

23/65-94F Lot 2 North Street
Brookeville Historic District

(F)

Proposal for new construction on lot 2
of North Street in the Brookville Historic
District.

This proposal was the subject of a
Preliminary Consultation before the HPC
on Nov. 16 1994.

Slide # 1

At that meeting, STAFF emphasized the
importance of the retention of the historic
meadow corridors, one of which is protected
by a conservation easement.

STAFF emphasized the importance of keeping
the new houses on North Street relatively
small and close to North Street to
retain the character of a rural village road.

And also to protect the meadow
corridor nearest North Street.

Any ^{new} construction should not detract from
the historic character of North Street.

on the mardon corridor. Slide 2: Mardon Corridor
From front of Lot 2 Slide 3: North Ave. Slide 4: Lot 2 house site

Accordingly,

At the Nov. 16 Prelim Cons, the HPC asked the applicant to revise the drawings to reflect the following.

- ① Make the South Elevation of the house more simple by reducing or eliminating some of the deck construction and eliminating some of the side gable construction.
- ② Reduce the size of the overall structure both in footprint and massing.

- Current issues;

① South Elevation somewhat less complex ^{the side gables being eliminated} but the decks are largely unchanged, and - A skylight has been added to this elevation.

② The house is larger not smaller than the previous proposal going from 1,265 sq to 1,356 sq.

③ A framed chimney has been added to the North Elevation.

The Brookville LAP has reflected
concerns similar to the Staff's.

Staff recommends Further Study or
Denial in this case as too many
issues remain unresolved to recommend
approval.

1189

1181

2376

2742

Renee Moxeyhun:

Deck: improved - not P-T look
rear section could be smaller.

DH. Deck rails: redwood Painted.
stone veneer

Additional

Cond

1) orig I house - stone on SE wall
- All I house.

2) kitchen add - all wood siding
End match wood side addition

3) chimneys - not pre-fab CAP

4) Driveway Gravel

Copies to:

- ① Renee Moneyhun
(301) 869-1800
15215 Shady Grove Rd
Suite 304
Rockville 20850
- ② Pat
- ③ me

Thanks,
Jwen



September 29, 1995

Doug Horsman
Horsman Homes, Inc.
15708 Sycamore Grove Court
Rockville, MD 20853

Dear Doug:

Thank you for meeting on September 14, 1995 with Patricia Parker, Renee Moneyhun, and myself at Lot #2 on North Street in Brookeville. This is the site of a new single family house and garage that you are constructing with an approved Historic Area Work Permit (#9411300070).

The house appears to be well underway and, generally, in compliance with the approved Historic Area Work Permit. The primary issues of concern that were discussed at the September 14th meeting were: 1.) final grading and whether the resulting south (right side) elevation of the house would be consistent with the HPC-approved drawings; and 2.) installation of landscaping to mitigate the visual impact of the new house on Ms. Moneyhun's house (an outstanding historic resource in the Brookeville Historic District).

As the grading for the new house was discussed on September 14th, it became clear that more of the basement wall on the south elevation would be visible than was delineated in the HPC-approved drawings. Although this alteration appears to be necessary, it is very important to grade this area very carefully so that there is a smooth transition from the front of the lot to the back and from the side of the house towards Ms. Moneyhun's property, and so that as little of the basement wall is left exposed as possible.

Please provide this office with a grading plan for the area so that we can fully understand how you plan to create these transitions. At the September 14th meeting, Ms. Moneyhun expressed a willingness to have some the grading move onto her property, if this will create a smoother and less steep transition area. Your grading plan should show how the grading will affect Ms. Moneyhun's property.

In terms of landscaping, it was agreed that you would install appropriate landscaping to mitigate the visual impact of the new house you are building. This may include the following: 1.) 4 or 5 new trees - a mix of evergreen and deciduous, with a substantial caliper

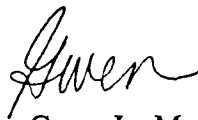
(perhaps 6") - planted along the southern line of your property; and 2.) climbing ivy or other shrubs planted along the southern wall of the new house to soften the appearance of the rear foundation wall.

We agreed that a final landscaping plan for this area will be determined when the grading discussed above is completed. A M-NCPPC arborist will provide advice on the appropriate number, type and size of new trees to plant. Ms. Moneyhun will be kept informed of and will be involved in final decisions for new plantings.

Based on the above, please submit a grading plan to this office as soon as possible. In addition, we must be notified when you are ready to install landscaping and must approve a final landscaping plan for the area between the new house and Ms. Moneyhun's property.

Please call me if you have any questions on this matter.

Sincerely,



Gwen L. Marcus
Historic Preservation Coordinator

cc: Patricia Parker
Renee Moneyhun

L 558

F 860

#

S42°51'24"E

110.00'

20' R/W FOR SAN. SEWER

390

283.86'

395

N11°56'36"W

LOT 1
A

LOT 1
400'

CONSERVATION EASEMENT
L10102 F848

LOT 2

31,244.55

OR

0.719 AC.

405

406

408

410

FRAME
LARGE
17.1

CONC.
POBCH

25.0

9.9

1 1/2 STY.
STONE
FRAME
32.1

S

40' R.L.

2 1/2'

283.86'

15' P.U.E. INGRESS. EGRESS ESMT.

N42°51'55"W

110.00'

NORTH STREET

50' R/W

LOCAT

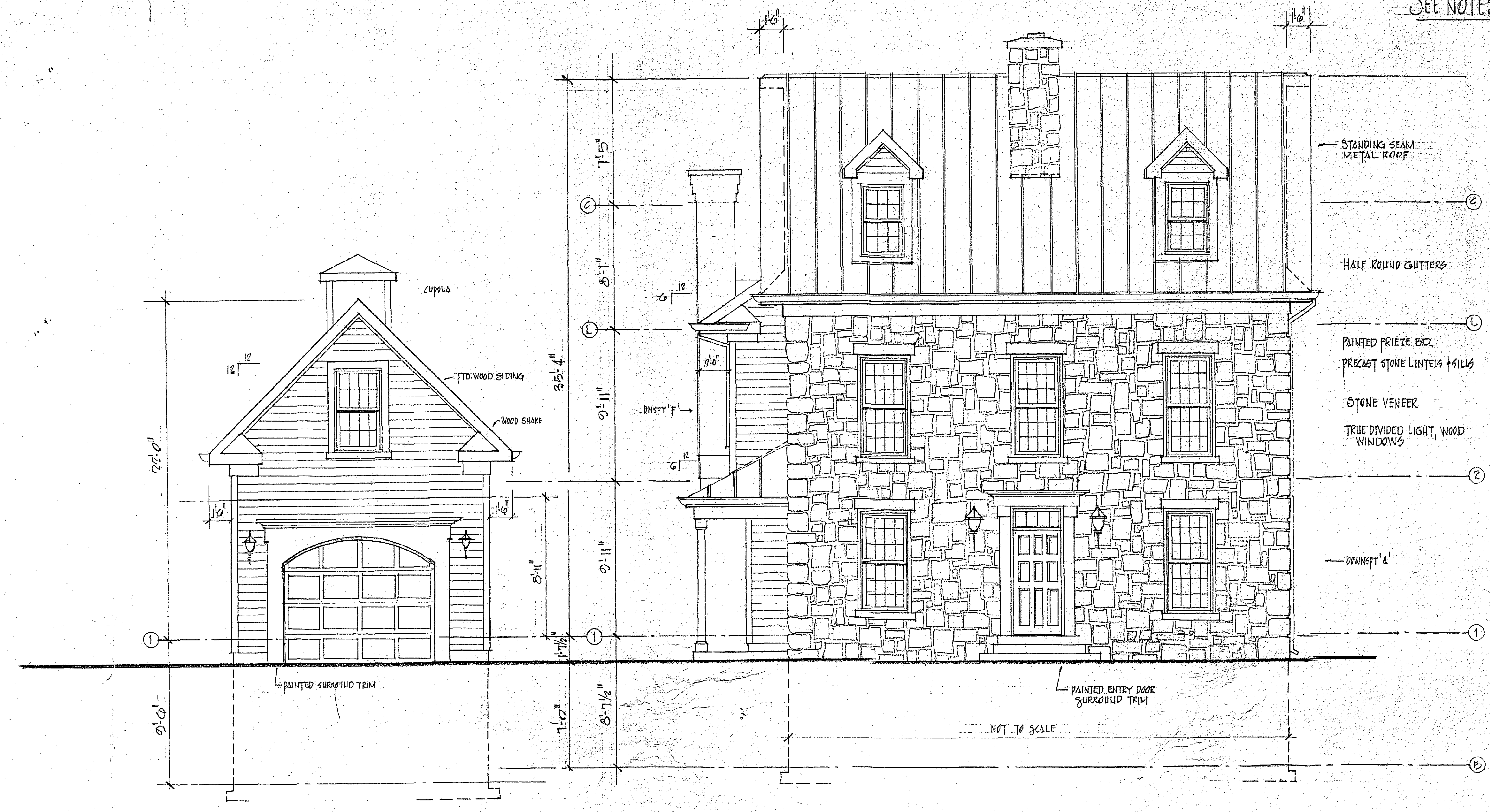
LOT 2

BROOKEL

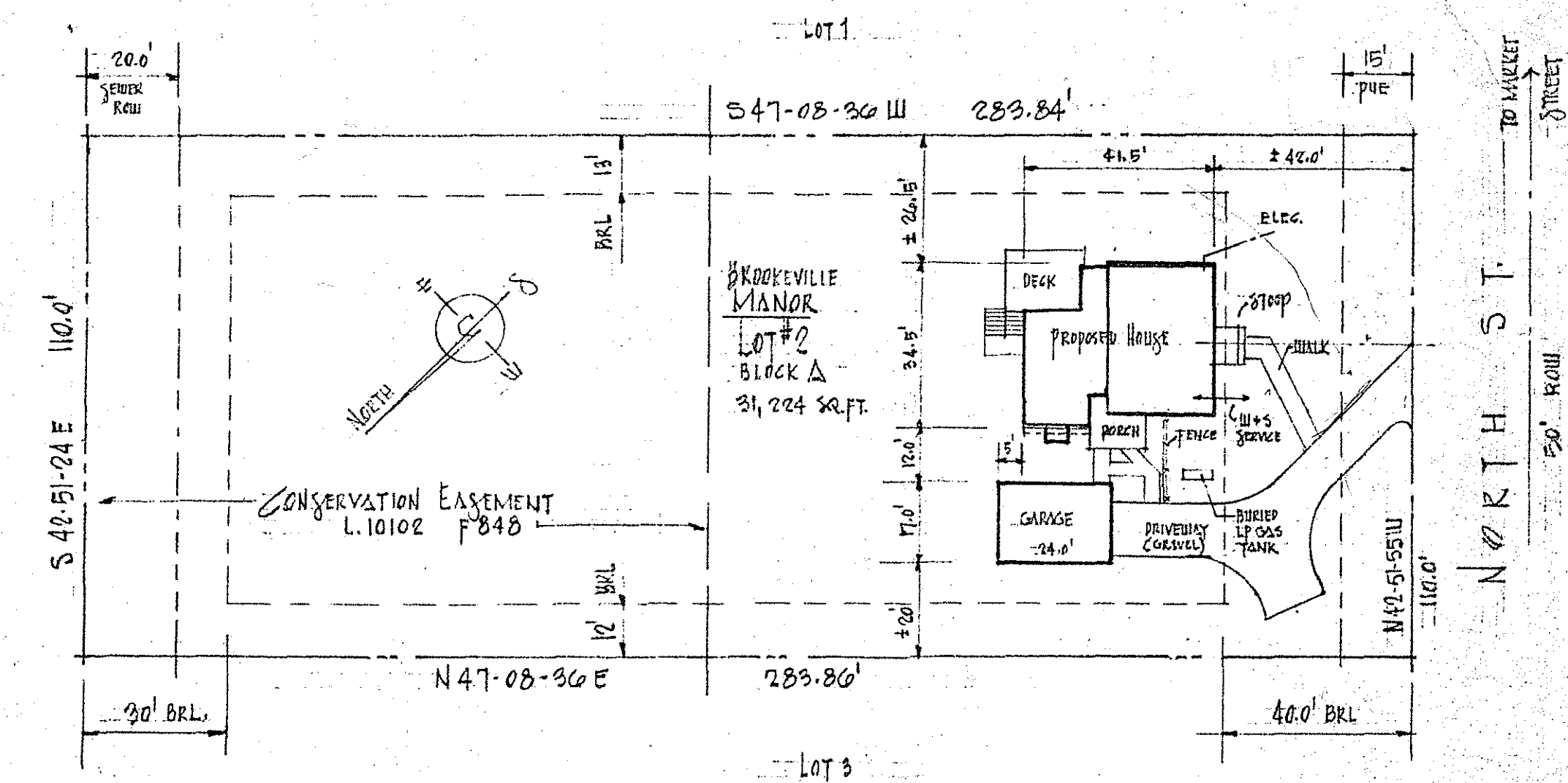
NORTH



SEE NOTES ON SHEET 7



FRONT ELEVATION
1/4" = 1'-0"
(WEST)



SITE PLAN 1" = 30'
PLAT BK. 163 PLAT No. 18393
MONTGOMERY COUNTY, MD.

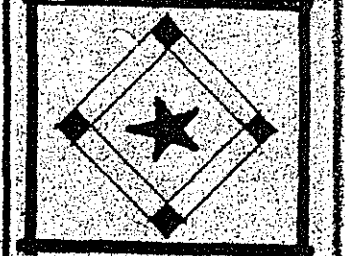
GENERAL NOTES

- 1) Building codes shall govern over these drawings in all cases.
- 2) Refer to Project Manual/Specifications for additional information.
- 3) Do not scale drawings; written dimensions shall govern. Check all dimensions prior to starting work.
- 4) Verify all plumbing, electrical and mechanical requirements.
- 5) Every attempt has been made to create a set of accurate construction drawings that meet or exceed the applicable building codes, however, any errors or omissions shall be the responsibility of the builder/owner. The architect shall not be held liable for any faulty construction based on these drawings.
- 6) NOTICE: use of these drawings is hereby limited to the sole purpose of construction of a single family home at: Lot 2, North St. Brookeville. No other use shall be permitted without the express written consent of the Architect. FURTHERMORE: these drawings are not to be copied, in whole or in part, in any manner whatsoever, without the direct authorization of the architect.

APPROVED
Montgomery County
Historic Preservation Commission
D. Zerk 2/27/25

KEVIN MCKENNA, ARCHITECT
410.981.9817
P.O. BOX 22 COLUMBIA, MD 21045-0722

proposed new construction at:
NORTH STREET LOT 2
BROOKVILLE MD



DATE:
24 FEB 25

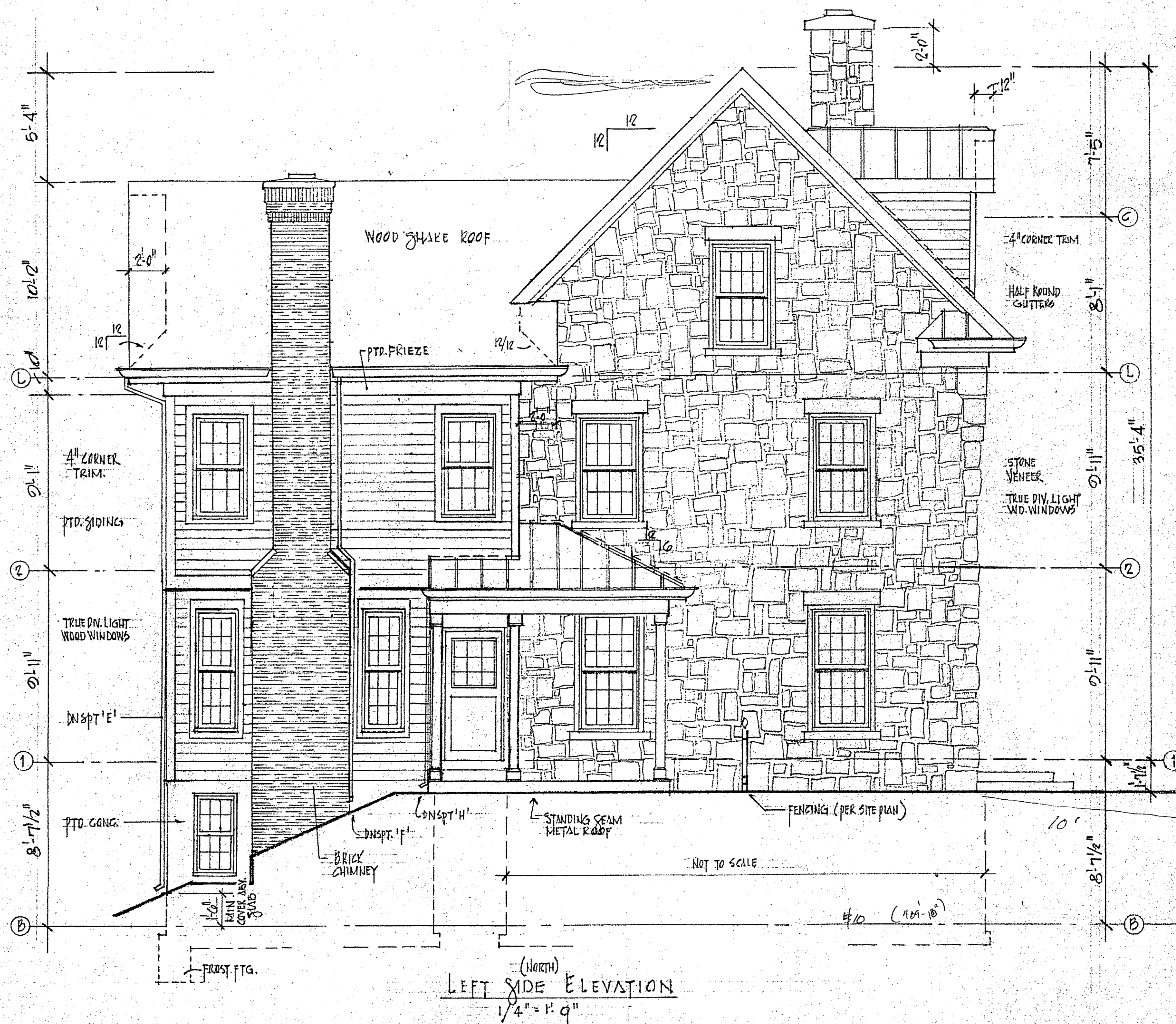
HORSMAN HOMES INC.
ROCKVILLE, MD TEL: 301-924-4774

SHEET
1

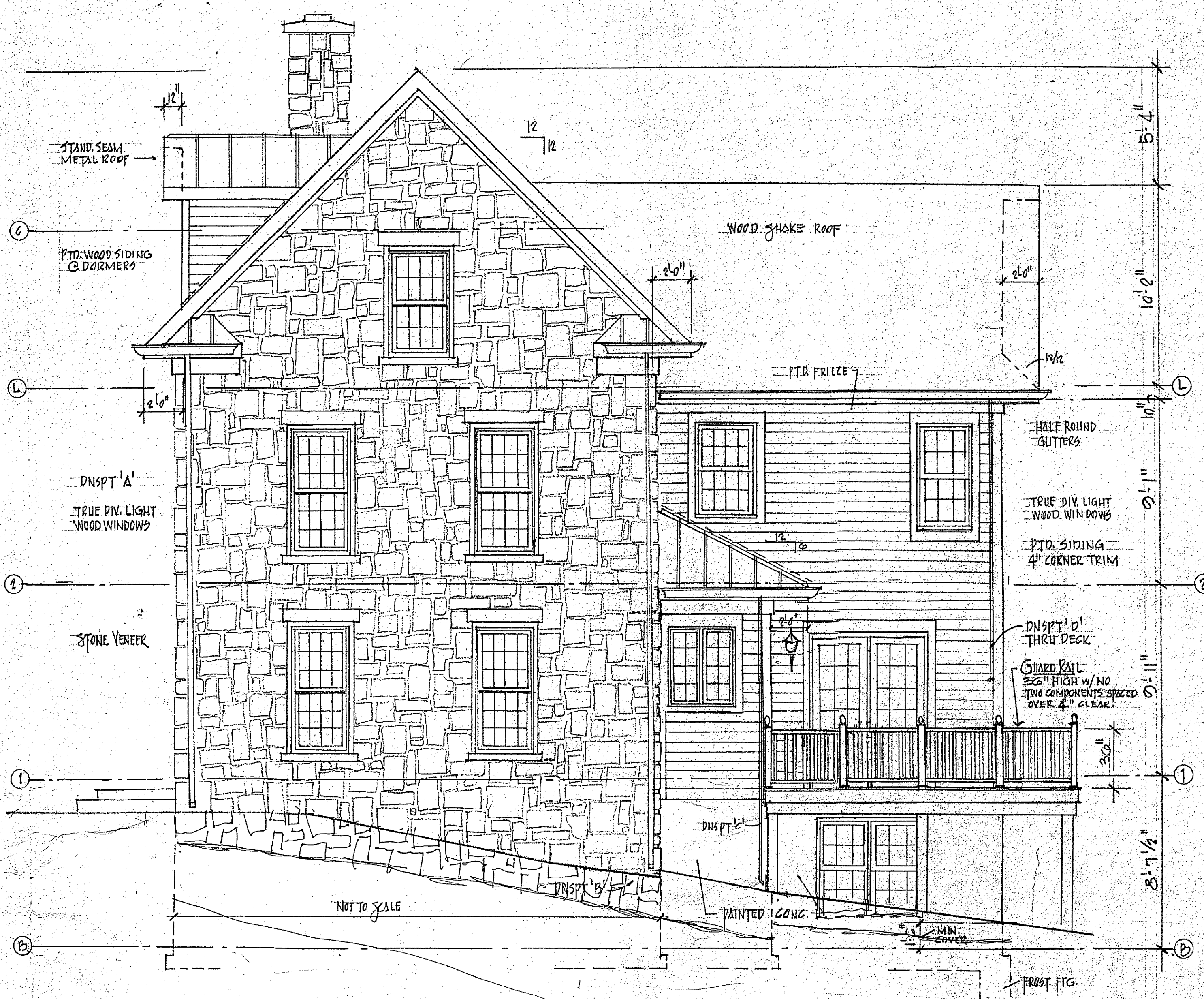
= Doing Series line sets elevation for house @ (406)

Warrant 3/16 is going to be @ 409.5 ±

Inland from 410 on WSC plan for water - Series system.



LEFT SIDE ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"
(SOUTH)

① - Possible elimination of rear chimney?
 - possible to grade for basement entrance
 (Basement 1'-8" below FF of Home 1st floor)

(cut nail benchmark on post = 117.8)
 LSSC set benchmark floor of @ c. 410
 LSSC top of 405.92
 sewer main connection.

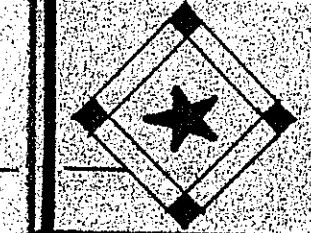
LSSC drawing (Plan 41A01A5202A)
 Contract # 711A015-9230A
 6/18/93

APPROVED
 Montgomery County
 Historic Preservation Commission
 2/21/05

SEE NOTES ON SHEET 1

KEVIN MCCENNA ARCHITECT
 410-381-5817
 P.O. BOX 728 COLUMBIA, MD 21046-0728

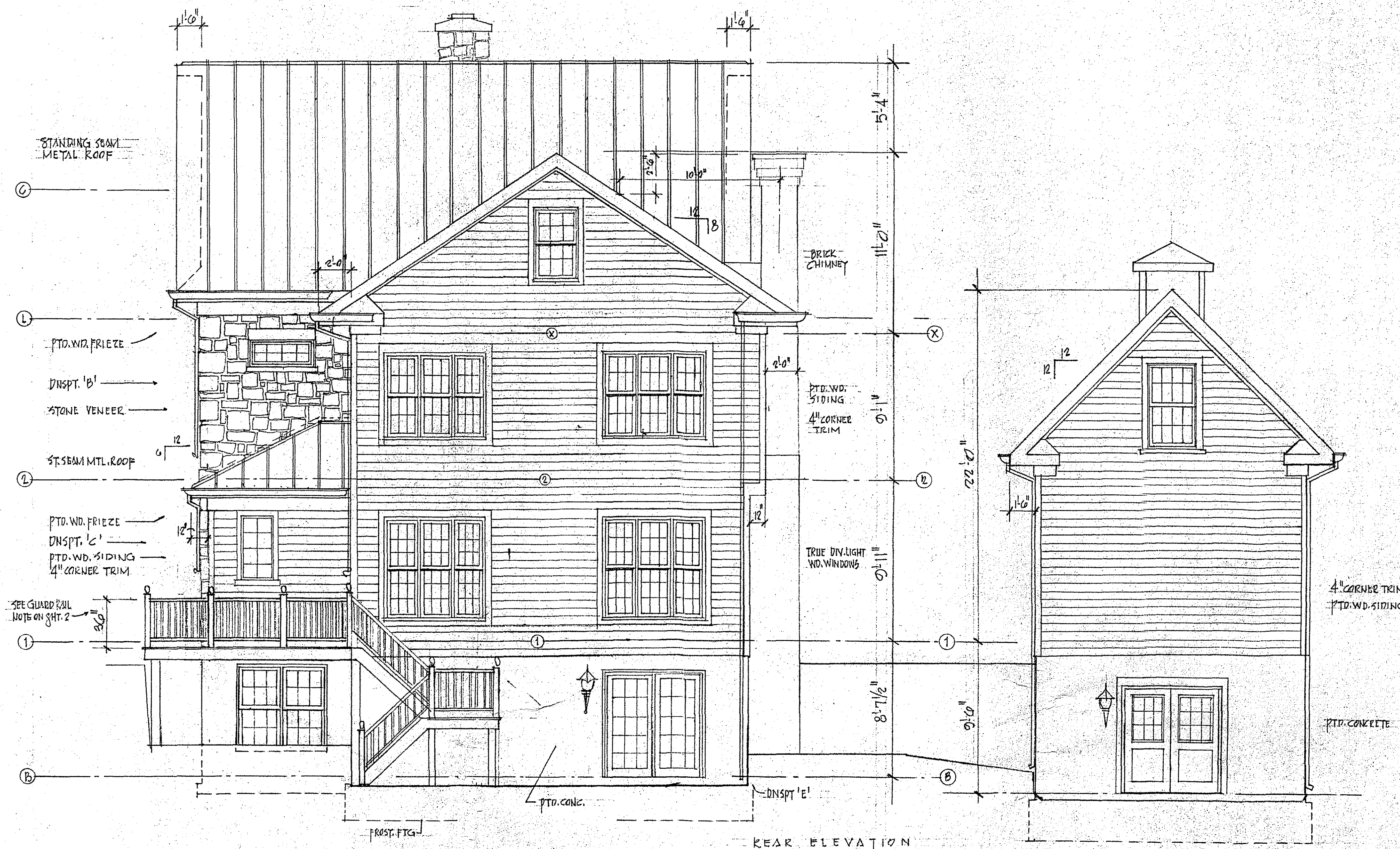
proposed new construction at:
 NORTH STREET LOT 2
 BROOKVILLE MD



DATE
 24 FEB 05

HORSMAN HOMES INC.
 ROCKVILLE, MD TEL: 301-924-4774

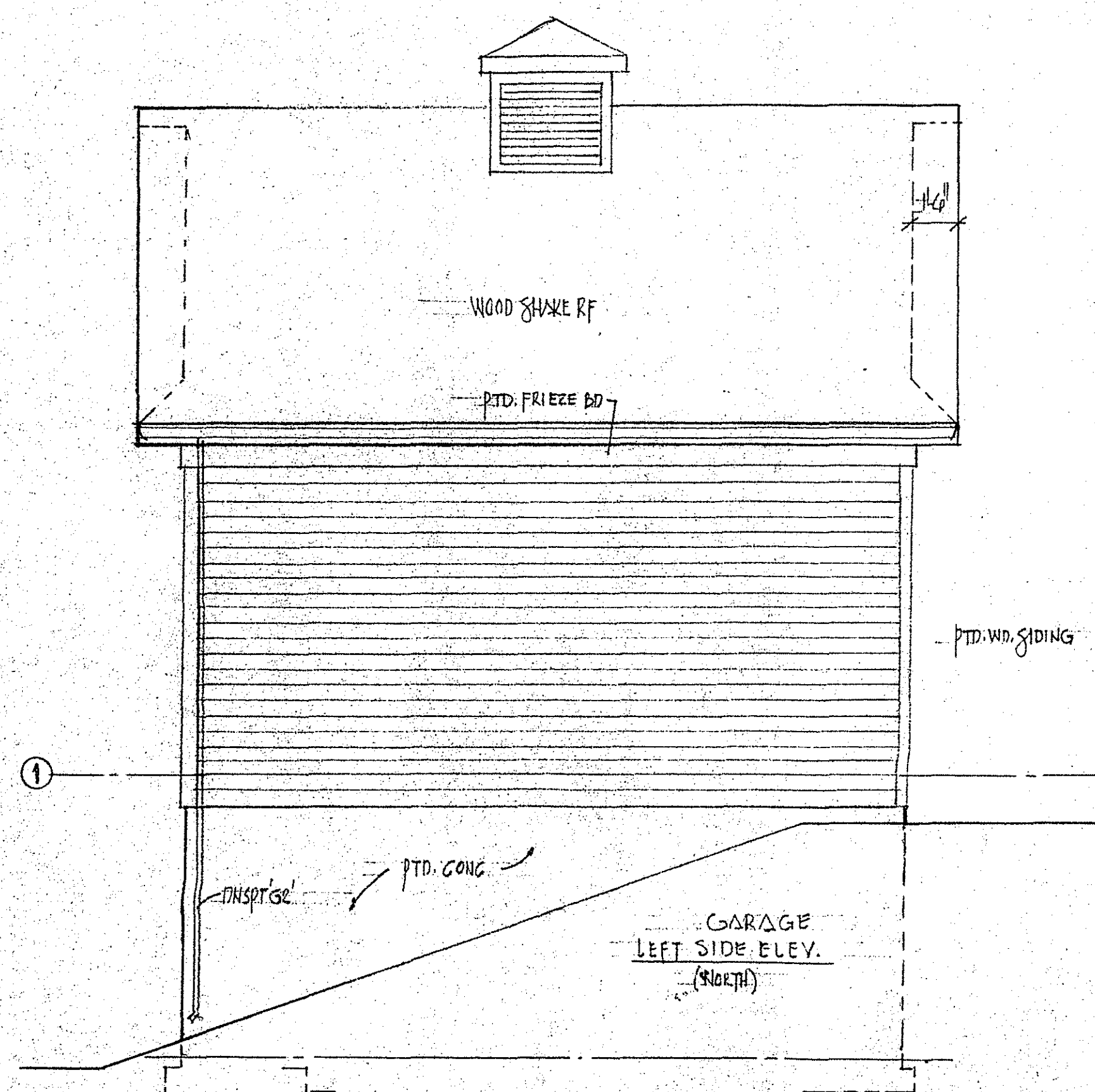
SHEET
 2



STANDING SEAM METAL ROOF
 PTD. WD. FRIEZE
 DNSPT. 'B'
 STONE VENEER
 ST. SEAM MTL. ROOF
 PTD. WD. FRIEZE
 DNSPT. 'C'
 PTD. WD. SIDING
 4" CORNER TRIM
 SEE GUARD RAIL NOTES ON SHEET 2

