



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Jeffrey Hains
Chair

May 27, 2026

TO: Rabbiah Sabbakhan
Department of Permitting Services
FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission
SUBJECT: Historic Area Work Permit #1157107– Installation of exterior mechanical equipment and associated screening, exterior vents, and vent piping

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached applications for a Historic Area Work Permit (HAWP). This application was **approved** at the May 27, 2026 HPC meeting.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Rev. Gerry Green (Thomas J. Taltavull, Architect)
Address: 11810 Darnestown Road, Gaithersburg

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

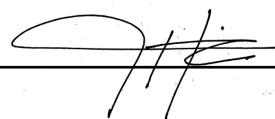
REVIEWED

By Laura DiPasquale at 9:49 pm, May 27, 2026

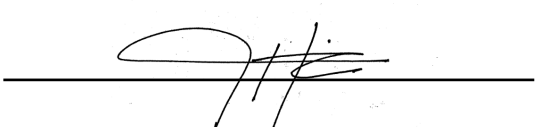
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A handwritten signature in black ink, appearing to be 'JH', is written over a horizontal line.

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:
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Work Item 3: _____	
Description of Current Condition:	Proposed Work:

Historic Preservation Easement Program Change/Alteration Request Application

*This form is intended to be used by Maryland Historical Trust (MHT) Easement Property Owners and/or the Authorized Project Contact to initiate review of projects which require approval of the Director of the MHT as per the Deed of Easement. All **Change/Alteration Request Applications** must be submitted along with pertinent supplemental information in hard copy with an original signature at least one week prior to the scheduled meeting date. Easement Program staff will evaluate the application for completeness and may require additional information to facilitate review by the Easement Committee and Director. The application review period (as specified by each Deed of Easement) will not commence until Easement Program staff has deemed the application to be complete.*

Return the **Change/Alteration Request Application**, and other information to:
Historic Preservation Easement Program
Maryland Historical Trust, 100 Community Place, Crownsville, MD 21032
mht.easements@maryland.gov

Easement Property Information:

Name of Easement Property:	Pleasant View United Methodist Church		
Alternative Name:			
Address of Property:	11810 Darnestown Road		
	Gaithersburg, Maryland 20878	County:	Montgomery
Maryland Inventory of Historic Places # (if known):	M 24-13 (for more information visit http://mht.maryland.gov/research_survey.shtml)		
Scope of Easement:	☒ Exterior ☐ Interior ☐ Archaeology	Is the scope of work located inside the easement boundary?	Yes ☒ No ☐
What does the Easement protect? (Check all that apply)			

*For a copy of the easement document, please contact Kathy Monday (410) 697-9575/ kathy.Monday@maryland.gov

Property Owner Information:

Name of Current Property Owner:	Pleasant View United Methodist Church c/o Gerard A. Green, Jr.		
Address of Property Owner: (If different than property address)	12410 Fellowship Lane		
	Gaithersburg, Maryland 20878	Date of Purchase:	NA
Work/Home Telephone:	301-318-4630	Fax:	
Mobile Telephone:		Email:	therevjr@msn.com

If application is completed by someone other than owner (only complete if applicable):

Name of Authorized Project Contact:	Thomas J. Taltavull		
Relationship to owner:	Architect		
Address of Authorized Project Contact:	20650 Plum Creek Court		
	Gaithersburg, Maryland 20882		
	301-840-1847	Fax:	
	301-466-5272	Email:	tom@tjtarchitects.com

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Historical Trust, 100 Community Place • Crownsville • Maryland • 21032
REVIEWED
 410.697-9575 By Laura DiPasquale at 9:50 pm, May 27, 2026 mht.gov

Project Funding Information:

Is this project being funded by any of the following sources?	☐ MHT Capital Grant (FY ____) ☐ MHT Loan ☒ MHAA Capital Grant (FY 2026) ☐ AAHPP Grant (FY ____) ☐ Historic Tax Credits (☐ Residential/ ☐ Commercial) ☐ Bond Bill (Chapter ____/Year ____) ☐ Other State/Federal Funding ____ ☐ Other Funding ____
Please check all that apply:	

Please check that you have included the following information as part of your complete application:

Required: ☒ Change/Alteration Request Application ☒ Detailed Work Description ☒ Printed Photographs & CD; properly labeled/identified	As Necessary (Recommended): ☒ Site Plan/Drawings/Plans (dated : 4/29/2026) ☐ Product Information/Specifications ☐ Other ____
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The Easement Property Owner and/or the Authorized Proposal Contact is encouraged to keep a duplicated copy of all application information sent to the MHT, including photos and plans, as the MHT staff may need to discuss the application with the applicant prior to submission to the Easement Committee.

Signature of Owner or Authorized Representative/Date: Thomas J. Rathbun / 04/29/2026

Detailed Work Description Form

(Include all construction, reconstruction, improvement, enlargement, painting and decorating, alteration, demolition, maintenance or repair, and excavation)

Work Item # 1

Architectural/Landscape feature: South Elevation of church	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: circa 1960	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 1-3	Drawing no. A000, A001, A002 , A003
The south elevation of church is an addition built circa 1960, consisting of concrete block foundation, wood framed walls with wood siding and recently installed standing seam metal roofing. There are two gothic arched double hung windows with blue colored glass.	The existing church currently does not have a mechanical heating and air conditioning system. The proposed work is to install an new heat pump system which will need three outdoor condensing units proposed to be ground mounted on concrete pads. A wood fence enclosure for the new units is proposed to screen them from view. See attached drawings for locations and elevation drawings and photos.	

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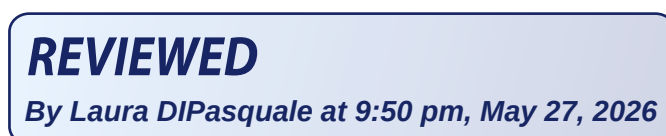
Work Item #2

Architectural/Landscape feature: South Elevation of 1960's addition	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: circa 1960's	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 1- 3	Drawing no. A000, A001, A002, A003
The existing south elevation is as described in work item #1	The proposed interior work is to construct a restroom on the southeast corner of the building. The church never had indoor plumbing. The restroom will require an exhaust fan and will need to be ducted to the outside. The exterior where the duct penetrates the exterior wall will require a metal louver. See attached elevation drawing showing the size and location of the exhaust louver.	

Work Item # 3

Architectural/Landscape feature: The East and West elevations at the wood bandboard	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 1914	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 1 - 3	Drawing no. A000, A001, A002, A003
The original foundation wood band board	The new mechanical heating and air conditioning system requires by code an outside fresh air intake which will need metal 6" high by 12" wide louver to connect to the interior outside air supply duct. The louvers will be located in the 8 inch band board on the west and east elevations.	

print this page again to include as many work items as necessary.



Work Item #4

Architectural/Landscape feature: Standing Seam Metal Roofing	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature: 2020	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no. 1-3	Drawing no. A000, A001, A002 A003
The standing seam metal roofing on the 1960's addition to the church was recently installed in 2020.	The proposed ADA restroom to be located in the 1960 addition at the south east corner will require a 2 inch vent pipe that will penetrate the roof.	

