



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Jeffrey Hains
Chairman

September 4, 2026

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1153039 REVISION #6 – Deck and Patio Revisions,
Foundation Revisions, and Fence Revisions

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with two conditions** at the May 22, 2024 HPC meeting:

1. The material for the west deck and railing needed to be constructed out of wood.
2. Detailed drawings of the existing and proposed sunroom windows were required for the approval documents.

Revisions to the HAWP were **approved** on July 10, 2024, September 20, 2024, May 14, 2025, September 17, 2025, and November 12, 2025. Revision #6 was **approved with one condition** on August 19, 2026:

1. Release of the approval documents for Revision #6 is contingent upon commencing the reconstruction of the chimney at issue in HAWP 1153039 Revision #5.

The HPC staff has reviewed and stamped the attached construction drawings.

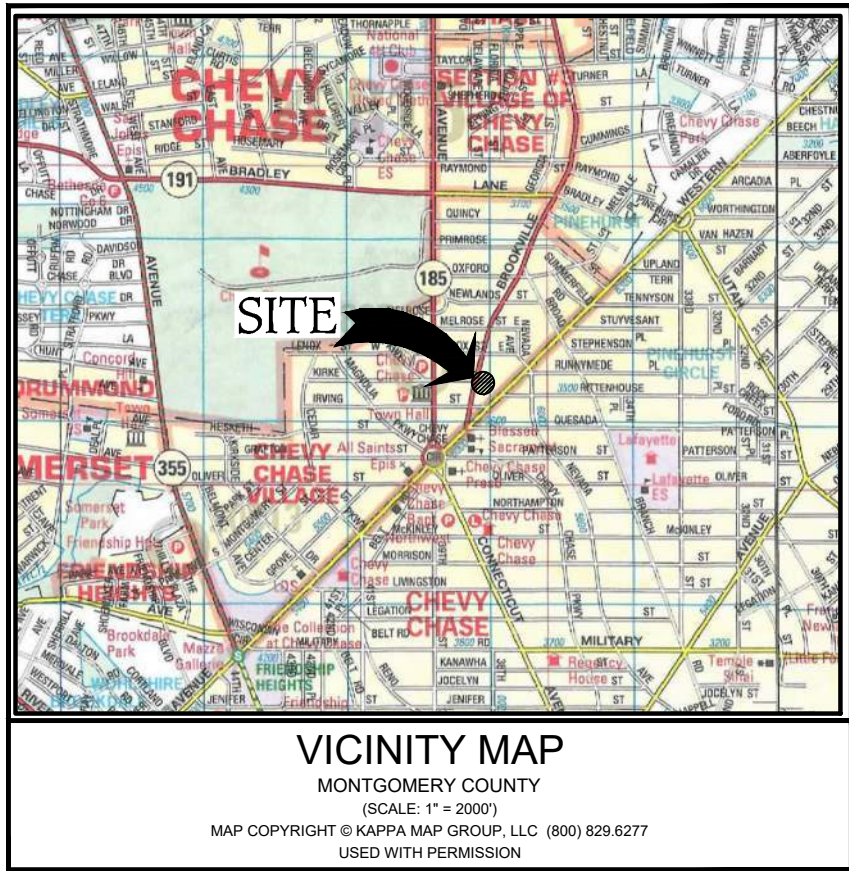
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Britt and Will Williams
Address: 102 E. Kirke St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



previously approved



GENERAL NOTES

SITE:

- ADDRESS: 102 E. KIRKE STREET, CHEVY CHASE MD 20815
- LOTS 14-15 & P/O LOT 16, BLK 34
- WATER/SEWER: W1, S1
- TAX MAP: HM41
- FLOODPLAIN: NONE
- WSSC GRID: 208NW04

SURVEY:

- HORIZONTAL DATUM BASED ON NAD83(2011)
- VERTICAL DATUM BASED ON NAVD83
- TOPOGRAPHY BASED ON FIELD RUN TOPO PERFORMED BY CPJ ON 01-17-2024 & SUPPLEMENTED WITH AVAILABLE GIS INFORMATION.
- TOPO AT 2' CONTOUR INTERVALS
- THIS LOT IS NOT ASSOCIATED WITH A PRELIMINARY PLAN
- NO 100YR FLOODPLAIN/WETLANDS LOCATED WITHIN THE SITE.
- NO HISTORIC SITE LOCATED WITHIN/ADJACENT TO THE SITE.

ZONING:

- SUBDIVISION: SEC. 2 CHEVY CHASE, PLAT #106 RECORDED: 1909
- PROPERTY ZONED: R-60
- MAIN STRUCTURE SETBACKS:
 - *** FRONT YARD: 25'
 - *** SIDE YARD: 7'
 - *** REAR YARD: 20'
- LOT SIZE = 17,415 SQ. FT. (R)

TOPSOL MUST BE APPLIED TO ALL PERVIOUS AREAS WITHIN THE LIMITS OF DISTURBANCE PRIOR TO PERMANENT STABILIZATION IN ACCORDANCE WITH MDC "STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS"

LIMITS OF DISTURBANCE: 4,786 SQ. FT.

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 12:54 pm, Nov 12, 2024

LANDSCAPE ARCHITECT CERTIFICATE

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT AND TAKEN FROM AVAILABLE PLANS AND RECORDS.

AMY T. SOMMER
REGISTERED LANDSCAPE ARCHITECT
MD #4234
EXPIRES: 10/20/2025

DATE _____ Seal not valid without signature

UPDATES/REVISIONS:			

SITE PLAN
102 EAST KIRKE STREET
LOTS 14-15 & PART OF LOT 16, BLOCK 34
SECTION No. 2 CHEVY CHASE
BETHESDA (7th) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

CPJ Charles P. Johnson & Associates, Inc.
Civil and Environmental Engineers • Planners • Landscape Architects • Surveyors
1751 Elton Rd., Ste. 300 Silver Spring, MD 20903 301-434-7000 Fax: 301-434-9394
www.cpjia.com • Silver Spring, MD • Gaithersburg, MD • Annapolis, MD • Greenbelt, MD • Frederick, MD • Fairfax, VA

