

27/2 Milton II/Winslow Farm

HAMP:20-87

M E M O R A N D U M

July 9, 1987

TO: Historic Preservation Commission
FROM: Bobbi Hahn *BH*
SUBJECT: Agenda Item II. 1.

The background of the application of the Winslow Corp./Tartan Development to stabilize the stone smokehouse on the site of Milton II/the Muncaster Farm (#27/2) is as follows:

In September, 1984, the HPC evaluated Milton II and recommended placement of the house and smokehouse for placement on the Master Plan. Previous to that time the HPC had approved demolition of numerous other outbuildings associated with the farm to allow for the development of the property by Tartan Development. In January, 1986, the house burned down under mysterious circumstances. Immediately following that the developer applied for a permit to raze the remaining house parts. This permit was granted with several conditions, one of which required stabilization of the remaining stone outbuilding and the installation of a plaque identifying the site.

In April, 1986, the Planning Board moved to place the remaining property and outbuilding on the Master Plan which was subsequently done in September, 1986. In October, 1986, Tartan applied for a permit to stabilize the outbuilding. As their plans were somewhat vague they were instructed to work with Commissioner Karr on specifics which were presented at the meeting held on June 25.

BH:gk:0221E

1



Historic Preservation Co
100 Maryland Avenue, Rockville, Maryland 279-1327

III 2

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 2371227
 NAME OF PROPERTY OWNER The Winslow Corporation/Tartan Development of Md., Inc. TELEPHONE NO. (301) 681-9365
 (Contract/Purchaser) (Include Area Code)
 ADDRESS 11120 New Hampshire Avenue, Silver Spring, Md. 20904
 CITY STATE ZIP
 CONTRACTOR Tartan Development of Md., Inc. TELEPHONE NO. (301) 681-9365
 CONTRACTOR REGISTRATION NUMBER 2681
 PLANS PREPARED BY XXXXXXXXXXXXXXXXXXXX TELEPHONE NO. XXXXXXXXXXXXXXX
 (Include Area Code)
 REGISTRATION NUMBER XXXXXX

LOCATION OF BUILDING/PREMISE
 House Number 4866 Street Sweetbirch Drive
 Town/City Rockville Election District 8
 Nearest Cross Street Muncaster Mill Road
 Lot 56 Block 12 Subdivision Norbeck Manor
 Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)
 Construct Extend/Add Alter/Renovate Repair Circle One: A/C Slab Room Addition
 Wreck/Raze Move Install Revocable Revision Porch Deck Fireplace Shed Solar Woodburning Stove
 Fence/Wall (complete Section 4) Other _____
 1B. CONSTRUCTION COSTS ESTIMATE \$ 10,600 7,000
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____
 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO
 1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS
 2A. TYPE OF SEWAGE DISPOSAL
 01 () WSSC 02 () Septic
 03 () Other _____
 2B. TYPE OF WATER SUPPLY
 01 () WSSC 02 () Well
 03 () Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL
 4A. HEIGHT _____ feet _____ inches
 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 1. On party line/Property line _____
 2. Entirely on land of owner _____
 3. On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

 Signature of owner or authorized agent (agent must have signature notarized on back) Date 10/28/86

APPROVED _____ For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: 20187 FILING FEE: \$ _____
 DATE FILED: _____ PERMIT FEE: \$ _____
 DATE ISSUED: _____ BALANCE \$ _____
 OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

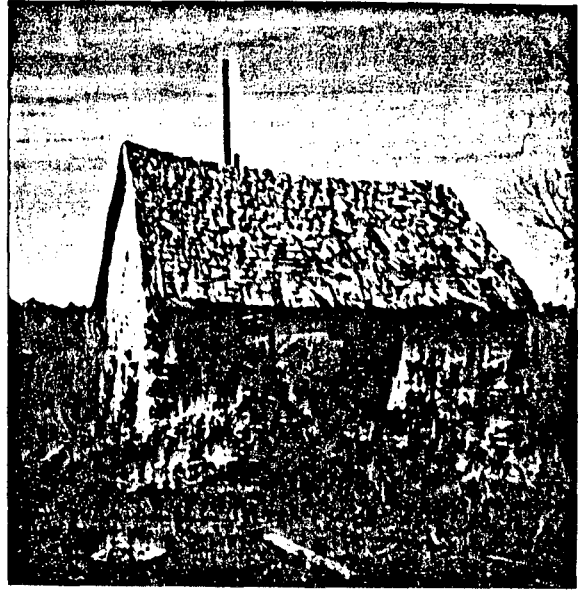
DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

Stabilize walls, and repair stone smoke house, and erect a
monument plaque.