Work Item #

Architectural/Landscape feature:	Describe, in detail, the proposed work and impact on existing feature:	
Approximate date of feature:	Be sure to include details and specifications on proposed products	
Describe existing feature and its condition:	Photo no.	Drawing no.

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Photo 1. Pleasant View United Methodist Church - West Elevation -04/30/2026

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[Signature]

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Photo 2 - Pleasant View United Methodist Church - South Elevation -04/30/2026



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Photo 3 - Pleasant View United Methodist Church - East Elevation -04/30/2026



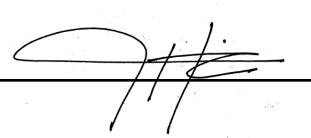
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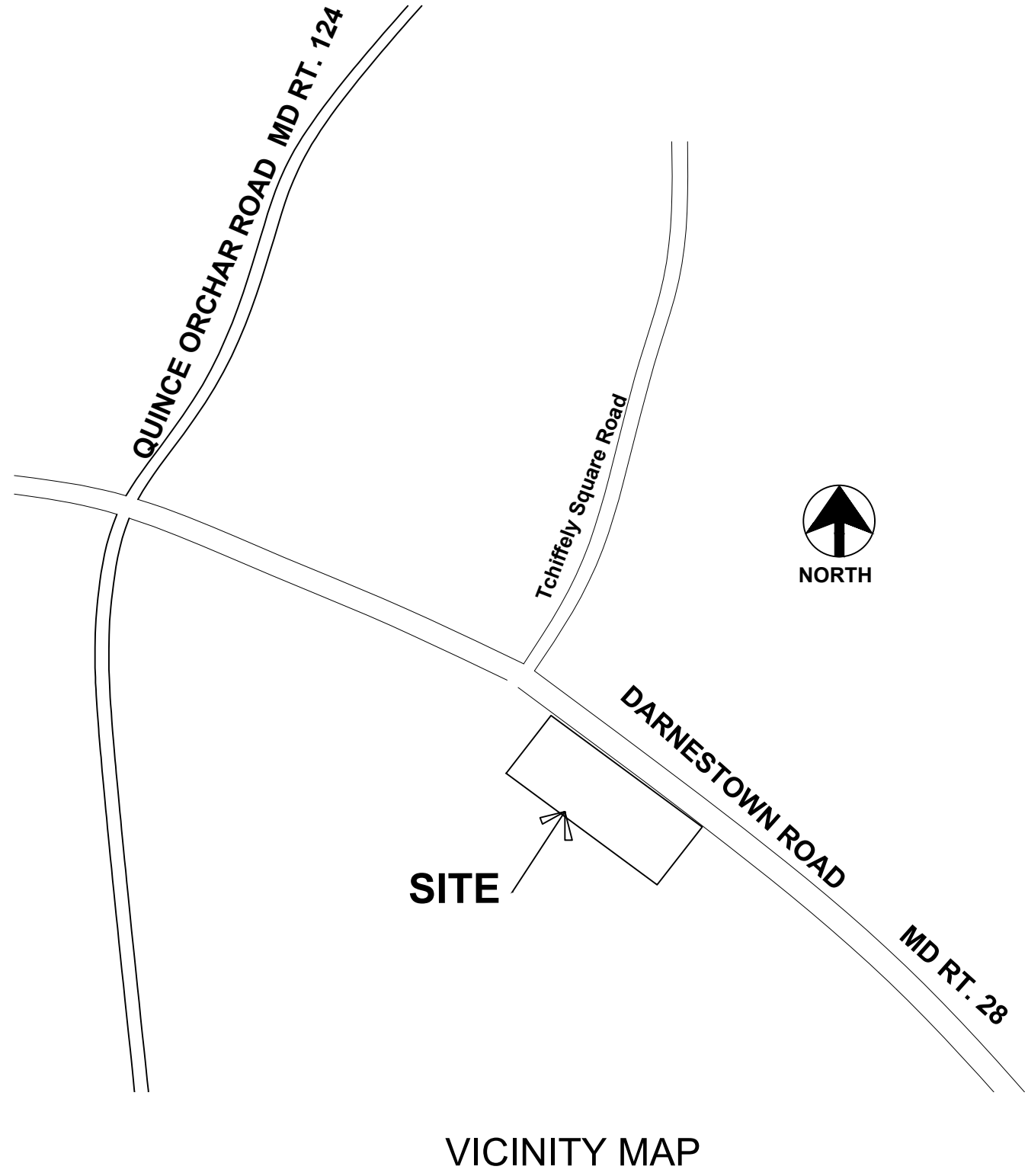
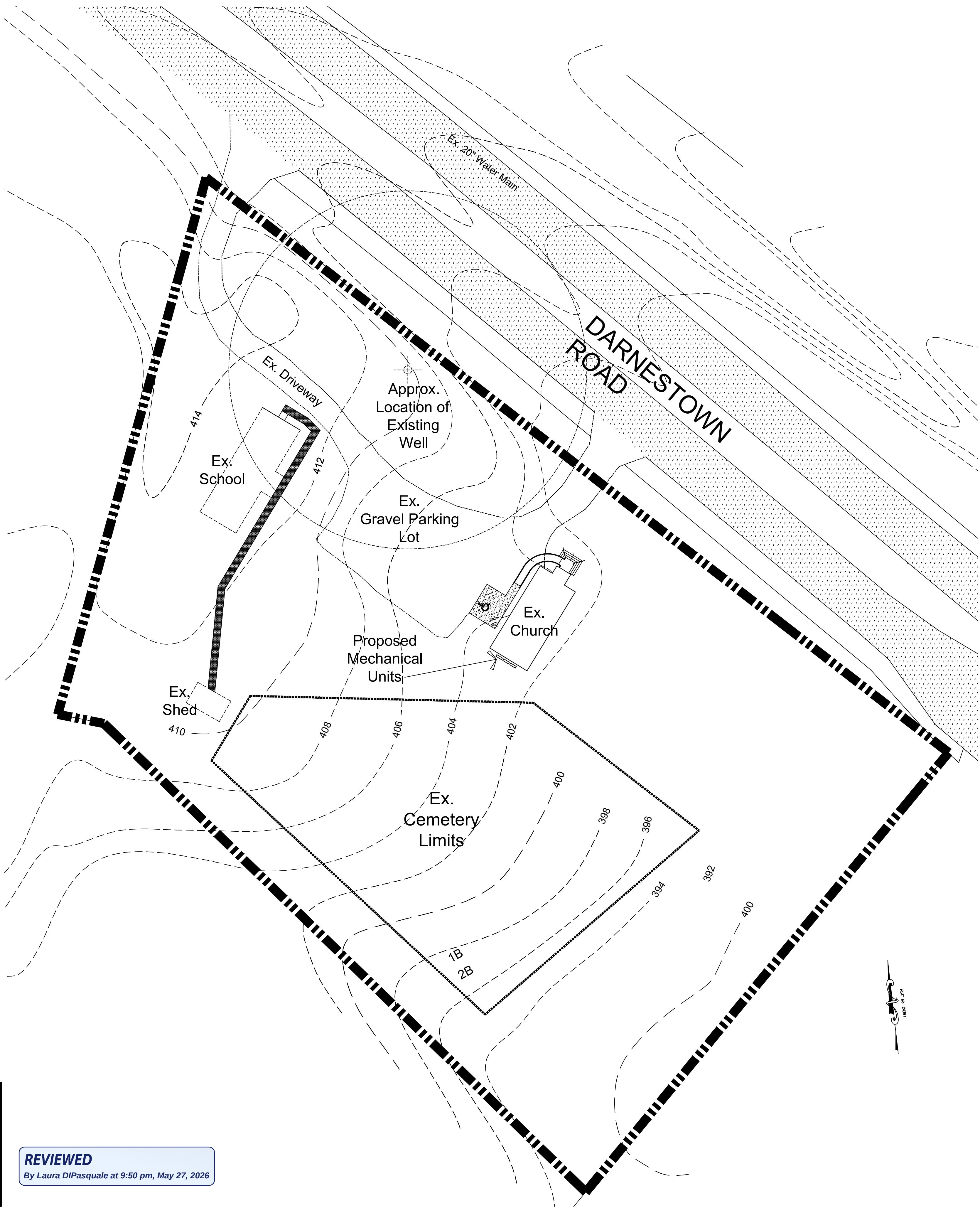


