

35/13-99C 3 Magnolia Parkway  
(Chevy Chase Village HD)

35/13-99C 3 Magnolia Parkway  
REV. (Chevy Chase Village HD)

Roll.

(h) 301 907-9451

(cell) 301-613-0532

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 6-14-00

TO: Local Advisory Panel/Town Government - *Cheerless Village*

FROM: Historic Preservation Section, M-NCPPC  
Robin D. Ziek, Historic Preservation Planner  
Perry Kephart, Historic Preservation Planner  
Michele Naru, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application - HPC Decision

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The Historic Preservation Commission reviewed this project on 6-14-00.  
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

HPC # 35/13-29C (Revision) - 3 Magnolia Parkway

HPC # 35/13-00X - 5 Grafton Street

HPC # 35/13-00P - 1 East Melrose Street

M-NCPPC



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HPC # 35/13.99C (Revision) - 30 Magnolia Parkway

HPC # 35/13.00X - 5 Grafton Street

HPC # 35/13.00P - 1 East Melrose Street

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 6-14-00

TO: Local Advisory Panel/Town Government - *Cherryglass Village*

FROM: Historic Preservation Section, M-NCPPC  
Robin D. Ziek, Historic Preservation Planner  
Perry Kephart, Historic Preservation Planner  
Michele Naru, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application - HPC Decision

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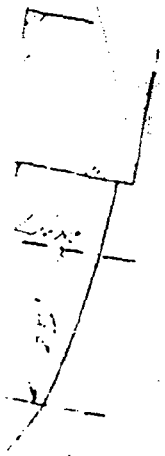
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HPC # 35/13-99C (Revision) - 31 Magnolia Parkway

HPC # 35/13-00X - 5 Grafton Street

HPC # 35/13-00P - 1 East Melrose Street

2005 ED  
DEMOLITION  
(STORY)



### LIST OF DRAWINGS

- A1 Demolition Plans  
Roof Plan  
Basement Plan  
Plat Plan
- A2 First Floor Plan  
Island Details & Millwork Elevation
- A3 Reflected Clg. Plan  
Electrical & Lighting Fixture Schedule
- A4 Sections
- A5 Sections
- A6 Details
- A7 Elevations

APPROVED  
Montgomery County  
Historic Preservation Commission

Project

**ROBBIN-**  
#3 Magnolia Pa

Drawing Title

**DEMOLITION PLANS**

Scale:  
Date:

1/8" = 1'-0"  
May 18, 2000

**A 1**

Contractor shall verify and be responsible for all field dimensions and conditions and shall notify Architect of any discrepancies before proceeding with the project.

