



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Jeffrey Hains
Chairman

May 19, 2026

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services
FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission Historic
SUBJECT: Area Work Permit - #1146371 – Porch Railing Replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the May 13, 2026 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Alice Keating
Address: 9 Primrose St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



Keating Residence

9 Primrose Street Chevy Chase MD 20815



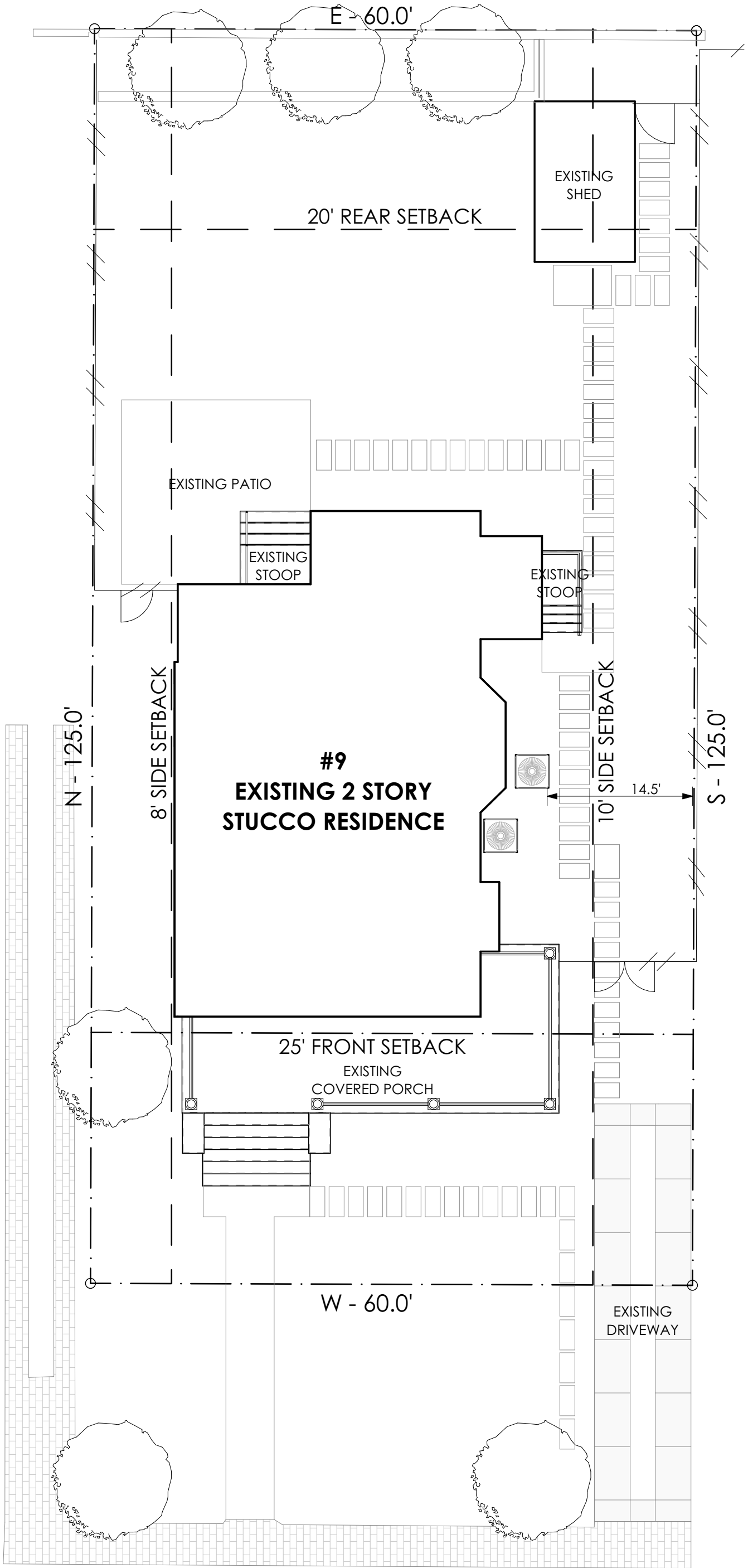
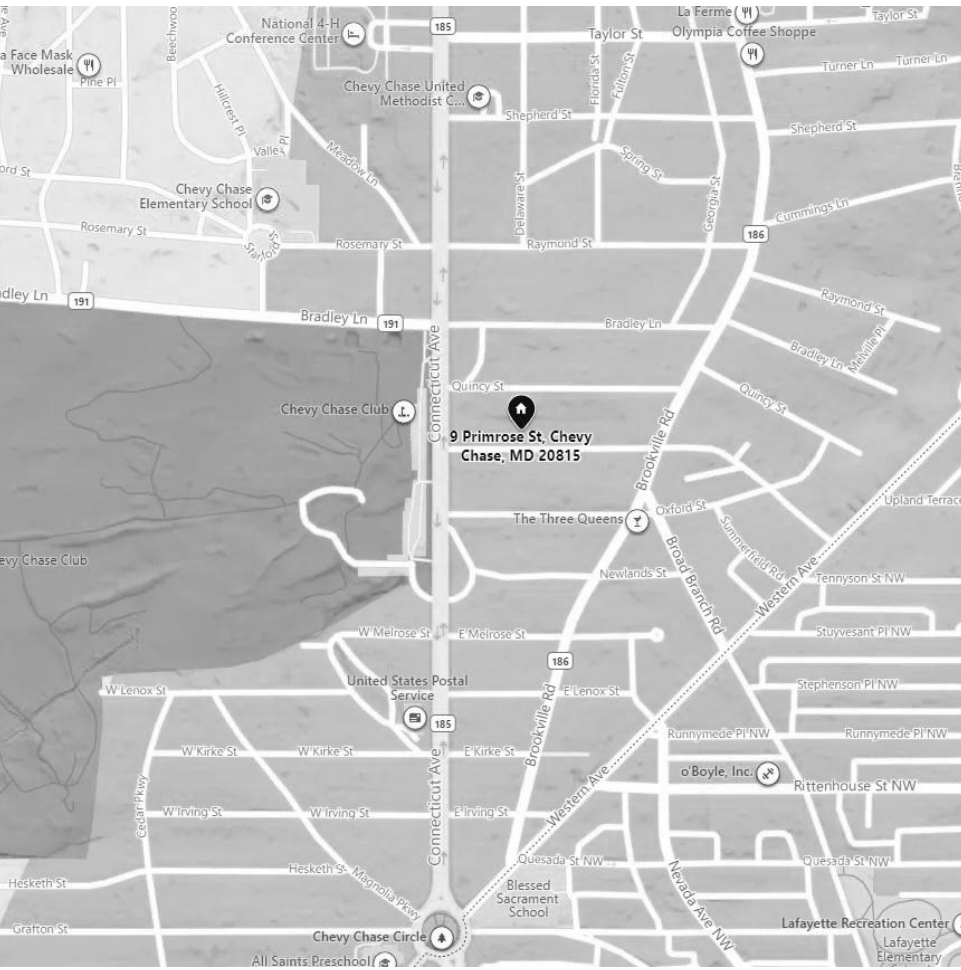
FOR PERMIT

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- A200 Exterior Elevations
- A201 Exterior Elevations
- A300 Details

Project No. 2112

Vicinity Map



Site Plan
3/32" = 1'-0"

PROJECT SCOPE:

EXISTING TWO-STORY SINGLE FAMILY HOME TO REMAIN.
EXISTING ROOFING AND RAILING REPAIR AND REPLACEMENT AT EXISTING FRONT PORCH ROOF.

