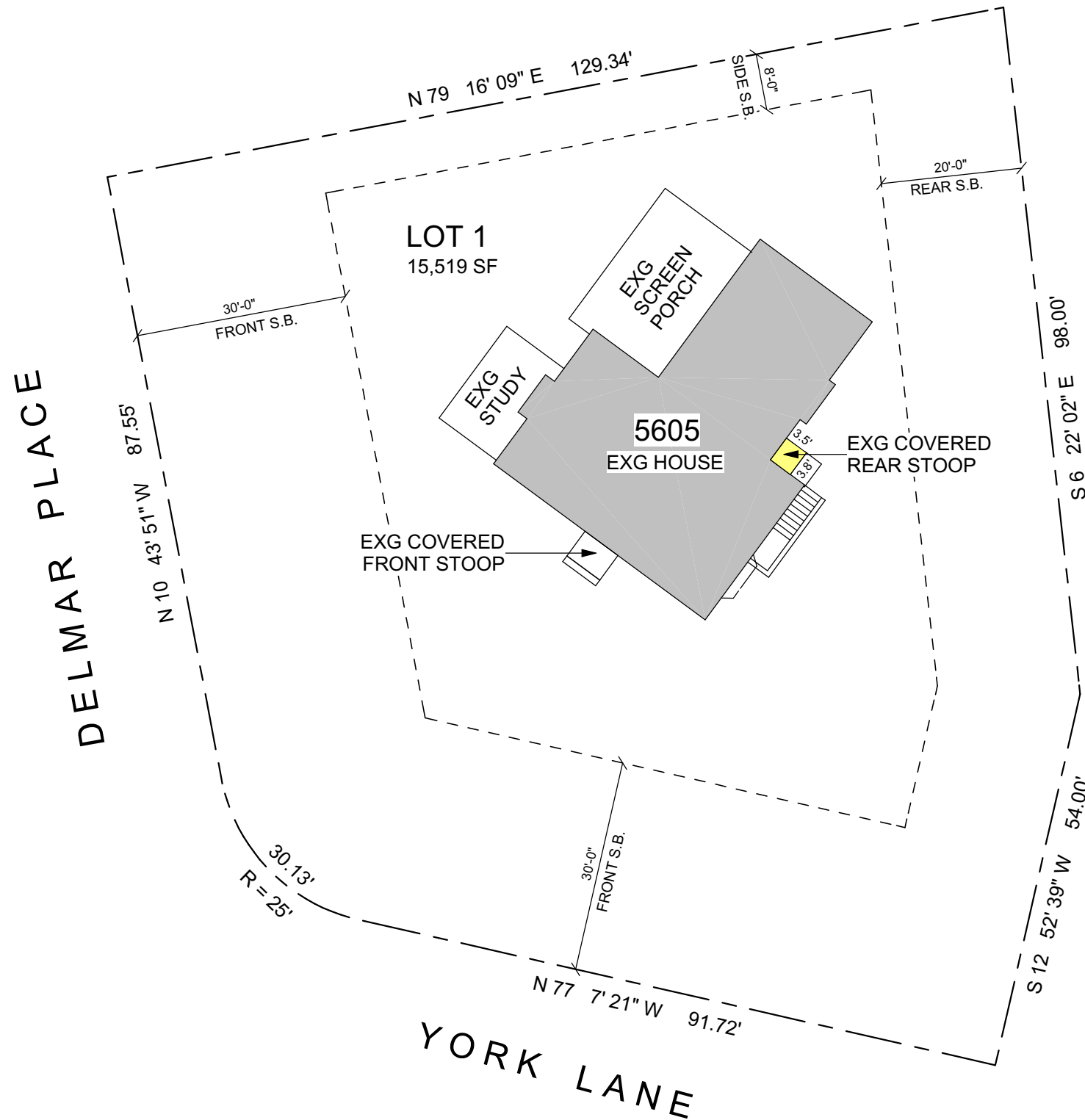
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SECTION	PROGRESS:	
	FINAL PRICING:	2/25/26
	PERMIT SET:	4/27/26

SHEET NUMBER
A004

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SITE PLAN

1
A001

1" = 20'-0"