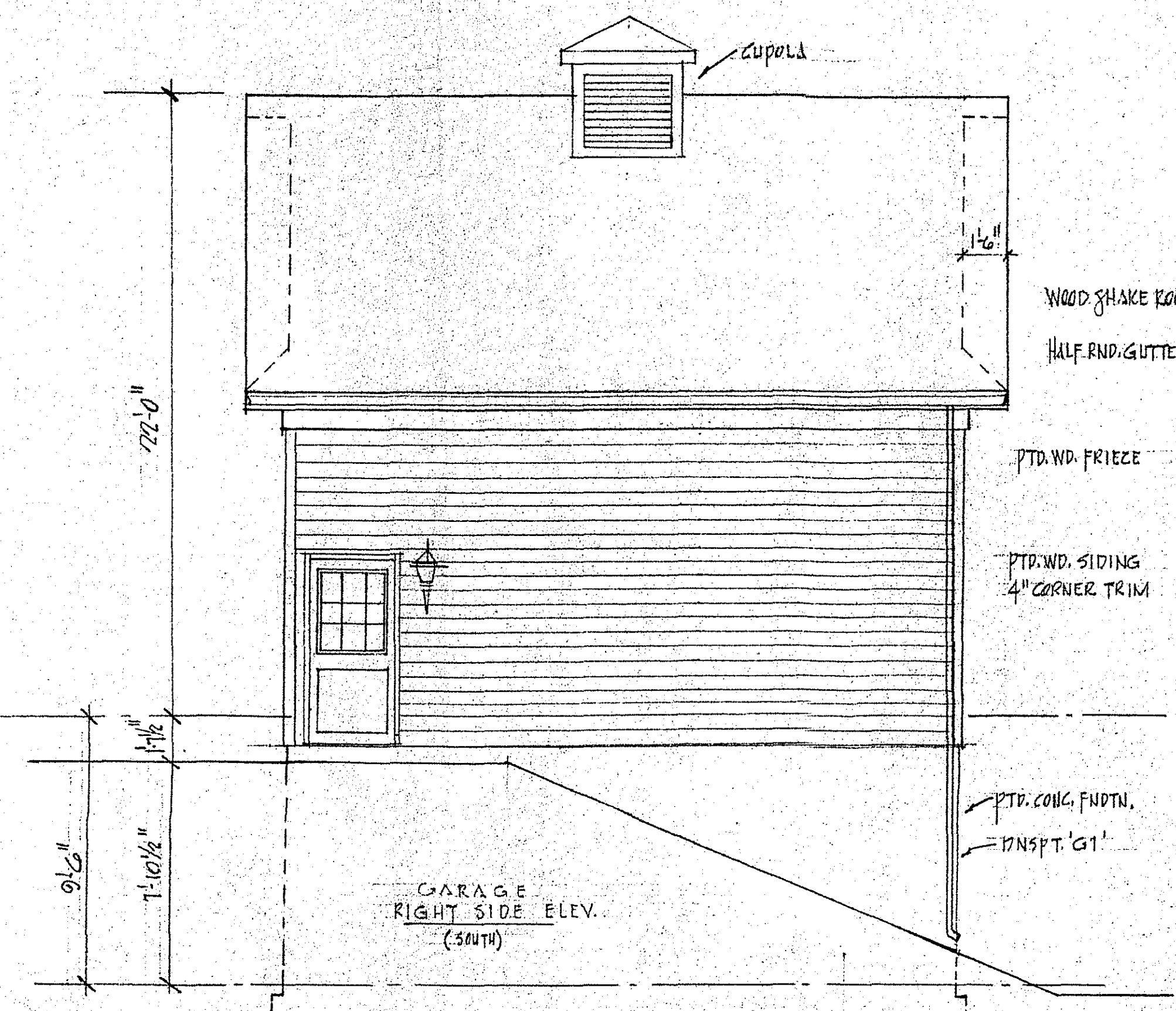
BRICK CHIMNEY
 PTD. WD. SIDING
 4" CORNER TRIM
 TRUE DIV. LIGHT WD. WINDOWS
 4" CORNER TRIM
 PTD. WD. SIDING
 PTD. CONCRETE

REAR ELEVATION
 1/4" = 1'-0"
 (EAST)



WOOD SHAKE RF
 PTD. FRIEZE BD

GARAGE
 LEFT SIDE ELEV.
 (NORTH)



WOOD SHAKE ROOF
 HALF RND. GUTTERS

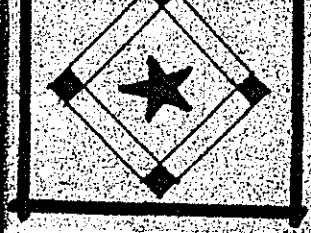
PTD. WD. FRIEZE
 PTD. WD. SIDING
 4" CORNER TRIM

PTD. CONC. FNDTN.
 DNSPT. 'G1'

GARAGE
 RIGHT SIDE ELEV.
 (SOUTH)

KEVIN MCKENNA ARCHITECT
 410-981-9817
 P.O. BOX 772 COLUMBIA, MD 21046-0772

proposed new construction at:
 NORTH STREET LOT 2
 BROOKVILLE MD



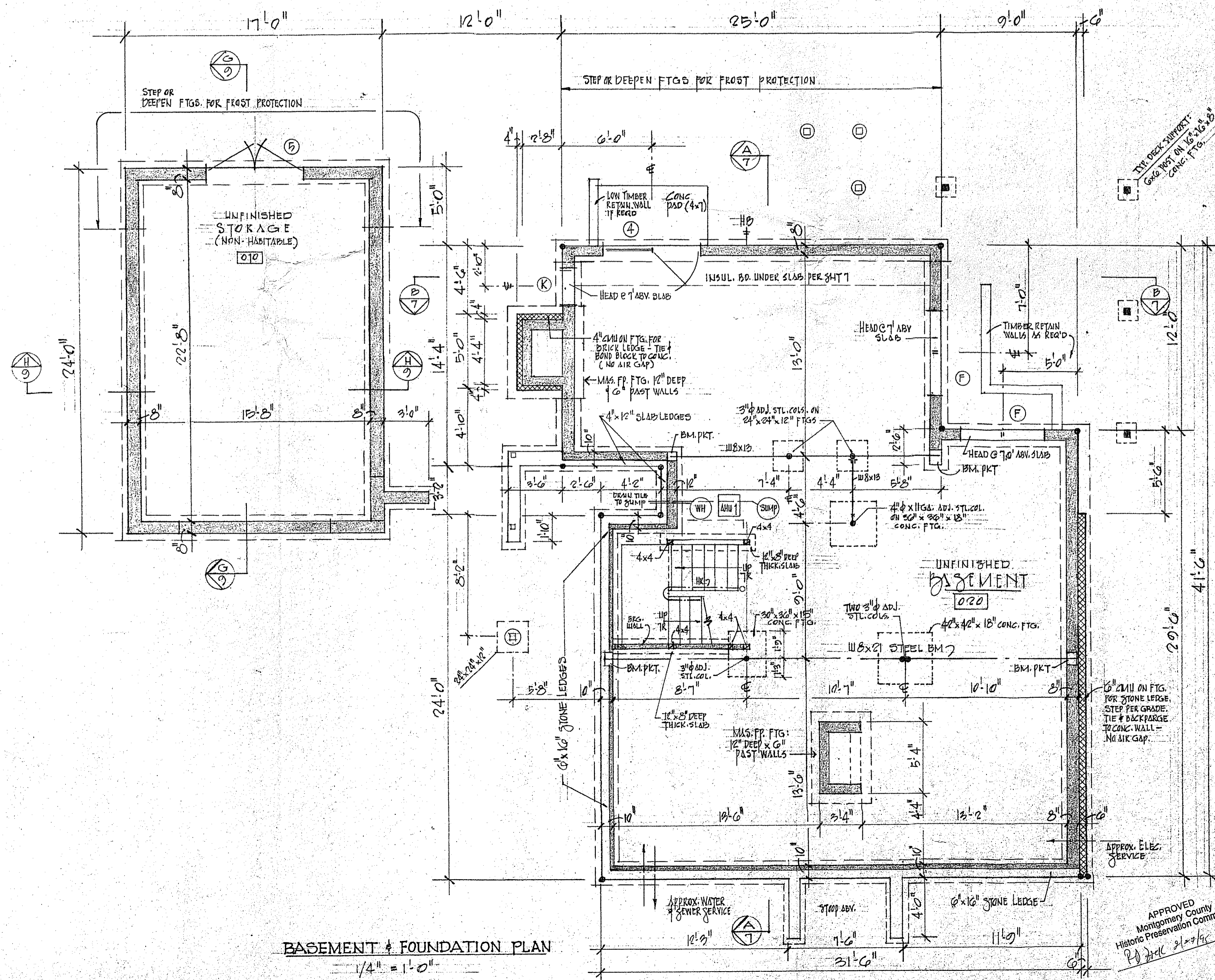
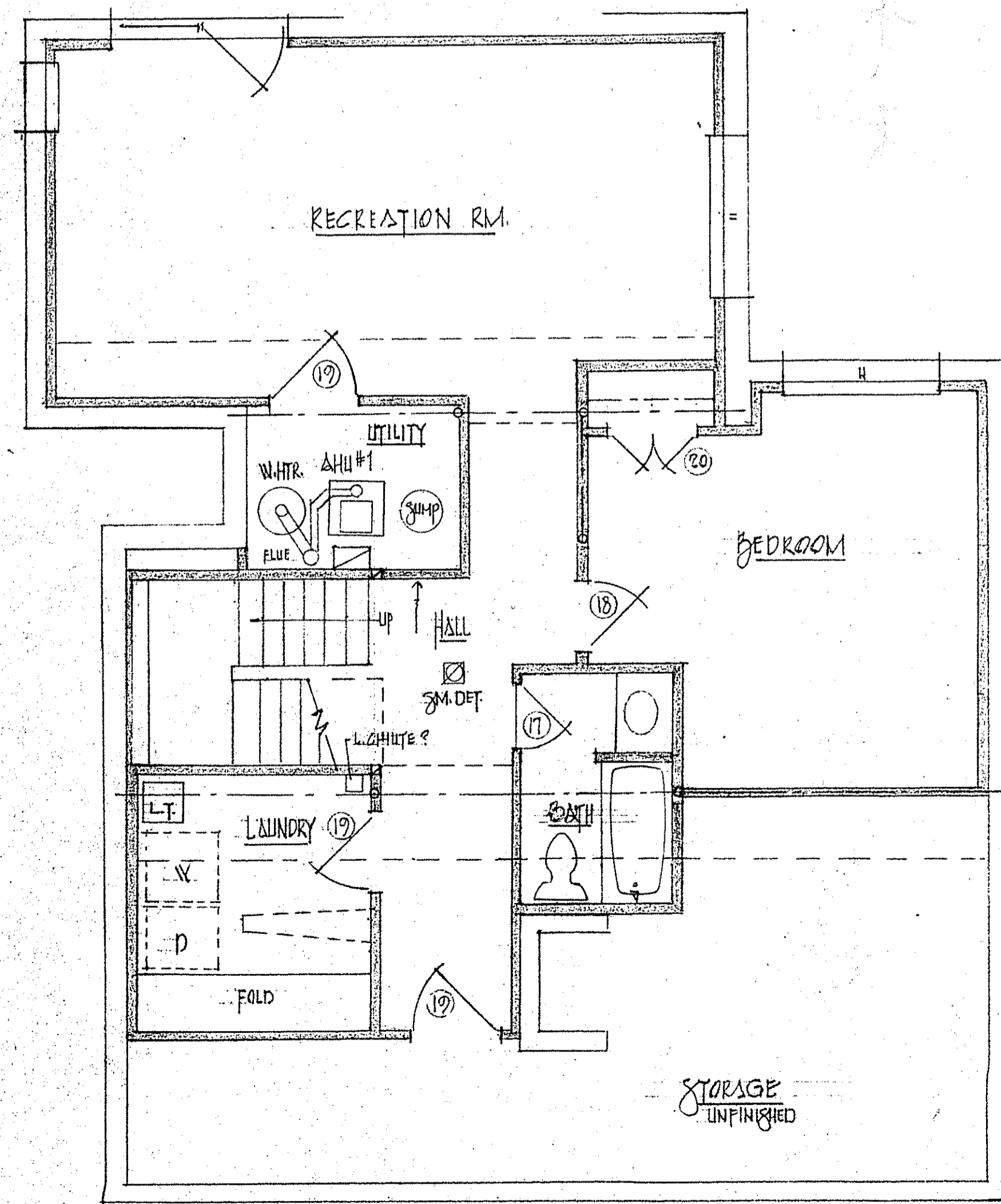
DATE:
 24 FEB 05

HORSMAN HOMES INC.
 ROCKVILLE, MD
 TEL: 301-924-4774

APPROVED
 Montgomery County
 Historic Preservation Commission
 2/24/05 2/24/05

SEE NOTES ON SHEET 7

SHEET
 3



KEVIN MCCRENNAN ARCHITECT
410-381-5817
P.O. BOX 722 COLUMBIA, MD 21046-0722

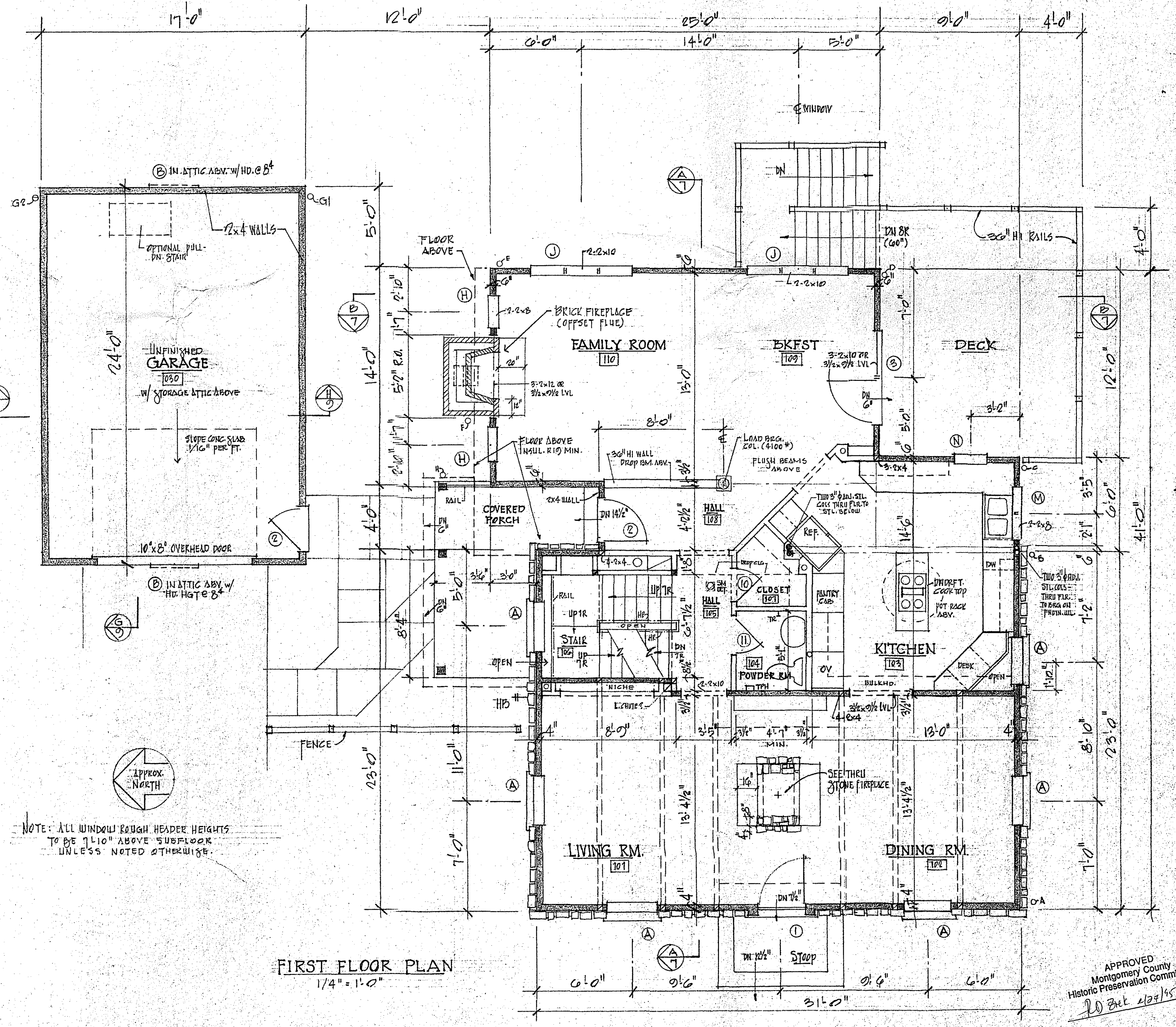
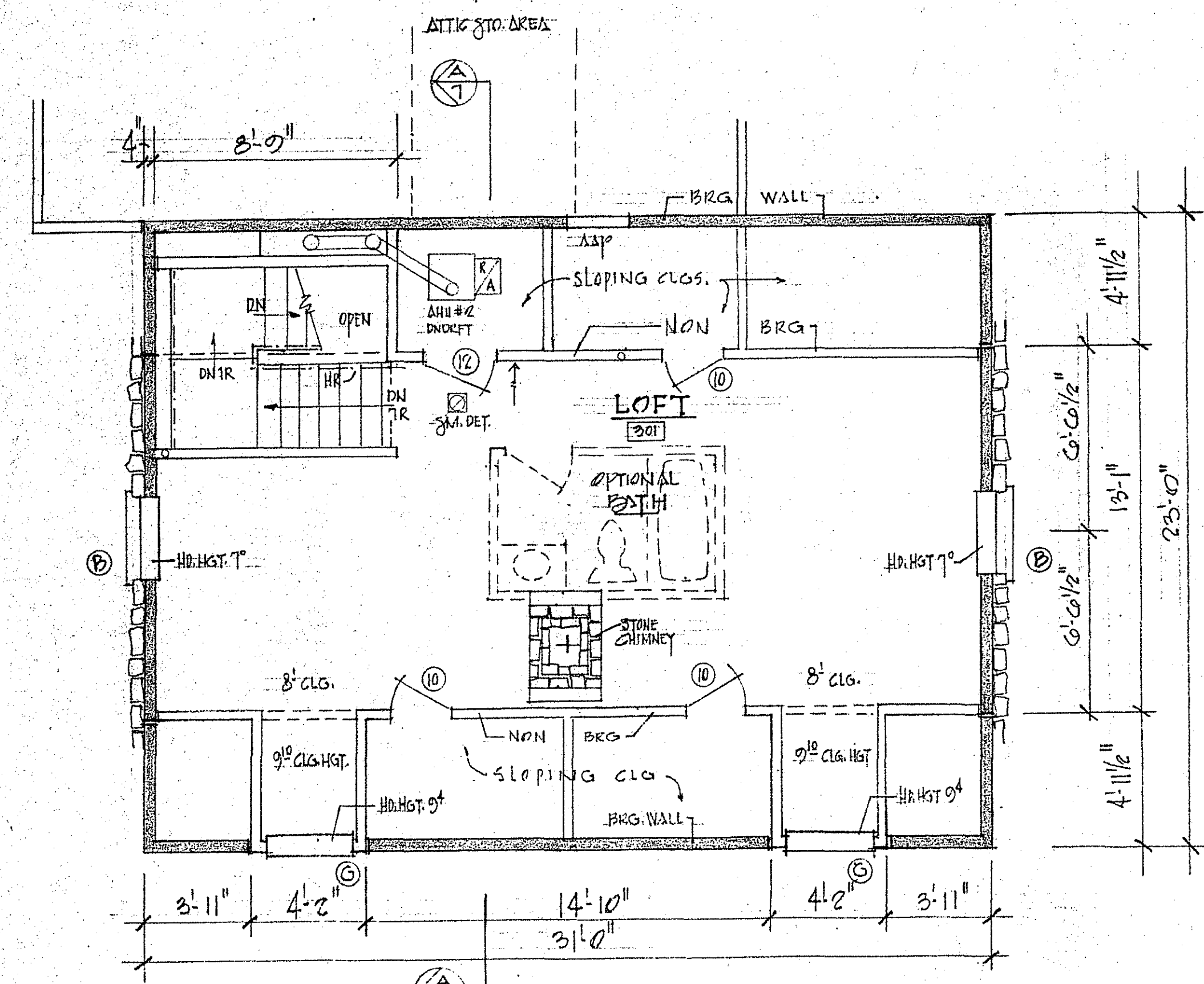
proposed new construction at:
NORTH STREET LOT 2
BROOKVILLE MD

DATE:
24 FEB 05

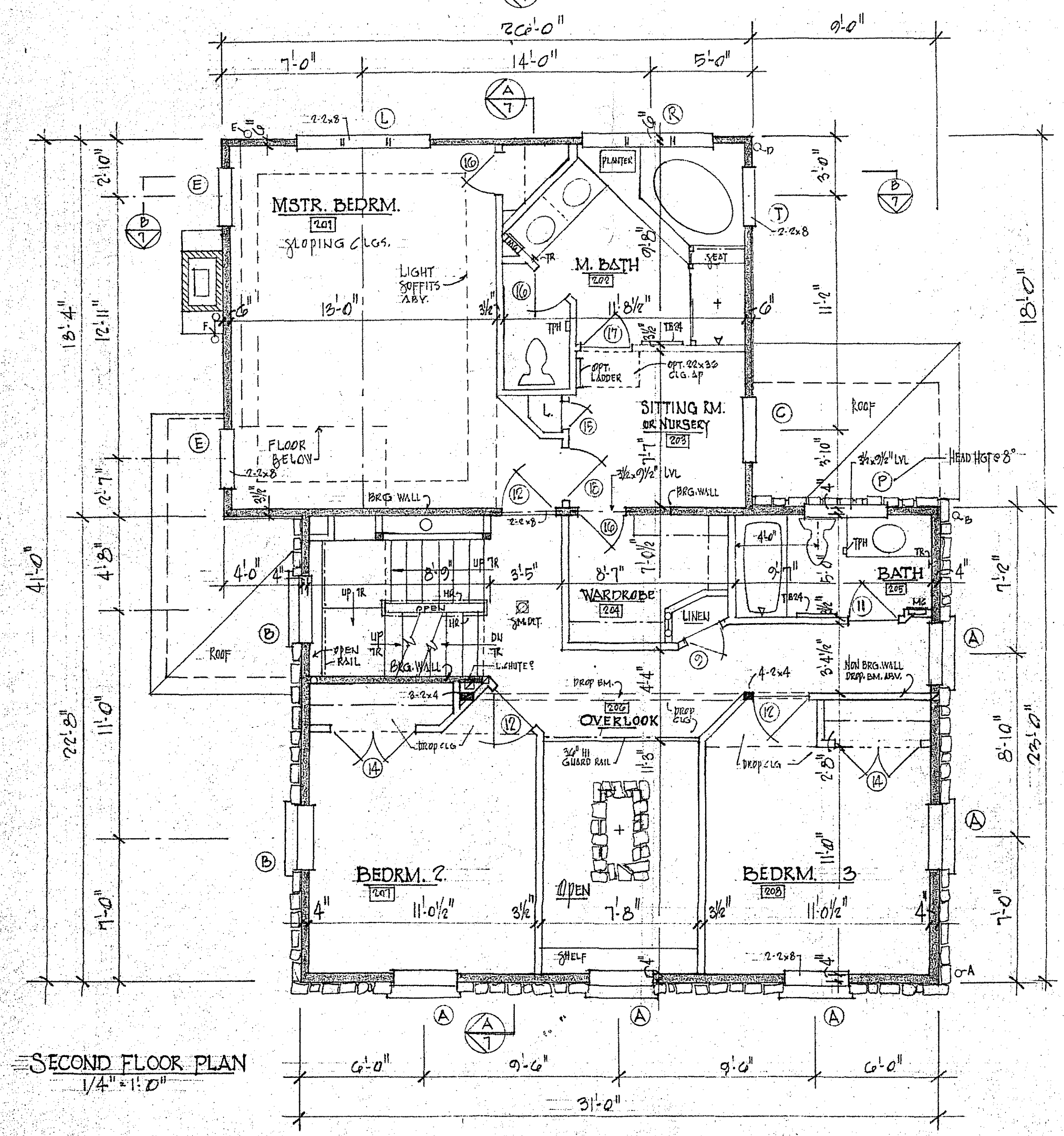
HORSMAN HOMES INC.
ROCKVILLE, MD
TEL: 301-924-4774

SEE NOTES ON SHEET 1

GROSS SQUARE FOOTAGE	
1189	FIRST FLR. (HEATED)
1095	SECOND FLR. (HEATED)
80±	"OPEN"
2370	
404±	LOFT (HEATED)
2776	TOTAL
408	GARAGE
172±	STORAGE (UNDER GARAGE)
1092±	BASEMENT (NET)



NOTE: ALL WINDOW ROUGH HEADER HEIGHTS TO BE 7'-10" ABOVE SUBFLOOR UNLESS NOTED OTHERWISE.



SECOND FLOOR PLAN
1/4" = 1'-0"

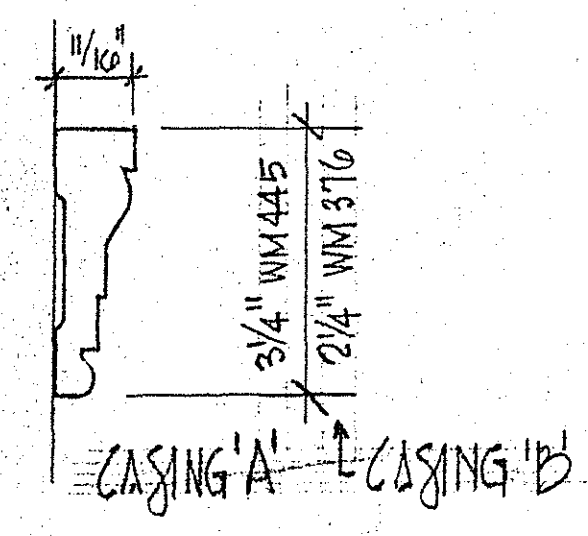
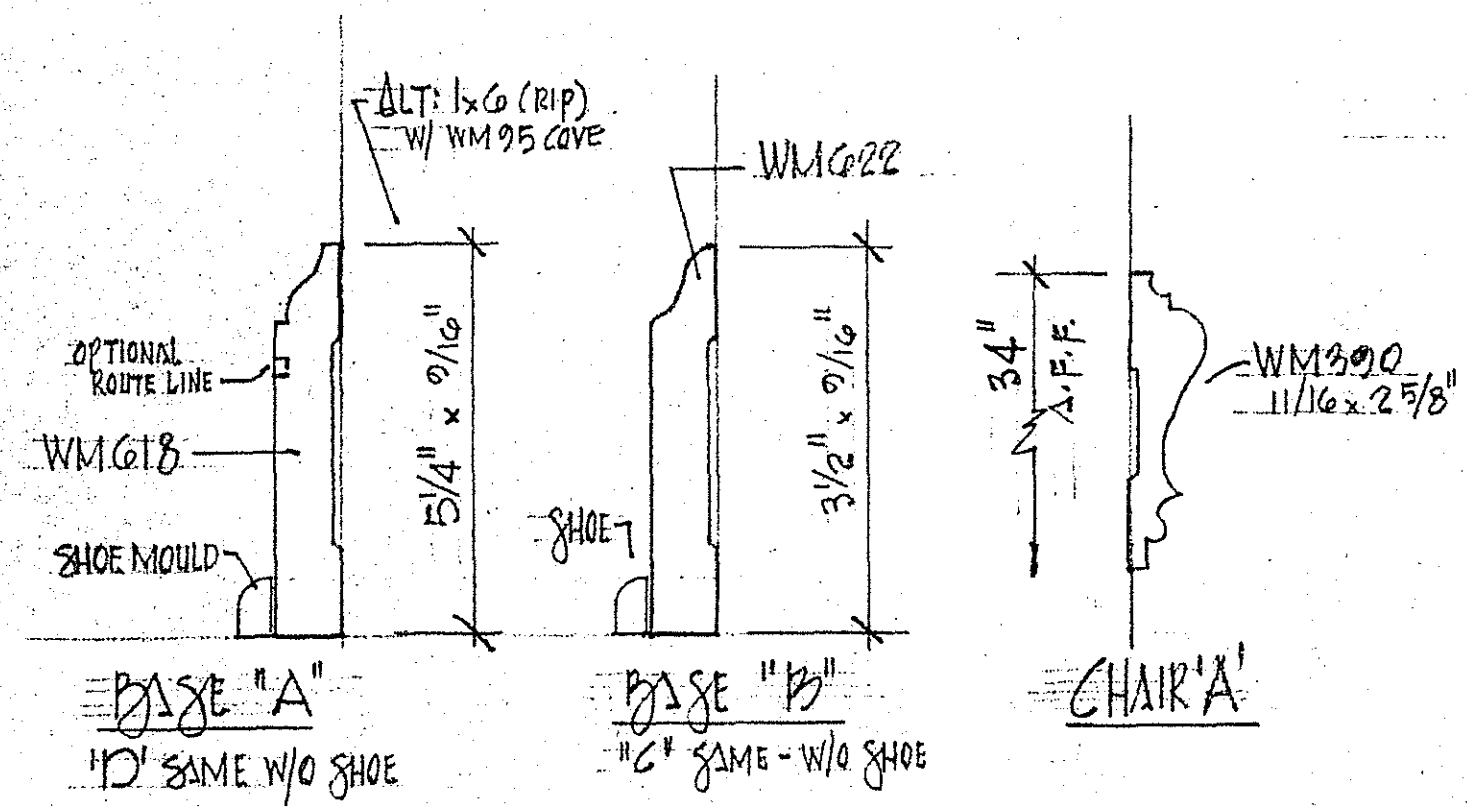
FIRST FLOOR PLAN
1/4" = 1'-0"

proposed new construction at:
NORTH STREET LOT 2
BROOKVILLE MD

DATE: 24 FEB 95

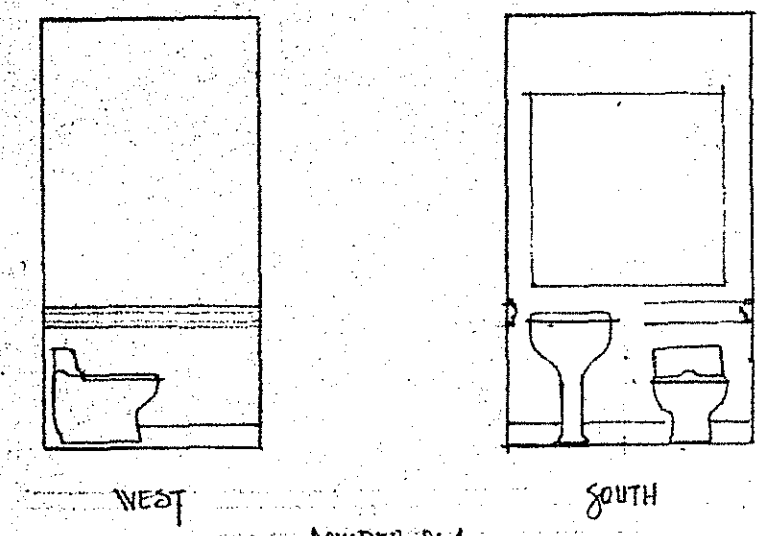
HORSMAN HOMES INC.
ROCKVILLE, MD TEL: 301-924-4774

KEVIN KACERNA ARCHITECT
40281 1507
P.O. BOX 222 COLUMBIA, MD 21045-0722

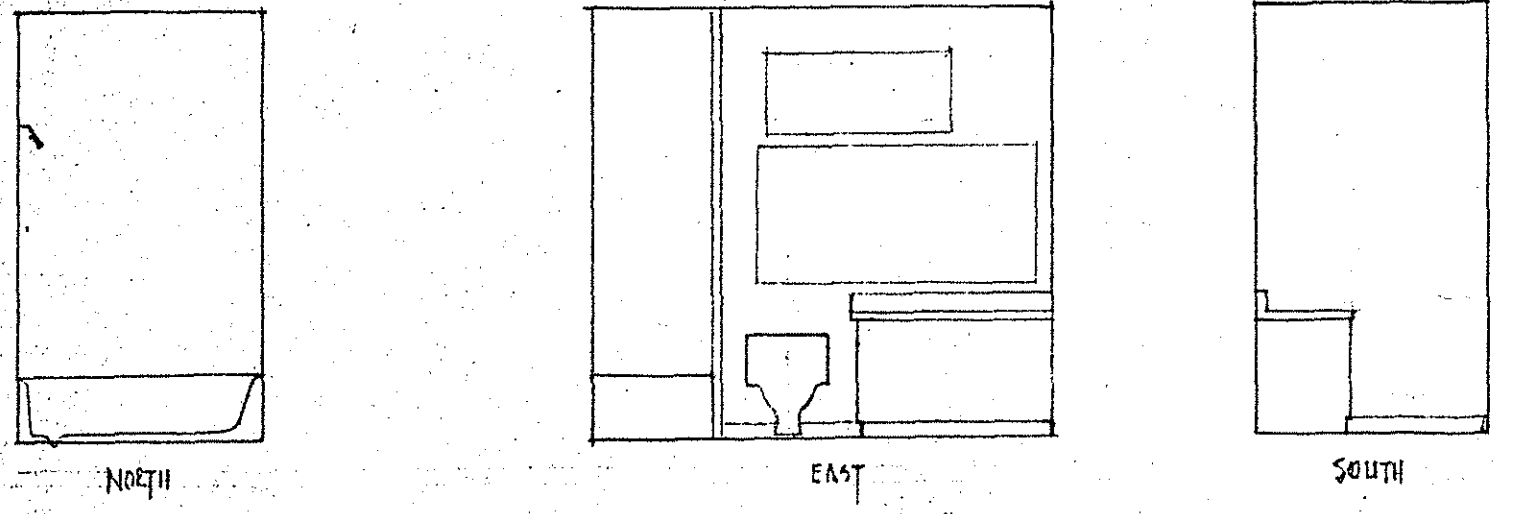


FINISH SCHEDULE									
ROOM	ROOM NO.	FLOOR	BASE	WALL	WALL TRIM	CABING	CEILING	GLG. TRIM	OTHER COMMENTS
LIV.	101	HDWD	A-PTD	PTD.GYP.	OPT. WAINSCOT	A PTD	PTD.WD T&G CLG.	—	—
DIN.	102	HDWD		PTD.GYP.	CHAIR 'A' OR OPT. WAINSCOT		PTD.WD T&G CLG.	—	—
KIT.	103	CER.T.		PTD.GYP.			PTD.GYP	—	—
PWDR	104	HDWD		PTD.GYP.	CHAIR 'A'		PTD.GYP	—	—
HALL	105	HDWD		PTD.GYP			PTD.GYP	—	—
STAIR	106	HDWD		PTD.GYP			PTD.GYP	—	INCL. LANDING
CLC.	107	HDWD		PTD.GYP			PTD.GYP	—	—
HALL	108	HDWD	B PTD	PTD.GYP		B PTD	PTD.GYP	—	OAK CAP @ LO. WALL
BRKST	109	HDWD		PTD.GYP			PTD.GYP	—	—
FAM	110	HDWD		PTD.GYP			PTD.GYP	—	MANTEL @ FP
M.BED	201	CARPET	C PTD	PTD.GYP		B PTD	PTD.GYP	—	—
M.BATH	202	CER.TILE	B PTD	PTD.GYP/CERT.			PTD.GYP	—	TUB + SHOWER PER DETAILS
SIT	203	CARPET	C PTD	PTD.GYP			PTD.GYP	—	—
WIC	204	CARPET	C PTD	PTD.GYP			PTD.GYP	—	—
BATH	205	CER.TILE	A PTD	PTD.GYP/CERT.		A PTD	PTD.GYP	—	TUB PER DETAILS
OVERLK HALL	206	HDWD	A PTD	PTD.GYP			PTD.GYP	—	—
BED	207 208	CARPET	D PTD	PTD.GYP			PTD.GYP	—	—
LOFT	301	CARPET	C PTD	PTD.GYP		A PTD	PTD.GYP	—	—
GRK	030	CONC.	—	PTD.GYP	—	B PTD	PTD.GYP	—	—
STO	010	CONC.	—	EXP. CONC.	—	—	EXP. CONC.	—	—
B5MT	020	CONC.	—	EXP. CONC.	—	B	NONE	—	UNFIN. B5MT.