APPLICABLE BUILDING CODES:

RESIDENTIAL CODE:	2021 INTERNATIONAL RESIDENTIAL BUILDING CODE W/ MONTGOMERY COUNTY CODE - CHAPTER 8: BUILDINGS
GAS CODE:	2021 INTERNATIONAL FUEL GAS CODE W/ MONTGOMERY COUNTY AMENDMENTS
MECHANICAL CODE:	2021 INTERNATIONAL MECHANICAL CODE W/ MONTGOMERY COUNTY AMENDMENTS
PLUMBING CODE:	2021 INTERNATIONAL PLUMBING CODE W/ MONTGOMERY COUNTY AMENDMENTS
FIRE CODE:	2019 NFPA 13D W/ MONTGOMERY COUNTY AMENDMENTS
ENERGY CODE:	2021 INTERNATIONAL ENERGY CONSERVATION CODE (PRESCRIPTIVE)

LOCATION INFORMATION:

ADDRESS:	9 Primrose Street Chevy Chase MD 20815
USE GROUP:	R
CONSTRUCTION TYPE:	COMBUSTIBLE, WOOD-FRAMED

ZONING DATA:

LOT	P1
BLOCK	0058
ZONING DISTRICT	R-60
ZONING OVERLAY	NONE
HISTORIC AREA	CHEVY CHASE VILLAGE HISTORIC DISTRICT
SITE AREA	7,500 SF

BUILDING CODE DATA SUMMARY:

REGULATION	EXISTING	ALLOWED	PROVIDED
BUILDING HEIGHT	30'-0"	30'-0"	NO CHANGE
LOT AREA	7,500 SF	6,000 SF MIN	NO CHANGE
LOT WIDTH	60'-0"	60'-0" MIN	NO CHANGE
LOT OCCUPANCY	28% (2,113 SF)	35% (2,625 SF)	NO CHANGE
FRONT SETBACK	26'-0"	25'-0"	NO CHANGE
SIDE SETBACK	LEFT: 8'-0" RIGHT: 14'-11"	8'-0" SUM: 8'-0" + 10'-0"	NO CHANGE
REAR SETBACK	40'-10"	20'-0"	NO CHANGE
SPRINKLER SYSTEM	NO	NOT REQ'D	NO CHANGE

AREA OF ALTERATION:

CELLAR FLOOR AREA:	0 SF
FIRST FLOOR AREA:	0 SF
SECOND FLOOR AREA:	456 SF (PORCH ROOF)
ATTIC AREA:	0 SF
TOTAL FLOOR AREA:	456 SF
AREA OF DISTURBANCE:	0 SF

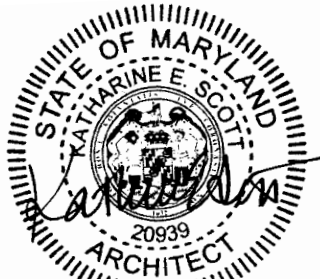
APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan Bruechert at 2:34 pm, May 19, 2026

DOMA
ARCHITECTURE + DESIGN

4304 47th Street NW
Washington DC 20016
www.domaarchitectdesign.com
202.375.9276

Seal



May 15, 2026

ARCHITECT ATTESTATION
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED
OR APPROVED BY ME & THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE
State of Maryland
LICENSE NUMBER 20932
EXPIRATION DATE 11-18-2027

Consultants

ARCHITECT
DOMA Architecture + Design LLC
Katharine Scott, NCARB
4304 47th Street NW
Washington DC 20016
202.375.9276

CONTRACTOR
Fine Point Construction
2134 Espey Court, Suite 15
Crofton, MD 21114
240.400.1555

STRUCTURAL ENGINEER
AFAC Engineering
8555 16th Street, Suite 200
Silver Spring, MD 20910
301.565.0543

Project No. 2112

Keating
Residence

9 Primrose Street
Chevy Chase MD 20815

Date	Issue Description
05-15-2026	For Permit

Sheet Title

Cover Sheet

Sheet Number

000

File Name: "C:\Users\kscor\OneDrive\Desktop\2026.04.16 Keating Porch PERMIT.dgn

Standard Abbreviations

1x	ONE-INCH NOMINAL THICKNESS	K	KITCHEN
2x	TWO-INCH NOMINAL THICKNESS	L	LAVATORY
@	AT	LEV	LEVEL
A	ABOVE	LH	LEFT HAND
ABV	AIR CONDITIONING	LHR	LEFT HAND REVERSE
ACOUS	ACOUSTICAL	LT	LIGHT
ACT	ACOUSTICAL CEILING TILE	LTG	LIGHTING
ADJ	ADJACENT, ADJUSTABLE	M	
AFF	ABOVE FINISH FLOOR	MAS	MASONRY
ALT	ALTERNATE	MAT	MATERIAL
ALUM	ALUMINUM	MAX	MAXIMUM
ANCH	ANCHOR	MDF	MEDIUM DENSITY FIBERBOARD
ANNO	ANNODED	MDO	MEDIUM DENSITY OVERLAY
APPROX	APPROXIMATE	MECH	MECHANICAL
ASSY	ASSEMBLY	MEMB	MEMBRANE
AVG	AVERAGE	MEZZ	MEZZANINE
B		MNFR	MANUFACTURER(S)
BD	BOARD / BEAD	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BLKG	BLOCKING	MOLD	MOLDING
BLT	BOLT	MLWK	MILLWORK
BM	BEAM	MO	MASONRY OPENING
BOT	BOTTOM	MTD	MOUNTED
B.O. _	BOTTOM OF	MTG	MOUNTING
BRG	BEARING	MTL	METAL
BRK	BRICK	MW	MICROWAVE
BSMT	BASEMENT	N	
BTWN	BETWEEN	N.J.C.	NORTH
BYD	BEYOND	NO.	NOT IN CONTRACT
C		NTS	NUMBER
CAB	CABINET		NOT TO SCALE
CDL	CORE DRILL LOCATION	O	
CEM	CEMENT	OA	OVERALL
CER	CERAMIC	OC	ON CENTER
CFL	COMPACT FLUORESCENT LIGHT	OD	OUTSIDE DIAMETER
CL	CONTROL JOINT	OFF	OFFICE
CLD	CLOSET	OPNG	OPENING
CLADG	CLADDING	OSP	OPPOSITE
CLG	CEILING	OSB	ORIENTED STRAND BOARD
CLR	CLEAR	P	
CMU	CONCRETE MASONRY UNIT	POLE	POLE
COL	COLUMN	PART	PARTITION
CONC	CONCRETE	PERMIT	PERIMETER
CONST	CONSTRUCTION	PG	PLANT GRADE
CONT	CONTINUOUS	PL	PLATE
CONTR	CONTRACTOR	PLAM	PLASTIC LAMINATE
COR	CORRIDOR	PLAS	PLASTER
CPR	COPPER	PLEX	PLEXIGLASS
CPT	CABINET	PLBG	PLUMBING
CS	CAST STONE	PLWD	PLYWOOD
CT	CERAMIC TILE	POLY	POLYETHYLENE
CTR	CENTER	PAIR	PAIR
CTRD	CENTERED	PSF	POUND PER SQUARE FOOT
CW	COLD WATER	PSI	POUND PER SQUARE INCH
D		PT	PRESSURE TREATED
DBL	DOUBLE	PTD	PAINTED
DEMO	DEMOLISH / DEMOLITION	PVC	POLYVINYL CHLORIDE
DET	DETAIL	PVMT	PAVEMENT
DF	DRINKING FOUNTAIN	Q	
DIA	DIAMETER	QT	QUARRY TILE
DN	DOWN	QTY	QUANTITY
DS	DOWNSPOUT	R	
DW	DISHWASHER	RISER(S)	RISER(S)
DWG	DRAWING	R=	RADIUS
E		RAD	RADIUS
E	EAST	RDG	REMOVABLE DOUBLE GLAZING
EA	EACH	RECPT	RECEPTACLE
EJ	EXPANSION JOINT	REF	REFRIGERATOR
ELEC	ELECTRIC(AL)	REF	REGISTER
ELEV	ELEVATION / ELEVATOR	REINF	REINFORCING
EMER	EMERGENCY	REPL	REPLACEMENT
EP	ELECTRICAL PANEL	REQ	REQUIRED
EQ	EQUAL	RESIL	RESILIENT
EQUIP	EQUIPMENT	REV	REVISION
ETR	EXISTING TO REMAIN	RH	RIGHT HAND
EW	ELECTRIC WATER COOLER	RHR	RIGHT HAND REVERSE
EXH	EXHAUST	RN	ROOM
EXST	Existing	RO	ROUGH OPENING
EXP	EXPANSION / EXPOSED	S	
EXT	Exterior	S	SOUTH
F		S4S	SURFACE 4 SIDES
FA	FIRE ALARM	SCM	SOLID CORE METAL
F.B.O.	FURNISHED BY OWNER	SCHED	SCHEDULE(D)
FD	FLOOR DRAIN	SDG	SECTION
FDN	FOUNDATION	SG	SINGLE GLAZED
FE	FIRE EXTINGUISHER (CABINET)	SH	SHEET
FF	FINISH FLOOR	SHTG	SHATHING
FGLS	FIBERGLASS	SIM	SIMILAR
FIN	FINISH	SM	SMOOTH LUMBER MOLDING DESIGN
FIX	FIXTURE	SPEC	SPECIFICATION
FLSH'G	FLASHING	SQ	SQUARE
FLR	FLOOR	STSL	STAINLESS STEEL
FLUOR	FLUORESCENT	ST	STREET
F.O.M.	FACE OF MASONRY	STD	STANDARD
F.O.S.	FACE OF STUD / STRUCTURE	STL	STL
FP	FIRE PROOF	STOR	STORAGE
FRMG	FRAMING	STRUC	STRUCTURE
FRT	FIRE RETARDANT TREATED	SUBFLR	SUBFLOOR
FS	FLOOR SINK	SURF	SURFACE
FET / FOOT	FEST / FOOT	SUSP	SUSPENDED
FTG	FLOORING	T	TREAT(S)
FURN	FURNITURE	T&G	TONGUE AND GROOVE
FURG	FURRING	TEL	TELEPHONE
G		TEMP	TEMPERATURE
GA	GAUGE	THK	THICK
GALV	GALVANIZED	TLT	TOILET
GB	GRAB BAR	T.O. _	TOP OF _
GC	GENERAL CONTRACTOR	TRTD	TREATED
GI	GROUND FAULT INTERRUPTER	TYP	TYPICAL
GL	GLASS	U	
GWB	GYPNUM WALL BOARD	U.N.O.	UNDERWRITERS LABORATORIES, INC.
GYP	GYPNUM	UTL	UNLESS NOTED OTHERWISE UTILITY
H		V	
HB	HOSE BIB	V	VOLT
HC	HANDICAP	VB	VAPOR BARRIER
HM	HOLLOW METAL	VCT	VINYL COMPOSITION
HM-W	HOLLOW METAL - WELDED	VENT	VENTILATE(OR)
HD	HEAD	VERIF	VERIFY IN FIELD
HDBD	HARDBOARD	W	
HDR	HEADER	W	WEST
HDWD	HARDWOOD	WJ	WITH
HDWR	HARDWARE	WO	WITHOUT
HORIZ	HORIZONTAL	WC	WATER CLOSET
HGT	HEIGHT	WD	WOOD
HTR	HEATER	WN	WINDOW
HVAC	HEATING / VENTILATION / AC	WF	WIDE FLANGE
HW	HOT WATER	WH	WATER HEATER
I		WP	WATERPROOFING
IG	ISOLATED GROUND	WS	WEATHERSTRIPPING
IN	INCH	WT	WEIGHT
INCL	INCLUDE(D)	WWM	WELDED WIRE MESH
INSUL	INSULATION		
INT	INTERIOR		
J			
JAN	JANITOR		
JST	JOIST		
JT	JOINT		

