



## HISTORIC PRESERVATION COMMISSION

**Marc Elrich**  
*County Executive*

**Jeffrey Hains**  
*Chair*

July 8, 2026

TO: Rabbiah Sabbakhan  
Department of Permitting Services

FROM: Laura DiPasquale  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1151740– Window replacement, construction of rear addition, and deck alterations

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached applications for a Historic Area Work Permit (HAWP). This application was **approved with two (2) conditions** at the May 13, 2026 HPC meeting:

1. The applicant must submit shop drawings for both proposed installation types (full-frame and pocket replacements) showing the installation of the windows in elevation, section and plan. The drawings should depict how the new units will be installed within the existing exterior trim and/or show any new exterior trim, which should match the existing. The applicant must also submit final window elevation details consistent with the muntin pattern of the existing windows.
2. The applicant must submit a visual example of the proposed deck railing, if one is required by Code.

The HPC staff has reviewed and stamped the attached submission materials.

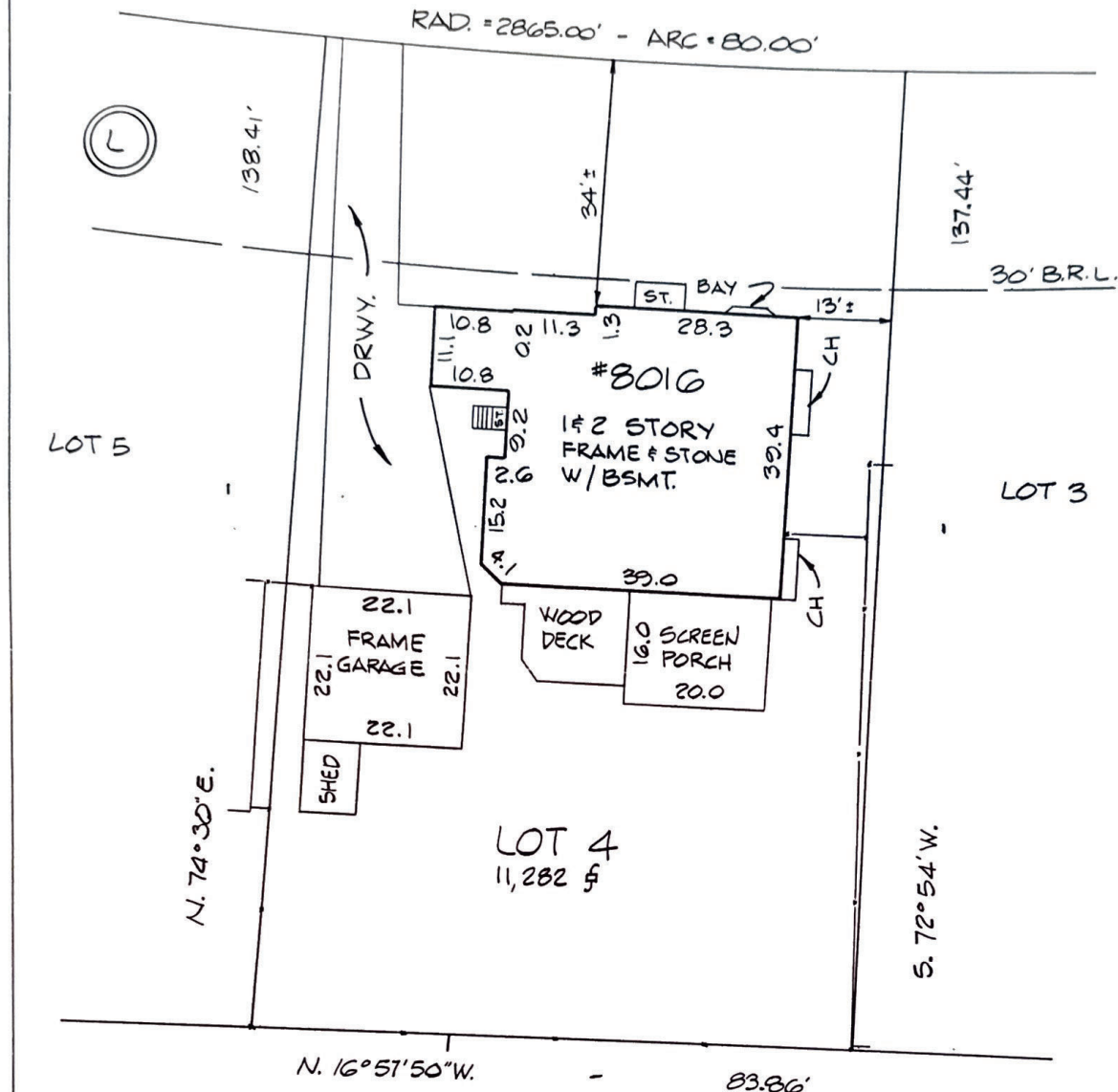
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Raymond P. Paretzky and Karen Zacharia (Jason Henry, Agent)  
Address: 8016 Hampden Lane, Bethesda

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or [laura.dipasquale@montgomeryplanning.org](mailto:laura.dipasquale@montgomeryplanning.org) to schedule a follow-up site visit.



# HAMPDEN LANE



**REVIEWED**

By Laura DiPasquale at 3:22 pm, Jul 08, 2026

Note: This property does not lie within the limits of a flood hazard area as shown on the maps of the National Flood Insurance Program, unless otherwise shown.  
NOTE: This survey prepared for title purposes only.

CAP

LOT 4

GREENWICH FOREST

MONTGOMERY COUNTY, MARYLAND

Recorded in Plat Book 10 Plat 722 Scale 1" = 20'

NOTE: This drawing is not intended to establish property lines. It cannot be used for construction purposes. All information shown hereon taken from the land records of the county or city in which the property is located and field work performed.

The position of all lines on the above described property have been established by accepted field practices, and that unless otherwise shown there are no visible encroachments.

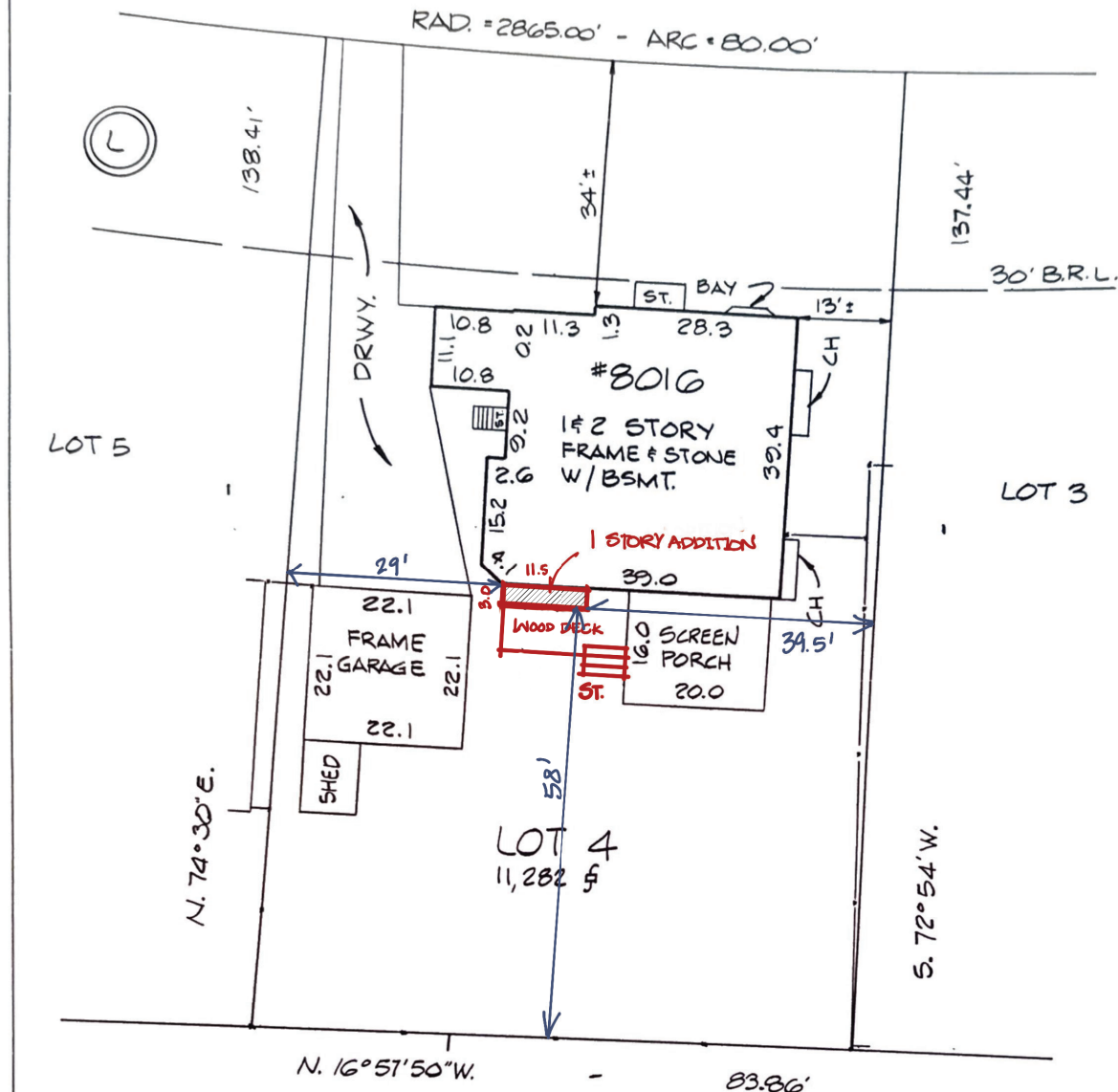
LOUIS COHEN  
Registered Land Surveyor  
Maryland No. 1961

DATE: NOV. 15, 1993

CASE: 249B-93

FILE: 48755

# HAMPDEN LANE



**REVIEWED**

By Laura DiPasquale at 3:23 pm, Jul 08, 2026

Note: This property does not lie within the limits of a flood hazard area as delineated on the maps of the National Flood Insurance Program, unless otherwise shown.  
NOTE: This survey prepared for title purposes only.

**CAPIT**

NOTE: This drawing is not intended to establish property lines. It cannot be used for construction purposes. All information shown hereon taken from the land records of the county or city in which the property is located and field work performed.

LOT 4

**GREENWICH FOREST**

MONTGOMERY COUNTY, MARYLAND

Recorded in Plat Book 10 Plat 722 Scale 1" = 20'

DATE: NOV. 15, 1993

CASE: 249B-93

FILE: 48755

**APPROVED**

Montgomery County

Historic Preservation Commission

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in the above  
established  
by accepted field practices, and that  
unless otherwise shown there are no  
visible encroachments

LOUIS COHEN  
Registered Land Surveyor  
Maryland No. 1961

BETHESDA, MARYLAND 20814

OWNERS: PARETZKY, RAYMOND P.  
ZACHARIA, KAREN  
MAILING ADDRESS: 8016 HAMPDEN LANE, BETHESDA, MD 20814  
DEED REFERENCE: 12077 / 00725

|                    |                                       |
|--------------------|---------------------------------------|
| PROPERTY LOCATION: | 8016 HAMPDEN LANE, BETHESDA, MD 20814 |
| LEGAL DESCRIPTION: | GREENWICH FOREST                      |
| MAP:               | HN13                                  |
| GRID:              | 0000                                  |
| PARCEL:            | 0000                                  |
| NEIGHBORHOOD:      | 7020026.16                            |
| SUBDIVISION:       | 0026                                  |
| BLOCK:             | L                                     |
| LOT:               | 4                                     |
| LAND USE CODE:     | SINGLE FAMILY, DETACHED               |
| LAND AREA:         | 11,282 SQ. FT.                        |
| ZONE:              |                                       |

|                          |                              |
|--------------------------|------------------------------|
| PRIMARY BUILDING         |                              |
| USE:                     | SINGLE FAMILY DWELLING (111) |
| STORIES:                 | 2                            |
| TYPE:                    | STANDARD UNIT                |
| EXTERIOR:                | FRAME                        |
| BASEMENT:                | YES                          |
| YEAR BUILT:              | 1937                         |
| ABOVE GRADE LIVING AREA: | 3,181 SQ. FT.                |
| FINISHED BASEMENT AREA:  | 470 SQ.FT.                   |
| BATHROOMS:               | 4 FULL / 1 HALF              |
| GARAGE:                  | 1 DETACHED                   |

| Residential Construction Design Parameters |                       |                         |            |                   |                   |                     |                                  |               |                                                          |                   |                  |
|--------------------------------------------|-----------------------|-------------------------|------------|-------------------|-------------------|---------------------|----------------------------------|---------------|----------------------------------------------------------|-------------------|------------------|
|                                            |                       | Subject To Damage From  |            |                   |                   | Winter Design Temp. | Ice Shield Underlayment Required | Flood Hazards | Air Freezing Index                                       | Mean Annual Temp. |                  |
| Ground Snow Load                           | Wind Speed            | Seismic Design Category | Weathering | Front Line Depth  | Termite           |                     |                                  |               |                                                          |                   | Decay            |
| 30 PSF<br>(1.4 kN/m <sup>2</sup> )         | 115 mph<br>(185 km/h) | B                       | Severe     | 30 in<br>(610 mm) | Moderate to heavy | Slight to moderate  | 13°F<br>(-10.6°C)                | Yes           | a) July 16, 1975<br>b) September 29, 2006<br>c) See note | 300               | 55°F<br>(12.8°C) |

THIS PROJECT WAS DESIGNED ACCORDING TO THE  
MONTGOMERY COUNTY CODE CHAPTER 8- BUILDINGS.  
THESE LOCAL BUILDING CODES REFERENCE THE FOLLOWING  
2021 INTERNATIONAL CODES AS PUBLISHED  
BY THE INTERNATIONAL CODE COUNCIL.