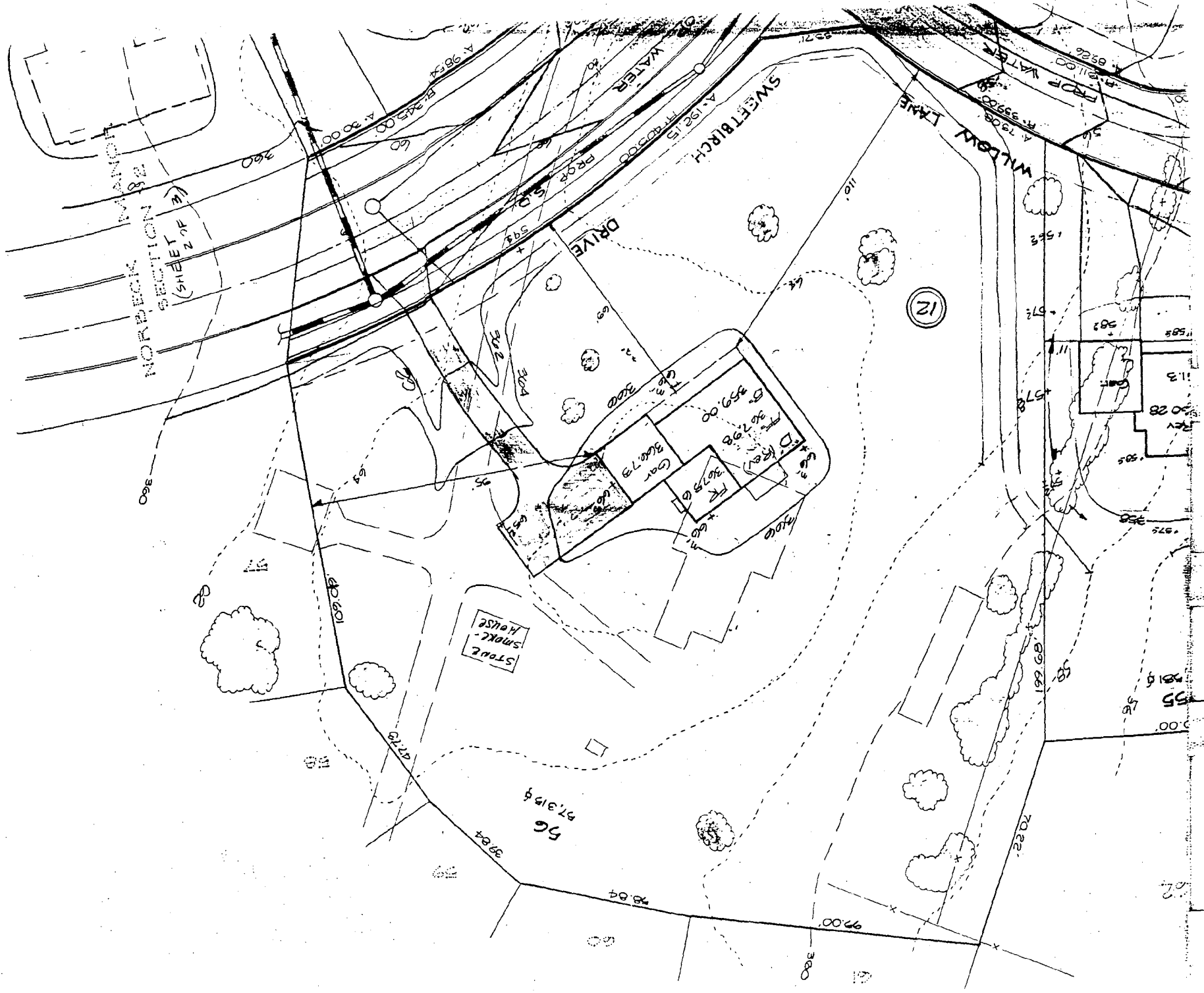
(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
100 MARYLAND AVENUE
ROCKVILLE, MARYLAND 20850



Milton's stone bldg. 1/7/86



MANOT
SECTION 82
SECTION 82
(SHEET 2 OF 3)

DRIVE

SWEET BIRCH

WILLOW LAKE

STABLE HOUSE

56
97.3196

Dr
367.98
Car
348.73

12

REV
30.28
11.3
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A 98.83

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CONSTRUCTION CONTRACT

THE WINSLOW CORPORATION
11120 New Hampshire Ave., Ste. #402
Silver Spring, Maryland 20904
(301) 681-9365

This agreement is made and entered into this _____ day of _____, 19____, by and between The Winslow Corporation (hereinafter called Winslow, Maryland Corporation acting as agent for the owner of the premises on which the construction work covered hereby is to be performed, and _____ (hereinafter called the "Contractor").

1. *Scope of Work.* The work to be done by Contractor on the project consists of:

1. Carpentry, replacement of Historic Smokehouse roof structure and stabilization of existing stone foundation. The Historic Smokehouse is located on Lot 56, Block 12 within the Norbeck Manor/Meadowside Subdivision.
2. Contractor will provide all labor, materials, and supervision for the removal of the existing roof structures and the construction of a new roof structure per the plans and specifications.
3. All framing lumber will be supplied by the Contractor. Electricity will be supplied by Winslow, when and where possible, otherwise Contractor will provide his own generators. All timbers, trim, and wood shingles will be supplied by the Contractor.
4. Contractor shall have visited the site and has inspected the Smokehouse and is fully qualified and prepared to commence the work described in this contract.
5. Contractor will supply an adequate number of skilled carpenters to erect the new roof according to the Montgomery County Historic Preservation Commissions standards of quality.
6. Carpenters will be led by a foreman capable of following plans accurately. Carpenter foreman will be on project at all time during construction. Carpenter foreman will be knowledgeable in OSHA safety practices and will comply with all Historic Preservation Commission regulations that apply to this construction. It is acknowledged that the Contractor is responsible for the safety of his forces and will be responsible for all violations caused by them.

Contractor agrees fully to perform all the above described work, in a good and workmanlike manner and in strict compliance with all the regulations, customs, laws and ordinances relating to work of that character; to furnish and pay for all labor, material, tools and equipment necessary to the full completion of work; and to keep accurate records pertaining to, and to make all payments required by any state or federal laws pertaining to payroll taxes and/or deductions of any nature with respect to payments to workmen employed by Contractor, and to furnish Winslow with all guarantees and warranties of the manufacturers of equipment or other items installed; and to obtain and pay for all permits, licenses and fees required to perform the work.

