



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Karen Burditt
Chairman

July 30, 2026

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1086808 – Partial Demolition, Building Addition, Window Replacement, Tree Removal, and Hardscape Alteration

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the February 26, 2025 HPC meeting, with revisions approved at the December 3, 2025 HPC meeting and the July 19, 2026 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Adisra Jittipun
Address: 8827 Hawkins Lane, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.





FOR STAFF ONLY:

HAWP# _____

DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

District: _____

Contractor Registration No.: _____

List of Historic Properties: _____

Is the property in a historic district? _____

Is there an existing easement on the property? _____

If YES, include a copy of the easement from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application?

If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: N808

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| ☐ New Construction | ☐ Deck/Porch | ☐ Shed/Garage/Accessory Structure |
| ☐ Addition | ☐ Fence | ☐ Solar |
| ☐ Demolition | ☐ Hardscape/Landscape | ☐ Tree removal/planting |
| ☐ Grading/Excavation | ☐ Roof | ☐ Window/Door |
| | | ☐ Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

MRB | Renderings

8210 Kingsbury Dr Silver Spring, MD 20910 (800) 727-4163

CONSULTANT

CONSULTANT

STAMP

HAWKINS LANE RENOVATION

ADISRA JITTIPUN

8827 Hawkins Lane | Chevy Chase, MD 20815

PROJECT TEAM	SHEET INDEX	GRAPHIC SYMBOLS	CODE ANALYSIS	SITE PLAN: 1" = 100'-0"
OWNER: ADISRA JITTIPUN 406 ELLSWORTH DR SILVER SPRING, MD 20910 DESIGNER: MATT BROWN MRB RENDERINGS 9210 KINGSBURY DR SILVER SPRING, MD 20910	ARCHITECTURAL G000 COVER SHEET G001 GENERAL NOTES, SYMBOLS AND ABBREVIATIONS G002 THERMAL ENVELOPE A100 EXISTING AND PROPOSED SITE PLAN AD101 DEMOLITION PLANS A101 PROPOSED FLOOR PLANS A201 EXISTING ELEVATIONS A202 PROPOSED ELEVATIONS AND WINDOW SCHEDULE A203 PROPOSED ELEVATIONS F301 FRAMING AND FOUNDATION PLANS F302 FRAMING PLANS F303 BRACED WALL PLAN D401 DETAILS D402 DETAILS	XX AXX XX AXX SECTION CALLOUT SHEET NUMBER XX AXX XX AXX DETAIL CALLOUT SHEET NUMBER XX AXX XX AXX ELEVATION CALLOUT SHEET NUMBER XX AXX XX AXX DETAIL NUMBER SHEET NUMBER 1 AXX 1 AXX INTERIOR ELEVATION SHEET NUMBER 0'-0" AXX 0'-0" AXX SPOT ELEVATION SHEET NUMBER 1 AXX 1 AXX WINDOW IDENTIFIER SHEET NUMBER A AXX A AXX DOOR IDENTIFIER SHEET NUMBER 1 AXX 1 AXX FLOOR HEIGHT IDENTIFIER SHEET NUMBER 1 AXX 1 AXX KEYNOTE SHEET NUMBER 1 AXX 1 AXX REVISION INDICATOR SHEET NUMBER SCOPE OF WORK: PRELIMINARY APPROVAL FOR THE RENOVATION AND ADDITION TO A AN EXISTING RESIDENCE AT THE ABOVE ADDRESS LOT: N/A BLOCK: N/A SUBDIVISION: 0502 CODE: IRC 2021 ZONE: R-90 CONSTRUCTION TYPE: II-B NO. OF STORIES: 2 PLUS BASEMENT SPRINKLERED: NO DESIGN CRITERIA: GROUND SNOW LOAD 30 PSF WIND SPEED 115 MPH SEISMIC DESIGN CATEGORY B WEATHERING SEVERE FROST DEPTH LINE 30 IN. TERMITE MODERATE TO HEAVY DECAY SLIGHT TO MODERATE WINTER DESIGN TEMP. 13° F ICE SHIELD UNDERLAYMENT REQ'D YES FLOOD HAZARDS JULY 2, 1979 AIR FREEZING INDEX 300 MEAN ANNUAL TEMP. 55° F ALLOWED HEIGHT: 2 1/2 STORIES; 30'-0" MEAN HEIGHT PROPOSED HEIGHT: UNCHANGED SETBACKS: FRONT YARD 30'-0" SIDE YARD 7'-0" REAR YARD 25'-0" TOTAL AREA OF WORK TO BE DISTURBED: 800 SF CODE AUTHORITIES BUILDING CODE: 2021 INTERNATIONAL RESIDENTIAL CODE MECHANICAL CODE: 2021 INTERNATIONAL MECHANICAL CODE PLUMBING CODE: 2021 INTERNATIONAL PLUMBING CODE ELECTRIC CODE: 2021 NFPA NEC, 2018INTERNATIONAL ENERGY CONSERVATION CODE LIFE SAFETY: 2021 NFPA 101 APPROVED Montgomery County Historic Preservation Commission REVIEWED By Dan Bruechert at 3:34 pm, Jul 30, 2026	101'-1 3/4" 44'-5 9/16" 11' 8' 12' 30' 22' 20' 21' 21' 22' 10' 4' 22' 5' 7' 14' 10' 20' 45' HAWKINS LANE Property Line Property Line Property Line Property Line Shed PROPOSED COVERED DECK PROPOSED ADDITION EXISTING HOUSE PROPOSED GRAVEL DRIVEWAY PROPOSED BLUE STONE WALKWAY TO REAR PATIO Valley Bridge	
VICINITY MAP PROJECT LOCATION	ADISRA JITTIPUN 8827NHAWKINS LANE CHEVY CHASE, MD 20815 DATE SCALE DRAWN BY: CHECKED BY: PROJECT NUMBER DRAWING TITLE COVER SHEET PAGE NUMBER G000			

ABBREVIATIONS:NOTE: ALL ABBREVIATIONS MAY NOT BE USED

GENERAL ABBREVIATIONS	
&	AND
ADDN	ADDITIONAL
ADMIN	ADMINISTRATION
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATIVE
ALUM	ALUMINUM
AP	ACCESS PANEL
APPROX.	APPROXIMATE
ARCH	ARCHITECTURAL
ARW	ACID RESISTANT WASTE
ATC	ACOUSTICAL TILE CEILING
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BO	BOTTOM OF
BOT	BOTTOM
BRKT	BRACKET
C	CENTER LINE
CAB	CABINET
CFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
CJ	CONTROL JOINT
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COMP	COMPRESSIBLE
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS, CONTINUATION
CONTRA	CONTRACTOR
OPT	CARPET
CT	CERAMIC TILE
CTR	CENTER
CTRTOP	COUNTER TOP
DEMO	DEMOLISH, DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DMB	DRY MARKER BOARD
DN	DOWN
DR	DOOR
DTL	DETAIL
DWG	DRAWING(S)
E	EAST
EA	EACH
EJ	EXPANSION JOINT
EL, ELEV	ELEVATION
ELEC	ELECTRICAL
EP	ELECTRICAL PANEL
EQ	EQUAL
EQUIP	EQUIPMENT
ETR	EXISTING TO REMAIN
EWV	ELECTRIC WATER COOLER
EXH	EXHAUST
EXIST	EXISTING
EXP	EXPANSION
EXST	EXISTING
EXT	EXTERIOR
FAAP	FIRE ALARM ANNUCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
FAPS	FIRE ALARM PULL STATION
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR
FHC	FIRE HOSE CABINET
FL	FLASHING
FLR	FLOOR
FP	FILLER PANEL
FRT	FIRE RETARDENT TREATED
FT	FOOT, FEET
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GFCI	GOVERNMENT FURNISHED, CONTRACTOR INSTALLED
GFGI	GOVERNMENT FURNISHED, GOVERNMENT INSTALLED
GH	GROMMET HOLE
GL	GLASS
GOV	GOVERNMENT
GSB	GYP SUM WALL BOARD
GYP BD	GYP SUM WALL BOARD
H	HIGH
HB	HOSE BIB
HC	HANDICAP
HDW	HARDWARE
HDWD	HARDWOOD
HEPA	HIGH EFFICIENCY PARTICULATE AIR FILTER
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
HT	HEIGHT
ID	INSIDE DIAMETER
INSL	INSULATION

INST	INSTALL(ATION)
INT	INTERIOR
KBT	KEYBOARD TRAY
L	LENGTH
LB	POUND
LG	LARGE
LP	LOW POINT
LU	LEG UNIT
M	METER
MAG	MAGNETIC
MAT	MATERIAL
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MED	MEDIUM
MET	METAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MOA	MULTI OUTLET ASSEMBLY
MON	MONITOR
MR	MOISTURE RESISTANT
MTD	MOUNTED
MTL	METAL
N	NITROGEN
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NO	NUMBER
NP	NEW PANEL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED, OWNER INSTALLED
OH	OPPOSITE HAND
ORD	OVERFLOW ROOF DRAIN
ORIG	ORIGINAL
P	POWER RECEPTACLE
PART	PARTICLE BOARD
PCST	PRECAST
PLAM	PLASTIC LAMINATE
PLUMB	PLUMBING
PLYWD	PLYWOOD
PNL(S)	PANEL(S)
PRXR	PROXIMITY READER
PT	PRESSURE TREATED
PTD	PAINT, PAINTED
PTN	PARTITION
PWR	POWER
RCP	REFLECTED CEILING PLAN
REF	REFERNECE
REFRIG	REFRIGERATOR
REQ	REQUIRED
RM	ROOM
S	SOUTH
SA	SOUND ATTENUATION
SAB	SOUND ATTENUATION BLANKET
SAL	SALVAGE
SCWD	SOLID CORE WOOD DOOR
SECT	SECTION
SF	SQUARE FOOT
SHF	SHELF
SHT	SHEET
SIM	SIMILAR
SK	SINK
SM	SQUARE METER
SM	SMALL
SMR	SURFACE MOUNTED RACEWAY
SPEC	SPECIFICATION(S)
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STDP	STAND PIPE
STL	STEEL
STOR	STORAGE
STR	STRUCTURAL, STRUCTURE
SUSP	SUSPENDED
SVF	SEAMLESS VINYL FLOORING
TB	TACK BOARD
TD	TRENCH DRAIN
TEMP	TEMPORARY
THK	THICK
TO	TOP OF
TOC	TOP OF CURB
TOS	TOP OF STEEL
TYP	TYPICAL
UNO	UNLESS NOTE OTHERWISE
UTY	UTILITY
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VIN	VINYL
VWC	VINYL WALL COVERING
W	WIDE, WEST
W/	WITH
W/O	WITHOUT

WB	WHITEBOARD
WD	WOOD
WDO	WINDOW
WR	WATER RESISTANT
LABORATORY ABBREVIATIONS	
AL	AIR LOCK
BP	BACK PANEL
CORR	CORROSIVES
CS	CUP SINK
CYL	CYLINDER
D	DATA RECEPTACLE
DCRD	DROP CORD
DI	DEIONIZED WATER
ES	EMERGENCY SHOWER
EW	EYE WASH
FLAM	FLAMMABLE
FPED	FOOT PEDALS
GFI	GROUND FAULT INTERRUPTER
HB	HIGH BENCH
IVF	ILLUMINATED FILM VIEWER
IVT	INTRAVENEOUS TRACK
LB	LOW BENCH
LN2	LIQUID NITROGEN
MHG	MAGNAHELIC GAUGE
N2	GASEOUS NITROGEN
NARC	NARCOTICS CABINET
O2	OXYGEN
PPE	PERSONAL PROTECTION EQUIPMENT
PTL	PASS THROUGH LOCKERS
PWF	PURE WATER FIXTURE
RO	REVERSE OSMOSIS
SG	SPLASH GUARD
SHR	SHOWER
UC	UNDER COUNTER
VHP	VAPROX HYDROGEN PEROXIDE
VPI	VISUAL PRESSURE INDICATOR
LABORATORY EQUIPMENT ABBREVIATIONS	
ATS	ANIMAL TRANSFER STATION
BFLR	BOTTLE FILLER
BSC	BIOSAFETY CABINET
BSC A2.4	4' CLASS II, TYPE A2 BIOSAFETY CABINET
BSC A2.6	6' CLASS II, TYPE A2 BIOSAFETY CABINET
BSC B2.4	4' CLASS II, TYPE B2 BIOSAFETY CABINET
BSC B2.6	6' CLASS II, TYPE B2 BIOSAFETY CABINET
CFS	CHLORINE FLUSH STATION
CIS	CHLORINE INJECTION STATION
CRW	CAGE @ RACK WASHER
EOXS	ETHYLENE OXIDE STERILIZER
FBB	FLUIDIZED BED BIOFILTER
ICE	ICE MACHINE
INC	INCUBATOR
PTC	PASS THROUGH CABINET
PTC (V)	VENTILATED PASS THROUGH CABINET
STER	STERILIZER
LABORATORY UTILITY SERVICE ABBREVIATIONS	
A	AIR
AGV	AIR, GAS, VACUUM
C	CARBON
CA	COMPRESSED AIR
CO2	CARBON DIOXIDE
CW	COLD WATER
G	GAS
HW	HOT WATER
PW	PURIFIED WATER
V	VACUUM

APPROVED

Montgomery County

Historic Preservation Commission

REVIEWED

By Dan Bruechert at 3:34 pm, Jul 30, 2026

GENERAL NOTES:

1. ALL WORK IS TO CONFORM TO ALL APPLICABLE REQUIREMENTS OF ALL GOVERNING LOCAL, STATE AND FEDERAL CODES, LAWS, REGULATIONS, AND BEST TRADE PRACTICES.

2. THE CONTRACTOR SHALL GIVE ALL NOTICES, OBTAIN ALL PERMITS, LICENSES, CERTIFICATES OF INSPECTION, OF APPROVAL, OF OCCUPANCY AND OTHER SUCH INSTRUMENTS REQUIRED FOR HIS WORK, AND PAY ALL COSTS AND FEES FOR THEM. THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS FOR THE CONNECTIONS OF UTILITIES AND PAY THE CHARGES FOR THEM.

3. EXCEPT AS OTHERWISE NOTED, THE CONTRACTOR SHALL GUARANTEE ALL WORK AGAINST DEFECTS FOR ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. THE NECESSARY REPAIRS OR CHANGES SHALL INCLUDE CORRECTING ANY DEFECTIVE OR INFERIOR WORK AND CORRECTING ALL DAMAGE TO PROPERTY CAUSED BY SUCH WORK OR BY CORRECTING IT.

4. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION INSTALLATION, OR OPERATION OF ANY PART OF THE WORK, AS DETERMINED BY THE ARCHITECT, STANDARDS OF GOOD WORKMANSHIP AND BEST TRADE PRACTICES, SHALL BE INCLUDED IN THE WORK THE SAME AS IF HEREIN SPECIFIED OR INDICATED.

5. ALL CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED OF BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.

6. ALL WORK LISTED IN THESE CONSTRUCTION NOTES AND SHOWN OR IMPLIED ON ALL DRAWINGS SHALL BE COORDINATED BY THE GENERAL CONTRACTOR AND SUPPLIED AND INSTALLED BY SELECTED SUBCONTRACTOR.

7. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSURED ON THE DOCUMENTS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES OR ERRORS IN THE DOCUMENTS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGE IN PLANS, DETAILS, OR DIMENSIONS IS PERMISSIBLE WITHOUT THE CONSENT OF THE ARCHITECT.

8. ALL CONTRACTORS SHALL NOTIFY THE DESIGNER IMMEDIATELY IF THEY CANNOT COME WITH ALL NOTES CALLED FOR ON THESE PAGES AND ON ALL OTHER DRAWINGS OR DOCUMENTS.

9. PRIOR TO BEGINNING ANY WORK, THE CONTRACTOR SHALL PRIOR TO BEGINNING ANY WORK, THE CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE SHOWING THE CHRONOLOGICAL PHASES OF WORK, AND ALL RELATED WORK FOR THE COMPLETION OF THE PROJECT. THIS SCHEDULE SHALL INDICATE ALL ORDERING LEAD-TIME, LENGTH OF TIME FOR EACH PHASE, ITS START AND COMPLETION, WITH A PROJECTED COMPLETION DATE.

10. THE CONTRACTOR, SUBCONTRACTOR, AND ANY OTHER CONTRACTOR INVOLVED IN THIS PROJECT SHALL TAKE NOTE THAT ANY COST CAUSED BY DEFECTIVE OR ILL-TIMED WORK, AS A RESULT OF, BUT NOT LIMITED TO INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING SHALL BE BORNE BY THE PARTY RESPONSIBLE.

11. THE CONTRACTOR SHALL PROVIDE ALL FABRICATION SHOP THE CONTRACTOR SHALL PROVIDE ALL FABRICATION SHOP DRAWINGS AND FIXTURE CUTS TO THE DESIGNER FOR APPROVAL. ALL SHOP DRAWINGS AND CUTS SIGNED "APPROVED" SHALL SUPERSEDE ORIGINATING DRAWINGS IN DESIGN APPEARANCE ONLY. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS IN THEIR DRAWINGS. NASH WATERS ARCHITECTURE APPROVAL OF SHOP DRAWINGS AND/OR CUTS SHALL BE FOR CONFIRMATION OF RELATED WORK BY OTHER SUBCONTRACTORS, FIELD MEASUREMENTS, OR FIELD CONDITIONS.

12. THE CONTRACTOR SHALL EXERCISE STRICT CONTROL OVER THE CONTRACTOR SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM LEAVING THE JOB SITE. JOB SITE SHALL BE KEPT BROOM CLEAN AT ALL TIMES DURING THE PROJECT.
13. PROVIDE FIRE STOPPING AT SOFFITS OVER CABINETS AND DROPPED CEILINGS.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING AND NEW CONDITIONS AND MATERIALS WITHIN AND ADJACENT TO THE CONSTRUCTION AREA. THIS CONTRACTOR SHALL KEEP THE WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.

15. THE CONTRACTOR SHALL LAY OUT HIS WORK AND BE THE CONTRACTOR SHALL LAY OUT HIS WORK AND BE SOLELY RESPONSIBLE FOR ITS CORRECTNESS AND SAFETY, AND SHALL GIVE NECESSARY DIMENSIONS AND DIRECTIONS TO ALL PARTIES.

16. SUBSTITUTION OF EQUIPMENT OR MATERIALS OTHER SUBSTITUTION OF EQUIPMENT OR MATERIALS OTHER THAN THOSE SHOWN IN THE DOCUMENTS SHALL BE MADE ONLY UPON THE APPROVAL OF THE ARCHITECT OR OWNER.

17. THE CONTRACTOR SHALL PATCH ALL AREAS WHICH ARE AFFECTED BY THE CONSTRUCTION TO MATCH THE EXISTING OR NEW ADJACENT MATERIALS AND SURFACES.

