



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Jeffrey Hains
Chairman

September 4, 2026

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services
FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission
SUBJECT: Historic Area Work Permit #1147788 REVISION– Garage Alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with three conditions** at the February 25, 2026 HPC meeting:

1. A tree impact assessment letter from the Takoma Park Arborist must be submitted to Staff before the issuance of the final HAWP approval documents.
2. Final design details for the carriage house doors and hardware need to be submitted for Staff's review before issuance of the final HAWP approval documents.
3. A lighting specification must be submitted for Staff's review before the issuance of the final HAWP approval documents.

The HPC **approved** revisions at the HAWP at the August 18, 2026 HPC meeting.

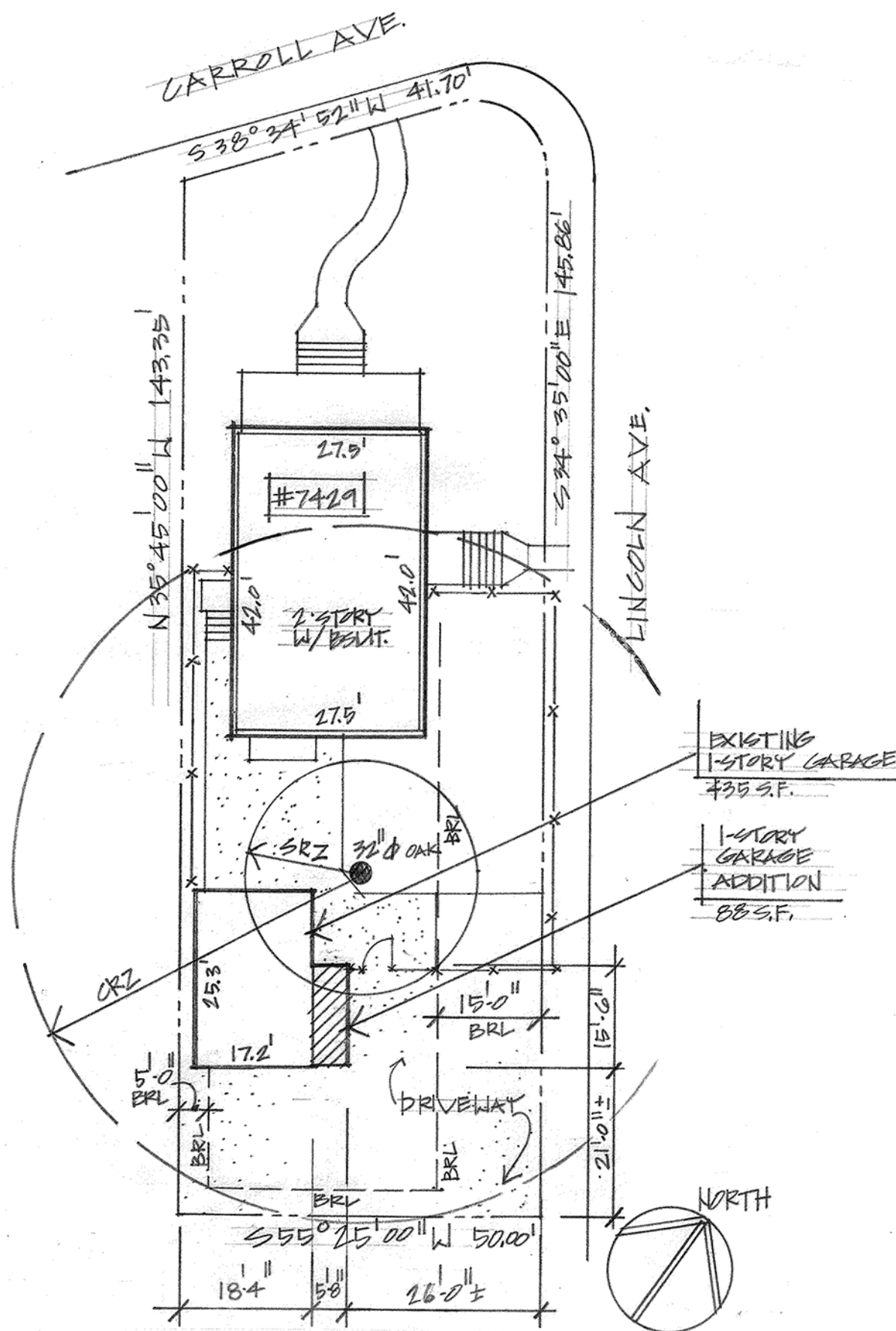
The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Nicholas Fox
Address: 7429 Carroll Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.





Site Plan

1"=20'-0"

House/Site Information:

Lot: P3 Block: 37
Subdivision: B.F. Gilbert
Address: 7429 Carroll Ave., Takoma Park, MD 20912
Year built: 1932 Zoning: R-30
Historic District: Takoma Park

Project Information:

Renovate existing 435 s.f. Garage; add an 88 s.f. addition at front.
HAWP #1147788: approved 3/3/2026.