2021 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC),  
2021 IRC & IEBC AMENDMENTS 13-24  
2021 INTERNATIONAL ENERGY CONSERVATION CODE  
2021 INTERNATIONAL FUEL AND GAS CODE  
2021 INTERNATIONAL MECHANICAL CODE  
NFPA 70 NATIONAL ELECTRICAL CODE / 2017  
MONTGOMERY COUNTY CODE CHAPTER 8- BUILDINGS

| 6016 Hampden Lane  | Area<br>(sf) | Lo Coverage<br>(%)                                                                       |
|--------------------|--------------|------------------------------------------------------------------------------------------|
| House              |              |                                                                                          |
| Existing House     | 2119         |                                                                                          |
| Proposed Addition  | 35           |                                                                                          |
| Total House        | 2154         | 19.1%                                                                                    |
| Proposed Hardscape | 134          |                                                                                          |
| Total w/ Hardscape | 2288         | 20.3%                                                                                    |
| Site               | 11,282       |                                                                                          |
| Accessory Bldgs    |              |                                                                                          |
| Garage             | 450          |                                                                                          |
| Shed               | 120          | Need to confirm this size (not dimensioned on the plat)                                  |
| Total Accessory    | 608          | 5.4%                                                                                     |
| Total Lot Coverage |              | 24.5% (House + Accessory Structures)<br>25.7% (House + Hardscape + Accessory Structures) |

## PROVISIONS

**EXISTING CONDITIONS:**  
The Contractor shall, during the course of the Work, provide and maintain adequate protection for the interior of the existing residence or project, including floors, walls, and openings. Existing conditions and work remaining in place during construction under this Contract shall be restored to the condition prevailing at the time of the Contract award. The Contractor shall protect the adjoining property from damage.

**CLEANING UP:** The building and grounds shall be kept clean at all times. Trash and debris shall be removed daily and disposed of in legal landfill for the type of trash and debris being disposed of, or in recycling facility as appropriate. Contractor shall replace all broken glass; remove stains, spots, marks, and dirt from decorated work; clean all hardware and fixtures; and wash all tile and floors. The Contractor shall also comply with all special cleaning instructions contained in the Specifications. After completion of the contract and prior to receiving final payment, the Contractor shall remove from the premises all trash, tools, equipment, and excess materials. The building and grounds shall be left in clean condition.

**UNCOVERING OF WORK:** In addition to work required by the specifications to be left uncovered for the Architect's observation, the following work shall be left uncovered for his observation - Underground Piping, Interior Mechanical and Electrical, Sub-grade for Footings, Concrete Reinforcement, Base for Slabs, Waterproofing, Sub-grade for Pavements, Roof Decks and Roof Insulation. The Architect shall be notified at least five working days in advance of the time when the work will be ready for observation and shall either make his observation promptly or notify the Contractor that the work may be covered.

## CONTRACT STANDARDS AND PROCEDURES

**CONTRACT DOCUMENTS**  
The Drawings and Specifications herein provide graphic and written requirements for execution of the Work by the Contractor. They are intended to be used together and share equal force. Any discrepancies between them shall be reported to the Architect prior to commencing work. Where information is not provided, such as size, gauges, fasteners, spacing of members, and other similar specifications, it shall be the Contractor's sole responsibility to provide a code compliant installation in accordance with the manufacturer's recommendation.

DO NOT SCALE DRAWINGS. Refer to dimensions only. Verify new dimensions prior to installation of any work. Coordinate work in any area with the work of the other trades prior to any work. If dimensions are in question, the Contractor shall be responsible for obtaining clarification from the Architect before proceeding. All dimensions are to framing face, face of masonry, or centerline of columns unless otherwise indicated. All dimensions are given in feet and inches unless otherwise noted. Dimensions and notes for a given condition are typical for similar conditions unless otherwise noted or indicated. Titles, captions, headings, etc., are intended for general reference and are not intended to limit the work required in any way.

**RECORD DRAWINGS:** Contractor shall maintain on site a complete set of construction documents for the purpose of checking and recording all work, including changes in sizes locations and dimensions as well as any resulting from Change Orders, Bulletins or Field Orders. Record all concealed mechanical and electrical services by color code, including pipe, conduit, wire and cables and valves exactly as they are installed. Record principal dimensions of concealed work and any special notations such as valve numbers.

## CONTRACT EXECUTION

[illegible]

## SHOP DRAWINGS

Architect will review Shop Drawings, product data and samples. He/She shall mark each such submittal as follows:

- **APPROVED:** Where no comment is made.
- **APPROVED AS NOTED:** Where comments indicate on submittal qualifying, modifying, or otherwise changing it; however, submittal can be used for ordering, fabrication and erection at Contractor's own risk until revised submittals have been made reviewed and stamped acceptable.
- **REVISE AND RESUBMIT:** Submittal does not conform; revise and resubmit.
- **REJECTED:** The essential nature of the submittal needs to be addressed. Consult w/ Architect.

Approval does not authorize changes in the Contract Documents unless specifically stated in a separate letter or change order.

## SAMPLES

Each Contractor shall secure and deliver samples of all materials to be used in the work herein described, as required by the specifications and as reasonably requested by the Architect. All samples shall have the same finish as that to be used in the completed work.

## SCHEDULE

**DATES:** Work shall commence and be substantially completed as provided for in the Contract Documents.

**SCHEDULE:** Provide data and information regarding work operations, sequences, deliveries, lead times, dates, etc., as the Owner may require. Cooperate with Owner in the development of the schedule.

### CLOSING PROCEDURES

**FINANCIAL:** Contractor shall furnish ample evidence to Architect and Owner that all financial obligations have been met by presenting a notarized Release of Liens from all suppliers and subcontractors. The Contractor shall obtain from his surety (if any) a written statement releasing the Owner and Architect from any and all obligations which might arise out of any unpaid, defaulted or otherwise unsatisfied accounts.

**PUNCH LIST:** Contractor shall complete and correct all items on the punch list as originally issued and amended. If contemplating application for final payment, the Contractor shall schedule one week in advance with the Architect a joint inspection visit to the project to determine if the contract has been fully executed.

**RECORD DRAWINGS:** The Contractor shall deliver to the Owner these documents as required.

**GUARANTEES:**

All guarantees submitted should be executed as required herein. The Contractor will guarantee, for the period of one year from the date of substantial completion, all workmanship and materials, and shall repair or replace at no additional cost to the Owner any part thereof, which may become defective. In addition to his own guarantee, the Contractor shall furnish all of those specified.

OTHER DOCUMENTS HEREIN: Contractor shall furnish all schedules, instructions, etc., as is necessary to ensure safe and proper operation of the facilities of the building, and as specified herein. Contractor shall furnish reports of any and all tests and the performance of completed systems, as required in the specifications and all certificates of approval.

[illegible]

**PROFESSIONAL CERTIFICATION**  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME,  
AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND,  
LICENSE NUMBER: 21339  
EXPIRATION DATE: 11.20.2026



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**STRUCTURAL ENGINEER:**  
JZ Structural Consulting  
43130 Amberwood Plaza  
Suite 235  
Chantilly, VA 20152  
(703) 327-9912

Bethesa Contracting  
4304 East-West Hwy  
Bethesda, MD 20814  
(301) 656-9020

**HAMPDEN LANE HOUSE**  
**ADDITION | RENOVATION**  
8016 HAMPDEN LANE  
BETHESDA, MARYLAND  
20814

|       |            |
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| DATE  | ISSUE      |
| 04.26 | PERMIT SET |

COVER SHEET  
INFO | INDEX

A-001

By Laura DiPasquale at 3:23 pm, Jul 08, 2026

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I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME  
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**CLA**  
7923 Spotswood Drive  
Alexandria, VA  
22308  
(571) 245-2769  
claire@studio\_cia.com

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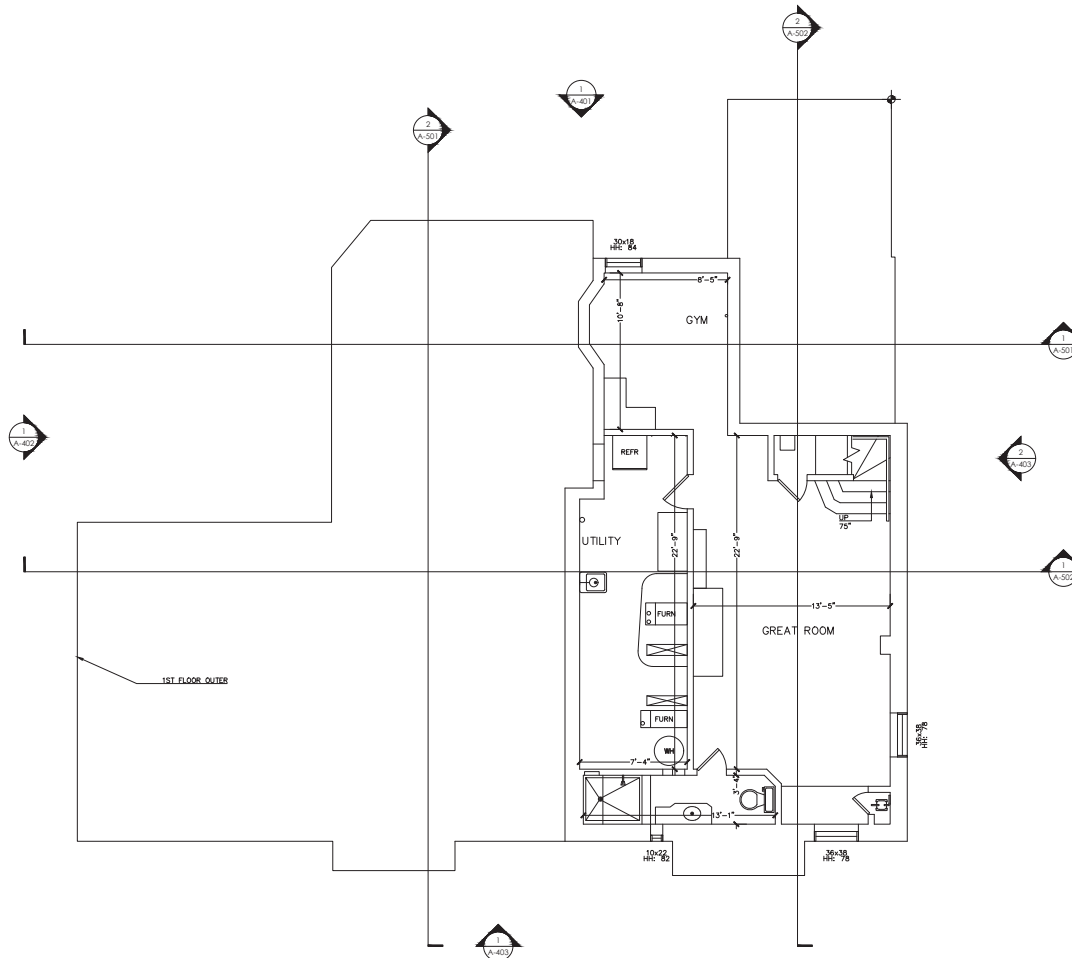
BUILDER:  
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(301) 456-9020

**HAMPDEN LANE HOUSE  
ADDITION | RENOVATION**  
8014 HAMPDEN LANE  
BETHESDA, MARYLAND  
20814

| DATE     | ISSUE      |
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**BASEMENT FLOOR PLAN  
EXISTING**

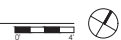
A-201



APPROVED  
Montgomery County  
Historic Preservation Commission

**REVIEWED**  
By Laura DiPasquale at 3:23 pm, Jul 08, 2026

EXISTING BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PROFESSIONAL CERTIFICATION  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME  
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EXPIRATION DATE: 11/20/2024

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7923 Spottwood Drive  
Alexandria, VA  
22308  
(571) 245-2769  
claire@studio-cla.com

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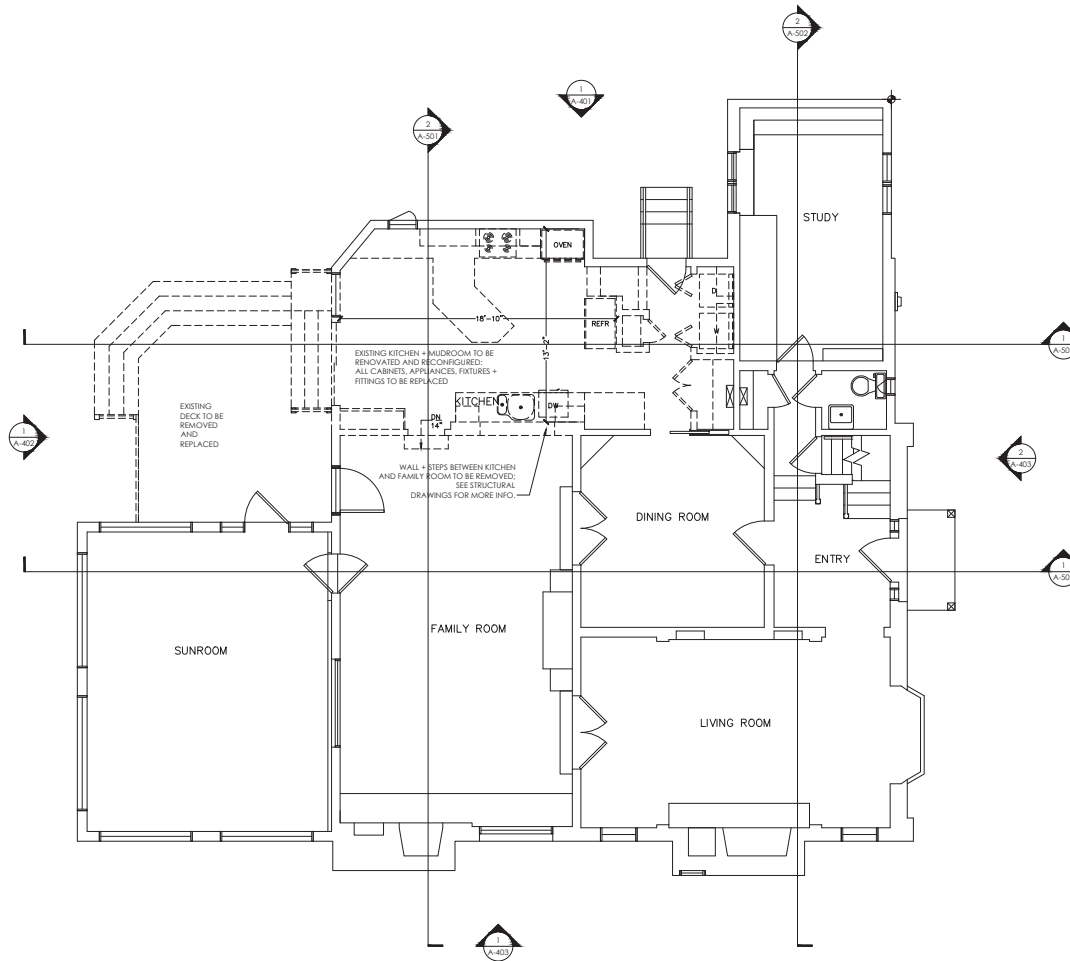
BUILDER:  
Bethesda Contracting  
4304 East West Hwy  
Bethesda, MD 20814  
(301) 456-9020