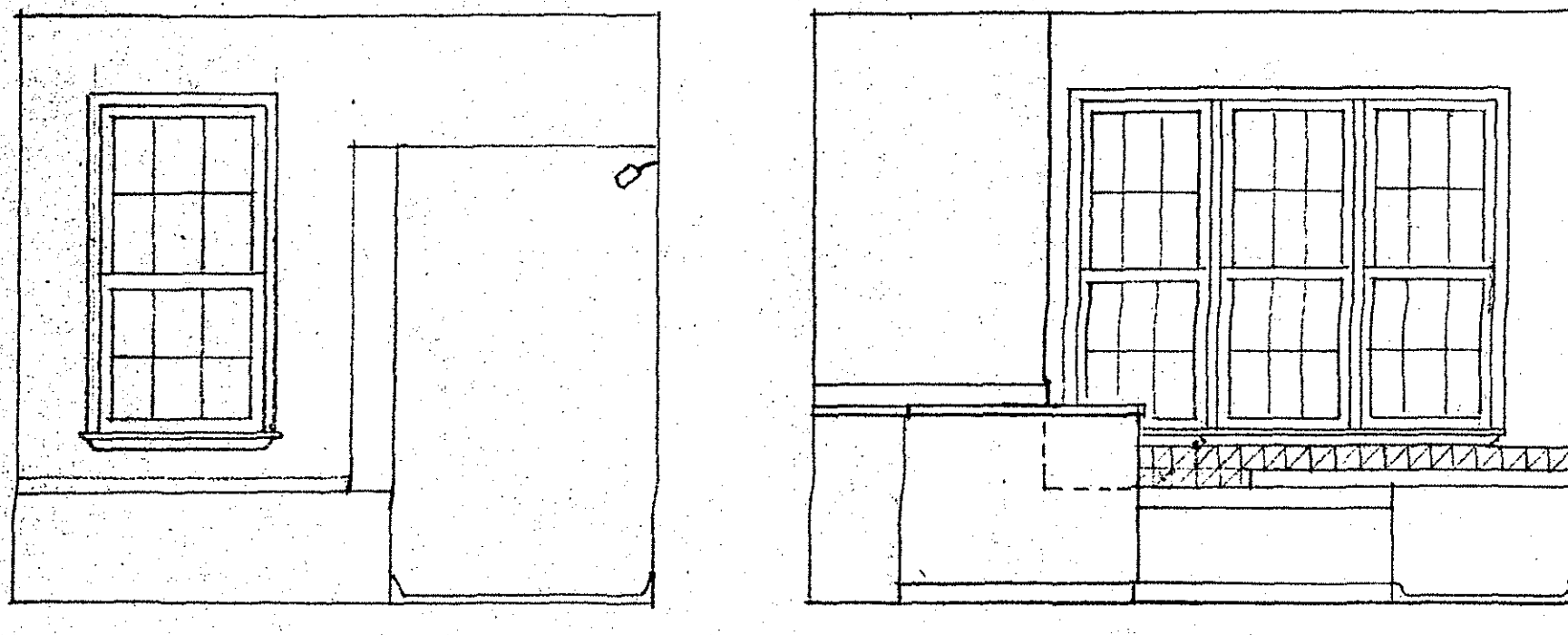
DOOR & WINDOW SCHEDULE									
MARK	QUAN	NOMINAL SIZE WxH	TYPE	NOTE	ROUGH OPENING (FRAME) WxH	JAMB	COMMENTS		
A	11	3062	DBL.HUNG. SINGLE	EGRESS	38" x 77 1/2"	4 1/2"			
B	6	3052	" "	EGRESS	38" x 65 1/2"	4 1/2"			
C	1	3046	" "	EGRESS	38" x 57 1/2"	4 1/2"			
E	2	2852	DBL.HUNG. SINGLE	EGRESS	34" x 65 1/2"	6 1/2"			
F	2	2852	DBL.HUNG. TWIN		67 1/2" x 65 1/2"		B5MT.		
G	2	2846	" " SINGLE		34" x 57 1/2"	4 1/2"			
H	2	2062	DBL.HUNG. SINGLE		26" x 77 1/2"	6 1/2"			
J	2	2062	" " - TRIPLE		77 1/2" x 77 1/2"	6 1/2"			
K	1	2042	" " - SINGLE		26" x 53 1/2"		B5MT.		
L	1	2052	" " - TRIPLE		77 1/2" x 65 1/2"	6 1/2"			
M	1	1840 (CNR4)	CASEMENT - TWIN		41 1/2" x 48 1/2"	4 1/2"			
N	1	2040 (C14)	CASEMENT - SINGLE		24 3/4" x 48 1/2"	6 1/2"			
P	1	4018 (AN4)	AWNING - SINGLE		48 1/2" x 21"	4 1/2"			
R	1	2052	DBL.HUNG. - TRIPLE		77 1/2" x 65 1/2"	6 1/2"	TEMP. GLASS		
T	1	2852	" " - SINGLE		34" x 65 1/2"	6 1/2"	TEMP. GLASS		
1	1	3'-6"		TRANSOM ABOVE	38 1/2" x 26"	4 1/2"	ENTRY DOOR		
2	2	28'-6"	HALF/9 LITE		34 1/2" x 82"	4 1/2"			
3	1	6'-8"	CENTER HINGE FULL/1/2 LITE		74" x 24"*	6 1/2"	* 26" MAX. R.O. HGT.		
4	1	6'-6"	CENTER HINGE FULL/1/2 LITE		74" x 82"		B5MT.		
5	1	6'-6"	PAIR - OUTSWINGING HALF/2 LITE		74" x 82"				
9	1	14'-7"	SINGLE - 4 PANEL		20" x 86"	4 1/2"			
10	4	20'-7"			26" x 86"	4 1/2"			
11	2	24'-7"			30" x 86"	4 1/2"			
12	4	26'-7"			32" x 86"	4 1/2"			
13	—	—			—	—			
14	2	4'-7"	PAIR - 4 PANEL		50" x 86"	4 1/2"			
15	1	14'-6"	SINGLE - 6 PANEL		18" x 82"	4 1/2"			
16	3	2'-6"			26" x 82"	4 1/2"			
17	1	24'-6"			30" x 82"				
18	1	26'-6"			32" x 82"				
19	—	28'-6"			34" x 82"				
20	—	30'-6"	PAIR - 6 PANEL		38" x 82"		ADD TO QUAN FOR OPT. FIN. B5MT		



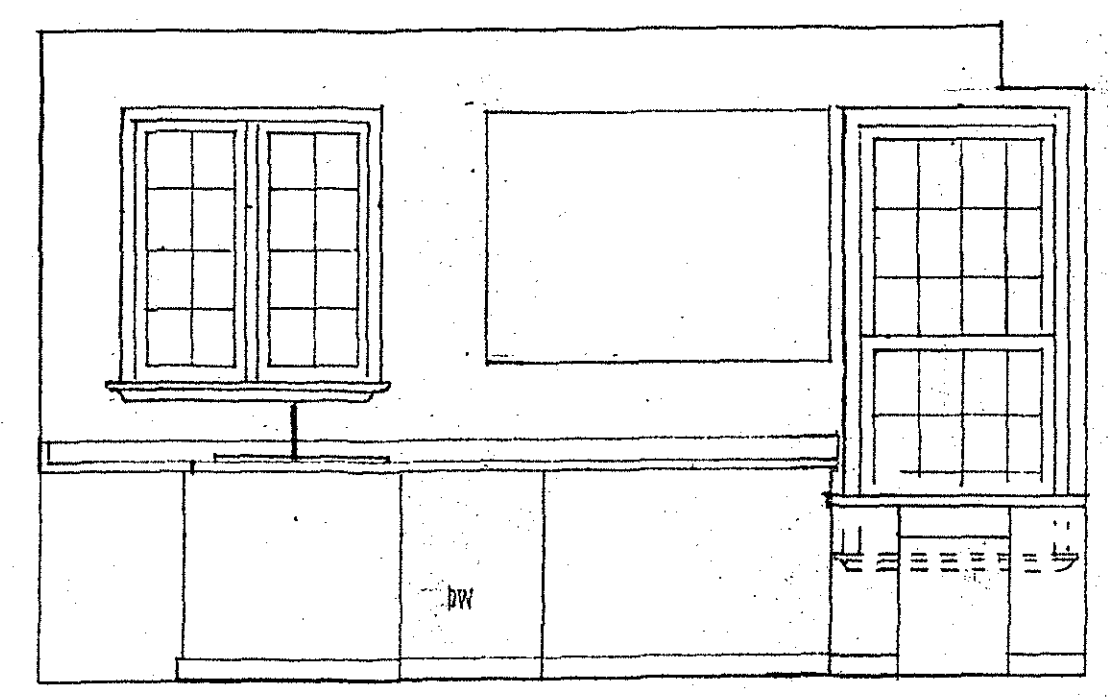
POWDER RM 1/4" = 1'



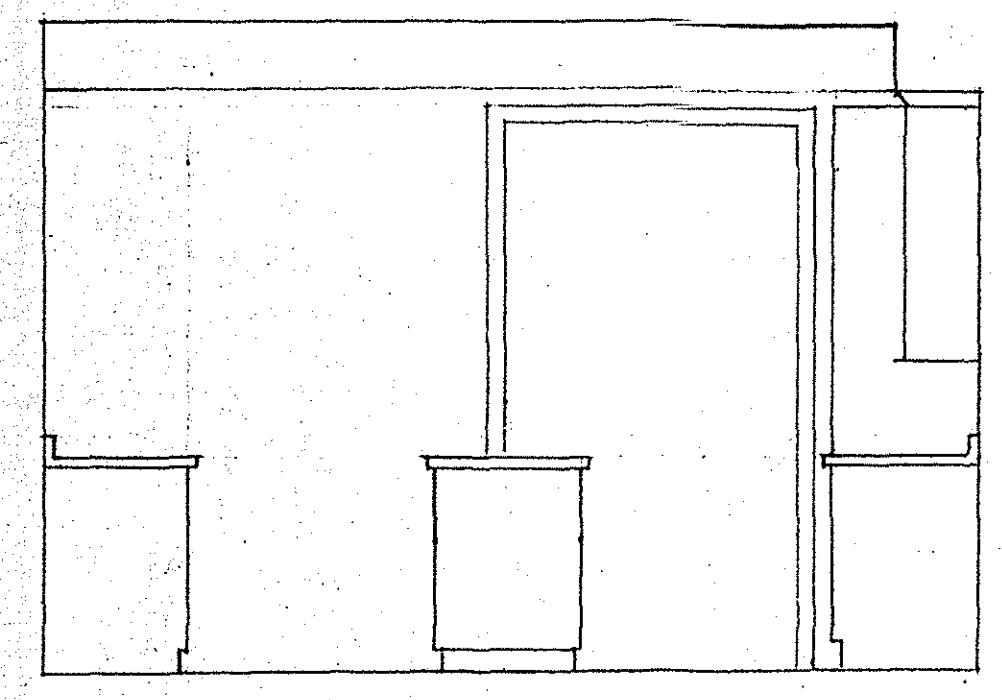
HALL B5TH 1/4" = 1'-0"



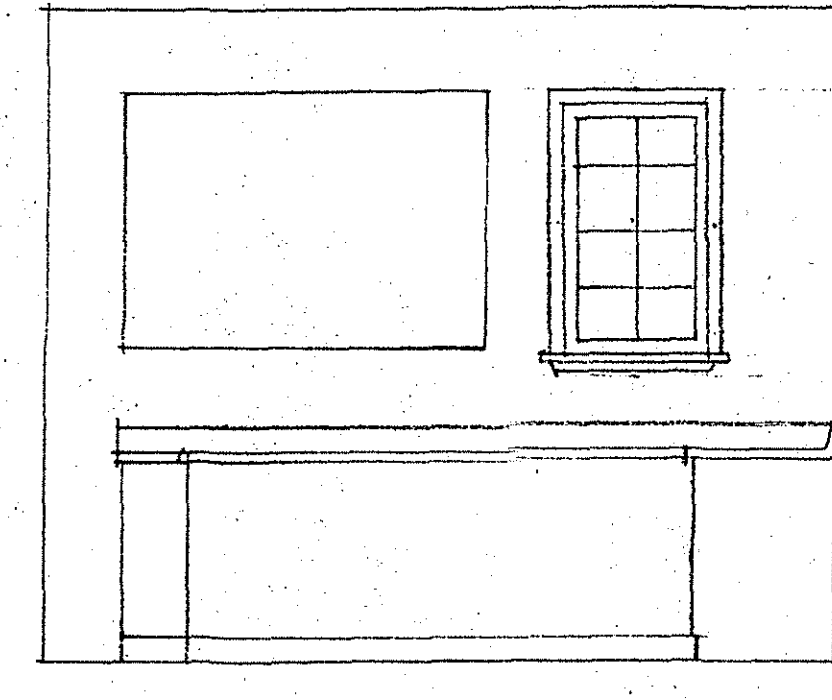
MSGR. B5TH 3/8" = 1'



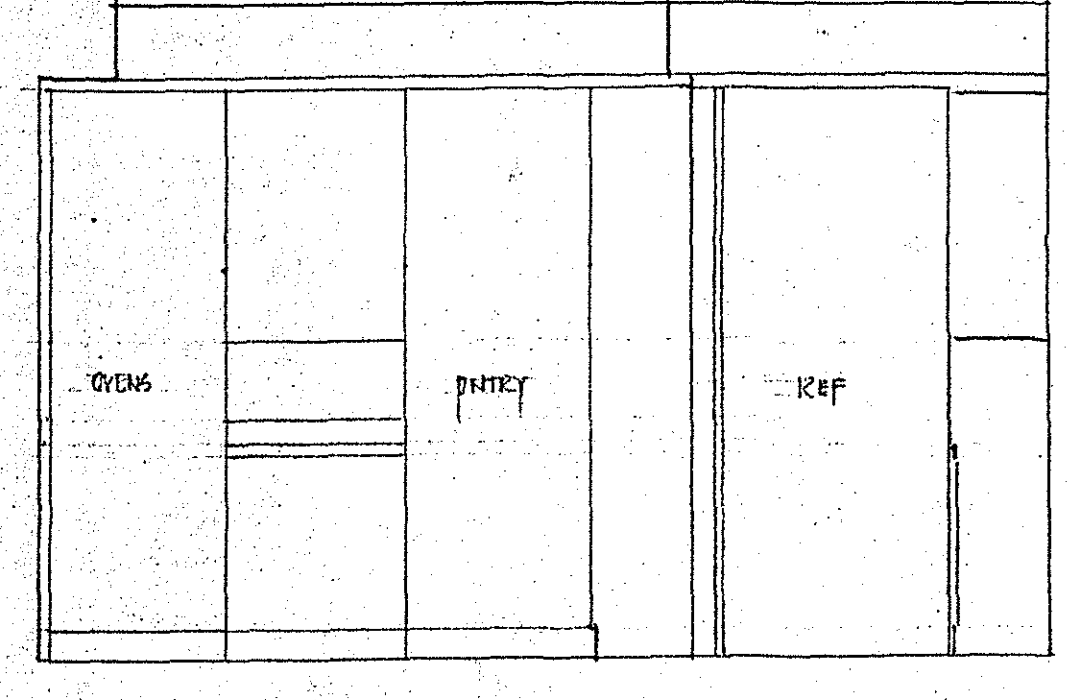
SOUTH



WEST



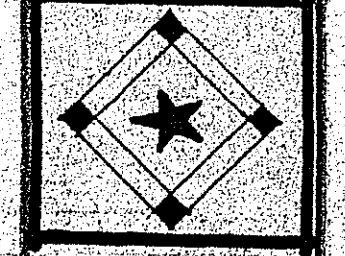
EAST



NORTH

KITCHEN DETAILS 3/8" = 1'

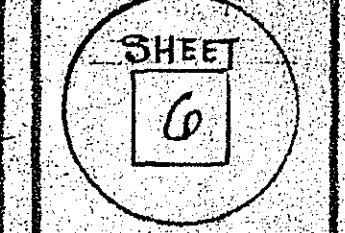
proposed new construction at:
NORTH STREET LOT 2
BROOKVILLE MD



DATE: 24 FEB 05

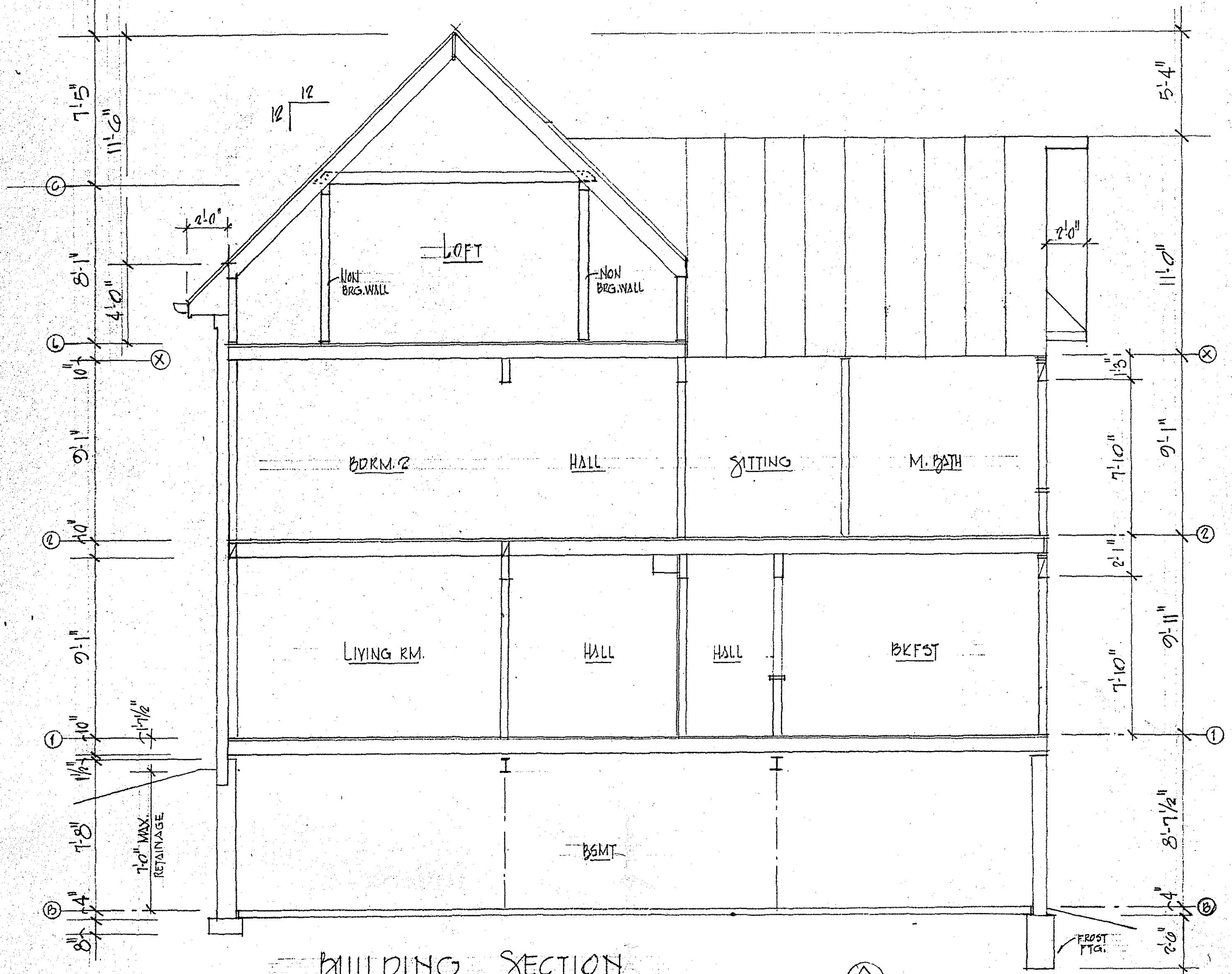
HORSMAN HOMES INC.
ROCKVILLE, MD TEL: 801-924-4774

APPROVED
Montgomery County
Historic Preservation Commission
DD REC 2/24/05

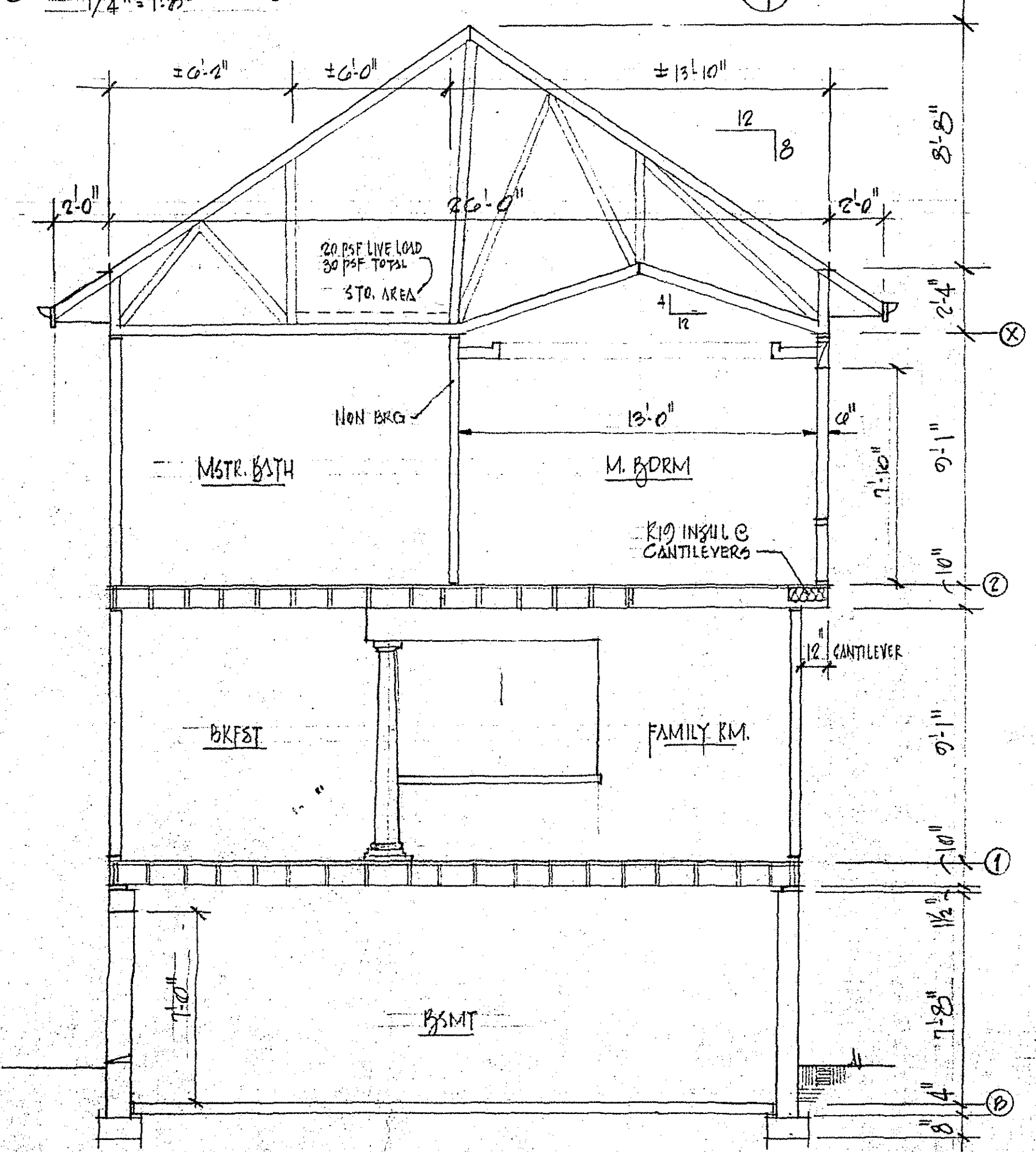


KEVIN MCCENNA ARCHITECT
AIA 3015817

P.O. BOX 722 COLLETTA, MD 21046-0722

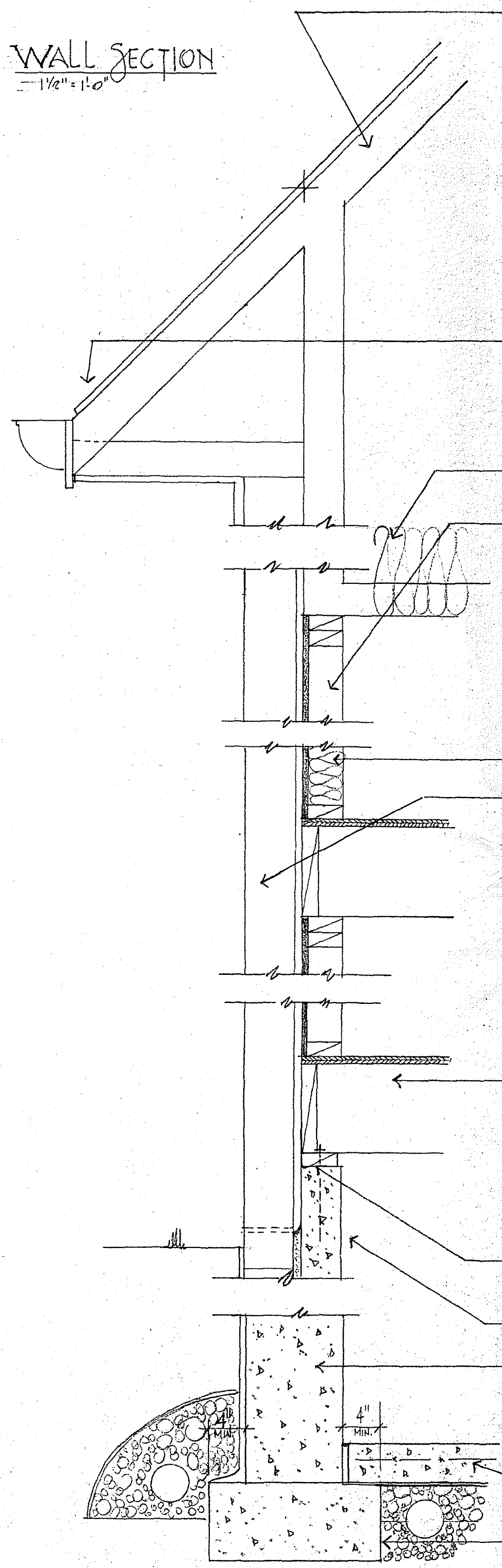


BUILDING SECTION
1/4" = 1'-0"



BUILDING SECTION
1/4" = 1'-0"

WALL SECTION
1/2" = 1'-0"



- (R1) TYPICAL ROOF SYSTEM: pre-engineered roof trusses at 24" on-center, maximum with 1/2" CDX plywood sheathing. Cover sheathing with roofing paper and wood shakes or standing seam metal roofing as indicated on the drawings. Provide continuous attic vents at all roof ridges.
Truss fabricator to submit sealed engineering drawings for all truss types shown. Submit drawings to Architect prior to fabrication and include notations for all permanent bracing required by each truss design.
Note: brace all trusses during erection to prevent toppling and deflection. Provide permanent bracing at all gable ends in addition to any bracing required by the truss engineer.
- (R2) RAFTERS + CLG. JOISTS: as noted on drawings, all roof rafters and ceiling joists to be 2x... sized and spaced as indicated on the drawings. All Lumber to be #2 HEM-FIR, KD, min. (F: 1000/1150 rep. Fv: 75, E: 1,400,000). Brace all roof framing temporarily during construction. Permanently brace all gable roof ends prior to loading roof.
- (R2) SECONDARY ROOF FRAMING: frame valley and similar roof areas with 2x6 rafters and 2x6 ties spaced at 24" on-center maximum. Support all rafter spans with vertical blocks at 24 inches on-center onto roof framing below. Brace as required.
- (R3) TYPICAL ROOF OVERHANG CONSTRUCTION: All fascia + rake boards to be 1/2" x 2" painted. All soffits to be plywood, painted/stained. Provide wide continuous aluminum strip vents at all soffit areas. Provide gutters at all fascia boards, unless noted otherwise. Provide downspouts to grade with concrete splash blocks as shown on drawings.
- ROOF DESIGN LOADING:
rafter/top chord: 30 psf live/40 psf total
clg. joist/bottom chord: #0 psf live/10 psf total
- (R4) Insulate all roof/ceiling areas to R-30 unless noted otherwise. Maintain 1" clearance above insulation/below roof sheathing for air circulation.
- (W1) TYPICAL EXTERIOR WALL: 2x4 and 2x6 studs at 16" on-center with 1/2" thick Omni-Strand Board (OSB) subsiding. Brace all ext. building corners, as required with OSB. Cover subsiding with stone veneer and horizontal lap siding, as indicated on drawings.
Note: All studs to be SPF-KD stud grade or better (F: -425, E: 1,200,000); All 4x posts to be #2 Hem-Fir KD or better (F: 825, E: 1,400,000). All beam or header spans over 4 feet to bear on posts/studs of at least 3 x 3-1/2 inches in area or as noted on drawings.
All openings in walls to be framed in with 2-2x8 headers, unless noted otherwise. All multiple ply beams to be nailed solid without plywood or other spacers between members. Bolt all steel fitch beams together with 1/2" carriage bolts at 24" on-center staggered.
Use CCA pressure treated bottom plates for all walls in contact with concrete. Block all posts solid through decks and walls below (maintain continuity of loads).
- (W2) STONE VENEER: builder to coordinate stone coursing and supports on site. Provide steel lintels and/or precast concrete lintels as required over all openings in veneer. Tie all stone veneer work to structural wall with minimum air space behind veneer, with weep holes (spaced at 24" oc, max) at base course. Provide suitable moisture barrier on outer face of structural wall (Tyvek, Building Paper, or similar), tape all joints.
- (W3) Insulate all exterior walls with R-13 to R-19 batts unless noted otherwise.
- (W4) TYPICAL INTERIOR WALLS: all interior load-bearing walls to be 2x4 studs at 16" on-center; frame openings with 2-2x8 headers unless noted otherwise. Interior non-load-bearing walls to be 2x4 studs at 16" on-center. Use CCA pressure treated bottom plates for all walls in contact with concrete.
- (C1) LAMINATED VENEER LUMBER (LVL): all beams noted as "LVL" to be "Micro-Lam", glue laminated beams as manufactured by the Truss Joist Corp. (F: 2800, Fv: 285, E: 2,000,000) or approved alternate. All beams to be 1-3/4" wide and nailed on site to form multiple ply beams equal to the size noted on the drawings. Nail with two rows 16d nails at 12" o.c.
- (B1) TYPICAL FLOOR FRAMING: Floor framing to be 2x... joists, sized and spaced as indicated on the drawings. Sheath joists with 5/8" T&G U/L grade plywood, glued + nailed. Double all header joists and supporting joists as required; block between all joists under partitions running parallel to span of joists. Mid block/bridge all joists with span over 10 ft. Do not allow any holes to be drilled thru framing within the mid 1/3 of the span.
All framing lumber to be #2 HEM-FIR KD or equal (Fb: 1000/1150 rep. Fv: 75, E: 1,400,000).
DESIGN LOADING: first floor: 40 psf live / 50 psf total
second/loft floors: 30 psf live / 40 psf total
- (C2) NOTE: anchor 2x... sill plates to foundation walls at 6 feet on-center maximum. Use CCA pressure treated lumber. Provide sill sealer insulation. Treat soil for termites prior to backfill.
Insulate basement walls above grade line with R-11 foil faced batts. Optional: insulate basement ceiling with R-19 batts.
- (A3) TYPICAL FOUNDATION WALL: poured concrete construction, sized and reinforced as indicated on drawings. Concrete to reach 2500 psi (minimum) compressive strength in 28 days. Include key joint at concrete footings. Patch all blemishes and spastic locations after stripping forms. Include suitable anchors for brick veneer surface. Provide brick and slab ledges as required and as indicated on drawings.
Coat all portions of wall below grade with bituminous waterproofing. Do not backfill against walls until first deck is in place and wall is fully cured. Limit unbalanced backfill against unreinforced wall to 7 feet above slab/grade.
- (A4) NOTE: provide foundation drain system at all basement areas. Install 4" OD perforated drain tubing at bottom of footings, cover with gravel + resin paper and connect to daylight drain OR to sump pit with pump and drain pipe to exterior.
- (F1) INTERIOR FINISHES: all interior wall and ceiling finishes to be 1/2 inch gypsum board, painted - two coats, unless noted otherwise. Provide cement board (Durock or sim.) at all tub and shower walls.
- (F2) TYPICAL SLAB: basement slab to be poured concrete, 3000 psi after 28 days. Slab to be 4" thick minimum with 6x6x10" welded wire mesh, on 4" poly vapor barrier, on 4" gravel bed, on undisturbed or compacted soil. Provide 1-1/2" (R8) rigid foam insulation boards 24" horizontally + 24" vertically under all slabs located within 12" of final grade.
- (F3) TYPICAL FOOTING: all footings shall be poured concrete, sized as indicated on drawing, 2500 psi after 28 days. All footings to be poured on undisturbed soil, bottom of all footings to be 30" minimum below final grade. NOTE: no soil test data available; 2500 PSF soil bearing value assumed. Consult professional soils engineer if site conditions warrant.
- (F4) WINDOWS: all windows to be TPL wood frames and sash. Include insulating glass + insect screens. Windows to be Double Hung or Casement, as indicated.
- (F5) STEEL BEAMS: to be ASTM-36, laterally braced by anchoring floor framing to wood plate, anchored to top flange of steel at 36" on-center, staggered. Anchor steel beams at bearing, 6" minimum bearing on solid masonry/concrete.