Building Code Information:

All construction shall be in conformance with the International Residential Code (IRC) ER 13-24, 2021 Edition, as Amended by Mont. Co., effective Dec. 10, 2024.

AREA CALCULATIONS

EXISTING:

Lot Area:	7609 s.f.
Lot Coverage/Building	
House & Garage:	1798 s.f.
% of Lot Coverage:	23.6%

PROPOSED:

Lot Coverage/Building Area (added):	
(Garage):	88 s.f.
Lot Coverage/Building Area	
(existing House/Garage + Garage addition):	1886 s.f.
% of Lot Coverage:	24.7%

TOTAL NET NEW ROOF AREA: 88 s.f.

GENERAL CONSTRUCTION NOTES:

- These drawings are to show only materials and layout of the design; means and methods are to be determined by contractor. The contractor shall fully acquaint him/herself with the conditions relating to construction and labor so that he/she understands the issues relating to the execution of the work.
- The contractor shall provide all materials, labor and equipment and pay all freight charges, taxes, and handling of materials necessary for the full implementation of the work herein described on these drawings unless noted otherwise.
- The contractor is to verify all dimensions and assumed conditions in the field and to bring any discrepancies, omissions, ambiguities or conflicts to the attention of the architect and owner as soon as possible before proceeding with any of this work in question.
- The contractor is to notify the architect if any existing pipes, ducts, structural elements (or any other relevant item) that are revealed by demolition and are scheduled to be removed or re-routed for the new plan are determined to not be easily moved or removed.
- The contractor is to notify the architect and/or structural engineer if any existing wood joists, sheathing, studs, etc. are damaged or deteriorated from termites, water, etc.
- All construction will meet or exceed all applicable building and health codes, unless a code modification approval is granted.
- The owner's written authorization will be required before any work is executed or materials ordered that involve a change from the original specifications affecting the contract price.
- All plan dimensions on drawings are set to the edge of the framing members; all finishes are not to be taken into account unless otherwise noted. If dimension is taken to a finish surface, it shall be noted as "FINISH DIMENSION", "FIN. DIM.", or "CLEAR DIM."
- Solid blocking required under posts or any bearing from above to solid bearing below; match bearing area of post above to bearing below; cut bearing blocks to minimum 1/16" deeper than joists.
- All wood in contact with masonry/concrete surfaces shall be pressure-treated; install sill gasket underneath all sill plates.
- New doors, windows and hardware are to be provided and installed by the contractor; verify window and door manufacturers' rough opening dimensions prior to framing.
- If house-wrap and/or building paper is used, apply and lap in a shingle-fashion so that upper courses lap over lower courses; any window and door flashing is integrated into this system in the same manner. Apply Z-flashing at all heads and apply pan flashing at all sills.
- All electrical outlets at exterior to be ground fault circuit interrupters (GFCI).

SPECIFICATIONS:

WOOD/ ROUGH & FINISH CARPENTRY

- Exterior wall/roof sheathing:** Huber Engineered Woods LLC, "Zip System" combination wall sheathing, water-resistive barrier, and air barrier, thicknesses as specified in drawings: 7/16" for wall sheathing, 5/8" for roof sheathing.

THERMAL & MOISTURE PROTECTION

- Roofing:** 40-year CertainTeed Architectural asphalt shingles. Color TBD. All other selections by owner and/or architect TBD.
- Vapor Barrier:** 10-mil polyethylene vapor barrier for all under-slab areas.

WINDOWS/ DOORS/ HARDWARE

- Garage Door:** Roll-up garage door (TBD)
- Entry Door:** Aluminum-clad wood entry door (TBD)

EXTERIOR FINISHES/ TRIM

- Lap Siding:** HardiPlank Fiber Cement Primed Lap Siding; 6 1/4" (5" exposure) x 0.312" thickness; primed and pre-painted, UNO (unless noted otherwise).
- Exterior Trim:** Boral poly-ash "TruExterior Trim", or HardieTrim Boards, 4/4 and 5/4 NT3 Smooth.
- Trim Accessories:** Azek PVC (drip caps, rake moulding, etc.)
- Under-Eave Finish:** Boral "TruExterior Beadboard"; 5/8" x 6 x 16', or equivalent.