THE WINSLOW CORPORATION

7. Contractor is responsible for checking all of his work for correctness and completion and to insure that all construction is according to size as shown on the plan.

8. Contractor is responsible to insure that all work is performed in a workmanlike manner.

9. Contractor is responsible for his work until accepted by Winslow and the Historic Preservation Commission. Contractor shall keep the existing guard fence locked.

10. Contractor shall supply wood shingles to match the original wood shingles. The new singles will be matched in like kind including manufacturing process and size.

11. It is the intent of this work to replace the roof as similar to the original roof design as possible. ~~that it will minimize the effects of weather upon the remaining foundation.~~

12. The Contractor shall point up the existing foundation wall with a mortar mix to be approved by the Historic Preservation Commission and will stabilize the remaining walls with additional structural members as necessary. All additional structural or shoring members shall be constructed within the Smokehouse and shall be permanently constructed *to remain in place permanently.*

13. Contractor shall be responsible for cleaning up all scrap material created by him and for leaving the ~~unit~~ ^{site} ~~room~~ clean.

14. Contractor shall remove all trash and waste materials from the ~~unit~~ ^{site}. Debris shall be hauled on site or into a dumpster (supplied by Winslow) by the Contractor, ~~as directed by the Construction Manager.~~

15. Contractor shall be required to keep his equipment free from distributing mud and/or muck on streets, parking areas, ~~clean~~ gravel, ~~previously~~ paved streets and areas outlined by Winslow's Construction Managers. Any cost which is incurred by Winslow shall be charged to the responsible Contractor.

16. Contractor shall be responsible for equipment necessary to do the work as set forth in this contract.

17. Contractor shall furnish all rough hardware items, including but not limited to the following: wooden pegs, screws, glue, galvanized common, finish and box nails.

SUM TOTAL: _____

By: _____
THE WINSLOW CORPORATION

By: _____
Contractor

Date: _____

Date: _____

Contractor _____
Project _____

THE WINSLOW CORPORATION

- 18. Contractor is to provide and supervise labor and equipment necessary to facilitate the satisfactory unloading and storage of all materials related to his work.
- 19. Contractor shall schedule and make all inspections as may be required by the Montgomery County Historic Preservation Commission.
- 20. Contractor shall make all field cuts square and true.
- 21. Foundation Check: Prior to the erection of the roof, Contractor will repair, point up and shore as necessary the existing foundation. Contractor shall notify Winslow's Construction Manager and the Historic Preservation Commission of any deviations from the plan.
- 22. All work to be per:
 - 1. Plan prepared by Gary K. Gill, dated April 28, 1987.
 - 2. Plan Specifications.
 - 3. Historic Preservation Commission Specifications.
 - 4. Quality and completion list as may be prepared by Winslow and Historic Preservation Commission.
- 23. Contractor agrees to carry insurance as required.
- 24. Smokehouse must be inspected by Winslow and Historic Preservation Commission and any check lists must be completed and signed by both Winslow and the Historic Preservation Commission Contractor before payment will be made.