KEVIN MCKENNA, ARCHITECT
 40381-3817
 P.O. BOX 22 COLUMBIA, MD 21045-0022

PROPOSED NEW CONSTRUCTION at:
 NORTH STREET LOT 2
 BROOKVILLE MD

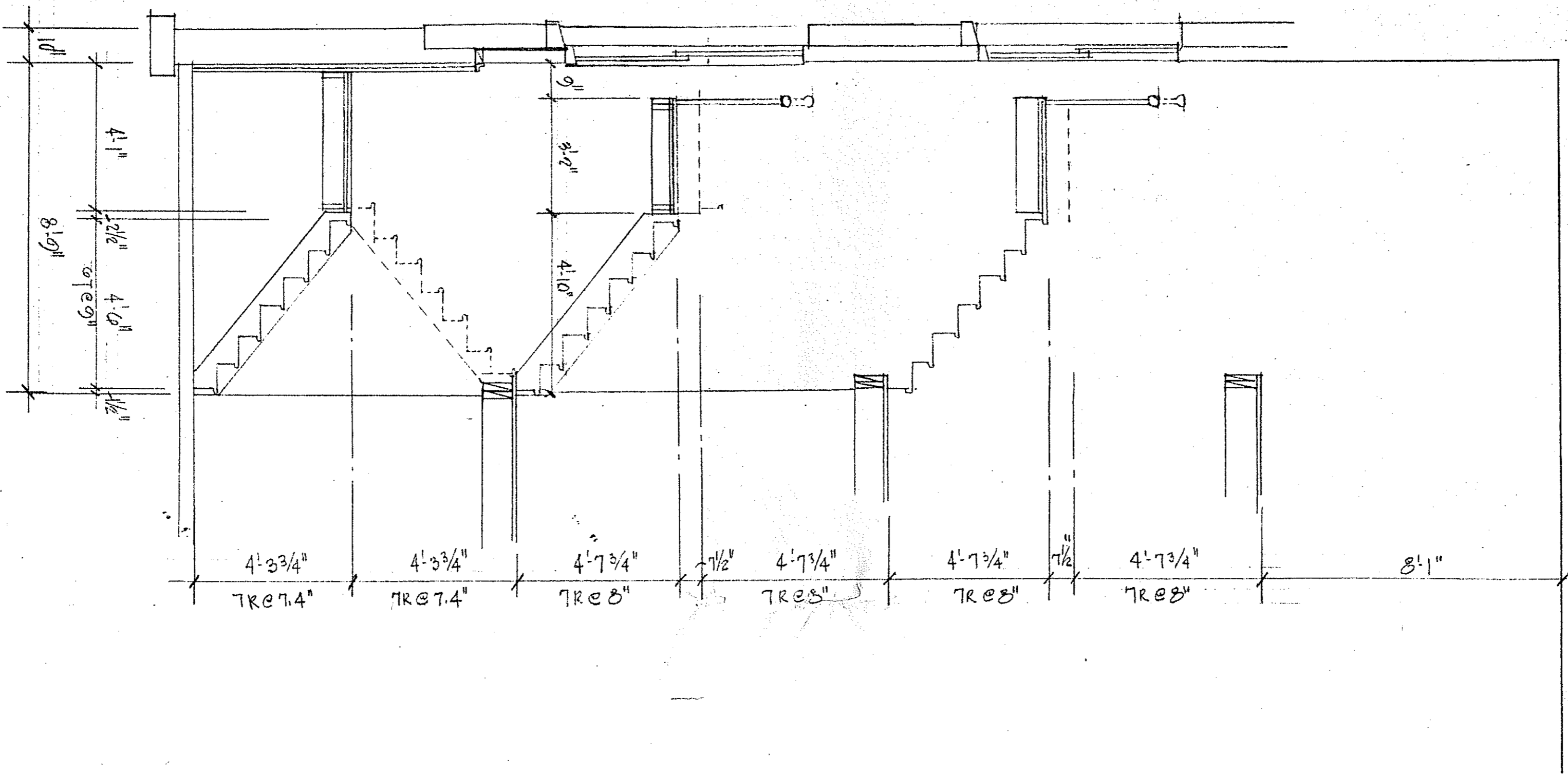
DATE:
 24 FEB 05

HORSMAN HOMES INC.
 ROCKVILLE, MD TEL: 301-924-4774

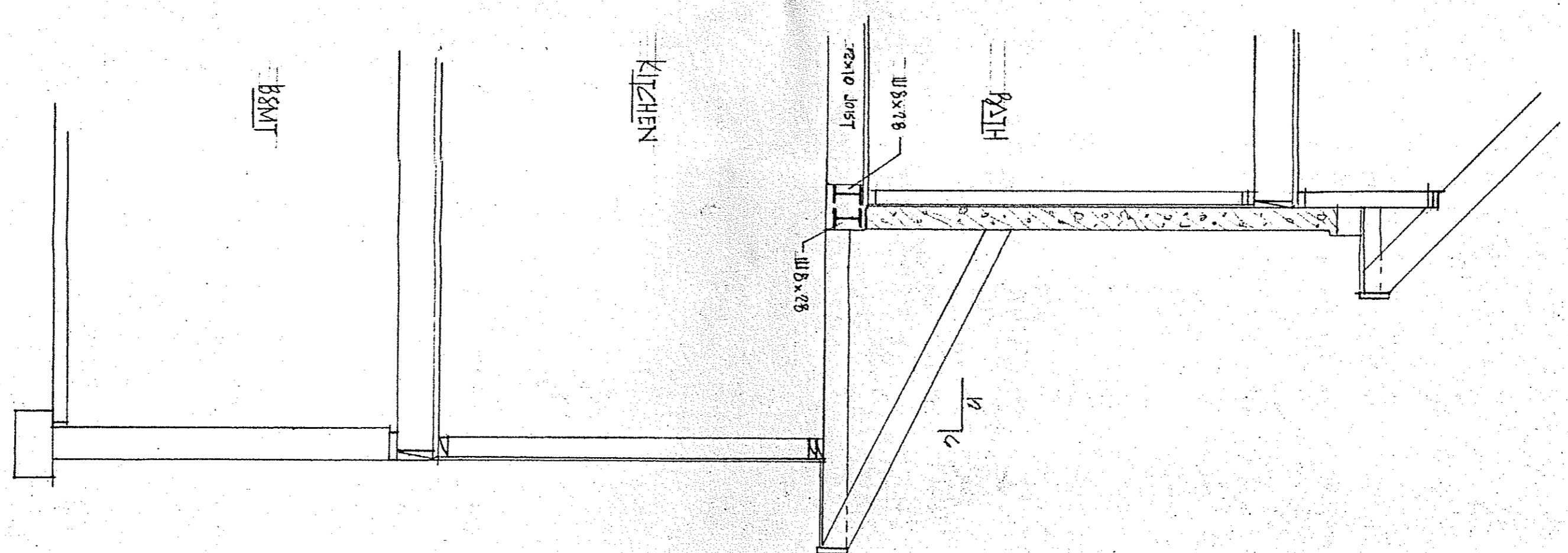
SHEET
 7

APPROVED
 Montgomery County
 Historic Preservation Commission
 10/24/05

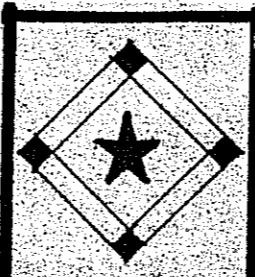
SECTION @ STAIR



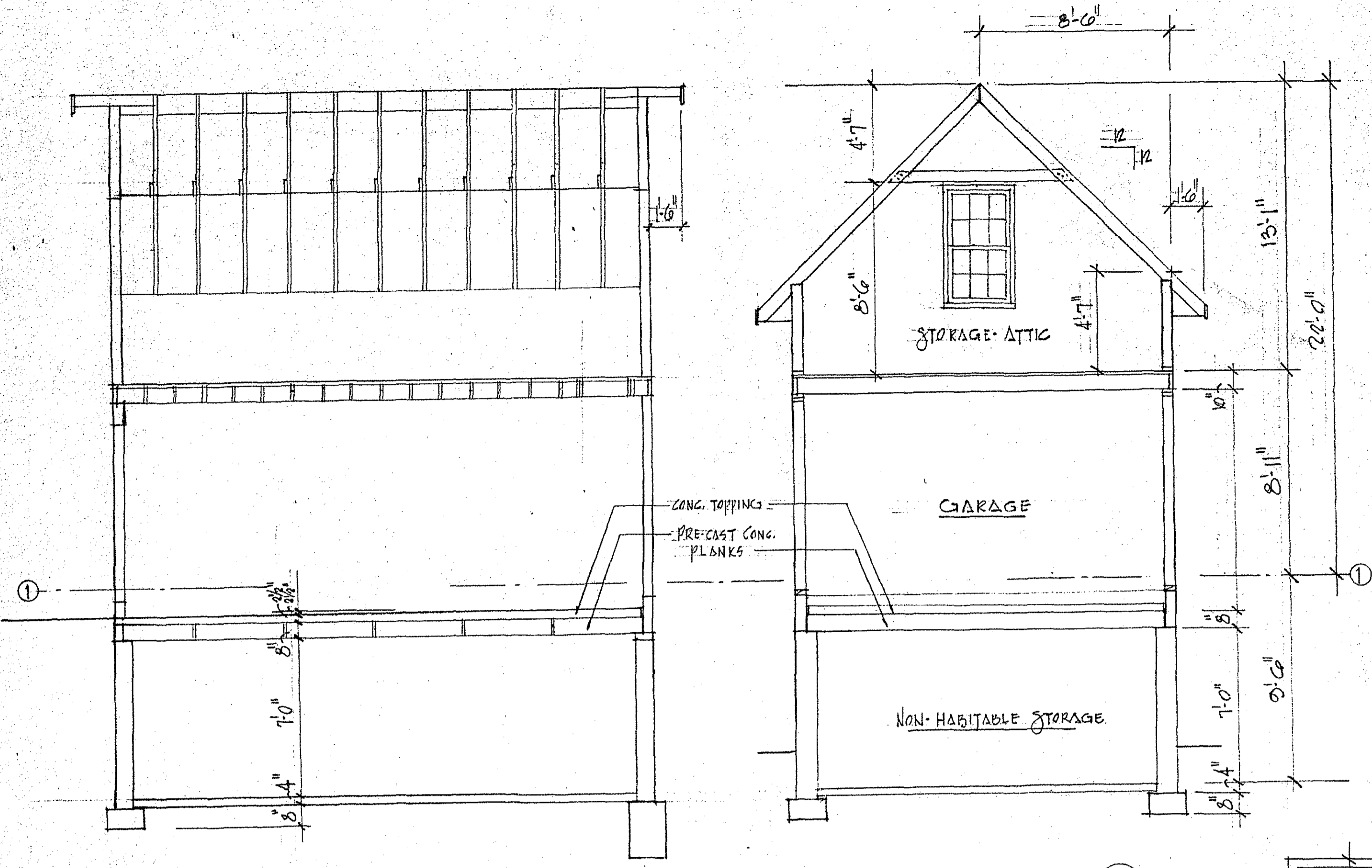
SECTION @ KITCHEN BAR



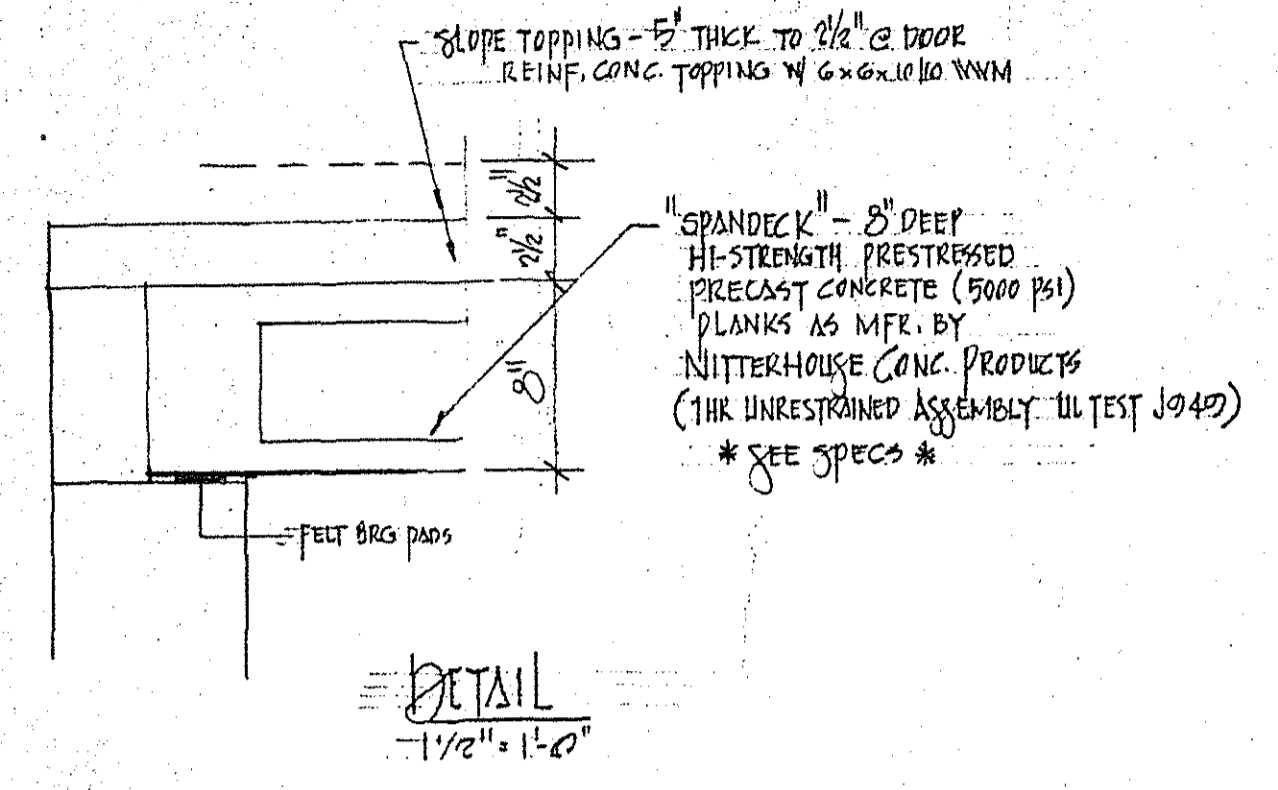
APPROVED
Montgomery County
Historic Preservation Commission
DATE: 2/27/05



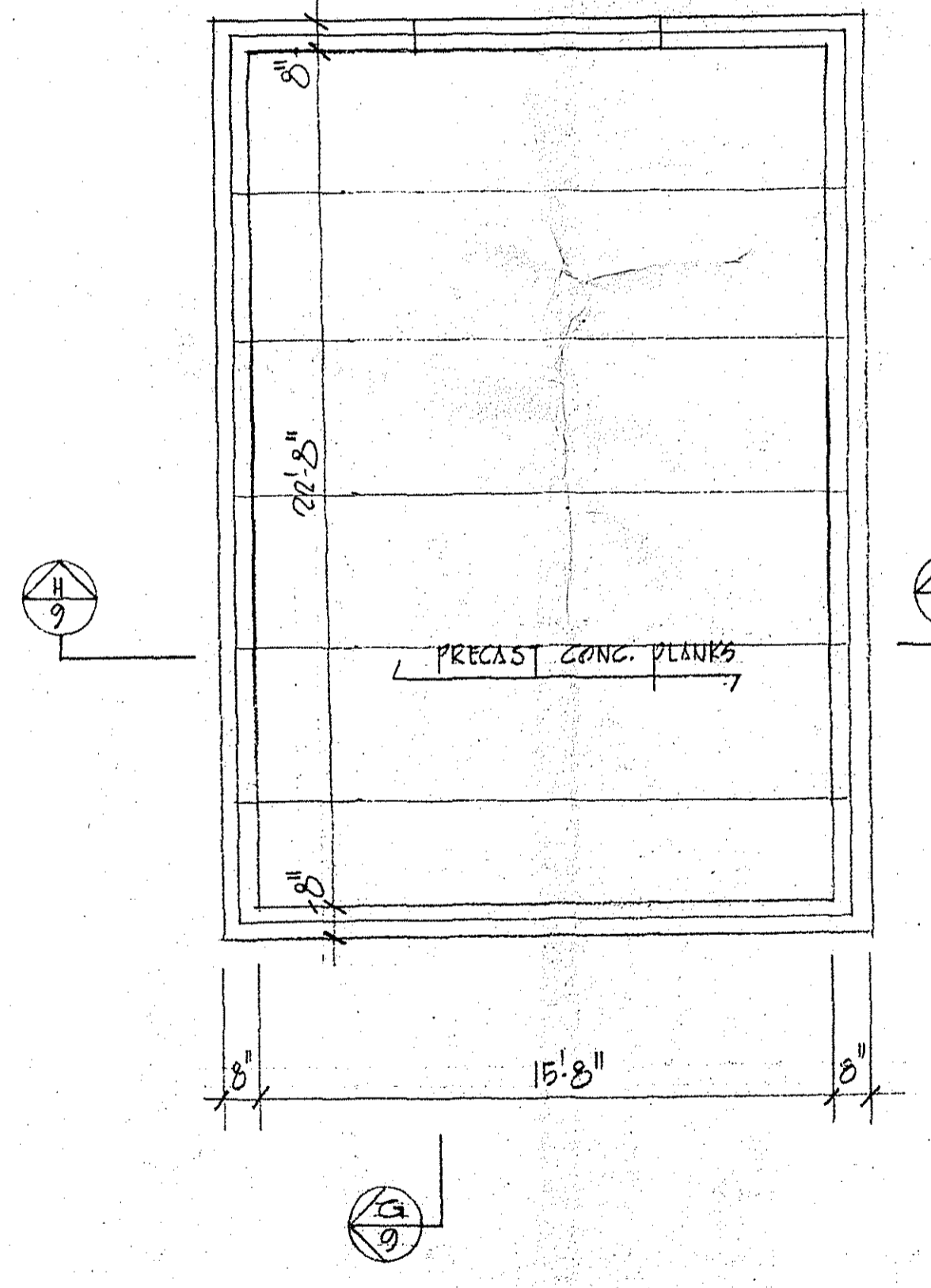
SEE NOTES ON SHEET 1



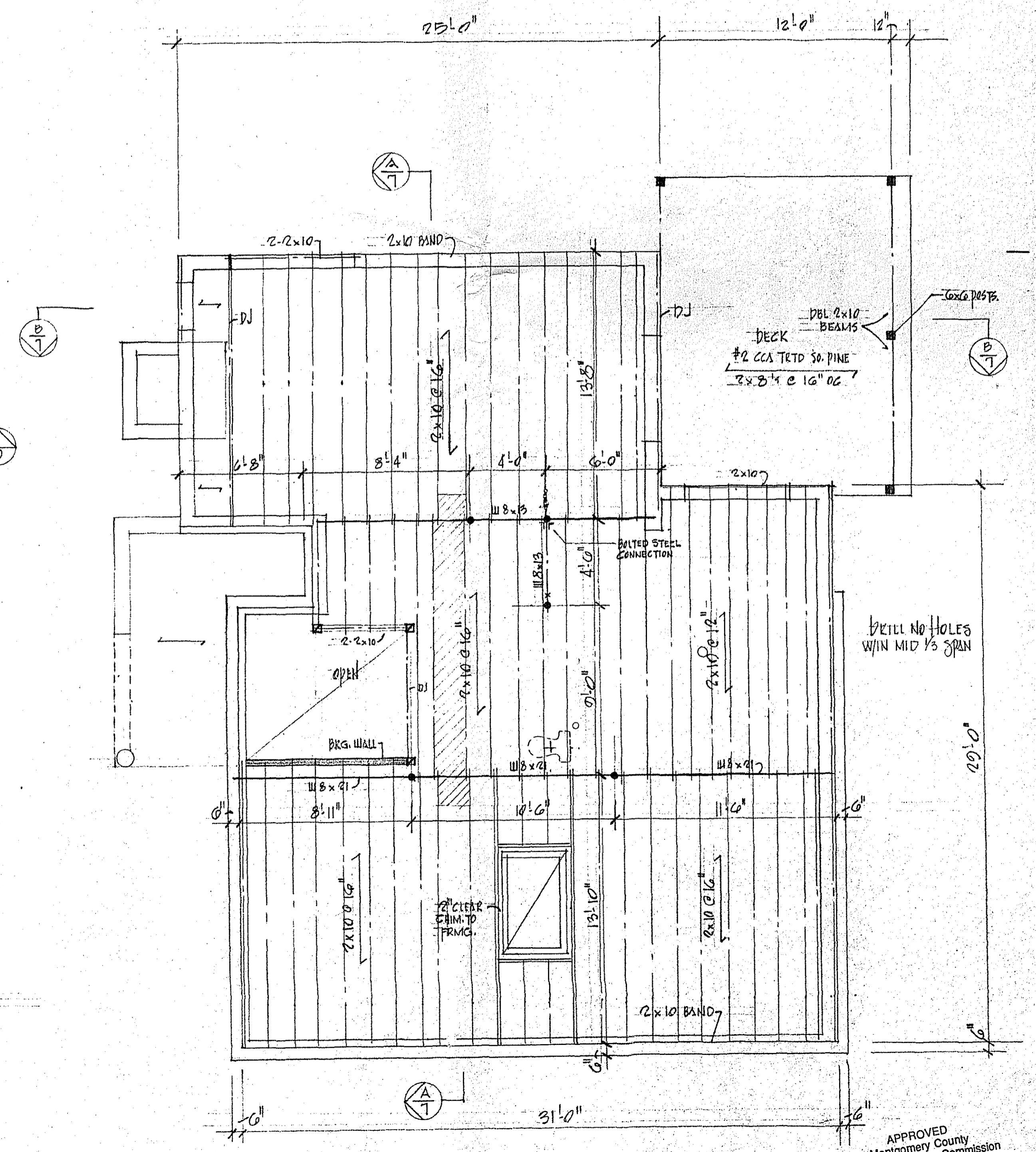
SECTION $\frac{1}{4}'' = 1'-0''$ BUILDING SECTIONS @ GARAGE



DETAIL $\frac{1}{2}'' = 1'-0''$



FIRST FLOOR FRAMING PLAN $\frac{1}{4}'' = 1'-0''$



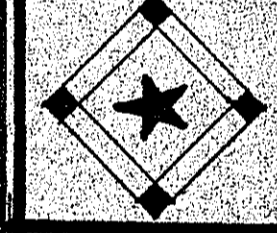
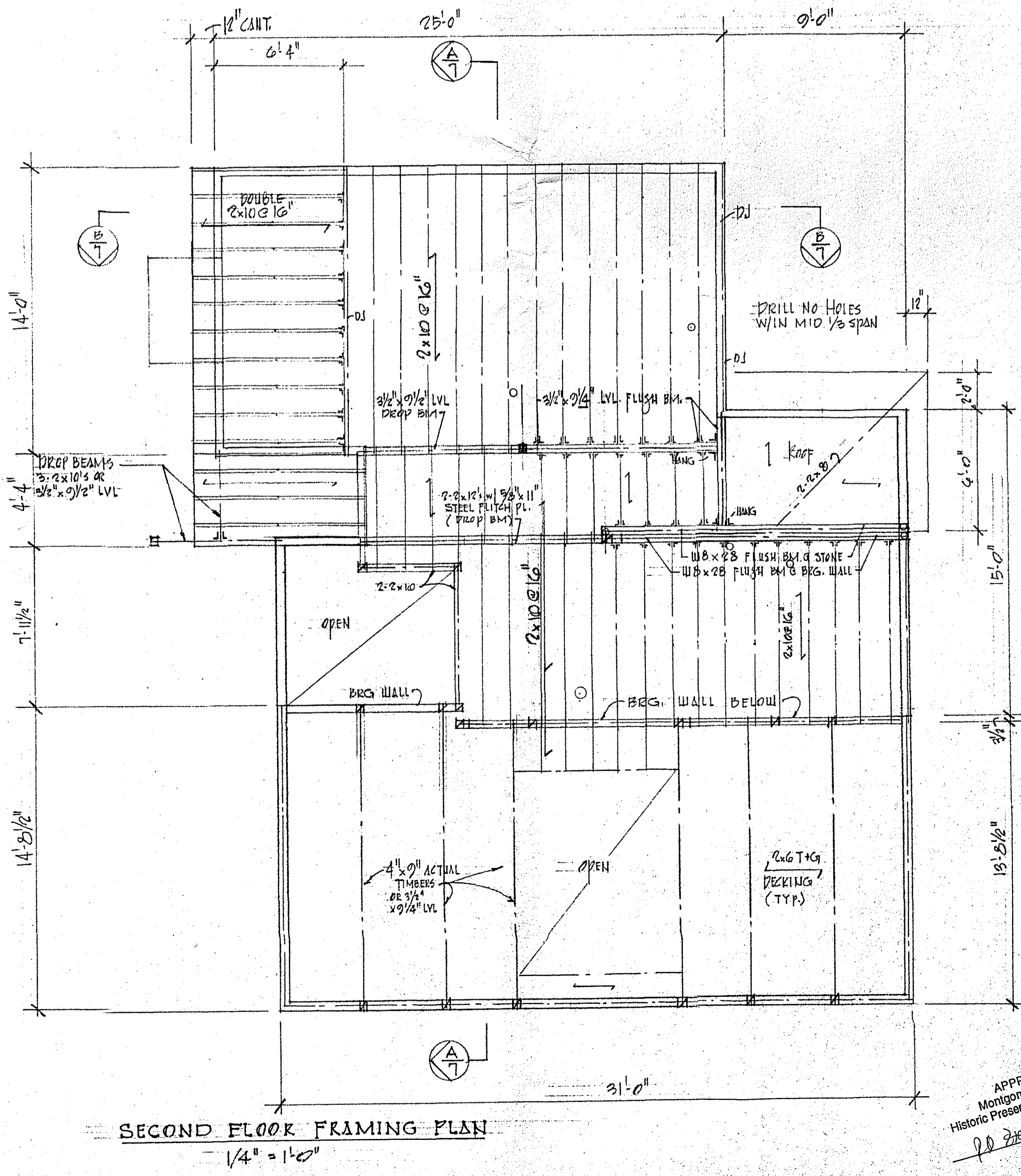
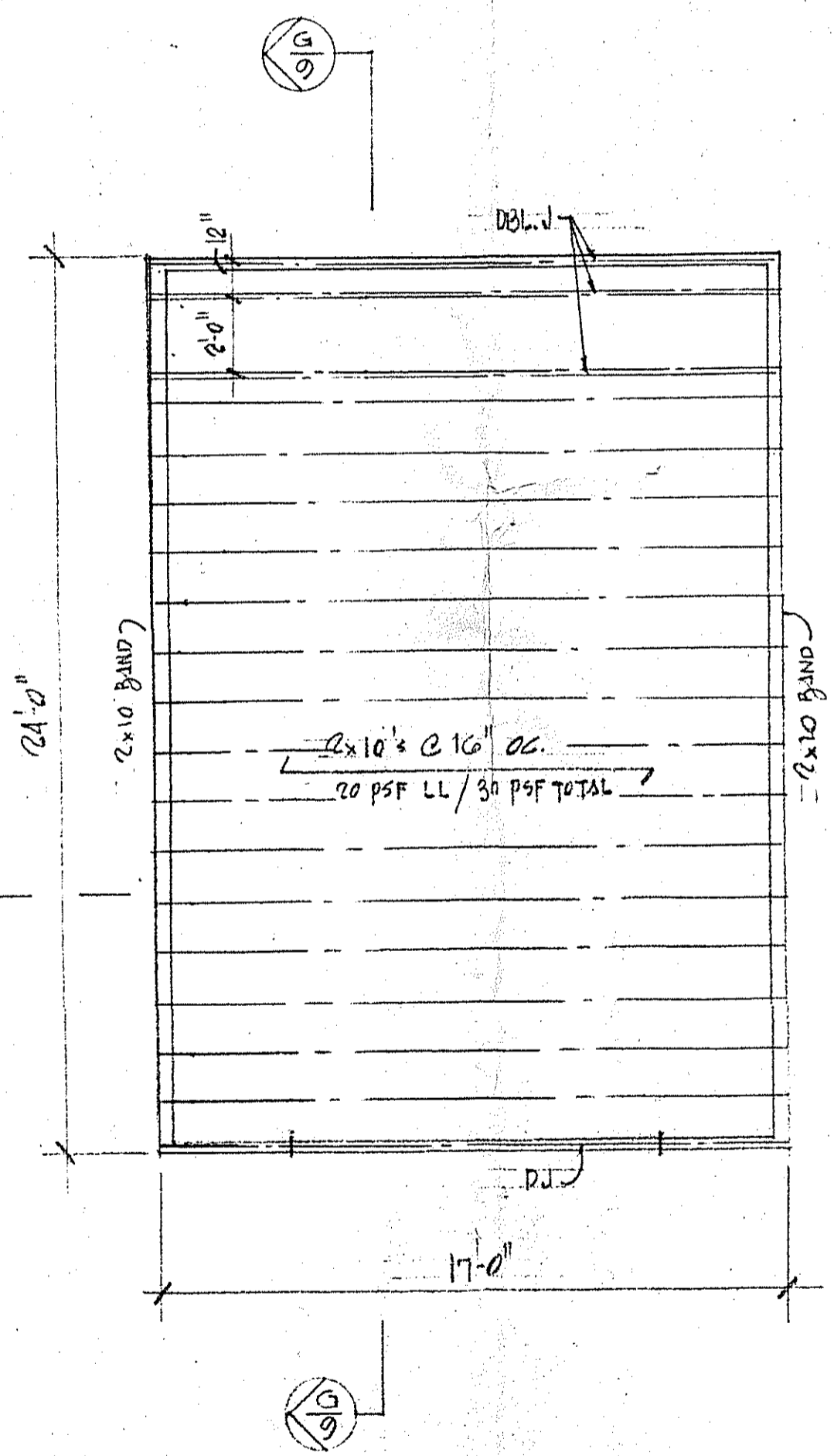
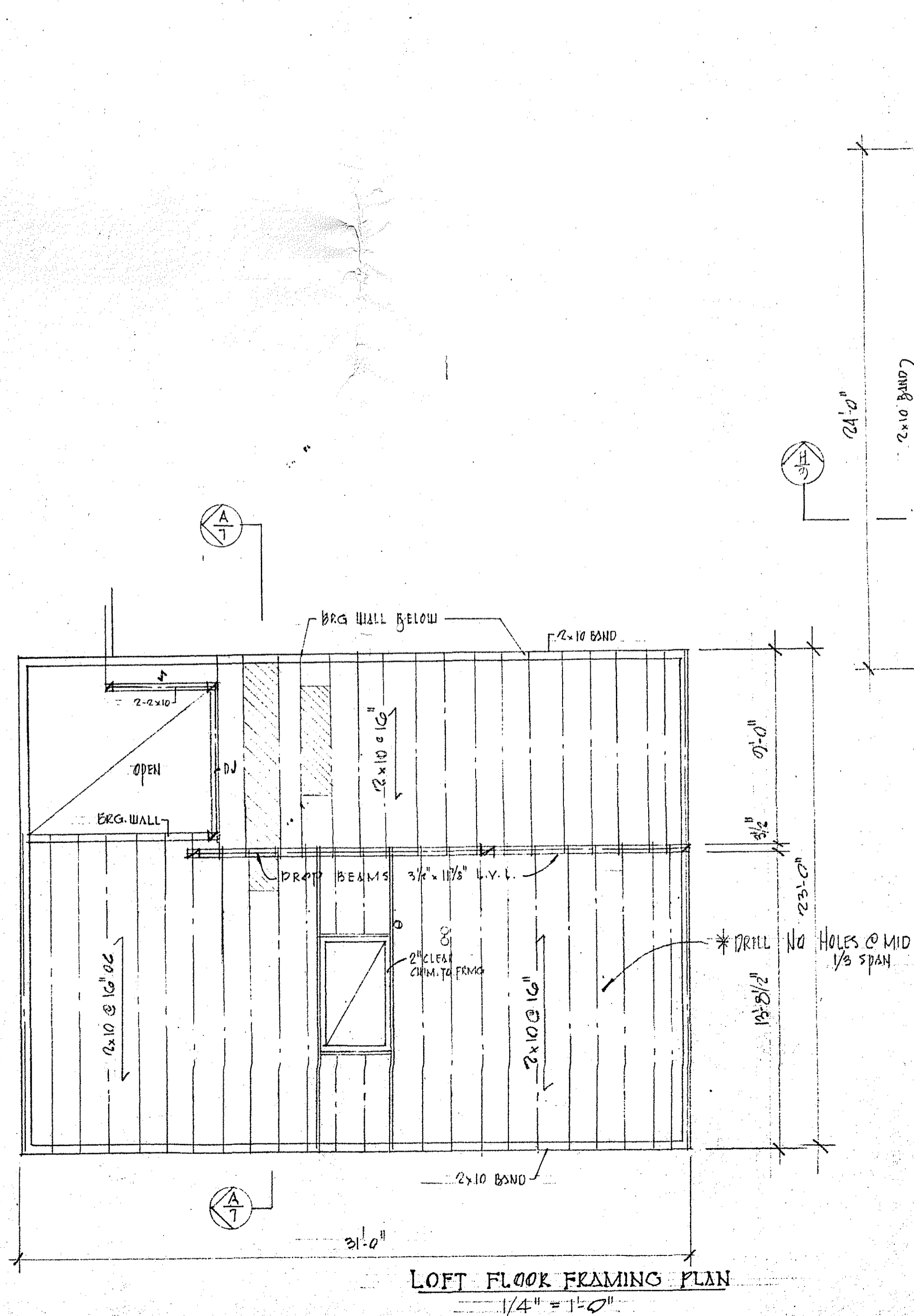
LEVA MCKENNA ARCHITECT
410-381-3817
P.O. BOX 772 COLUMBIA, MD 21046-0772