CLIENT: CYPRESS BUILDERS 272 WISCONSIN AVENUE BETHESDA, MD 20814 ATTN: MR. CHRIS SMITH	WSSC GRID: DESIGN RPI DRAFT RPI DATE: SEPT. 2024 SCALE: AS NOTED	TAX MAP: SHEET 1 OF 1 FILE NO.: 2024-1008-21
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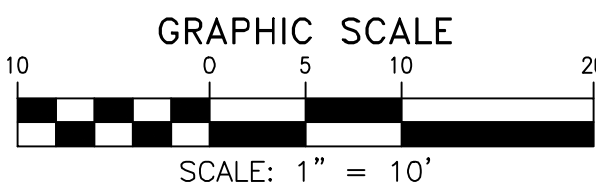
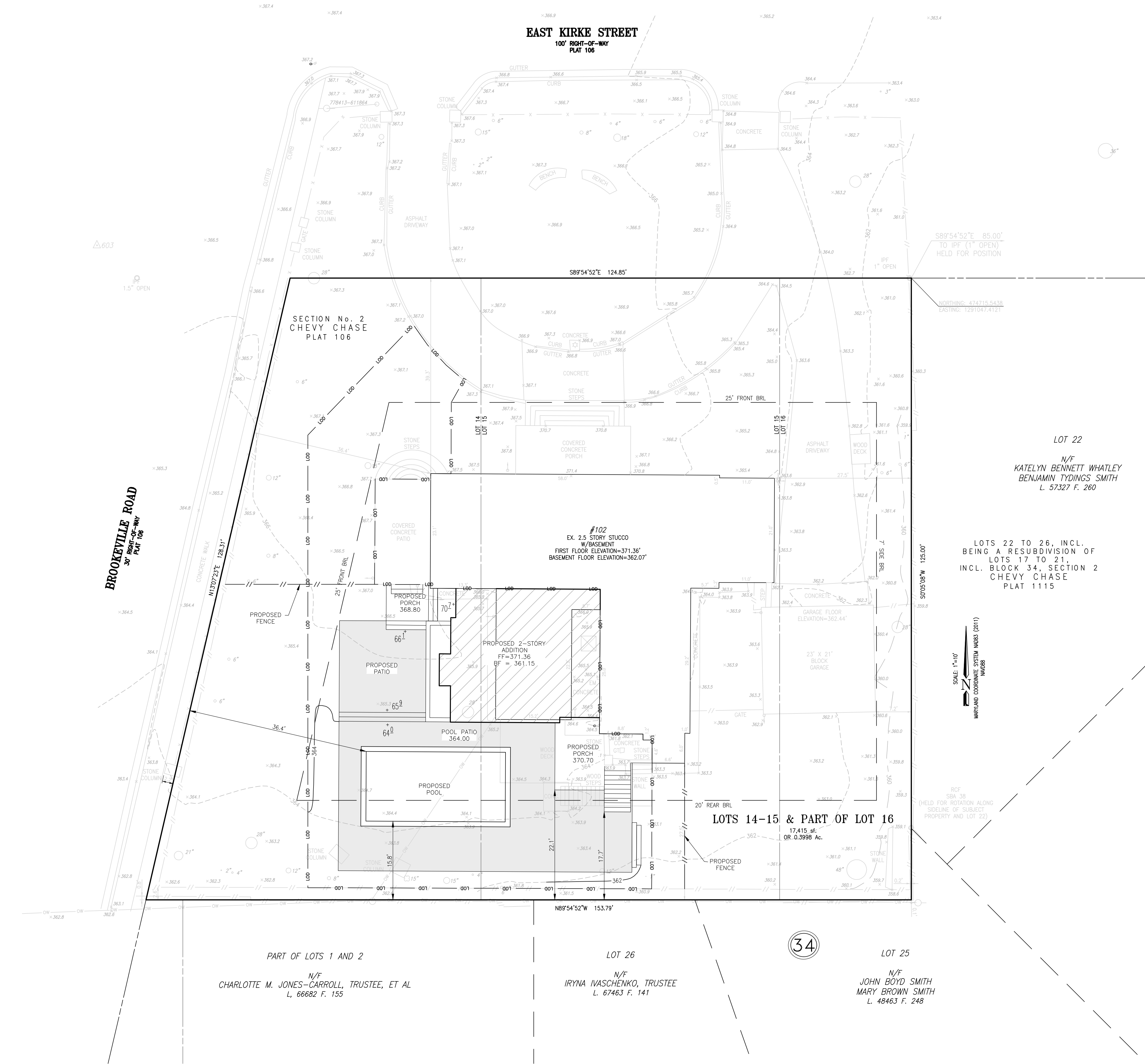
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LEGEND

---	EXISTING GRADE	---	APPROXIMATE LOCATION OF SEWER HOUSE CONNECTION
---	PROPOSED GRADE	---	APPROXIMATE LOCATION OF WATER HOUSE CONNECTION
+ 5.0'	FINISHED GRADE	---	APPROXIMATE LOCATION OF PROPOSED GAS CONNECTION
+ 340.0'	EXISTING GRADE SPOT ELEVATION	---	APPROXIMATE LOCATION OF PROPOSED ELECTRIC CONNECTION
---	PROPERTY BOUNDARY		

MISS UTILITY

CALL "MISS UTILITY" AT 1-800-257-7777. 48 HOURS PRIOR TO THE START OF WORK, THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE. CERTIFICATIONS ON THIS SHEET ARE REQUIRED ON ANY PLAN INVOLVING STORMWATER MANAGEMENT. THE STRUCTURAL CERTIFICATION IS REQUIRED FOR UNDERGROUND STORMWATER MANAGEMENT STRUCTURES WHERE POURED CONCRETE WALLS ARE TO BE UTILIZED, OR ON ANY OTHER STRUCTURE MDCPS DEEMS APPROPRIATE.