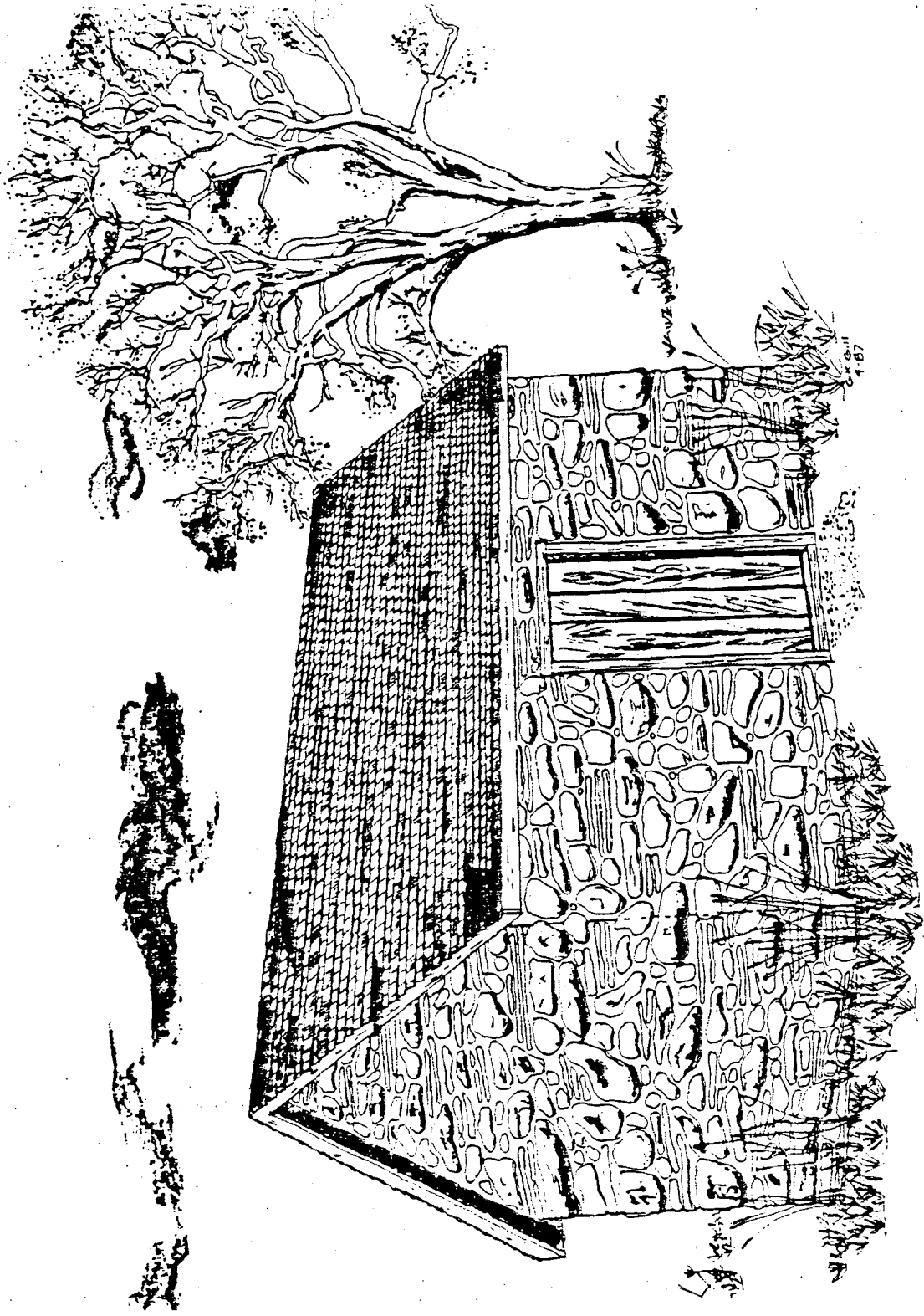
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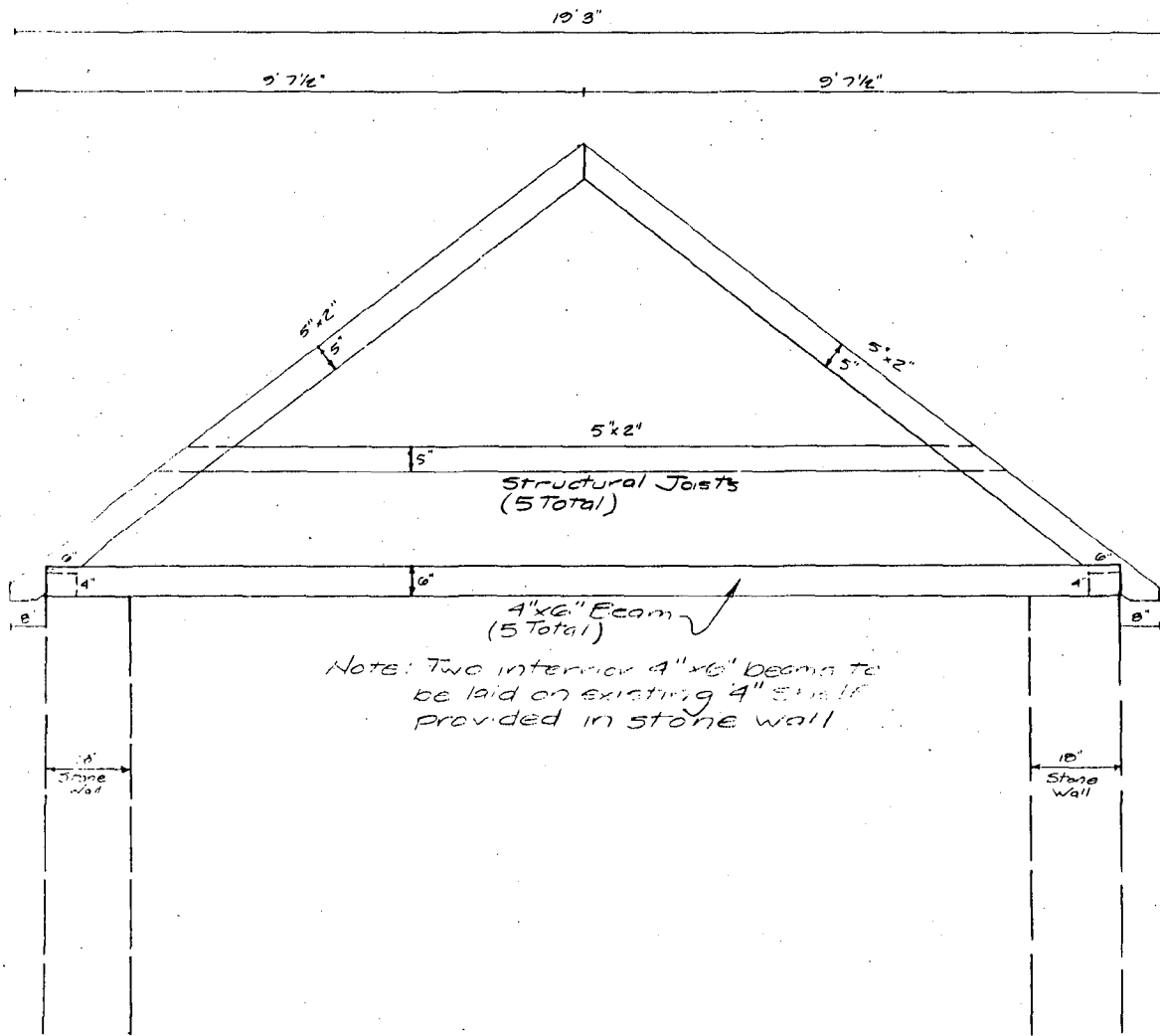
Date: _____