Garage Renovation & Addition

Petersen/Fox Residence

7429 Carroll Avenue, Takoma Park, MD 20912



Professional Certification:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
License #: 8221-R, Exp. Date: 7/22/2028

Vitullo Architecture Studio, PC
7015 Woodland Ave.
Takoma Park, MD 20912
(301)806-6447 cell

Petersen/Fox Residence
7429 Carroll Ave.
Takoma Park, MD 20912

COVER

8-20-2026

ELECTRICAL & LIGHTING LEGEND

⊕ B	Duplex Outlet/existing
⊕	Duplex Outlet/new
⊕ A/C	Duplex Outlet/new/above counter
⊕ GFCI	Duplex Outlet/new/GFCI
⊕	Double Duplex Outlet
⊕ F	Duplex Floor Outlet
⊕ 240	240v Outlet
⊕ EF	Exhaust Fan
⊕ EF/H	Exhaust Fan/Heat
⊕ EF/H/L	Exhaust Fan/Heat/Light
⊕ CF	Ceiling Fan
⊕ CF/L	Ceiling Fan/Light
⊕ P	Pendant Light Fixture
⊕ R	Recessed Light Fixture
⊕ R/B	Recessed Light Fixture/Eyeball
⊕ SM	Surface Mounted Light Fixture
⊕	Wall Mounted Light Fixture/Sconce
⊕ WP	Light Fixture /Waterproof
⬢ D	Data Jack
⬢ TEL	Telephone Jack
S	Switch
S D	Switch/Dimmer
S 3	Three-way Switch
== T	Track light
== P	"Plugmold" Power Strip
== U/C	Undercabinet Lights
⬢ SD	Smoke & Carbon Monoxide Detector (hard-wired in dedicated circuit, interconnected, with battery backup)
⬢	Thermostat

NOTE:

Ethernet jacks and wiring types and locations to be determined by owners and electrician's input on-site.

Sheet No. Sheet Title

Cover	Site Plan/Project Description/ General Construction Notes/ Electrical & Lighting Legend/ Specifications
DM-1	First Floor Demolition Plan (1/4"=1'-0")/ Demolition Notes/Door Schedule
A-1	First Floor Plan (1/4"=1'-0")/ Roof Plan (1/4"=1'-0")/ Exterior Elevations (1/4"=1'-0")
A-2	Building Section (1/2"=1'-0")/ Building Section (3/8"=1'-0")/ Wall Sections (1"=1'-0")
S-1	Structural Notes/ Calculations/ Specs
S-2	Structural Details
S-3	Wind Bracing
S-4	Foundation & Roof Framing Plan