Section Materials

	BRICK
	STONE
	CONCRETE MASONRY UNIT
	CONCRETE
	STUCCO / GROUT
	PLYWOOD
	WOOD
	METAL
	EARTH
	GRAVEL

Surface Materials

	FLAGSTONE - RANDOM
	FLAGSTONE - RANDOM RECTANGULAR
	BRICK VENEER
	STONE VENEER
	CONCRETE MASONRY UNIT
	CONCRETE
	STUCCO / GROUT
	SIDING
	SHINGLES
	METAL ROOF
	WOOD
	TILE - SIZE VARIES
	STONE SLAB

Drawing Symbols

	DRAWING
	DRAWING
	DRAWING
	DRAWING OF FACING WALL
	RUN
	STRUCTURAL GRID
	CENTERLINE
	ALIGN WITH ESTABLISHED SURFACES
	DIMENSION LINES
	LEVEL ELEVATION - SECTION / ELEV
	LEVEL ELEVATION - PLAN
	CHANGE IN ELEVATION
	WINDOW / DOOR TAGS
	WALL TAGS
	Revision
	REVISION MARKER

General Notes

- ALL WORK SHALL CONFORM TO THE LOCAL, STATE AND FEDERAL BUILDING CODES.
- THE GENERAL CONTRACTOR SHALL STAKE OFF THE AREA OF NEW CONSTRUCTION AND DESIGNATE TREES AND SHRUBS FOR REMOVAL AS REQUIRED. PROTECT ALL LANDSCAPING BEYOND THE AREAS OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL COORDIANTE PHASING AND TIME LIMITS FOR NEW CONSTRUCTION WITH OWNER. SO AS TO ESTABLISH AN ACCEPTABLE PAYMENT SCHEDULE RELATED TO THE STATUS OF THE PROJECT.
- ANY PERMITS REQUIRED FOR THE PROJECT SHALL BE OBTAINED BY THE GENERAL CONTRACTOR, UNLESS INFORMED OTHERWISE BY THE ARCHITECT THAT THE PERMIT HAS BEEN OBTAINED.
- THE GENERAL CONTRACTOR SHALL STORE MATERIALS AND EQUIPMENT IN A SAFE AND SUITABLE PLACE DURING THE CONSTRUCTION PROCESS. THE OWNER IS NOT RESPONSIBLE FOR ANY LOSSES OF MATERIAL.
- ALL DEBRIS SHALL BE PERIODICALLY REMOVED FROM THE SITE SO AS TO NOT CREATE A PHYSICAL OR VISUAL HAZARD TO THE OWNER.
- THE GENERAL CONTRACTOR SHALL BE LICENSED WITHIN THE JURISDICTION OF THE CONSTRUCTION PROJECT, AND SHALL GUARANTEE THE PROJECT LABOR AND MATERIALS FOR A PERIOD AFTER THE ARCHITECT DETERMINES THE WORK IS SUBSTANTIALLY COMPLETE. PER LOCAL JURISDICTION LAWS.
- THE GENERAL CONTRACTOR SHALL PROVIDE COMPETENT DAILY SUPERVISION OF THE PROJECT.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE RELATED AUTHORITIES FOR INSPECTION OF THE WORK AS RELATED TO THE SPECIFIC AREAS REQUIRED BY THE JURISDICTION.
- ALL DRAWINGS, SPECIFICATIONS, AND COPIES FURNISHED BY THE ARCHITECT ARE THE DOCUMENTS FOR CONSTRUCTION OF THIS PROJECT AND SHALL NOT BE USED IN ANY OTHER CIRCUMSTANCES.
- THE GENERAL CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS AND REPORT TO THE ARCHITECT ANY ERROR, OMISSION, OR INCONSISTENCY THEY MAY DISCOVER. THE CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO CONSTRUCTION, AND ALL DESCREPENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT SO THAT CLARIFICATION CAN BE MADE. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS RELATED TO EXISTING CONDITIONS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES. **DO NOT SCALE DRAWINGS TO DETERMINE MISSING DIMENSIONS**
- THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, MACHINERY, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, AND SHALL GUARANTEE NO MECHANIC LIENS AGAINST THE PROJECT AT COMPLETION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE NEW UTILITY LINE SERVICES (GAS, ELECTRIC, TELEPHONE) INSTALLED TO THE HOUSE CONNECTION / METER LOCATIONS.
- THE CONTRACT SUM IS STATED IN THE AGREEMENT AND IS THE TOTAL AMOUNT PAYABLE BY THE OWNER, WHICH DESIGNATES THE ADDITION, DELETION, OR REVISION TO THE CONTRACT. THE CHANGE ORDER MUST ALSO DESIGNATE THE CHANGE IN THE ORIGINAL CONTRACT SUM. BEFORE COMMENCEMENT OF ANY WORK THAT MAKES CHANGES TO THE CONTRACT SUM OR CONTRACT TIME, WRITTEN AUTHORIZATION MUST BE OBTAINED FROM THE ARCHITECT / OWNER. WORK THAT PROCEEDS WITHOUT WRITTEN AUTHORIZATION IS AT THE CONTRACTOR'S OWN RISK.
- ATLEAST SEVEN DAYS BEFORE THE DATE OF EACH PROGRESS PAYMENT ESTABLISHED BY THE AGREEMENT, THE GENERAL CONTRACTOR SHALL SUBMIT TO THE ARCHITECT AND OWNER AN ITEMIZED APPLICATION DESIGNATING WHICH PORTION OF THE WORK HAS BEEN COMPLETED.
- AT THE COMPLETION OF WORK, THE CONTRACTOR SHALL BE RESPONSIBLE TO CLEAN AREAS OF THE HOUSE WHERE WORK WAS DONE THOROUGHLY, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING ITEMS:
 - ALL CARPETED AREAS SHALL BE VACUUMED.
 - ALL HARD SURFACED FLOORS SHALL BE MOPPED.
 - ALL BATHROOMS AND FIXTURES SHALL BE CLEANED.
 - ALL EXISTING WINDOWS & DOORS SHALL BE CLEANED ON THE INSIDE
 - ALL NEW WINDOWS AND DOORS SHALL BE CLEANED ON THE INSIDE AND OUTSIDE
 - ALL WALLS, INSIDE AND OUT, AND LIGHT FIXTURES SHALL BE DUSTED.