18. THE CONTRACTOR SHALL PROPERLY PROTECT THE THE CONTRACTOR SHALL PROPERLY PROTECT THE BUILDING AND ANY ADJOINING PROPERTY OR WORK AND ANY DAMAGE TO THE SAME CAUSED BY HIS WORK OR WORKMEN MUST BE MADE GOOD WITHOUT DELAY.

19. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE CLIENT.

20. THE CONSTRUCTION NOTES AND/OR DRAWINGS ARE THE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY TO THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.

21. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS, SPECIFICATIONS AND SKETCHES ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.

22. THE CONTRACTOR SHALL COORDINATE ALL CUTTING, THE CONTRACTOR SHALL COORDINATE ALL CUTTING, FITTING, AND PATCHING WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY, AND TO FIT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER CONTRACTORS SHOWN UPON REASONABLY IMPLIED BY THE DRAWINGS AND NOTES.

23. ALL DAMAGED SURFACES SHALL BE REPAIRED TO THE ALL DAMAGED SURFACES SHALL BE REPAIRED TO THE SATISFACTION OF NASH WATERS ARCHITECTURE.

24. LOCATE AND TEST SHUT-OFF VALVES PRIOR TO LOCATE AND TEST SHUT-OFF VALVES PRIOR TO DEMOLITION AND CONSTRUCTION.

25. PROBE TO LOCATE ALL UTILITIES PRIOR TO DEMOLITION AND CONSTRUCTION

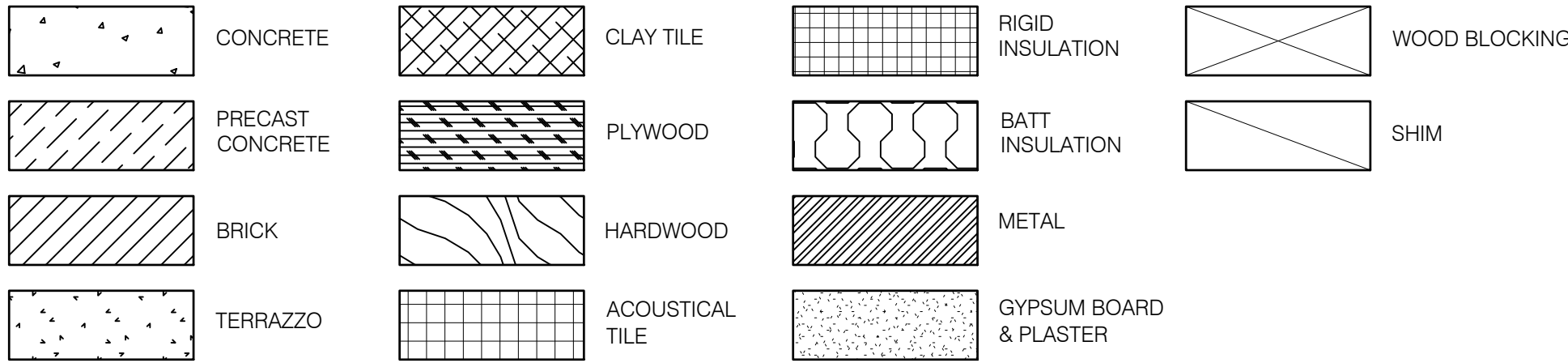
26. NO COMBUSTIBLE, OR EXPLOSIVE FLUID, MATERIAL, NO COMBUSTIBLE, OR EXPLOSIVE FLUID, MATERIAL, CHEMICAL, OR SUBSTANCE, EXCEPT AS SHALL BE NECESSARY AND APPROPRIATE FOR THE PERMITTED USES OF SUCH UNIT.

27. UPON COMPLETION OF PROJECT, PREMISES SHALL BE LEFT BROOM CLEAN, SWEEPED FREE OF DIRT AND DUST, ALL GLASS TO BE CLEAN, ALL FIXTURES AND WARRANTIES AND MANUALS OF SYSTEMS REVIEWED AND GIVEN TO OWNER.

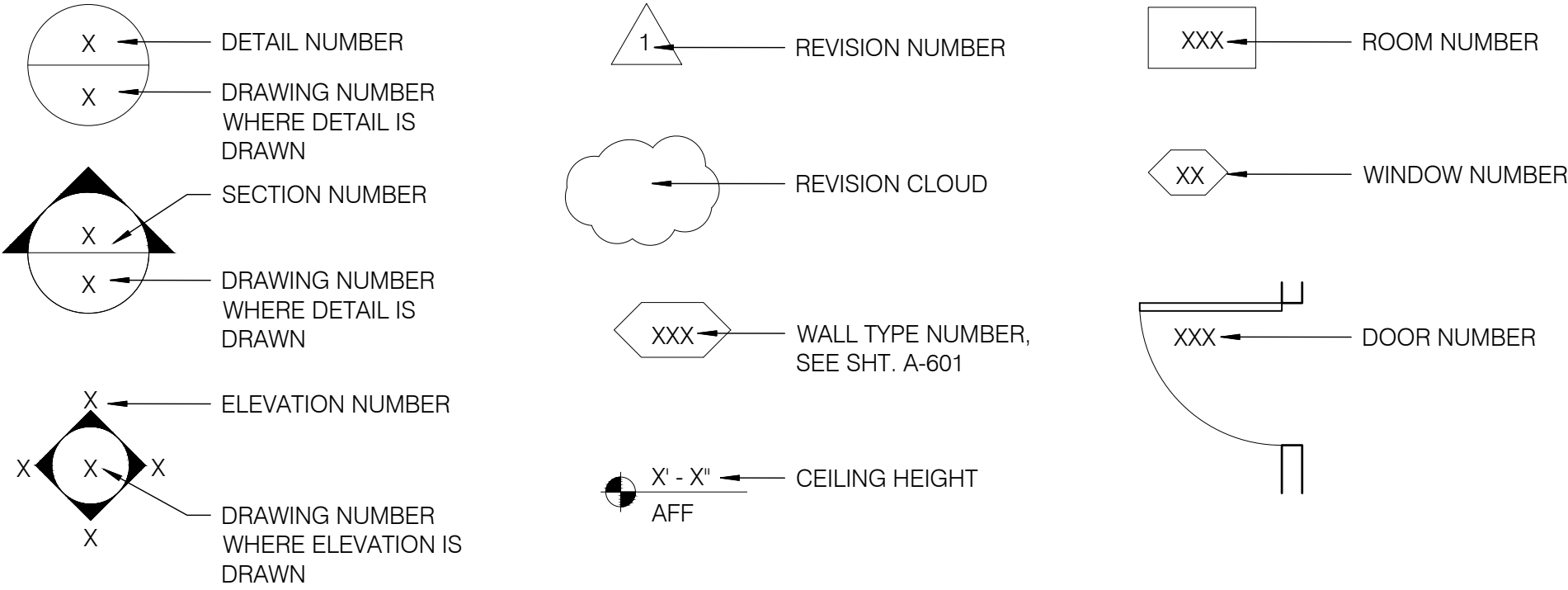
28. CHANNELING OF EXISTING MASONRY WALLS OR NOTCHING OF JOISTS FOR THE INSTALLATION OF NEW PLUMBING LINES AND/OR ELECTRICAL CONDUIT

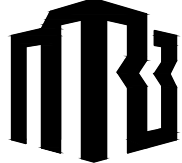
29.

MATERIALS



SYMBOLS





MRB | Renderings

9219 Kingsbury Dr Silver Spring, MD 20910 (800) 727-4163

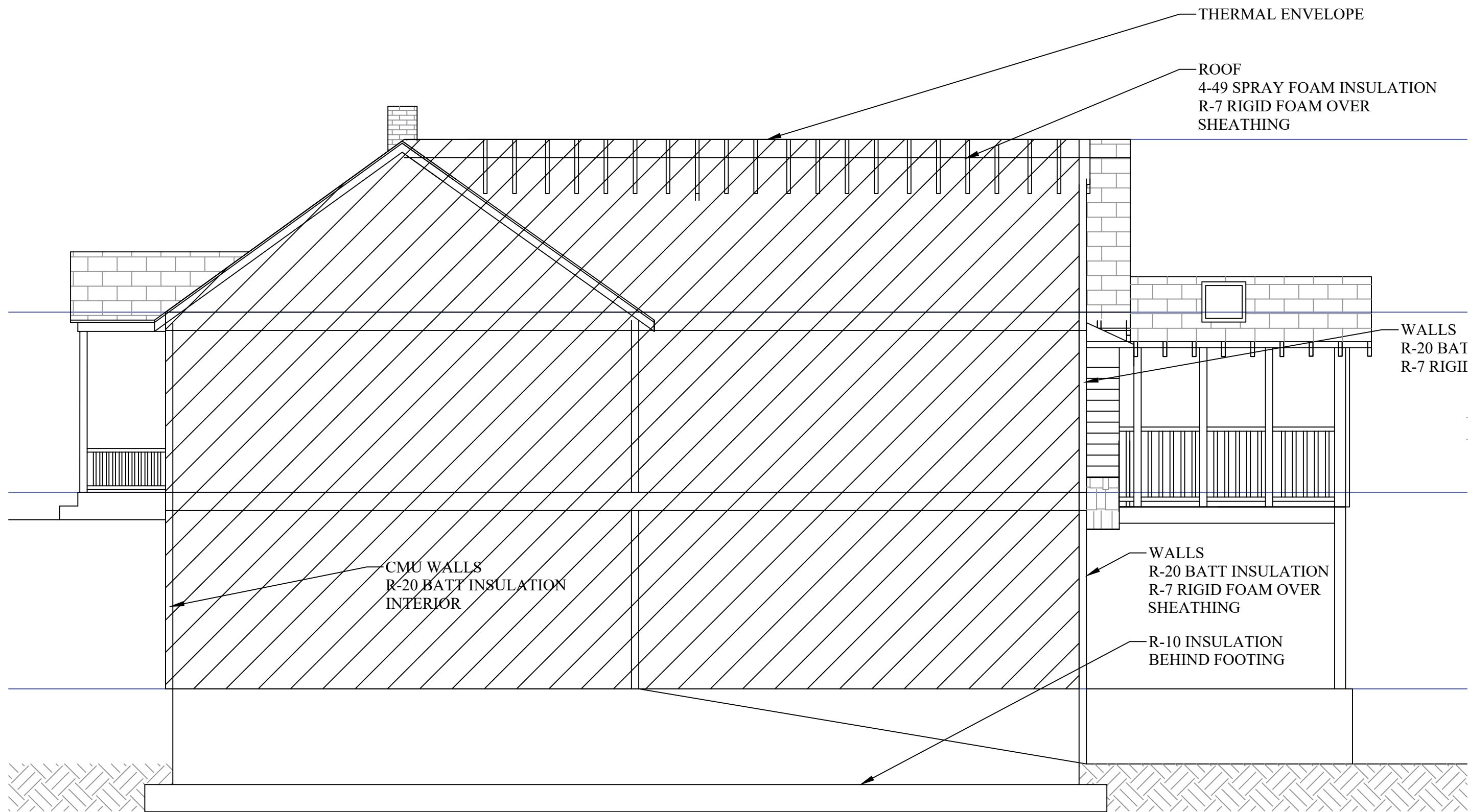
CONSULTANT

CONSULTANT

STAMP

ADISRA JITTIPUN
8827NHAWKINS LANE
CHEVY CHASE, MD 20815

DATE	SCALE
DRAWN BY:	CHECKED BY:
PROJECT NUMBER	
DRAWING TITLE GENERAL NOTES, SYMBOLS AND ABBREVIATIONS	
PAGE NUMBER G001	



CROSS SECTION THERMAL ENVELOPE

ALL CONSTRUCTION SHALL MEET THE 2021 IRC & 2021 IRC WALL BRACING REQUIREMENTS AND THE BUILDING THERMAL ENVELOP DESIGN PLANS & CROSS SECTION(S)

LINE OF THE THERMAL ENVELOPE

THERE ARE NO CRAWL SPACE AREAS

COMPONENT	VALUE		
	U	SHGCC	R
WINDOWS AND TRANSOMS	0.34	0.31	
SLIDING GLASS DOORS/TRANSOMS	0.34	0.31	
SKYLIGHTS – DBL GLAZED	0.60	0.00	
FRENCH DOORS	0.46	0.50	0.50
SOLID DOORS	0.40		
ROOF RAFTERED CEILING			30.0
ROOF TRUSSED CEILING			38.0
CATHEDRAL CEILING			30.0
2X6 WOOD FRAME WALL			19.0
2X4 WOOD FRAME WALL			13.0
BASEMENT WALL ABOVE GRADE			13.0
BASEMENT WALL BELOW GRADE			13.0
CRAWL SPACE (UNHEATED) WALLS			00.0
FLOORS OVER UNCONDITIONED SPACE			30.0
FLOORS OVER GARAGE			30.0
FLOORS OVER OUTSIDE AIR			30.0
FLOORS CANTILEVERED OUTSIDE			30.0
CONCRETE SLAB NEAR GRADE			10.0
ELEVATOR SHAFT INTO ATTIC			13.0

AIR LEAKAGE

ALL AREAS OF THE BUILDING THERMAL ENVELOPE SHALL BE DURABLE
SEALED AGAINST AIR LEAKAGE. THE FOLLOWING AREAS SHALL BE SEALED AGAINST AIR LEAKAGE BY CAULKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED WITH AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL TO ALLOW FOR DIFFERENTIAL EXPANSION OR CONTRACTION:

1. ALL JOINTS, SEAMS, AND PENETRATIONS
2. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS
3. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMB FRAMING
4. UTILITY PENETRATIONS
5. DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE
6. KNEE WALLS
7. WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES.
8. BEHIND TUBS SHOWERS ON EXTERIOR WALLS
9. COMMON WALLS BETWEEN DWELLING UNITS
10. ATTIC ACCESS OPENINGS
11. RIM JOIST JUNCTION
12. OTHER SOURCES OF INFILTRATION

LIGHTING FIXTURES

RECESSED LIGHTING FIXTURES INSTALLED IN THE THERMAL ENVELOPE SHALL BE SEALED TO LIMIT LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LIGHTING FIXTURES SHALL BE IC LISTED. SEAL ALL RECESSED LIGHTING FIXTURES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

A MINIMUM OF 50% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICIENCY LAMPS

HVAC DUCT SEALING

ALL JOINTS OF DUCT SYSTEMS SHALL BE MADE SUBSTANTIALLY AIRTIGHT BY MEANS OF TAPES, MASTICS, LIQUID SEALANTS, GASKETING OR OTHER APPROVED CLOSURE SYSTEMS. CLOSURE SYSTEMS USED WITH RIGID FIBROUS GLASS DUCTS SHALL COMPLY WITH UL181A AND SHALL BE MARKED AS REQUIRED BY 2021 IRC SECTION M1601.4.1. CLOSURE SYSTEMS USED WITH FLEXIBLE AIR DUCTS AND FLEXIBLE AIR CONNECTORS SHALL COMPLY WITH UL181B AND SHALL BE MARKED AS REQUIRED BY 2021 IRC SECTION M1601.4.1

DUCT CONNECTIONS TO FLANGES OF AIR DISTRIBUTION SYSTEM EQUIPMENT OF SHEET METAL FITTINGS SHALL BE MECHANICALLY FASTENED. MECHANICALLY FASTENED JOINTS SHALL BE AS SPECIFIED BY THE 2021 IRC. CLOSURE SYSTEMS USED TO SEAL METAL DUCTWORK SHALL BE INSTALLED PER THE MANUFACTURERS INSTALLATION INSTRUCTIONS.

EXCEPTIONS

1. SPRAY POLYURETHANE FOAM SHALL BE PERMITTED TO BE APPLIED WITHOUT ADDITIONAL JOINT SEALS
2. WHERE A DUCT CONNECTION IS MADE THAT IS PARTIALLY INACCESSIBLE, THREE SCREWS OR RIVETS SHALL BE EQUALLY SPACED ON THE EXPOSED PORTION OF THE JOINT SO AS TO PREVENT A HINGE EFFECT
3. CONTINUOUSLY WELDED AND LACKING TYPE LONGITUDINAL JOINTS AND SEAMS IN DUCTS OPERATING AT STATIC PRESSURES LESS THAN 2 INCHES OF WATER COLUMN PRESSURE CLASSIFICATION SHALL NOT REQUIRE ADDITIONAL CLOSURE SYSTEMS.

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan Bruechert at 3:34 pm, Jul 30, 2026

PREScriptive WORKSHEET (R-Values)

Applicant Name: ALPHA HOMES Date: 11/6/2025
Building Address: 8827 HAWKINS LANE CHEVY CHASE MD 20815 Permit (A/P) # _____

CRITERIA		REQUIRED	PROVIDED	ASSEMBLY DESCRIPTION
WINDOWS/DOORS GLAZED FENESTRATION	MAX. U-FACTOR	0.32	.32	DOUBLE INSULATED GLASS
	MAX. SHGC	0.4	.40	
SKYLIGHTS	MAX. U-FACTOR	0.55		
	MAX. SHGC	0.4		
CEILINGS	MINIMUM R-VALUE	R-49	R-56	BATT INSULATION/RIGID FOAM
WALLS (wood framing)		R-20 or 13+5	R-27	BATT INSULATION/RIGID FOAM
MASS WALLS		**R-8/13		
BASEMENT WALLS		*R-10/13		
FLOORS		R-19		
SLAB PERIMETER R-value, depth		R-10, 2ft	R-10	RIGID FOAM
CRAWL SPACE WALLS		*R-10/13		

*The first R-value applies to continuous insulation, the second to framing cavity insulation. *10/13 means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall.*

**The second R-value applies when more than half the insulation is on the interior of the mass wall. Insulation material used in layers, such as framing cavity insulation and insulating sheathing, shall be summed to compute the component R-value.

Thermally Isolated Sunroom, Check box if applicable.

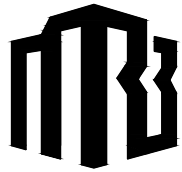
- Minimum Ceiling R-Value for Sunroom (R-19)
- Minimum Wall R-Value (R-13)
- New wall(s) separating a sunroom from conditioned space shall meet the building thermal envelope requirements.

I hereby certify that the building design represented in the attached construction documents has been designed to meet or exceed the requirements of: ²

☐ 2018 Edition International Energy Conservation Code (IECC)

Builder/Designer/Contractor Company Name Date

² Section R103.3.1 "Documents shall be endorsed and stamped "Reviewed for Code Compliance." Section R103.3.2 provides provision for *Plan Approval*. "The code official shall have the authority to issue a permit for the construction of part of an energy conservation system before the construction documents for the entire system have been submitted or approved, provided adequate information and detailed statements have been filed complying with all pertinent requirements of this code. The holders of such permit shall proceed at their own risk without assurance that the permit for the entire energy conservation system will be granted."