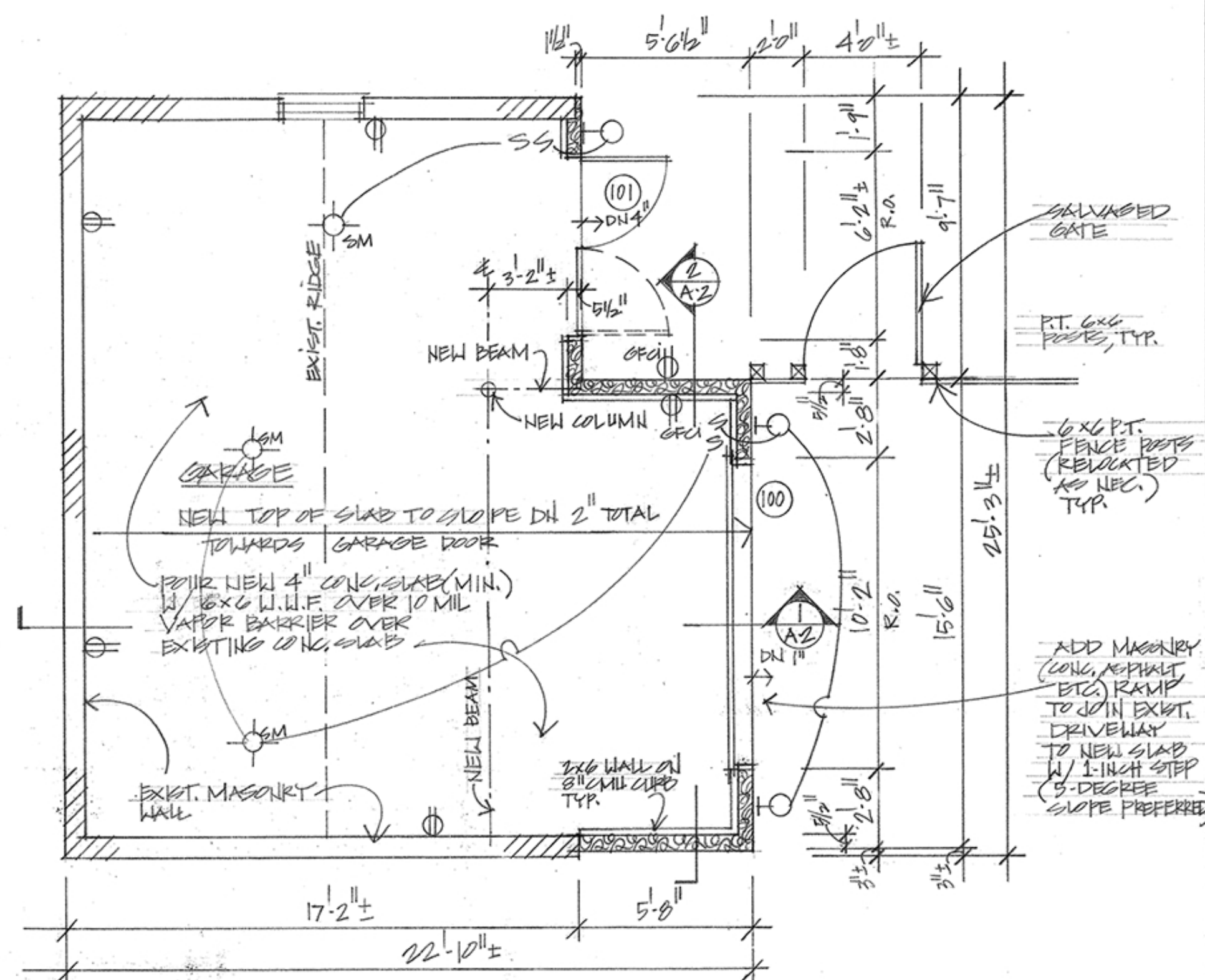
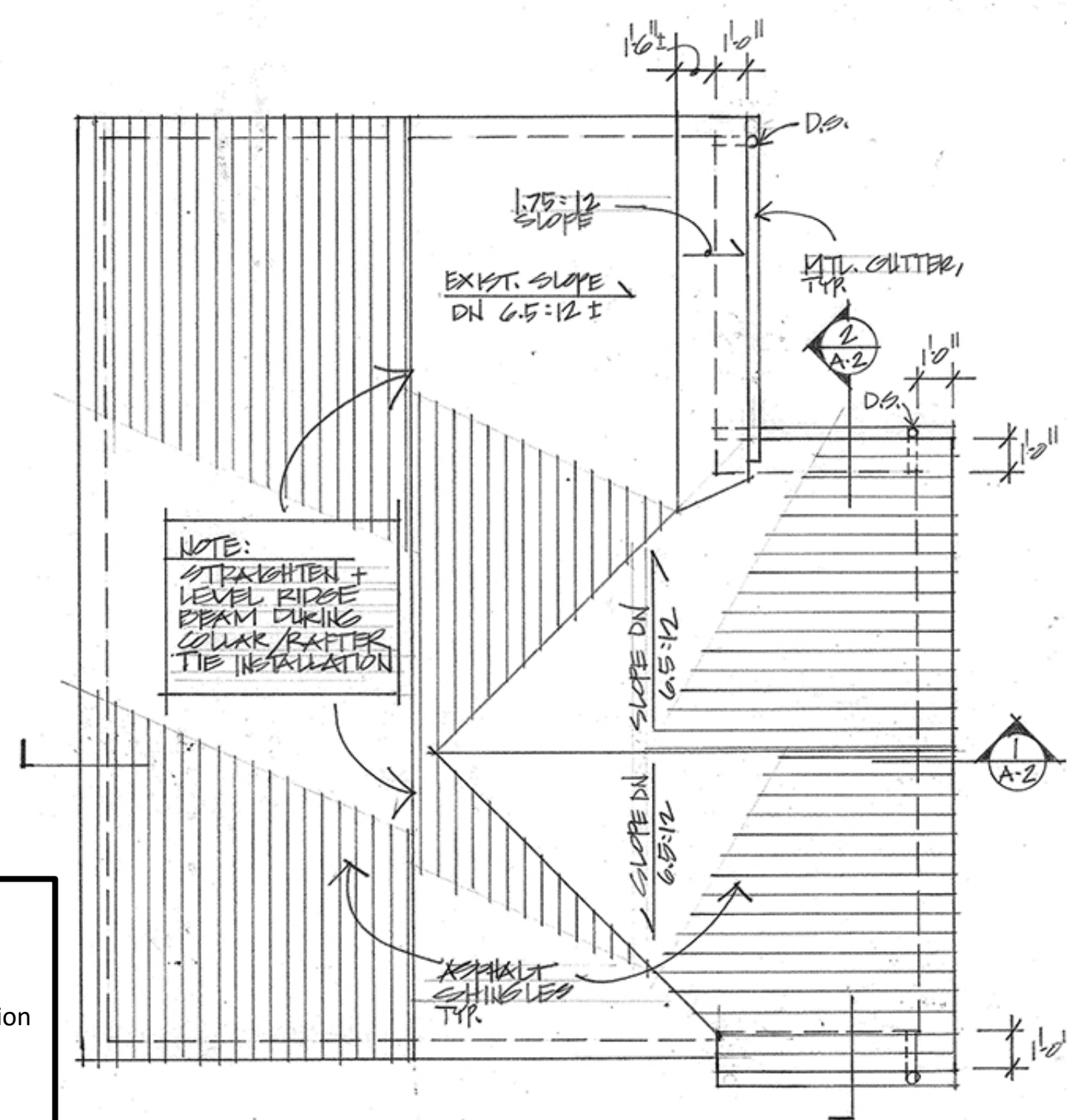
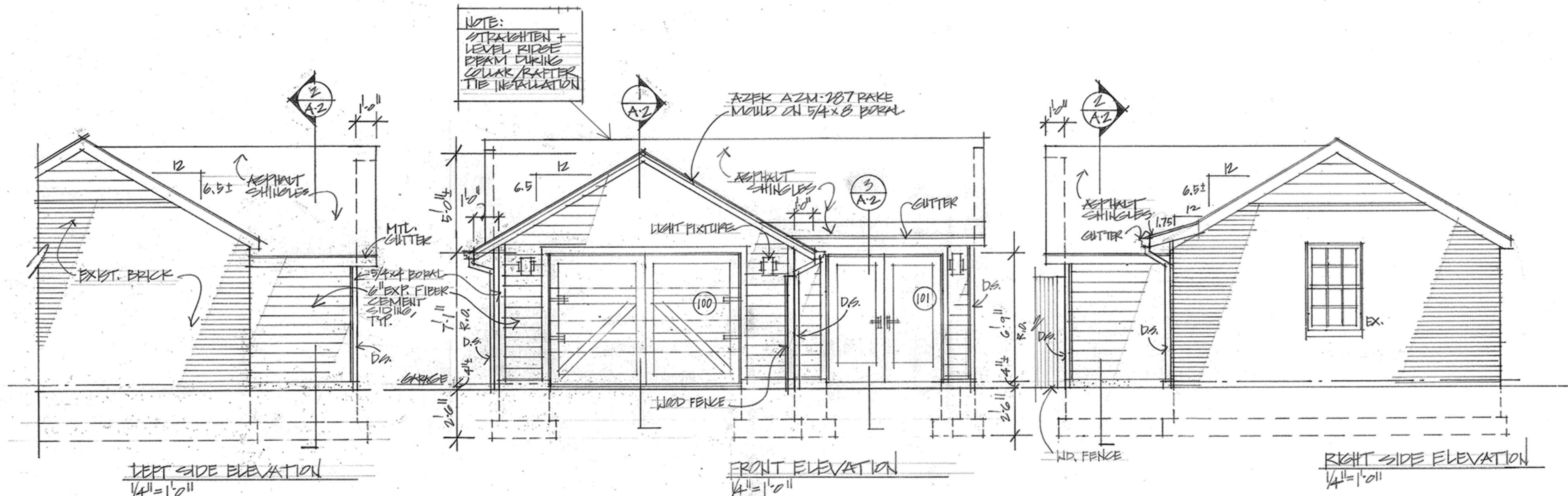
APPROVED