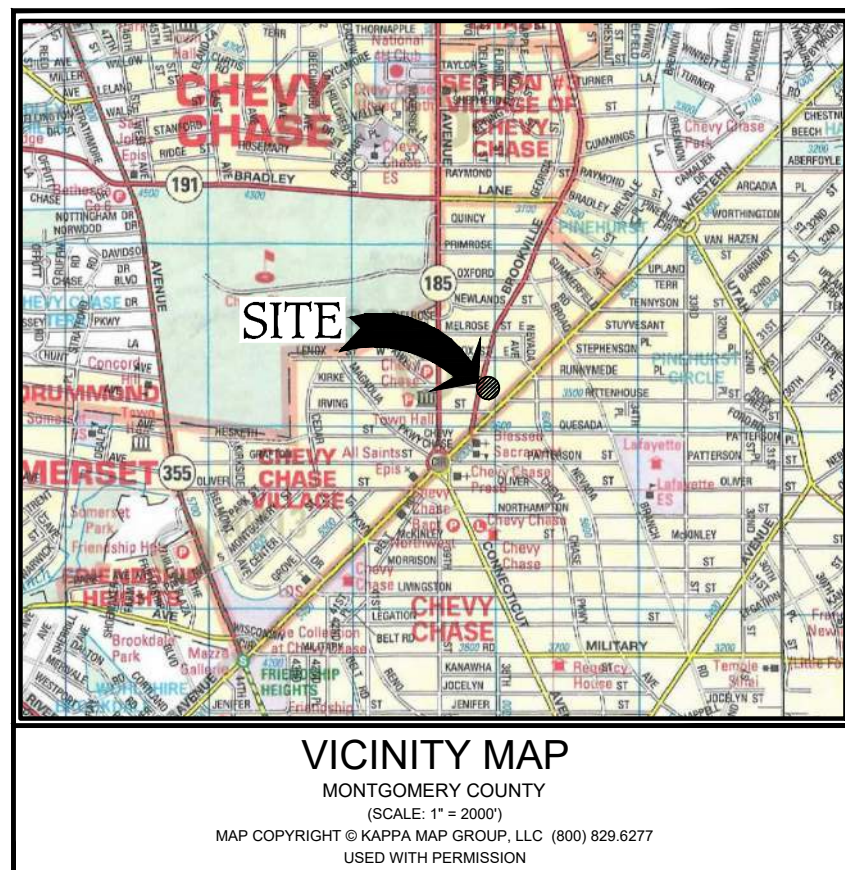


APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 11:44 am, Sep 04, 2026

proposed



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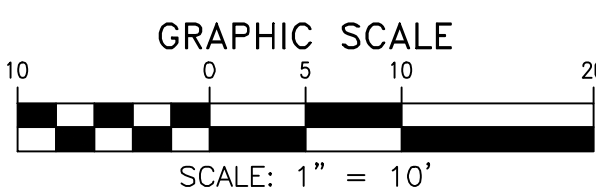
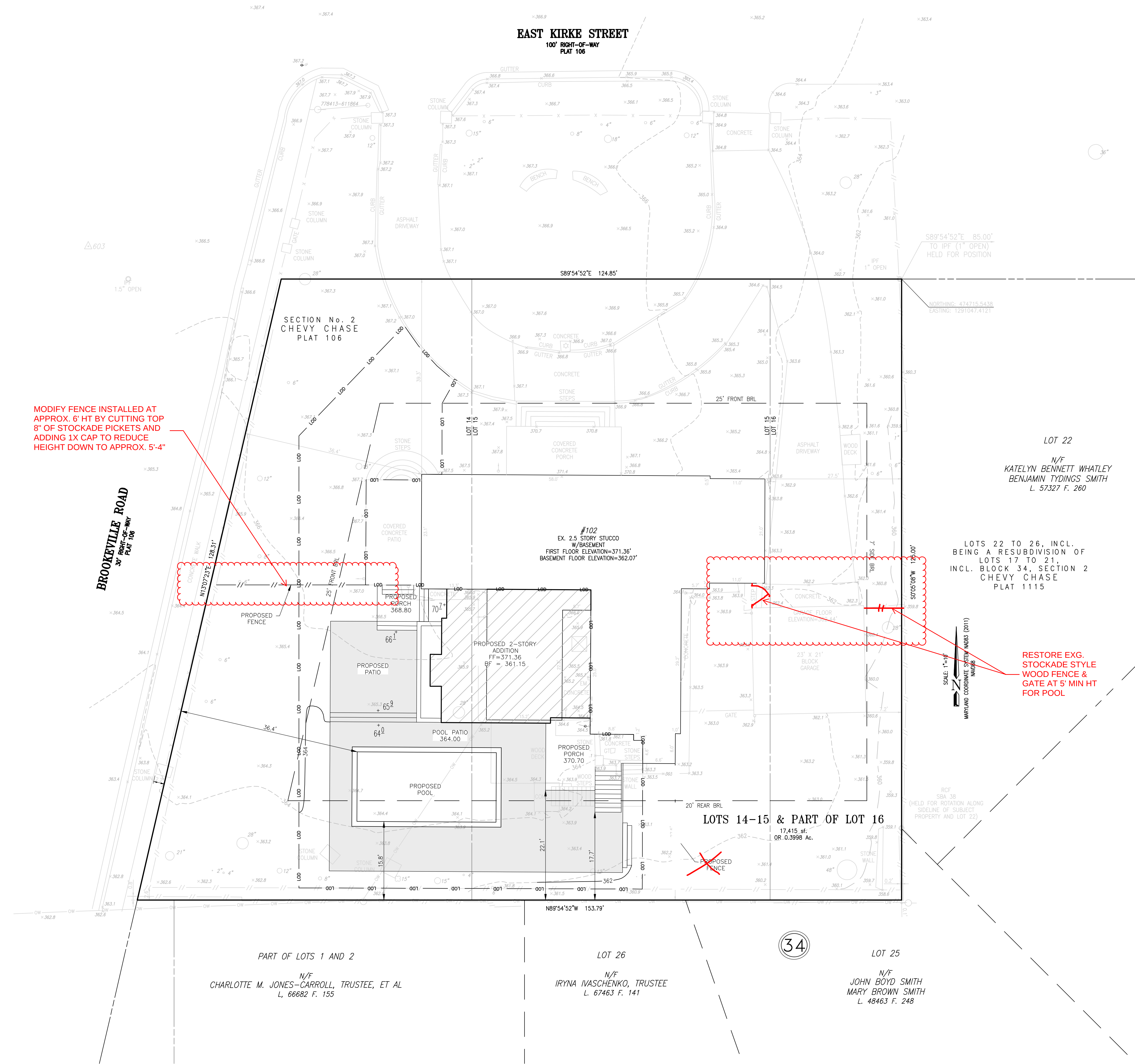
WSSC GRID: TAX MAP:
DESIGN: RPI SHEET: 1 OF 1
DRAFT: RPI
DATE: SEPT. 2024
SCALE: AS NOTED FILE NO.: 2024-1008-21

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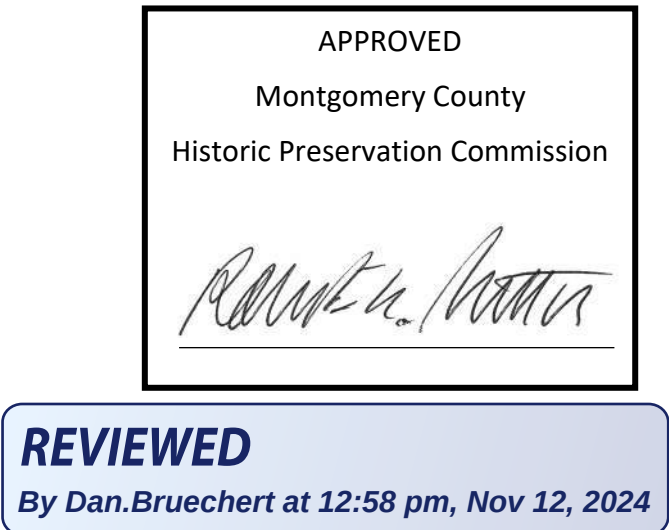
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Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 11:44 am, Sep 04, 2026



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2 EX. RIGHT ELEVATION
SCALE: 1/8"=1'-0"

previously approved



REVIEWED
By Dan Bruechert at 11:44 am, Sep 04, 2026

1 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

GTM Project No. 23.0639

Checked By

Drawn By LEO/KBP

Scale AS NOTED

Sheet Title

RIGHT SIDE
ELEVATION

Sheet No.