REVIEWED

By Devon.Murtha at 4:35 pm, Apr 30, 2026

SITE DETAILS:

5605 YORK LANE
BETHESDA, MD 20814

LOT 1, BLOCK J
GREENWICH FOREST

ZONING: R-90
ORIGINAL PLATTING: PLAT 722
RECORDED ON AUGUST 1, 1936

PROPOSED SCOPE OF WORK:

1. ENCLOSE EXISTING COVERED REAR STOOP
2. EXTEND ROOF 2'-8" TO CREATE OVERHANG
3. ALL OTHER RENVOATIONS ARE INTERIOR WITH NO IMPACT ON FOOTPRINT OF EXISTING HOME OR CHANGE TO EXTERIOR FACADES

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Montgomery County
Historic Preservation Commission

CRONIN RESIDENCE
5605 YORK LANE
BETHESDA, MD 20814

SITE PLAN

SHEET NUMBER:

A001

02/10/2026

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Kensington, MD 20895 301.933.9305
pagenstechergroup.com

04/27/2026

Sean & Amanda Cronin Residence
5605 York Lane
Bethesda, MD 20814

HAWP # 1149145

Materials Descriptions & Specifications:

Side Door: 2'-8" x 6'-8" fir wood door to be site painted.

Glass: Dual pane insulated clear glass with SDL mutins.

Siding: Custom milled wood siding to match profile of siding on existing house

Overhang Support Bracket: Smooth Western Red Cedar support bracket to be site painted.

PVC Trims: Versatex smooth cellular PVC dimensional trim board profiles that match properties of existing dimensional wood trims.

Slate Roofing: Natural Vermont Slate (not synthetic) roof shingles to match existing dimensions and color of existing slate on main house.

See attached material information and cut sheets for materials listed above

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Montgomery County

Historic Preservation Commission

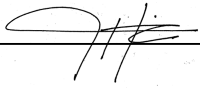


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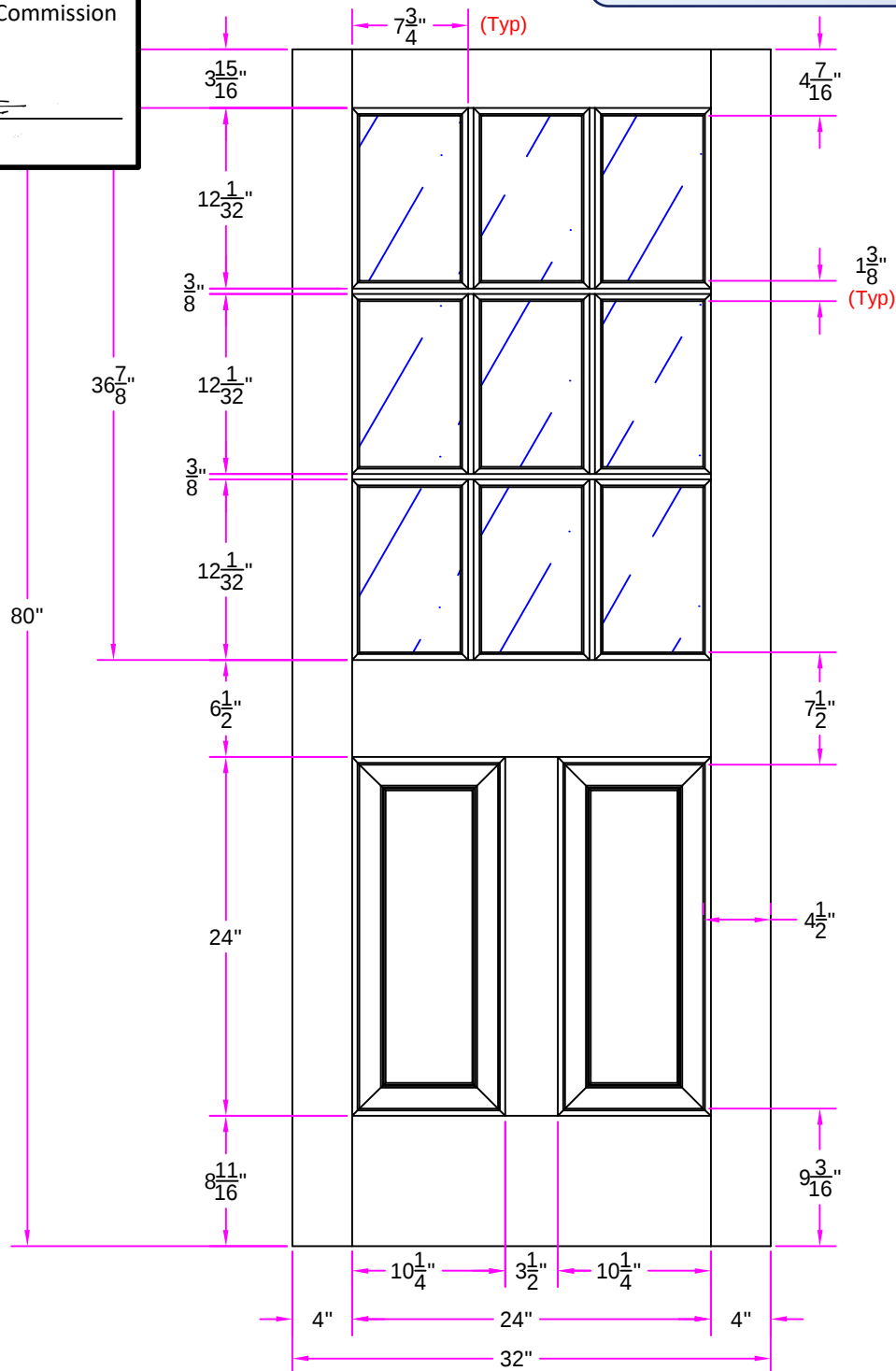
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Revisions