proposed new construction at:
NORTH STREET LOT 2
BROOKVILLE MD

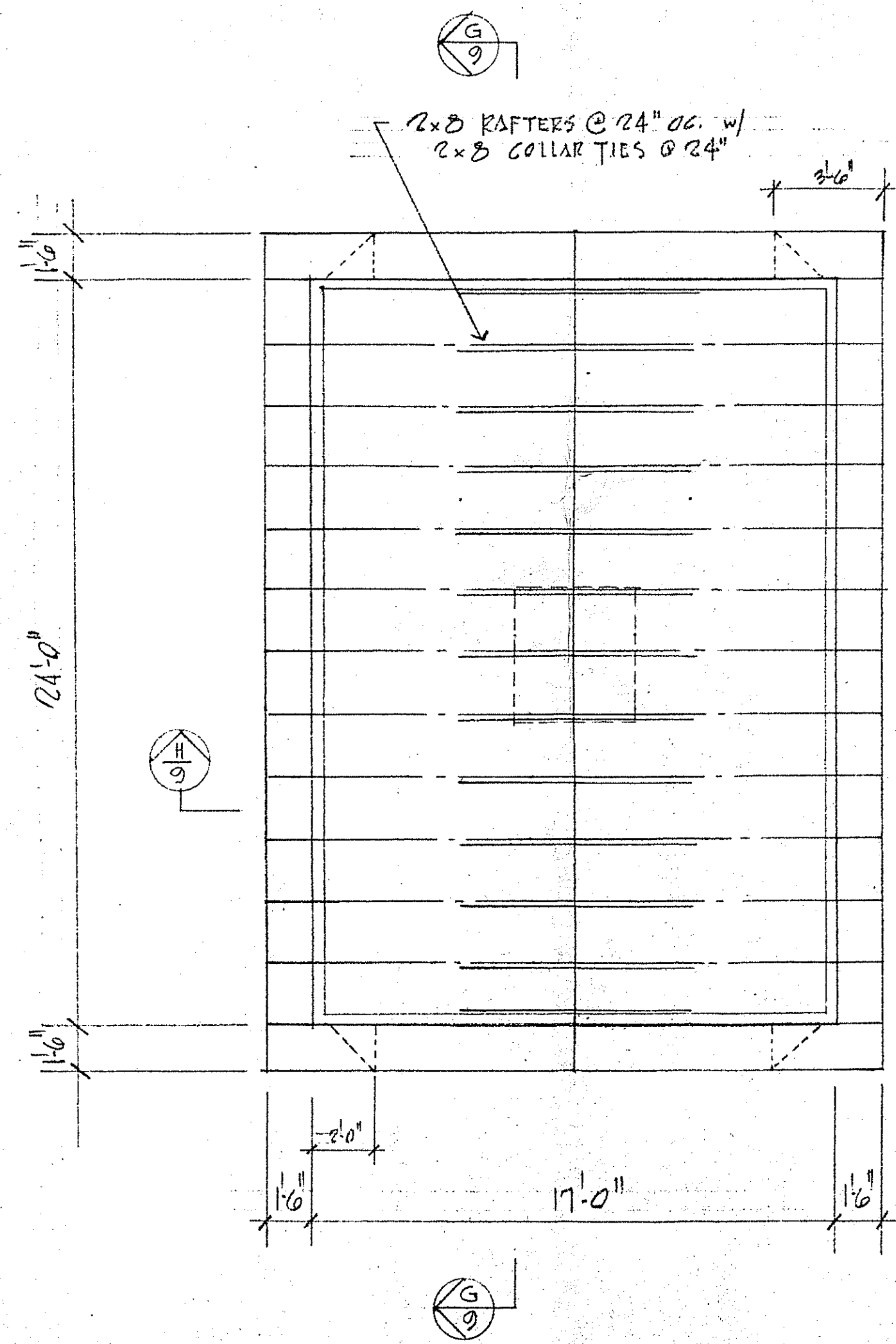
DATE: 24 FEB 05

HORSMAN HOMES INC.
ROCKVILLE, MD TEL: 301-924-4774

APPROVED
Montgomery County
Historic Preservation Commission
DD 2/24/05

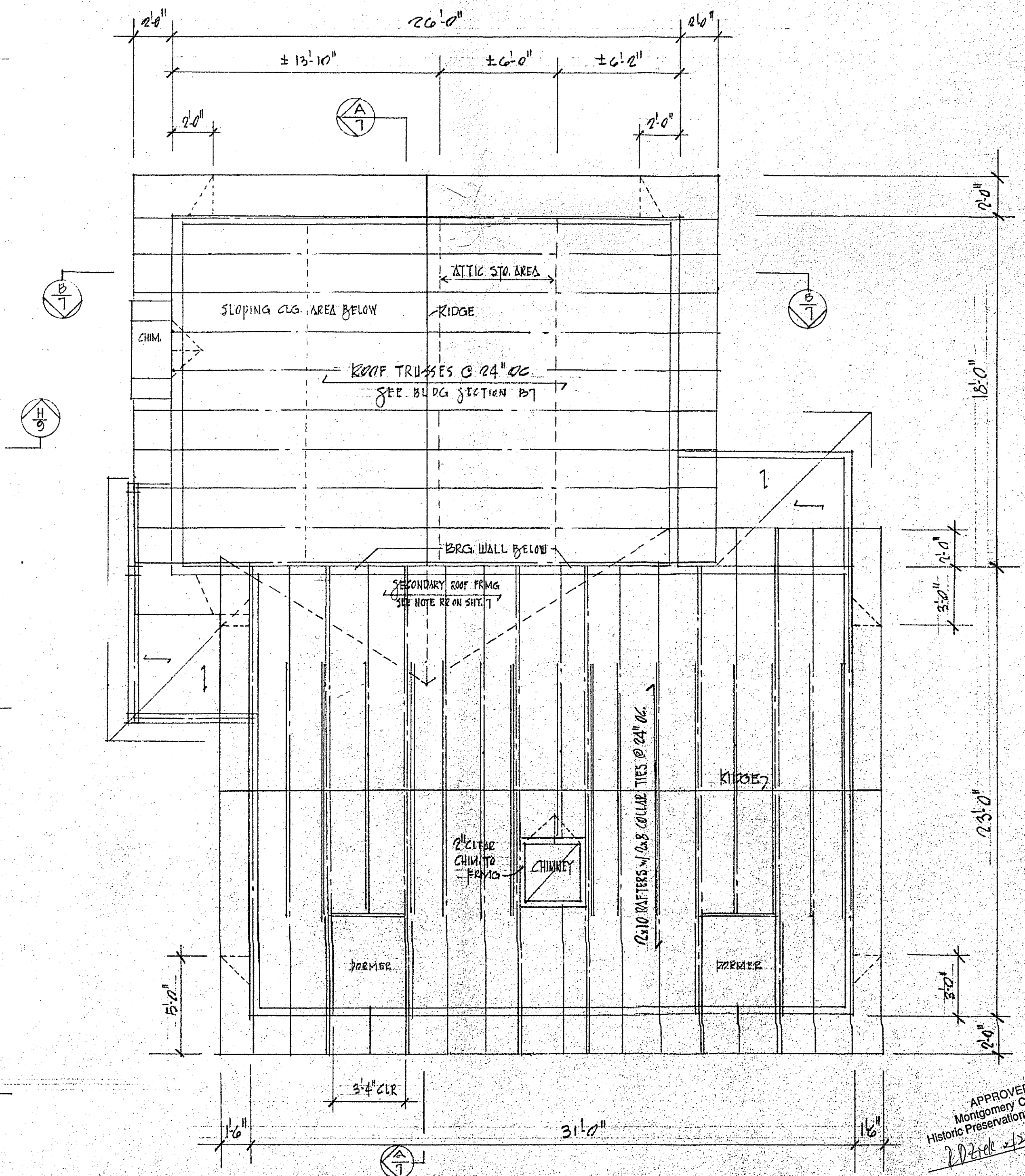


APPROVED
 Montgomery County
 Historic Preservation Commission
 PD 2/24/05

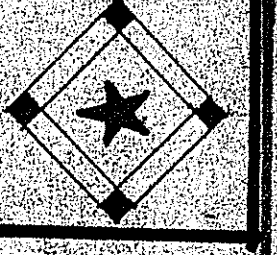


ROOF FRAMING PLAN

1/4" = 1'-0"



proposed new construction at:
NORTH STREET LOT 2
BROOKVILLE MD

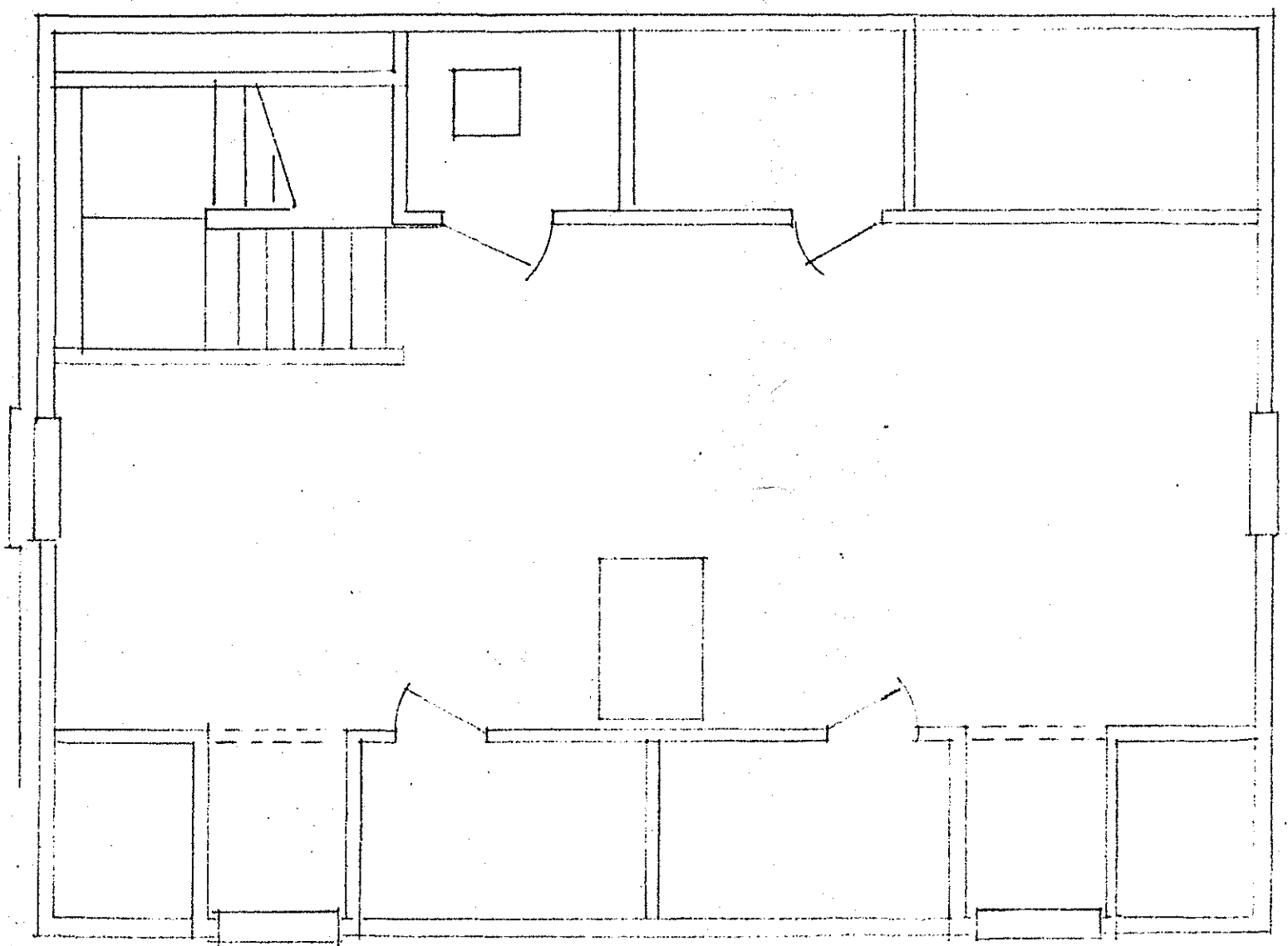


DATE:
24 FEB 05

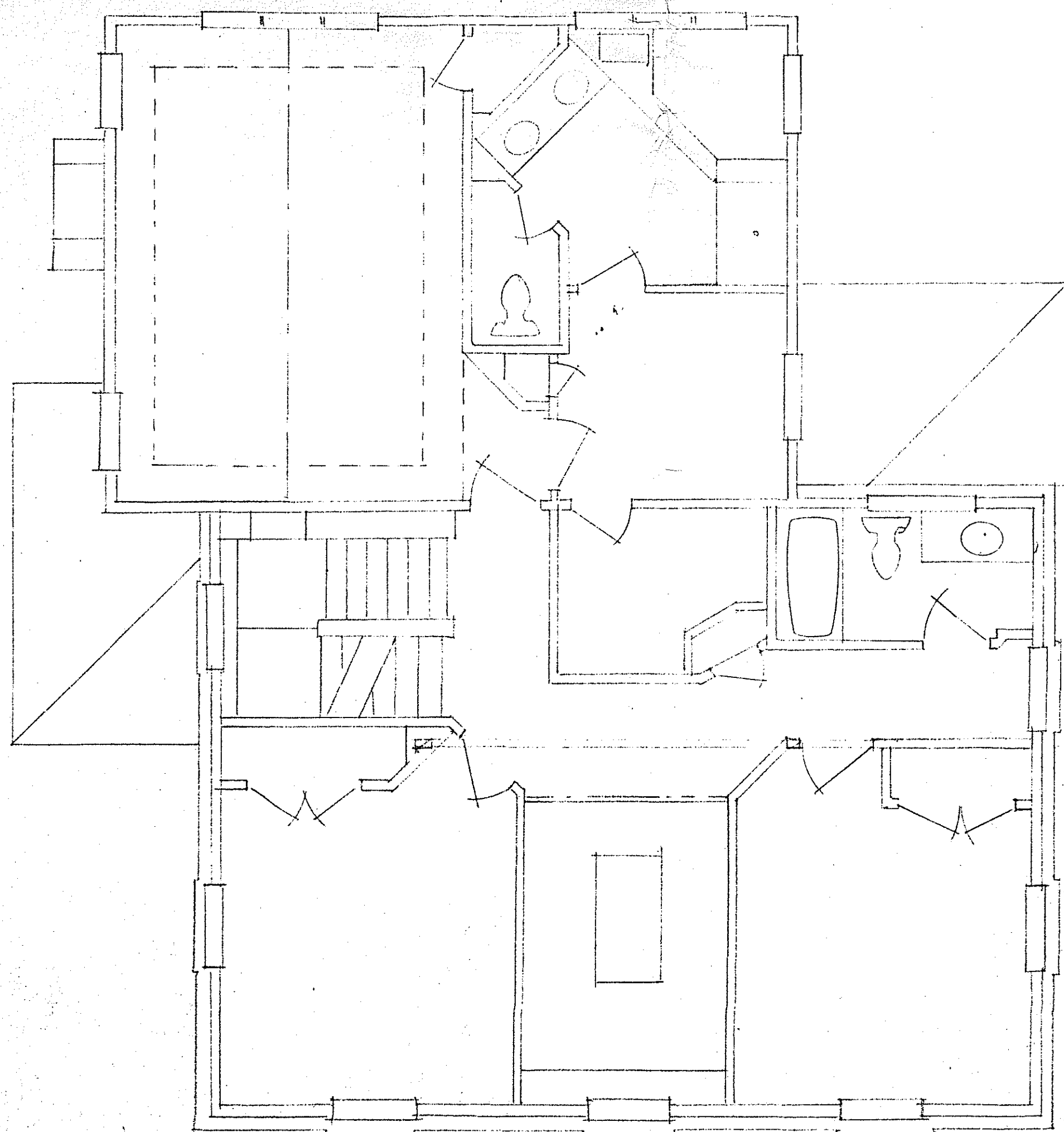
HORSMAN HOMES INC.
ROCKVILLE, MD TEL: 301-924-4774

SHEET
11

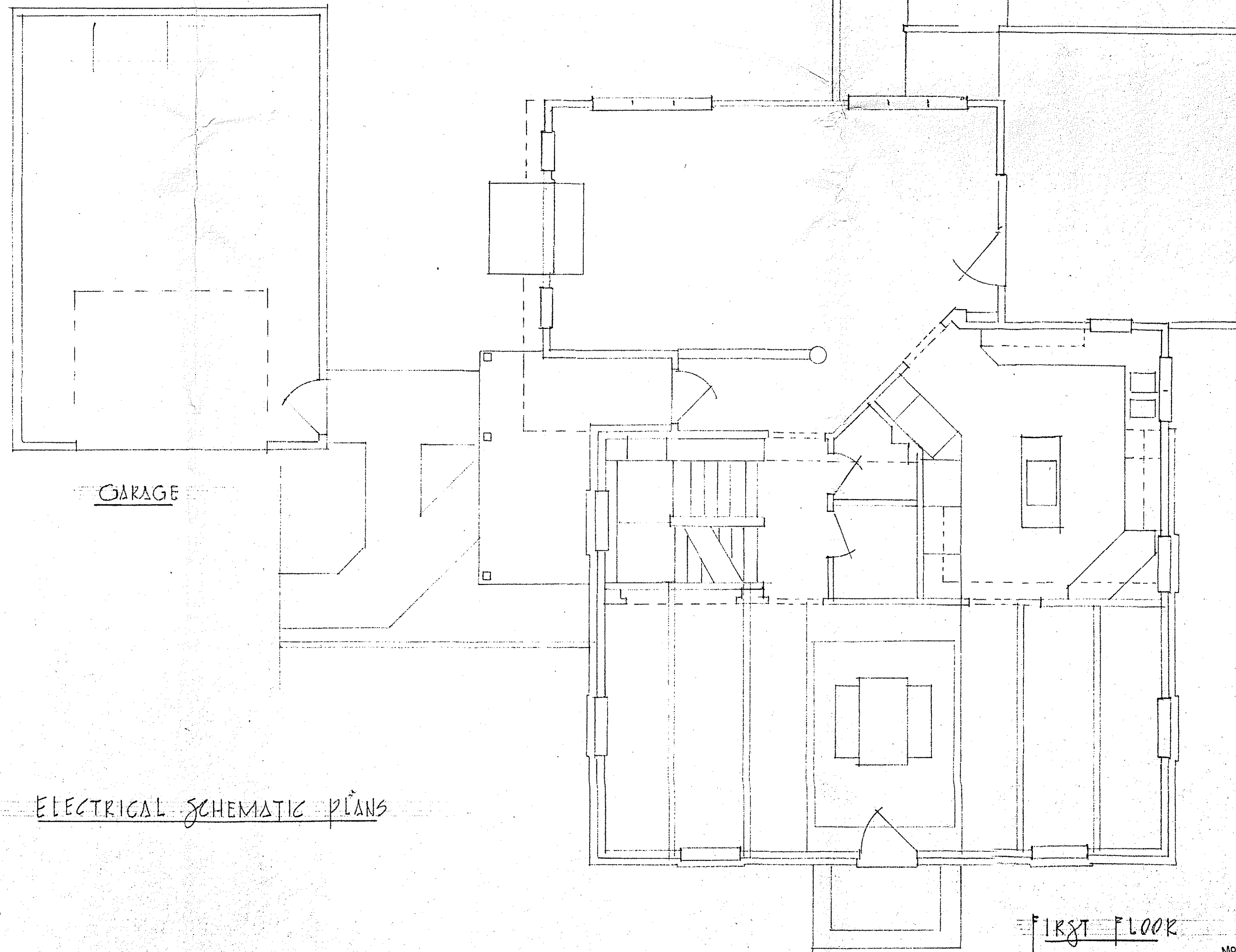
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Montgomery County
Historic Preservation Commission
2/27/05 2/27/05



LOFT LEVEL



SECOND FLOOR



FIRST FLOOR

ELECTRICAL SCHEMATIC PLANS

ELECTRICAL POWER LEGEND

OUTLET - DUPLEX @ 16 INCHES AFF UNLESS NOTED
 ALSO: WP = WEATHERPROOF CAP
 OUTLET - DUPLEX WITH BOTTOM HALF SWITCHED CONTROLLED
 OUTLET - HIGH VOLTAGE
 OUTLET - EXISTING - TO REMAIN UNLESS NOTED
 WALL SWITCH @ 48 INCHES AFF UNLESS NOTED
 WALL SWITCH - THREE WAY
 WALL SWITCH - DIMMER CONTROL
 WALL SWITCH - EXISTING TO REMAIN UNLESS NOTED
 DIRECT WIRE TO MOTOR/APPLIANCE, ETC.

LIGHT FIXTURE LEGEND

CEILING MOUNTED
 HANGING OR PENDANT MOUNTED
 WALL MOUNTED
 RECESSED - DOWNLIGHT UNLESS NOTED
 ADJUSTABLE SOCKET: 'A'
 EYEBALL SOCKET: 'B'
 WALL WASHER LID: 'W'
 TUB/SHOWER LIGHT: 'WP'
 FLUORESCENT TUBE FIXTURE
 FLOOD LAMPS (TWIN)

OTHER WIRED DEVICES

TELEPHONE OUTLET @ 16 INCHES AFF UNLESS NOTED
 NEW UNLESS NOTED 'E' FOR EXISTING
 AUDIO - VIDEO - COMPUTER STATION
 CABLE TV OR CENTRAL ANTENNA OUTLET: 'TV'
 COMPUTER ACCESS OUTLET: 'C'
 CHIMES - WALL MOUNTED WITH DOORBELL: 'DB'
 SMOKE DETECTOR - INTERCONNECTED, DIRECT WIRED WITH BATTERY BACKUPS
 EXHAUST FAN
 THERMOSTAT

ELECTRICAL NOTES

- ELECTRICAL CODES TO GOVERN OVER INFORMATION SHOWN ON THIS DRAWING.
- PROVIDE GROUND FAULT INTERRUPT (GFI) DEVICES WHERE REQUIRED BY CODE.
- ALL HEIGHTS NOTED AS DISTANCE ABOVE FINISHED FLOOR LINE TO BOTTOM OF ELECTRICAL BOX.
- MAINTAIN PROPER CLEARANCES FOR ALL LIGHT FIXTURES INCLUDING RECESSED LIGHTS AT INSULATED SPACES - PROVIDE FIXTURES APPROVED FOR INSULATION CONTACT WHERE NECESSARY.

KEVIN MCKENNA ARCHITECT
 40381-3817
 P.O. BOX 722 COLUMBIA, MD 21046-0722

proposed new construction at:
 NORTH STREET LOT 2
 BROOKVILLE MD

DATE:
 24 FEB 05

HORSMAN HOMES INC.
 ROCKVILLE, MD TEL: 301-934-4774

APPROVED
 Montgomery County
 Historic Preservation Commission
 2/27/05

SHEET
 12



M-NCPPC ARCHIVES
Records Chain of Custody Form

Requestor Information

Requestor Name: Kevin Manarolla

Requestor Department, Division: MCPL:FPP: HP

Requestor Phone: 301-563-3400

Requestor Email: Kevin.Manarolla@montgomeryplanning.org

Location: MRO

Date of Request: 01/16/2020

Records Information

Record Accession	Record Box ID	Office of Record	Record Type
21-15	04	Historic Preservation Office	HAWP

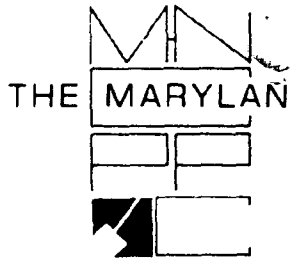
This box should be returned to M-NCPPC Archives when no longer needed for reference by the requestor.

To arrange transfer, please contact M-NCPPC Archives:

12751 Layhill Road, Silver Spring, Maryland 20906

301-929-7814

Archives@mncppc.org



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring Maryland 20910-3760

FAX TRANSMITTAL SHEET

Design, Zoning, & Preservation Division
(301)495-4570 (Telephone)

(301)495-1307 (Fax Number)

TO: Miche Booz FAX NUMBER: 774-1908

FROM: Robin Zick PHONE NUMBER: 495-4570

DATE: JULY 3, 1995

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 6

NOTE:

Miche - Here are the North St. Drawings - plans +

elevations - I'm sending by mail Ledger-sized copies

which should be easier to read - Call me if

you have more questions/Comments - Thanks - Robin

Verification Report

Date: Jul 03

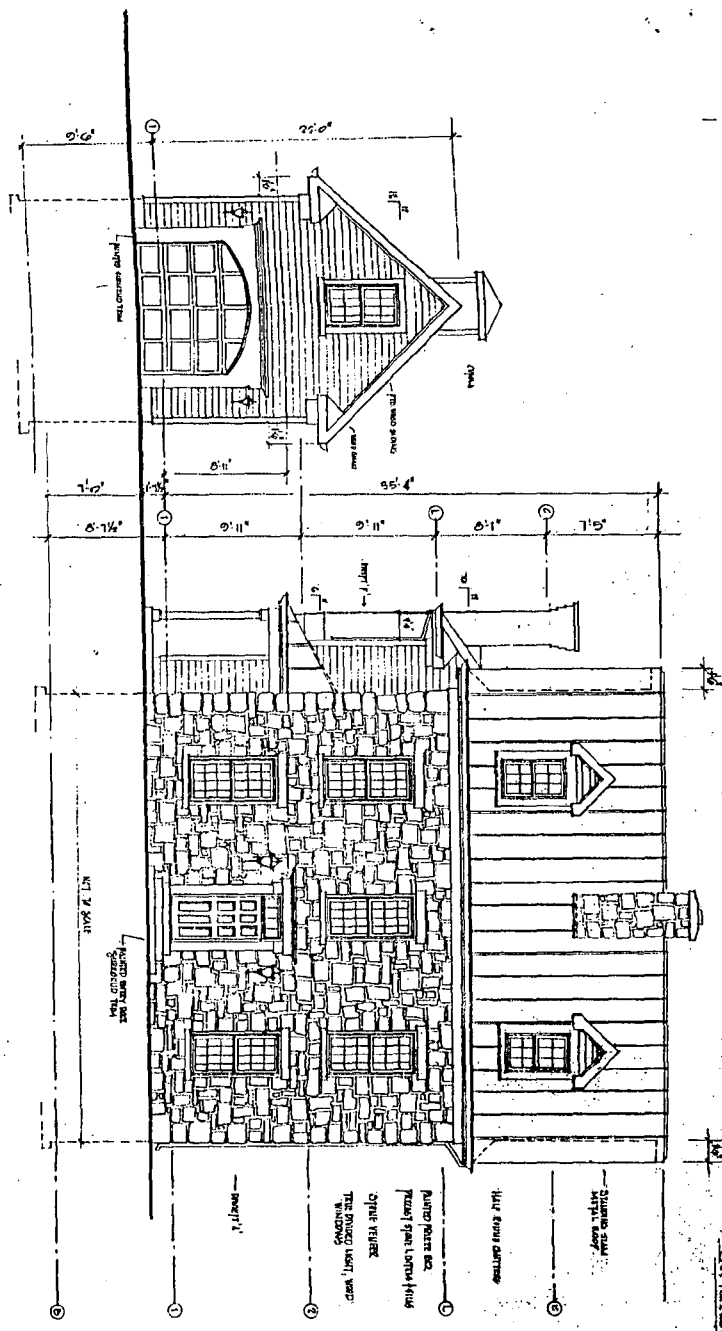
Time: 09:37AM

6 pages sent to:

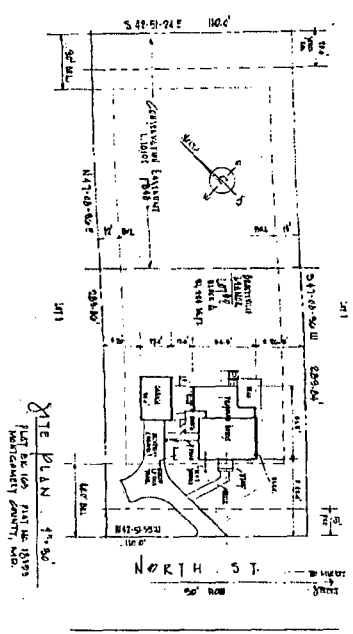
97741908

Transmission time: 00:04:23

Result: Transmission OK



FRONT ELEVATION
1/4" = 1'-0"
(WEST)



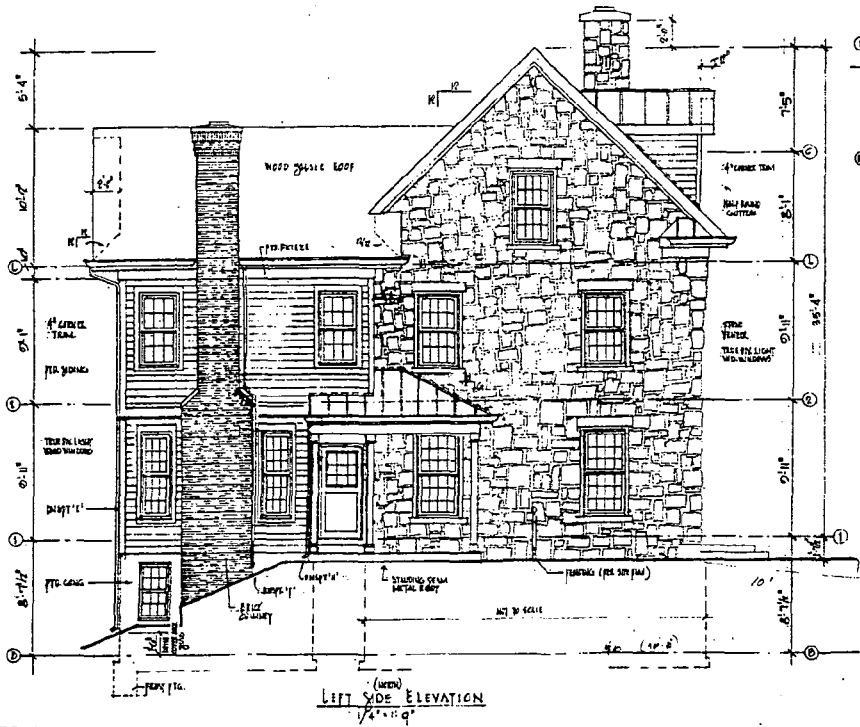
NOTE: PLAIN 4" x 6" PILING IS TO BE USED FOR FOUNDATION.