Demolition Plan General Notes

- COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERMITTING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS AS TO FAMILIARIZE THEMSELVES WITH THE DEMOLITION PLAN AND/OR REMOVAL OF WORK WHICH MAY BE REQUIRED TO PRODUCE RESULTS INTENDED IN THE CONTRACT DOCUMENTS. COORDINATE DEMOLITION WITH WORK OF SUBCONTRACTORS.
- CONTRACTOR TO CONTACT ALL UTILITY COMAPNY REPRESENTATIVES HAVING JURISDICTION OVER THIS PROJECT TO ASCETAIN BUILDING AND UTILITY COMPANY LINES ABOVE, WITHIN OR BELOW PREMISE TO AVOID ANY POSSIBILITY OF CUTTING SUCH LINES, CAUSING EXPLOSIONS, ETC.
- PROTECT THE HOUSE BY MEANS OF TEMPORARY SUPPORTS AND BRACES NECESSARY TO PREVENT ANY STRUCTURAL FAILURE DURING REMOVAL AND REPLACEMENT OF EXISTING STRUCTURAL MEMBERS.
- TEMPORARY WALLS AND DUST BARRIERS SHALL BE INSTALLED AS NECESSARY TO PREVENT CIRCULATION OF DIRT AND DUST INTO PORTIONS OF THE HOUSE THAT ARE NOT PART OF THE WORK.
- MAINTAIN THE EXISTING STRUCTURE IN WATERTIGHT CONDITION AT ALL TIMES.
- IN THE EVENT HOMEOWNER DECIDE TO LIVE IN THE PROPERTY DURING CONSTRUCTION, PROVIDE NECESSARY ENCLOSURES TO ALLOW THE OWNER TO MAINTAIN COMFORTABLE TEMPERATURES WITHIN THE OCCUPIED PORTIONS OF THE HOME.
- REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.

SPACE RESERVED FOR MONTGOMERY COUNTY OFFICIAL

Submission And Review Notes

- THE FOLLOWING ITEMS WILL BE REQUIRED TO BE REVIEWED BY THE ARCHITECT PRIOR TO ORDERING OR FABRICATION OF BUILDING ELEMENTS. THE ARCHITECT WILL REQUIRE UP TO TWO WEEKS OF REVIEW TIME FOR EACH ITEM. CONTRACTOR SHALL BUILD REVIEW TIME INTO THEIR SCHEDULE.
 - SHOP DRAWINGS**
 - CUSTOM RUN RAILING COMPONENTS
- WHERE REQUIRED THE CONTRACTOR SHALL SUBMIT SAMPLES FOR ARCHITECT AND OWNER'S REVIEW AND FINAL APPROVAL. CONTRACTOR SHOULD ALLOW TWO WEEKS OF REVIEW TIME.
 - SAMPLES**
 - EXTERIOR STUCCO
 - CROWN AND CASING
 - PAINT

Finish, Trim, Materials & Painting Schedule

Exterior Materials	Roof Sheathing: Existing plywood sheathing to remain, patch and replace as required.
	TPO Roofing: New TPO roofing to be installed on existing front porch roof. Holcim Elevate Ultra-Ply TPO roofing, color: Gray.
	Flashing: Copper/Aluminum at all joints between exterior wall & roofing membrane, roofing drip edges, valleys , all roof penetrations and as noted at locations shown on wall sections.
	Gutters & Downspouts: grade. Roofing Contractor to confirm gutter and downspout sizing and locations and review with Architect prior to starting work.
	Posts: Guardpost constructed of 3/4" plywood wrapped with painted MDO plywood and painted wood trim. Refer to Structural drawings and details on sheet A300.
	Wood Railing: Custom milled painted sapele mahogany railing. Refer to details on sheet A300.
Painting	Paint all new and existing stucco, exterior trim, and railings <u>within areas of construction only</u> . Refer to plans.
	Exterior Painting: Prime + (2) coats on all new work.
	All paints by Benjamin Moore, PPG or equal.
	Use premium quality acrylic paint on trim, and doors.

Insulation and Fenestration Reqs. (R-Values)

TABLE R402.1.3 INSULATION MINIMUM R-VALUES AND FENESTRATION REQUIREMENTS BY COMPONENT^a

CLIMATE ZONE	FENESTRATION U-FACTOR ^{b,1}	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b,1}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE ^b	MASS WALL R-VALUE ^b	FLOOR R-VALUE	BASEMENT ^{b,1} R-VALUE	SLAB ^b R-VALUE & DEPTH	CRAWL SPACE ^b WALL R-VALUE
0	NR	0.75	0.25	30	13 or 0.810ci	3/4	13	0	0	0
1	NR	0.75	0.25	30	13 or 0.810ci	3/4	13	0	0	0
2	0.40	0.65	0.25	49	13 or 0.810ci	4/6	13	0	0	0
3	0.30	0.55	0.25	49	20 or 13.85ci ^b or 0.815ci ^b	8/13	19	5ci or 13 ^d	10ci 2 ft	5ci or 13 ^d
4 except Marine	0.30	0.55	0.40	60	20 or 13.85ci ^b or 0.820ci ^b	8/13	19	10ci or 13	10ci 4 ft	10ci or 13
5 and Marine 4	0.30 ^c	0.55	0.40	60	30 or 20.85ci ^b or 13.85ci ^b or 0.820ci ^b	13/17	30	16ci or 19 or 13.85ci	10ci 4 ft	15ci or 19 or 13.85ci
6	0.30 ^c	0.55	NR	60	30 or 20.85ci ^b or 13.85ci ^b or 0.820ci ^b	15/20	30	15ci or 19 or 13.85ci	10ci 4 ft	15ci or 19 or 13.85ci
7 and 8	0.30 ^c	0.55	NR	60	30 or 20.85ci ^b or 13.810ci ^b or	19/21	38	15ci or 19 or 13.85ci	10ci 4 ft	15ci or 19 or 13.85ci