Rev. #	Description	Date	by Whom

TITLE **7944 2/8 x 6/8**
Customer Layout

DRAWING NO. **D-7944-208-608-0700**LAYOUT **00** SCALE **NTS** PATTERN # **7008**DRAWN BY: **J. Decker** DATE **05/29/2008**

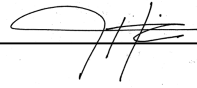

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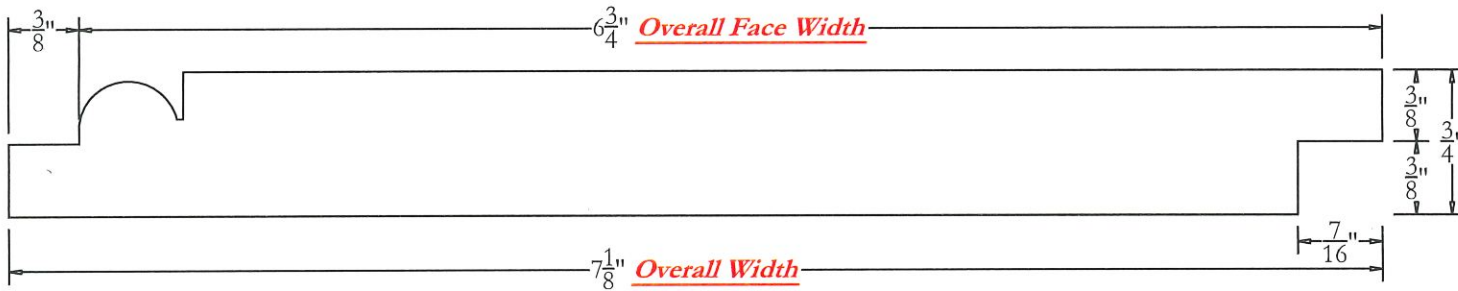
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