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Spring, MD 20910
(807) 727-4183

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8827NHAWKINS LANE
CHEVY CHASE, MD 20815

DATE SCALE
DRAWN BY: CHECKED BY:

PROJECT NUMBER

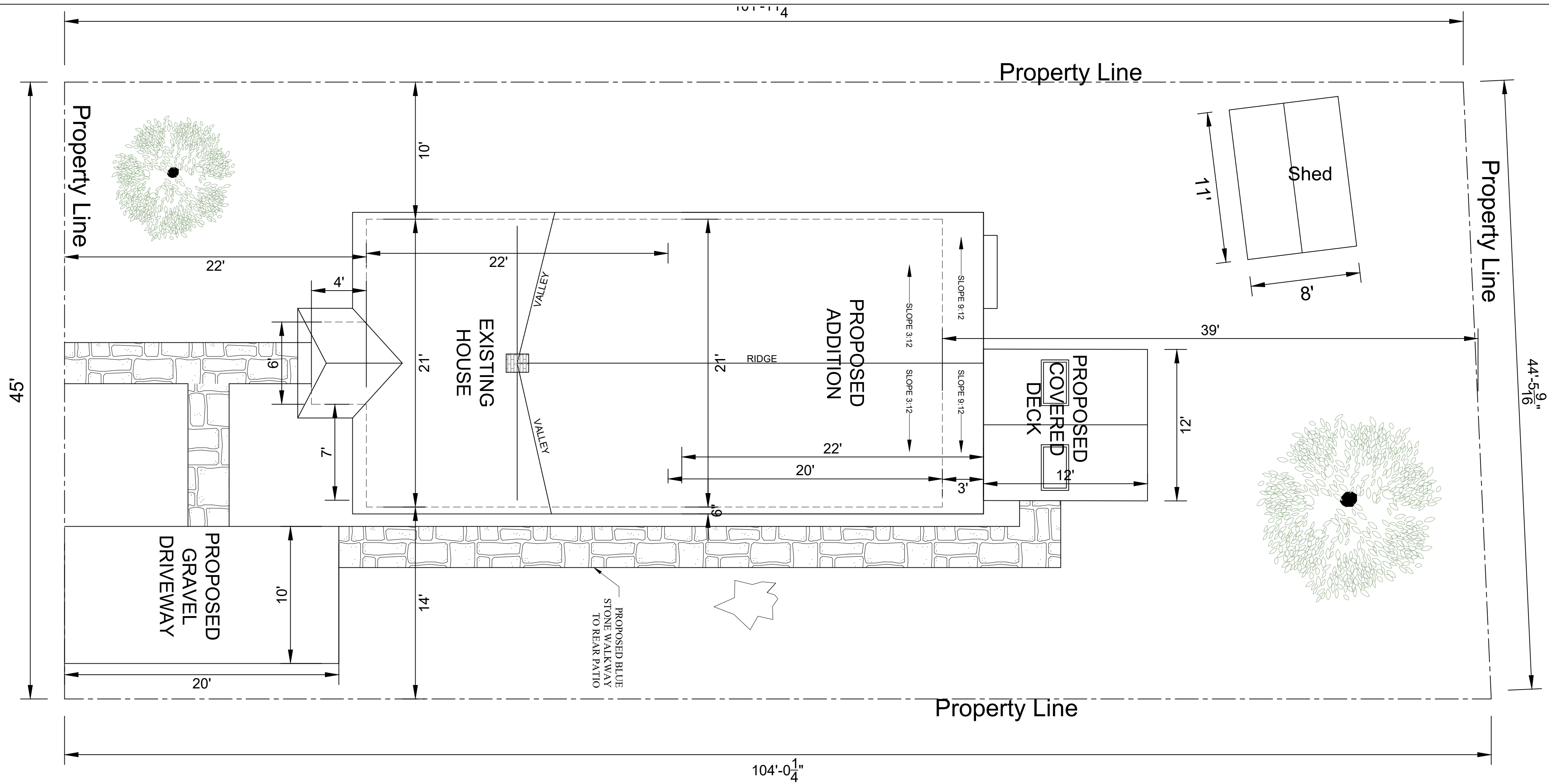
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THERMAL
ENVELOPE

PAGE NUMBER

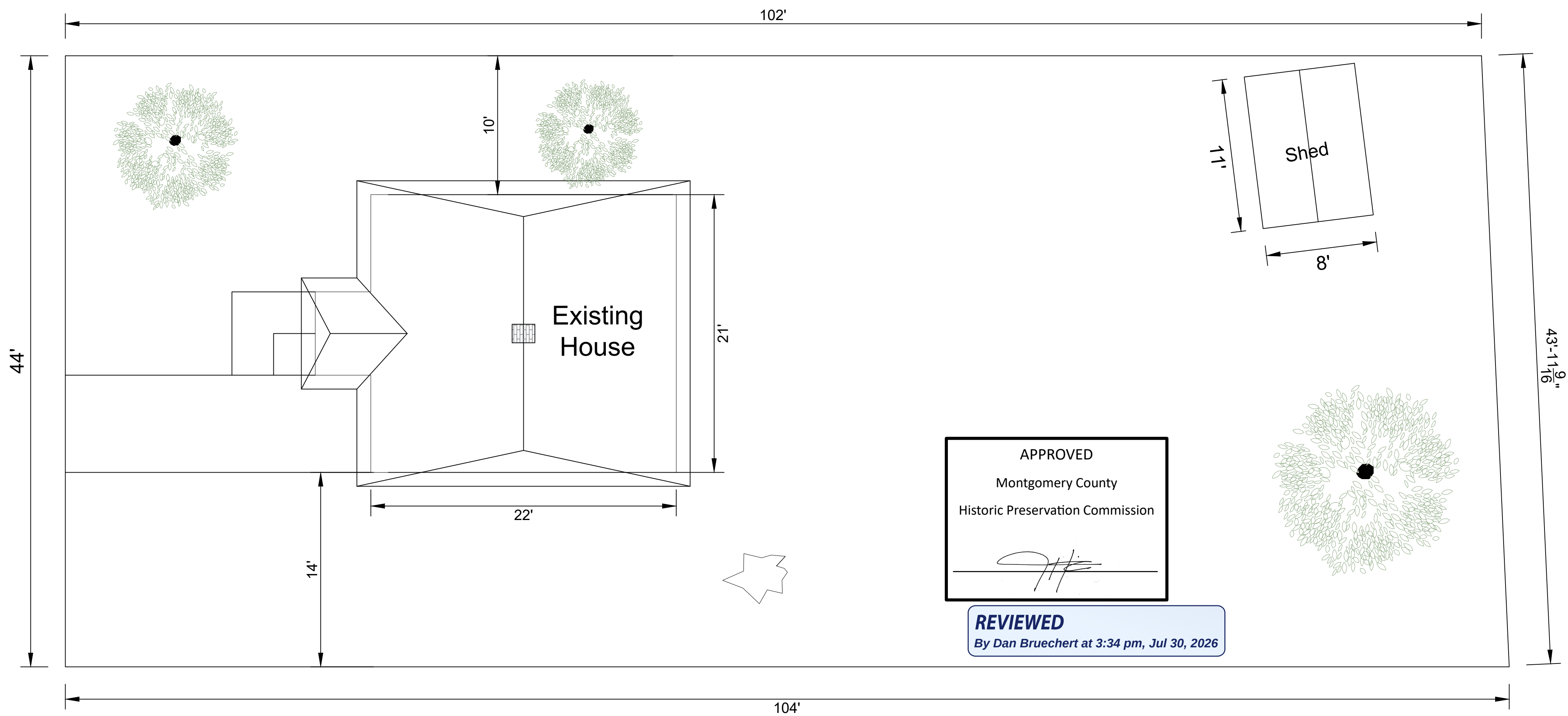
G002

HAWKINS LANE



PROPOSED SITE PLAN

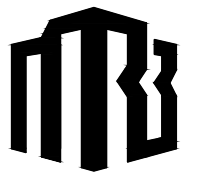
HAWKINS LANE



EXISTING SITE PLAN



REVIEWED
By Dan Bruechert at 3:34 pm, Jul 30, 2026



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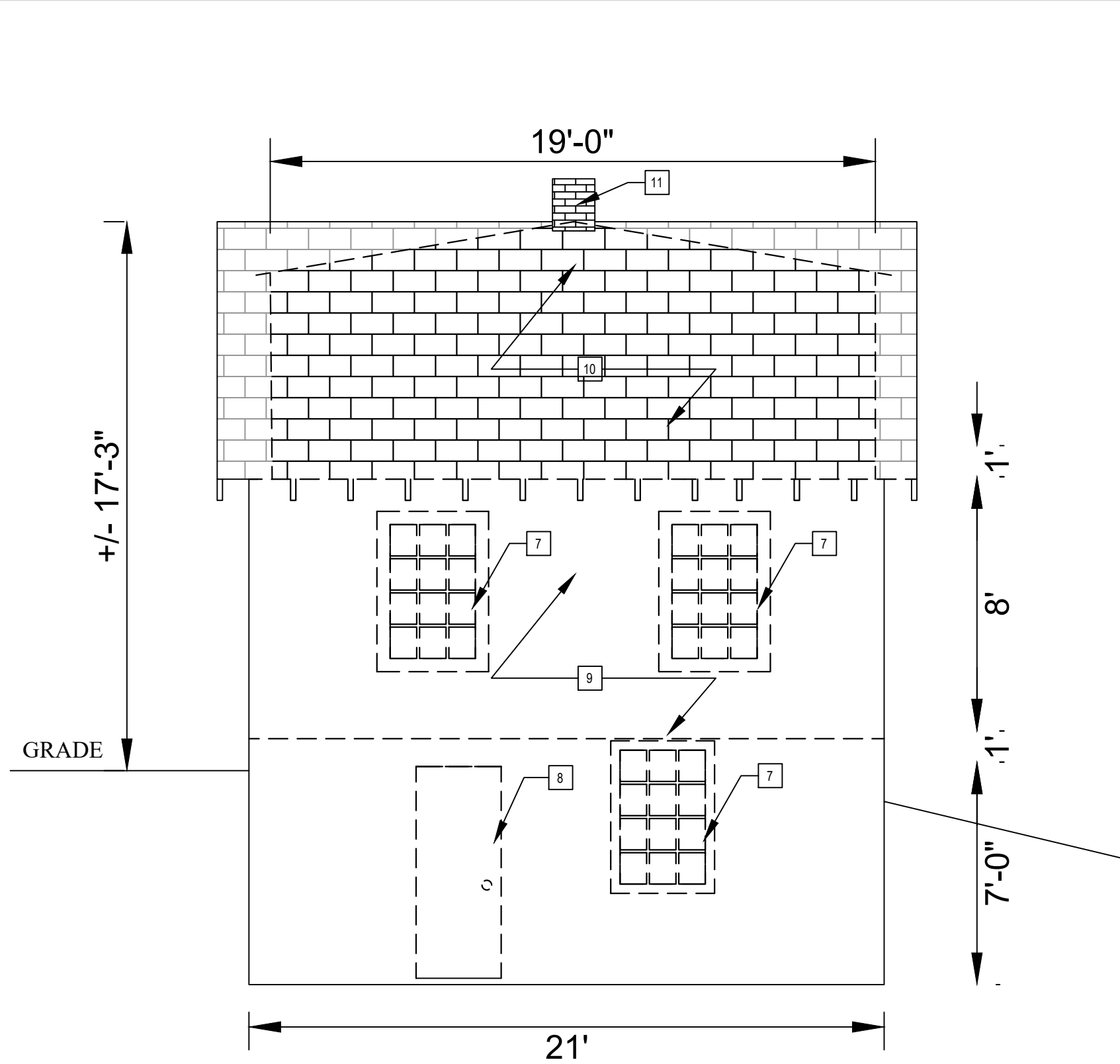
CHECKED BY:

PROJECT NUMBER

DRAWING TITLE
EXISTING AND PROPOSED SITE
PLAN

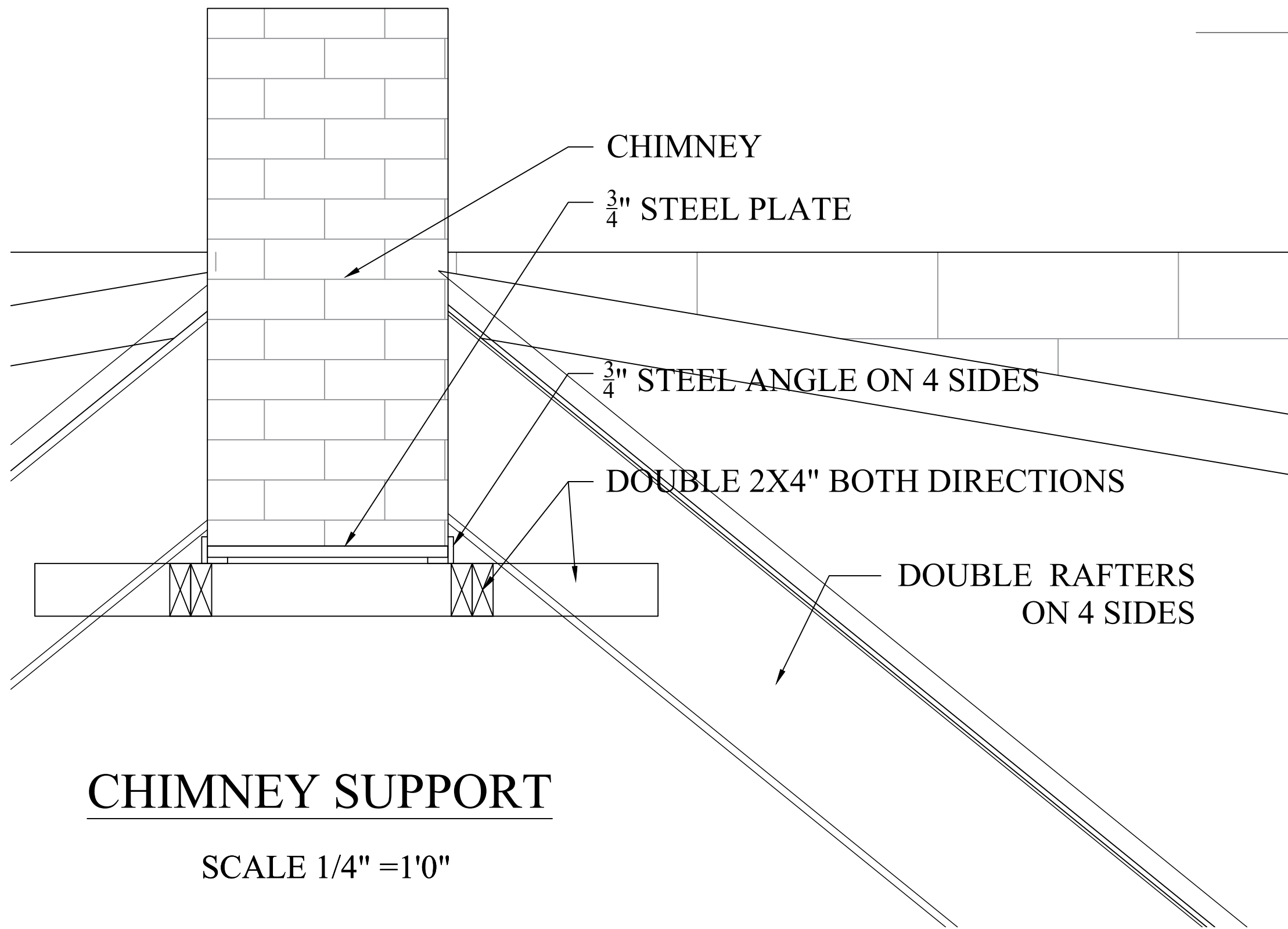
PAGE NUMBER

A100



EXISTING REAR ELEVATION

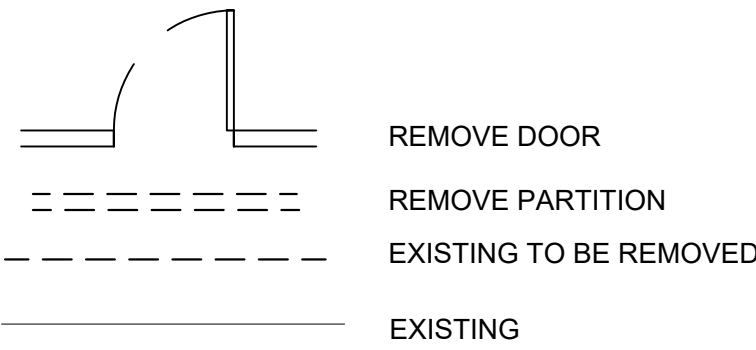
SCALE 1/4" =1'0"



CHIMNEY SUPPORT

SCALE 1/4" =1'0"

DEMOLITION LEGEND

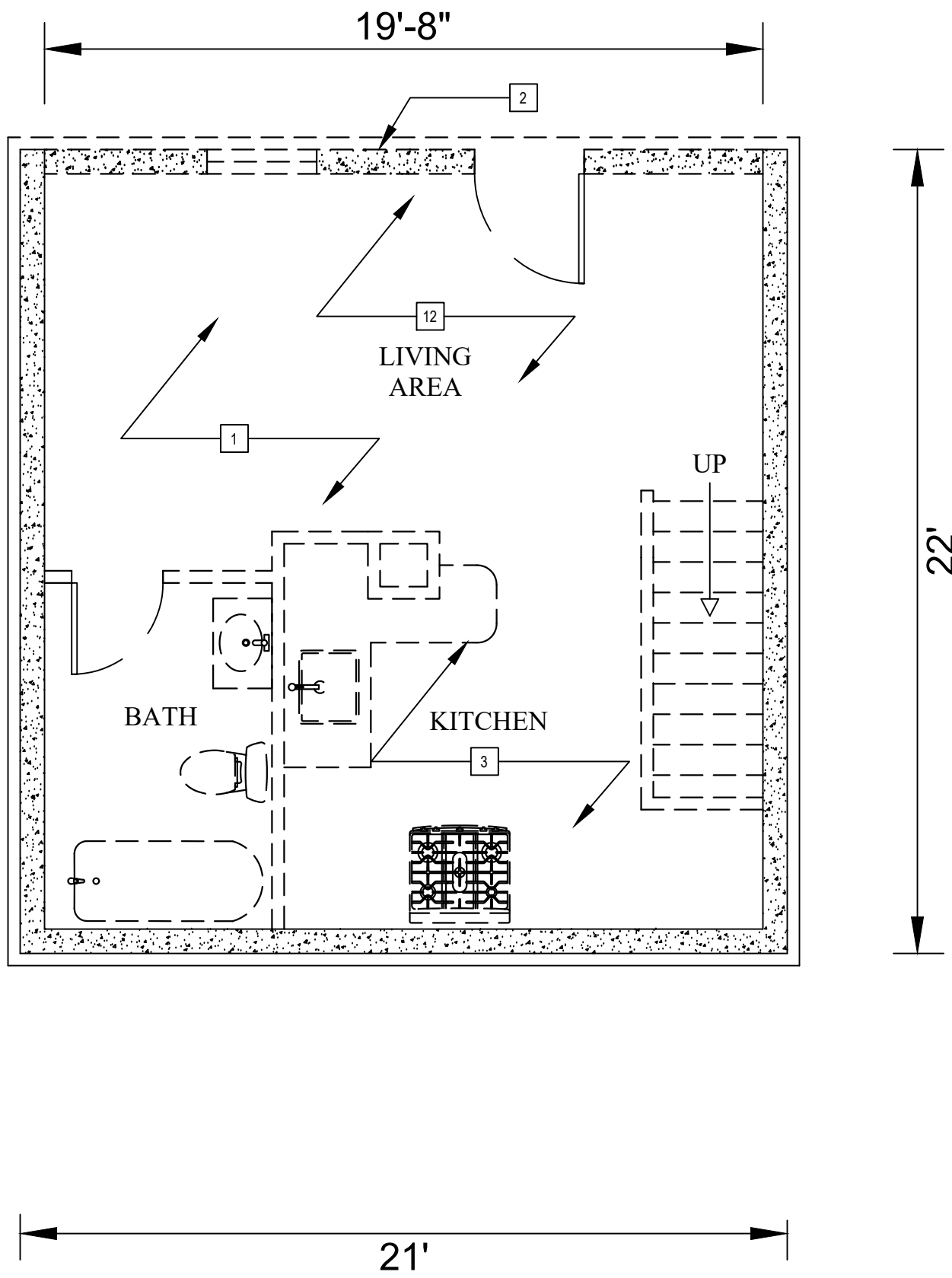


GENERAL DEMO NOTES

- DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
- EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
- SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
- EXISTING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
- ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
- ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.