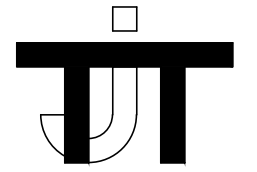
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By Laura DiPasquale at 9:50 pm, May 27, 2026

PROPOSED SITE PLAN

1" = 30'





ARCHITECTS
PLANNERS
HISTORIC
PRESERVATION

THOMAS J. TALTAVULL
ARCHITECT
20850 PLUM CREEK COURT
GAITHERSBURG, MARYLAND 20882
301.840.1847

Professional Certification.
I hereby certify that these
documents were prepared
or approved by me, and that
I am a duly licensed
architect under the laws of
the State of Maryland.
License No. 9083,
Expiration Date: 6-13-2026.

Professional Seal

Revisions

Drawing Title

SITE PLAN

Date: April 29, 2026

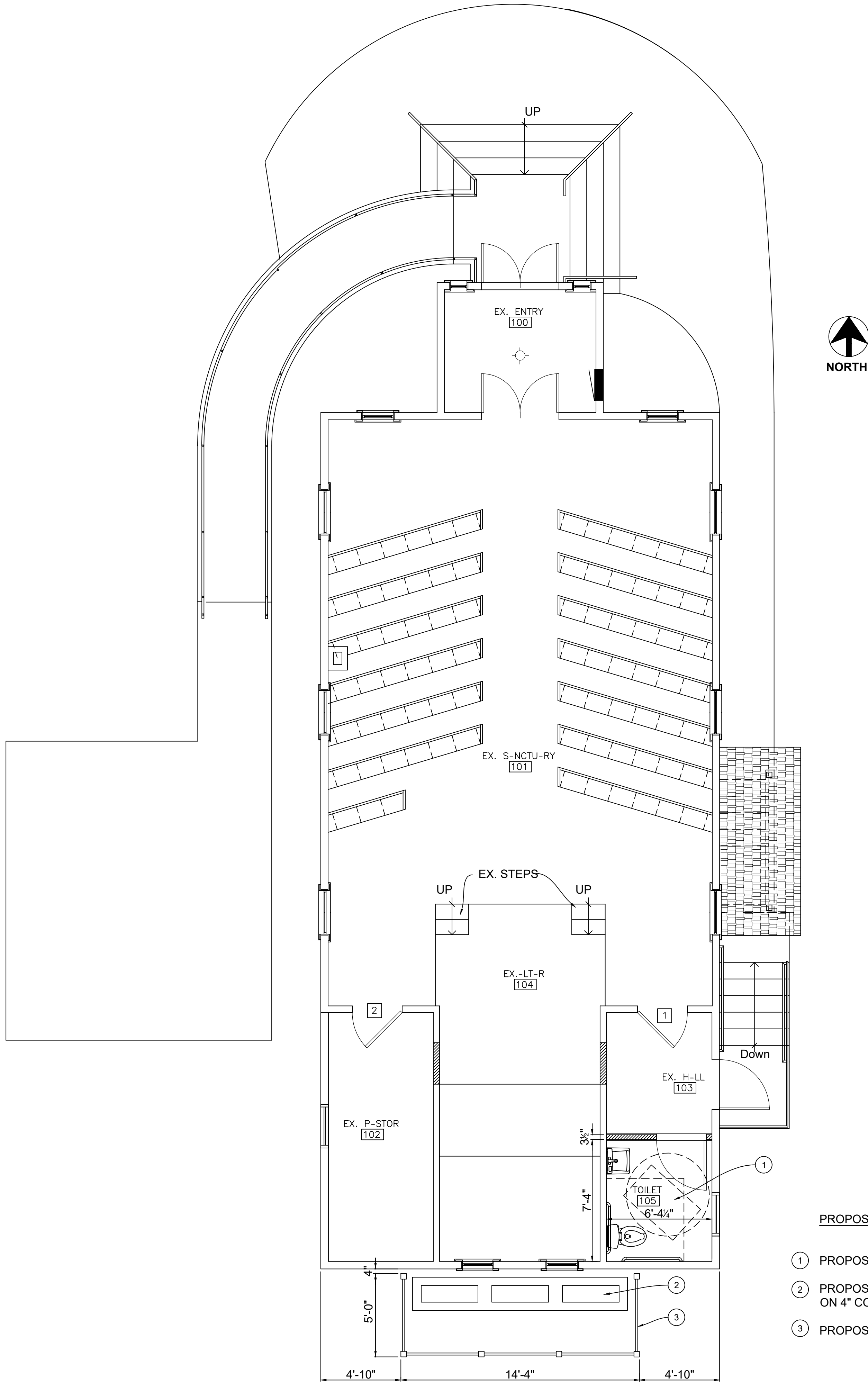
Interior Alterations to:
PLEASANT VIEW UNITED METHODIST CHURCH
PLEASANT VIEW HISTORICAL SITE
11810 Darnestown Road
Gaithersburg, Maryland 20878

Drawing Number

A000



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PROPOSED FLOOR PLAN NOTES:

- 1 PROPOSED ADA RESTROOM
- 2 PROPOSED OUTDOOR MECHANICAL UNITS ON 4" CONCRETE PAD.
- 3 PROPOSED WOOD FENCE TO SCREEN MECH. UNITS.



THOMAS J. TALTAVULL
ARCHITECT
20850 PLUM CREEK COURT
GAITHERSBURG, MARYLAND 20882
301.840.1847

Professional Certification.
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 9083, Expiration Date: 6-13-2028.