Montgomery County

Historic Preservation Commission

REVIEWED

By Dan Bruechert at 4:49 pm, Sep 04, 2026



APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan Bruechert at 4:49 pm, Sep 04, 2026

ROOF PLAN
1/4" = 1'-0"

NEW 2x6 @ 16" O.C. W/ 7/16" ZIP SYSTEM SHEATHING
EXISTING

NOTE:
ALL EXTERIOR LIGHTS @ ENTRY DOOR + GARAGE DOOR TO BE ACTIVATED BY PHOTOCELL CONTROL + SWITCH CONTROL

GARAGE PLAN
1/4" = 1'-0"

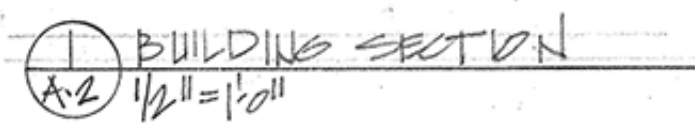
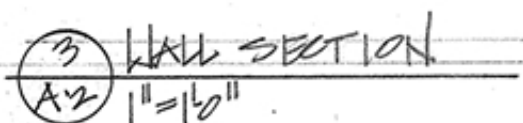


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A-1
8-20-2026



DOOR SCHEDULE					Manufacturer- Doors: TBD										
No.	Mfr. No.	Height, Unit (R.O.)	Width, Unit (R.O.)	Jamb Depth	Door Type / Material	Glazing Type	Grille Structure	Mullion Divisions	Exterior Color	Interior Color	Screens / Screen Door	Hardware Finish	Swing direction (shown from outside room)	Quant.	Remarks
100	TBD	7'-0" (7'-1" R.O.)	10'-0" (10'-2" R.O.)	2 x 6	UPSWING GARAGE DOOR/ Alum.-clad Wood	n/a	n/a	n/a	TBD	TBD	n/a	Galvanized	n/a	1	Exterior Door
101	TBD	6'-8" (6'-9" R.O.)	Pair of 3'-0" (6'-2" R.O.)	2 x 6	FRENCH OUTSWING DOOR/ Alum.-clad Wood	n/a	n/a	n/a	TBD	TBD	n/a	Stainless steel/ Lockable	n/a	1	Garage Door
TOTALS														2 units	