DEMO PLAN KEYNOTES:

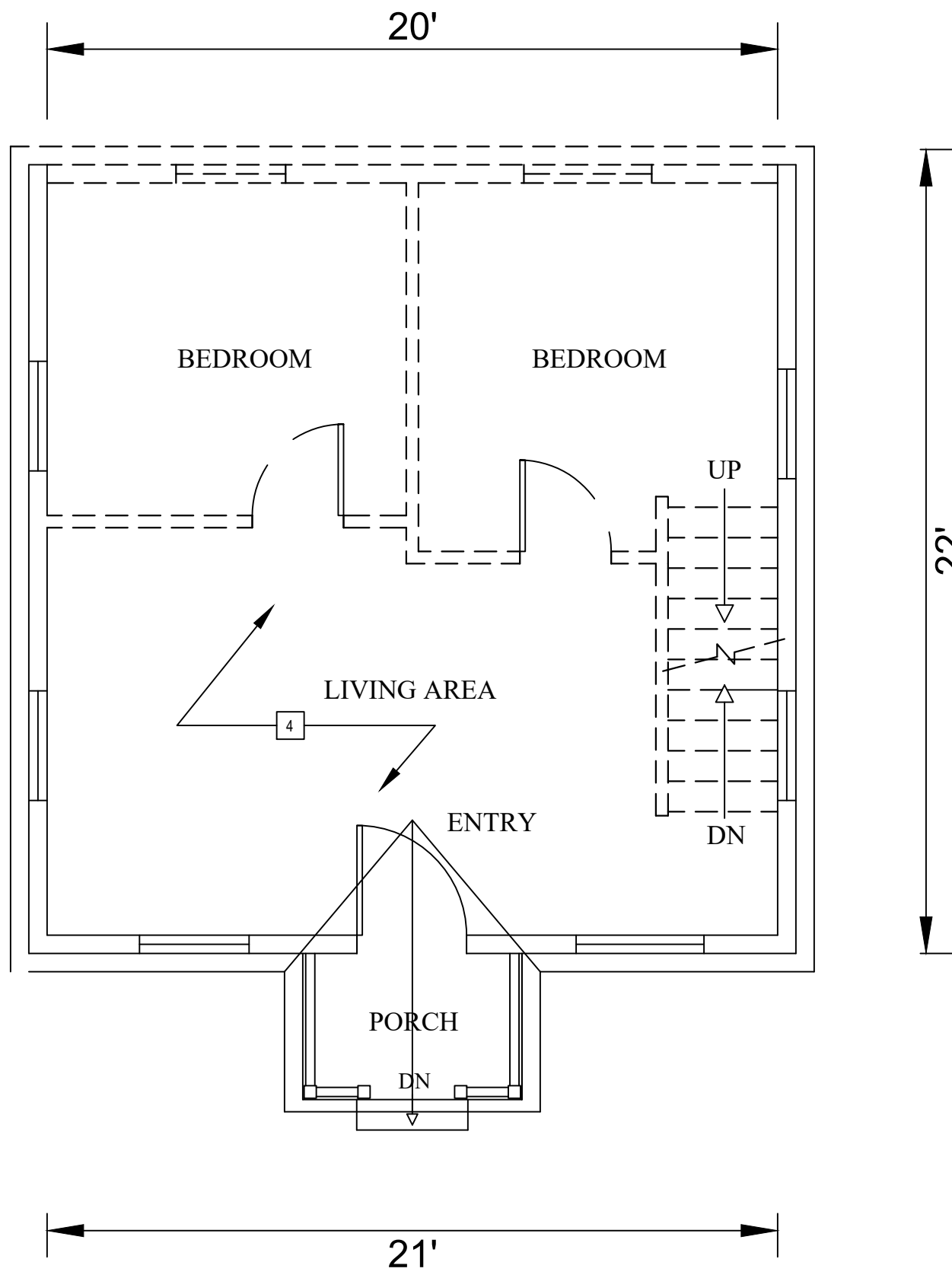
- REMOVE ALL INTERIOR COMPENENTS INCLUDING CEILING, WALLS, FLOORS AND FIXTURES. DO NOT REMOVE ANY STRUCTURAL COMPONENTS INCLUDING STUDS, EXTERIOR WALLS AND CEILING JOISTS.
- REMOVE EXTERIOR WALL COMPONENTS AND PREPARE SURFACE FOR NEW MATERIALS
- REMOVE ALL KITCHEN COMPONENTS COMPLETE
- REMOVE FLOORS CEILING AND WALL FINISHES ELECTRICAL AND PLUMBING FIXTURES COMPLETE.
- REMOVE CHIMNEY COMPLETE. CONTRACTOR TO VERIFY IF ITS STRUCTURAL AND SHORE ROOF AS NECESSARY
- REMOVE STAIR COMPLETE
- REMOVE WINDOWS COMPLETE
- REMOVE DOOR COMPLETE
- REMOVE EXTERIOR WALL. CONTRACTOR TO VERIFY BRACING NEEDS
- REMOVE PORTION OF ROOF TO ACCOMODATE FOR NEW ROOF. CONTRACTOR TO VERIFY DIMENSIONS.
- DO NOT REMOVE EXTERIOR PORTION OF CHIMNEY. STABILIZE BEFORE REMOVING INTERIOR PORTION OF CHIMNEY
- REMOVE SLAB. NEW SLAB TO BE 2' LOWER THAN EXISTING



FRONT

EXISTING BASEMENT FLOOR PLAN

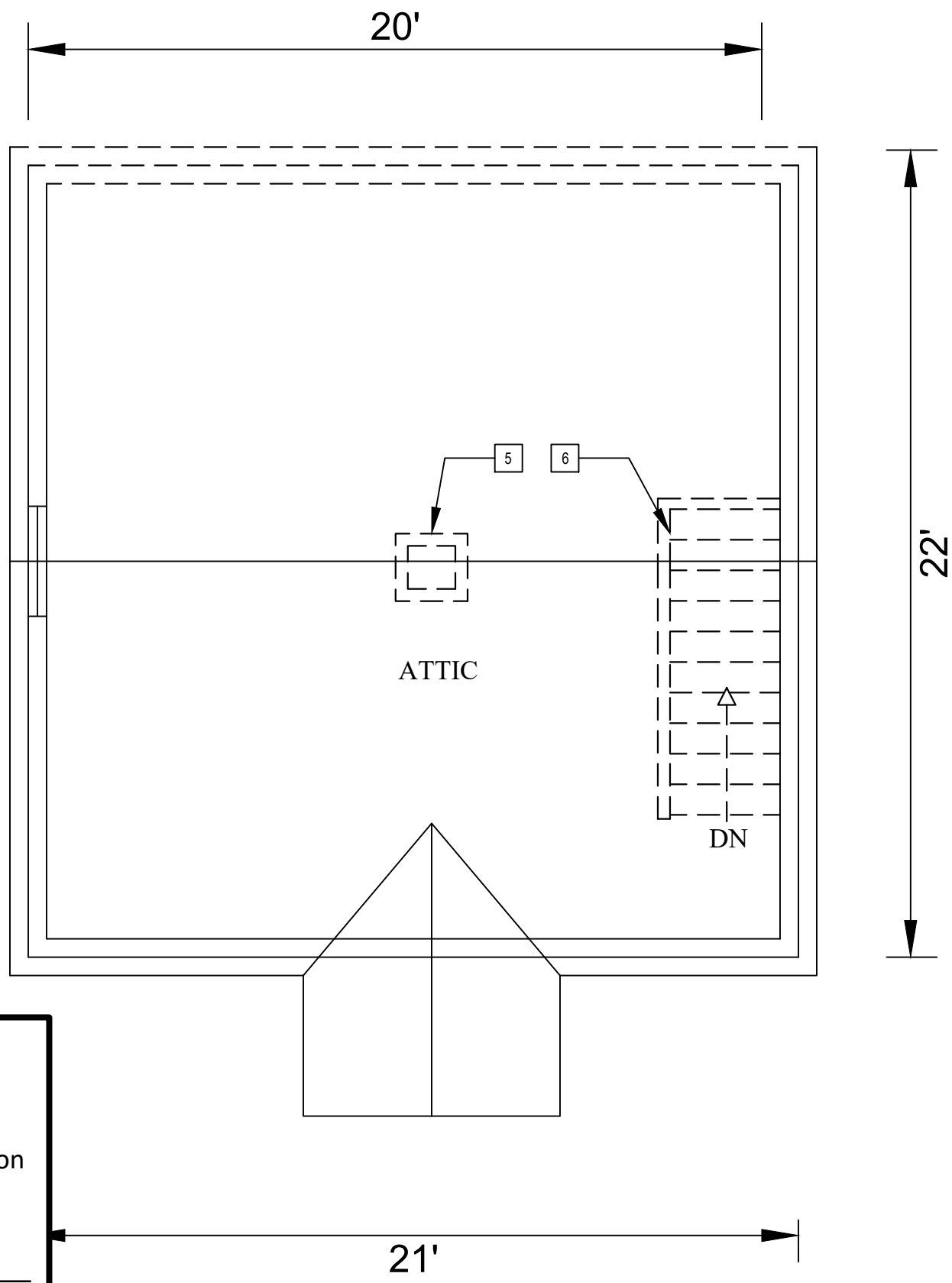
SCALE 1/4" =1'0"



FRONT

EXISTING FIRST FLOOR PLAN

SCALE 1/4" =1'0"



FRONT

EXISTING SECOND FLOOR PLAN

SCALE 1/4" =1'0"



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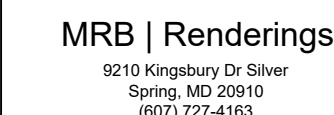
CONSULTANT

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DATE	SCALE
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DEMOLITION PLANS	
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AD101



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PROPOSED
FLOOR
PLANS

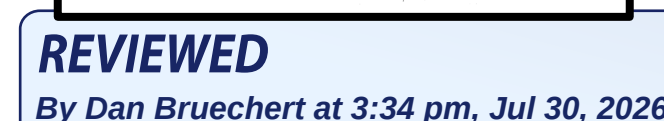
PAGE NUMBER

A101

1. ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
2. ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.
3. DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.

EXISTING
NEW

	EXISTING WALL TO REMAIN
	NEW INT. 2X4 STUD WALL, U.N.O.
	NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
	NEW EXTERIOR 2X6 STUD WALL; R-20 MIN. INSULATION
	NEW 8" CONC. MASONRY WALL
	NEW BRICK MASONRY WALL OR PIER
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED
	CEILING HEIGHT INDICATOR



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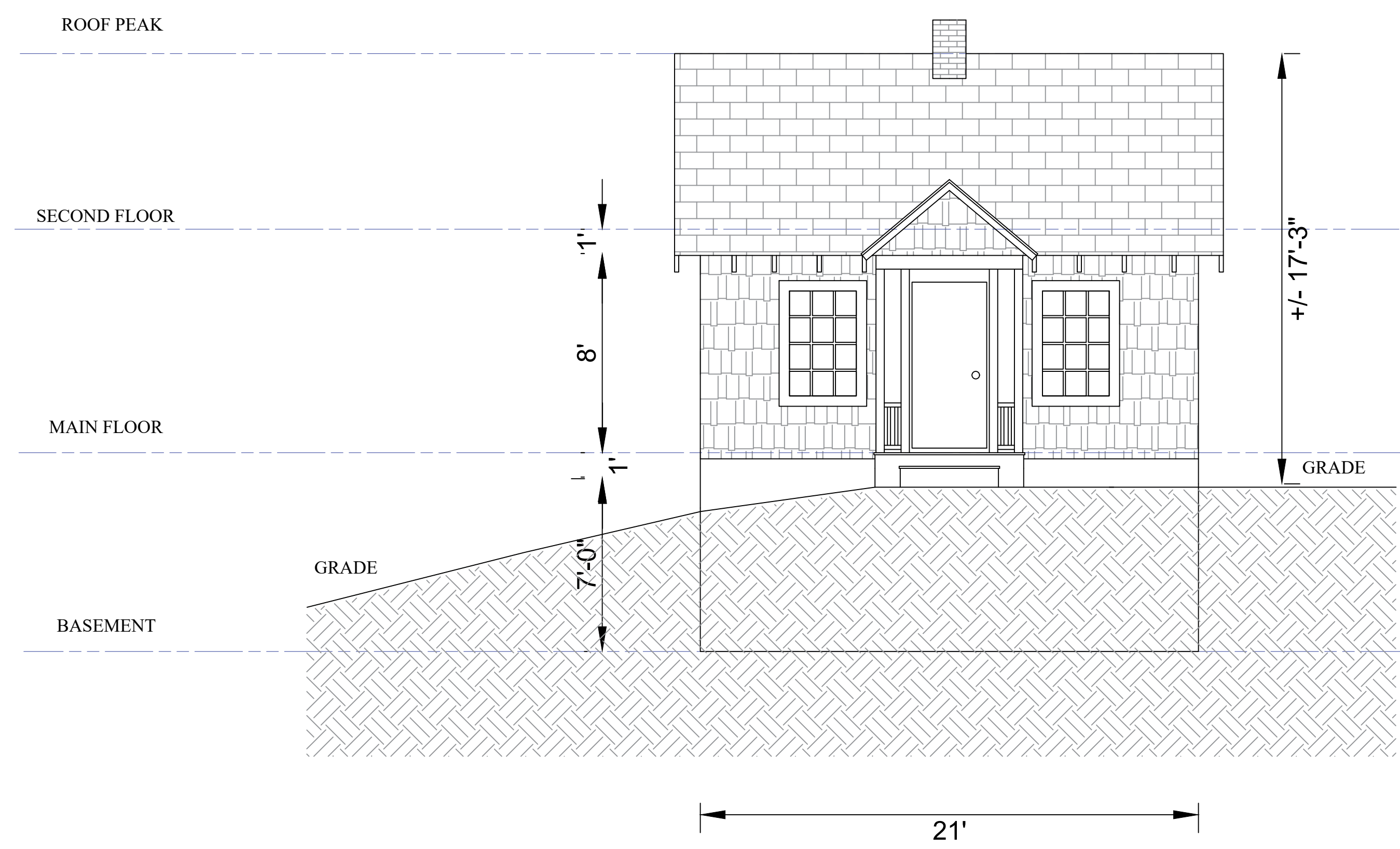
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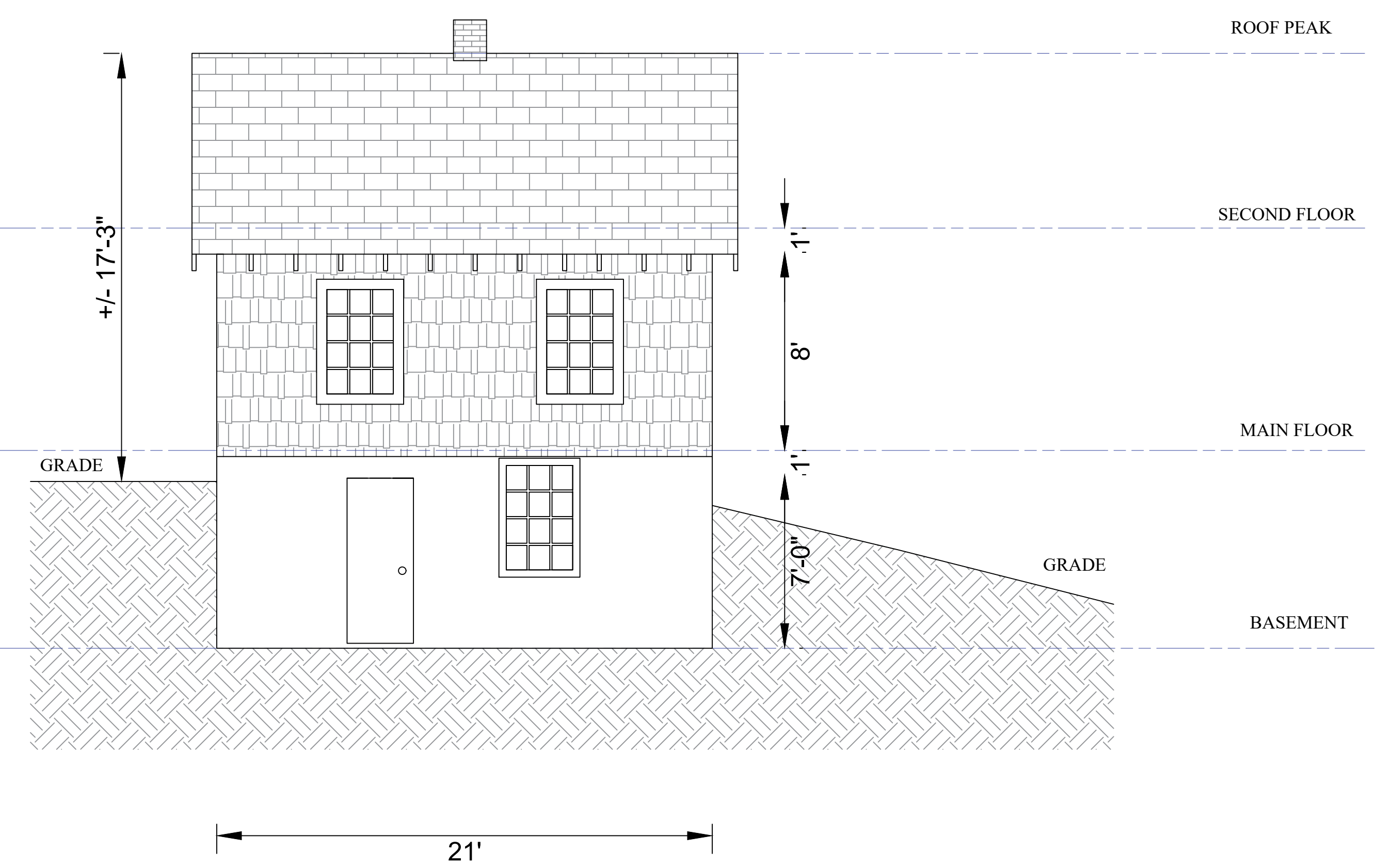
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EXISTING ELEVATIONS