Professional Seal

Revisions

Drawing Title

FLOOR PLAN

Date: April 29, 2026

Interior Alterations to:
PLEASANT VIEW UNITED METHODIST CHURCH
PLEASANT VIEW HISTORICAL SITE
11810 Darnestown Road
Gaithersburg, Maryland 20878

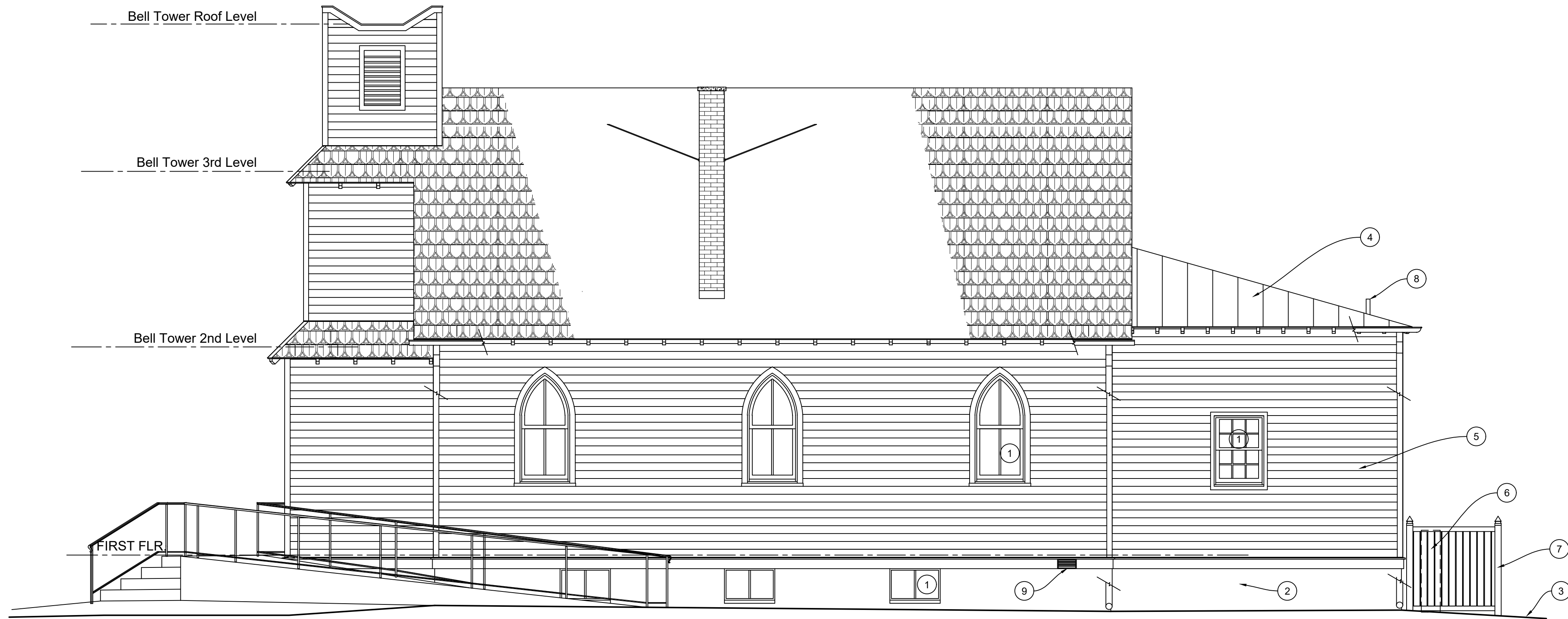
Drawing Number

A001

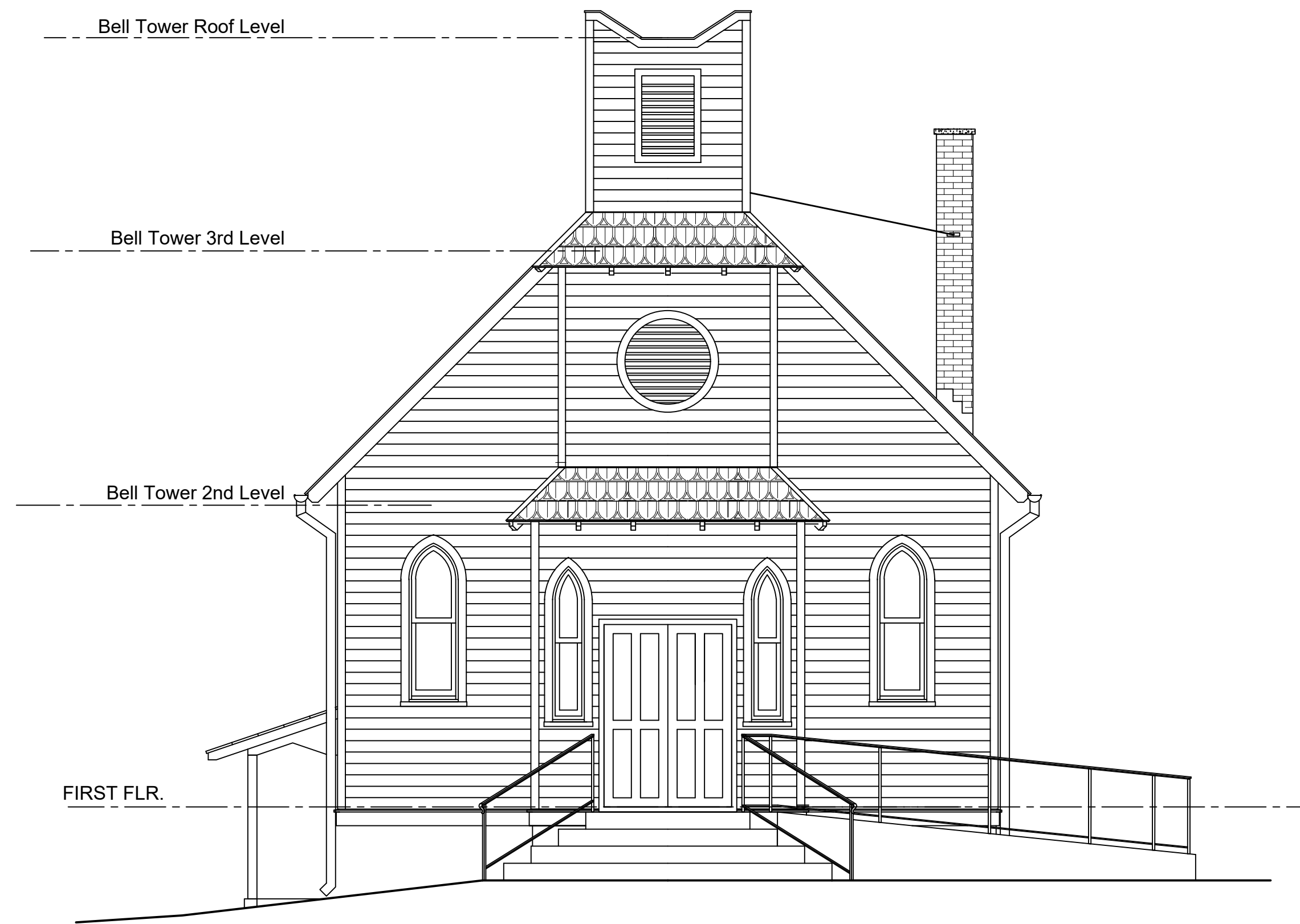
PROPOSED FLOOR PLAN
1/4" = 1' - 0"

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By Laura DiPasquale at 9:50 pm, May 27, 2026



WEST ELEVATION
1/4" = 1' - 0"



NORTH ELEVATION
1/4" = 1' - 0"