*Historic Smokehouse
Milton Muncaster Farm*

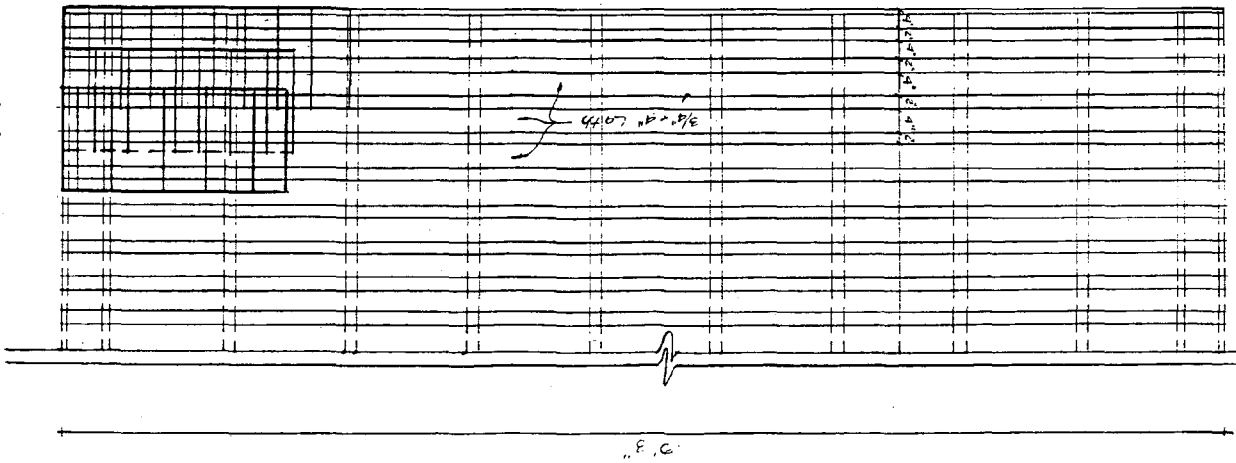
Notes

- 1) All dimensions of timbers shown are to be as shown except lengths. Lengths to be determined by contractor upon final wall reconstruction.
- 2) All timber to be rough cut at dimensions shown. It is contractor's decision to replace or reuse timbers presently in structure.
- 3) All roof joists, structural joists, fascia boards, lath, and shingles are to be nailed with exterior type rustproof nails. Size and type to be at contractor's choice.
- 4) All 4"x6" beams to use "Peg-Type" Joints. Joists to the 4"x6" beam will be nailed.
- 5) All materials to be machine cut.
- 6) All bidding for labor and materials to be done only with site visit.