Finish floor elevations.

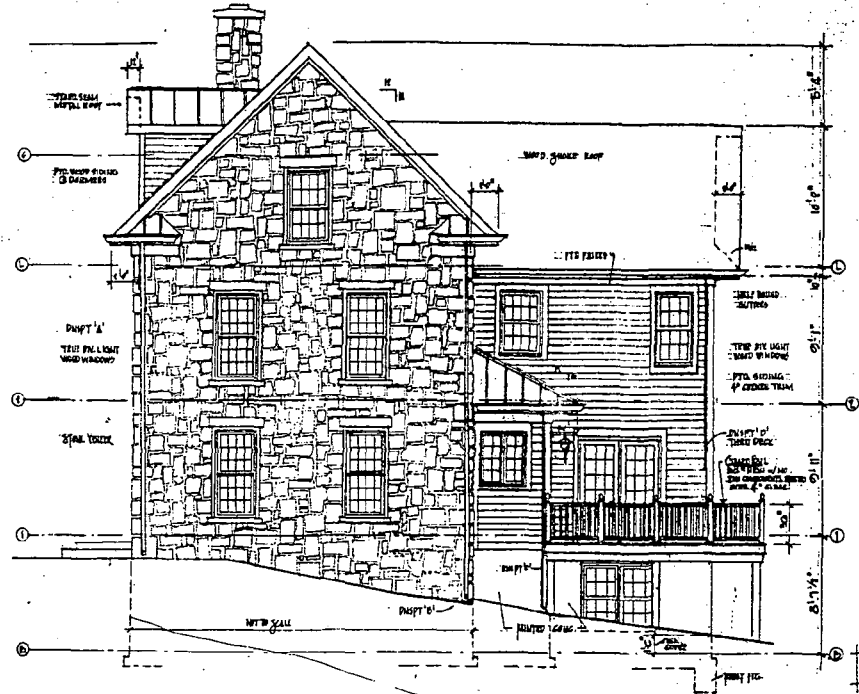
GENERAL NOTES:
 1. All building work shall conform with the provisions of all applicable codes and regulations.
 2. The contractor shall be responsible for obtaining all necessary permits.
 3. All work shall be done in accordance with the approved plans and specifications.
 4. The contractor shall be responsible for the accuracy of all measurements and dimensions.
 5. The contractor shall be responsible for the quality of all materials and workmanship.
 6. The contractor shall be responsible for the safety of all workers and the public.
 7. The contractor shall be responsible for the protection of all existing utilities and structures.
 8. The contractor shall be responsible for the cleanup of all construction debris.
 9. The contractor shall be responsible for the completion of all work within the specified time frame.
 10. The contractor shall be responsible for the payment of all bills and taxes.

HORSMAN HOMES, INC.
 BROOKVILLE, MD. TEL. 501-524-1171

CONTRACT AND CONSTRUCTION
 10000 N. STATE STREET, LOT 2
 BROOKVILLE, MD.



(LEFT)
LEFT SIDE ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"
(RIGHT)

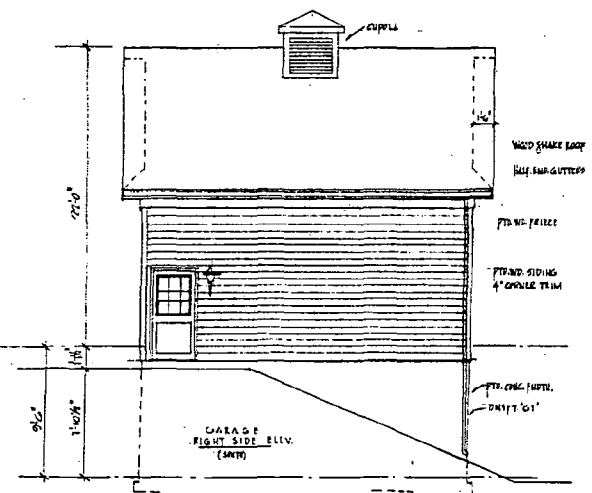
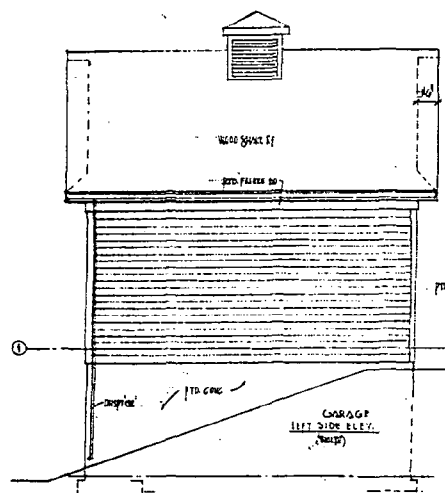
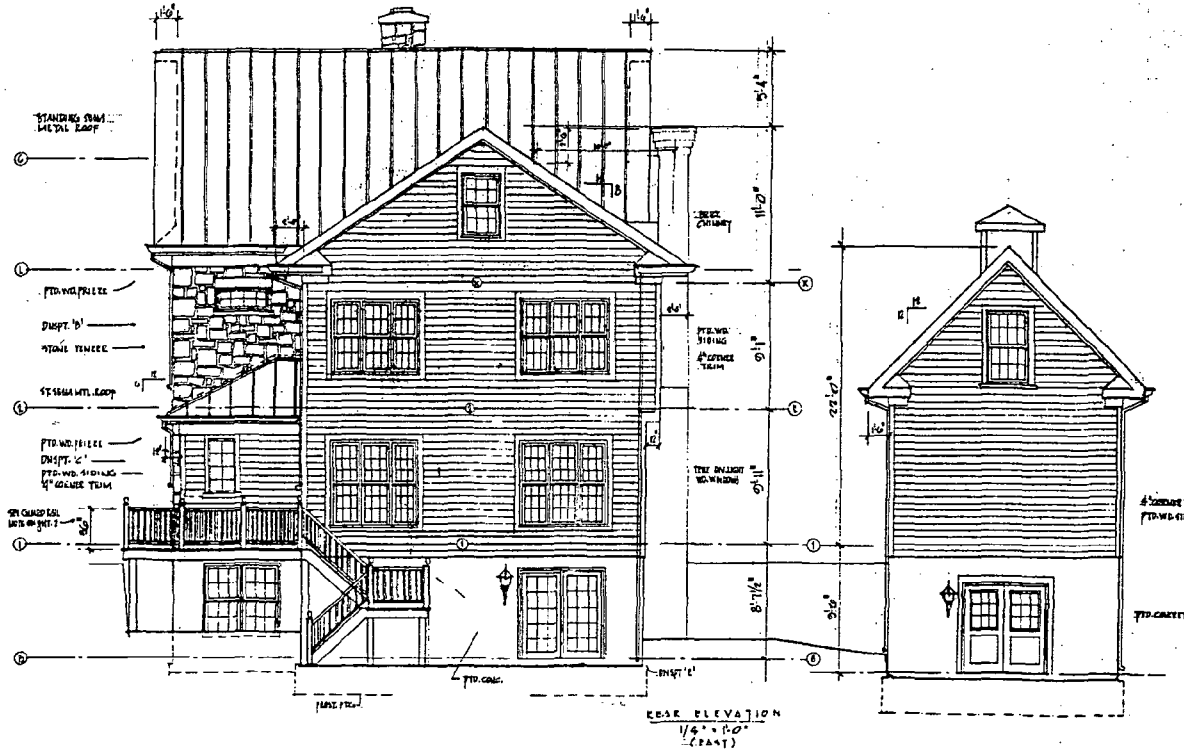
1 - Details of window shown on page 1
 2 - Details of porch shown on page 1
 3 - Details of roof shown on page 1
 4 - Details of stone shown on page 1
 5 - Details of siding shown on page 1
 6 - Details of porch railing shown on page 1
 7 - Details of stone shown on page 1
 8 - Details of stone shown on page 1
 9 - Details of stone shown on page 1
 10 - Details of stone shown on page 1

APPROVED
 Montgomery County
 Historic Preservation Commission
 1/28/2008

SEE NOTES ON SHEET 1

OFFICE OF HISTORIC PRESERVATION
 1015 NORTH STREET
 BROOKVILLE, MD
 21771

SHEET
2



Prepared by Construction
 1001 NORTH STREET
BROOKVILLE, MD

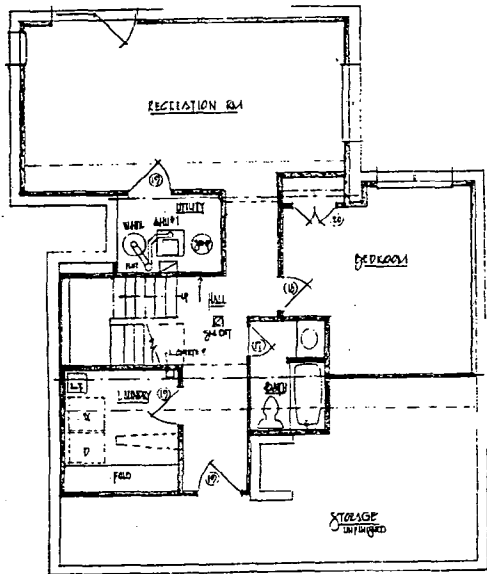
DATE: 24 FEB 05

APPROVED
 Montgomery County
 Planning & Zoning Commission
 JUDGE ADAMS

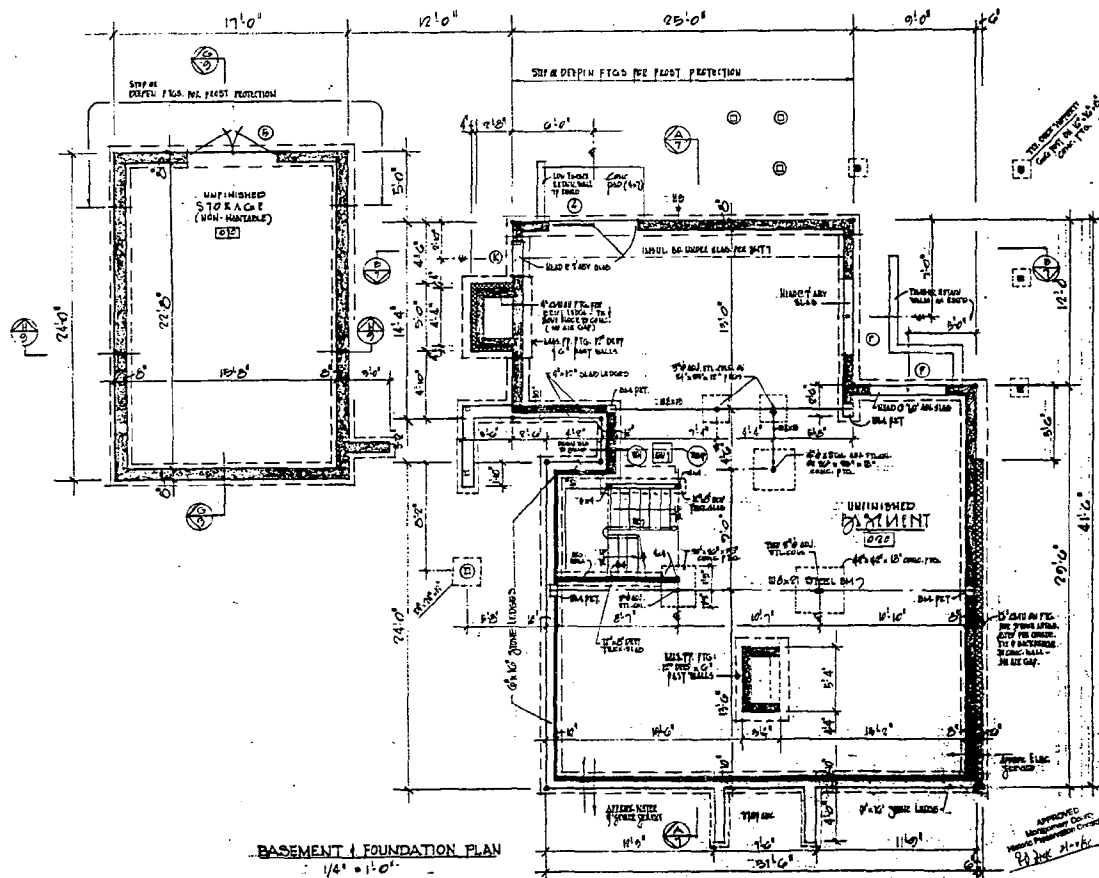
SHEET
8

SEE NOTICES ON SHEET 7

SEE NOTES ON SHEET 7

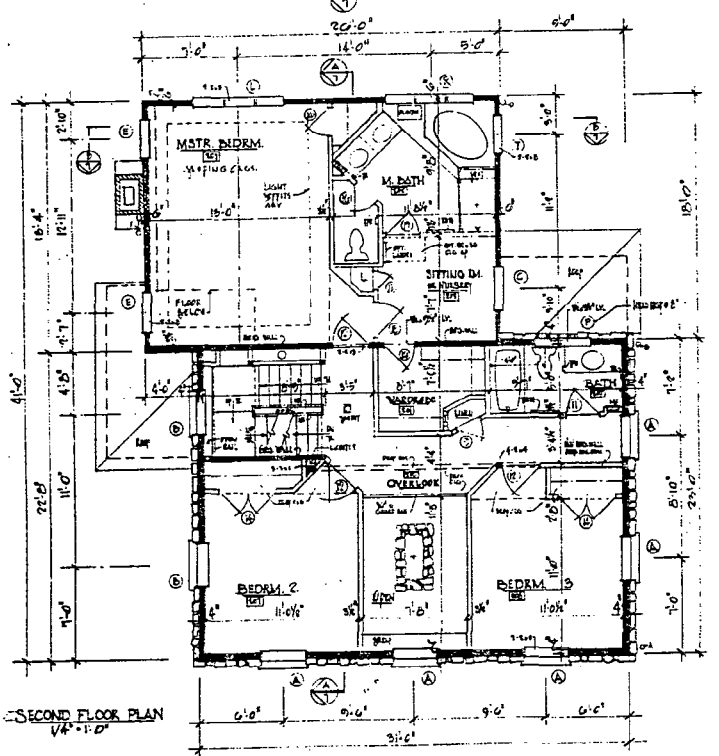
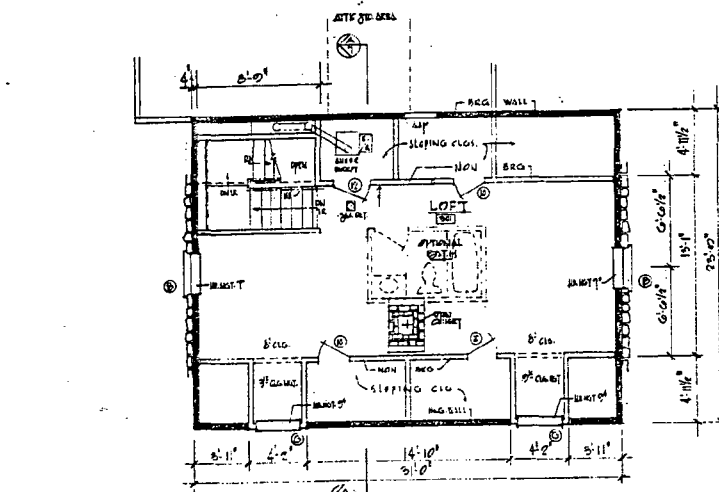


OPTIONAL FINISHED BASEMENT PLAN
SCALE: 1/4" = 1'-0"

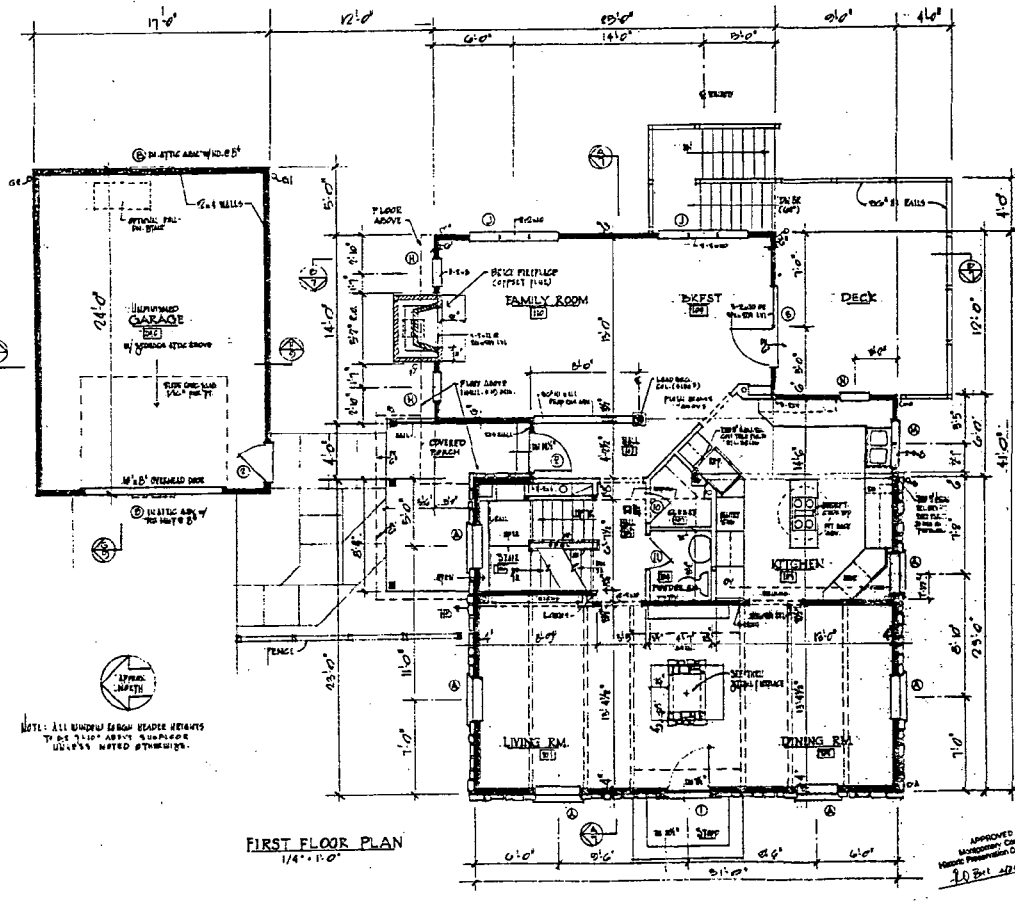


BASEMENT I FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

PROPOSED NEW CONSTRUCTION
NORTH STREET LOT
BROOKVILLE MD
DATE: 24 FEB 06
WILLIAM HEDDES INC
ENGINEERS ARCHITECTS
SHEET 4



SECOND FLOOR PLAN
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"

CROSS SQUARE FOOTAGE

1187	FIRST FLOOR (HEATED)
1098	SECOND FLOOR (HEATED)
602	OPEN
2870	
400	LOFT (HEATED)
2470	TOTAL
400	GARAGE
172	STORAGE (UNDER GARAGE)
1092	BASEMENT (NET)

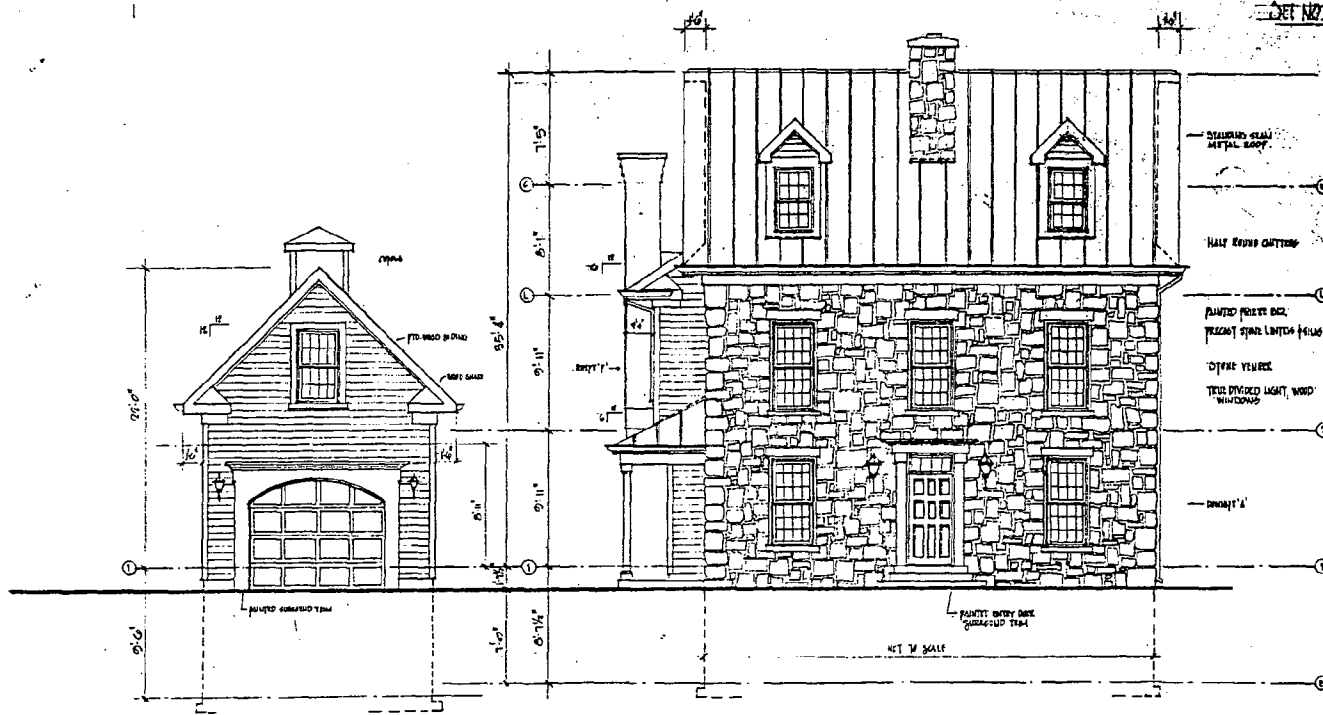
SEE NOTES ON SHEET

PROPOSED NEW SUBSTITUTION AT
 NORTH STREET CORNER
BROOKVILLE MD

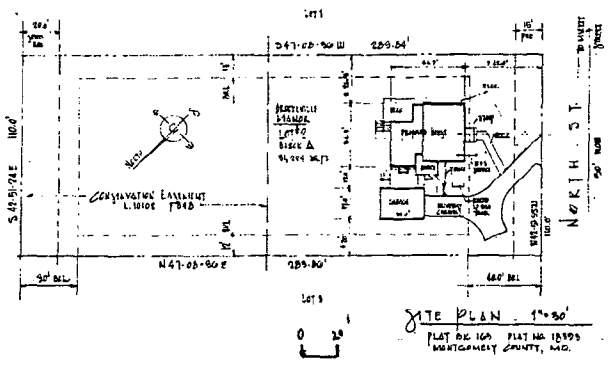
DATE: 02 FEB 06

HOBBSMAN TOMES, INC.
 BROOKVILLE, MD 21030

APPROVED
 Montgomery County
 Health Department
 10.31.06



FRONT ELEVATION
1/4" = 1'-0"
(WEST)



GENERAL NOTES:

- 1) Building codes shall govern over these drawings in all cases.
- 2) Refer to Project Manual/Specifications for additional information.
- 3) Do not scale drawings, written dimensions shall govern.
- 4) Check all dimensions prior to starting work.
- 5) Verify all plumbing, electrical and mechanical requirements.
- 6) Every attempt has been made to create a set of accurate construction documents. That work or omissions shall be the responsibility of the contractor. The architect shall not be held liable for any faulty construction based on these drawings.
- 7) NOTICE: use of these drawings is hereby limited to the sole purpose of construction of the above described project. No other use, reproduction, or distribution is permitted without the express written permission of the architect.
- 8) CONTRACTOR: shall be responsible for the accuracy of the data used in any utility location reports. It shall be the contractor's responsibility to verify the accuracy of the data.

APPROVED
Morgan County
Health Department
[Signature]

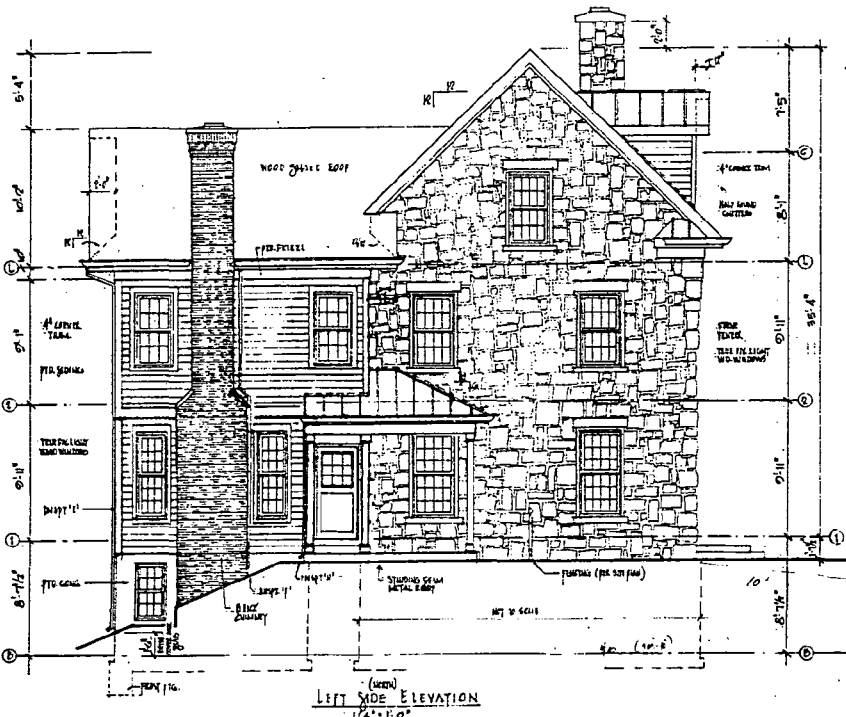
SEE NOTES ON SHEET 7

FORWARD: JOHN W. HORSMAN, INC.
1000 S. MAIN ST.
BROOKVILLE, MD

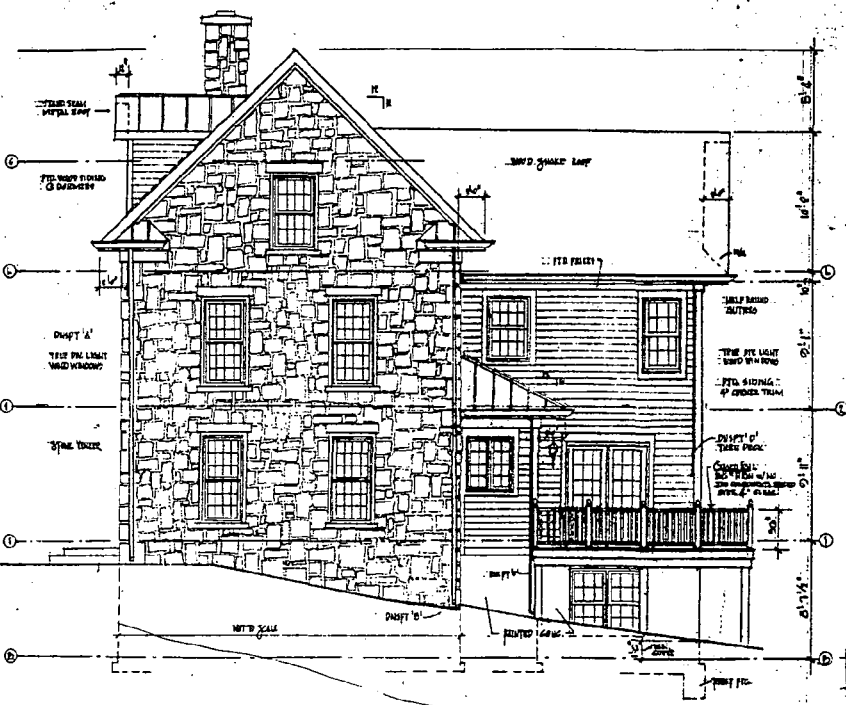
DATE: 04-17-25

THORSMAN HOMES, INC.
BROOKVILLE, MD TEL: 301-524-1171

[Logo]



LEFT SIDE ELEVATION
1/2" = 1'-0"



RIGHT SIDE ELEVATION
1/2" = 1'-0"
(3/4)"

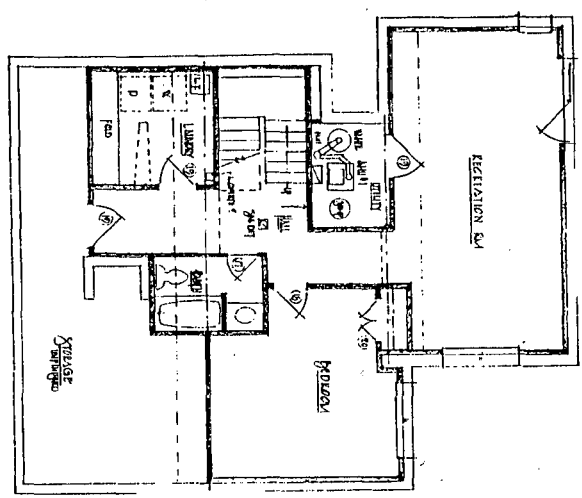
1. - Finish of stone masonry to be as shown in detail.
 2. - Stone masonry to be as shown in detail.
 3. - Ground level to be as shown in detail.
 4. - See notes on sheet 1 for details.
 5. - See notes on sheet 1 for details.
 6. - See notes on sheet 1 for details.
 7. - See notes on sheet 1 for details.
 8. - See notes on sheet 1 for details.
 9. - See notes on sheet 1 for details.
 10. - See notes on sheet 1 for details.

APPROVED
 ARCHITECT
 JAMES H. HARRIS
 10000 BROOKVILLE RD.
 BROOKVILLE, MD.