WEST ELEVATION NOTES:

- EXISTING WINDOWS
- EXISTING CMU FOUNDATION WALL
- LINE OF EXISTING GRADE
- EXISTING 1" LOW PROFILE STANDING SEAM METAL ROOFING
- EXISTING WOOD SIDING AND BAND BOARD.
- PROPOSED OUTDOOR MECHANICAL UNITS ON 4" CONCRETE PAD SHOWN AS DASHED LINES.
- PROPOSED 4' x 6" HIGH WOOD FENCE PAINTED, TO SCREEN NEW MECHANICAL UNITS. FENCE TO BE PRESSURE TREATED 4 x 4 WOOD POSTS, 2 x 4 TOP AND BOTTOM RAIL W/ 1 x 4 WOOD FENCE BOARDS SPACE 3/4" APART. PAINTED.
- PROPOSED PLUMBING VENT THRU ROOF.
- PROPOSED 6" x 12" OUTDOOR AIR INTAKE METAL LOUVER



REVIEWED

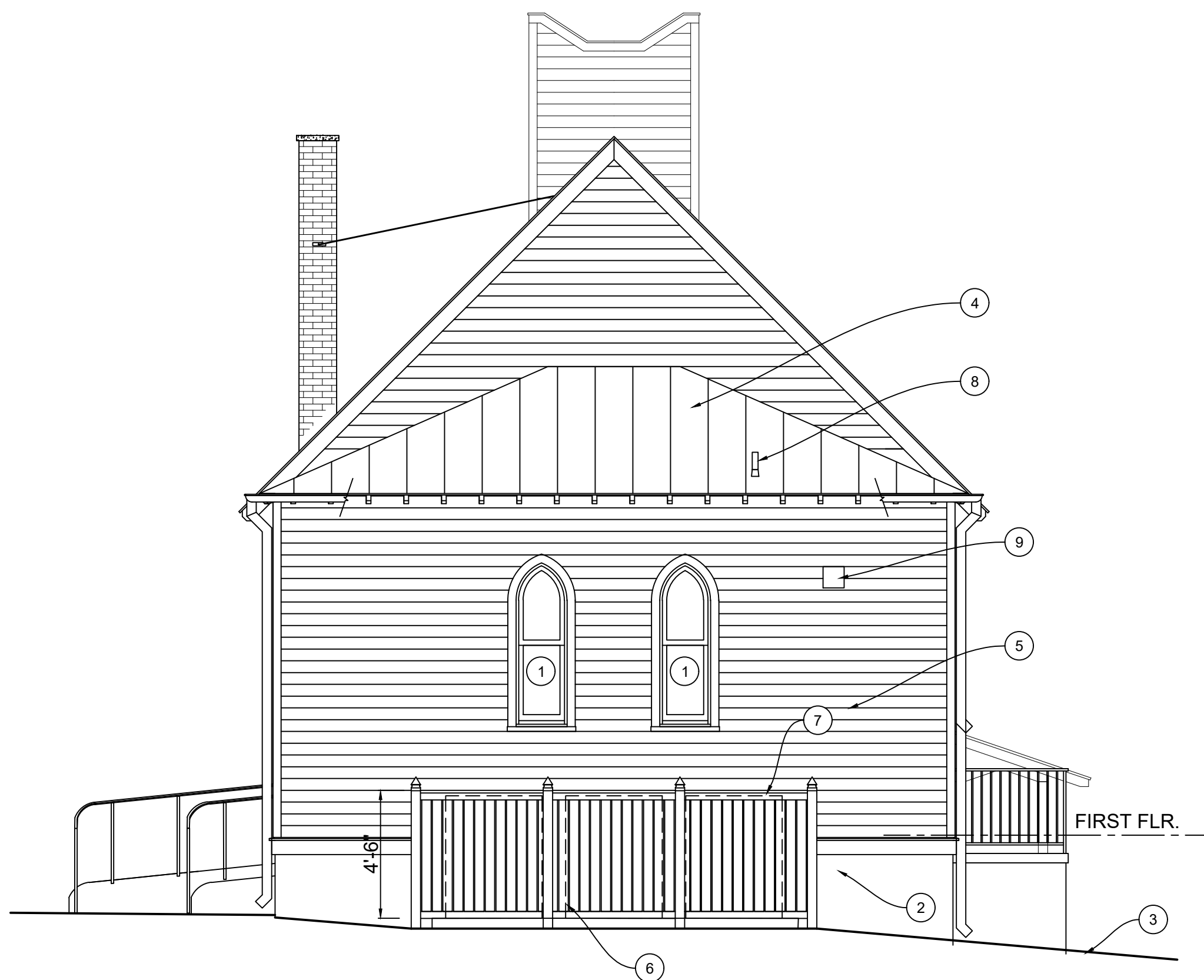
By Laura DiPasquale at 9:51 pm, May 27, 2026



EAST ELEVATION

1/4" = 1' - 0"

2



SOUTH ELEVATION

1/4" = 1' - 0"

3

EAST ELEVATION NOTES:

- EXISTING WINDOWS
- EXISTING CMU FOUNDATION WALL
- EXISTING WOOD CRAWL SPACE ACCESS PANEL
- EXISTING METAL STAIR RAILING AND CONCRETE STEPS
- LINE OF EXISTING GRADE
- EXISTING 1" LOW PROFILE STANDING SEAM METAL ROOFING
- EXISTING WOOD SIDING AND BAND BOARD.
- PROPOSED OUTDOOR MECHANICAL UNITS, ON 4" CONCRETE PAD. SHOWN AS DASHED LINES.
- PROPOSED 4' x 6" HIGH WOOD FENCE PAINTED, TO SCREEN NEW MECHANICAL UNITS. FENCE TO BE PRESSURE TREATED 4 x 4 WOOD POSTS, 2 x 4 TOP AND BOTTOM RAIL W/ 1 x 4 WOOD FENCE BOARDS SPACE 3/4" APART. PAINTED.
- PROPOSED PLUMBING VENT THRU ROOF.
- PROPOSED 6" x 12" OUTDOOR AIR INTAKE METAL LOUVER

SOUTH ELEVATION NOTES:

- EXISTING WINDOWS
- EXISTING CMU FOUNDATION WALL
- LINE OF EXISTING GRADE
- EXISTING 1" LOW PROFILE STANDING SEAM METAL ROOFING
- EXISTING WOOD SIDING.
- PROPOSED OUTDOOR MECHANICAL UNITS, W/ 4" CONCRETE SLAB ON GRADE. DASHED LINES
- PROPOSED 4' x 6" HIGH WOOD FENCE PAINTED, TO SCREEN NEW MECHANICAL UNITS. FENCE TO BE PRESSURE TREATED 4 x 4 WOOD POSTS, 2 x 4 TOP AND BOTTOM RAIL W/ 1 x 4 WOOD FENCE BOARDS SPACE 3/4" APART. PAINTED.
- PROPOSED PLUMBING VENT THRU ROOF.
- PROPOSED WALL CAP FOR BATHROOM EXHAUST FAN.



THOMAS J. TALTAVULL
ARCHITECT
20850 PLUM CREEK COURT
GAITHERSBURG, MARYLAND 20882
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Professional Certification.
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 9083, Expiration Date: 6-13-2028.