A201

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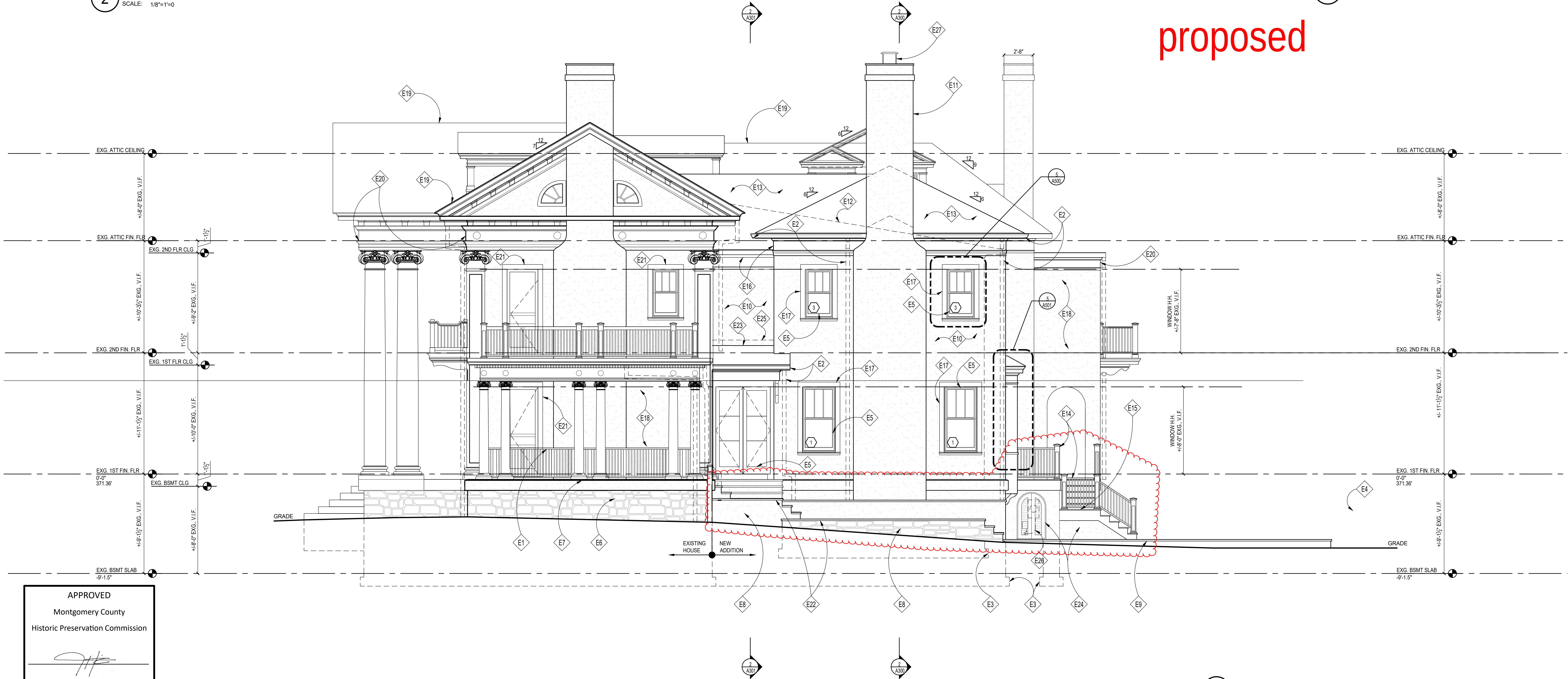


2 EX. RIGHT ELEVATION
SCALE: 1/8"=1'-0"



3 CHIMNEY REFERENCE IMAGE
SCALE: 1/4"=1'-0"

proposed



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SCALE: 1/4"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

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GENERAL AZEK TRIM NOTES

GLUE ALL AZEK TO AZEK JOINTS SUCH AS WINDOW SURROUNDS, LONG FASCIA RUNS, ETC., WITH AZEK ADHESIVE TO PREVENT JOINT SEPARATION.

THE GLUE JOINT SHOULD BE SECURED WITH A FASTENER AND/OR FASTENED ON EACH SIDE OF THE JOINT TO ALLOW ADEQUATE BONDING TIME.

AZEK ADHESIVE HAS A WORKING TIME OF 10 MINUTES AND WILL BE FULLY CURED IN 24 HOURS.

IF STANDARD PVC CEMENTS ARE USED, KEEP IN MIND THESE PRODUCTS TYPICALLY CURE QUICKLY WHICH WILL RESULT IN LIMITED WORKING TIME AND MAY REDUCE ADHESIVE STRENGTH AS SUCH THEY ARE NOT ACCEPTABLE.

FOR BEST RESULTS, SURFACES TO BE GLUED SHOULD BE SMOOTH, CLEAN AND IN COMPLETE CONTACT WITH EACH OTHER.

TO BOND AZEK TO OTHER SUBSTRATES, VARIOUS ADHESIVES MAY BE USED. CONSULT ADHESIVE MANUFACTURER TO DETERMINE SUITABILITY.

AZEK PRODUCTS EXPAND AND CONTRACT WITH CHANGES IN TEMPERATURE. PROPERLY FASTENING AZEK MATERIAL ALONG ITS ENTIRE LENGTH WILL MINIMIZE EXPANSION AND CONTRACTION.

WHEN PROPERLY FASTENED, ALLOW 1/8" PER 18' FOOT OF AZEK PRODUCT FOR EXPANSION AND CONTRACTION. JOINTS BETWEEN PIECES OF AZEK SHOULD BE GLUED TO ELIMINATE JOINT SEPARATION. SEE "GLUING" DIAGRAM BELOW.

WHEN GAPS ARE GLUED ON A LONG RUN OF AZEK, ALLOW EXPANSION AND CONTRACTION SPACE AT ENDS OF THE RUN.

INSTALL PER AZEK.