GENERAL DEMOLITION NOTES:

1. Remove existing wall and/or floor construction as noted on plans as necessary to implement new layout; if walls are bearing walls, use temporary supports to re-direct loads until new bearing elements are constructed. (If walls or other elements that were previously assumed to be non-bearing are actually bearing, notify architect and/or engineer immediately.)
2. For any excavation work, call Miss Utility at least two full business days before work begins in order to mark their underground power, gas, plumbing, etc. lines.
3. Remove all trim, gypsum board/plaster, concrete/masonry, doors, thresholds, flooring, etc. but only as necessary to implement new layout and design.
4. For removal of any lead paint, asbestos tile, etc., a certified asbestos or lead abatement professional must be used. Contractor to ensure that containment barriers are in place to keep debris and dust at a minimum; workers to utilize proper protection equipment from hazards.
5. Remove all electrical outlets, fixtures, smoke alarms, telephone wiring, exposed wiring, etc. that are to be replaced by new work.
6. Dispose of all discarded material in a safe and clean manner.
7. Protect all surfaces during demolition (and construction) from unnecessary damage.



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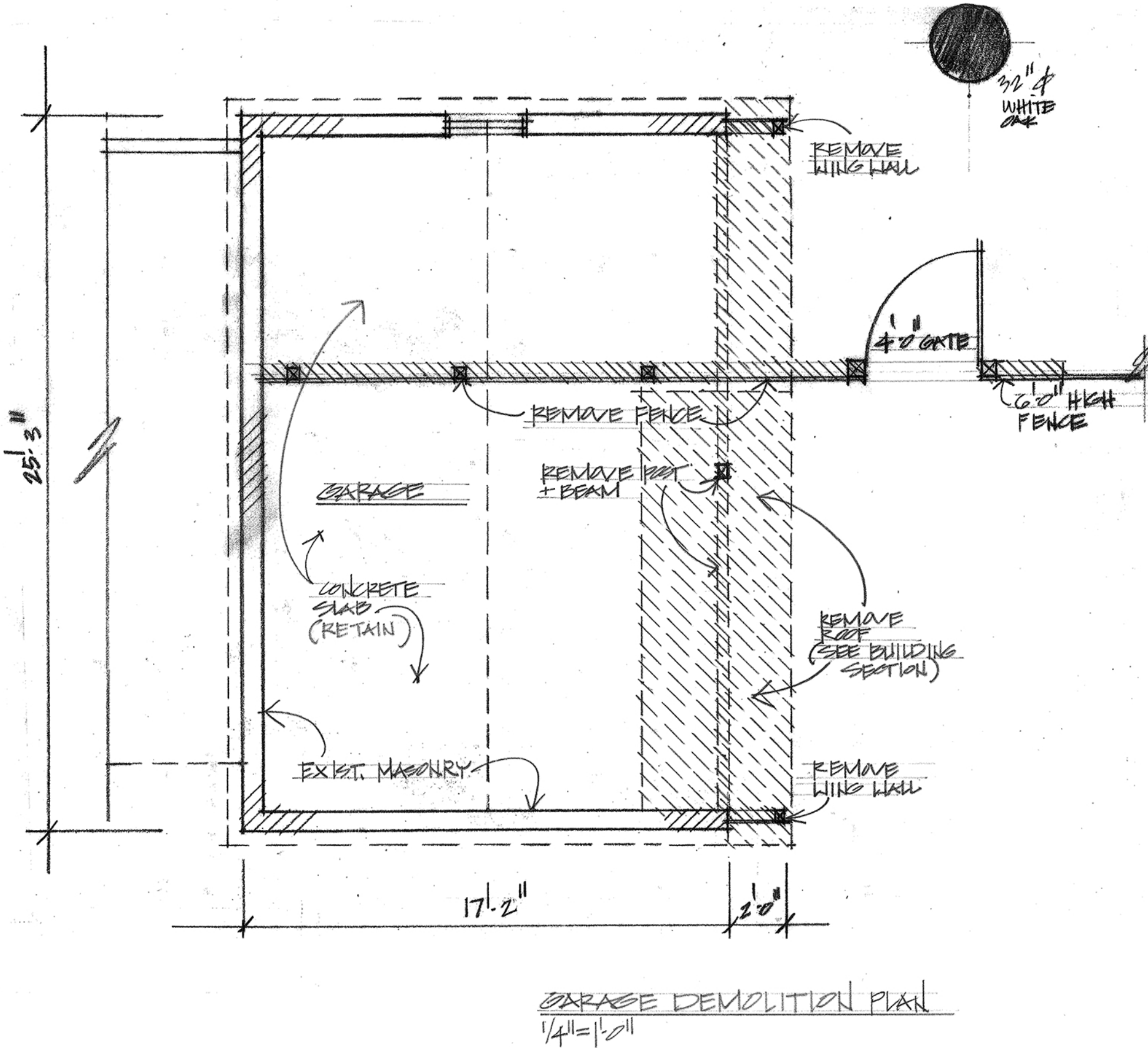
Petersen/Fox Residence
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DM-1