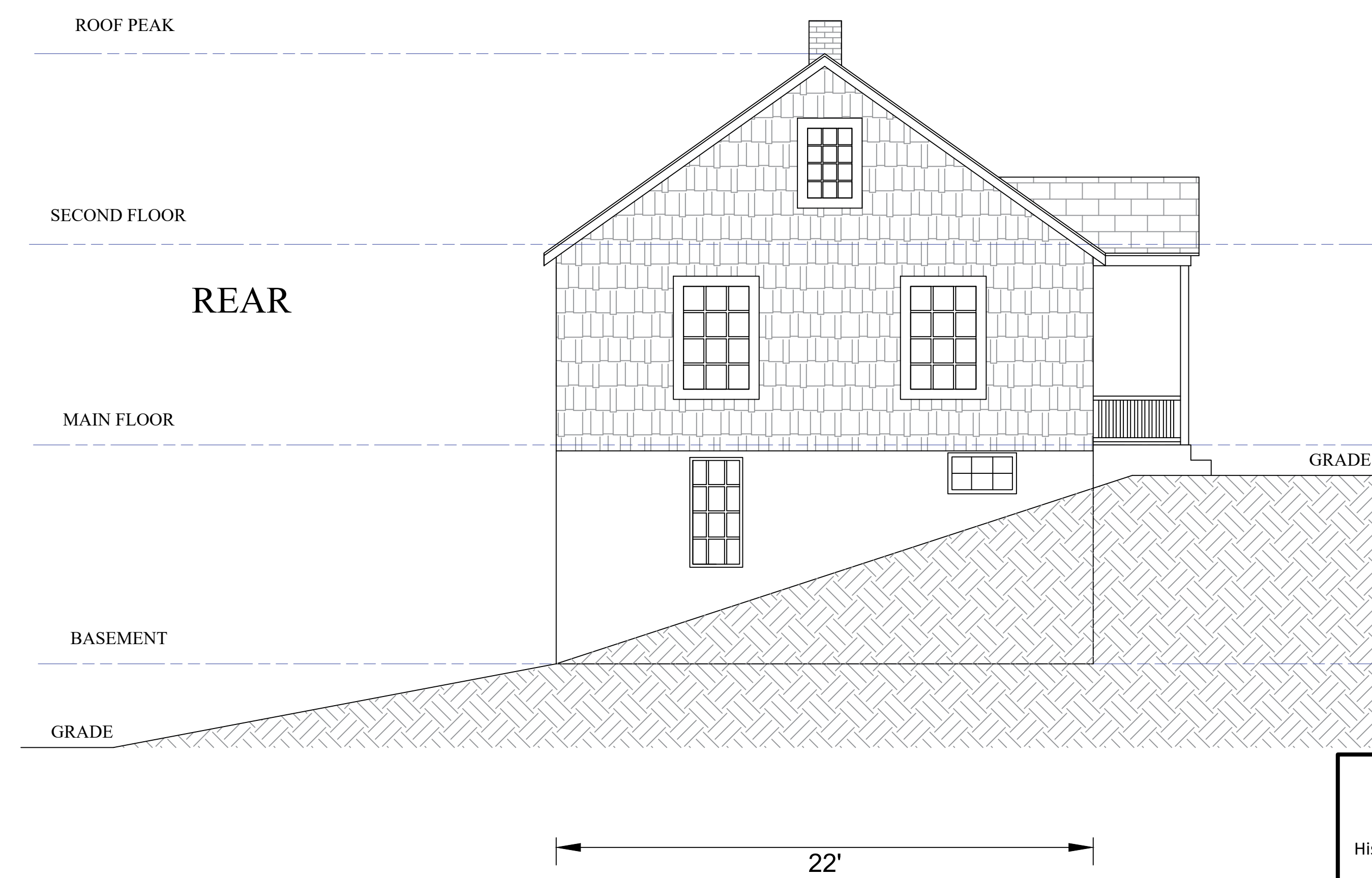
PAGE NUMBER
A201



EXISTING FRONT ELEVATION
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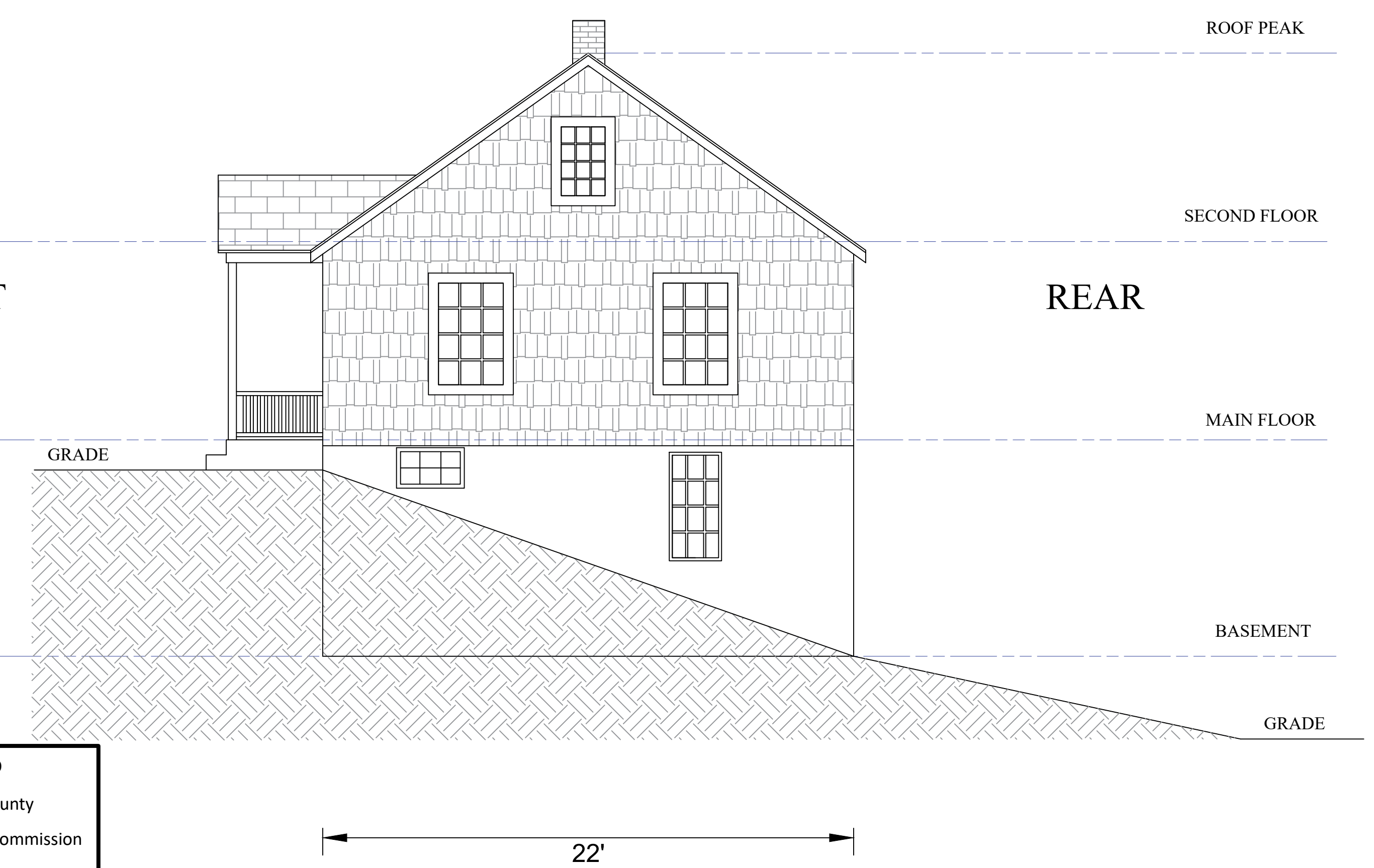
EXISTING REAR ELEVATION
SCALE 1/4" = 1'0"



EXISTING LEFT SIDE ELEVATION
SCALE 1/4" = 1'0"



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EXISTING RIGHT SIDE ELEVATION
SCALE 1/4" = 1'0"

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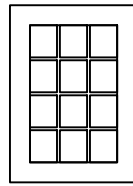
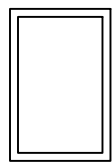
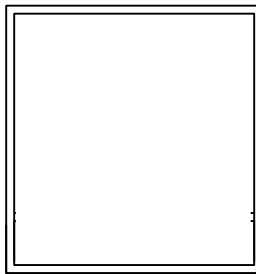
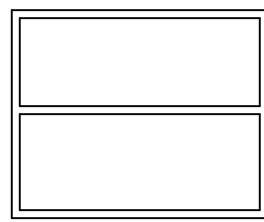
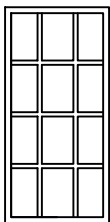
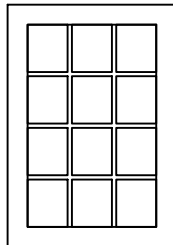
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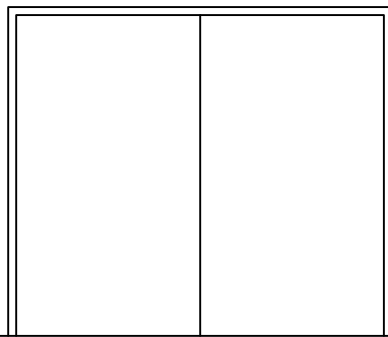
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PAGE NUMBER	

A202

WINDOW SCHEDULE

					
					
1'-10" X 2'-10" WINDOW TO MATCH EXISTING	1'-7" X 2'-8" CASEMENT WINDOW	5'-0" X 7'-0" CASEMENT WINDOW	4'-0" X 5'-0" CASEMENT WINDOW TO MATCH EXISTING (EGRESS WINDOW)	2'-2" X 4'-6" WINDOW TO MATCH EXISTING	3'-0" X 4'-10" WINDOW TO MATCH EXISTING

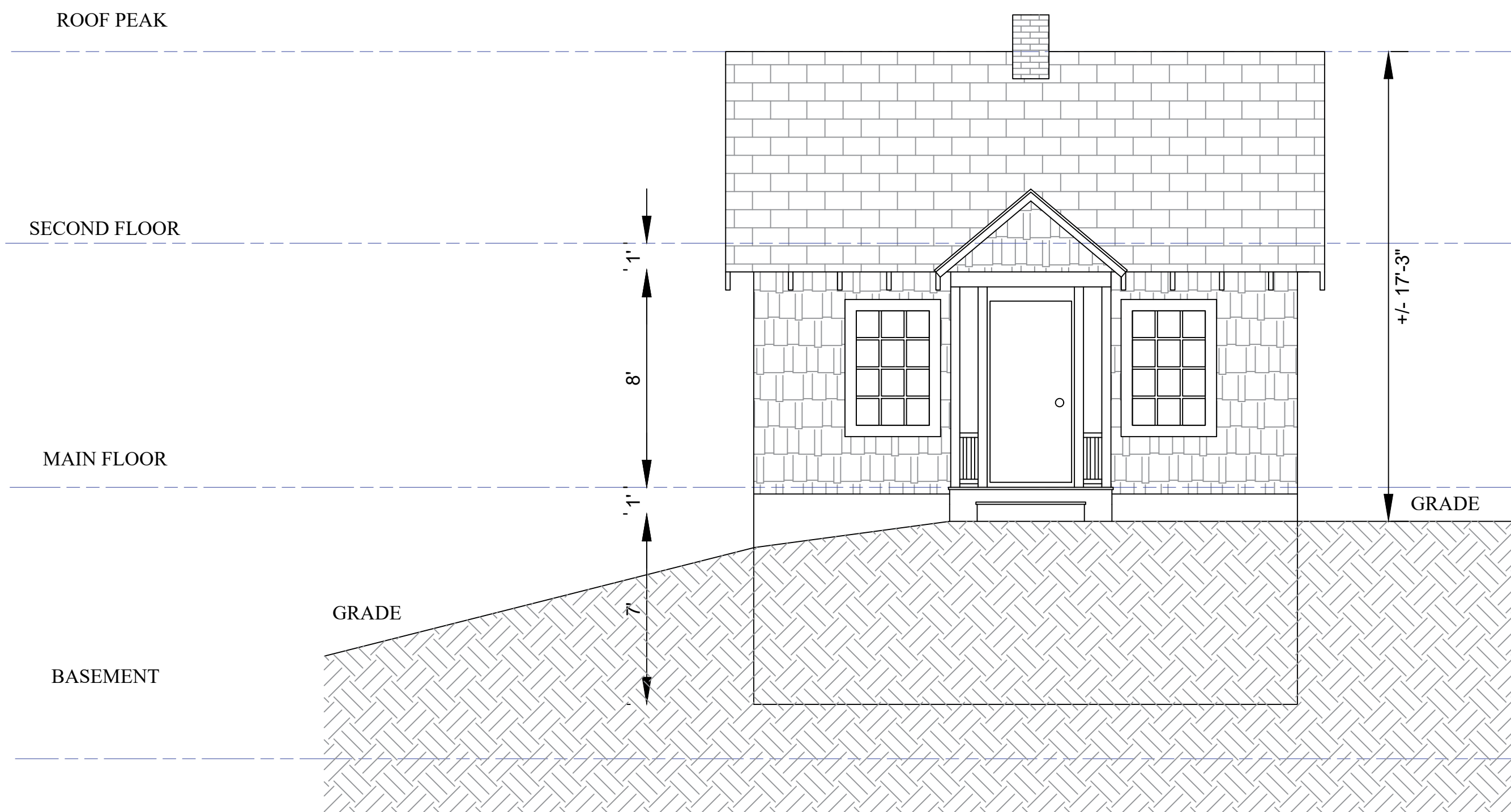
DOOR SCHEDULE



7'-0" X 8'-0" DOUBLE DOOR

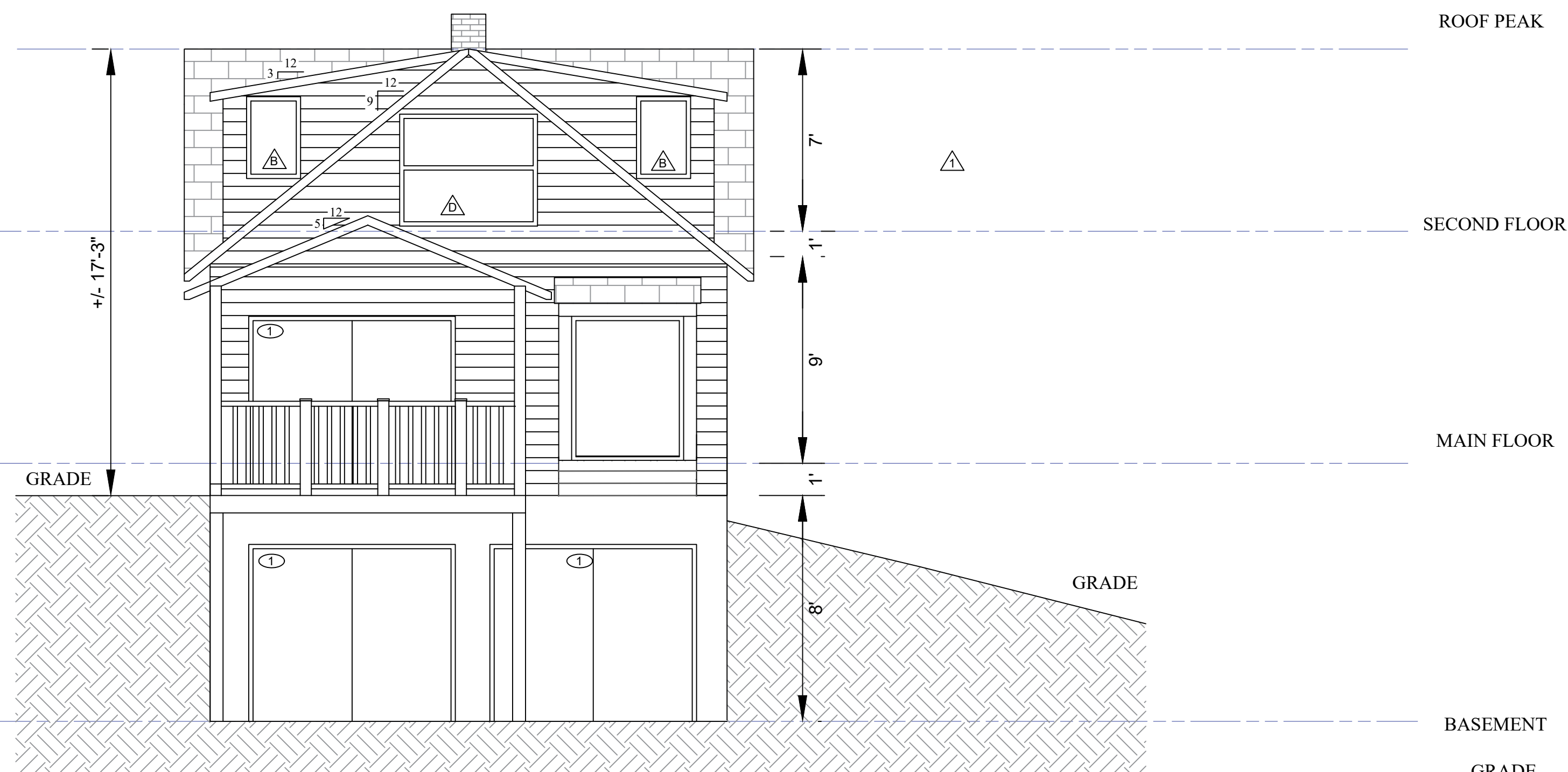


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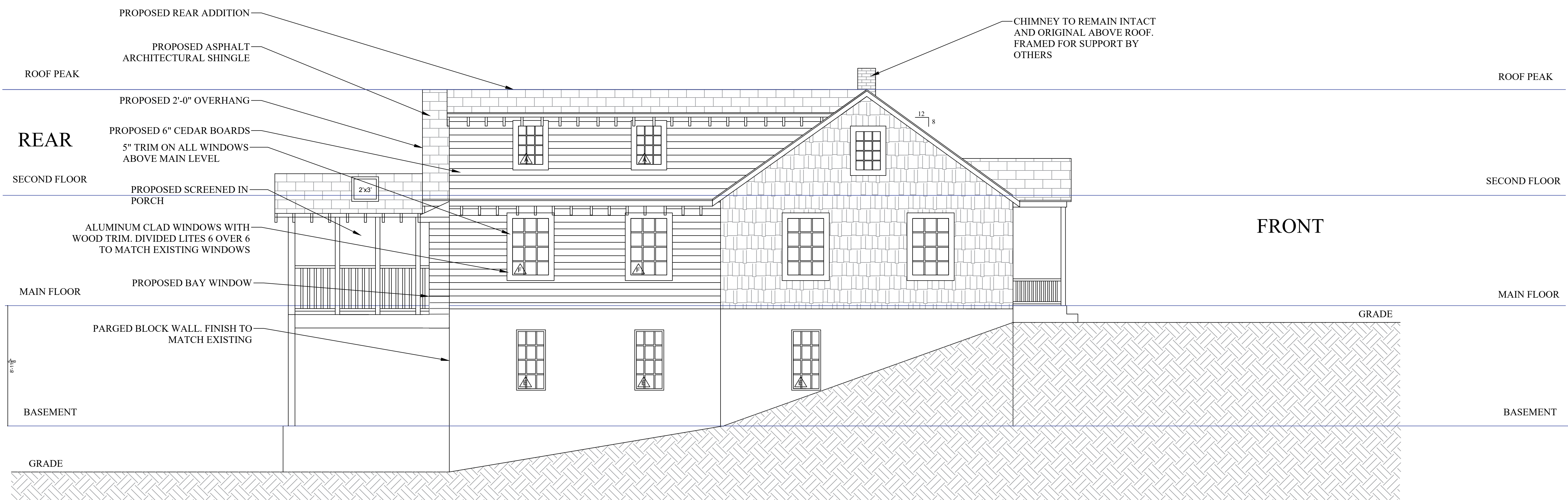
PROPOSED FRONT ELEVATION