Part 9: 1 foot = 254.3 mm.
NR = Not Required.
ci = continuous insulation.
a. R values are minimums. U factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.
b. The fenestration U factor column excludes skylights. The SHGC column applies to all glazed fenestration.
Examples: In Climate Zones 5 through 3, skylights shall be permitted to be excluded from glazed fenestration SHGC requirements provided that the SHGC for such skylights does not exceed 0.30.
c. "15ci or 13" means R-15 continuous insulation (ci) on the interior or exterior surface of the wall or R-13 cavity insulation on the interior side of the wall. "10ci or 13" means R-10 continuous insulation (ci) on the interior or exterior surface of the wall, or R-13 cavity insulation on the interior side of the wall. "15ci or 19 or 13.85ci" means R-15 continuous insulation (ci) on the interior or exterior surface of the wall, or R-19 cavity insulation on the interior side of the wall, or R-13 cavity insulation on the interior of the wall in addition to R-5 continuous insulation on the interior or exterior surface of the wall.
d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation (R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.
e. There are no SHGC requirements in the Marine Zone.
f. Basement wall insulation is not required in Warm Humid locations as defined by Figure R301.1 and Table R301.1.
g. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13.85" means R-13 cavity insulation plus R-5 continuous insulation.
h. Mass walls shall be in accordance with Section R402.2.2. The second R-value applies where more than half of the insulation is on the interior of the mass wall.
i. A minimum U-factor of 0.32 shall apply in Climate Zones 3 through 8 to vertical fenestration products installed in buildings located either:
1. Above 4,000 feet in elevation, or
2. In windstorm debris regions where protection of openings is required by Section R301.2.1.2 of the International Residential Code.

R402.2.1: Ceilings with attics. ~~REMOVED~~
Where Section R402.1.3 requires R-49 insulation in the ceiling or attic, installing R-38 over 100 percent of the ceiling or attic area requiring insulation shall satisfy the requirement for R-49 insulation wherever the full height of uncompressed R-38 insulation extends over the wall top plate at the eaves. Where Section R402.1.3 requires R-60 insulation in the ceiling or attic, installing R-49 over 100 percent of the ceiling or attic area requiring insulation shall satisfy the requirement for R-60 insulation wherever the full height of uncompressed R-49 insulation extends over the wall top plate at the eaves. This reduction shall not apply to the insulation and fenestration criteria in Section R402.1.2 and the Total UA alternative in Section R402.1.5.

R402.2.2: Ceilings without attics. ~~REMOVED~~
Where Section R402.1.3 requires insulation R-values greater than R-30 in the interstitial space above a ceiling and below the structural roof deck, and the design of the roof/ceiling assembly does not allow sufficient space for the required insulation, the minimum required insulation R-value for such roof/ceiling assemblies shall be R-30. Insulation shall extend over the top of the wall plate to the outer edge of such plate and shall not be compressed. This reduction of insulation from the requirements of Section R402.1.3 shall be limited to 500 square feet (46 m²) or 20 percent of the total insulated ceiling area, whichever is less. This reduction shall not apply to the Total UA alternative in Section R402.1.5.

Air Barrier and Insulation Installation

TABLE R402.4.1.1 AIR BARRIER, AIR SEALING AND INSULATION INSTALLATION^a

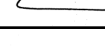
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling or soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance, R-value, of not less than R-3 per inch. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between framing and skylights, and the joints of windows and doors, shall be sealed. Rim joints shall include an exterior air barrier. ^b The junctions of the rim board to the sill plate and the rim board and the subfloor shall be air sealed.	—
Rim joints	Rim joints shall be insulated so that the insulation maintains permanent contact with the exterior rim board. ^b	—
Floors, including conditioned floors and floors above garages	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking. Alternatively, floor framing cavity insulation shall be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing and extending from the bottom to the top of all perimeter floor framing members.
Basement crawl space and slab foundations	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder/barrier in accordance with Section R402.2.10. Penetrations through concrete foundation walls and slabs shall be air sealed. Class I vapor retarders shall not be used as an air barrier on below-grade walls and shall be installed in accordance with Section R702.7 of the International Residential Code.	Crawl space insulation, where provided instead of floor insulation, shall be installed in accordance with Section R402.2.10. Conditioned basement foundation wall insulation shall be installed in accordance with Section R402.2.8.1. Slab-on-grade floor insulation shall be installed in accordance with Section R402.5.8.1.
Shafts, penetrations	Duct and flue shafts to exterior or unconditioned space shall be sealed. Many penetrations or the air barrier shall be caulked, gasketed or otherwise sealed and shall allow for expansion, contraction of materials and mechanical vibration.	Insulation shall be fitted tightly around utilities passing through shafts and penetrations in the building thermal envelope to maintain required R-value.
Narrow cavities	Narrow cavities of 1 inch or less that are not able to be insulated shall be air sealed.	Batts to be installed in narrow cavities shall be cut to fit or narrow cavities shall be filled with insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	Insulated portions of the garage separation assembly shall be installed in accordance with Sections R402.2.7 and R402.2.7.
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be air sealed in accordance with Section R402.4.5.	Recessed light fixtures installed in the building thermal envelope shall be airtight and IC rated, and shall be buried or surrounded with insulation.
Plumbing, wiring or other obstructions	All holes created by wiring, plumbing or other obstructions in the air barrier assembly shall be air sealed.	Insulation shall be installed to fill the available space and surround wiring, plumbing, or other obstructions, unless the required R-value can be met by installing insulation and air barrier systems completely to the exterior side of the obstructions.
Showertub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate the wall from the shower or tub.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed between electrical and communication boxes. Alternatively, air sealed boxes shall be installed.	—
HVAC register boots	HVAC supply and return register boots that penetrate building thermal envelope shall be sealed to the subfloor, wall covering or ceiling penetrated by the boot.	—
Concealed sprinklers	Where required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between the sprinkler cover plates and walls or ceilings.	—