Professional Seal

Revisions

Drawing Title

BUILDING ELEVATIONS

Date: April 29, 2026

Interior Alterations to:
PLEASANT VIEW UNITED METHODIST CHURCH
PLEASANT VIEW HISTORICAL SITE
11810 Darnestown Road
Gaithersburg, Maryland 20878

Drawing Number

A003

PVA-AA48NL & PUZ-AK48NLHZ
48,000 BTU/H MULTI-POSITION AIR HANDLER INDOOR UNIT
48,000 BTU/H HYPER HEAT PUMP OUTDOOR UNIT



Job Name:

System Reference:

Date:



Indoor Unit.....PVA-AA48NL

Outdoor Unit.....PUZ-AK48NLHZ

INDOOR UNIT FEATURES

- Optional humidifier control and ERV control
- Unique blow through design: Unique blow through design allows simple coil cleaning when the blower is removed
- Single-zone: One outdoor unit connects to one indoor unit to control the comfort in a single space.
- Selectable external static pressure: Selectable external static pressure: 0.30, 0.50 and 0.80 in.WG with 3 fan speeds at each static setting
- Positive pressure cabinet: Positive pressure cabinet with air leakage of less than 1.0% at 1.0 in.WG
- Optional electric heat kit: Optional electric heat kit for additional heat capacity
- Multiple control options, including the comfort app for remote access, third-party interfaces, and both wired and wireless controllers
- Multi-position installation: Multi-position installation: horizontal (left or right), vertical (up or down). For downflow configurations, the CMA-1 is recommended for proper management of condensate to prevent water blow-off in certain conditions
- Light commercial: Units with this icon are suitable for light commercial applications such as small offices, restaurants, and retail.
- Fiberglass free insulation: 1 inch R4.2 fiberglass free insulation reduces condensation and boosts efficiency
- Enclosed ECM motor: Highly efficient totally enclosed ECM motor
- Ducted air handler: Ducted air handler provides a solution to cool and heat large zones

OUTDOOR UNIT FEATURES

- Built-in base pan heater
 - High Speed Start-up: High speed heating at start up: Hyper-Heating INVERTER® reduces the time for heating at start up by about half compared to standard models_x000D_
 - Hyper-Heating INVERTER®: Variable speed INVERTER-driven compressor_x000D_
 - Pre-charged refrigerant: volume for piping length up to 100 ft
 - Pressure/temp protection
 - Sealed system
 - Wi-Fi enabled
- ability under ASTM B117 testing standards, ensuring longevity in corrosive coastal
down to -13°F (average of 80% heating capacity)_x000D_

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Historic Preservation Commission

REVIEWED

By Laura DiPasquale at 9:51 pm, May 27, 2026

SPECIFICATIONS: PVA-AA48NL & PUZ-AK48NLHZ

Cooling at 95F ¹	Maximum Capacity	Btu/h	48,000
	Rated Capacity	Btu/h	48,000
	Minimum Capacity	Btu/h	18,000
	Maximum Power Input	W	4,640
	Rated Power Input	W	4,640
	Moisture Removal	Pints/h	11.9
	Sensible Heat Factor	-	0.75
Heating at 47F ²	Power Factor [208V / 230V]	%	93 / 93
	Maximum Capacity	Btu/h	60,000
	Rated Capacity	Btu/h	60,000
	Minimum Capacity	Btu/h	12,800
	Maximum Power Input	W	5,130
	Rated Power Input	W	5,130
	Power Factor [208V / 230V]	%	94 / 94
Heating at 17F ³	Maximum Capacity	Btu/h	52,000
	Rated Capacity	Btu/h	30,800
	Maximum Power Input	W	6,130
	Rated Power Input	W	3,690
Heating at 5F ⁵	Maximum Capacity	Btu/h	52,000
	Maximum Power Input	W	7,940
Heating at -4F ⁶	Maximum Capacity	Btu/h	49,895
Heating at -13F ⁹	Maximum Capacity	Btu/h	44,000
Efficiency	SEER ²		20.2
	EER ²		10.4
	HSPF ² [IV]		8.7
	COP at 47°F ²		3.4
	COP at 17°F at Maximum Capacity ³		2.4
	COP at 5°F at Maximum Capacity ⁵		1.9
	COP at -4°F at Maximum Capacity ⁶		1.61
	COP at -13°F at Maximum Capacity ⁹		1.41
Electrical	ENERGY STAR® Certified		No
	Voltage, Phase, Frequency	V AC / V AC, ø, Hz	208 / 230, 1, 60
	Guaranteed Voltage Range	V AC	198 - 253
	Voltage: Indoor - Outdoor, S1-S2	V AC	IDU Powered Separately
	Voltage: Indoor - Outdoor, S2-S3	V DC	12-24
	Short-circuit Current Rating [SCCR]	kA	5
	Recommended Fuse/Breaker Size (Outdoor)	A	40
	Recommended Wire Size [Indoor - Outdoor]	AWG	14
Indoor Unit	MCA	A	5.63
	Fan Motor Output	W	430
	Airflow Rate at Cooling, Dry	CFM	1,040, 1,262, 1,485
	Airflow Rate at Cooling, Wet	CFM	1,040, 1,262, 1,485
	Airflow Rate at Heating, Dry	CFM	1,040, 1,262, 1,485
	Sound Pressure Level [Cooling]	dB (A)	45, 48, 52
	Sound Pressure Level [Heating]	dB (A)	45, 48, 52
	External Static Pressure	in.WG	0.30, 0.50, 0.80
	Drain Pipe Size O.D.	inch [mm]	3/4 [19.05]
	Unit Dimensions (W x D x H)	inch x inch x inch [mm x mm x mm]	25 x 21-5/8 x 59-1/2 [635 x 548 x 1,511]
	Package Dimensions (W x D x H)	inch x inch x inch [mm x mm x mm]	26 x 28-3/4 x 66 [660 x 730 x 1,675]
	Unit Weight	lbs [kg]	172 [78]
	Package Weight	lbs [kg]	198 [90]
	Fan Motor Type		DC Motor
IDU Operating Temp. Range	Cooling Intake Air Temp [Maximum / Minimum]	*FDB, °FWB / °FDB, °FWB	90, 73 / 66, 59
	Heating Intake Air Temp [Maximum / Minimum]	*FDB	82 / 50

NOTES
¹Cooling
²Heating
³Heating
⁴Heating
⁵Heating
⁶Heating
⁷Indoor/Cooling
⁸Wind
⁹Heat pump
¹⁰Refer to
¹¹Outdoor
¹²System

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m)):

atures; Heating and Cooling Intake Air Temperatures):

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By Laura DIPasquale at 9:51 pm, May 27, 2026