FOR ADDITIONAL INFORMATION, VISIT WWW.AZEK.COM OR CALL 877-ASK-AZEK.



ELEVATION NOTES

E1 PTD. 36" HT PTD. WOOD GUARD RAIL PER IRC 2018, T.B.S.; MATCH TO EXG. 2ND FLOOR RAILING PROFILES AS CLOSELY AS POSSIBLE

E2 PTD. ALUM BOX GUTTER & ROUND DOWNSPOUT, TO MATCH EXISTING. SEE ROOF PLAN

E3 APPROX. LINE OF PROPOSED FOUNDATION/FOOTINGS BELOW. SEE FOUNDATION PLAN FOR ADDITIONAL INFO.

E4 NEW 5' HT STD. WOOD SOLID BOARD POOL FENCE AND GATE TO TIE INTO EX. PROPERTY FENCE

E5 NEW PTD. ALUM CLAD WOOD SDL DOORS & WINDOWS AS SCHEDULED

E6 EXISTING STONE VENEER, REPAIR & REPOINT AS REQ.

E7 EXISTING PORCH & TRIM TO REMAIN: PATCH/REPAIR, SCRAPE, SAND AND REPAINT AS REQUIRED

E8 NEW STONE VENEER TO MATCH EXISTING, REUSE SALVAGED STONE IF POSSIBLE

E9 NEW POOL AND PATIO, VERIFY DESIGN WITH POOLLANDSCAPE DESIGNER

E10 PTD. 3-COAT CEMENTITIOUS STUCCO SIDING; MATCH EXG. TEXTURE/FINISH

E11 NEW MASONRY CHIMNEY TO MATCH EXISTING; SEE DETAIL 6/A500

E12 DASHED LINE OF ROOF SLOPE BEYOND

E13 NEW ROOF SHINGLES TO MATCH EXISTING

E14 NEW COMPOSITE RAIL SYSTEM, INTX. OR EQ. FOLLOW IRC. 2018

E15 NEW COMPOSITE DECK T.B.S.

E16 PTD. AZEK CORNICE TRIM, SEE DETAILS 1A/A500

E17 PTD. 5/4X AZEK WINDOW/DOOR TRIM, TYP., SEE DETAILS, 5/A500

E18 EXISTING STUCCO TO REMAIN. SEE GENERAL NOTES FOR MORE INFO

E19 EXISTING ROOF TO REMAIN, SEE GENERAL NOTES FOR MORE INFO

E20 EXISTING TRIM TO REMAIN. SEE GENERAL NOTES FOR MORE INFO

E21 EXISTING WINDOW/DOOR TRIM TO REMAIN. SEE GENERAL NOTES FOR MORE INFO

E22 TERRACED STUCCO/FLAGSTONE STEPS & STOOPS TO PATIO AT GRADE; SEE DETAIL 14/A500, 16/A500

E23 CANOPY OVER DOOR WITH PTD. WOOD STRUCTURAL BRACKET; SEE DETAILS 2/A551

E24 STUCCO DECK SKIRTING & PTD. COMPOSITE LOUVERED STORAGE ACCESS DOOR

E25 CONCEALED ALUM. FLASHING @ CANOPY ROOF

E26 NEW LOCATION FOR GAS METER - FINAL LOCATION TO BE VERIFIED IN FIELD BY GC TO BE IN COMPLIANCE WITH UTILITY CLEARANCE REQUIREMENTS

E27 DECORATIVE METAL CHIMNEY CAP T.B.S.

GENERAL NOTES

FOR ENTIRE HOUSE:

- INVESTIGATE AND REPLICATE/RESTORE HISTORIC STUCCO SIDING, ROOF SHINGLES, AND TRIM DETAILS AS NECESSARY. CONFER WITH HISTORIC PRESERVATION STAFF BEFORE COMMENCING WORK ON ANY EXISTING TRIM/SIDING. PROVIDE NEW PTD. WOOD TRIM DETAILS TO MATCH EXISTING HISTORIC DETAILS AS CLOSELY AS POSSIBLE ON ADDITION.
- ALL WOOD TRIM (FRIEZE BOARDS, SOFFITS, WINDOW CASING, ECT.) TO BE WINDSOR-ONE® OR APPROVED EQ. PRIME ALL END CUTS, AND INSTALL PER MANUFACTURER'S INSTRUCTIONS.

GTM ARCHITECTS

7735 OLD GEORGETOWN ROAD
SUITE 700
BETHESDA, MD 20814
(240)333-2000
(240)333-2001 FAX
WWW.GTMARCHITECTS.COM

GTM

Seal

Consultant

Project

**WILLIAMS
RESIDENCE**

102 E KIRKE STREET, CHEVY CHASE MD

Owner

**BRITT AND WILL
WILLIAMS**

Developer

PERMIT SET	11/05/2024
CONSTRUCTION SET	12/31/2024

Issue Description	Date
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GTM Project No.	23.0639
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Checked By

Drawn By LEO/KBP

Scale AS NOTED

Sheet Title

**RIGHT SIDE
ELEVATION**

Sheet No.