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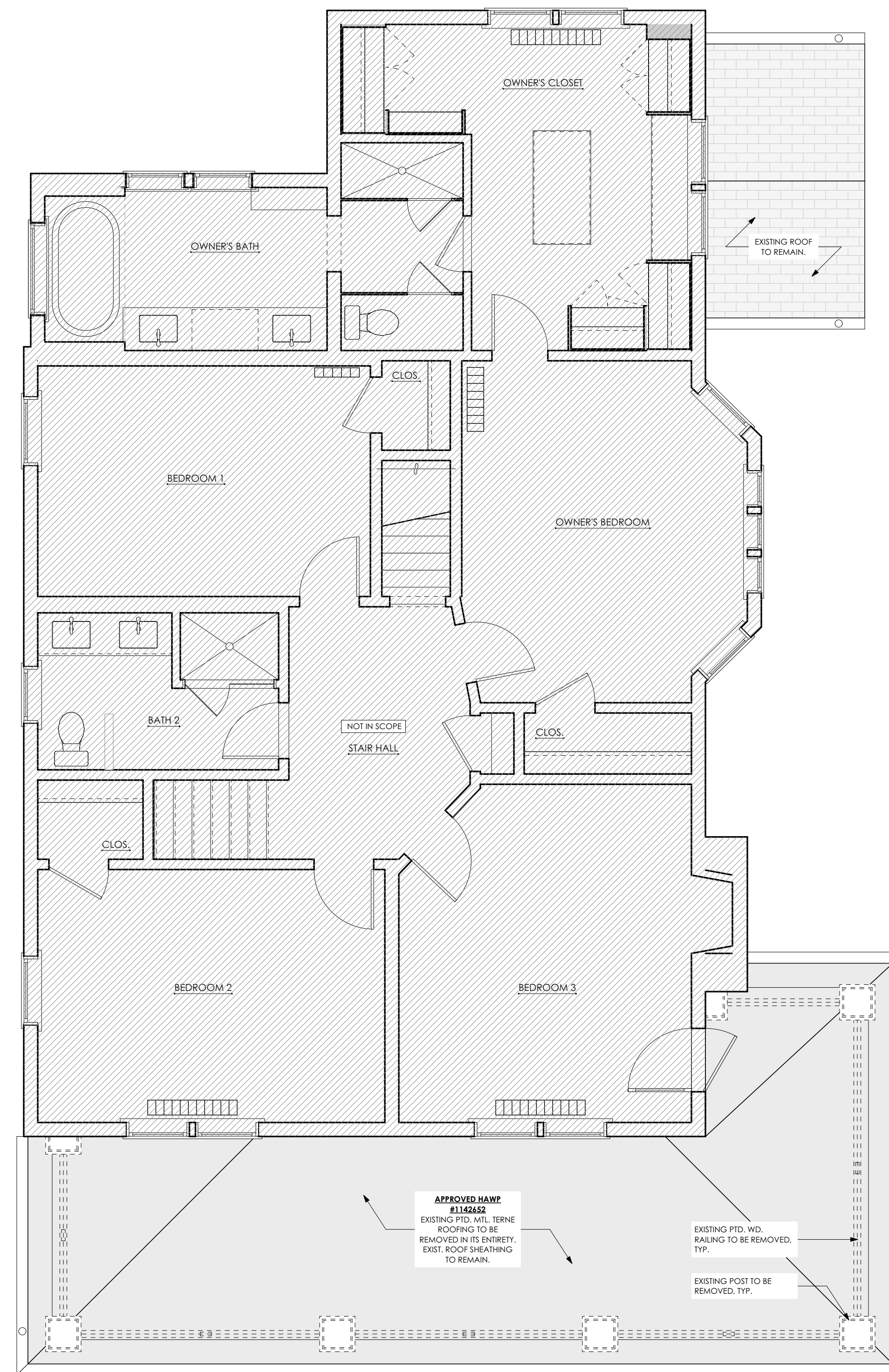
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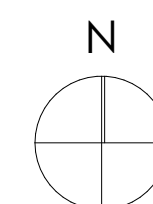


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1 Second Floor Demolition Plan

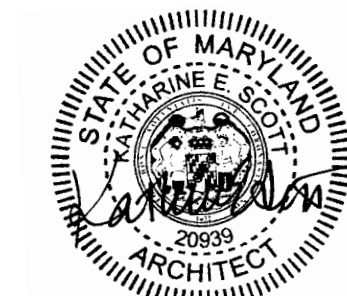


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2nd Floor Demolition

Sheet Number

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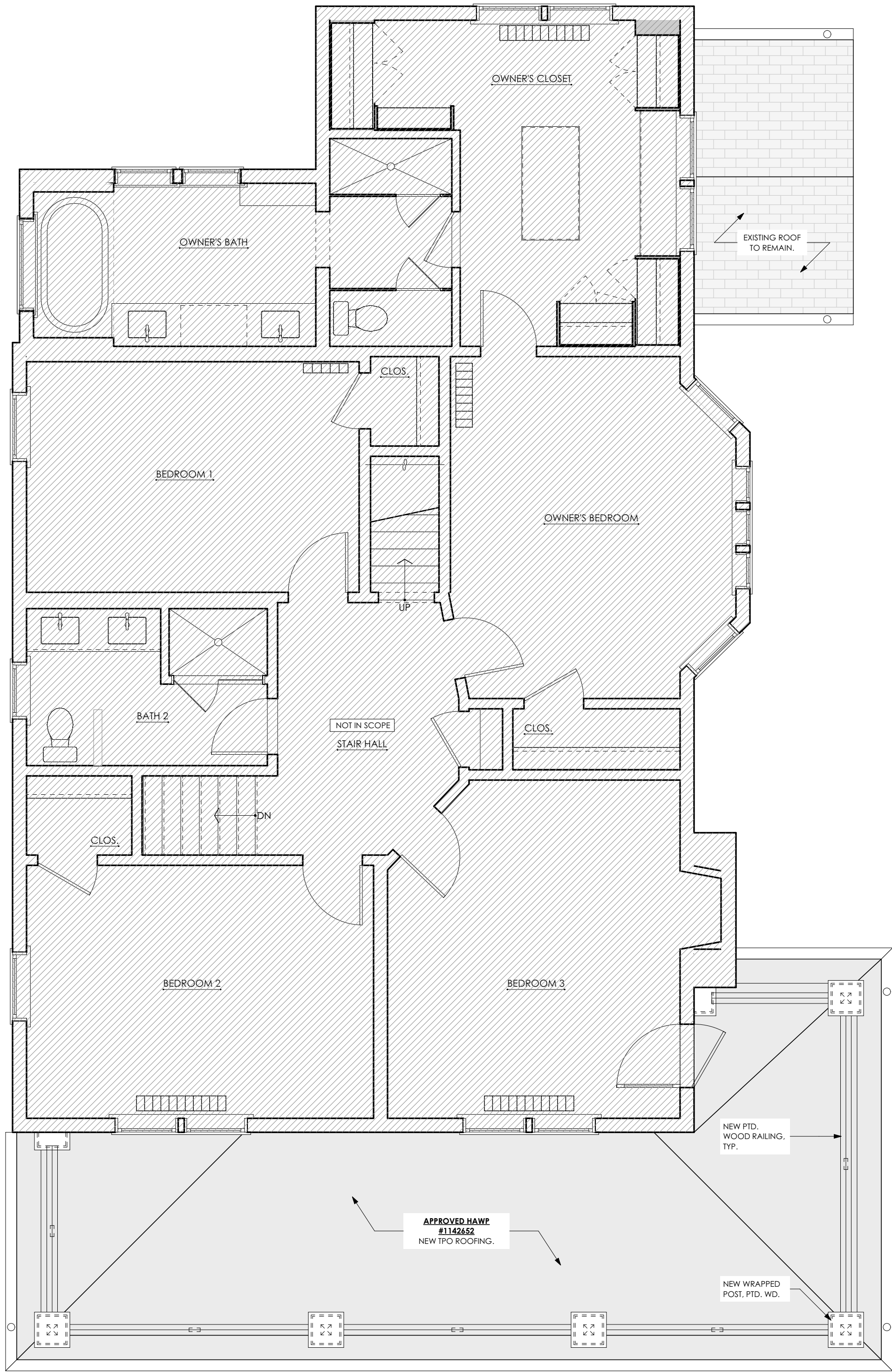
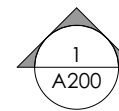
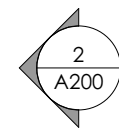
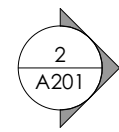
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DENOTES EXISTING WALLS
DENOTES PROPOSED WALLS

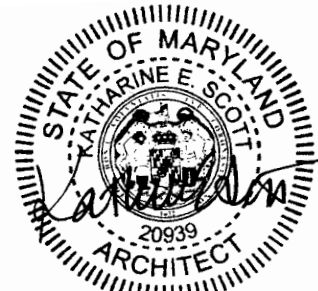
GENERAL NOTES:

1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING.
2. SEE STRUCTURAL PLANS FOR COORDINATION OF POST REQUIREMENTS.