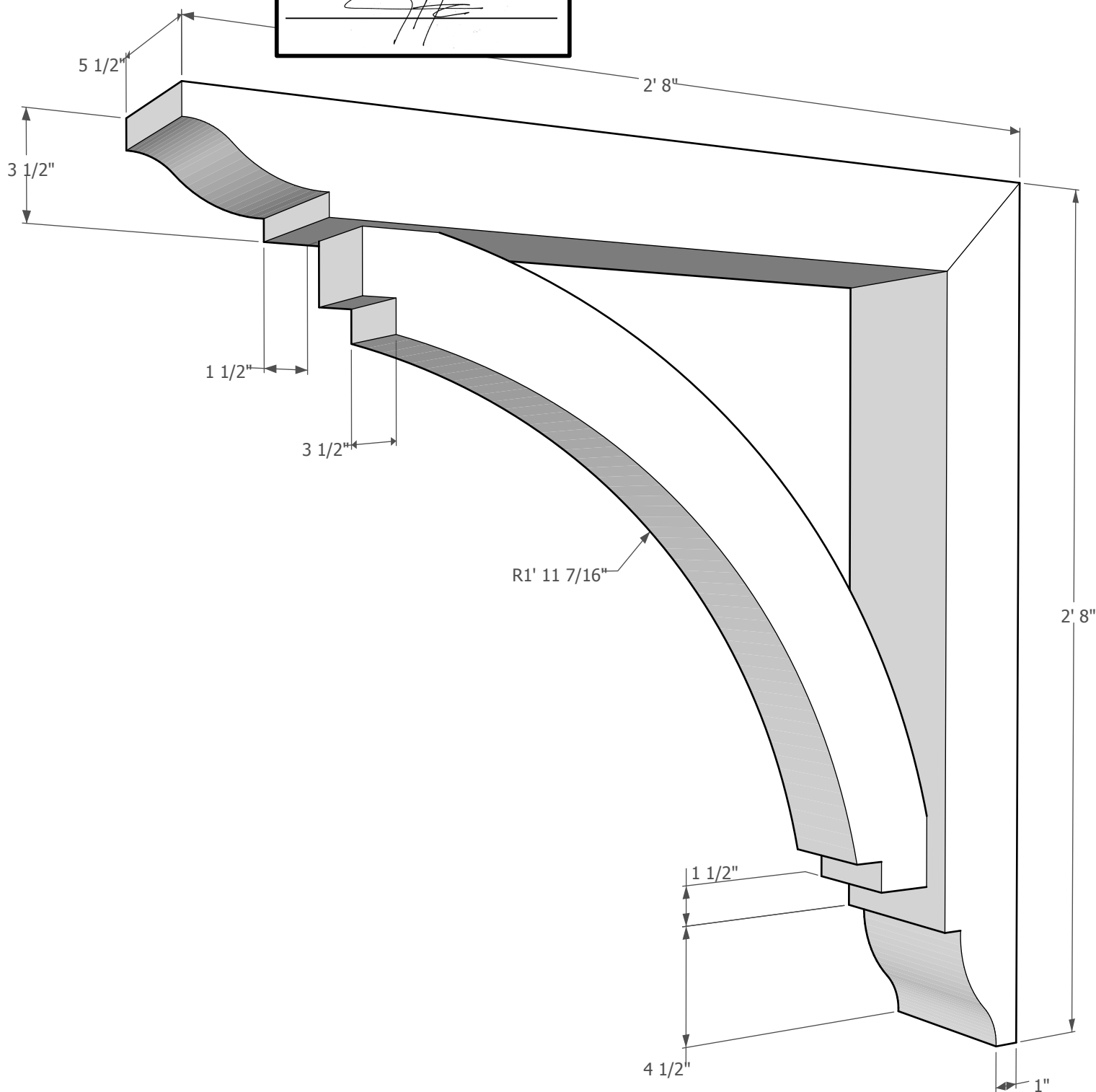
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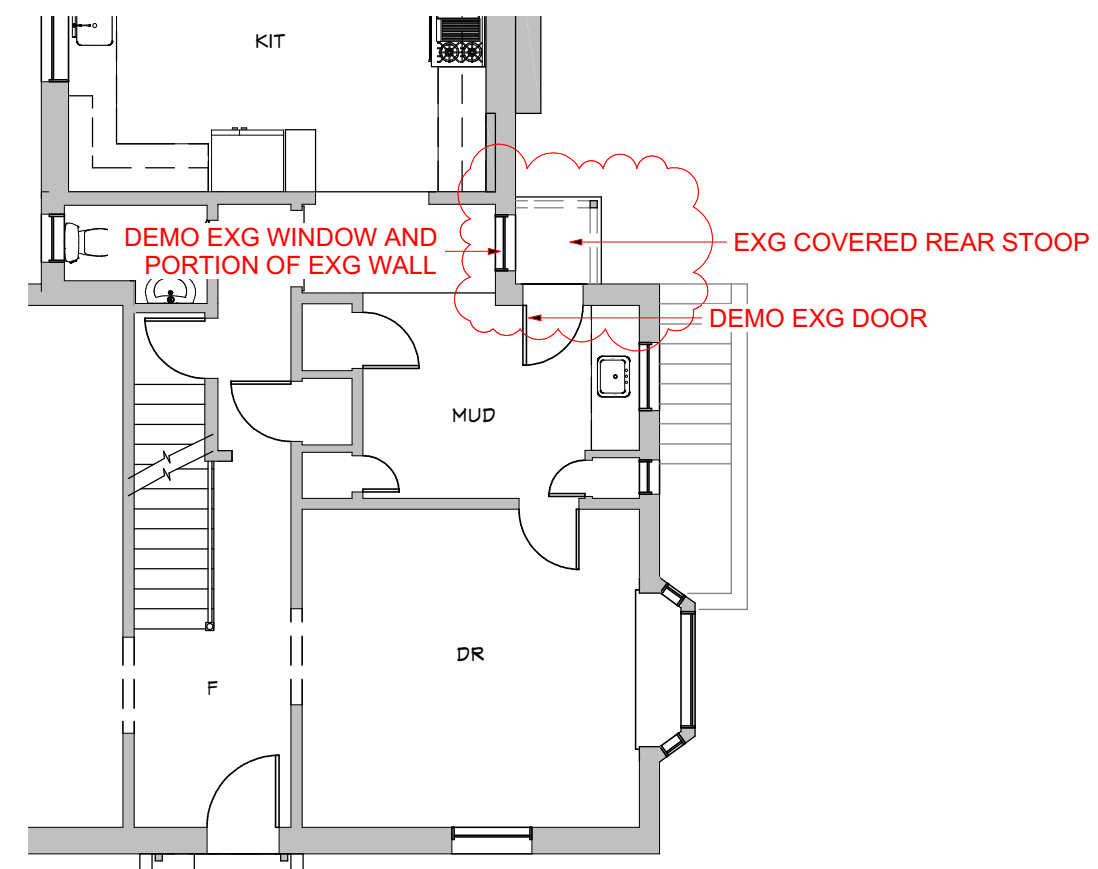
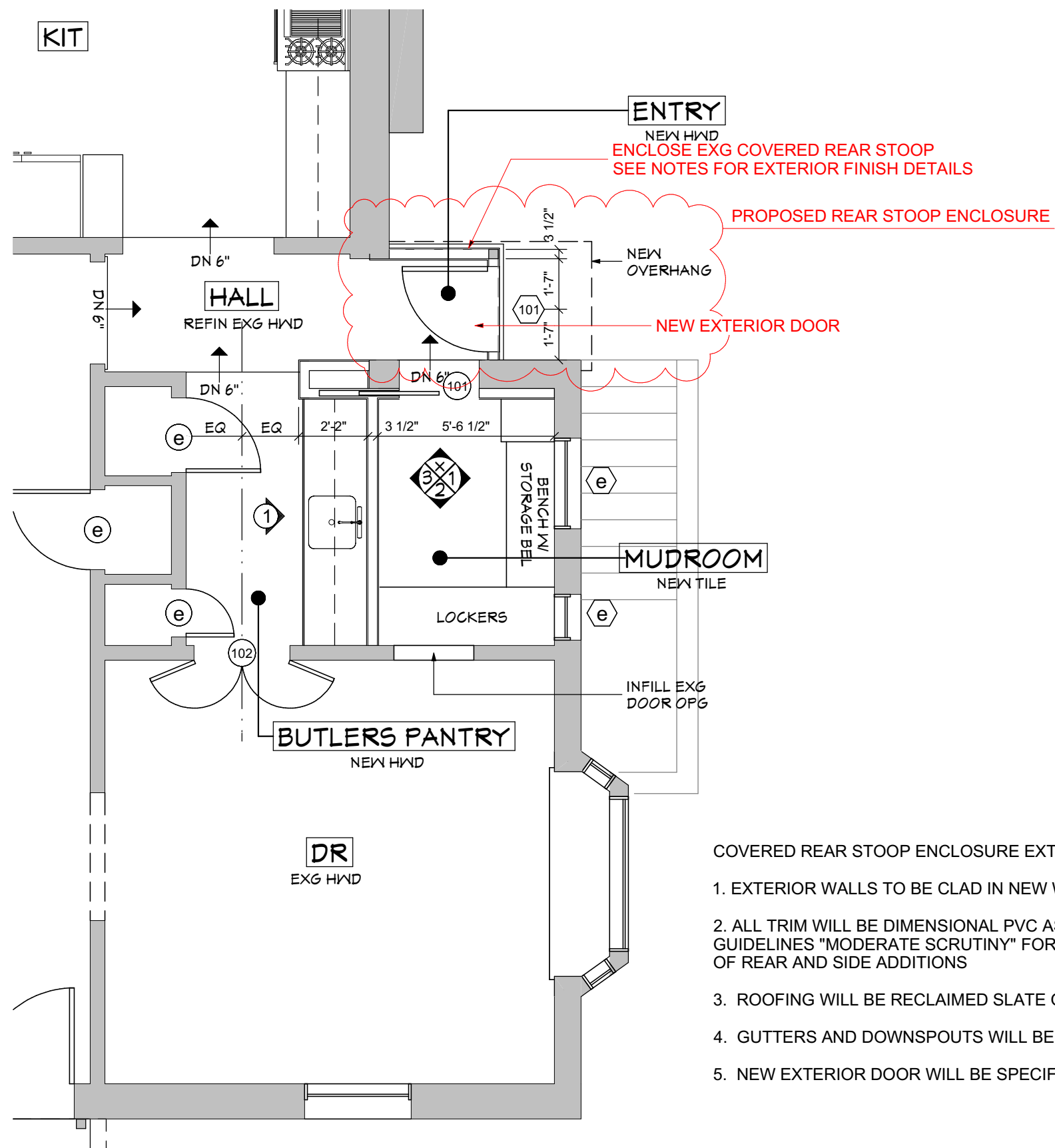