SCALE 1/4" =1'0"



PROPOSED REAR ELEVATION

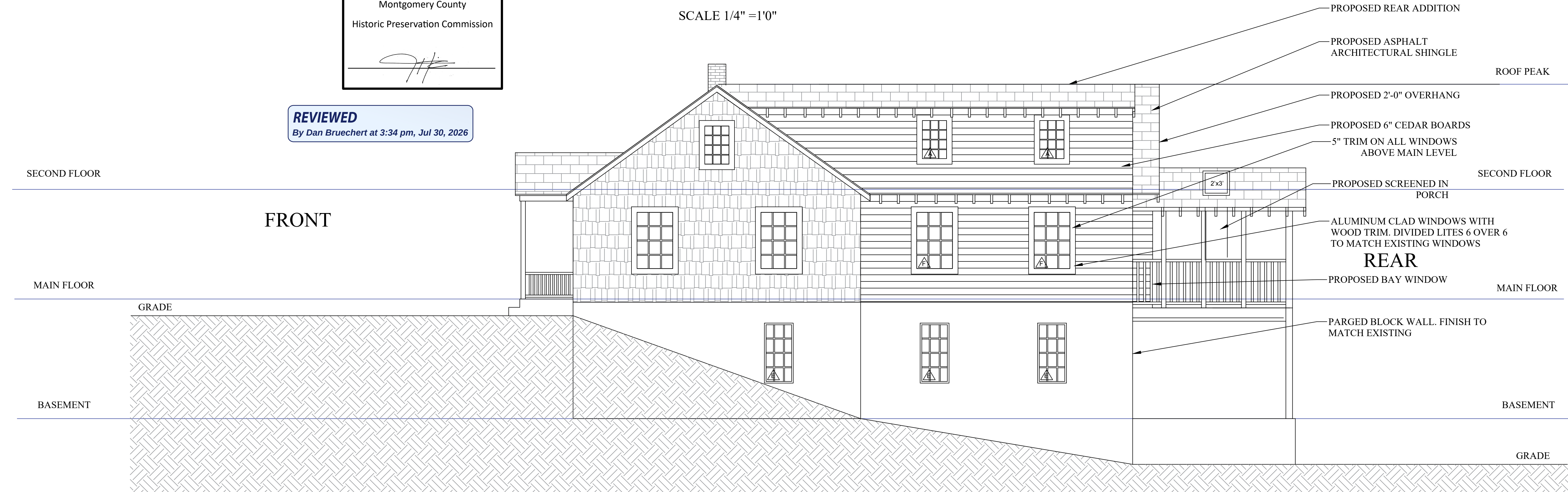
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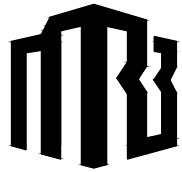
PROPOSED LEFT SIDE ELEVATION

SCALE 1/4" = 1'0"



PROPOSED RIGHT SIDE ELEVATION

SCALE 1/4" = 1'0"



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PROPOSED ELEVATIONS	
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A203



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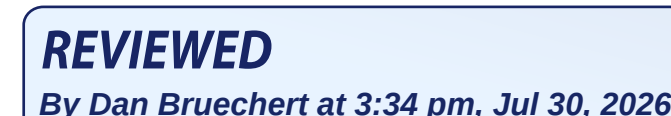
FRAMING AND
FOUNDATION
PLANS

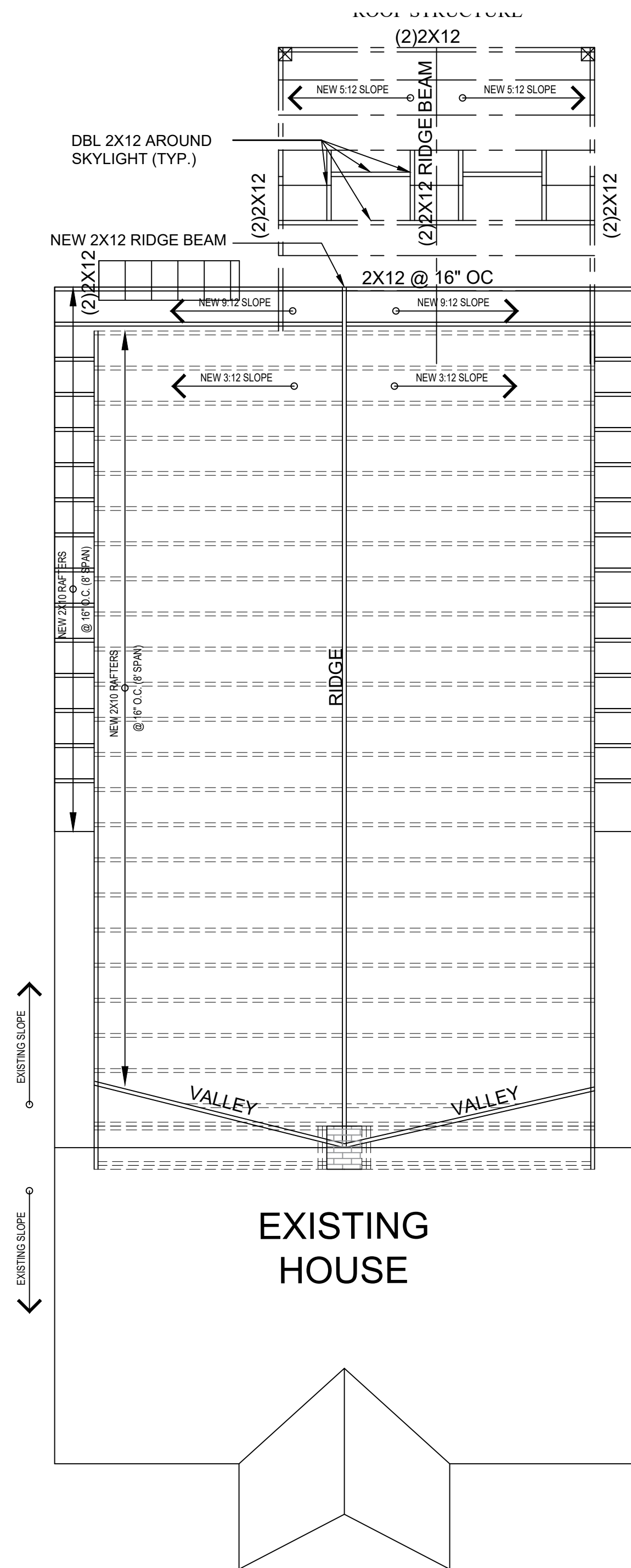
PAGE NUMBER

F301

1. USE MONTGOMERY COUNTY, MD. BUILDING CODE RHC 2018.
2. LOADS— LIVE —FLOOR RESIDENTIAL — 40PSF; ROOF — 30 PSF — SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE 1
3. FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL. EXISTING FOUNDATIONS ARE ADEQUATE FOR NEW LOADS
4. CONCRETE — 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS. CONC. FOUNDATION WALL REINFORCEMENT: #4 BARS @ 24" O.C. HORIZ. AND VERTICAL — EMBED 8" INTO FOOTING.
5. FRAMING LUMBER SHALL BE STRUCTURAL GRADE, DOUGLAS FIR #2 OR STRONGER. Fb = 1200 PSI MINIMUM. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S Fb=2650PSI, e=1.9N PSI
6. BRACED WALL PANELS (BWP): 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.11.
7. CONC. BLOCK REINFORCEMENT: USE 9 GAGE TRUSS-TYPE FORTIFICATION REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL) VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. — NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
8. STRUCTURAL STEEL SHALL BE ASTM A-36. USE AISC STANDARDS
9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
10. STRUCTURAL ENGINE CERTIFIES THAT THE EXISTING STRUCTURE IS ADEQUATE TO HANDLE ADDITIONAL LOADS FROM THE ADDITION AND WILL PROVIDE CERTIFICATION DURING INSPECTION PROCESS

CS-WSP = 1/2" WOOD STRUCTURAL
PANEL (SEE STRUCTURAL NOTE #
FOR CONNECTION CRITERIA)



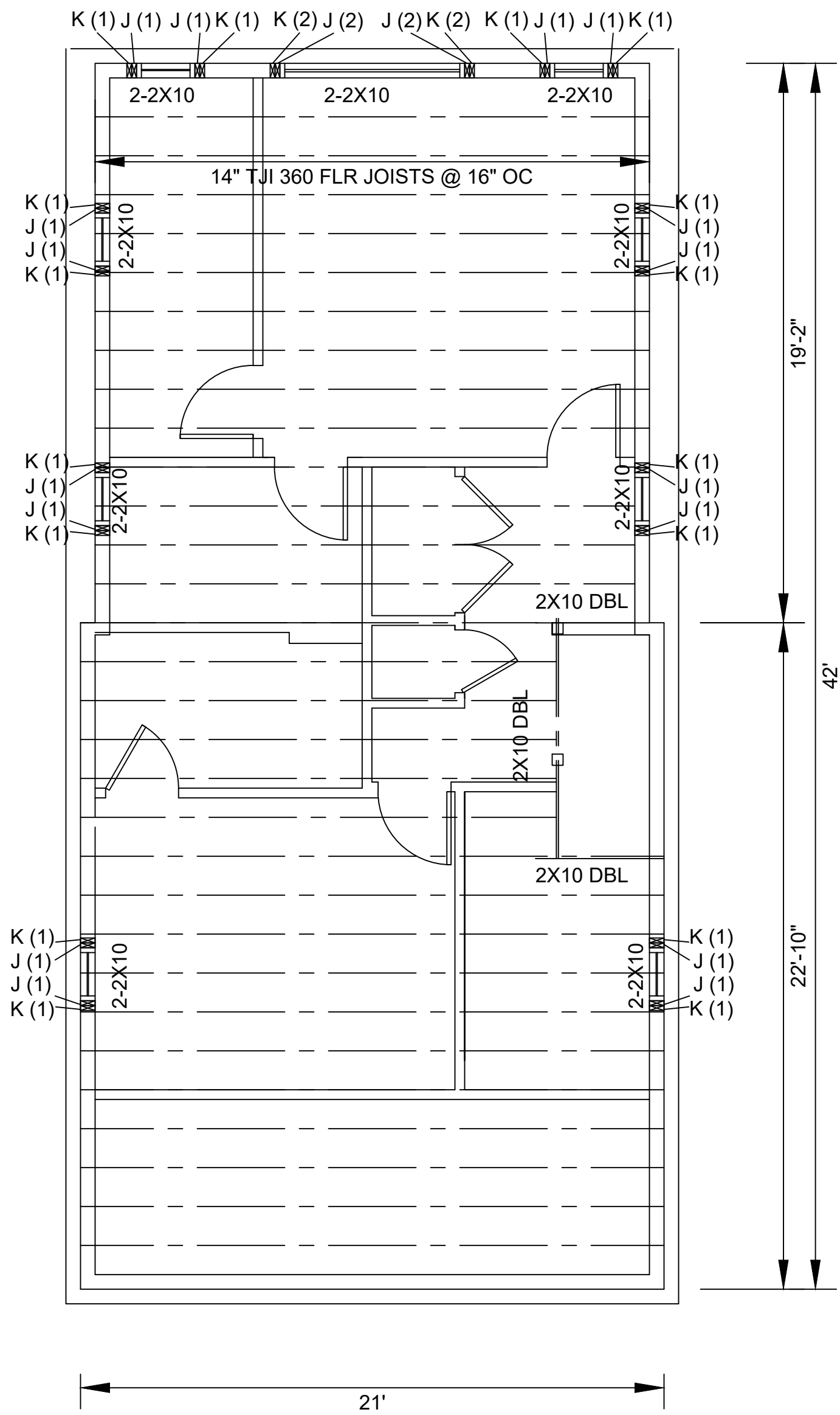


ROOF FRAMING PLAN

SCALE 1/4" = 1'0"



REVIEWED
By Dan Bruechert at 3:34 pm, Jul 30, 2026



FRONT

SECOND FLOOR FRAMING PLAN

SCALE 1/4" = 1'0"

STRUCTURAL NOTES:

1. USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.
2. LOADS-- LIVE --FLOOR RESIDENTIAL -- 40PSF; ROOF -- 30 PSF -- SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE 1
3. FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL. EXISTING FOUNDATIONS ARE ADEQUATE FOR NEW LOADS
4. CONCRETE -- 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS. CONC. FOUNDATION WALL REINFORCEMENT: #4 BARS @ 24" O.C. HORIZ. AND VERTICAL -- EMBED 8" INTO FOOTING.
5. FRAMING LUMBER SHALL BE STRUCTURAL GRADE, DOUGLAS FIR #2 OR STRONGER. Fb = 1200 PSI MINIMUM. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S Fb=2650PSI, e=1.9M PSI
6. BRACED WALL PANELS (BWP): 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.1.1.
7. CONC. BLOCK REINFORCEMENT: USE 9 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. -- NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
8. STRUCTURAL STEEL SHALL BE ASTM A-36. USE AISC STANDARDS
9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
10. STRUCTURAL ENGINEER CERTIFIES THAT THE EXISTING STRUCTURE IS ADEQUATE TO HANDLE ADDITIONAL LOADS FROM THE ADDITION AND WILL PROVIDE CERTIFICATION DURING INSPECTION PROCESS.

ALL NEW EXTERIOR OPENINGS TO HAVE DOUBLE (2) 2X8 HEADERS, U.N.O.

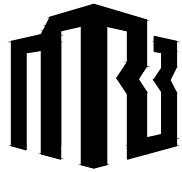
POSTS UNDER HEADERS TO BE ONE KING AND ONE JACK STUD, U.N.O.

NEW DOUBLE WINDOWS TO HAVE TWO JACK STUDS BETWEEN.

EXISTING EXTERIOR OPENINGS TO HAVE A MINIMUM (3) 2X6 UP TO 36" WIDE, (3) 2X8 UP TO 48" WIDE AND (3) 2X10 UP TO 60" WIDE.