SPECIFICATIONS: PVA-AA48NL & PUZ-AK48NLHZ

Outdoor Unit	MCA	A	35
	MOCP	A	60
	Fan Motor Output	W	213+213
	Airflow Rate Cooling	CFM	4,020
	Airflow Rate Heating	CFM	4,020
	Defrost Method		Reverse Cycle
	Coating on Heat Exchanger (Bluefin, Sea Coast)		Yes, Yes
	Sound Pressure Level, Cooling ¹	dB (A)	60
	Sound Pressure Level, Heating ²	dB (A)	62
	Compressor Type		Twin Rotary
	Compressor Model		MRK53FFJMC-L
	Compressor Oil [Type // Charge]	Type // oz	RM68EH // 60
	External Finish Color		Munsell 3Y 7.8/1.1
	Base Pan Heater		Built-in
	Unit Dimensions (W x D x H)	inch x inch x inch [mm x mm x mm]	41-11/32 x 14 x 52-43/64 [1,050 x 355 x 1,338]
	Package Dimensions (W x D x H)	inch x inch x inch [mm x mm x mm]	42-15/16 x 17-3/4 x 58-5/16 [1,090 x 450 x 1,480]
	Unit Weight	lbs [kg]	271 [123]
	Package Weight	lbs [kg]	298 [135]
ODU Operating Temp. Range	Cooling Intake Air Temp [Maximum / Minimum*]	°FDB	115 / 23
	Heating Intake Air Temp [Maximum / Minimum]	°FDB, °FWB / °FDB, °FWB	70, 59 / -13, -13
	Heating Thermal Lock-out / Re-start Temperatures**	°FDB	-22 / -13
Refrigerant	Type		R454B
	Pre-Charged Refrigerant Amount	lbs, oz	11, 7
	Maximum Pre-Charged Piping Length	ft [m]	100 [30]
	Additional Refrigerant Charge Per Additional Piping Length	oz/ft	0.6
Piping	Gas Pipe Size O.D. [Flared]	inch [mm]	5/8 [15.88]
	Liquid Pipe Size O.D. [Flared]	inch [mm]	3/8 [9.52]
	Maximum Piping Length	ft [m]	245 [75]
	Maximum Height Difference	ft [m]	100 [30]
	Maximum Number of Bends		15

NOTES

¹Cooling at 95°F (Indoor: 80°F DB, 67°F WB // Outdoor: 95°F DB, 75°F WB)

²Heating at 47°F (Indoor: 70°F DB, 60°F WB // Outdoor: 47°F DB, 43°F WB)

³Heating at 17°F (Indoor: 70°F DB, 60°F WB // Outdoor: 17°F DB, 15°F WB)

⁴Heating at 5°F (Indoor: 70°F DB, 60°F WB // Outdoor: 5°F DB, 4°F WB)

⁵Heating at -13°F (Indoor: 70°F DB, 60°F WB // Outdoor: -13°F DB, -14°F WB)

*Indoor/Outdoor Unit Operating Temperature Range (Cooling Air Temp [Maximum / Minimum]):

• Wind baffles required to operate below 23°F DB in cooling mode.

• Heat pump system with wind baffle: 0°F - 115°F.

• Refer to wind baffle documentation for further information.

** Outdoor Unit Operating Temperature Range (Cooling Thermal Lock-out / Re-start Temperatures; Heating Thermal Lock-out / Re-start Temperatures):

• System cuts out in heating mode and automatically restarts at these temperatures.

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Montgomery County

Historic Preservation Commission



REVIEWED

By Laura DiPasquale at 9:51 pm, May 27, 2026



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Montgomery County

Historic Preservation Commission

REVIEWED

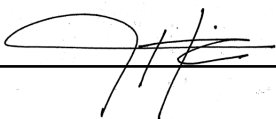
By Laura DiPasquale at 9:51 pm, May 27, 2026

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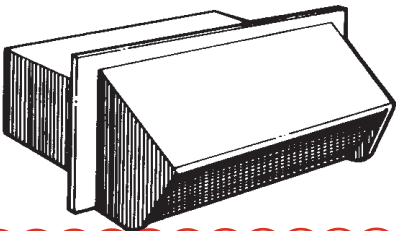
Montgomery County
Historic Preservation Commission



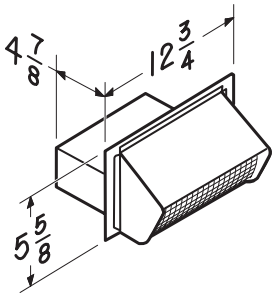
REVIEWED

By Laura DiPasquale at 9:51 pm, May 27, 2026

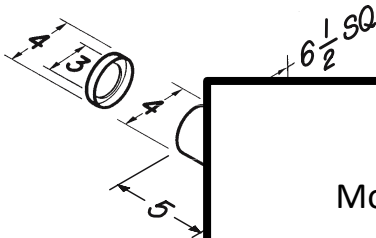
WALL CAPS



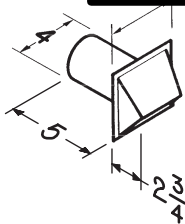
- Model 639**
- For 3¼" x 10" duct
 - Spring-loaded backdraft damper and bird screen
 - 24 GA CRCQ Steel, black powder coat paint finish
 - Do not use for dryer venting



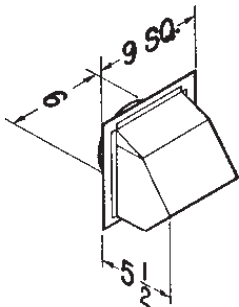
- Model 885BL**
- For 3" or 4" round duct (4" to 3" transition included)
 - Spring-loaded backdraft damper and bird screen
 - 24 GA CRCQ Steel, black powder coat paint finish
 - Do not use for dryer venting



- Model 885NS**
- For 4" round duct
 - For use with clothes dryer venting
 - Spring-loaded backdraft damper
 - .025 Aluminum - natural finish



- Model 843BL**
- For 6" round duct
 - Spring-loaded backdraft damper and bird screen
 - 22 GA CRCQ Steel, black powder coat paint finish
 - Attachment collar 1¼" long
 - Do not use for dryer venting



- Model 641**
- Same features as Model 843BL
 - .025 Aluminum - natural finish

- Model 641FA**
- Same features as Model 641
 - Without backdraft damper

To be Painted White.

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Montgomery County
Historic Preservation Commission

REVIEWED
By Laura DIPasquale at 9:51 pm, May 27, 2026

USA: Broan-NuTone LLC | Hartford, Wisconsin, 53027 broan-nutone.com
CANADA: Venmar Ventilation ULC | Drummondville, QC J2C 7W9 broan-nutone.ca

REFERENCE	QTY.	REMARKS	Project	
			Location	
			Architect	
			Engineer	
			Contractor	
			Submitted by	Date



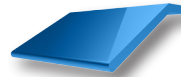
- ALUMINUM BUILD
- 1½" FRAME DEPTH
- 50% FREE AREA
- LOW MAINTENANCE
- ECONOMICAL



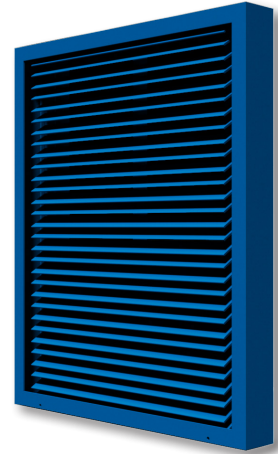
ELF15J

THIN LINE STATIONARY LOUVER

The ELF15J is 1½" deep stationary louver which has a 45° blade angle, primarily used for decorative and PTAC applications where water penetration is not a concern.