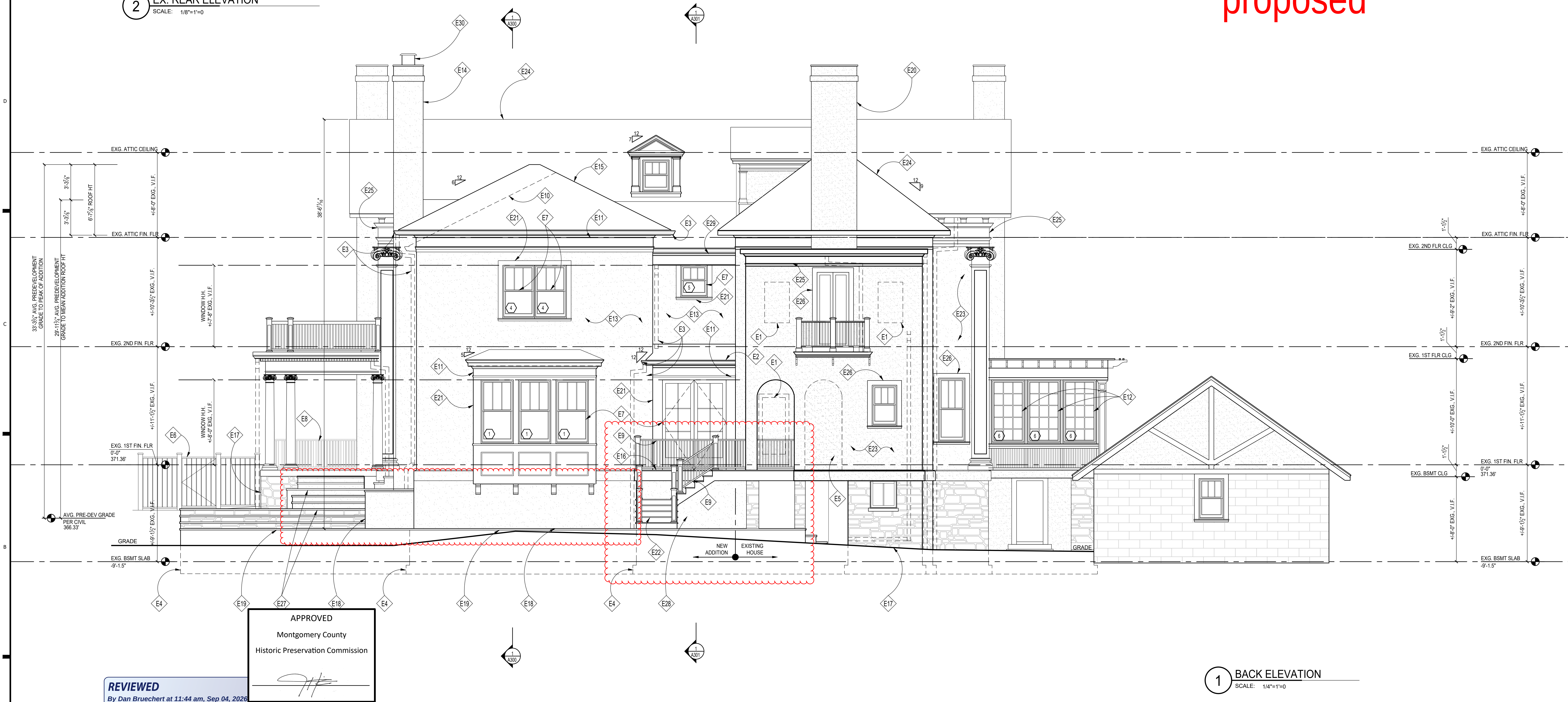
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2 EX. REAR ELEVATION
SCALE: 1/8"=1'-0"

proposed



1 BACK ELEVATION
SCALE: 1/4"=1'-0"



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ELEVATION NOTES

E1 INFILL OPENING OF EXG. WINDOW/DOOR TO BE REMOVED WITH STUCCO CLADDING TO MATCH EXISTING EXTERIOR, SEE STUCCO SPECS SHEET 003

E2 PTD. AZEK CORNICE TRIM & OVERHANG, SEE DETAILS 18C, 18D, 18J

E3 PTD. ALUM BOX GUTTER & ROUND DOWNSPOUT, TO MATCH EXISTING. SEE ROOF PLAN AND CONTRACTION. JOINTS BETWEEN PIECES OF AZEK SHOULD BE GLUED TO ELIMINATE JOINT SEPARATION. SEE "GLUING" DIAGRAM BELOW.

E4 APPROX. LINE OF PROPOSED FOUNDATION/FOOTINGS BELOW, SEE FOUNDATION PLAN FOR ADDITIONAL INFO.

E5 PARTIALLY INFILL EXISTING ARCHWAY OPENING WITH STUCCO CLADDING TO MATCH EXISTING EXTERIOR, SEE STUCCO SPECS SHEET 003

E6 NEW 5' HT STD. WOOD SOLID BOARD POOL FENCE AND GATE TO TIE INTO EX. PROPERTY FENCE

E7 NEW ALUM CLAD WOOD SCL DOORS & WINDOWS AS SCHEDULED

E8 NEW PTD. 36" HT PTD. WOOD GUARD RAIL PER IRC 2018, T.B.S., MATCH TO EXG. 2ND FLOOR RAILING PROFILES AS CLOSELY AS POSSIBLE

E9 NEW COMPOSITE RAIL SYSTEM, INTEXT, OR EQ. FOLLOW IRC, 2018

E10 DASHED LINE OF ROOF SLOPE BEYOND

E11 PTD. AZEK CORNICE TRIM, SEE DETAILS 18A/500

E12 NEW CLAD WOOD SCL WINDOW TO REPLACE EXISTING, MATCH STYLE/OPERATION AND LIGHT DIVISION. REPLACEMENT WINDOW TO FOLLOW IRC 2018 310.2.5

E13 PTD. 3-COAT CEMENTITIOUS STUCCO SIDING, MATCH EXG. TEXTURE/FINISH

E14 NEW MASONRY CHIMNEY TO MATCH EXISTING, SEE DETAIL 6/A500

E15 NEW ROOF SHINGLES TO MATCH EXISTING

E16 NEW COMPOSITE DECK T.B.S

E17 EXISTING STONE VENEER, REPAIR & REPOINT AS REQ.

E18 NEW STONE VENEER TO MATCH EXISTING, REUSE SALVAGED STONE IF POSSIBLE

E19 NEW POOL AND PATIO, VERIFY DESIGN WITH POOL/LANDSCAPE DESIGNER

E20 EXISTING MASONRY CHIMNEY TO REMAIN FROM THE EXTERIOR ONLY, PROVIDE STRUCTURAL SUPPORT, PATCH/REPAIR AS REQ'D

E21 PTD. 5/4X AZEK WINDOW/DOOR TRIM, TYP., SEE DETAILS, 5/A500

E22 EXTERIOR STAIRS TO GRADE, F.V. RISE AND RUN, COMPOSITE MATERIAL T.B.S. RISERS AND TREADS, 3/A502

E23 EXISTING STUCCO TO REMAIN, SEE GENERAL NOTES FOR MORE INFO

E24 EXISTING ROOF TO REMAIN, SEE GENERAL NOTES FOR MORE INFO

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E27 TERRACED STUCCO/FLAGSTONE STEPS & STOOPS TO PATIO AT GRADE, SEE DETAIL 14/A500, 16/A500

E28 STUCCO DECK SKIRTING

E29 PTD. AZEK CORNICE TRIM & OVERHANG, SEE DETAILS 18A, 18B, 18J

E30 DECORATIVE METAL CHIMNEY CAP T.B.S.