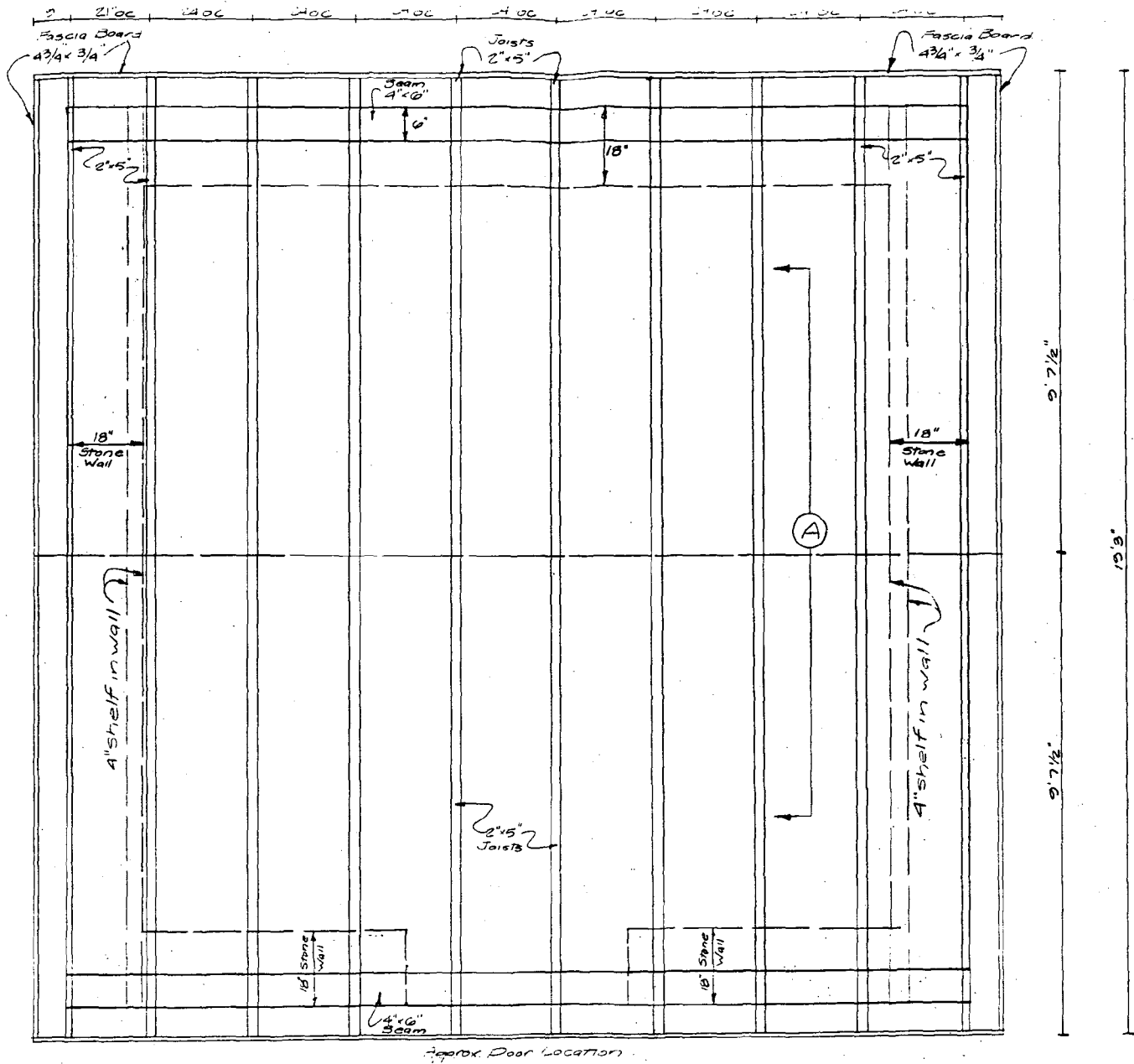


(A) ROOF SECTION DETAIL
 Scale 1/2" = 1' 0"

LATH & SHINGLE DETAIL
No Scale



20" Length Wood Shingles
Using 12" Overhang



ROOF PLAN VIEW

SCALE 1/2" = 1'0"



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327
279-8097

51 Monroe Street, Room 1009

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) _____ Date 10/28/86

APPROVED 24A 8(6)(1),(2),(3) + (4) with conditions below
 For Chairperson, Historic Preservation Commission
 Signature Adrienne Halpin Date 7/22/87
 DISAPPROVED _____ Signature _____ Date _____
 record closed 7/11/87

APPLICATION/PERMIT NO: HAWP 20-87 FILING FEE: \$ _____
 DATE FILED: _____ PERMIT FEE: \$ _____
 DATE ISSUED: _____ BALANCE \$ _____
 OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

CONDITIONS:
 1. Approved as per specs, terms, and conditions submitted on plan dated 7/16/87.
 2. Applicant to work out wording of plaque to be placed on smokehouse with HPC staff.

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

Stabilize walls, and repair stone smoke house, and erect a
monument plaque.

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

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100 MARYLAND AVENUE
ROCKVILLE, MARYLAND 20850

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ROCKVILLE, MARYLAND 20850

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- 2) All timber to be rough cut at dimensions shown. It is contractors decision to replace or reuse timbers presently in structure. Reused timber shall be free of rot and deterioration and be approved by the structural engineer.
- 3) All roof joists, structural joists, fascia boards, lath, and shingles are to be nailed with exterior type rust-proof nails. Size and type shall be in accordance with Appendix C of the 1984 BOCA Code.
- 4) All 4" x 6" beams to use "Peg-Type" Joints where any joints may exist. Joists to the 4" x 6" beam will be nailed.
- 5) All materials to be machine field cut.
- 6) Contractor shall install temporary shoring of existing stone walls prior to the removal of the existing roof.
- 7) Timber shall be hemlock. Grade #1 Eastern Hemlock or equivalent.
- 8) Contractor shall point all cracks and stones where necessary. Contractor shall submit the proposed mortar mix for approval by the Historic Preservation Commission prior to stabilization of stone walls.
- 9) Contractor shall restore all corners where stone has fallen. Contractor shall provide beam pockets or ledges in each corner to receive timber beams. (See Detail B).
- 10) Contractor shall install a 6" x 12" timber beam across the front and a 6" x 14" timber beam across the rear. The beam shall be installed directly under the 4" x 6" plate and mortared solidly into the beam pockets. BEAMS SHALL BE AT LEAST MINIMUM 6" EACH END.
- 11) Contractor shall seal cap any remaining exposed walls with mortar.
- 12) Contractor shall clean up all debris and waste and remove from site upon completion of the Smokehouse.
- 13) Structural engineer will inspect construction for structural adequacy and may modify structural elements to meet field conditions if warranted.