8-20-2026

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Montgomery County
Historic Preservation Commission

REVIEWED
By Dan Bruechert at 4:49 pm, Sep 04, 2026



Re: Signed Tree Protection Plan Application

 Summarize this email

From: Rudy Delsack <rudyd@takomaparkmd.gov>

Sent: Monday, August 10, 2026 11:50 AM

To: Nick Fox <nickfox45@gmail.com>

Cc: Richard Vitullo <rjv@vitullostudio.com>

Subject: Re: Signed Tree Protection Plan Application

Good morning,

This permit has previously been preliminarily approved. Has there been any changes to the proposed work?

Next steps in the process are to schedule a pre-construction meeting with the Urban Forest Manager, General Contractor, and architect/Richard (optional). Then I will need to verify that all tree protection measures have been installed. Due to the existing fence, I believe the only measures I will need to verify is that the root pruning has occurred and been performed properly. Verification can be satisfied via photos or field-confirmation.

Regards,

Rudy Delsack

Urban Forest Manager

City of Takoma Park

Urban Forestry Department

31 Oswego Ave

Silver Spring, MD

e. rudyd@takomaparkmd.gov

w. UrbanForestry.TakomaPark.MD

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REVIEWED

By Dan Bruechert at 4:55 pm, Sep 04, 2026

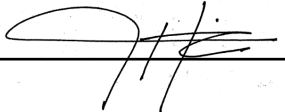




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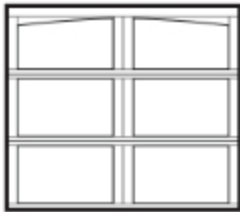
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By Dan Bruechert at 4:49 pm, Sep 04, 2026

Options

The wide garage door will look different than the single wide shown below. Request a quote for your home today!



301
7-Foot Square Top



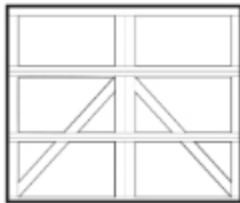
301
7-Foot Arched Top



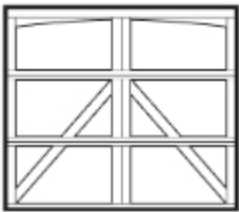
302
7-Foot Square Top



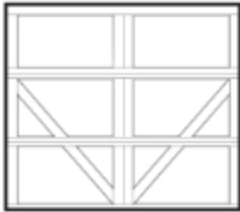
302
7-Foot Arched Top



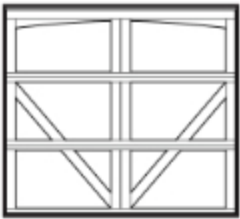
303
7-Foot Square Top



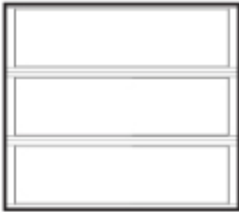
303
7-Foot Arched Top



304
7-Foot Square Top



304
7-Foot Arched Top



305
7-Foot Square Top



305
7-Foot Arched Top

Features

- Stained and painted finishes available
- 7-foot doors with 3 section designs
- 8-foot doors with 4 section designs
- Polyurethane insulation
- R-value of 10



Hyattsville 10PM

20782

What can we help you find today?