BOARD OF APPEALS FOR MONTGOMERY COUNTY, MARYLAND

**LIST OF ADJOINING AND CONFRONTING PROPERTY OWNERS**  
 (Please see information on reverse side)

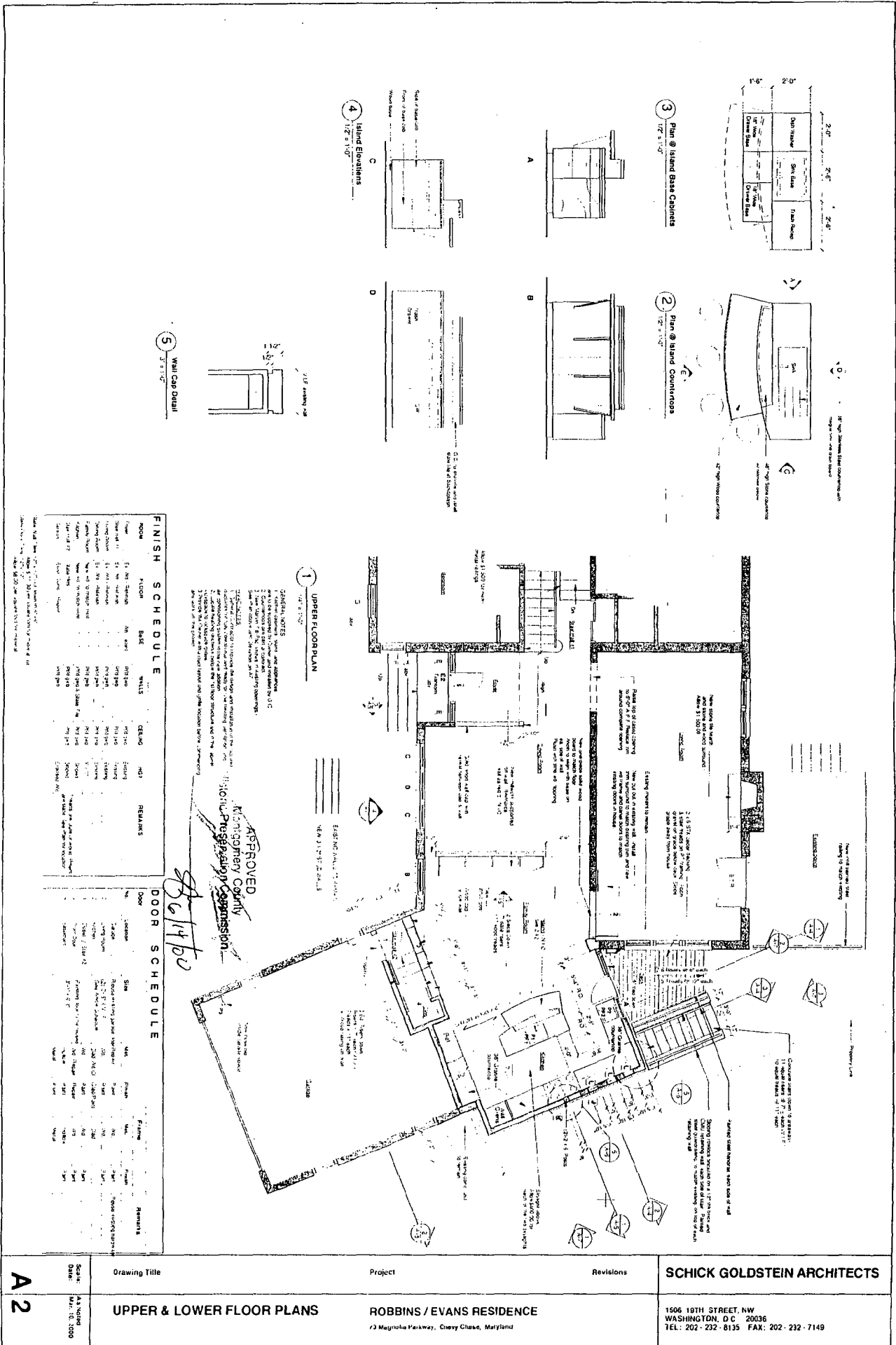
NAME	ADDRESS (Please add Zip Code)	LOT/PARCEL	BLOCK
Philip S. Day	5800 Connecticut Ave. 20815	23	27
J. Winnik	5804 Connecticut Ave 20815	22	27
William Maloni	5 Chevy Chase Circle 20815	1	25
Dome Bracken	5 Magnolia Parkway 20815	25	27











**FINISH SCHEDULE**

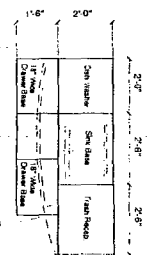
ROOM	FLOOR	BASE	WALLS	CERAMIC	NOI	BEAMS
Living Room	1st	1st	1st	1st	1st	1st
Dining Room	1st	1st	1st	1st	1st	1st
Kitchen	1st	1st	1st	1st	1st	1st
Bedroom	1st	1st	1st	1st	1st	1st
Bathroom	1st	1st	1st	1st	1st	1st
Hall	1st	1st	1st	1st	1st	1st
Staircase	1st	1st	1st	1st	1st	1st
Entry	1st	1st	1st	1st	1st	1st
Front Porch	1st	1st	1st	1st	1st	1st
Back Porch	1st	1st	1st	1st	1st	1st
Garage	1st	1st	1st	1st	1st	1st

**DOOR SCHEDULE**

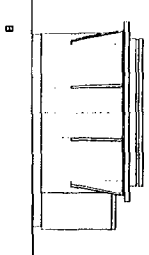
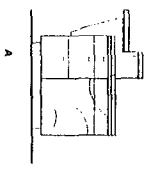
NO.	LOCATION	TYPE	FINISH	REMARKS
1	Living Room	Swing	1st	1st
2	Dining Room	Swing	1st	1st
3	Kitchen	Swing	1st	1st
4	Bedroom	Swing	1st	1st
5	Bathroom	Swing	1st	1st
6	Hall	Swing	1st	1st
7	Staircase	Swing	1st	1st
8	Entry	Swing	1st	1st
9	Front Porch	Swing	1st	1st
10	Back Porch	Swing	1st	1st
11	Garage	Swing	1st	1st

<b>A2</b>	Drawing Title	Project	Revisions	<b>SCHICK GOLDSTEIN ARCHITECTS</b> 1506 18TH STREET, NW WASHINGTON, D.C. 20036 TEL: 202-232-8135 FAX: 202-232-7149
	UPPER & LOWER FLOOR PLANS	ROBBINS / EVANS RESIDENCE 73 Magnolia Parkway, Chevy Chase, Maryland		

Architects shall be responsible for all errors and omissions and shall indemnify and hold harmless the client for any claims or damages arising out of or from this project.