**HAMPDEN LANE HOUSE  
ADDITION / RENOVATION**  
8014 HAMPDEN LANE  
BETHESDA, MARYLAND  
20814

DATE ISSUE  
02/04/24 PERMIT SET

**FIRST FLOOR PLAN  
EXISTING**

A-202



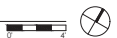
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Montgomery County  
Historic Preservation Commission

*[Signature]*

**REVIEWED**

By Laura DiPasquale at 3:23 pm, Jul 08, 2026

EXISTING FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**CLA**  
STUDIO  
ARCHITECTURE  
7923 Spotswood Drive  
Alexandria, VA  
22308  
(571) 243-5769  
claire@studio\_cla.com

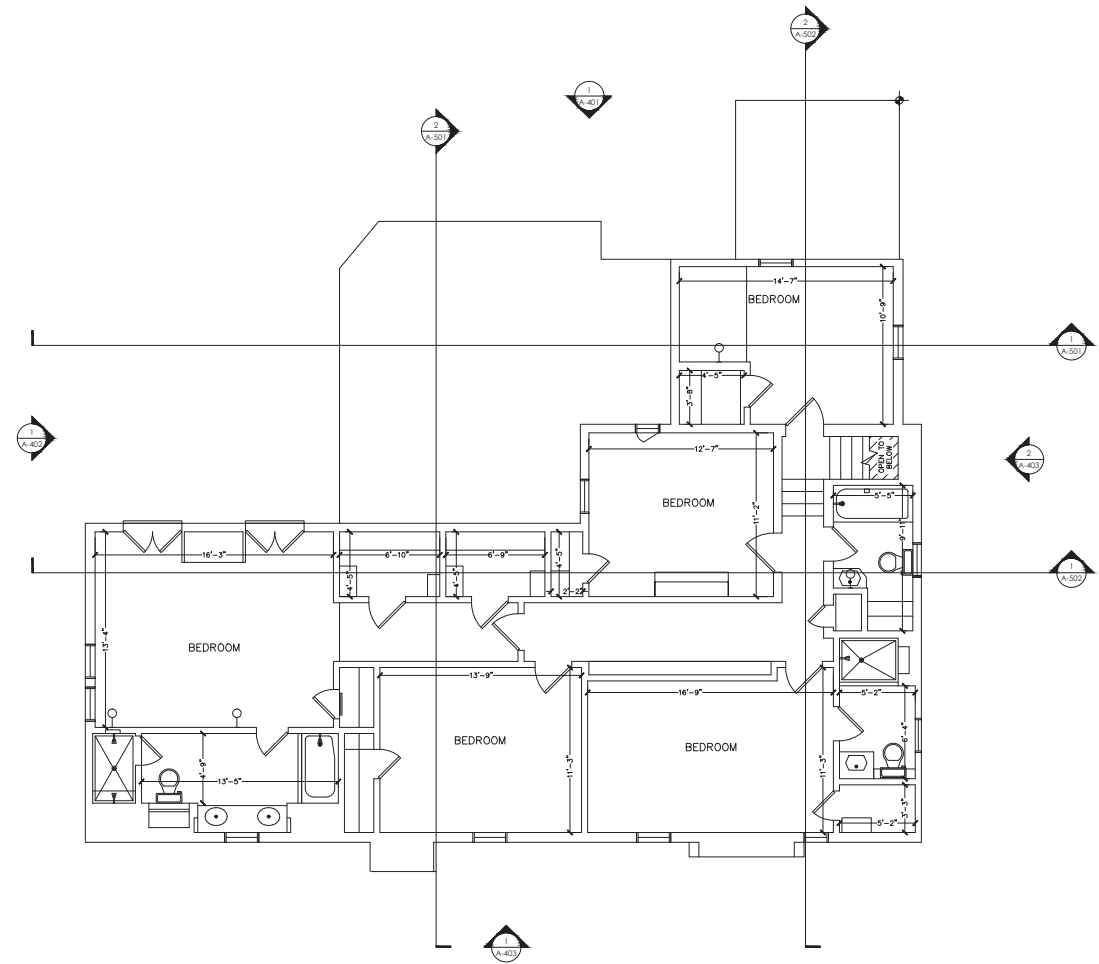
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Bethesda, MD 20814  
(301) 656-9020

**HAMPDEN LANE HOUSE**  
**ADDITION | RENOVATION**  
8016 HAMPDEN LANE  
BETHESDA, MARYLAND  
20814

[illegible]

**SECOND FLOOR PLAN**  
**EXISTING**

A-203



APPROVED

Montgomery County

Historic Preservation Commission



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**REVIEWED**  
By Laura DiPasquale at 3:23 pm, Jul 08, 2026

1  
A-203

EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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7923 Spotswood Drive  
Alexandria, VA  
22308  
(571) 243-5769  
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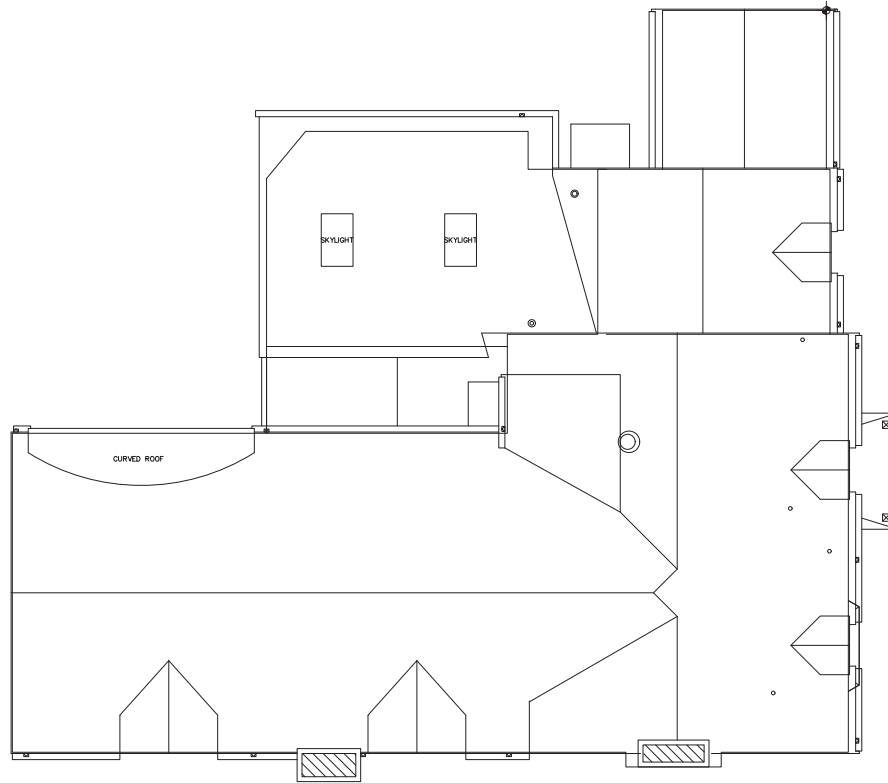
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**HAMPDEN LANE HOUSE**  
**ADDITION | RENOVATION**  
8016 HAMPDEN LANE  
BETHESDA, MARYLAND  
20814

[illegible]

**ROOF PLAN**  
**EXISTING**

A-204



APPROVED

Montgomery County

Historic Preservation Commission



**REVIEWED**  
By Laura DiPasquale at 3:23 pm, Jul 08, 2026

1  
A-204 EXISTING ROOF PLAN  
SCALE: 1/4" = 1'-0"



PROFESSIONAL CERTIFICATION  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME  
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LICENSE NUMBER: 21189  
EXPIRATION DATE: 11/26/2024

**RENOVATION NOTES**

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7923 Spotswood Drive  
Alexandria, VA  
22308  
(571) 245-2769  
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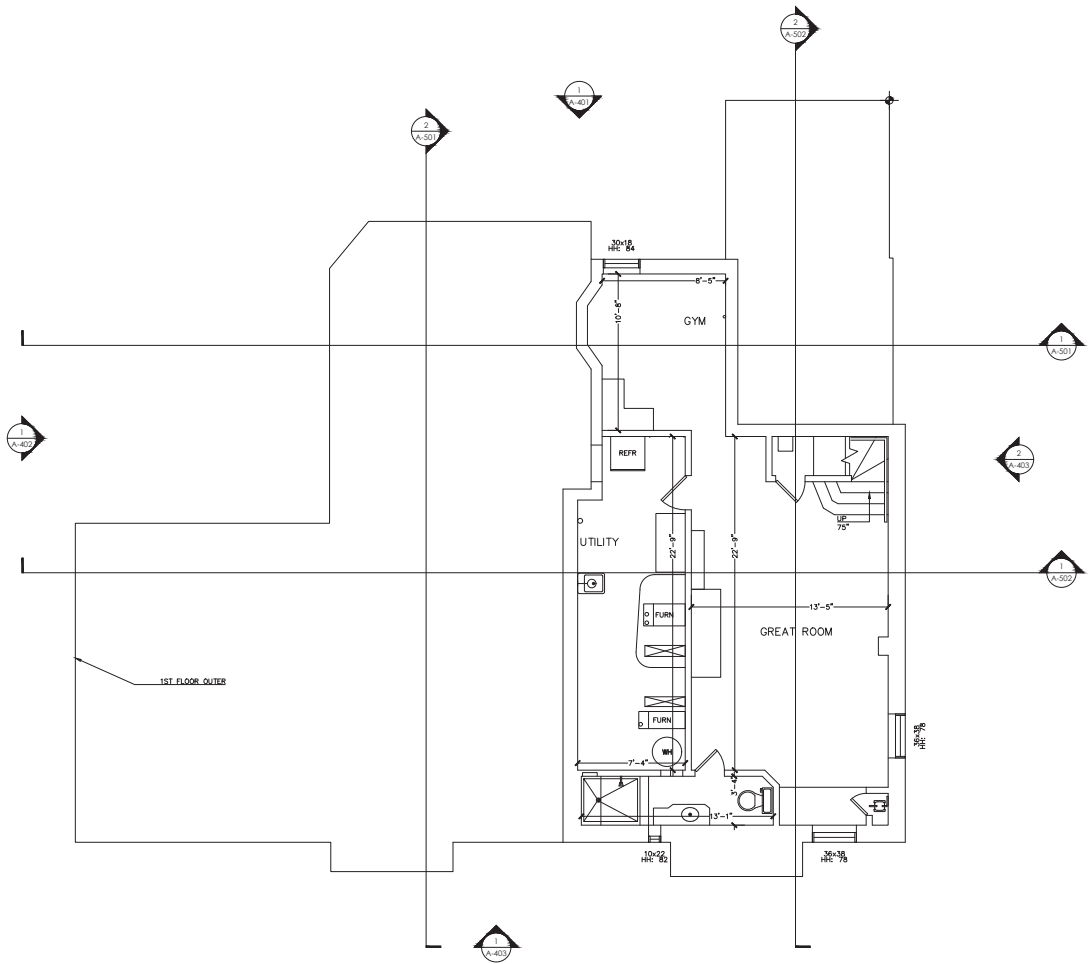
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**HAMPDEN LANE HOUSE  
ADDITION | RENOVATION**  
8014 HAMPDEN LANE  
BETHESDA, MARYLAND  
20814

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**BASEMENT FLOOR PLAN  
PROPOSED**