73' Random Lengths



To see product options or learn more about this product, go to timberbuild.com and search for: **Wood Bracket 14T6**



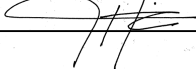
- COVERED REAR STOOP ENCLOSURE EXTERIOR FINISH NOTES:
1. EXTERIOR WALLS TO BE CLAD IN NEW WOOD SIDING TO MATCH THE EXISTING HOUSE
 2. ALL TRIM WILL BE DIMENSIONAL PVC AS IS ALLOWED BY GREENWICH FOREST HISTORICAL GUIDELINES "MODERATE SCRUTINY" FOR MATERIALS USED ON NON FORWARD- FACING PORTIONS OF REAR AND SIDE ADDITIONS
 3. ROOFING WILL BE RECLAIMED SLATE OR NEW SLATE LIKE THAT ON THE EXISTING HOUSE
 4. GUTTERS AND DOWNSPOUTS WILL BE COPPER MATCHING THE STYLE OF THE EXISTING HOUSE
 5. NEW EXTERIOR DOOR WILL BE SPECIFIED AND SPECIFICATION PROVIDED IF NECESSARY

REVIEWED
By Devon.Murtha at 4:35 pm, Apr 30, 2026

APPROVED

Montgomery County

Historic Preservation Commission



PROPOSED PLANS

CRONIN RESIDENCE
5605 YORK LANE
BETHESDA, MD 20814

Pagenstecher
DESIGN • BUILD G R O U P
10605 Concord Street, Suite One
Kensington, MD 20895 301.933.9305
[pagenstechergroup.com](http://www.pagenstechergroup.com)