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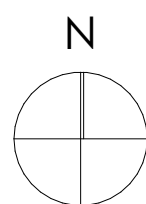
2nd Floor Plan

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1 Second Floor Plan
1/4" = 1'-0"



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1 Front Elevation
1/4" = 1'-0"

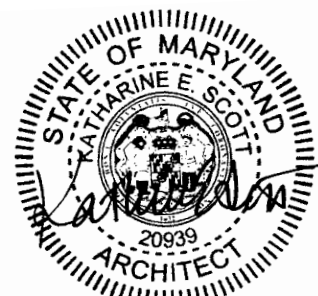


2 Right Elevation
1/4" = 1'-0"

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Exterior Elevations

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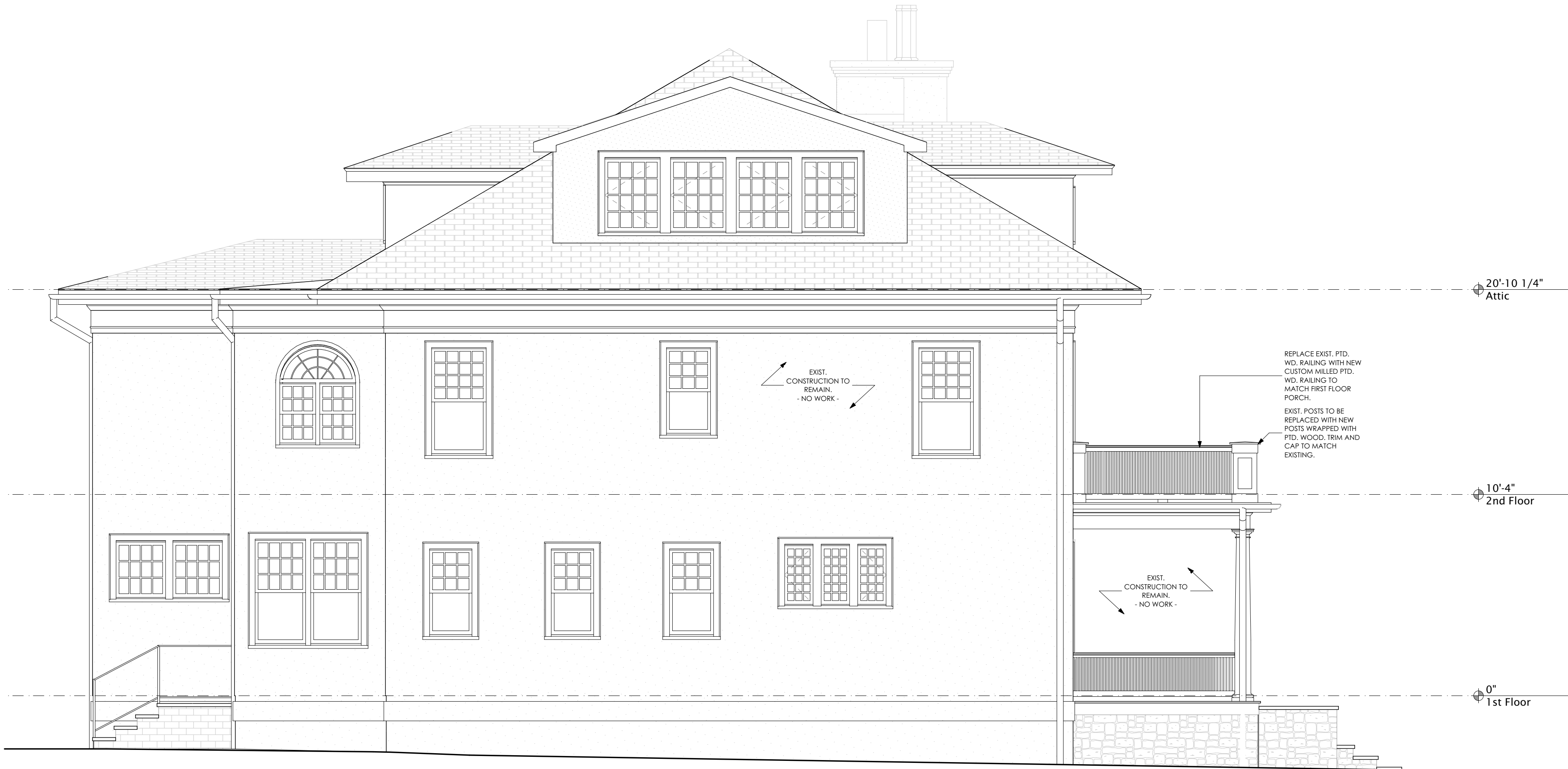
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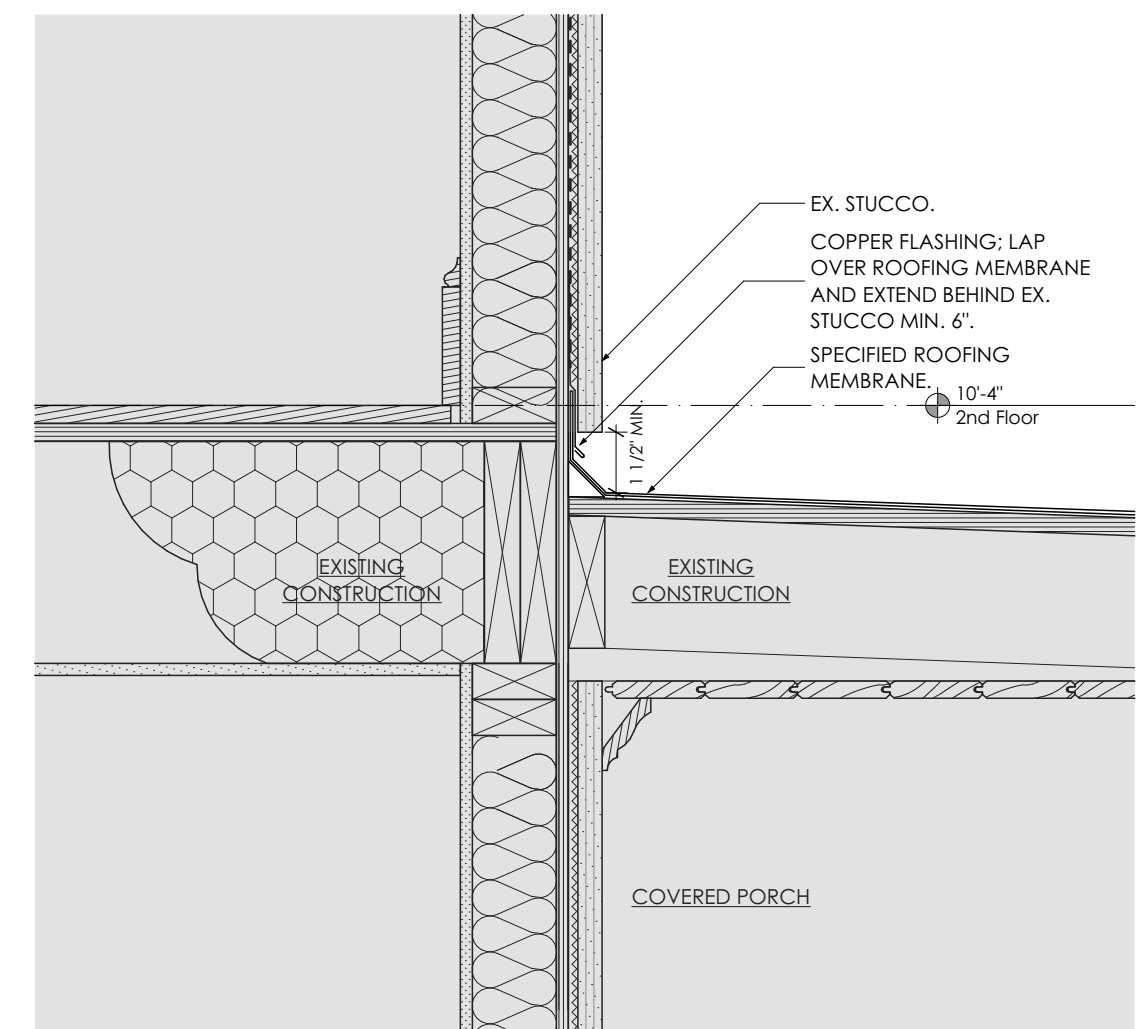
1 Rear Elevation
1/4" = 1'-0"