A-301



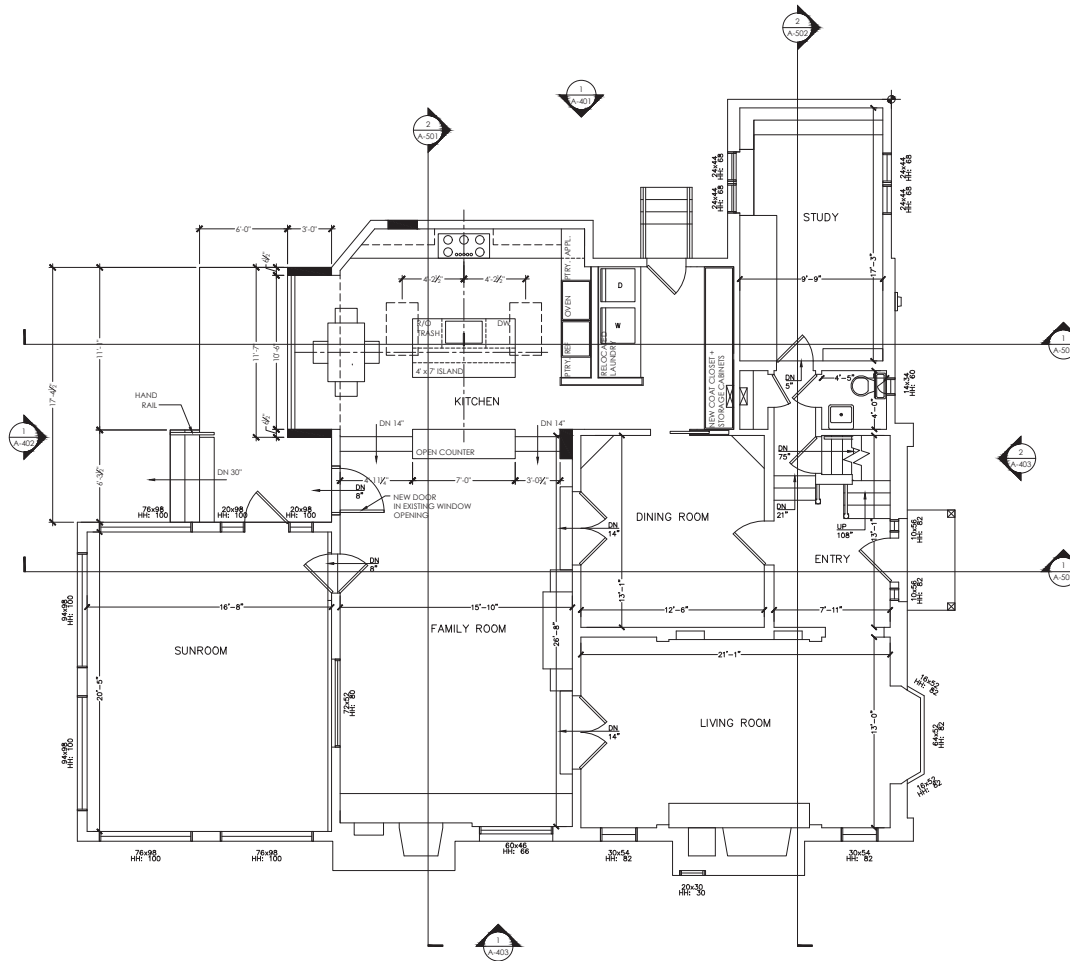
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Historic Preservation Commission

*[Signature]*

**REVIEWED**  
By Laura DiPasquale at 3:23 pm, Jul 08, 2026

PROPOSED BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"





APPROVED  
Montgomery County  
Historic Preservation Commission

**REVIEWED**  
By Laura DiPasquale at 3:23 pm, Jul 08, 2026

PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PROFESSIONAL CERTIFICATION  
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LICENSE NUMBER: 21109  
EXPIRATION DATE: 11/26/2024

**RENOVATION NOTES**

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7923 Spotswood Drive  
Alexandria, VA  
22308  
(571) 245-2769  
claire@studio\_cla.com

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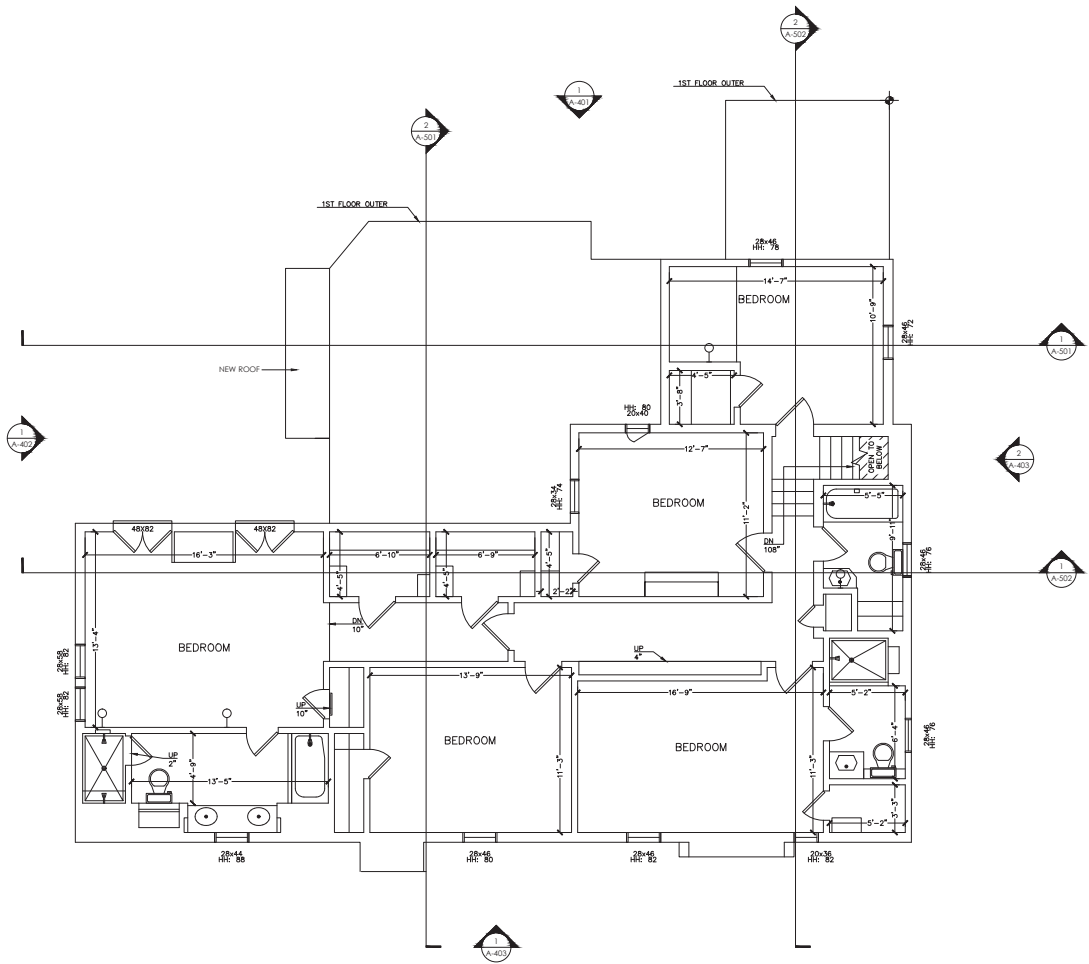
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**HAMPDEN LANE HOUSE  
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8014 HAMPDEN LANE  
BETHESDA, MARYLAND  
20814

| DATE     | ISSUE      |
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**SECOND FLOOR PLAN  
PROPOSED**

A-303



APPROVED  
Montgomery County  
Historic Preservation Commission

**REVIEWED**  
By Laura DiPasquale at 3:23 pm, Jul 08, 2026

PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PROFESSIONAL CERTIFICATION  
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LICENSE NUMBER: 21109  
EXPIRATION DATE: 11/26/2024

**RENOVATION NOTES**

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22308  
(571) 245-2769  
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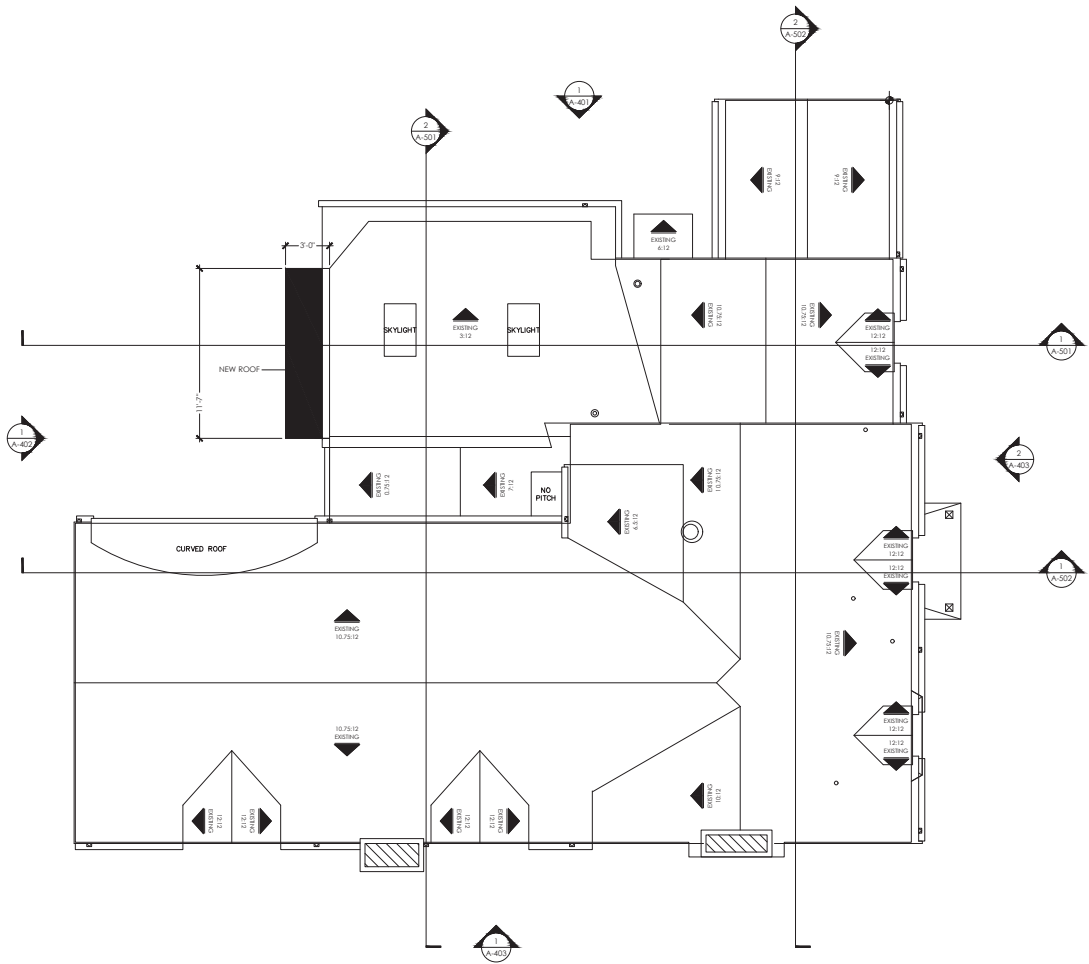
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**HAMPDEN LANE HOUSE  
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8014 HAMPDEN LANE  
BETHESDA, MARYLAND  
20814

| DATE     | ISSUE      |
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| 22.04.24 | PERMIT SET |
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**ROOF PLAN  
PROPOSED**

A-304



APPROVED  
Montgomery County  
Historic Preservation Commission

**REVIEWED**  
By Laura DiPasquale at 3:23 pm, Jul 08, 2026

PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"

INSULATION NOTES

| CLIMATE ZONE 4<br>Energy Efficiency Requirements (2021) |          |      |         |                            |                                  |
|---------------------------------------------------------|----------|------|---------|----------------------------|----------------------------------|
| Location                                                | U-Factor | HG/C | R-Value | This Project               | Method                           |
| Fenestration                                            | 0.30     | 0.40 |         | 0.30 U-Factor<br>0.40 SHGC | Aluminum Clad<br>Windows + Doors |
| Roofing                                                 | 0.05     |      |         | N/A                        |                                  |
| Ceiling                                                 |          | R-60 | R-60    |                            | Spray foam Insulation            |
| Floors<br>(Wood-Framing)                                |          | R-19 | R-19    |                            | Spray foam Insulation            |
| Walls<br>(Wood-Framing)                                 |          | R-30 | R-30    |                            | Spray foam Insulation            |
| Basement Wall                                           |          | R-13 | R-13    |                            | Rigid Insulation                 |
| Slab                                                    |          | R-13 | R-13    |                            | Rigid Insulation                 |



2  
A-401  
EXISTING NORTH (SIDE) ELEVATION  
SCALE: 1/4" = 1'-0"



APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

PROPOSED NORTH (SIDE) ELEVATION  
SCALE: 1/4" = 1'-0"



PROFESSIONAL CERTIFICATION  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME  
AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NUMBER: 21559  
EXPIRATION DATE: 11.30.2026

CLA  
7923 Spatiwood Drive  
Alexandria, VA  
22308  
(571) 545-5769  
claire@studio\_cla.com

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STRUCTURAL ENGINEER:  
JZ Structural Consulting  
43130 Amberwood Plaza  
Suite 235  
Charlottesville, VA 20152  
(703) 527-9912

BUILDER:  
Bethesda Contracting  
4304 East-West Hwy  
Bethesda, MD 20814  
(301) 656-9020

HAMPDEN LANE HOUSE  
ADDITION | RENOVATION  
8014 HAMPDEN LANE  
BETHESDA, MARYLAND  
20814

DATE: 02.04.26  
ISSUE: PERMIT SET

BUILDING ELEVATION  
EXISTING & PROPOSED

A-401

REVIEWED

By Laura DiPasquale at 3:23 pm, Jul 08, 2026

INSULATION NOTES

| CLIMATE ZONE 4<br>Energy Efficiency Requirements (2021) |          |      |         |                            |                                  |
|---------------------------------------------------------|----------|------|---------|----------------------------|----------------------------------|
| Location                                                | U-Factor | HG/C | R-Value | This Project               | Method                           |
| Fenestration                                            | 0.30     | 0.40 |         | 0.30 U-Factor<br>0.40 SHGC | Aluminum Clad<br>Windows + Doors |
| Skylights                                               | 0.30     |      |         | N/A                        |                                  |
| Ceiling                                                 |          |      | R-40    | R-40                       | Spray foam Insulation            |
| Floors<br>(Wood-Framing)                                |          |      | R-19    | R-19                       | Spray foam Insulation            |
| Walls<br>(Wood-Framing)                                 |          |      | R-30    | R-30                       | Spray foam Insulation            |
| Basement Wall                                           |          |      | R-13    | R-13                       | Rigid Insulation                 |
| Slab                                                    |          |      | R-13    | R-13                       | Rigid Insulation                 |



APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

**REVIEWED**  
By Laura DiPasquale at 3:23 pm, Jul 08, 2026

EXISTING WEST (REAR) ELEVATION  
SCALE: 1/4" = 1'-0"

PROPOSED WEST (REAR) ELEVATION  
SCALE: 1/4" = 1'-0"



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EXPIRATION DATE: 11.30.2026

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7923 Spotswood Drive  
Alexandria, VA  
22308  
(571) 543-5769  
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Suite 235  
Charlottesville, VA 22912  
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**HAMPDEN LANE HOUSE  
ADDITION | RENOVATION**  
8014 HAMPDEN LANE  
BETHESDA, MARYLAND  
20814

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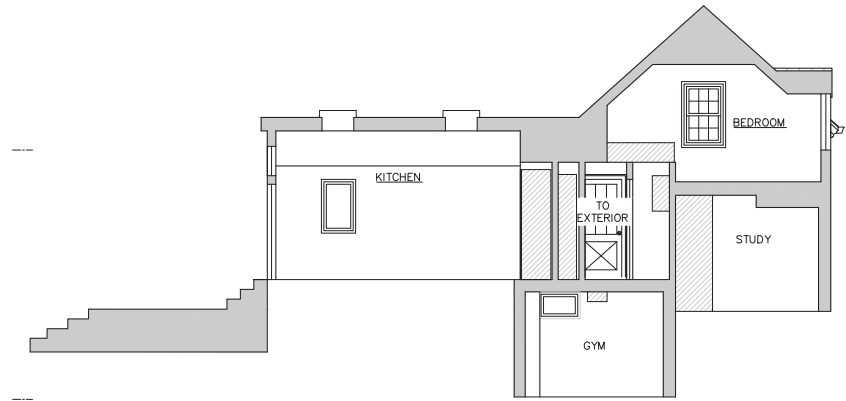
**BUILDING ELEVATION  
EXISTING & PROPOSED**

A-402

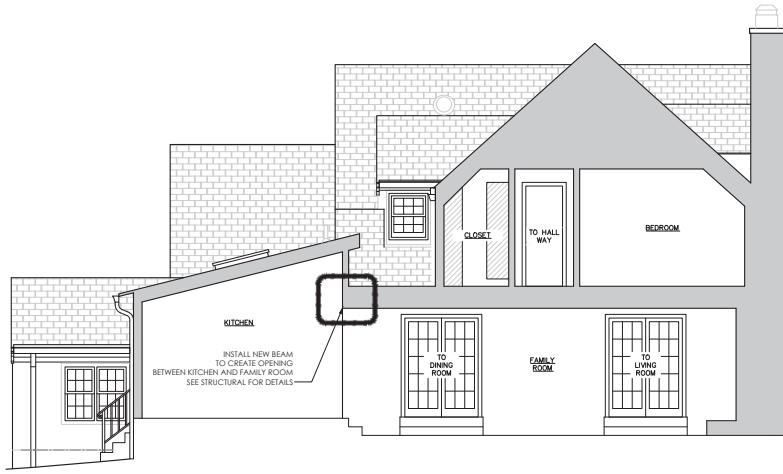




2  
A-501  
EXISTING BUILDING SECTION  
SCALE: 1/4" = 1'-0"



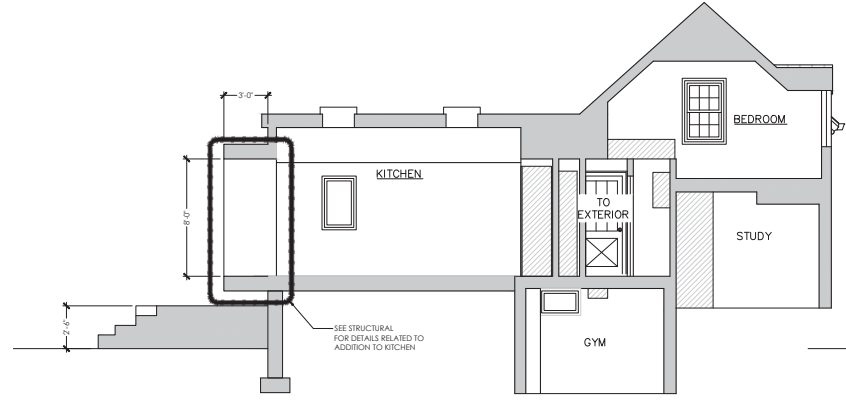
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A-501  
EXISTING BUILDING SECTION  
SCALE: 1/4" = 1'-0"



4  
A-501  
PROPOSED BUILDING SECTION  
SCALE: 1/4" = 1'-0"

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Historic Preservation Commission

*[Signature]*



3  
A-501  
PROPOSED BUILDING SECTION  
SCALE: 1/4" = 1'-0"

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Alexandria, VA 22308  
(571) 543-5769  
claire@studio\_cla.com

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**BUILDING ELEVATION  
EXISTING & PROPOSED**

A-501

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By Laura DiPasquale at 3:23 pm, Jul 08, 2026

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Suite 235  
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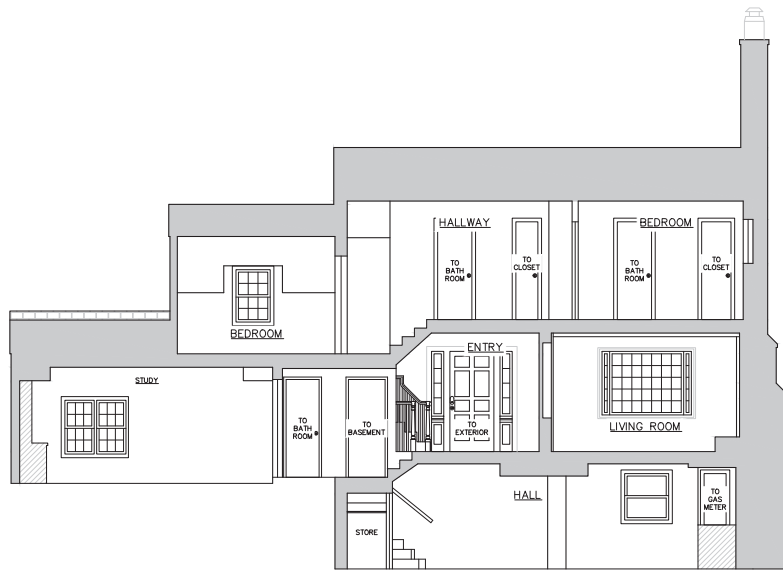
BUILDER:  
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Bethesda, MD 20814  
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**HAMPDEN LANE HOUSE  
ADDITION | RENOVATION**  
8014 HAMPDEN LANE  
BETHESDA, MARYLAND  
20814

| DATE     | ISSUE      |
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**BUILDING ELEVATION  
EXISTING & PROPOSED**

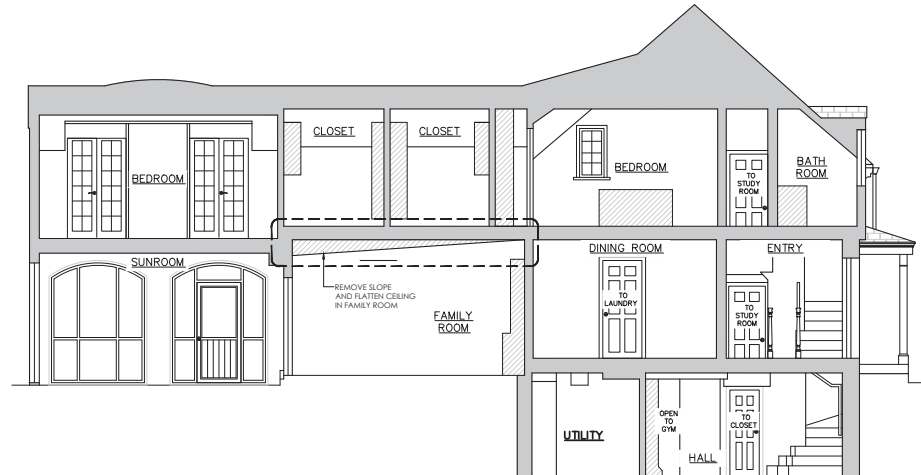
A-502



2  
A-502  
EXISTING BUILDING SECTION  
SCALE: 1/4" = 1'-0"



1  
A-502  
EXISTING BUILDING SECTION  
SCALE: 1/4" = 1'-0"



3  
A-502  
PROPOSED BUILDING SECTION  
SCALE: 1/4" = 1'-0"

**REVIEWED**  
By Laura DiPasquale at 3:23 pm, Jul 08, 2026

APPROVED  
Montgomery County  
Historic Preservation Commission

# STRUCTURAL NOTES

1. GENERAL
  - A. THE DECK AND HOUSE MODIFICATIONS ARE DESIGNED UNDER THE PROVISIONS OF THE 2021 IRC AS AMENDED BY MONTGOMERY COUNTY EXECUTIVE REGULATION NO. 13-24.
  - B. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:
 

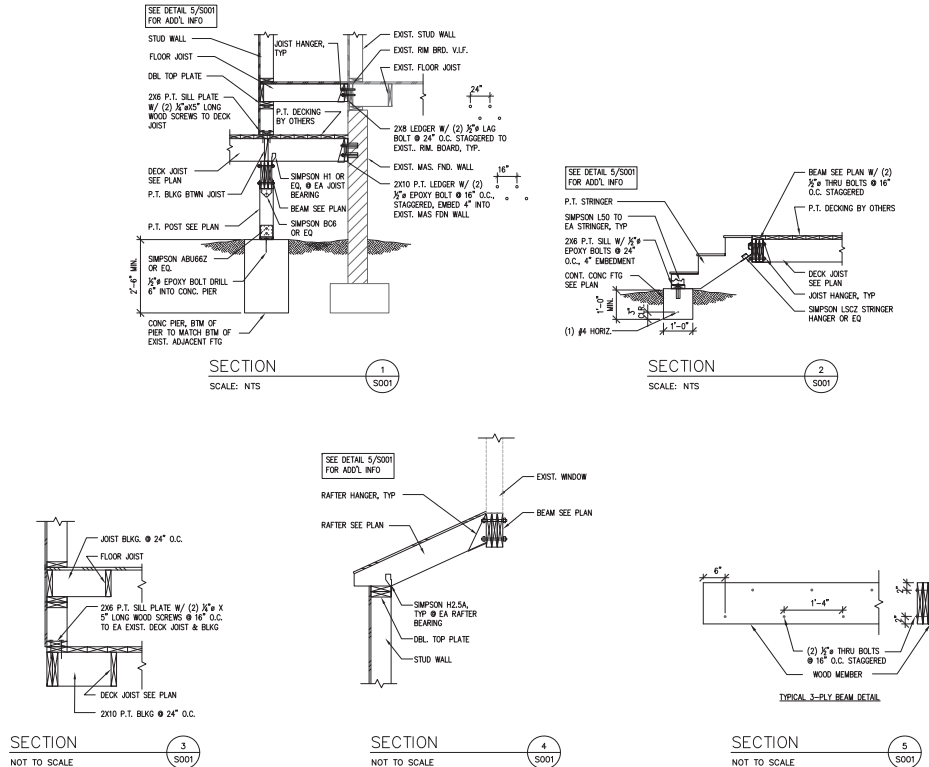
|                                                       |        |
|-------------------------------------------------------|--------|
| ROOF                                                  | 30 PSF |
| FLOOR                                                 | 40 PSF |
| ROOF SNOW LOAD                                        | 30 PSF |
| GROUND SNOW LOAD (P <sub>g</sub> )                    | 30 PSF |
| DEAD LOAD ARE USED AS FOLLOWS UNLESS NOTED OTHERWISE: |        |
| ROOF                                                  | 17 PSF |
| FLOOR                                                 | 10 PSF |
2. DEMOLITION
  - A. PROVIDE ADEQUATE SHORING, BRACING AND OTHER TEMPORARY SUPPORT DURING DEMOLITION.
  - B. UNTIL PROPERLY SHORED, DO NOT CUT EXISTING STRUCTURAL MEMBER IN A MANNER RESULTING IN A REDUCTION OF THE LOAD-CARRYING CAPACITY. DO NOT EXCEED THE CAPACITY OF THE EXISTING STRUCTURE WITH SUPERIMPOSED LOADS.
  - C. IN GENERAL, SELECTIVE STRUCTURAL DEMOLITION IS TO BE PERFORMED WITH PHYSICAL CUTTING ACTION (I.E. SAWING AND GRINDING INSTEAD OF HAMMERS AND CHIPPING). DO NOT USE JACKHAMMERS ON STRUCTURALLY SUPPORTED MEMBERS.
  - D. CONTRACTOR SHALL VERIFY THAT EXISTING CONSTRUCTION CORRESPONDS TO THAT SHOWN ON THE DRAWINGS. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
3. WOOD
  - A. ALL FRAMING LUMBER SHALL BE HEU-FIR, GRADE #2, OR SPRUCE -PINE-FIR GRADE #2, OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:
    - BENDING STRESS "F<sub>b</sub>" = 850 PSI FOR SINGLE MEMBER USE
    - HORIZONTAL SHEAR "F<sub>v</sub>" = 135 PSI
    - COMPRESSION PERPENDICULAR TO GRAIN "F<sub>c⊥</sub>" = 405 PSI
    - COMPRESSION PARALLEL TO GRAIN "F<sub>c||</sub>" = 1,150 PSI
    - MODULUS OF ELASTICITY "E" = 1,300,000 PSI
  - NOTE: SPRUCE-PINE-FIR (SOUTHWEST) IS NOT ACCEPTABLE. SPRUCE-PINE-FIR MUST BE GRADED BY NDLA.
  - B. ALL EXTERIOR FRAMING SHALL BE PRESSURE-TREATED. FRAMING SHALL BE PRESSURE-TREATED WITH ALKALINE COPPER QUAT (ACQ) OR COPPER AZOLE (CBA-A AND CA-B), NOT SODIUM BORATE (EXEL). LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE 2, OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2X12 LUMBER):
    - BENDING STRESS "F<sub>b</sub>" = 750 PSI FOR SINGLE MEMBER USE
    - HORIZONTAL SHEAR "F<sub>v</sub>" = 90 PSI
    - COMPRESSION PERPENDICULAR TO GRAIN "F<sub>c⊥</sub>" = 565 PSI
    - COMPRESSION PARALLEL TO GRAIN "F<sub>c||</sub>" = 1,250 PSI
    - MODULUS OF ELASTICITY "E" = 1,400,000 PSI
  - C. PLYWOOD LAMINATED (MICROLAM OR LVL) BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
    - BENDING STRESS "F<sub>b</sub>" = 2600 PSI
    - HORIZONTAL SHEAR "F<sub>v</sub>" = 250 PSI
    - MODULUS OF ELASTICITY "E" = 1,900,000 PSI
  - D. ALL WALL STUDS SHALL BE SPF STUD GRADE OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:
    - COMPRESSION PARALLEL TO GRAIN "F<sub>c||</sub>" = 625 PSI
    - BENDING STRESS "F<sub>b</sub>" = 725 PSI FOR SINGLE USE MEMBERS
    - MODULUS OF ELASTICITY "E" = 1,200,000 PSI
  - E. UNLESS NOTED OTHERWISE, FASTENING FOR STRUCTURAL MEMBERS SHALL FOLLOW INTERNATIONAL RESIDENTIAL CODE TABLE (IRC20.20).
  - F. PREFABRICATED JOIST HANGERS, BEAM HANGERS, POST CAPS AND POST BASES SHALL BE SIZED AND ATTACHED PER MANUFACTURERS RECOMMENDATION. FASTENERS AND CONNECTORS UTILIZED WITH PRESSURE-TREATED MEMBERS SHALL MEET G185 GALVANIZING.