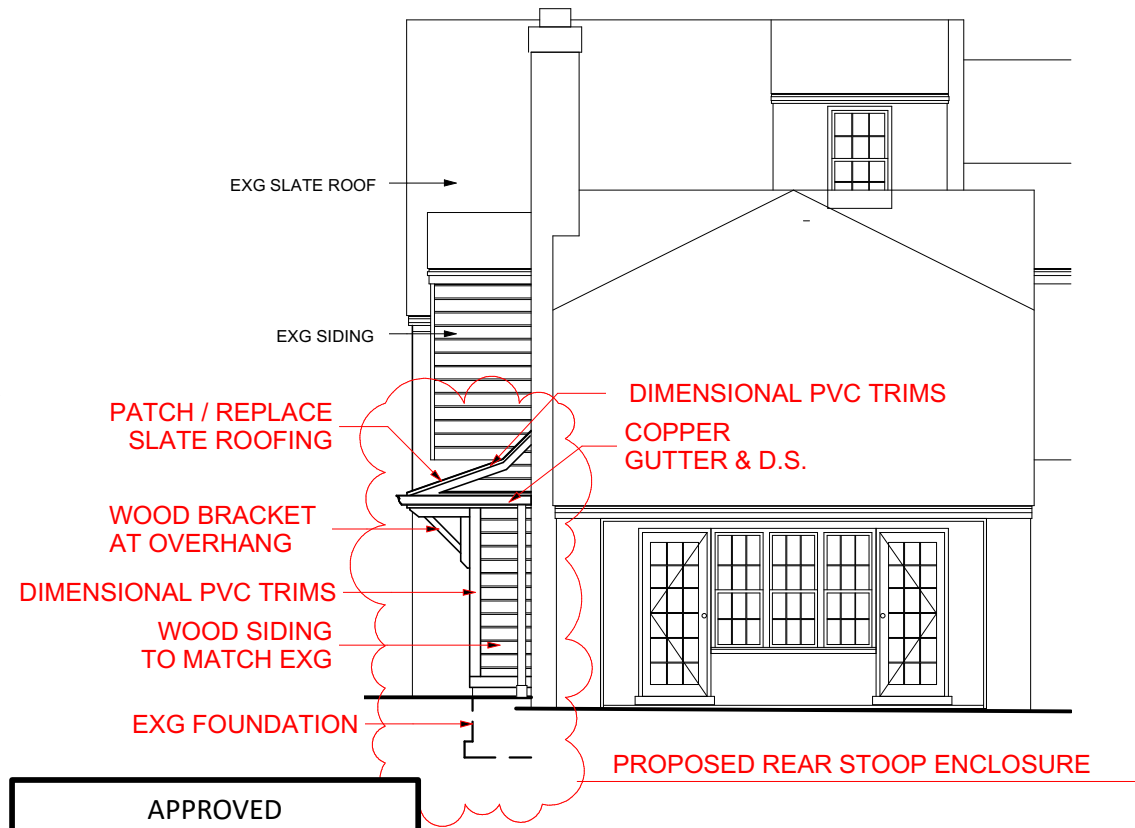
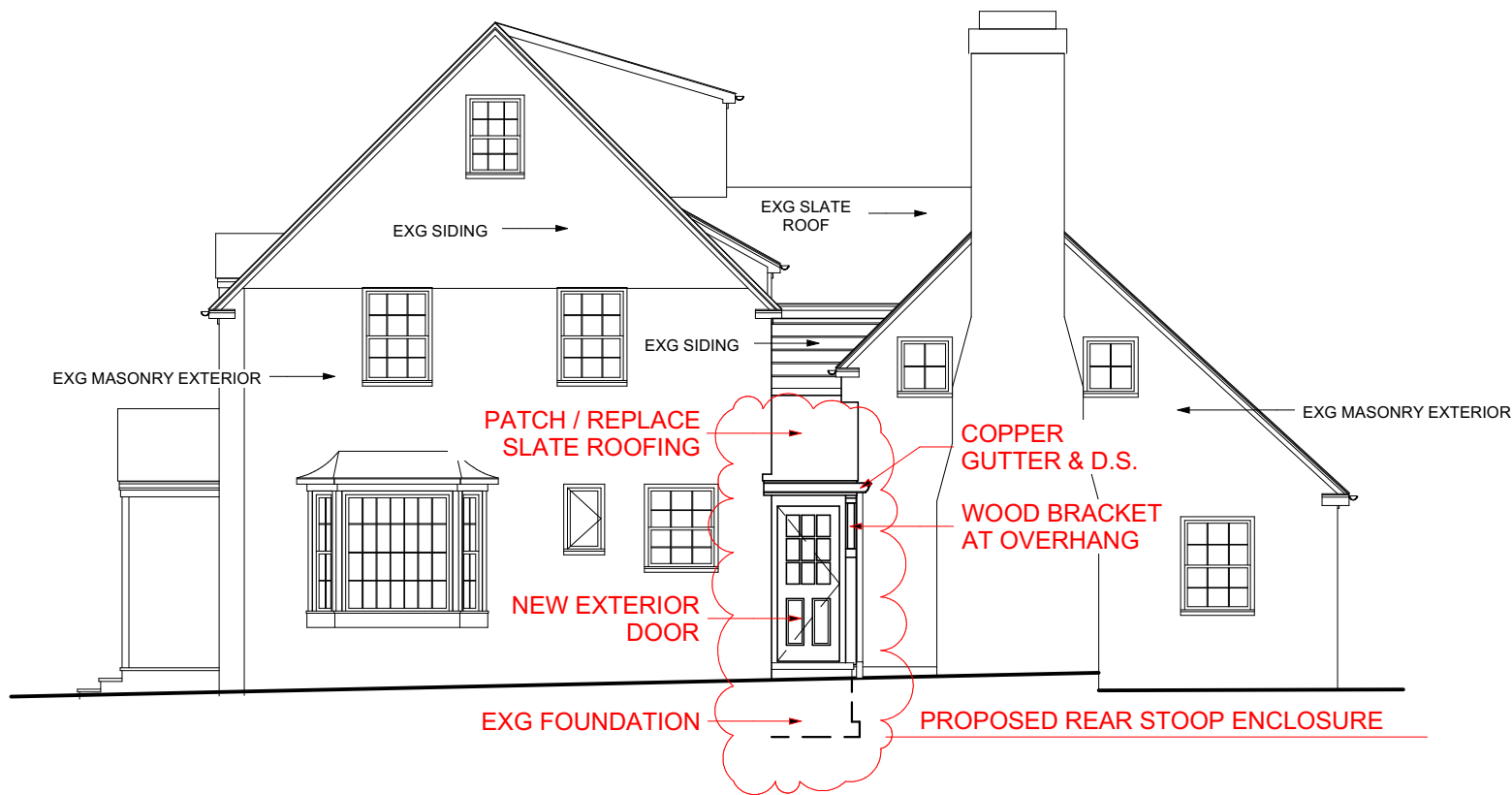
SHEET NUMBER