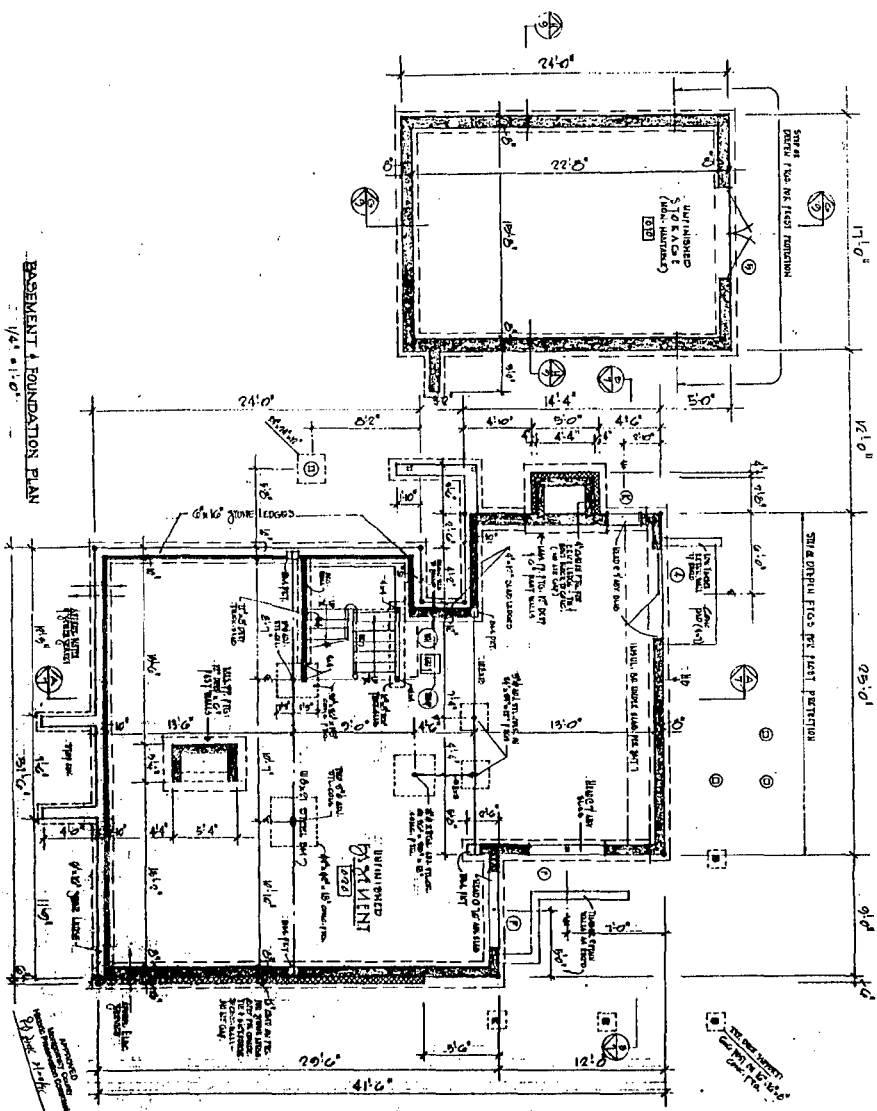
SEE NOTES ON SHEET 1

JAMES H. HARRIS
 ARCHITECT
 10000 BROOKVILLE RD.
 BROOKVILLE, MD.
 DATE: 24 FEB 66
 SHEET 2

OPTIONAL FINISHED BASEMENT PLAN
Scale: 1/4" = 1'-0"



BASEMENT & FOUNDATION PLAN
Scale: 1/4" = 1'-0"



SEE NEXT SHEET

ROBERTSON HOMES, INC.
 1000 W. 10th St. - Tulsa, Okla. 74106
 TEL: 331-1111

DATE: 11/11/01
 SHEET: 11

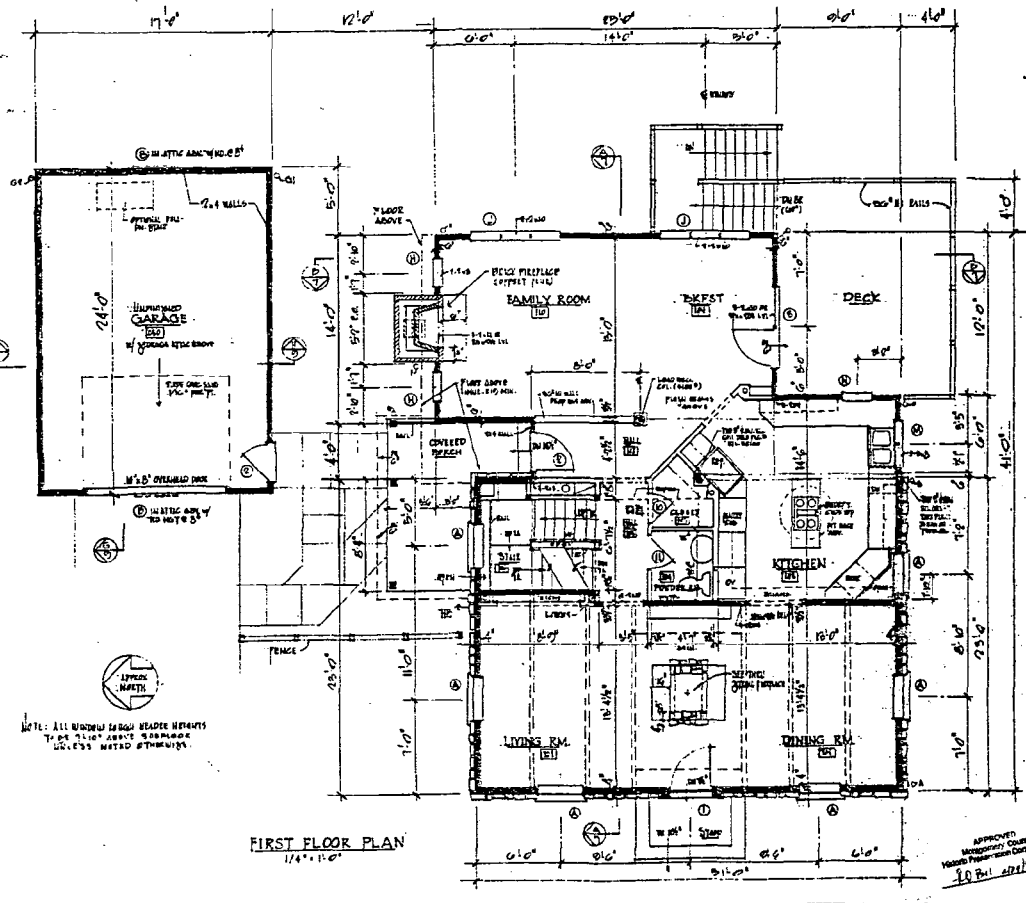
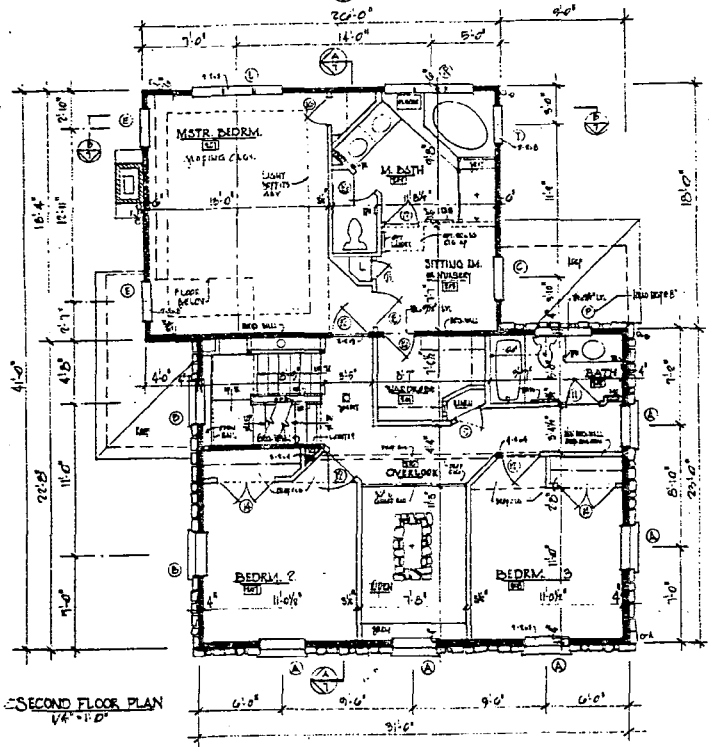
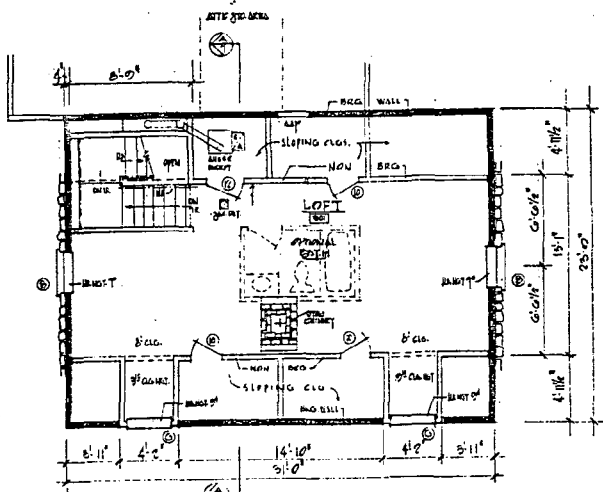
PROPOSED NEW CONSTRUCTION P.L.
 NORTH STREET LOT 2
 BROOKVILLE MD

OWNER: [REDACTED]
 ARCHITECT: [REDACTED]

DATE: [REDACTED]
 SHEET: [REDACTED]

SEE NOTES ON SHEET

GROSS SQUARE FOOTAGE	
1180	FIRST FLOOR (HEATED)
1098	SECOND FLOOR (HEATED)
862	LOFT
2370	TOTAL
200	LOFT (HEATED)
2770	TOTAL
400	GARAGE
172	STORAGE (UNDER GARAGE)
10925	BASEMENT (NET)



NOTE: ALL WINDOWS IN ROOM BEARING HEREON TO BE FINISH JAMB & CASING TO LESS MITER STITCHING.

Proposed new construction at
 NORTH STREET 104
 BROOKVILLE MD

DATE 24 FEB 95

HORSMAN-JONES INC
 BROOKVILLE, MD 21030

APPROVED
 MONTGOMERY COUNTY
 HEALTH DEPARTMENT
 20 FEB 95

SHEET 2

5/30/95

I met w/ Doug Hosenauer @ site 5/26/95. Identified problem -

Grade @ North St. c. 417'

Grade for 1st fl = c. 418 - 7 1/2" (+20")
(÷ 3 steps up.)

The basement level feels above - @ 410.

But Mrs. Moneghan's property is ca. 406/7 above -
so she is worried about the proposed extent of the bldg
from Market st.

HPC concerns focused on relationship of North St to
front elevation - maintaining base close to grade above -
which it will do.

Doug can meet the drawings with fill (ca. 150 trucks)

He said when it is time for the landscaper to
get out above, he will make the Moneghan's to
give their thoughts/comments.

I told him HPC staff wants to comment
too -



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: Feb 27, 1995

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



RETURN TO: Department of Environmental Protection
 Division of Development Services and Regulation
 250 Hungerford Drive, Rockville, Maryland 20850
 (301) 217-6370

Historic Preservation Commission
 (301) 495-4570

APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON _____
 DAYTIME TELEPHONE NO. () _____

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER Hon. Elias L. Horsman DAYTIME TELEPHONE NO. (301) 924-4774
 ADDRESS 15708 Sycamore Grove Ct. Rockville Md. 20853
CITY STATE ZIP CODE

CONTRACTOR Horsman Homes Inc. TELEPHONE NO. () _____
 CONTRACTOR REGISTRATION NUMBER _____

AGENT FOR OWNER _____ DAYTIME TELEPHONE NO. () _____

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 1 STREET North Street
 TOWN/CITY Brookville Md. NEAREST CROSS STREET Market street
 LOT #2 BLOCK _____ SUBDIVISION Brookville Manor
 LIBER _____ FOLIO _____ PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____

1B. CONSTRUCTION COST ESTIMATE \$ \$150,000.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches

3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Signature of owner or authorized agent _____ Date 11/30/94

APPROVED _____ For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature [Signature] 2/27/95

APPLICATION/PERMIT NO: 941130070 DATE FILED: _____ DATE ISSUED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Vacant approved building lot in Brookville Historic district on
North Street.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Construct a 2 1/2 story single family dwelling compatible with the
existing Historic Resources within the Brookville Historic District

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: Lot 2, North Street	Meeting Date: 1/11/95
Resource: Brookeville Historic District	Review: HAWP/New Const.
Case Number: 23/65-94F	Tax Credit: No
Public Notice: 12/28/94	Report Date: 1/4/95
Applicant: Douglas Horsman	Staff: David Berg
PROPOSAL: New Construction of Single Family Dwelling	RECOMMEND: Approve with conditions

BACKGROUND

RESOURCE: Brookeville Historic District

PROPOSAL:

This proposal for new construction was the subject of a Preliminary Consultation before the Commission on November 16, 1994.

The applicant presented revised drawings and a HAWP application for the December 21, 1994 HPC meeting. The staff report suggested that there were still too many unresolved issues to recommend approval. The applicant subsequently requested a postponement in order to modify the proposal. The current proposal is the result of those modifications.

This HAWP is for a 2 1/2 story dwelling consisting of a traditional stone "I" house side gabled front section with a more modern looking extension off the rear of the stone section. The intention is to create the appearance of an original "I house" having a later "rear addition."

The front section will be constructed of stone, having a central stone chimney, standing seam metal roof, and true divided light wood windows. The rear "addition" would be of frame construction utilizing wood clapboard siding, true divided light windows and multi-light patio doors.

A detached one car garage is proposed just north of the house. The garage would be frame with clapboard and wood trim to match the house.

Issues at the Preliminary Consultation:

Staff's concerns at the Preliminary Consultation focused on the following issues:

1) Character and visibility of the South Elevation (right side):

As staff has discussed at several HPC meetings, the preservation of the historic meadow corridors north of Market Street and parallel to North Street is an important goal for historic preservation in this part of the Brookeville Historic District.

- o Staff was concerned that the applicant's original design for the South Elevation was complicated, having a double or twin pedimented gable as well as two decks: one on the first and one on the second story. The Commission agreed with the staff's concerns and asked the applicant to re-design the "rear addition" (South Elevation portion) to a less complicated design.

2) Size of the house:

Staff also felt that the size of the house was out of character with the majority of the houses in the Brookeville Historic District. While the Commission looked favorably upon a Preliminary Consultation for a 1,200 square foot (footprint) house on Lot 4, it was with the understanding that any proposal for Lot 4 could be larger than proposals for lots 2 and 3 since lot 4 is oriented differently from the road and nearly twice as large as these lots.

- o At the Preliminary Consultation Mr. Horsman stated that the proposal's footprint was 1,265 square feet. The Commission advised him that the house needed to be smaller in order to be compatible with the historic character of the area.

STAFF DISCUSSION

The comparisons made in this staff report are between the current proposal and the proposal presented at the preliminary consultation.

Current Issues:

1) Character and visibility of the South Elevation (right side):

The applicant has simplified the South Elevation to address the HPC's comments at the preliminary consultation. The rear twin gable has been eliminated from this elevation and the second floor deck has also been eliminated. A small one story hipped roof bay has been added to the rear of the stone section. Staff feels that the applicant has succeeded in meeting Commission's concerns on this issue.

2) Size of the house:

The original proposal's footprint was 1,265 square feet and the

Commission advised the applicant that the house should be smaller. The applicant has diminished the size of the house somewhat, and under the current proposal the house has a footprint of 1,189 square feet.

The applicant has also lowered the height of the "addition" roof, thereby decreasing the mass of the house. In order to know the exact height of the roof, and of other elements of the structure, staff urges the Commission to ask the applicant for height dimensions on the elevations before final approval.

Staff points out that the footprint of a house is only one component of the size of the house. Equally important are the massing, scale, and total square footage of the structure. The total square footage of the applicants's proposal adds up to 2,370 square feet. The presence of a walkout basement at the rear, gives the structure added mass.

As a point of comparison, staff measured the area of other houses in the vicinity of the proposal. 209 Market Street has a footprint of 1,335 square feet. This 1 1/2 story house has an approximate total area of 2,000 square feet.

208 Market Street has a footprint of 868 square feet, or an approximate total area of 1,740 square feet.

211 Market Street is a large and prominent house in the Brookeville Historic District. The original house has a footprint of about 800 square feet, with a total square footage of about 1600 square feet. A recent one story addition with a footprint of 650 square feet gives the house a total square footage of about 2,250.

- o At the Preliminary Consultation, the Commission asked the applicant to reduce the size of the house. The HPC essentially agreed with the staff recommendation that North Street should retain a significantly rural character with houses close to the road that would be smaller than the larger houses in the Brookeville Historic District. Although the applicant has made significant advances towards accommodating the Commission's suggestions by simplifying the design of the house, The footprint has not been significantly reduced, being only 76 square feet less than the original proposal.

Staff feels that the ideal house size for the lots on North Street would be similar in size to 208, or 209 Market Street - perhaps 2,000 square feet on 2 or 1 1/2 stories. Staff understands, however, that any such significant reduction in the size of the house will significantly change the design of the house. The Commission must decide whether the size of the current proposal is acceptable.

o

LOCAL ADVISORY PANEL COMMENTS

Before the December 21, 1994 HPC meeting, the Brookeville Local Advisory Panel (LAP) forwarded comments regarding the initial HAWP proposal to staff. Although the current proposal is somewhat different than the original HAWP proposal (smaller and simpler), staff will reiterate the comments that are still applicable:

- 1) The house should be solid stone or wood, but not both.
- 2) The roof should all be of one material, preferably all metal standing seam.
- 3) The house is too large. It takes up too much of the lot space, and is too high. (commenting on the 1,356 square foot plan originally presented in the HAWP application).
- 4) The proposal is too sketchy. It is ambiguous in its design and materials.

STAFF RECOMMENDATION

Staff recommends that the Commission, after discussing the size of the proposed house, find the proposal generally consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Standard 9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Subject to the following conditions:

- 1) Final drawings shall show all elevation heights.
- 2) All fenestration shall be wood with true divided lights.
- 3) All siding and trim shall be wood, no vinyl or aluminum shall be used.

and provided the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON _____
 DAYTIME TELEPHONE NO. () _____
 TAX ACCOUNT # _____
 NAME OF PROPERTY OWNER Don glas L. Horsman DAYTIME TELEPHONE NO. (301) 921-4774
 ADDRESS 15708 sycamore Grove Ct. Rockville Md. 20853
CITY STATE ZIP CODE
 CONTRACTOR Horsman Homes Inc. TELEPHONE NO. () _____
 CONTRACTOR REGISTRATION NUMBER _____
 AGENT FOR OWNER _____ DAYTIME TELEPHONE NO. () _____

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER _____ STREET North Street
 TOWN/CITY Brookville Md. NEAREST CROSS STREET Market street
 LOT #2 BLOCK _____ SUBDIVISION Brookville Manor
 LIBER _____ FOLIO _____ PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revalian Fence/Wall (complete Section 4) Single Family Other _____
 1B. CONSTRUCTION COST ESTIMATE \$ 150,000.00
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

 Signature of owner or authorized agent

 Date 11/30/94 (5)

THE FOLLOWING FORMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Vacant approved building lot in Brookville Historic district on
North Street.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Construct a 2 1/2 story single family dwelling compatible with the
existing Historic Resources within the Brookville Historic District

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

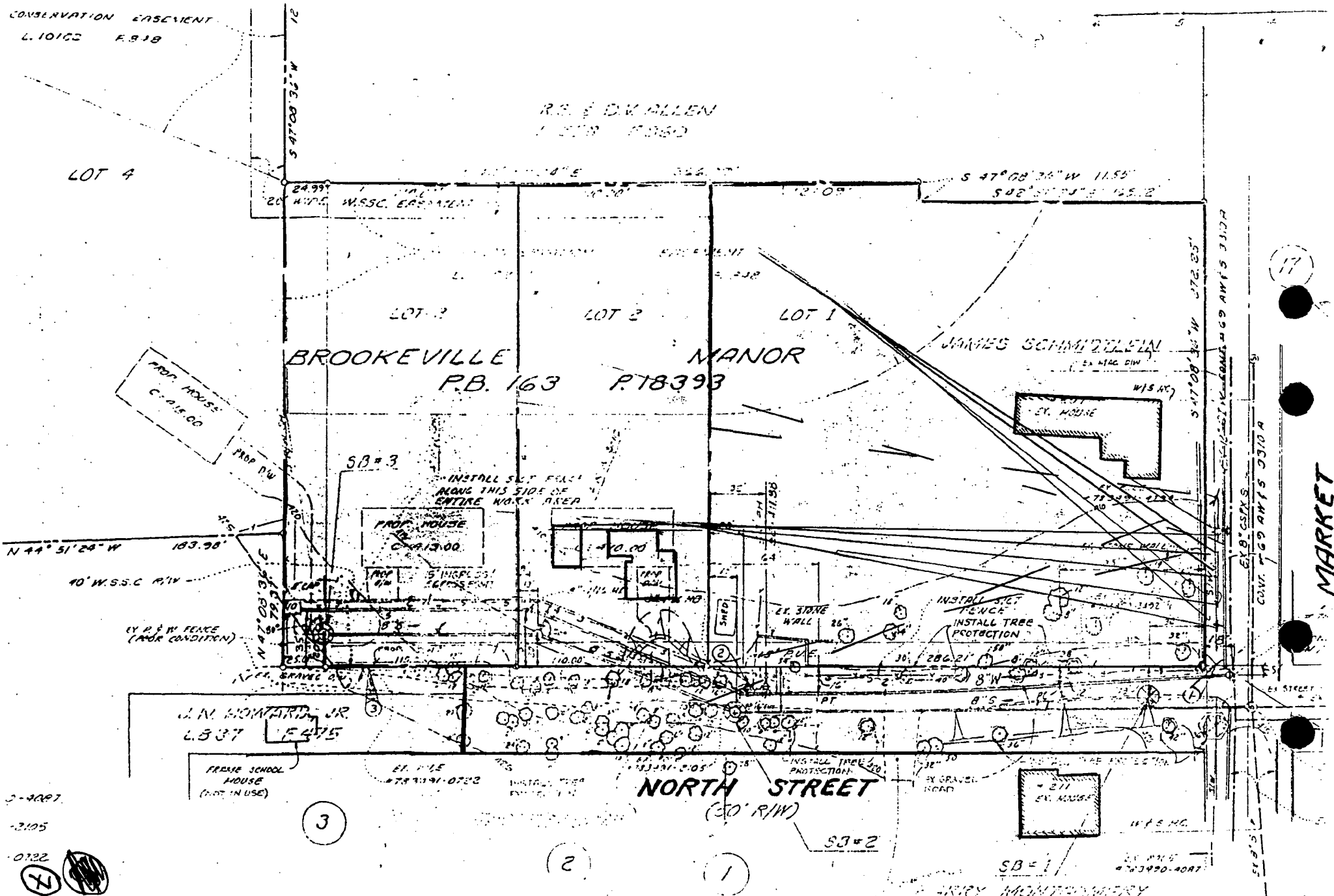
- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or 1 meter in diameter (at

6

CONSERVATION EASEMENT
L. 10162 E.B.19



2-9097
2-2105
0722



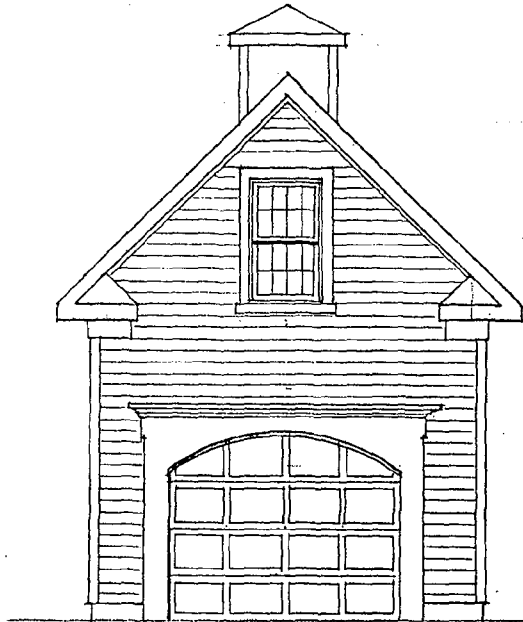
SCHEDULE	
GRADING TYPE	RESTORATION TYPE
I	PAVING 2" OR GRAVEL AS SHOWN

WATER AND SEWER LINES SHALL MAINTAIN ACCESS TO ALL PROPERTIES AT ALL TIMES.

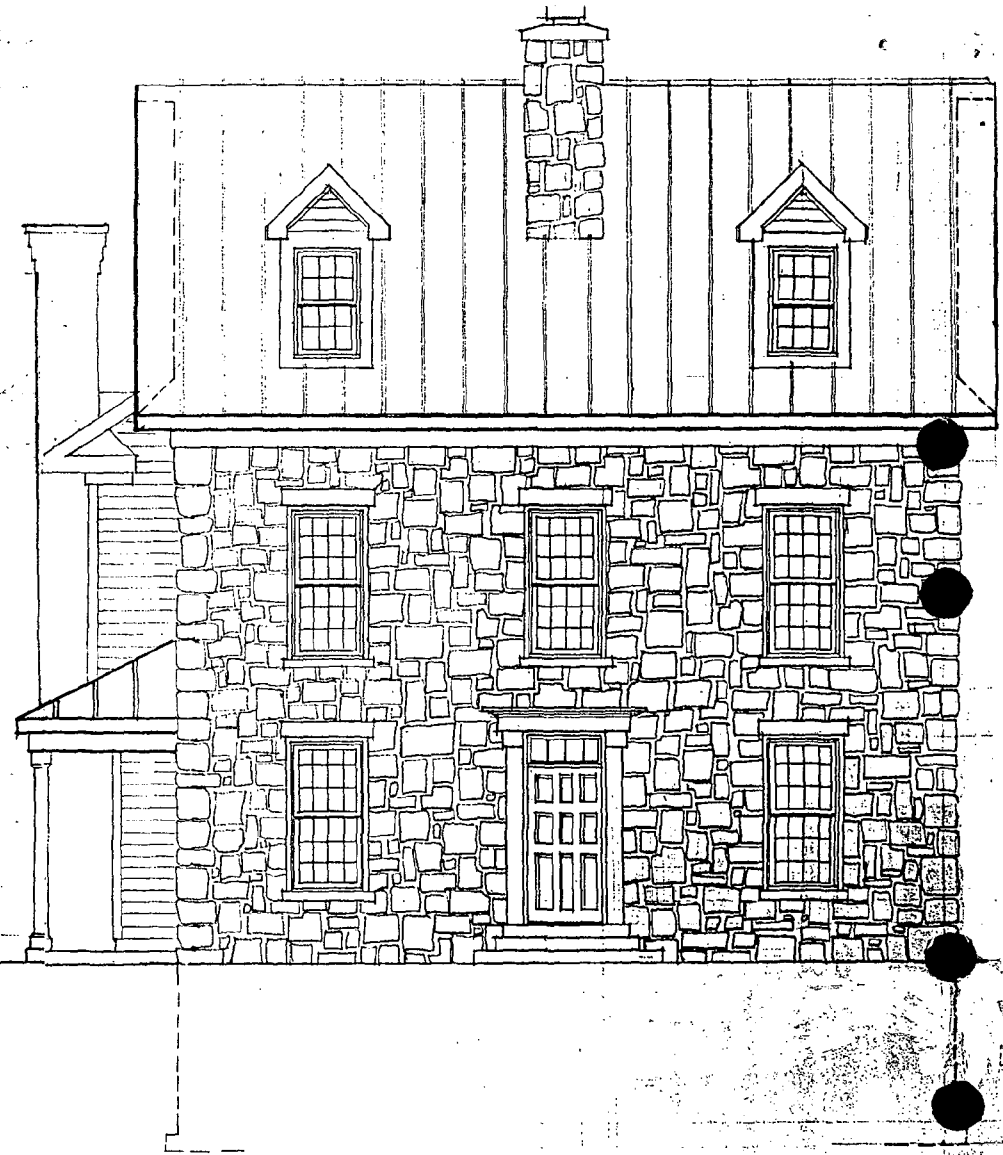
17

MARKET

HORSMAN HOMES
@ BROOKVILLE
28 DEC. 94



FRONT
ELEVATION



West Elevation

KEVIN MCKENNA, ARCHITECT
410-381-5817



P.O. BOX 722 COLUMBIA, MD 21045-0722

HORSMAN HOMES
© BROOKEVILLE.
28 DEC. 94



KEVIN MCKENNA, ARCHITECT
410-381-5817

RIGHT SIDE ELEVATION

South Elevation

6

P.O. BOX 722 COLUMBIA, MD 21045-0722

HORSMAN HOMES
@ BROOKVILLE
28 DEC 94



KEVIN MCKENNA, ARCHITECT
410-381-5817

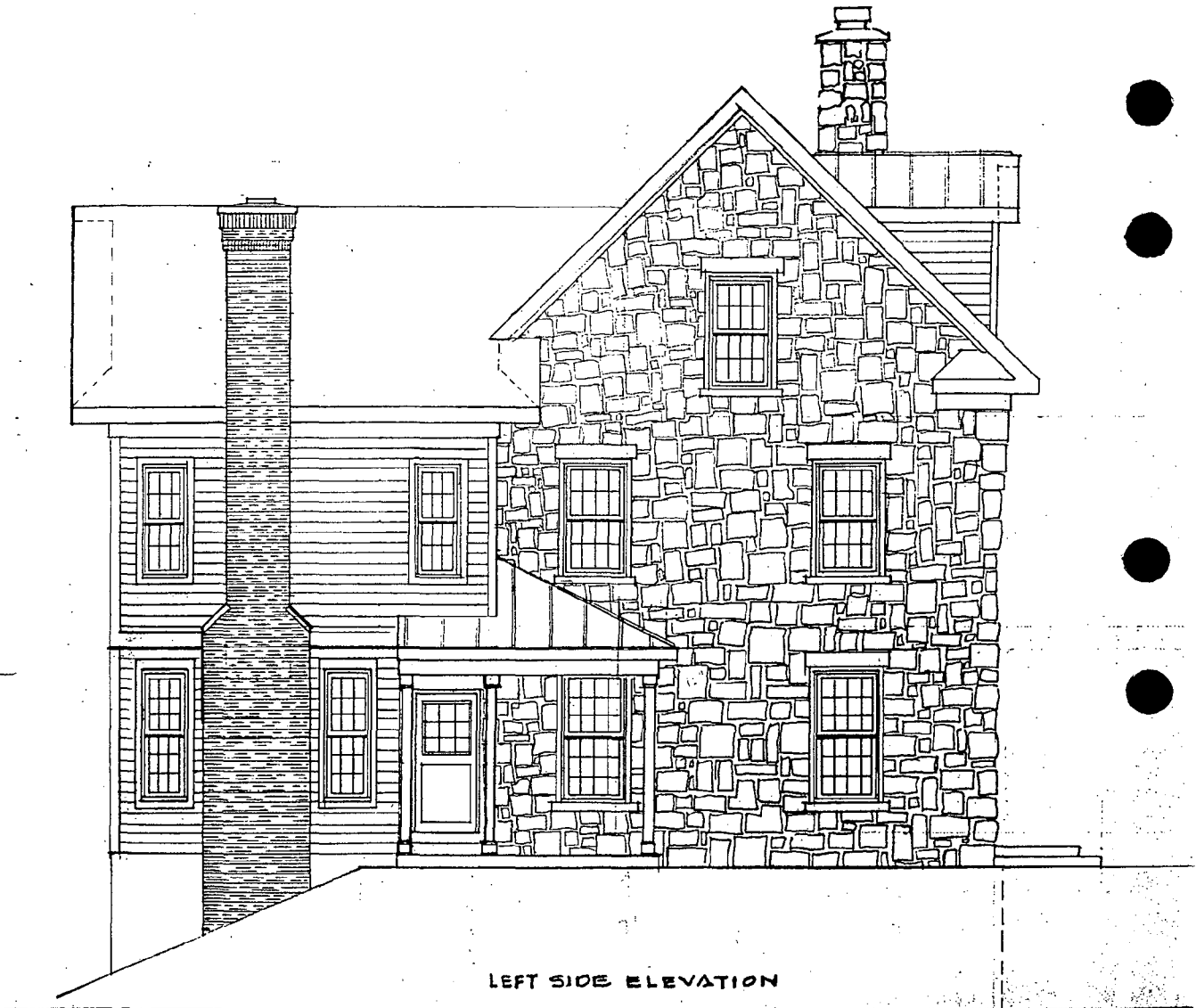
REAR ELEVATION

EAST ELEVATION

10

P.O. BOX 722 COLUMBIA, MD 21045-0722

HORSMAN HOMES
© BROOKVILLE
28 DEC 94



KEVIN MCKENNA, ARCHITECT
410-381-5817

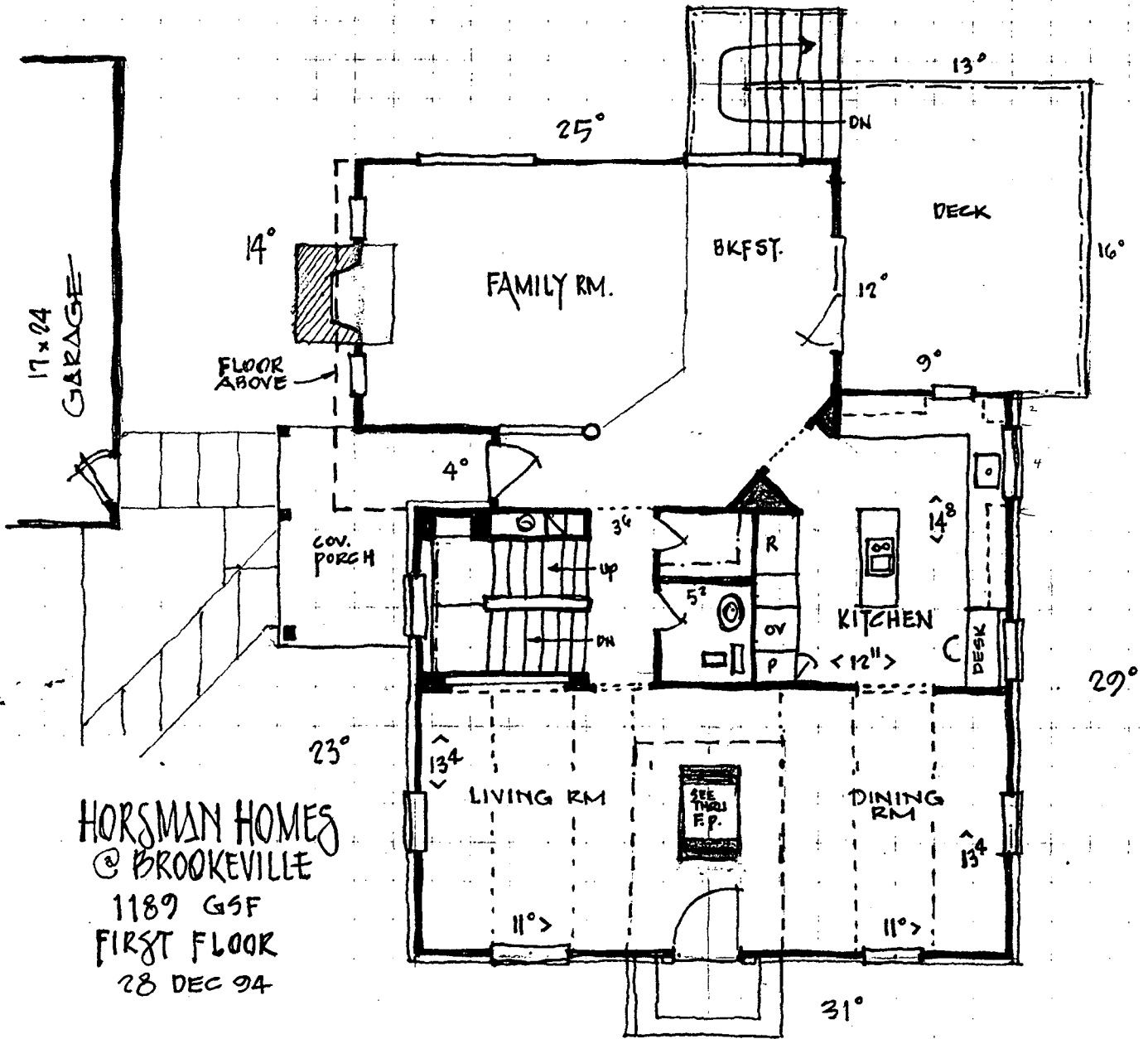
(11)