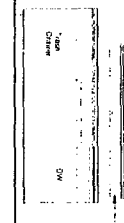
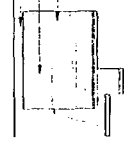
3 Plan @ Island Blinn Cabinets  
1/2" = 1'-0"



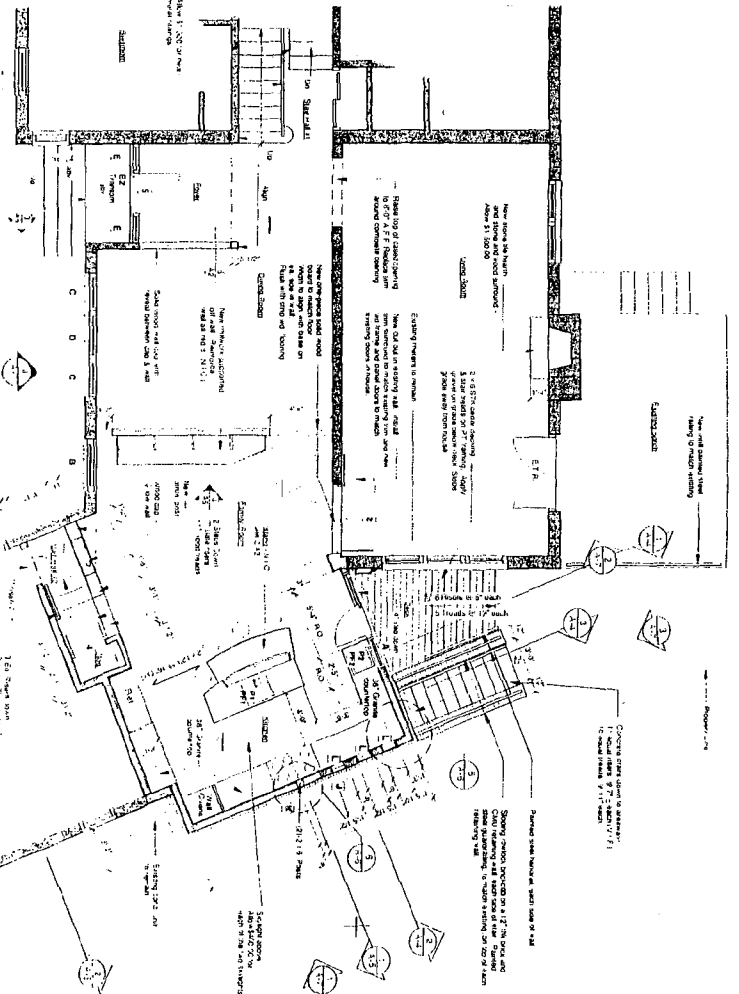
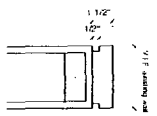
2 Plan @ Island Countertops  
1/2" = 1'-0"



4 Island Elevations  
1/2" = 1'-0"



5 Wall Cap Detail  
3/16" = 1'-0"



1 UPPER FLOOR PLAN  
1/2" = 1'-0"

ROOM	FLOOR	BASE	WALLS	CEILING	NOT	REMARKS
KITCHEN	2ND	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	
LIVING	2ND	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	
DINING	2ND	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	
BEDROOM	2ND	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	
BATH	2ND	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	
HALL	2ND	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	
STAIRS	2ND	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	

NO.	DESCRIPTION	DATE	BY	REVISIONS
1	UPPER FLOOR PLAN	10/14/00	SG	1

APPROVED  
M. Gregory  
Professional Commission

<b>A2</b>	Drawing Title	Project	Revisions	<b>SCHICK GOLDSTEIN ARCHITECTS</b>
	UPPER & LOWER FLOOR PLANS	ROBBINS / EVANS RESIDENCE #3 Maguette Parkway, Chevy Chase, Maryland		