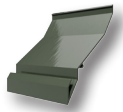
- ALUMINUM BUILD
- 1¼" FRAME DEPTH
- 63% FREE AREA
- ECONOMICAL
- ARCHITECTURALLY STYLED



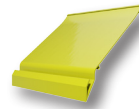
ET125-30

THIN LINE STATIONARY LOUVER

The ET125 and ET125-30 louver(s) are 1¼" deep thin line stationary louver(s), primarily used for decorative and PTAC applications where water penetration is not a concern.



- 37½° BLADE ANGLE
- 4" FRAME DEPTH
- 49% FREE AREA
- ALUMINUM BUILD
- LOW MAINTENANCE



- 37½° BLADE ANGLE
- 6" FRAME DEPTH
- 57% FREE AREA
- ALUMINUM BUILD
- LOW MAINTENANCE



ELF375DXD

STATIONARY LOUVER

The ELF375DXD Stationary Louver has a 4" deep frame, 54% free area, 37½° blade angle, and a high performance frame system. It provides excellent water penetration performance.

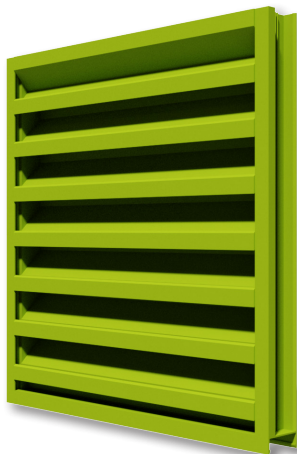
ELF6375DX

STATIONARY LOUVER

The ELF6375DX Stationary Louver has a 6" deep frame, 57% free area, 37½° blade angle, and a high performance frame system.



- ALUMINUM BUILD
- 2" FRAME DEPTH
- 38% FREE AREA
- LOW MAINTENANCE
- EXCELLENT PERFORMANCE



ELF211D

STATIONARY LOUVER

The ELF211D is a 2" deep stationary louver featuring 38% free area with a high performance frame system and a drainable head to help collect and remove water. This louver also has an architecturally styled hidden mullion, allowing a continuous blade appearance.



- 37½° BLADE ANGLE
- FOR PTAC APPLICATIONS
- 50% FREE AREA
- ECONOMICAL
- LOW PRESSURE DROP

REVIEWED

By Laura DiPasquale at 9:51 pm, May 27, 2026

ELF375D

STATIONARY LOUVER

The ELF375D Stationary Louver has a 4" deep frame, 50% free area, low pressure drop, and low water penetration. This louver also has an architecturally styled hidden mullion.

STATIONARY LOUVERS

Stationary louvers are commonly seen in applications that require intake and exhaust ventilation. Of all of the louver sub categories, stationary louvers are the most common ones used and have the largest breadth of models. Stationary louvers are both drainable and non-drainable, provide protection for water infiltration, and wind-driven rain. Non-drainable models are commonly sought after for projects with an emphasis on architectural aesthetics while drainable models perform better in guiding moisture away from the area behind the louver.



MODEL	MIN. DIM.	MAX. DIM.	DEPTH	BLADE ANGLE	BLADE STYLE	BLADE ORIENTATION	FREE AREA	AMCA CERTIFICATION	
								AIR PERF.	WATER PENETRATION
ELF15J	6" x 6"	UNLIMITED	1½"	45°	NON-DRAINABLE	HORIZONTAL	50%	-	-
ELF211	6" x 10"	UNLIMITED	2"	45°	NON-DRAINABLE	HORIZONTAL	42%	-	-
ELF375X	12" x 12"	UNLIMITED	4"	37½°	NON-DRAINABLE	HORIZONTAL	54%	✓	✓
ELF375XH	12" x 12"	UNLIMITED	4"	37½°	NON-DRAINABLE	HORIZONTAL	54%	✓	✓
ELF375DXH	12" x 12"	UNLIMITED	4"	37½°	DRAINABLE	HORIZONTAL	54%	✓	✓
ELF445DX	12" x 12"	UNLIMITED	4"	45°	DRAINABLE	HORIZONTAL	54%	✓	✓
ELF445DXH	12" x 12"	UNLIMITED	APPROVED Montgomery County Historic Preservation Commission 	✓	✓				
ELF6350DMP	12" x 12"	UNLIMITED		✓	✓				
ELF6375X	12" x 12"	UNLIMITED		✓	✓				
ELF6375XH	12" x 12"	UNLIMITED		✓	✓				
ELF6425DD	12" x 12"	UNLIMITED		✓	✓				
ELF6811S	12" x 12"	UNLIMITED		REVIEWED By Laura DiPasquale	-	-			
ELF811DD	12" x 12"	UNLIMITED			-	-			
ELF811SH	12" x 12"	UNLIMITED			-	-			
L375D	12" x 12"	UNLIMITED		4"	37½°	DRAINABLE	HORIZONTAL	50%	✓

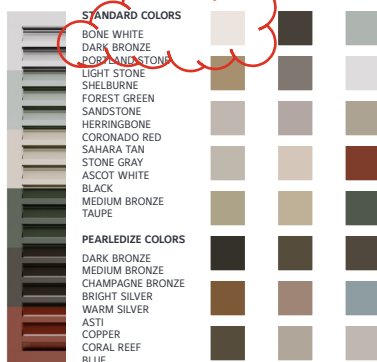
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*More models at www.ruskin.com

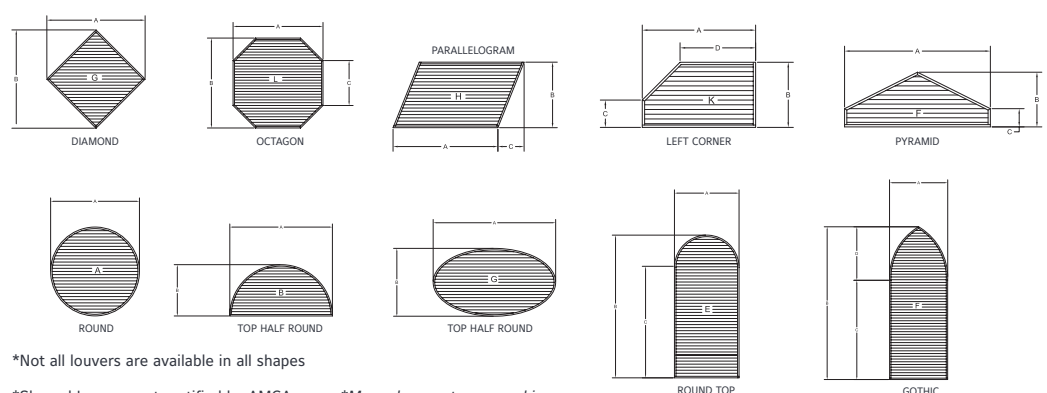
*For the most current catalog information please visit www.ruskin.com, or use the Ruskin® Online Louver Selection Tool.

RUSKIN® LOUVER COLORS



*We can match any color!

LOUVER SHAPES



*Not all louvers are available in all shapes

*Shaped Louvers not certified by AMCA

*More shapes at www.ruskin.com