- G. ANCHOR BOLTS CONNECTING PRESSURE-TREATED WOOD PLATES TO FOUNDATIONS, MASONRY WALLS, OR CONCRETE SLABS SHALL BE HOT-DIPPED GALVANIZED.
- H. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED 1/3 OF STUD WIDTH.
- I. ALL STUD BEARING WALLS TO BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND 1 CONTINUOUS BOTTOM PLATE. SPICES OF TOP PLATE SHALL OCCUR OVER STUD. SPICES SHALL BE STAGGERED A MINIMUM OF TWO FEET.
- J. ALL ROOF RAFTERS AND TRUSSES SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR. EACH ANCHOR SHALL BE 18 GAGE MINIMUM THICK AND SHALL BE ATTACHED TO HAVE A CAPACITY TO RESIST A 450# UPLIFT LOADING UNLESS SHOWN OTHERWISE ON DRAWINGS.

4. SHEATHING
  - A. FLOOR SHEATHING SHALL BE 23/32 (1/4) INCH APA RATED SURO-1 FLOOR, TONGUE AND GROOVE, PLYWOOD, OR EQUAL. PANELS SHALL HAVE LONG DIMENSION ORIENTED ACROSS THREE OR MORE JOISTS AND SHALL BE FASTENED WITH CONSTRUCTION ADHESIVE AND 8d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOCKED.
  - B. ROOF SHEATHING SHALL BE 15/32 (1/2) INCH APA RATED WOOD PANELS WITH THE SPAN RATING OF 24/0 OR BETTER. FASTEN PANELS TO FRAMING WITH 8d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. ORIENT LONG DIMENSION OF PANELS ACROSS THREE OR MORE SUPPORTS. EDGES NEED NOT BE BLOCKED, UNLESS OTHERWISE NOTED.
  - C. ALL EXTERIOR WALL SHEATHING SHALL BE BRACED IN ACCORDANCE REG20.4 RC 2021 AS FOLLOWS:
    - 1) UOLN EXTERIOR SHEATHING SHALL BE AS FOLLOWS:
      - 2X4 MIN. SPF (STUD GRADE) SPACED @ 16" O.C. MAX.
      - EXTERIOR WALL SHEATHING - 4" OSB OR PLYWOOD
      - FASTENERS - 8d x 2-2" LONG NAILS @ 6" O.C. @ PANEL EDGES & 12" O.C. @ INTERMEDIATE SUPPORTS

5. EARTHWORK
  - A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 3000 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.
  - B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE, WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.

6. CONCRETE
  - A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (F'<sub>c</sub>) = 3000 PSI IN 28 DAYS. EXTERIOR SLABS SHALL HAVE A MINIMUM STRENGTH OF 3500 PSI. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATIONS. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.
  - B. ALL REINFORCING STEEL TO MEET ASTM-A-615 GRADE 60. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES". FURNISH SUPPORT BARS AND ALL REQUIRED ACCESSORIES IN ACCORDANCE WITH C.R.S.S. STANDARDS. ALL REINFORCING TO BE SPLICED A MINIMUM OF 30 BAR DIAMETERS.
  - C. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:
    - BEAMS EXPOSED TO WEATHER 2"
    - FOOTINGS (BOTTOM) 3"
    - WALLS 1-1/2"



**REVIEWED**  
By Laura DiPasquale at 3:23 pm, Jul 08, 2026

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

**JZSC**  
JZ STRUCTURAL CONSULTING INC.

43130 Amberwood Plaza,  
#235  
Chantilly, VA 20152

www.jzstructure.com  
PH: (703) 327-9912  
FAX: (703) 327-8285

**8016 HAMPDEN LANE,  
BETHESDA, MD 20814**

**Structural Design**

Job #  
Date: 01/19/2026 Issue: PERMIT SET

REVISION



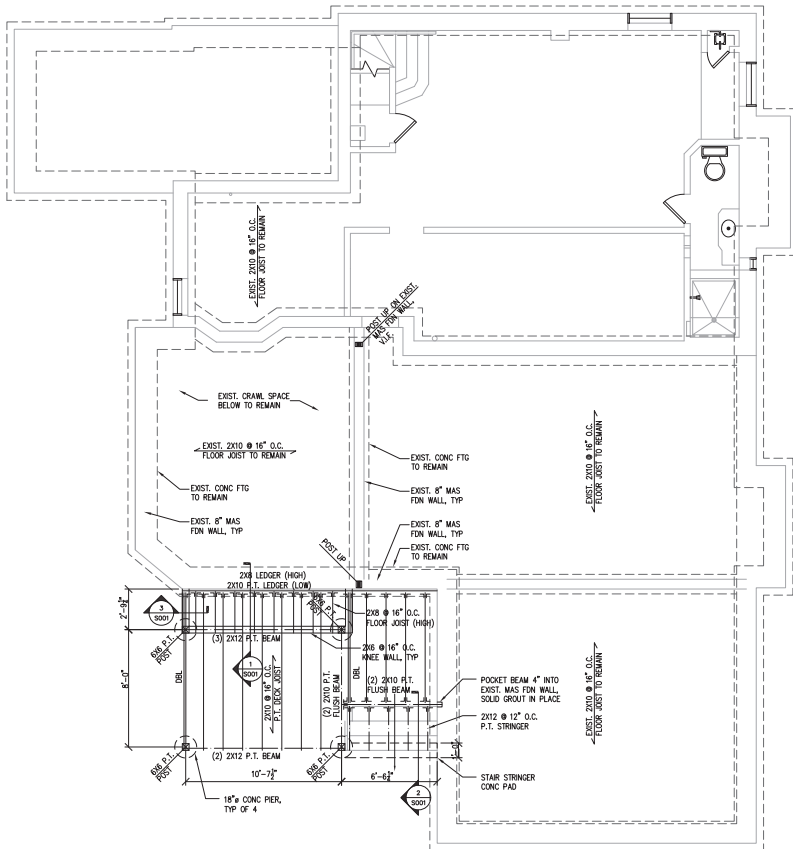
I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the law of the State of Maryland, License No. 22263, Expiration Date: 05/05/2027.

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Scale: AS NOTED  
Sheet Title:

NOTES & DETAILS

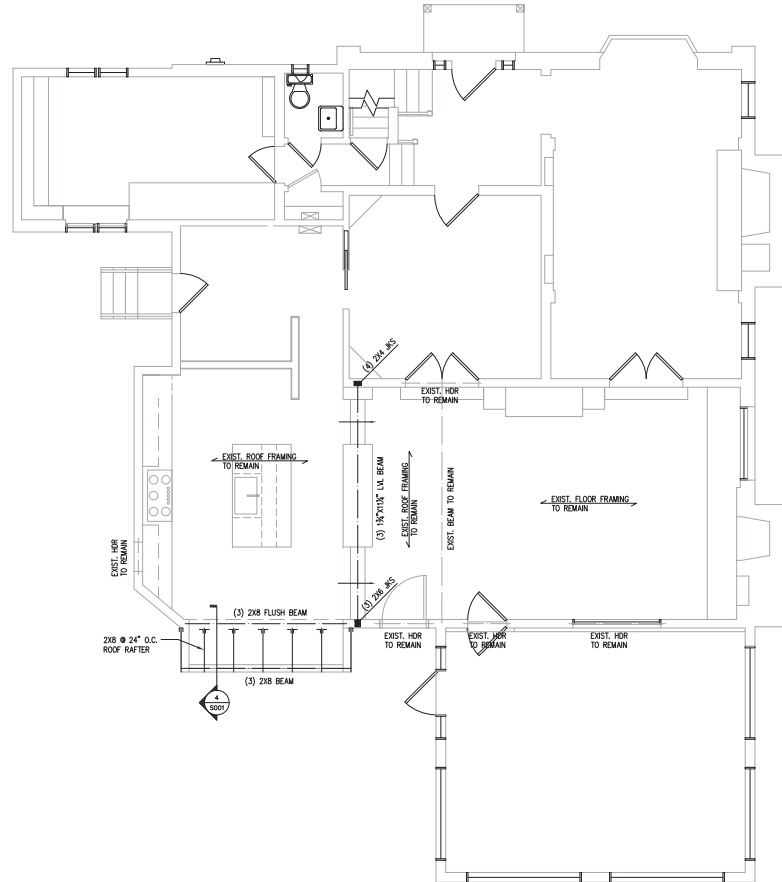
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**S001**



**FOUNDATION/ 1ST FLOOR FRAMING PLAN**  
**1/4" = 1'-0"**

NOTES:  
 1) UNO, PROVIDE IN-FLOOR SQUASH BLOCKS UNDER ALL POSTS TO ENSURE CONTINUOUS LOAD BEARING.



**2ND FLOOR/ LOW ROOF FRAMING PLAN**  
**1/4" = 1'-0"**

NOTES:  
 1) UNO, ALL BEAMS AND HEADERS TO BE DROPPED.  
 2) UNO, ALL EXTERIOR WALL TO BE 2x4 STUDS @ 16" O.C.  
 3) UNO, PROVIDE (2) 2x6 (ONE KING & ONE JACK) @ EACH END OF HEADER.

**REVIEWED**  
 By Laura DiPasquale at 3:23 pm, Jul 08, 2026

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Structural Design

Job #

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 Scale: AS NOTED

Sheet Title:  
**FOUNDATION, 1ST, 2ND FLOOR, & LOW ROOF FRAMING PLANS**

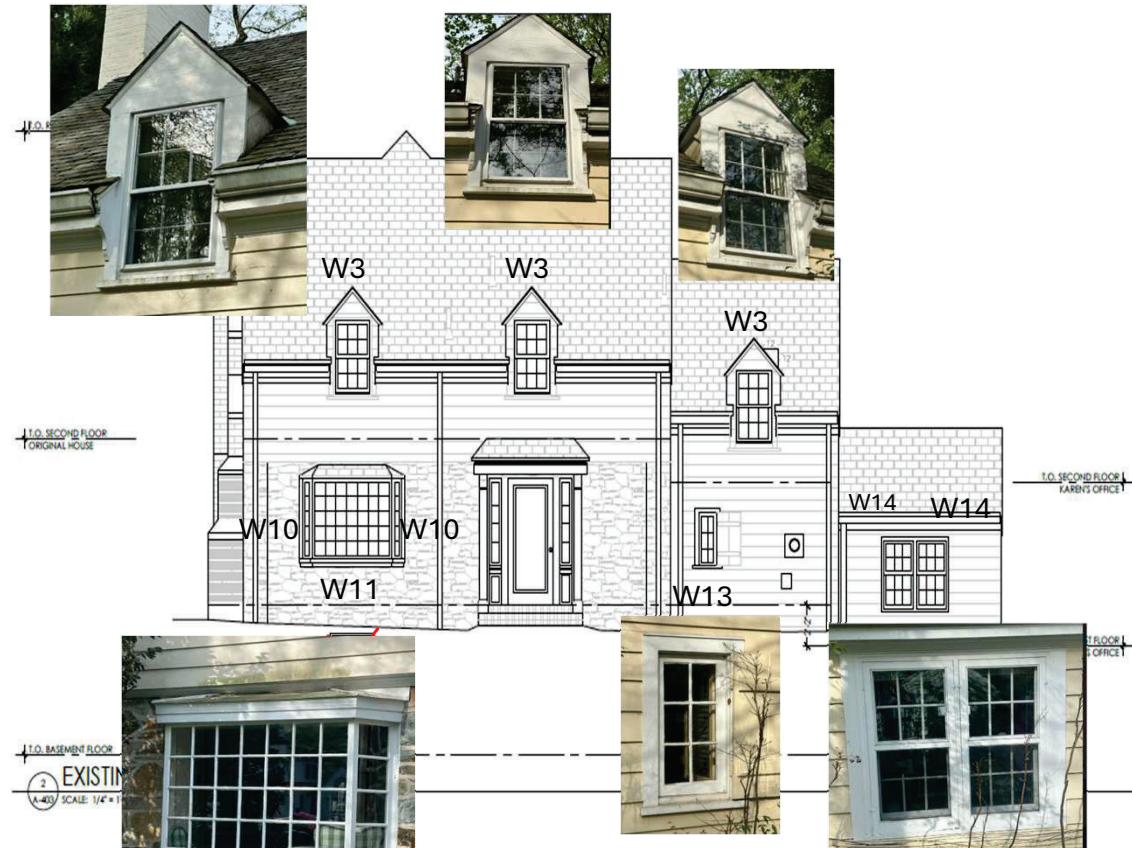
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**S002**