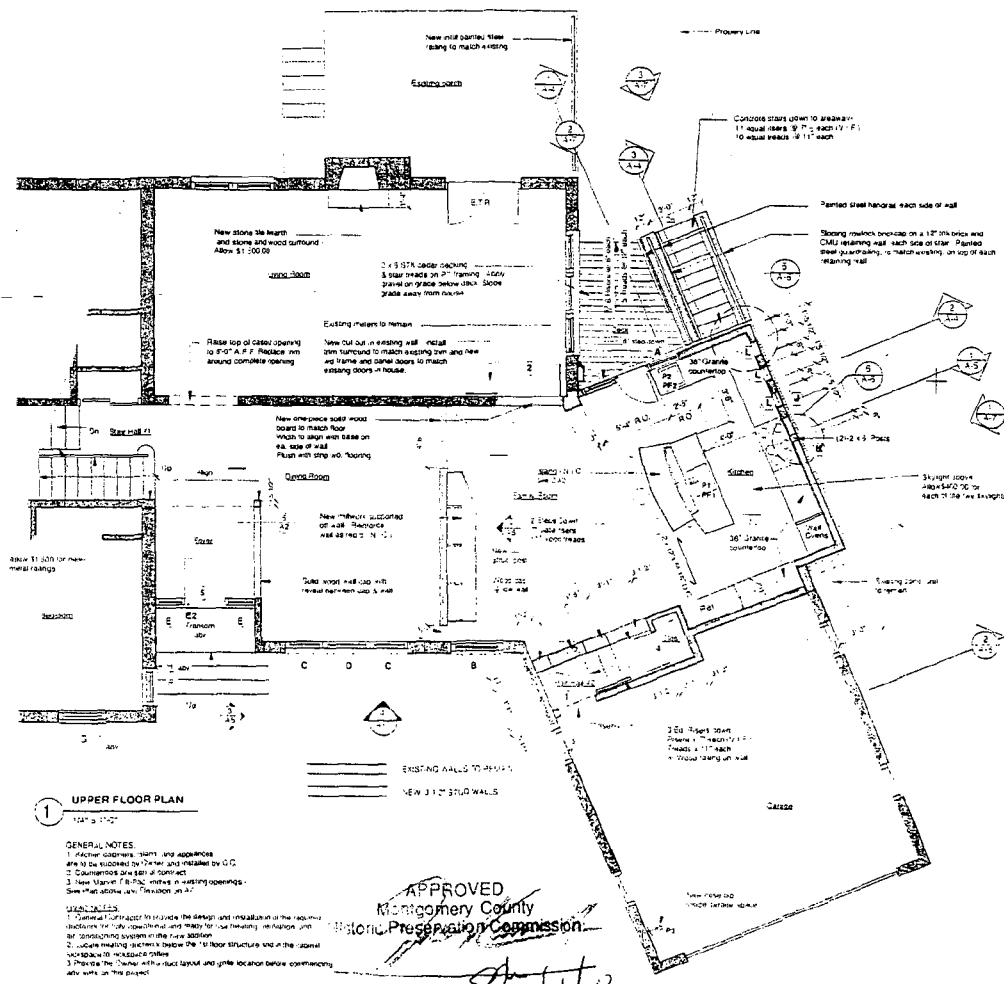
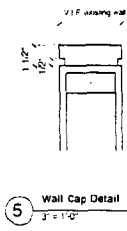
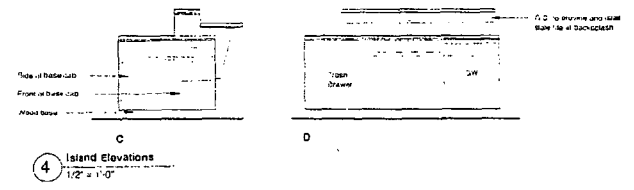
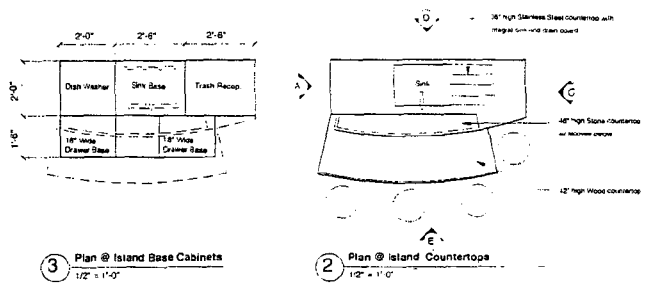
**SCHICK GOLDSTEIN ARCHITECTS**  
 1655 16TH STREET, N.W.  
 WASHINGTON, D.C. 20036  
 TEL: 202-232-8105 FAX: 202-232-7149