Original Drawings For Tartan Development Prepared

By: Gary K. Gill
1617 Gruenther Avenue
Rockville, Maryland 20851

H (301) 424-4930
W (301) 948-2750

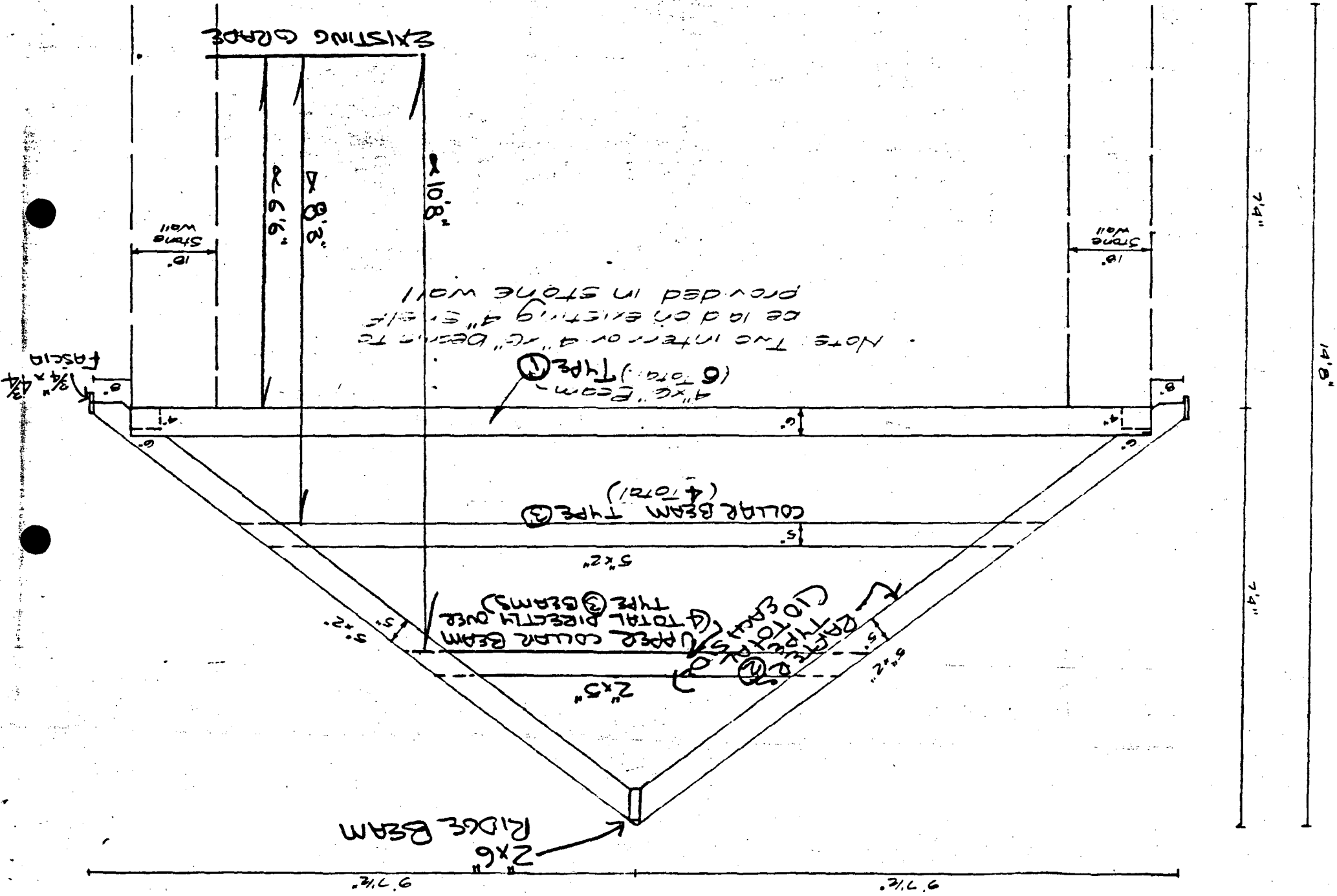
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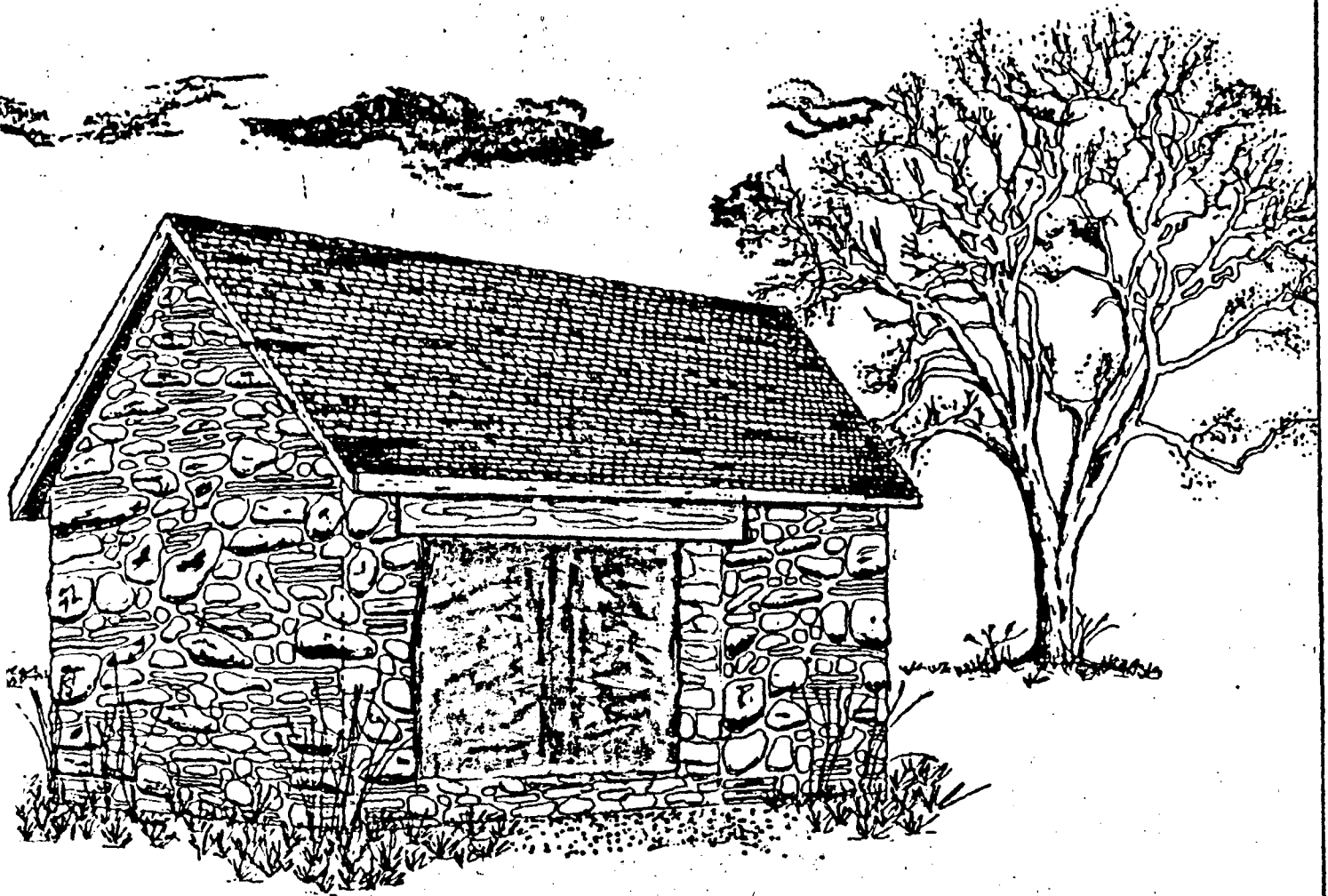
14) ROOF JOISTS, BEAMS & PLATES
SHALL BE ROUGH-SAWN.