P.O. BOX 722 COLUMBIA, MD 21045-0722

LEFT SIDE ELEVATION

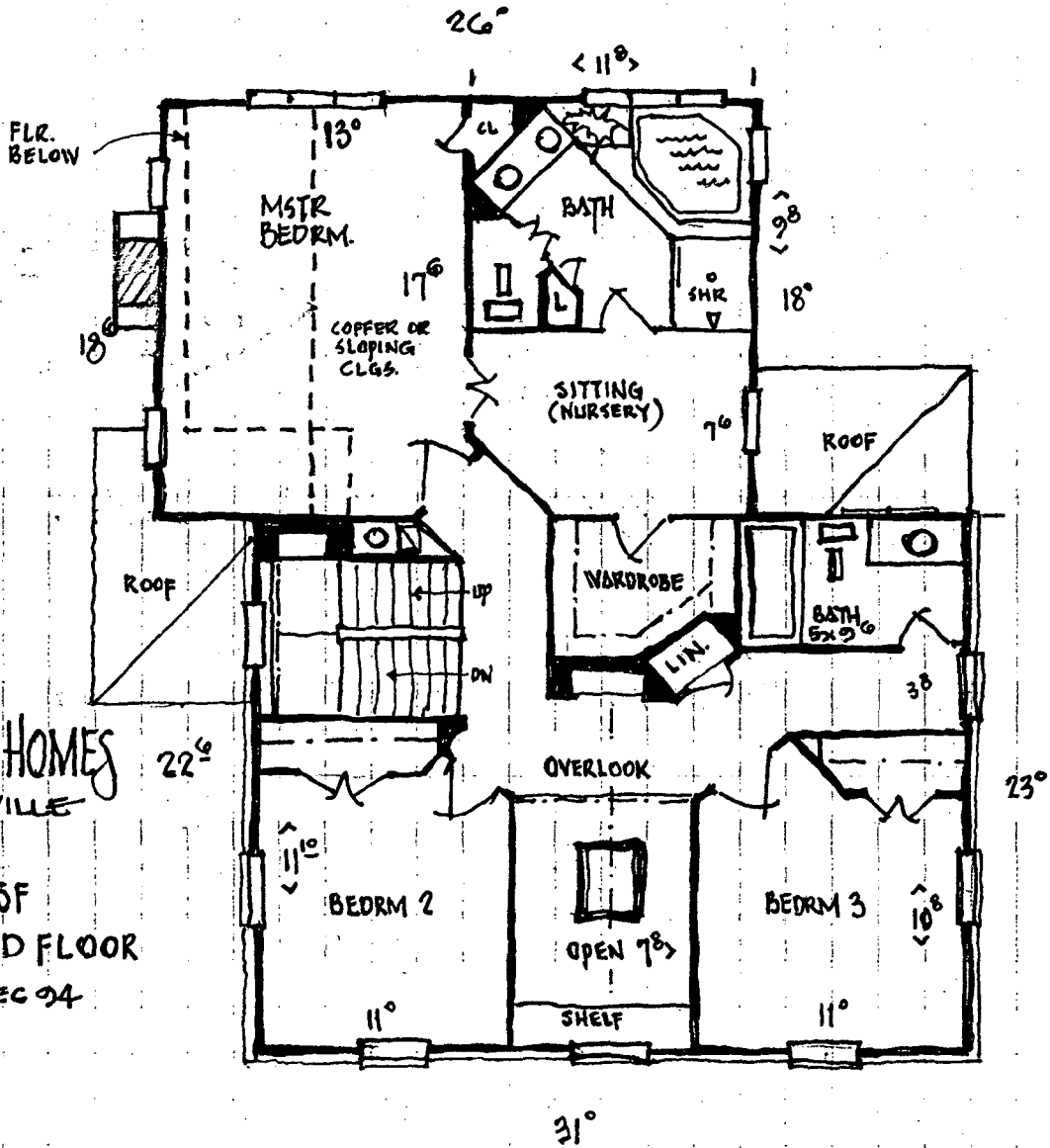
North Elevation

P.O. BOX 722 COLUMBIA, MD 21045-0722



HORSMAN HOMES
© BROOKVILLE
1189 GSF
FIRST FLOOR
28 DEC 94

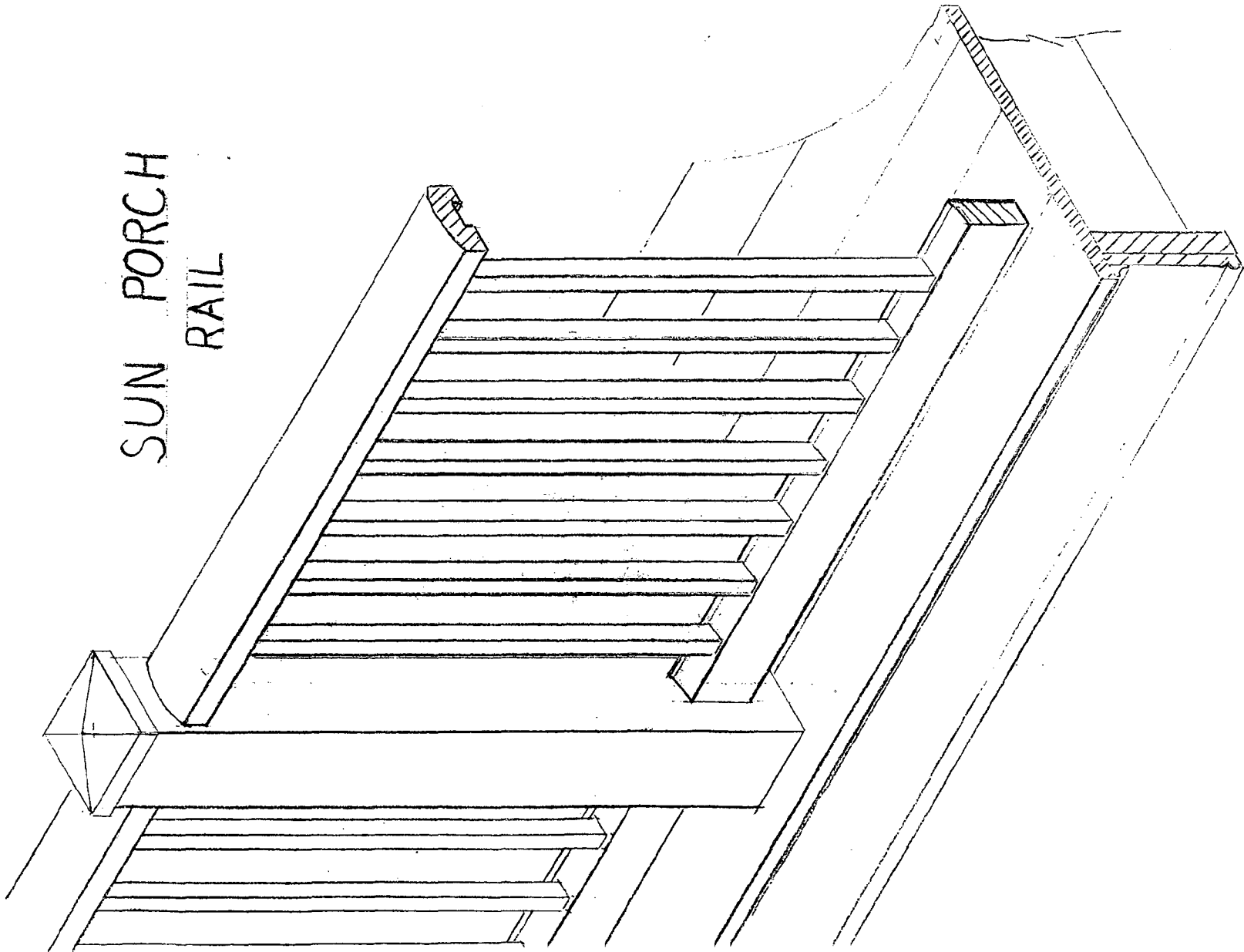
P.O. BOX 722 COLUMBIA, MD 21045-0722



HORSMAN HOMES
© BROOKESVILLE

1181 GSF
SECOND FLOOR
28 DEC 94

SUN PORCH
RAIL



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: Lot 2, North Street Meeting Date: 11/16/94
Resource: Brookeville Historic District Review: Preliminary Consultation
Case Number: N/A Tax Credit: No
Public Notice: 11/2/94 Report Date: 11/9/94
Applicant: Doug Horsman Staff: David Berg
PROPOSAL: Construct a new 2 1/2 story stone and frame dwelling RECOMMEND: Further Study

BACKGROUND

Brookeville has retained a rural character that has become a defining characteristic of the Brookeville Historic District. The lots on the north side of Market Street near North Street developed in such a way that the houses face the main street and are relatively close to the road. The houses have long meadows to the rear separated by dense trees and hedgerows. These meadows create view corridors that have a uniquely historic rural character. A conservation easement has been established at the rear (east portions) of lots 2, 3, and 4 of North Street to preserve the existing tree lines and protect the meadowlike corridor from future development. Approximately half of the applicants lot is held under this easement.

This is the second proposal for new construction on North Street to come before the Commission this Fall. The previous proposal was submitted as a Preliminary Consultation on September 16, 1994 for a house on lot 4, the largest of the three vacant lots on North Street. The majority of the historic structures that line this area on Market Street are relatively small two story houses. During the review of the proposal for lot 4, it was expected that any house on lot 4 could be slightly larger than dwellings proposed for lots 2 and 3 due to the recessed nature of that property from North Street and its larger lot size. The Commission gave a favorable review to the proposal on lot 4 which has a footprint of approximately 1200 square feet.

PROJECT DESCRIPTION

The applicant proposes to construct what would essentially be a two part house consisting of a traditional stone "I house" side gabled front section with a more modern looking extension off the rear of this stone section. The intention is to create the appearance of an original "I house" having a later rear addition. The house would be a 2 1/2 story structure with rear basement walkout. The front section (West Elevation) would be constructed of stone, having a

central stone chimney, standing seam metal roof, and 6/6 wood windows. The rear "addition" section would be of frame construction utilizing wood clapboard siding, wood 6/6 and 4/4 windows and multi-light patio doors. The footprint of the entire house would cover an area of approximately 1400 square feet.

A detached one car garage would be located just north of the proposed house. The garage would be frame with clapboard and wood trim to match the house.

STAFF DISCUSSION

Staff finds the "I house" section of the proposal to be compatible with the historic resources of the Brookeville Historic district in design and scale. Staff also finds the detached one car garage to be compatible. Staff's concerns focus on the size and complexity of the proposed dwelling.

ISSUES:

1) Visibility of the South Elevation:

The right side (South Elevation) of the proposal will be most visible from North Street and from the meadow corridor consisting of the front portions of lots 1, 2 and 3. Due to the visibility of this elevation from the streetscape and the meadow corridor, staff feels that a historically compatible size, massing and design for this elevation is of particular importance (Standard #9).

2) Size of the house:

The applicant's current proposal is a product of several meetings with staff. The original proposal was larger and more complex. The current proposal has addressed the concerns of the staff to some degree by decreasing the footprint of the dwelling and simplifying the right side (South Elevation). This rear "addition" section still reads as larger in size than the "I house" section. Staff feels that it is inappropriate for the "addition" section to read as larger in size than the "I house" section.

Although the current proposal has addressed some of staff's concerns, staff feels that the structure is still incompatible in size with the majority of the historic resources of the Historic District (Standard #9). Staff suggests that the applicant consider other options such as building a larger "I house" section and eliminating the "addition" section, or downsizing the "addition" section.

3) Architectural character of house:

Staff also finds that the double gable or twin pediment feature on the rear right side (South Elevation) as well as the two

decks on this elevation are too complicated and therefore incompatible in massing and architectural character with historic resources in the Brookeville Historic District which generally have a simplicity of design (Chapter 24A (b)2). **Staff recommends that the applicant consider simplifying the South Elevation.**

Finally, staff would like to point out that the last two proposals for new construction on North Street have been largely replicative of earlier architecture. While such proposals may be compatible with historic structures, staff emphasizes that it is not the intent of this review process to limit new construction to certain architectural styles. Innovative designs for new construction should be encouraged when such designs are characterized by a high quality of materials and workmanship and are compatible with the size, massing, and scale of the historic resources.

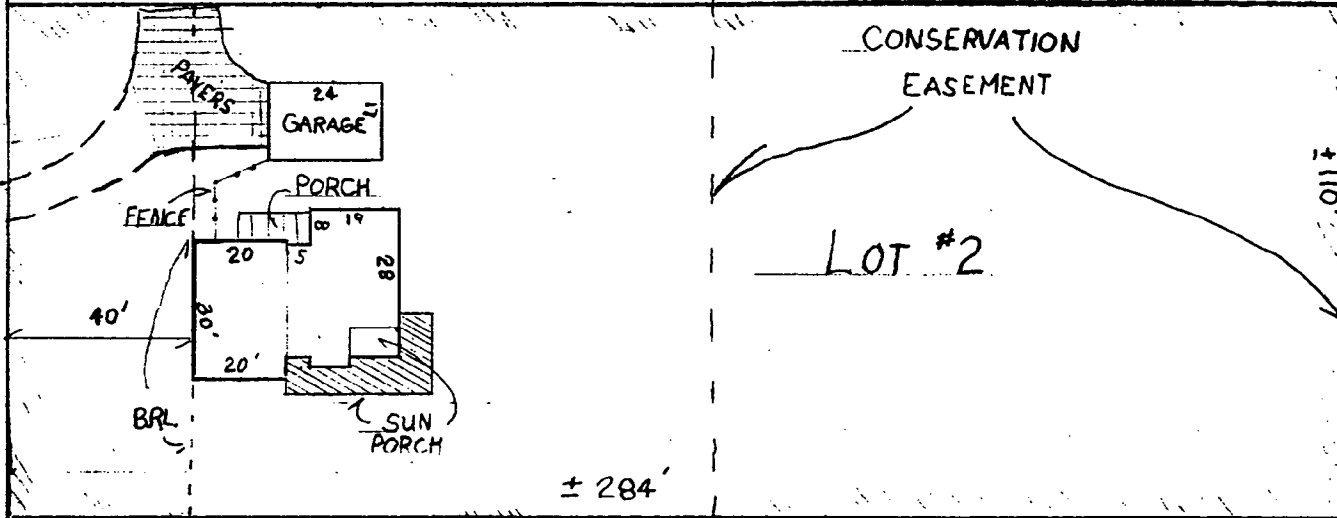
STAFF RECOMMENDATION

Staff recommends that the Commission ask the applicant to continue the design process in order to address the concerns listed above.

BROOKVILLE HISTORIC AREA
PRELIMINARY REVIEW FOR
HISTORIC AREA WORK PERMIT
SUBMITTED BY DOUG HORSMAN

10/26/94

NORTH STREET



SCALE 1"=40'

④A

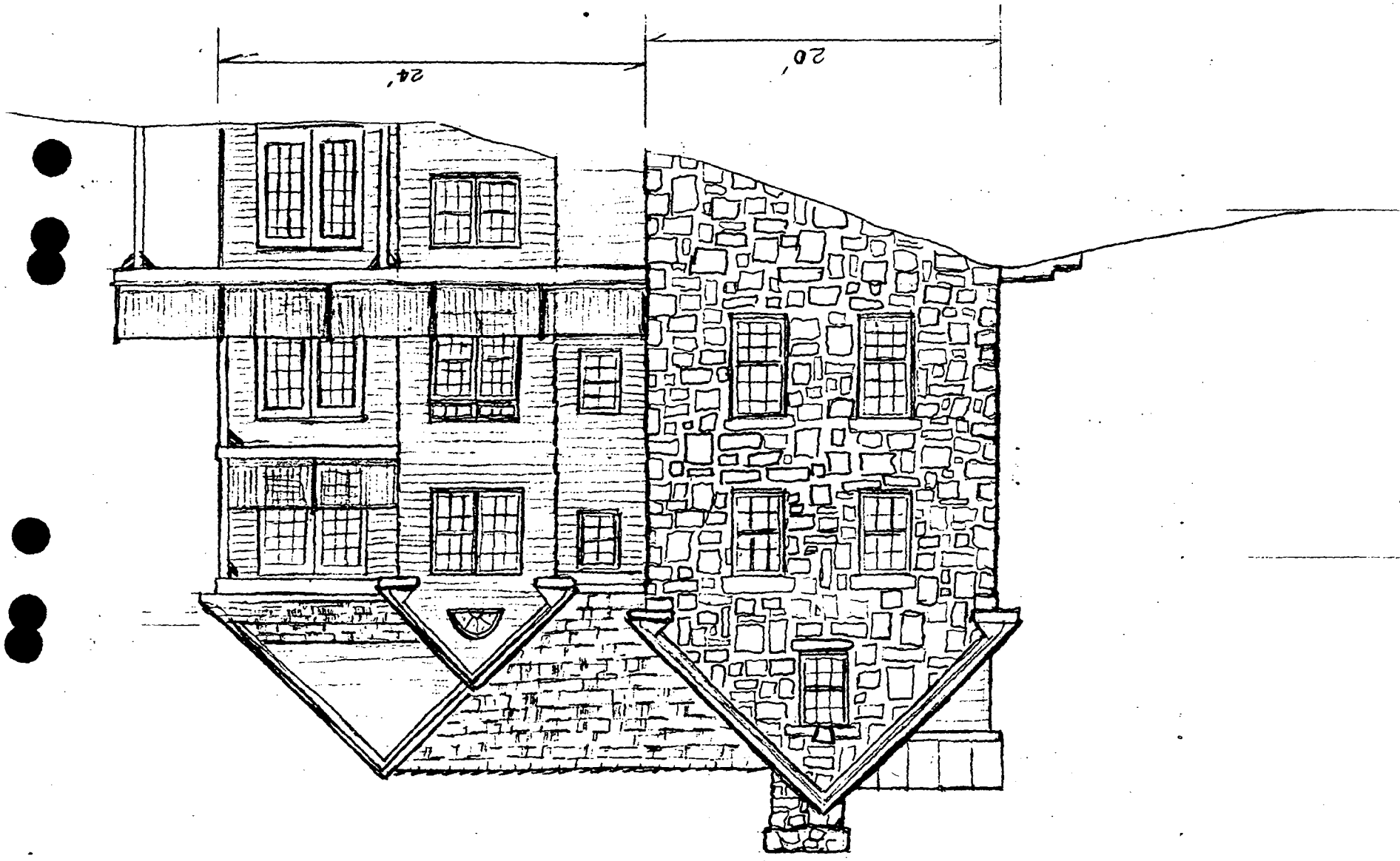


Proposed West Elevation (Front)

5
A

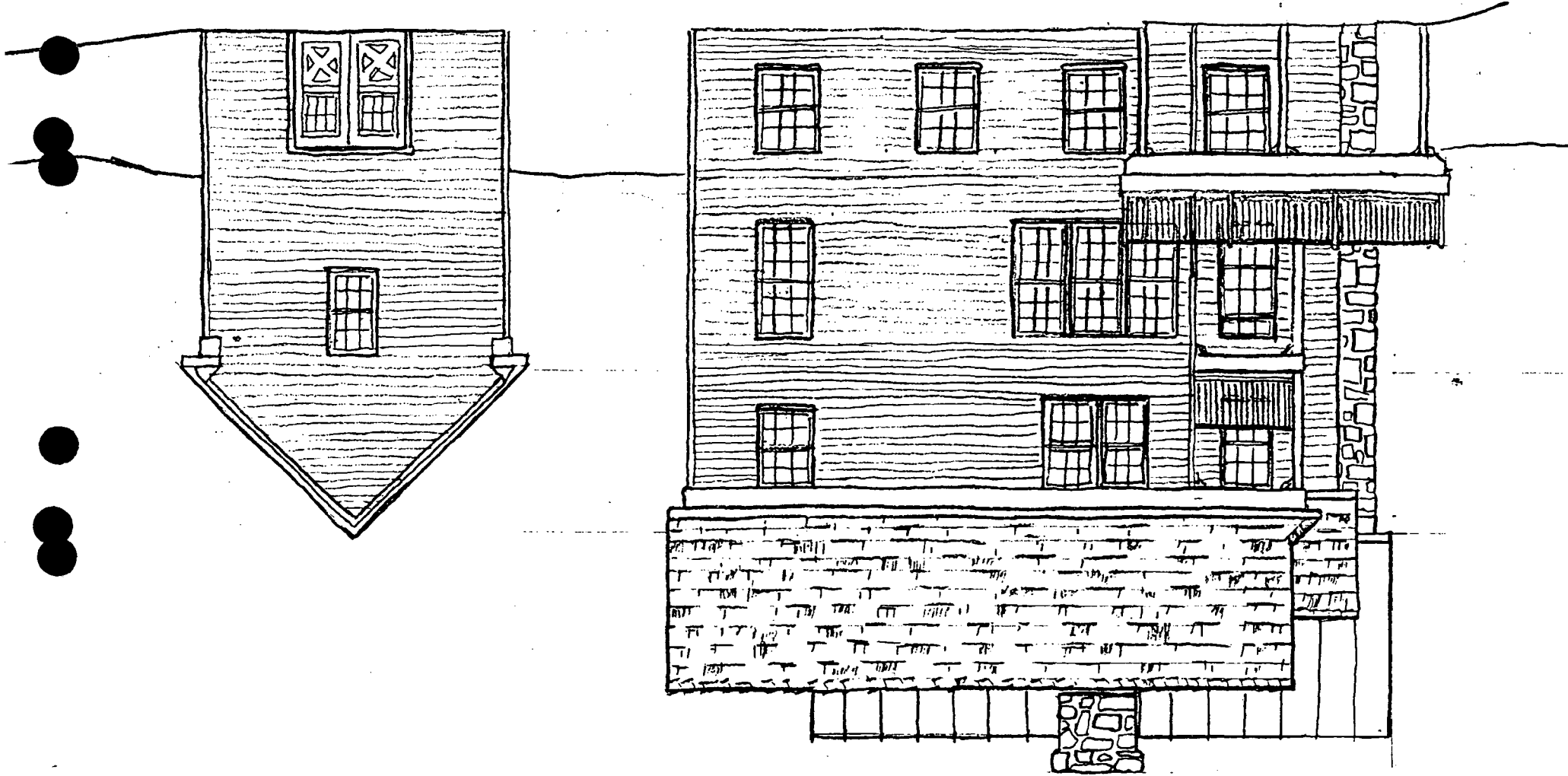
Proposed South Elevation
(Right Side)

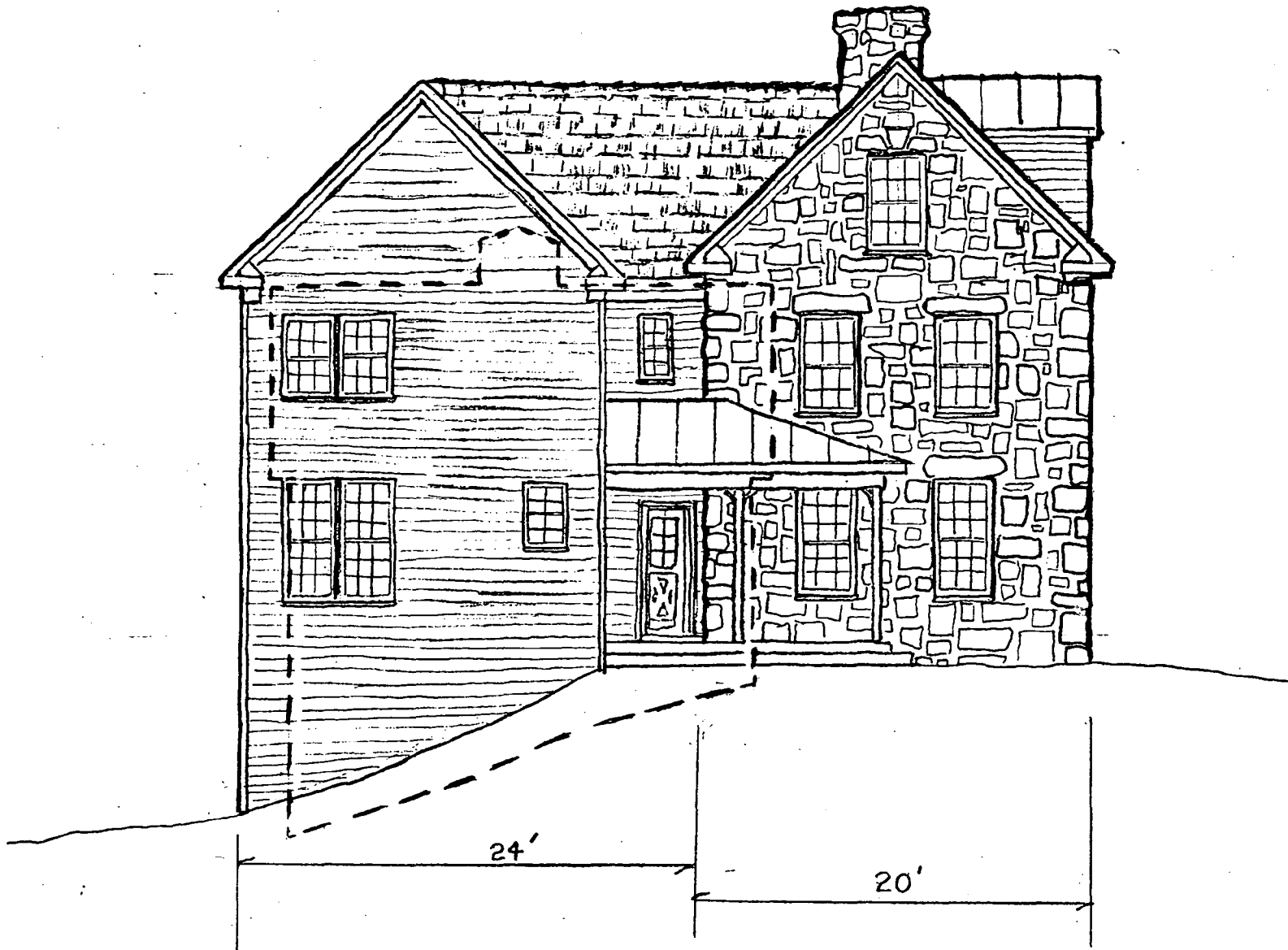
6^A



7^A

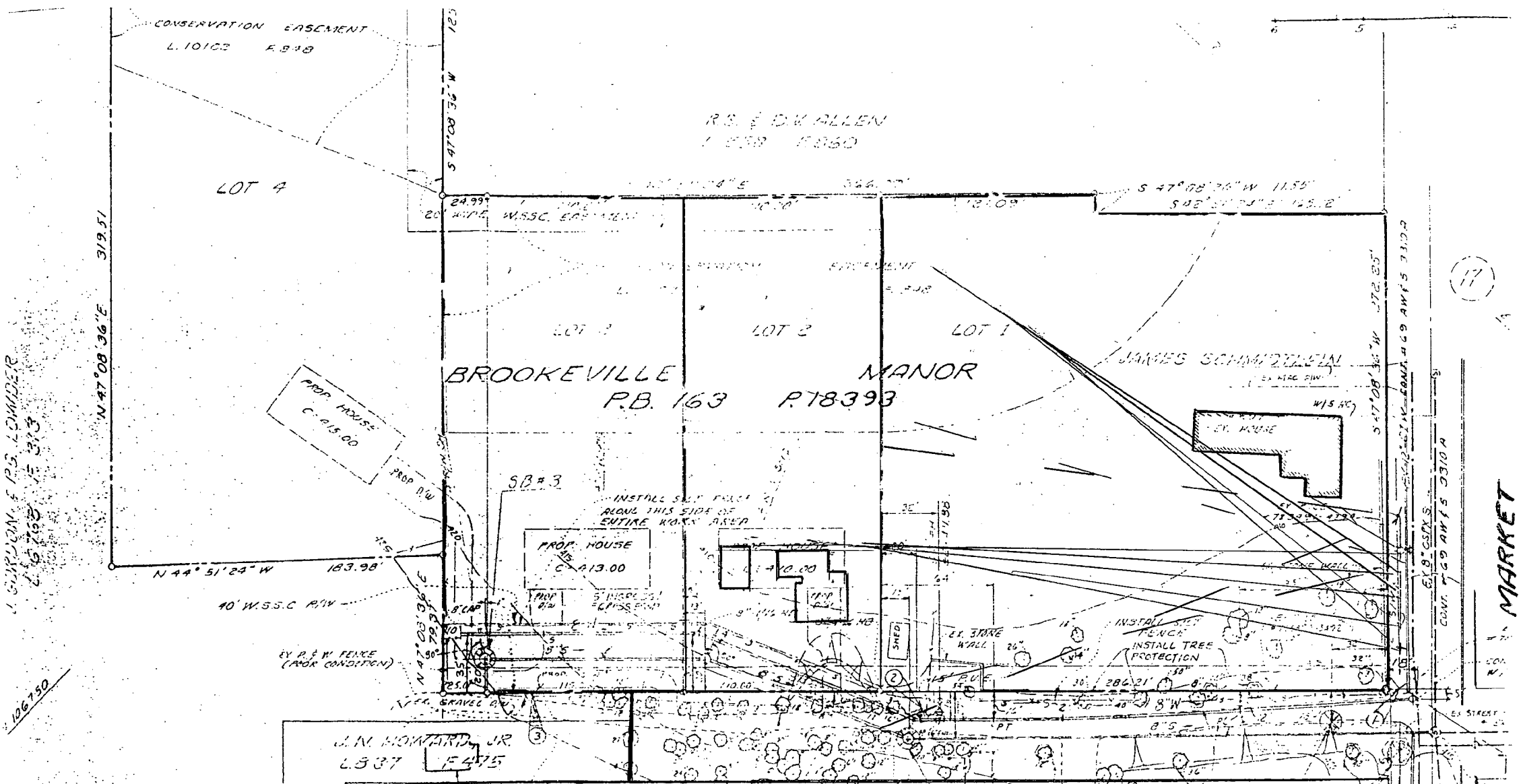
Proposed East Elevation (Rear)





8
A

Proposed North Elevation (Left Side)



- MARKS**
- IN POLE # 783492-4087 14.085
 - IN POLE # 783491-2105 7.845
 - IN POLE # 783491-0722 5.115

RESTORATION SCHEDULE		
LOCATION	GRADING TYPE	RESTORATION TYPE
ON NORTH ST.	I	LAYING 1" OF GRAVEL AS SHOWN

WILSON MONTGOMERY
L. 5325 F. 733

WILSON AND BEINER WILL MAINTAIN ACCESS TO ALL PROPERTIES AT ALL TIMES.

17

MARKET