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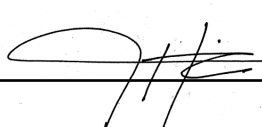


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 By Dan Bruechert at 11:44 am, Sep 04, 2026



PREVIOUSLY APPROVED

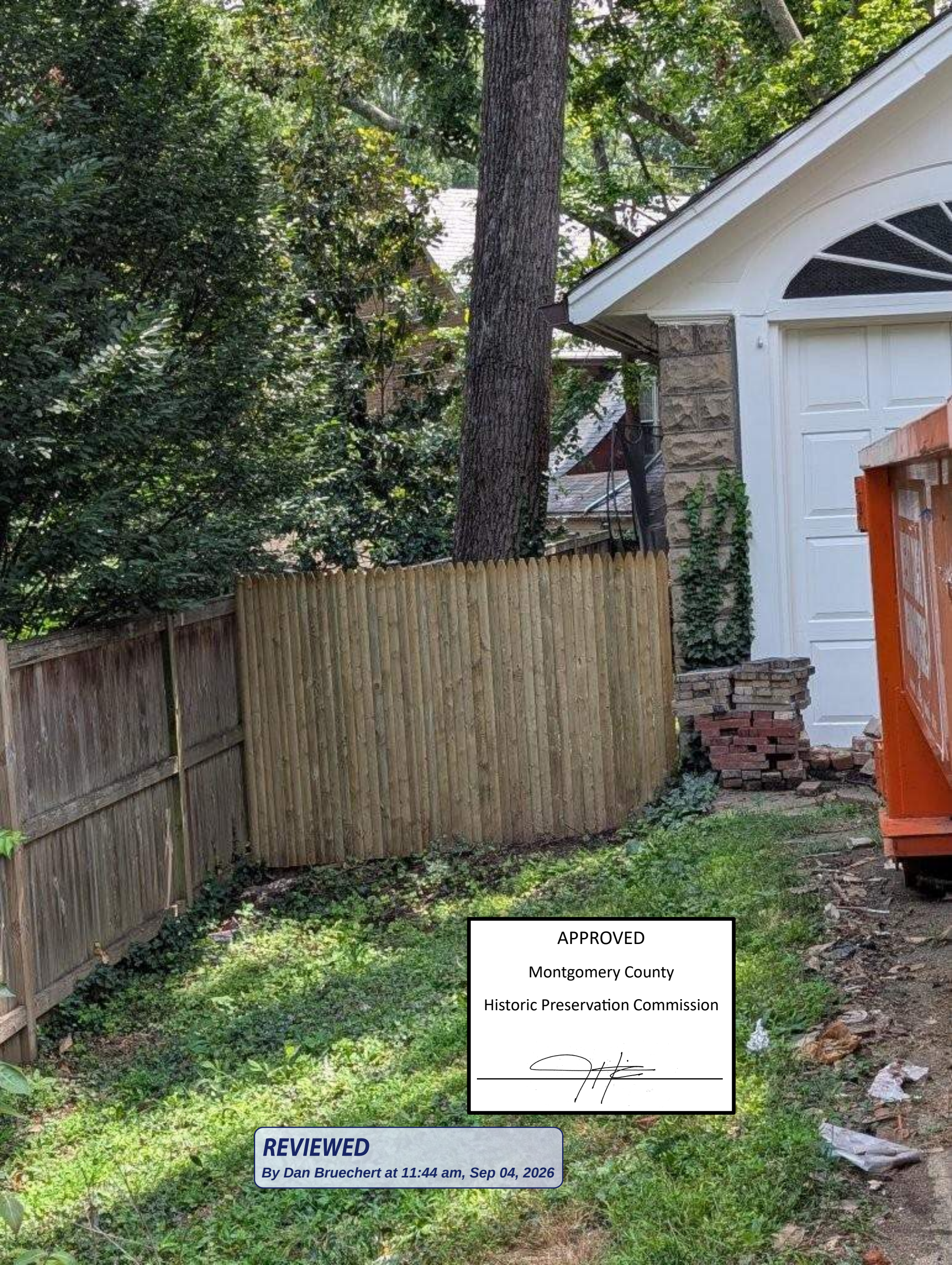
WILLIAMS RESIDENCE

102 EAST KIRKE STREET, CHEVY CHASE, MD 20815

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7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 - TEL: (240) 333-2000 - FAX: (240) 333-2001