## Front Elevation- Full Frame Replacements

- Front Door to remain.
- Front Bay window to remain (W 10, W11)



**REVIEWED**

By Laura DiPasquale at 3:23 pm, Jul 08, 2026

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**

By Laura DiPasquale at 3:23 pm, Jul 08, 2026

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*[Signature]*



Rear Elevation- Replacements, New Construction on the bumpout



Window 18 to Remain

**REVIEWED**

By Laura DiPasquale at 3:23 pm, Jul 08, 2026

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Historic Preservation Commission



NG NORTH (SIDE) ELEVATION  
1'-0"

**REVIEWED**

By Laura DiPasquale at 3:23 pm, Jul 08, 2026



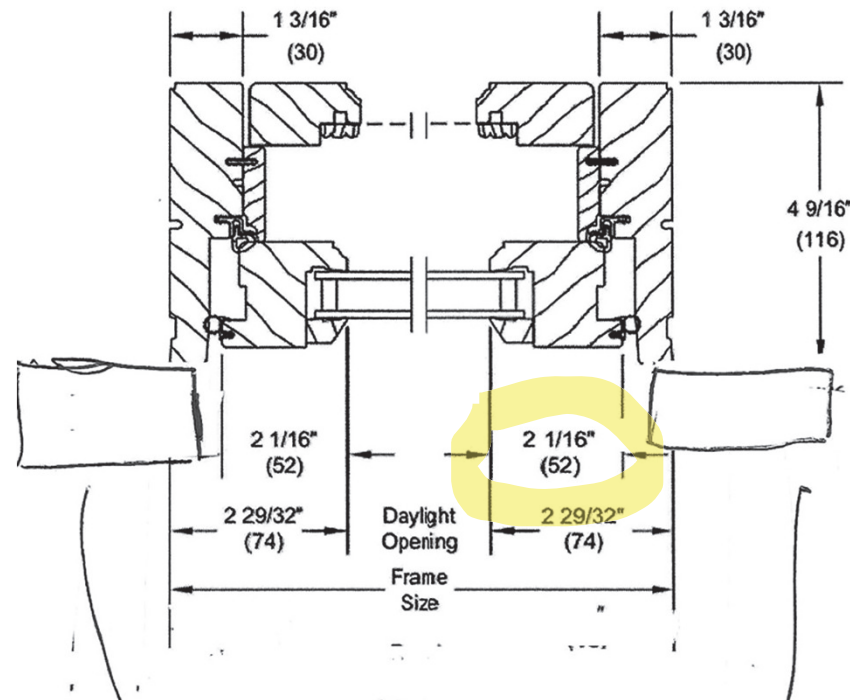
Casements:

Windows 2 and 13

Existing: Roughly 2-1/2" from trim to glass,  
7/8" spacer bars



New :



**REVIEWED**

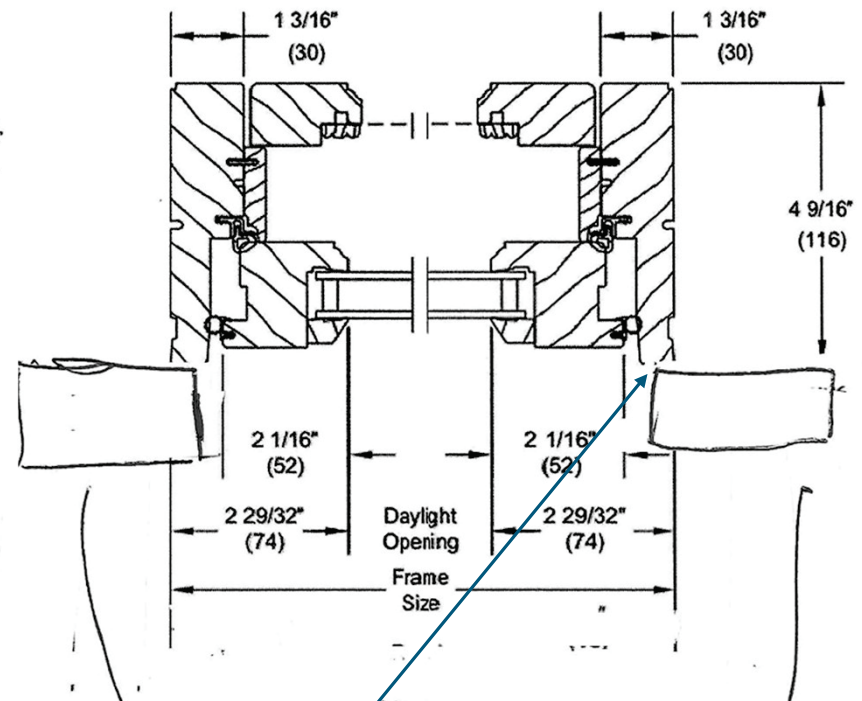
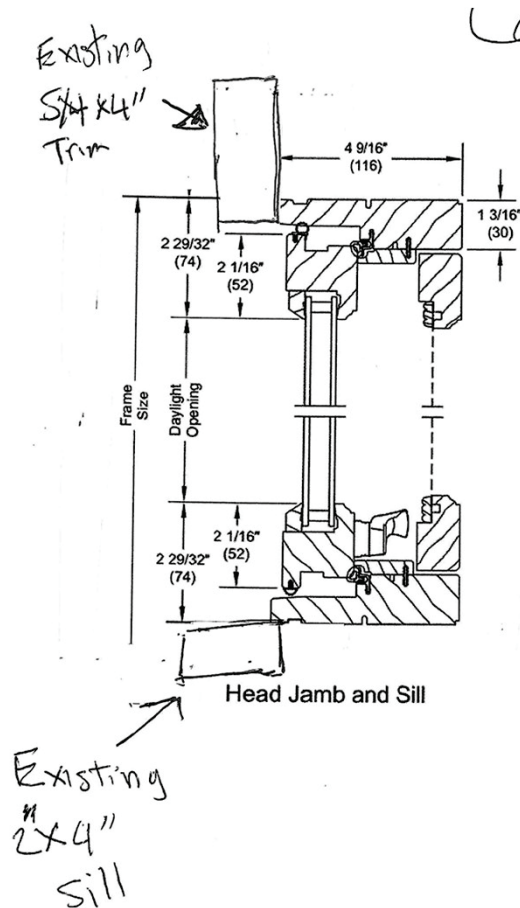
By Laura DiPasquale at 3:23 pm, Jul 08, 2026

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Casements:  
Windows 2 and 13



Approximately 1/4 set back to sash, trim reveal to window frame to remain 1/8", existing 5/4" x 4"

**REVIEWED**

By Laura DiPasquale at 3:23 pm, Jul 08, 2026

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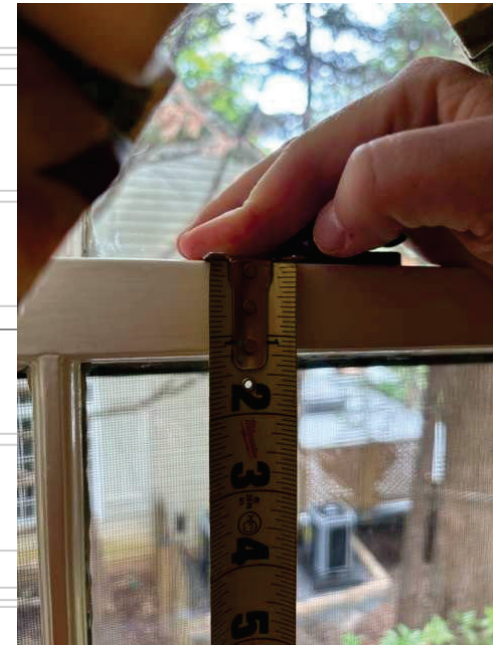
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Double Hungs:  
Original Windows or very old replacements : W1,3,4,5,9,17

Existing Sash



Existing Spacerbars and check rail



**REVIEWED**

By Laura DiPasquale at 3:23 pm, Jul 08, 2026

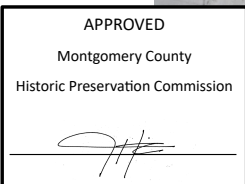
## Double Hungs:

Original Windows or very old replacements : W1,3,4,5,9,17

### Existing



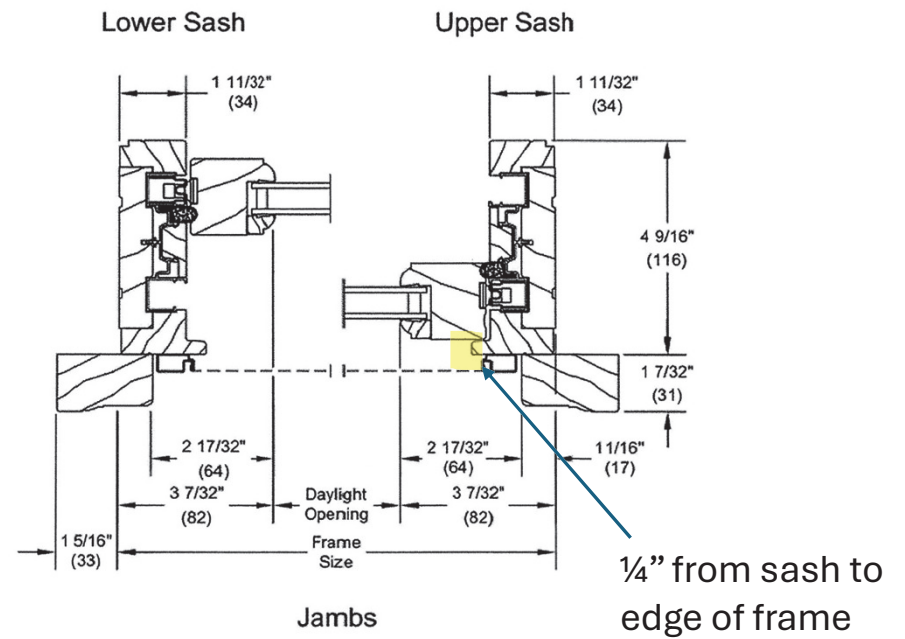
1/4" from sash to  
edge of frame



**REVIEWED**

By Laura DiPasquale at 3:23 pm, Jul 08, 2026

### New



1/4" from sash to  
edge of frame

Double Hungs:  
Previously Replaced W 6,7,8,14

Existing Sash



Existing 2-1/4" + 3/4" of existing frame



Existing Spacerbars and check rail



**REVIEWED**

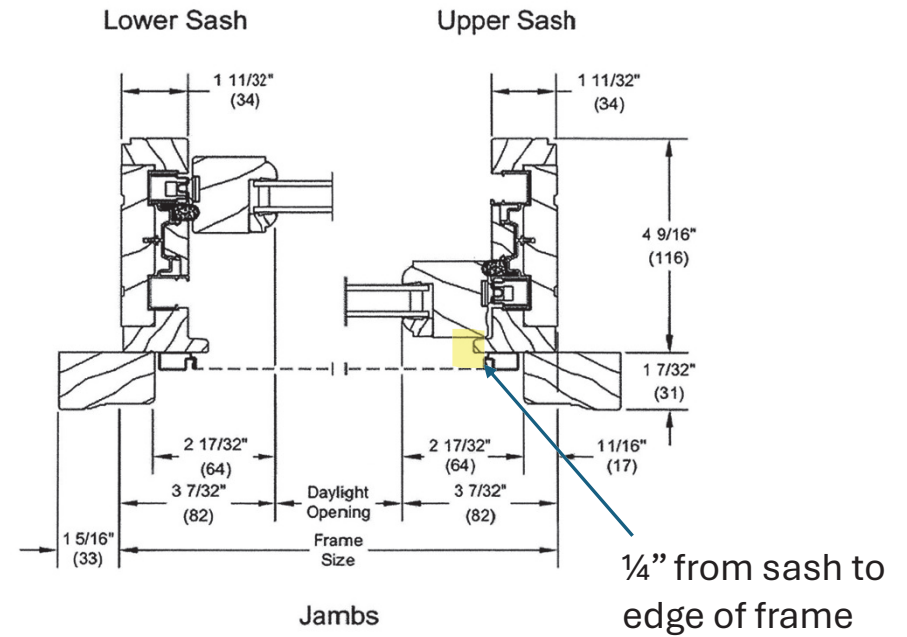
By Laura DiPasquale at 3:23 pm, Jul 08, 2026