A002

02/10/2026

COVERED REAR STOOP ENCLOSURE EXTERIOR FINISH NOTES:

- 1. EXTERIOR WALLS TO BE CLAD IN NEW WOOD SIDING TO MATCH THE EXISTNG HOUSE
- 2. ALL TRIM WILL BE DIMENSIONAL PVC AS IS ALLOWED BY GREENWICH FOREST HISTORICAL GUIDELINES "MODERATE SCRUTINY" FOR MATERIALS USED ON NON FORWARD- FACING PORTIONS OF REAR AND SIDE ADDITIONS
- 3. ROOFING WILL BE RECLAIMED SLATE OR NEW SLATE LIKE THAT ON THE EXISTING HOUSE
- 4. GUTTERS AND DOWNSPOUTS WILL BE COPPER MATCHING THE STYLE OF THE EXISTING HOUSE
- 5. NEW EXTERIOR DOOR WILL BE SPECIFIED AND SPECIFICATION PROVIDED IF NECESSARY
- 6. PAINTED WOOD ORNAMENTAL OVERHANG BRACKET TO BE SPECIFIED AND SPECIFICATION PROVIDED IF NECESSARY



REVIEWED
By Devon.Murtha at 4:35 pm, Apr 30, 2026

1
A003

PROPOSED EXTERIOR ELEVATIONS

1/8" = 1'-0"