NOTE: USE CONTINUOUS WALL BRACING METHOD (#3) PER IRC: R602.10.4

CS-WSP = 1/2" WOOD STRUCTURAL PANEL (SEE STRUCTURAL NOTE #6 FOR CONNECTION CRITERIA)



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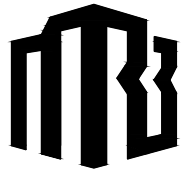
CONSULTANT

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DRAWING TITLE	
FRAMING PLANS	
PAGE NUMBER	
F302	



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Spring, MD 20910
(800) 727-4163

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ADISRA JITTIPUN
8827NHAWKINS LANE
CHEVY CHASE, MD 20815

DATE	SCALE
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DRAWING TITLE

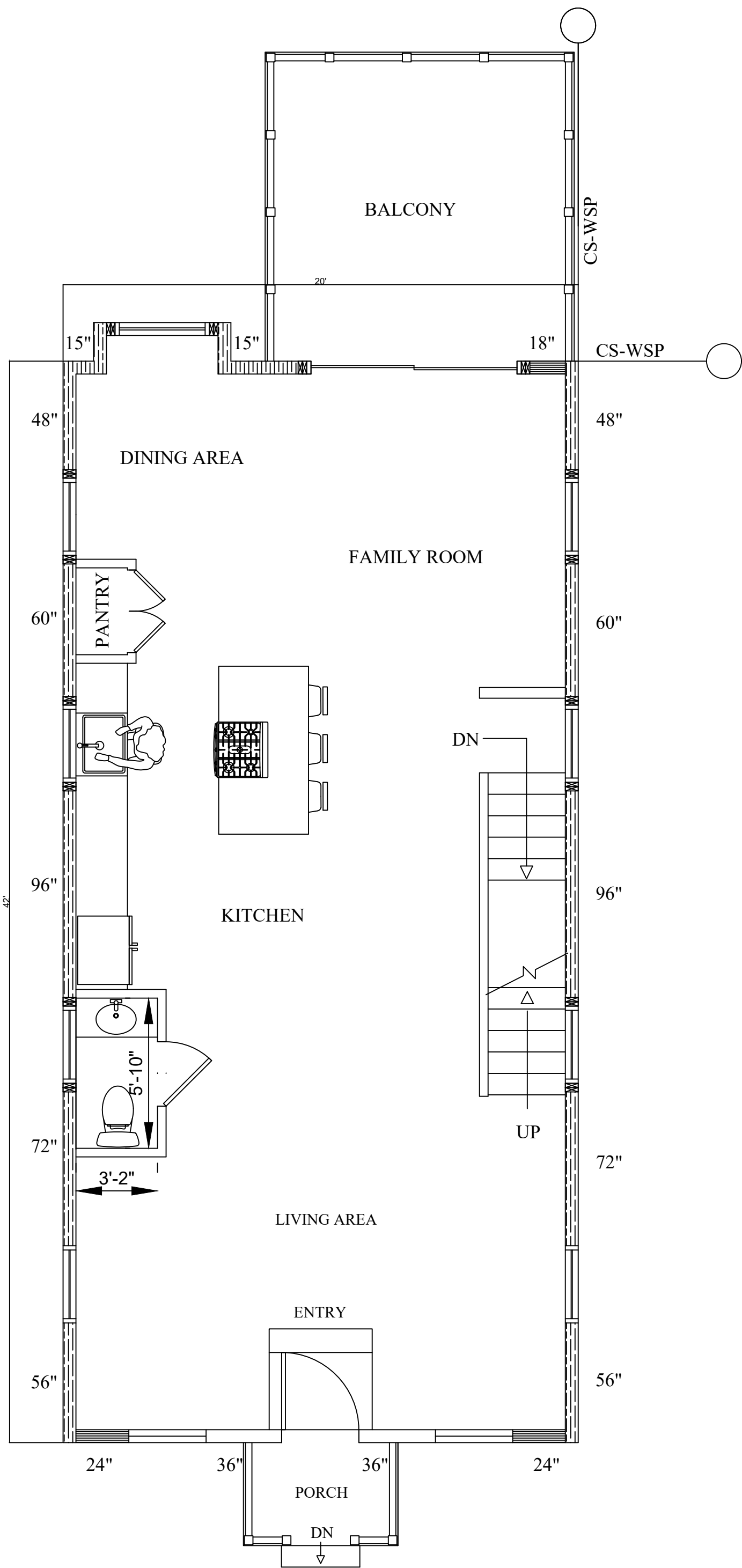
BRACED WALL
PLANS

PAGE NUMBER

F303

REQUIR

REAR



FRONT

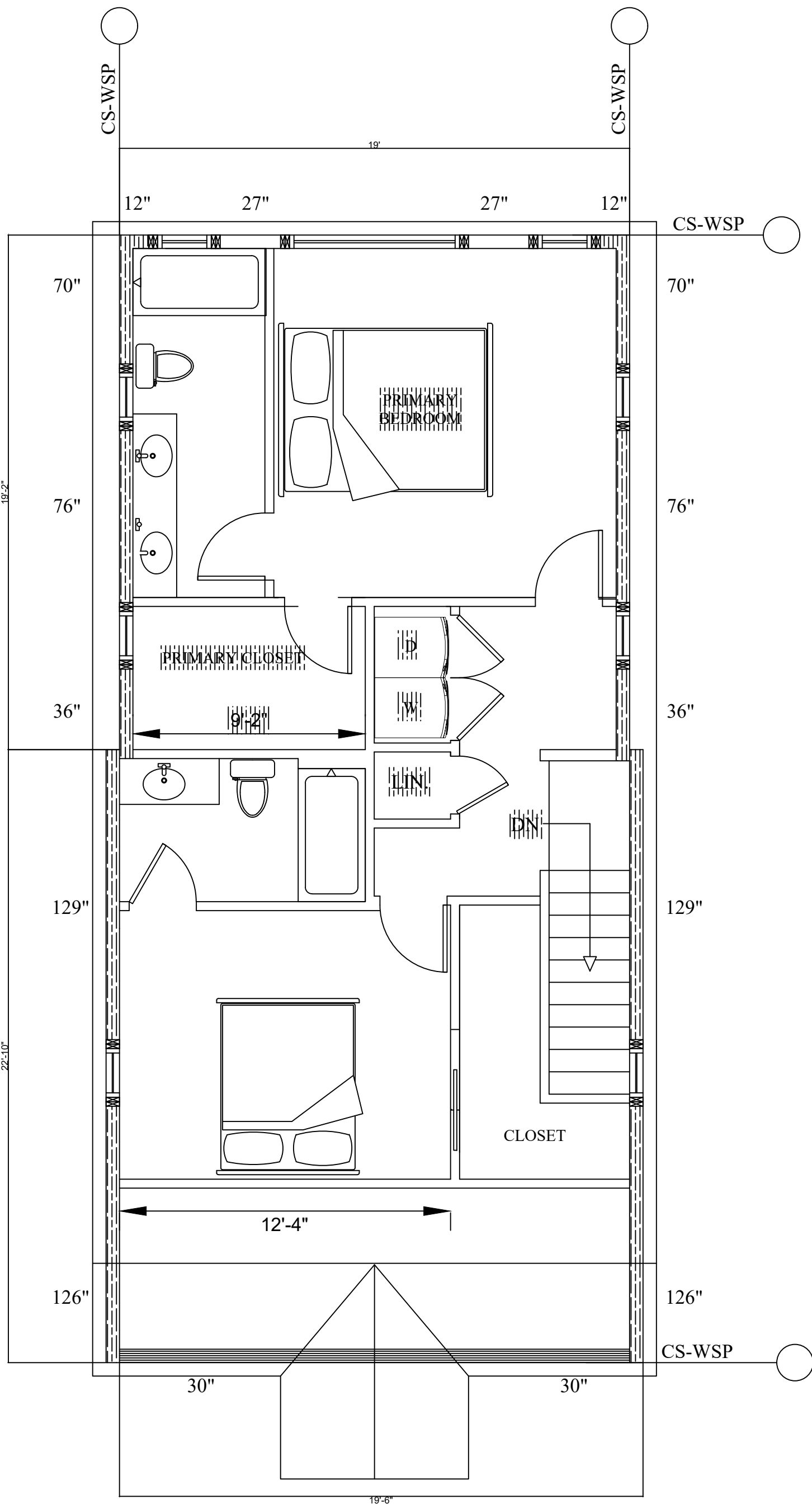
FIRST FLOOR FRAMING PLAN

SCALE 1/4" =1'0"

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan Bruechert at 3:34 pm, Jul 30, 2026

REAR



FRONT

SECOND FLOOR FRAMING PLAN

SCALE 1/4" =1'0"

LEGEND

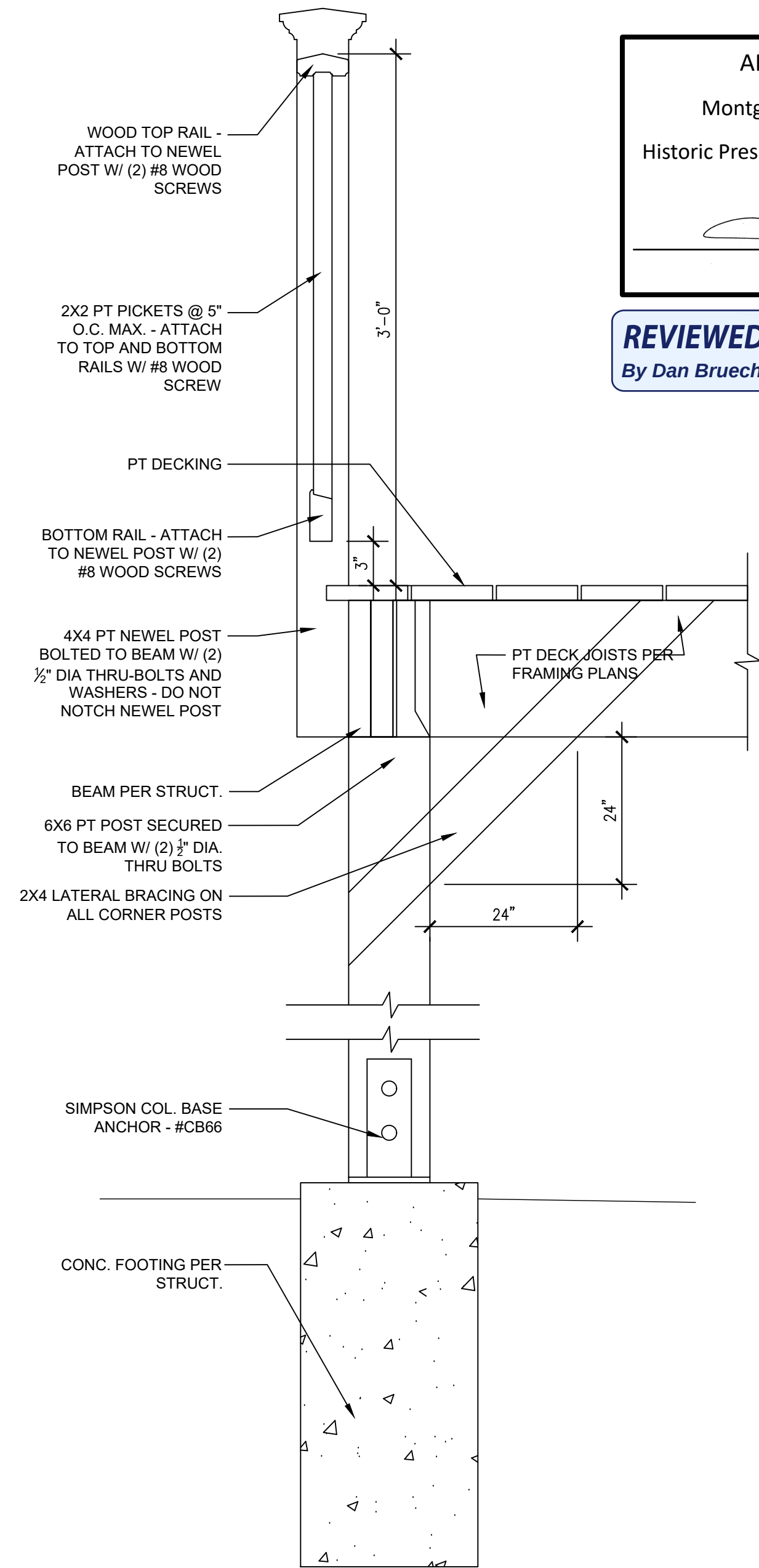
CS-WSP BRACED WALL PANEL (-LENGTHS)
CS-PPF 6:1 NARROW WALL (-LENGTHS)
NARROW WALL WITHOUT HOLD-DOWNS
(SEE DETAIL SHEET)
PFW INTERMITTENT PORTAL FRAME
ABW ALTERNATE BRACED WALL
GB-1 GYPSUM 96" (1SIDE)
GB-2 GYPSUM 48" (2SIDES)
TIE-DOWN DEVISE - (#LBS)

WALL BRACING DESIGN INFO

- LOCATION: MONTGOMERY COUNTY
- WIND SPEED: 115 MPH

METHOD 3 (WOOD SHEATHING) CONTINUOUS SHEATHING
METHOD 5 (GYPSUM BOARD)