Shop All

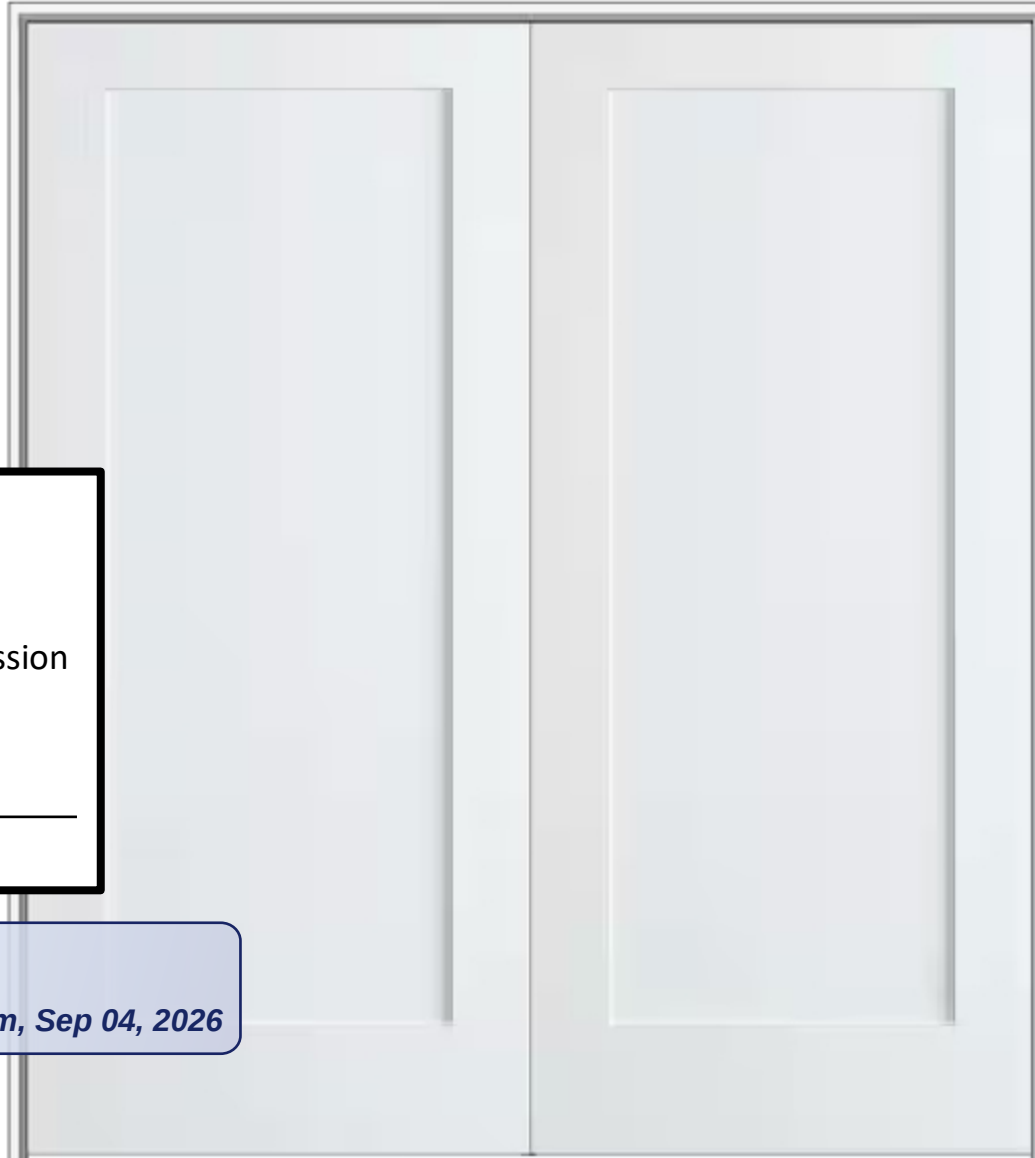
Services

DIY

Log In

... / Interior Doors / Prehung Doors / Interior Double Doors / MMI DOOR Interior Double Doors

Internet # 314836559 Model # Z03745893



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REVIEWED

By Dan Bruechert at 4:48 pm, Sep 04, 2026

Hover Image to Zoom

Shop MMI DOOR

Shaker Flat Panel 48 in. x 80 in. Both Active Solid Core Primed Composite Double Prehung French Door w/ 4-9/16 in. Jamb



★★★★★ (25) Questions & Answers (33)

Limit 30 per order

\$875⁹⁶



\$146/mo** suggested payments with 6 mos** financing. [Apply Now](#)

- Pre-hung stile and rail door panel gives a stylish look
- Perfect for closets, with ball catches installed on top of doors
- Pre-primed surface with sealed edges prevents moisture absorption
- [View More Details](#)

Door Size (WxH) in.: **48 x 80**

36 x 80

48 x 80

56 x 80

60 x 80

64 x 80

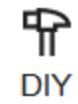
72 x 80

Door Hanging: **Universal/Reversible**

Left-Handed

Right-Handed

Universal/Reversible



... / [Lighting](#) / [Outdoor Lighting](#) / [Outdoor Wall Lights](#) / [LNC Outdoor Wall Lights](#)

Internet # 307622976 Model # A03321S



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Historic Preservation Commission

Outdoor Wall Lantern Sconce with Shade Modern 1-Light Porch Wall Mounted Light

Questions & Answers (15)

\$58.19
Save \$15.22 (26%)

REVIEWED

By Dan Bruechert at 4:48 pm, Sep 04, 2026

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[Consumer Card](#)

- 11 in. H outdoor wall lighting will complement any exterior space
- Weather-resistant for porch, entryway, walkway, patio or garage
- Sturdy aluminum wall lantern sconce ensures durability
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Aug 27 - Sep 1

372 ready to ship

FREE

Delivery

Aug 27 - Aug 31

372 available

FREE