Double Hungs:  
Previously Replaced W 6,7,8,14



$\frac{3}{4}$ " from  
sash to  
frame

New



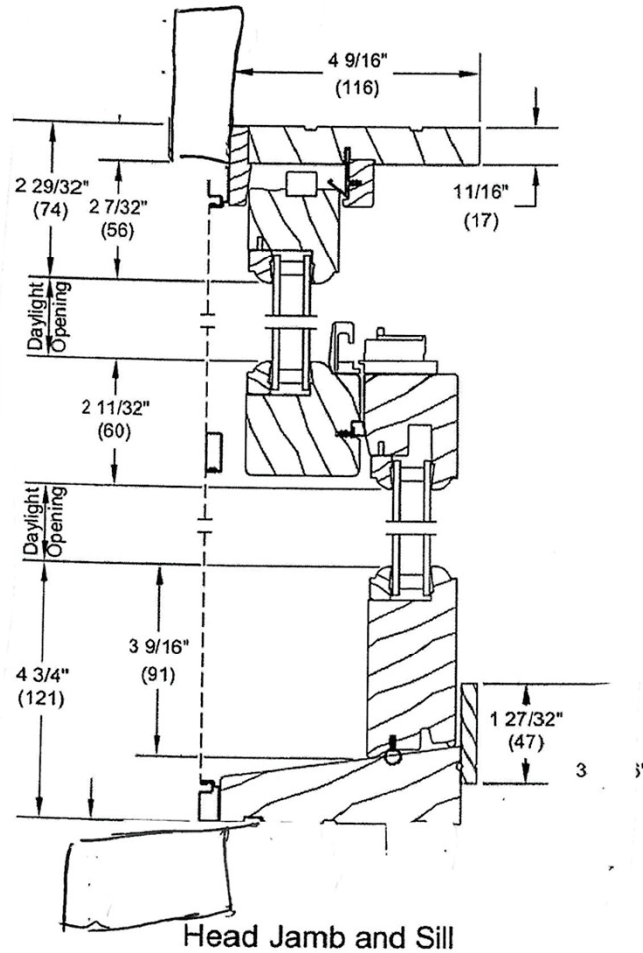
**REVIEWED**

By Laura DiPasquale at 3:23 pm, Jul 08, 2026

S/4x4

Double Hung

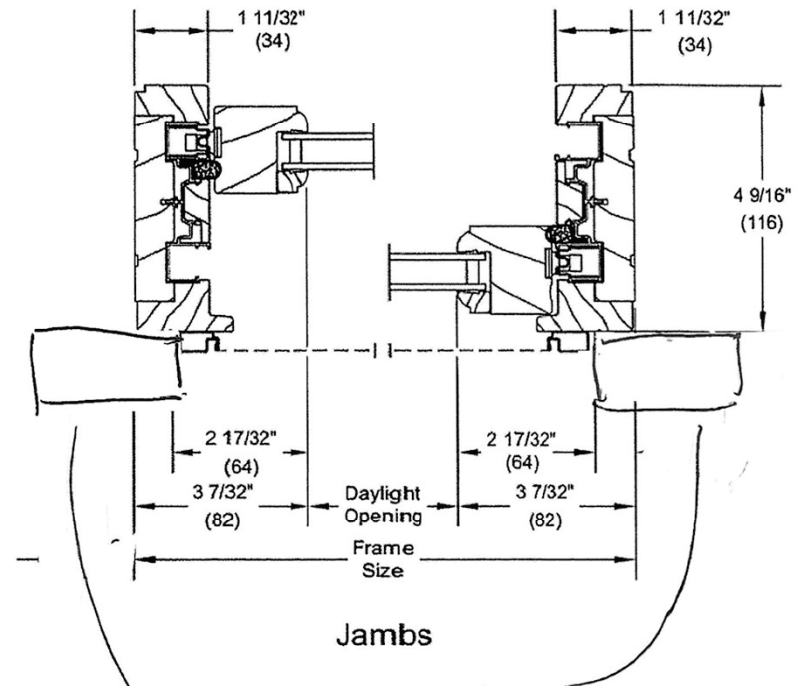
W 1, 3, 17



Historic 2" x 4"

Lower Sash

Upper Sash



Existing  
S/4" x 4"



REVIEWED

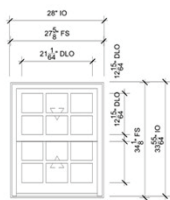
By Laura DiPasquale at 3:23 pm, Jul 08, 2026

## Double Hung



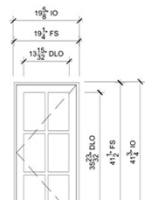
APPROVED  
Montgomery County  
Preservation Commission

By Laura DiPasquale at 3:23 pm, Jul 08, 2026



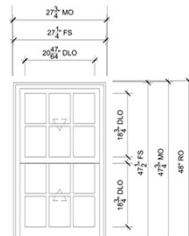
**BEDROOM 1**

SCALE: 3/4" = 1'-0"



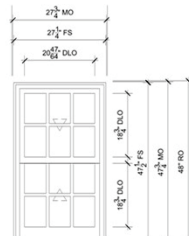
**BEDROOM 1**

SCALE: 3/4" = 1'-0"



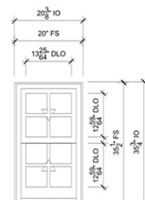
**BATH1 HALL COMPLETE TEAROUT**

SCALE: 3/4" = 1'-0"



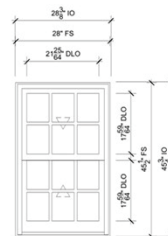
**BATH 2 COMPLETE TEAROUT**

SCALE: 3/4" = 1'-0"



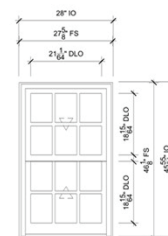
**BEDROOM 2**

SCALE: 3/4" = 1'-0"



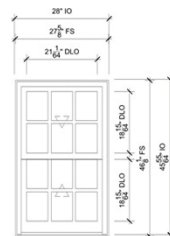
**BEDROOM 2**

SCALE: 3/4" = 1'-0"



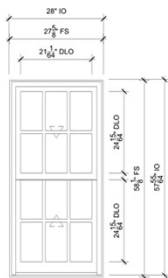
**BEDROOM 3**

SCALE: 3/4" = 1'-0"



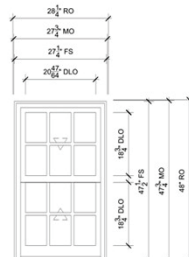
**PRIMARY BATH**

SCALE: 3/4" = 1'-0"



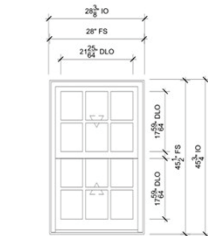
**PRIMARY BED**

SCALE: 3/4" = 1'-0"



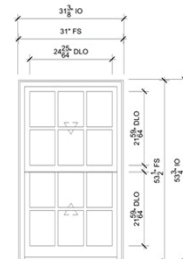
**KAREN,S OFFICE TEAR OUT**

SCALE: 3/4" = 1'-0"



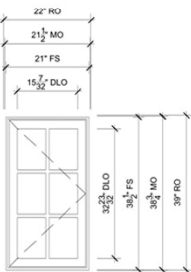
**KAREN,S OFFICE INSERT**

SCALE: 3/4" = 1'-0"



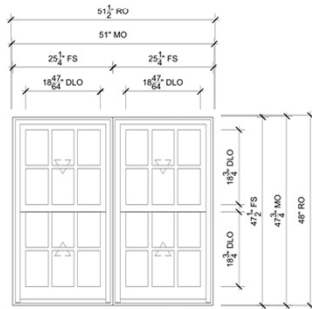
**LIVING**

SCALE: 3/4" = 1'-0"



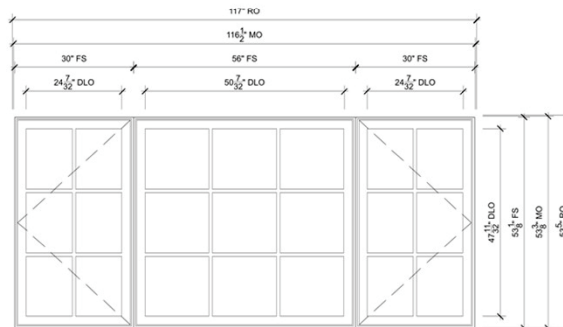
**POWDER**

SCALE: 3/4" = 1'-0"



**OFFICE**

SCALE: 3/4" = 1'-0"



**KITCHEN**

SCALE: 3/4" = 1'-0"

Windows shown for grille pattern.

Windows to be Marvin Ultimate WOOD windows, 7/8" grilles, SDL

**REVIEWED**

By Laura DiPasquale at 3:23 pm, Jul 08, 2026

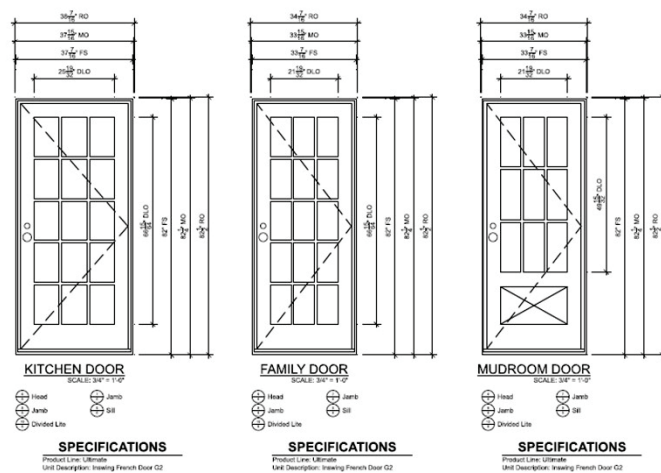
APPROVED

Montgomery County

Historic Preservation Commission



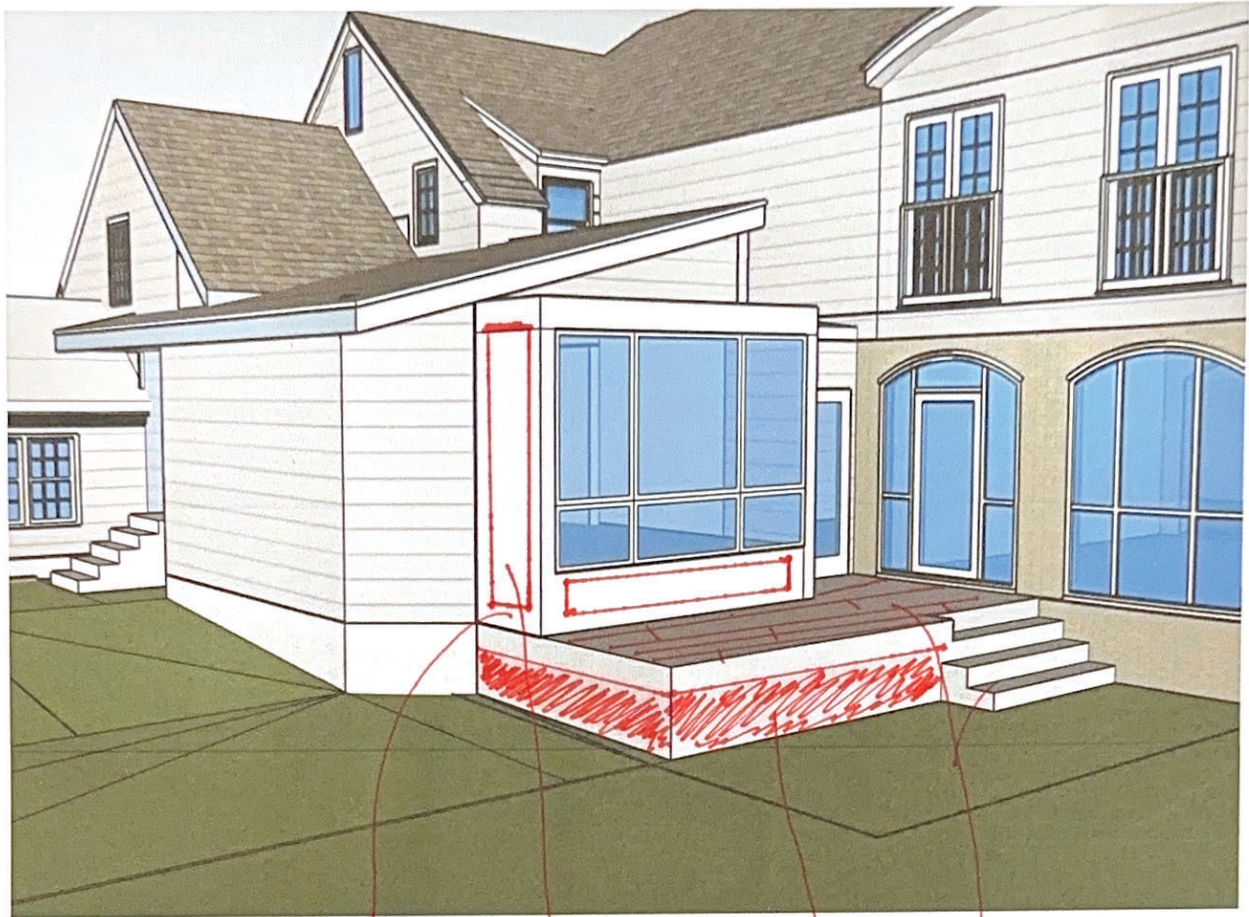
**REVIEWED**  
By Laura DiPasquale at 3:23 pm, Jul 08, 2026



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PROJ:08: Bethesda Contracting CLAD EXT / 8016 Hampden Lane Bethesda Md  
TID:DEALER: FORBES DESIGN CENTER  
DRAWN: KEVIN MILLER  
QUOTE#: CSREAU  
PK VERSION: 0004 21.00

SHEET  
2  
OF 6



Azek PVC Trim

Hardi Board

Azek TimberTech  
Decking  
5/4 x 6

No SKIRT

APPROVED

Montgomery County  
Historic Preservation Commission

**REVIEWED**

By Laura DiPasquale at 3:24 pm, Jul 08, 2026