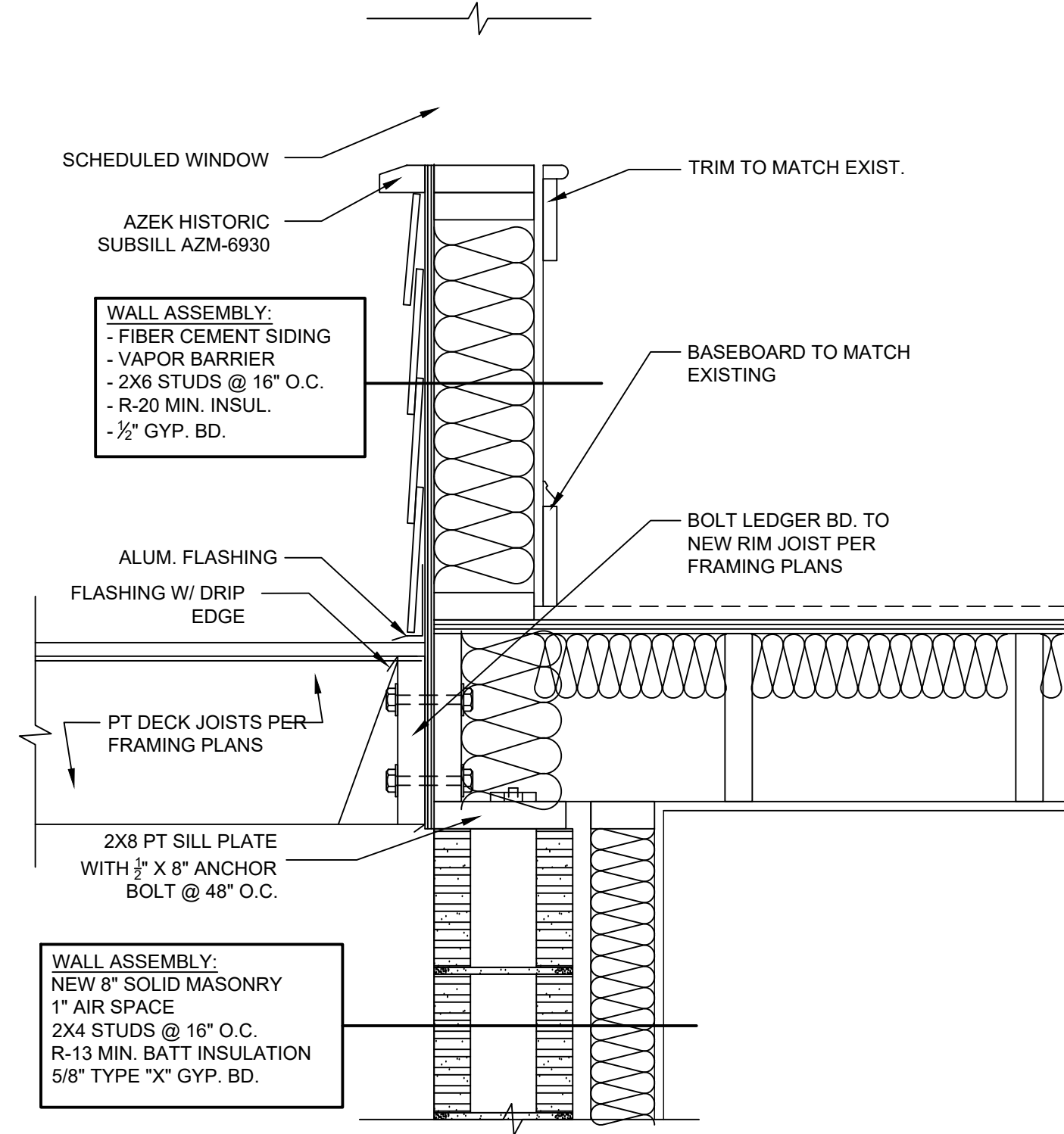
THESE DRAWING ARE LIMITED TO IRC WALL BRACING
REQUIREMENTS ONLY



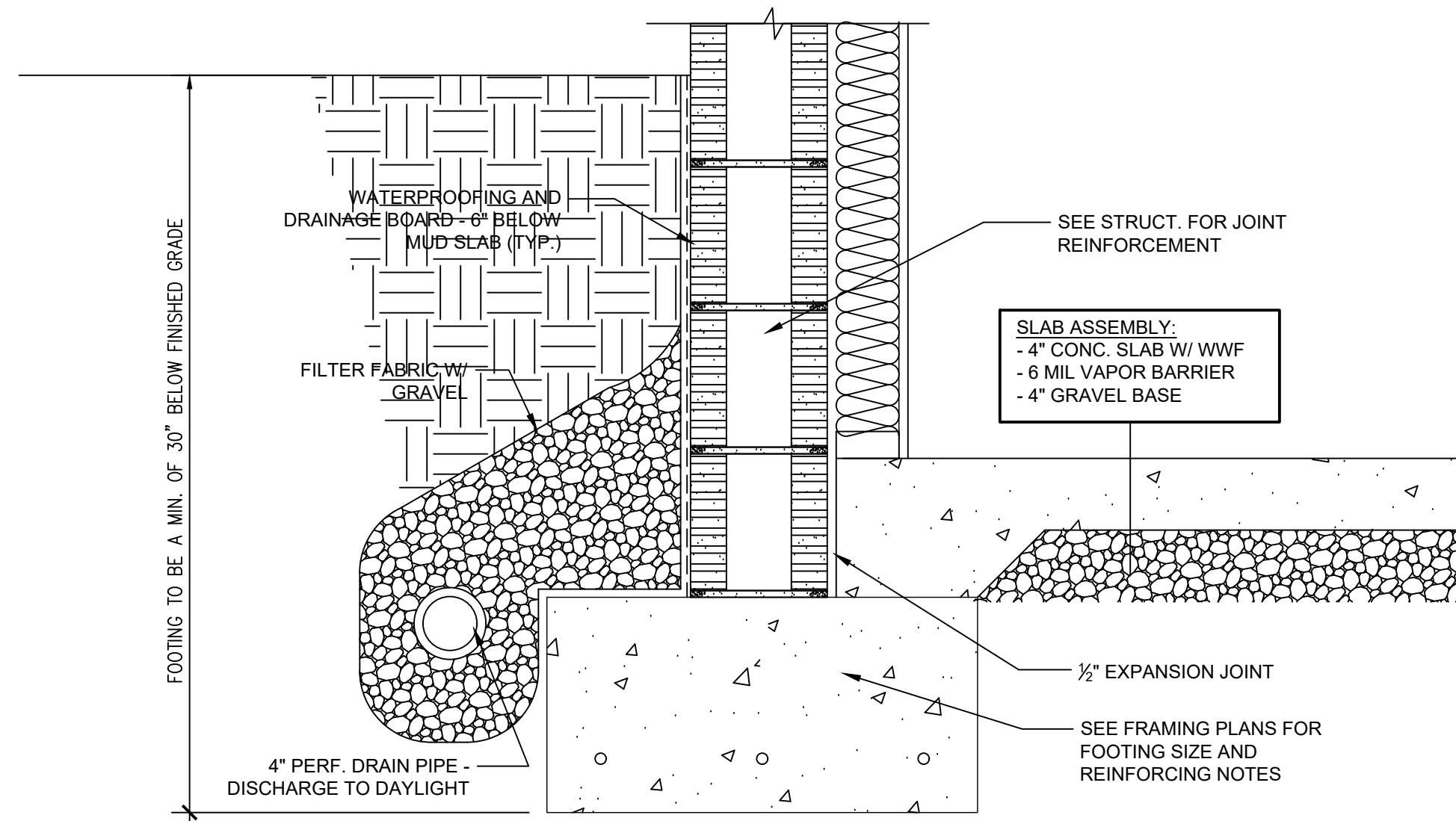
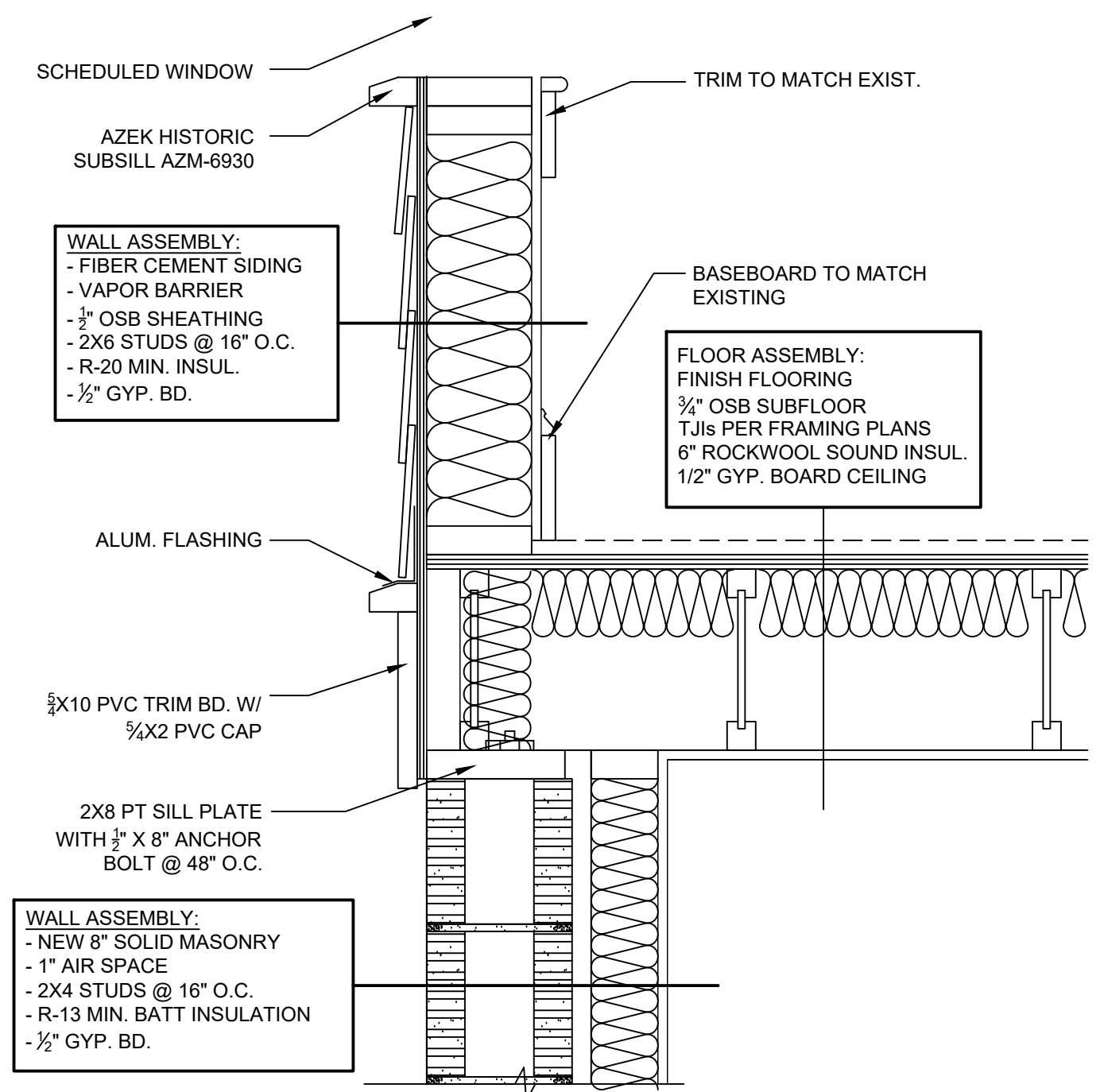
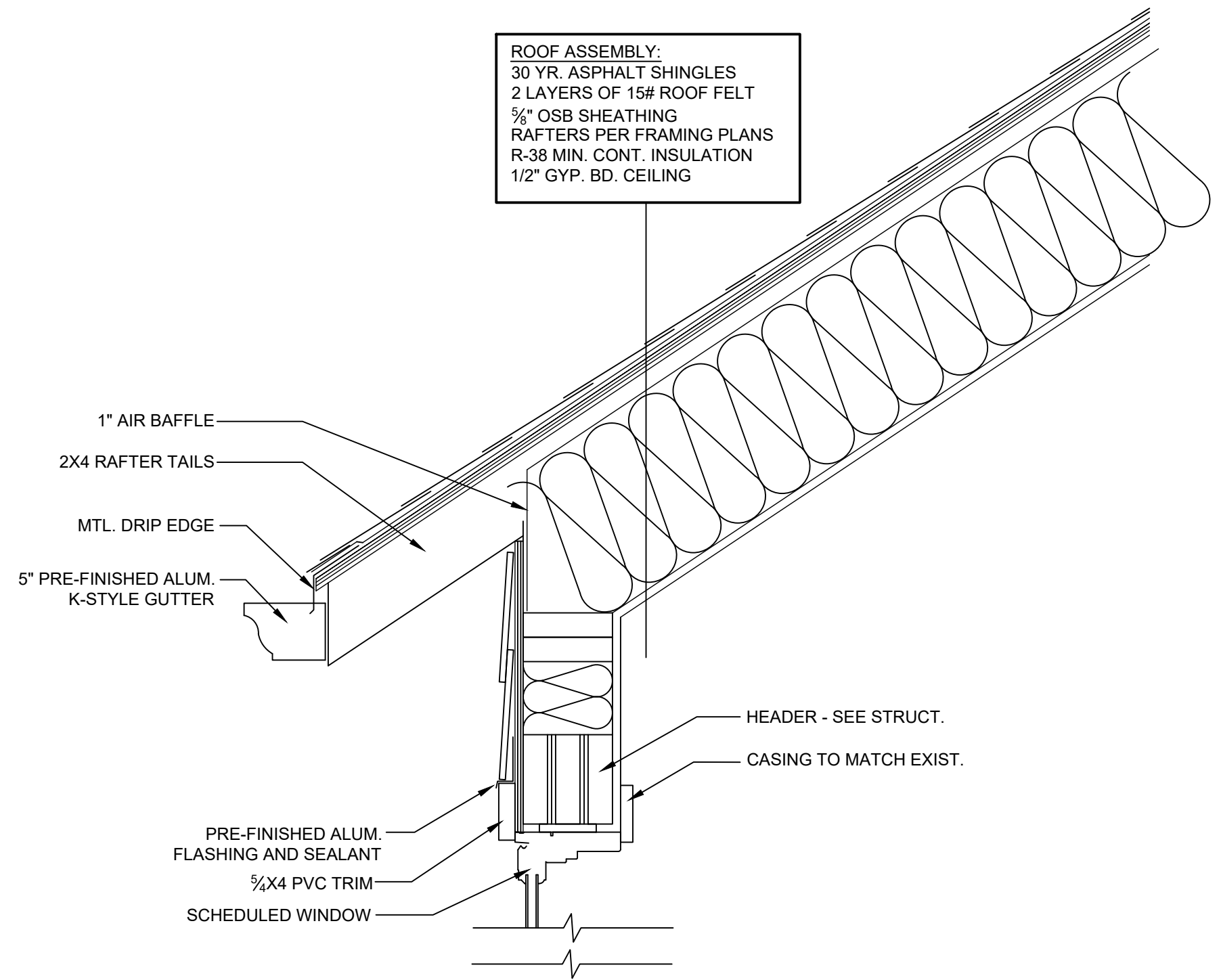
TYPICAL RAILING DETAILS
SCALE 1 1/2" =1'0"



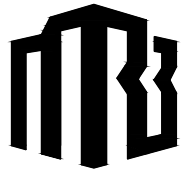
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TYPICAL LEDGER DETAIL
SCALE 1 1/2" =1'0"



TYPICAL SECTION
SCALE 1 1/2" =1'0"



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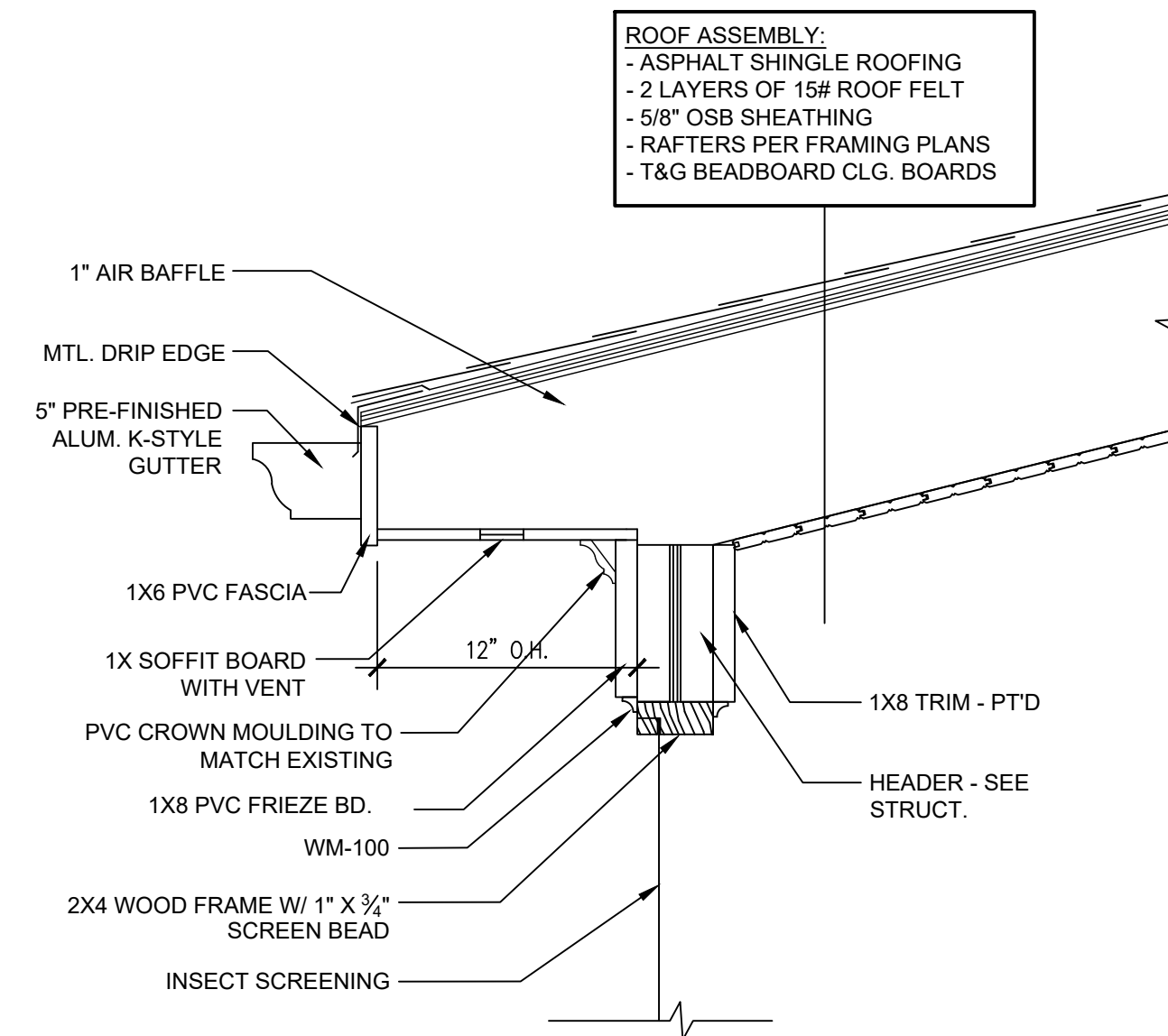
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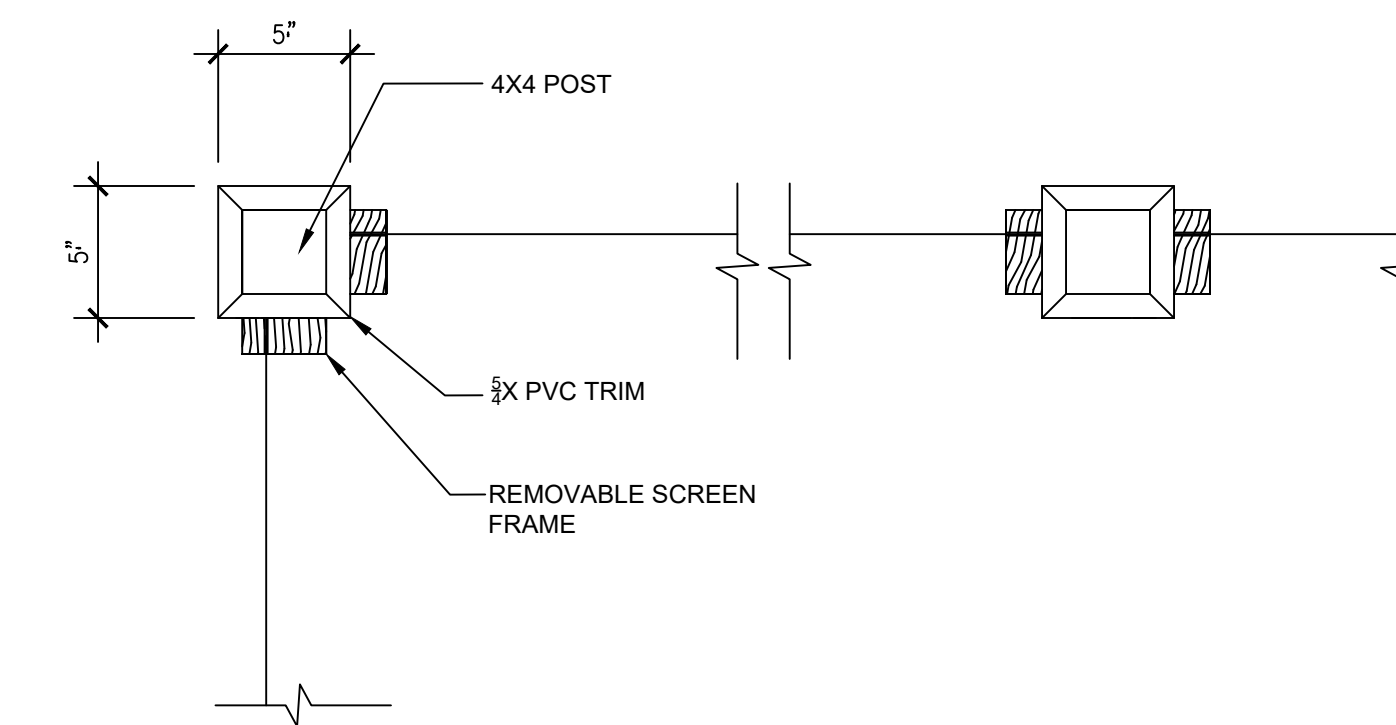
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DETAILS	
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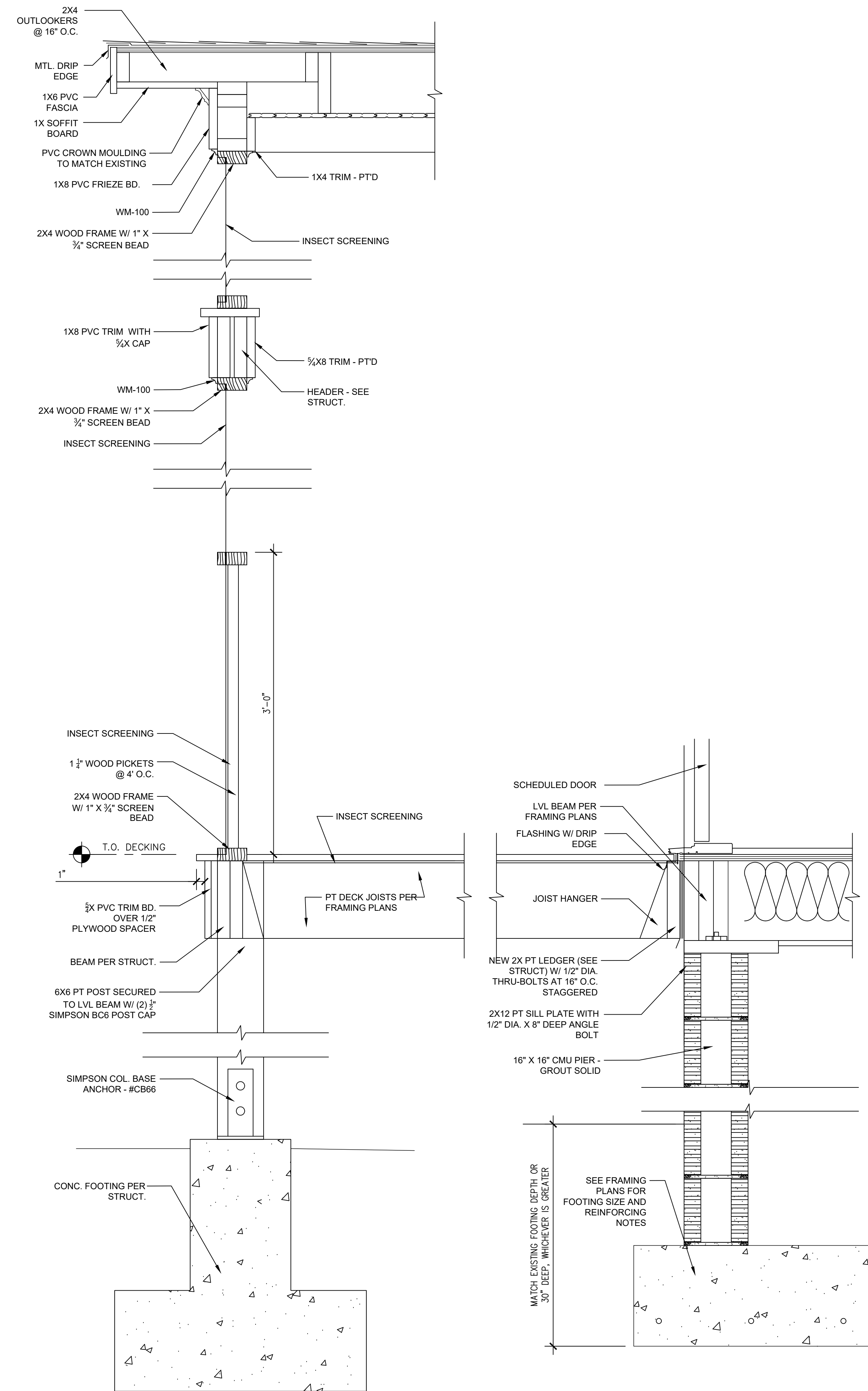
TYPICAL EAVE



PLAN DETAIL

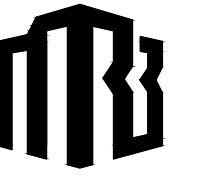


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TYPICAL SCREEN PORCH DETAIL

SCALE 1 1/2" = 1'0"



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D402