15) RESTORATION OF CORNERS
SHALL NOT BE LESS THAN
24" HORIZONTALLY.

① ROOF SECTION DETAIL

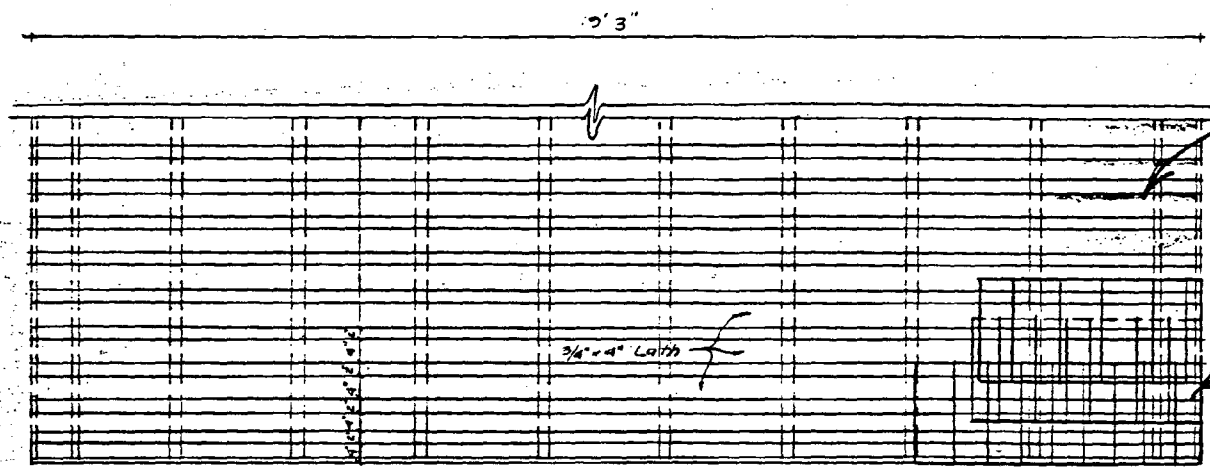
Scale 1/2" = 1'0"





*Historic Smokehouse
Milton Muncaster Farm*

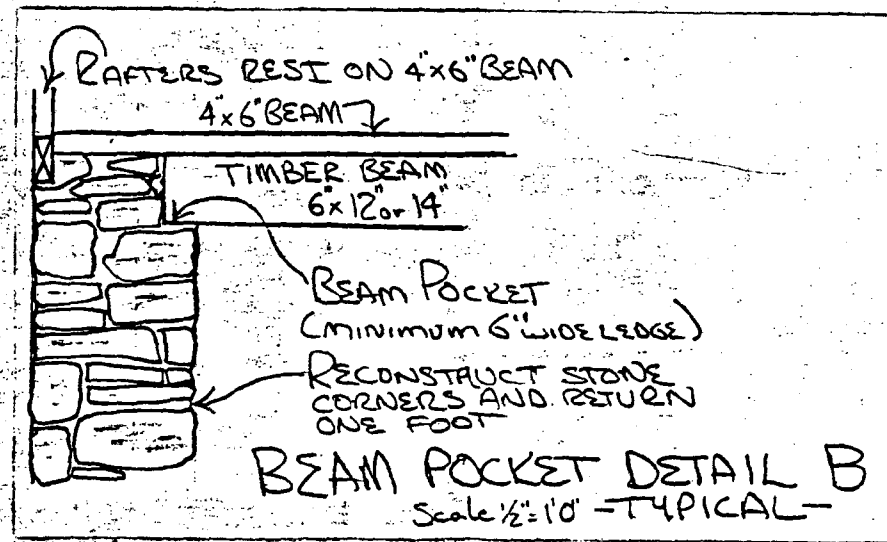
DRAFT



3/4" x 4" lath boards to be nailed to roof rafters with 2" open space between each lath board.

18" x 6" split cedar wood 8" exposure, 1/2" to 3/4" varied thickness, tapered shakes (Western Red #1 Grade Cedar)

LATH & SHINGLE DETAIL
No scale



BEAM POCKET DETAIL B
Scale 1/2" = 1'0" - TYPICAL -

