



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Jeffrey Hains
Chair

June 12, 2026

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Laura DiPasquale
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1159925– Roof replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** by HPC staff.

The HPC staff has reviewed and stamped the attached submission materials.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Jerome Ernst; Central Exteriors (Agent)
Address: 7805 Takoma Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete, the applicant will contact Laura DiPasquale at 301-495-2167 or laura.dipasquale@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: _____ at: _____

submitted on: _____

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by Laure D. Magallon. The approval memo and stamped drawings follow.

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Home with multiple roof planes averaging from steep to low.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Remove existing shingles, damaged flashings and underlayment down to the decking. Inspect and replace decking as needed. Install new synthetic underlayment, ice and water shield, new Architectural Landmark shingles and new flashings as needed.

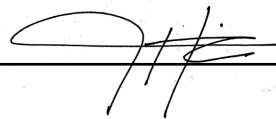
REVIEWED

By Laura DiPasquale at 2:29 pm, Jun 12, 2026

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Montgomery County

Historic Preservation Commission

A handwritten signature in black ink, appearing to be "JH", is written over a horizontal line.

Precise Aerial Measurement Report

Prepared for you by Universal Supply



7805 Takoma Ave, Takoma Park, MD 20912



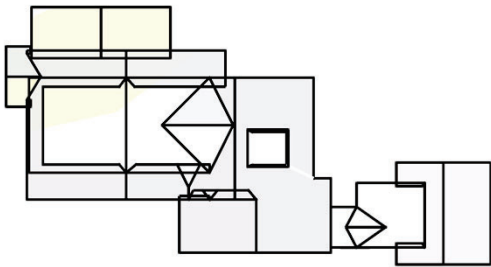
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Universal Supply
9645 Gerwig Lane suite 200
Columbia, MD 21046

Garrett Heath
tel. 240-380-0878
email: GHeath@UniversalSupply.com

7805 Takoma Ave, Takoma Park, MD 20912



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In this 3D model, facets appear as

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Report Details

Report:64756387

Roof Details

Total Roof Area	2
Total Roof Facets	5
Predominant Pitch =10/12	Pitch Diagram.....6
Number of Stories >1	Area Diagram.....7
Total Ridges/Hips =135 ft	Notes Diagram.....8
Total Valleys =114 ft	Report Summary.....9
Total Rakes =447 ft	
Total Eaves =170 ft	



Disclaimer: This report was produced using EagleView Extended Coverage Technology. Due to a variety of reasons including but not limited to tree coverage, poor images, low photo resolution or other blockages, this report DOES NOT offer an accuracy guarantee. EagleView recommends that anyone using this report field verify the measurements. Measurements provided by EagleView

Images

The following aerial images show different angles of this structure for your reference.

Disclaimer: This report was produced using EagleView Extended Coverage Technology. Due to a variety of reasons including, but not limited to: tree coverage, poor images, low photo resolution or other blockages; this report DOES NOT offer an accuracy guarantee. EagleView recommends that anyone using this report field verify the yellow-shaded sections.



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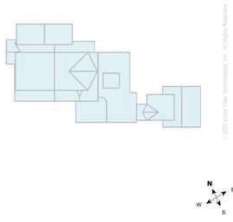
Montgomery County

Historic Preservation Commission



Report: 64756387
Claim: CRS2

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– Covered by one or more of U.S. Patent Nos. 8,078,436; 8,145,578; 8,170,840; 8,209,152; 8,515,125; 8,825,454; 9,135,737; 8,670,961; 9,514,568; 8,818,770;
8,542,880; 9,244,589; 9,329,749; 9,599,466. Other Patents Pending.

All Structures Totals**Lengths, Areas and Pitches**

Ridges = 135 ft (10 Ridges)
 Hips = 0 ft (0 Hips).
 Valleys = 114 ft (15 Valleys)
 Rakes⁺ = 447 ft (31 Rakes)
 Eaves/Starter⁺ = 170 ft (17 Eaves)
 Drip Edge (Eaves + Rakes) = 617 ft (48 Lengths)
 Parapet Walls = 0 (0 Lengths).
 Flashing = 36 ft (7 Lengths)
 Step flashing = 192 ft (26 Lengths)
 Predominant Pitch = 10/12
Total Area (All Pitches) = 4,191 sq ft

Property Location

Longitude = -77.0185501
 Latitude = 38.9852655

Notes

This was ordered as a residential property. There were no changes to the structure in the past four years.

Total Roof Facets = 24

Online Maps

Online map of property

http://maps.google.com/maps?f=q&source=s_q&hl=en&geocode=&q=7805+Takoma+Ave,Takoma+Park,MD,20912

Directions from Universal Supply to this property

http://maps.google.com/maps?f=d&source=s_d&saddr=9645+Gerwig+Ln+Suite+200,Columbia,MD,21046&daddr=7805+Takoma+Ave,Takoma+Park,MD,20912

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Landmark®

Designer Roofing Shingles

A Classic Original

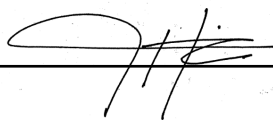
Landmark's dual-layered construction provides depth and dimension, along with extra protection from the elements. Widest array of colors in the industry.

- **Lifetime limited warranty**
- **10-year SureStart protection**
Includes materials and labor costs
- **15-year 110 MPH wind warranty**
Upgrade to 130 MPH available
- **CertaSeal® seals roofs tight** against wind and weather.
- **StreakFighter® 10-year algae resistance.**
- **QuadraBond®** secures shingle layers together at four points for **greater performance.**
- **NailTrak® wider nailing area** for a more accurate installation

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Landmark,
gathered Wood

the highest
quality and comply with the following industry standards:

Fire Resistance:

- UL Class A
- UL certified to meet ASTM D3018 Type 1

Wind Resistance:

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

Tear Resistance:

- UL certified to meet ASTM D3462
- CSA standard A123.5

Wind Driven Rain Resistance:

- Miami-Dade Product Control Acceptance

Acceptance Quality Standards:

- ICC-ES-ESR-1389 & ESR-3537

LANDMARK® COLOR PALETTE



Silver Birch



Cobblestone Gray



Colonial Slate



Georgetown Gray



Weathered Wood



Driftwood



Pewter



Charcoal Black



Moiré Black



Burnt Sienna



Heather Blend



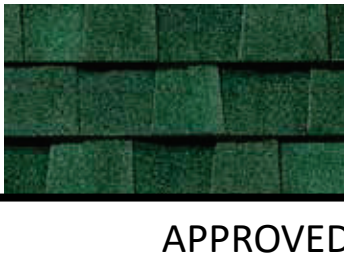
Resawn Shake



Sunrise Cedar



Mojave Tan



Scan code for more information

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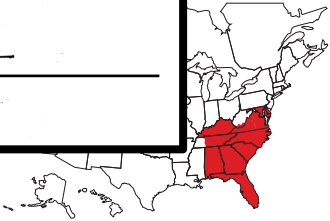
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