2 Left Elevation
1/4" = 1'-0"

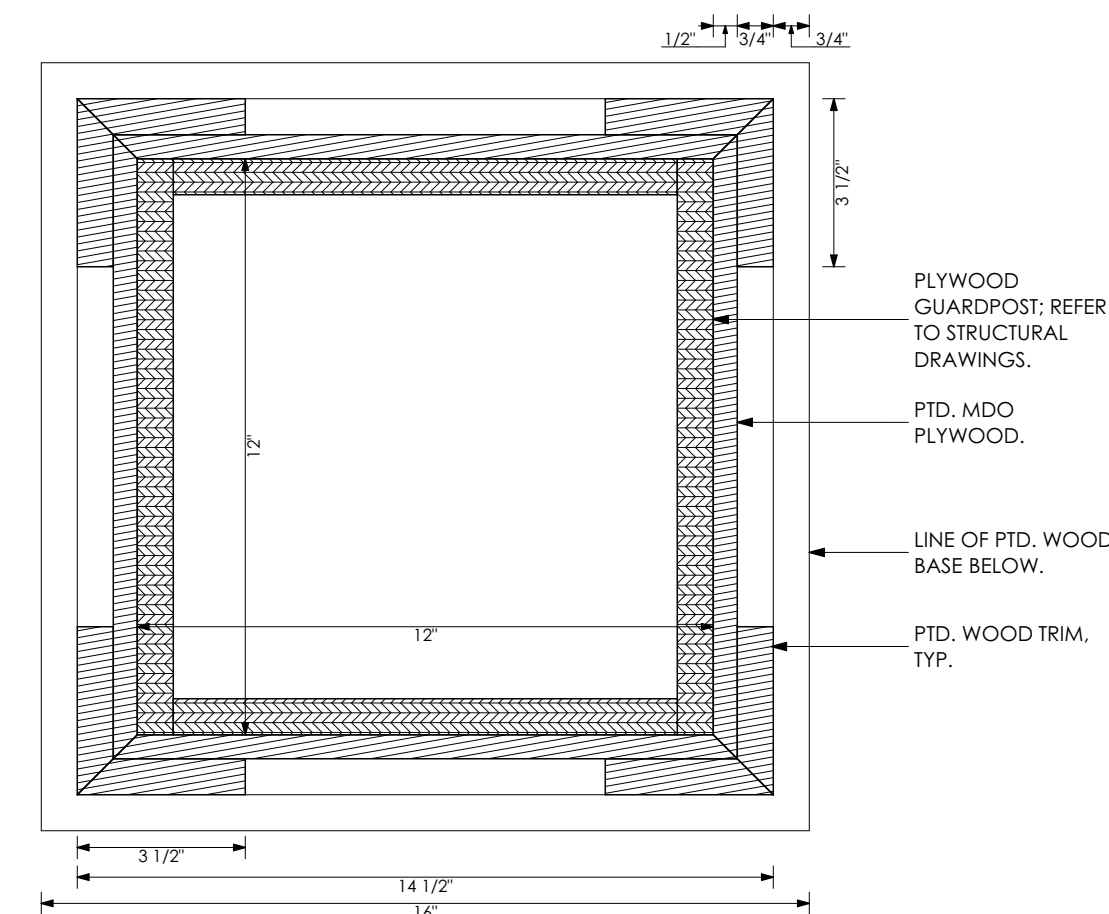
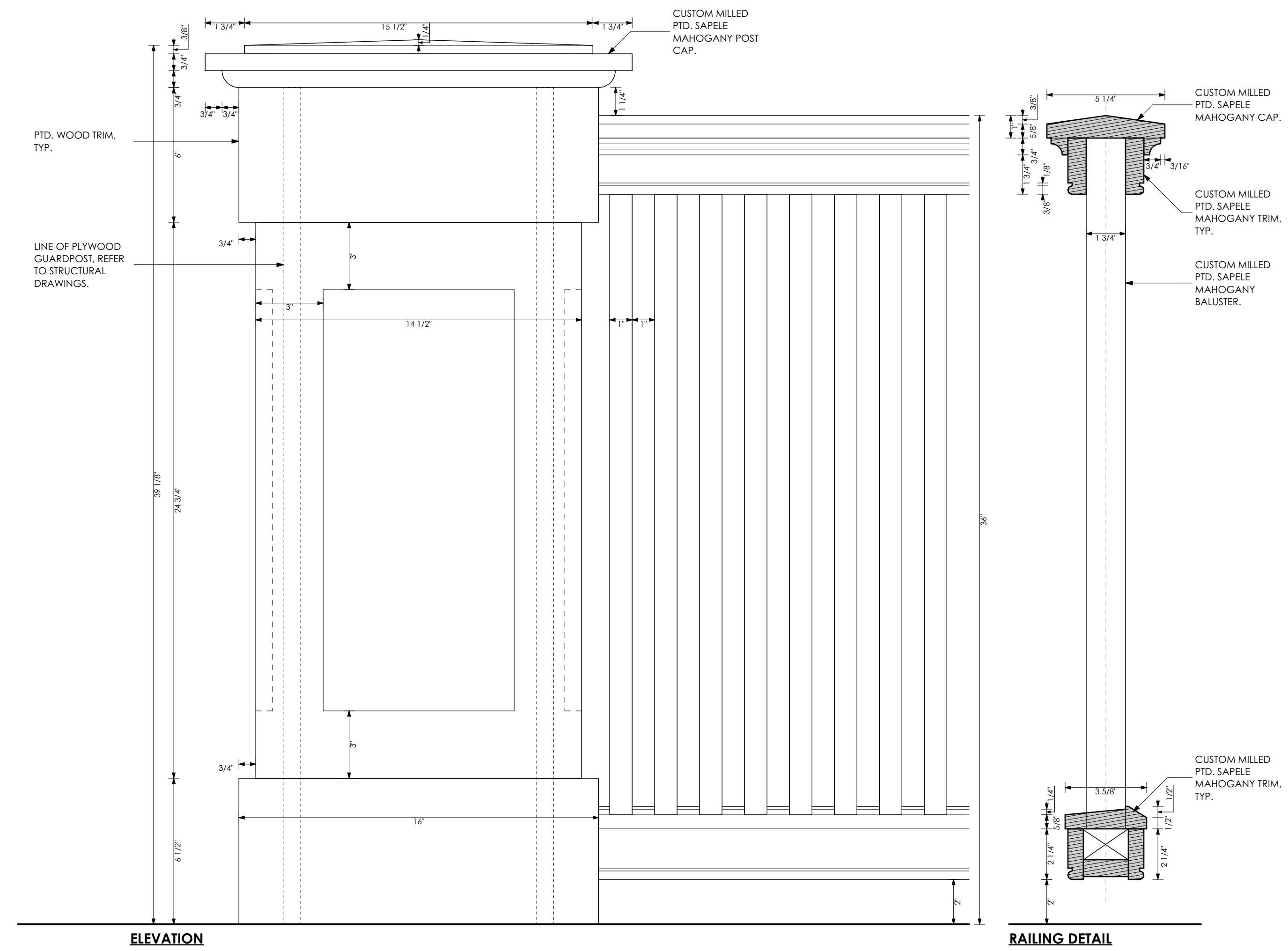
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1 Roof Detail

1 1/2" = 1'-0"



GUARDPOST PLAN DETAIL

2 Custom Wood Railing and Post Details

$$3'' = 1'-0''$$

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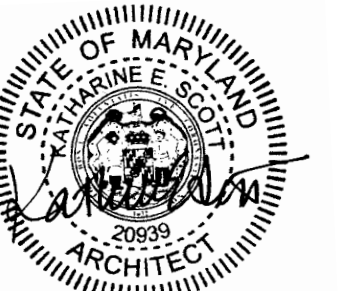
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