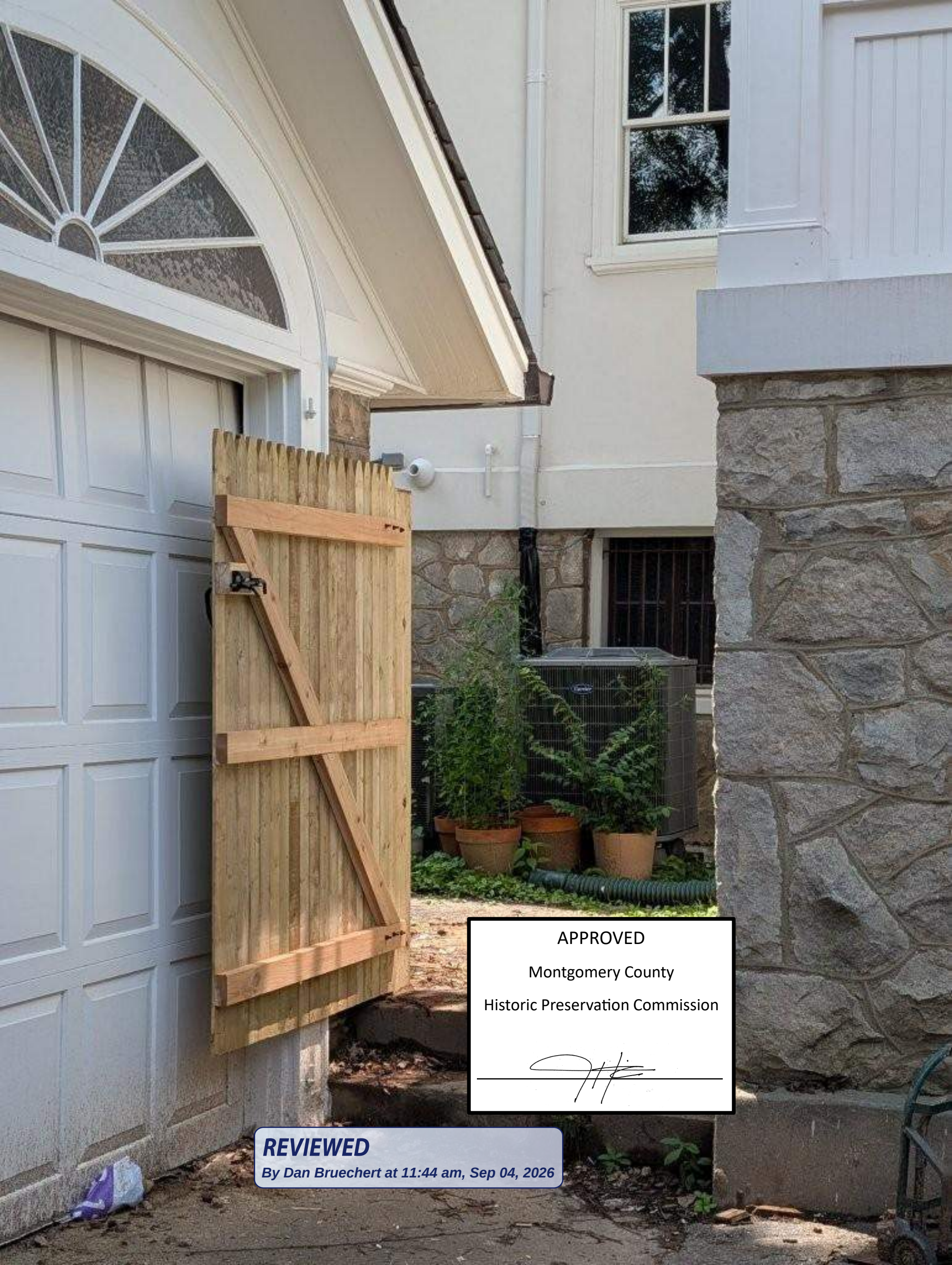


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Montgomery County
Historic Preservation Commission

REVIEWED

By Dan Bruechert at 11:44 am, Sep 04, 2026



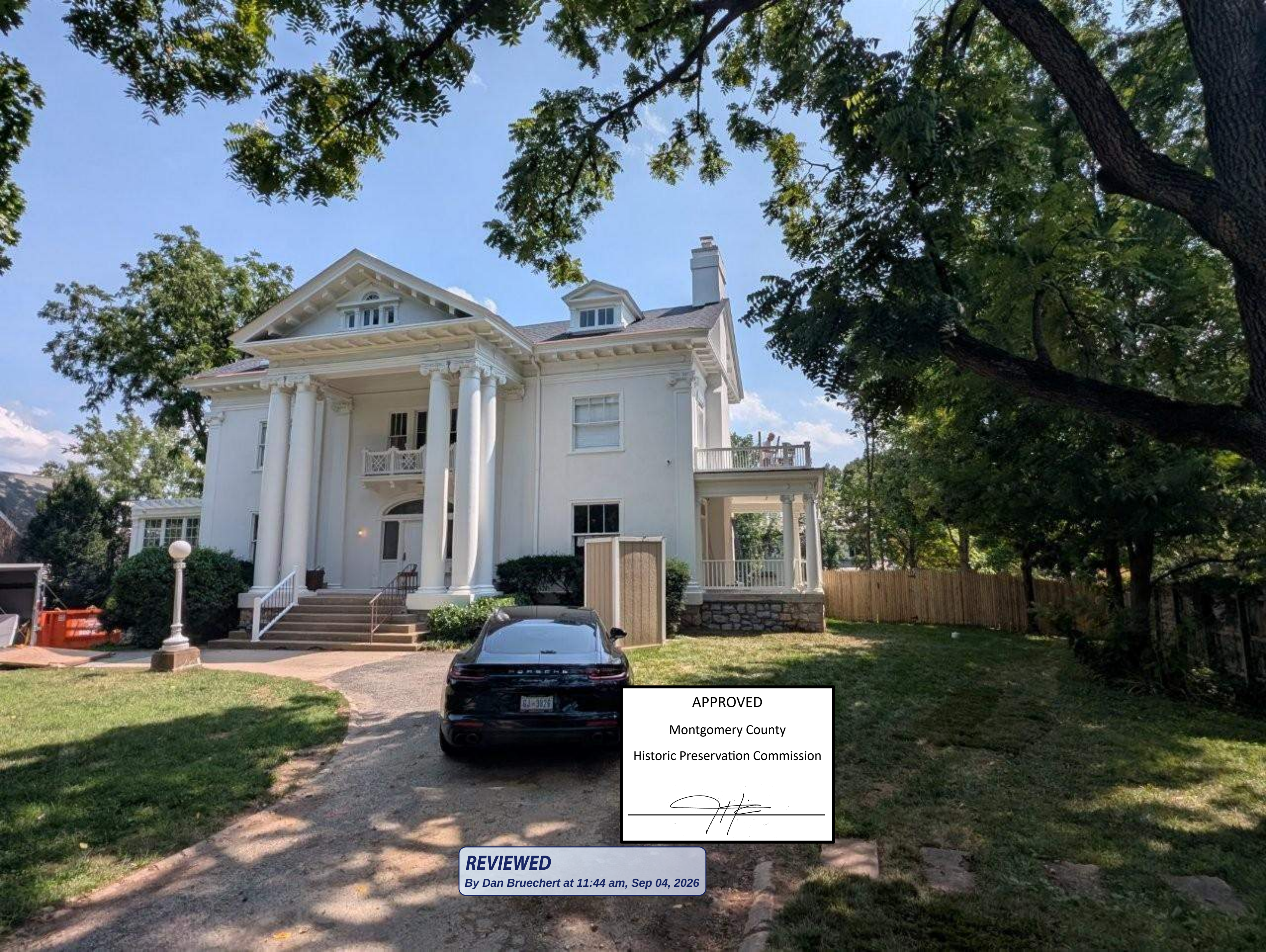
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CUT DOWN TOP 8"
+/- AND ADD 1X CAP
PIECE TO REDUCE
HEIGHT DOWN TO
APROX. 5'-4"

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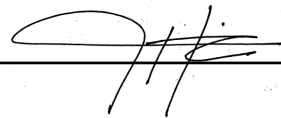


APPROX. APPEARANCE OF MODIFIED FENCE WITH NEW CAP PIECE ONCE CUT DOWN



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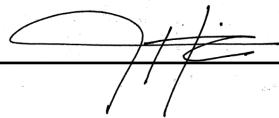
REVIEWED

By Dan Bruechert at 1:43 pm, Sep 04, 2026



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Montgomery County
Historic Preservation Commission

A handwritten signature in black ink, appearing to be 'Dan Bruechert', written over a horizontal line.

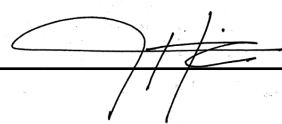
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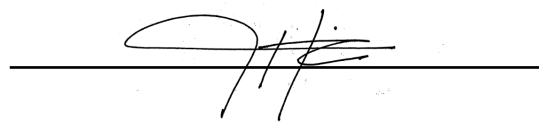
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By Dan Bruechert at 1:43 pm, Sep 04, 2026



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A handwritten signature in black ink, appearing to be "D. Bruechert", written over a horizontal line.

REVIEWED

By Dan Bruechert at 1:43 pm, Sep 04, 2026