**ROBBINS / EVANS RESIDENCE**  
 43 Magnolia Parkway, Chevy Chase, Maryland

**UPPER & LOWER FLOOR PLANS**

Scale: As Noted  
 Date: Mar. 10, 2000

**A 2**



**GENERAL NOTES**

1. Kitchen cabinets, doors and appliances are to be furnished by the client and installed by D.C.
2. Countertops are per client's selection.
3. New Marvin's Fiberglass windows in existing openings. See what's above plan. The notes on it.

**EXCLUDED**

1. General Contractor to provide the design and installation of the room's structure for fully mechanical and ready for use heating, air conditioning and air conditioning systems in the new addition.
2. Locate existing systems below the 1st floor structure and in the general work area to include cables.
3. Provide the Client with a structural layout and grille location before construction and with the project.

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
 8/6/14/00

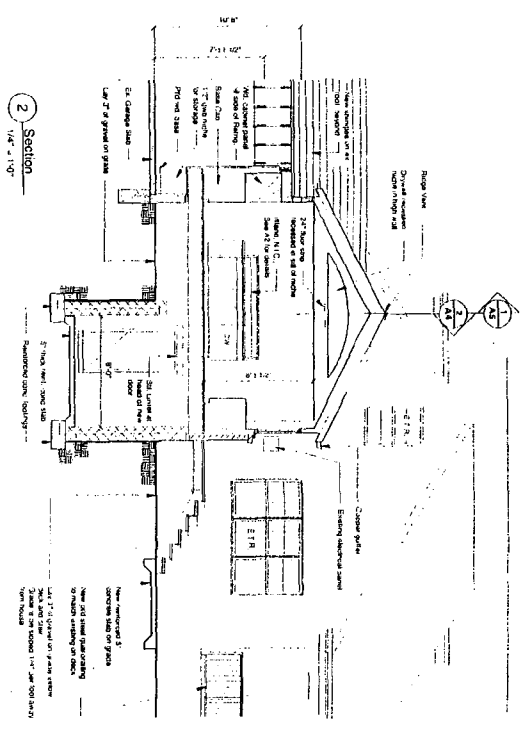
ROOM	FLOOR	BASE	WALLS	CEILING	FLOOT	REMARKS
Kitchen	2nd	18\"/>				

Door	Location	Size	Mat.	Finish	Mat.	Finish	Remarks
1	Living Room	36\"/>					

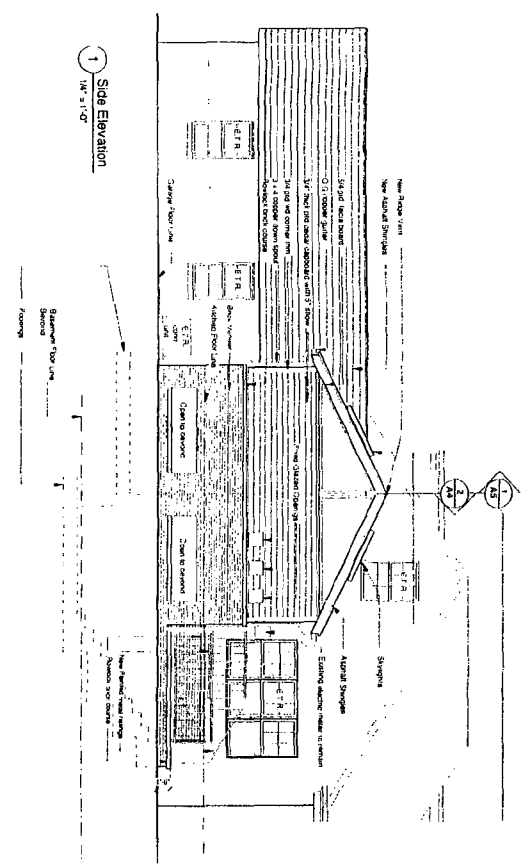
State Wall: 1/2\"/>
 State Floor: 1/2\"/>
 Allow 3/8\"/>

Construction of the new addition is to be in accordance with the Historic Preservation Commission's guidelines for historic preservation.

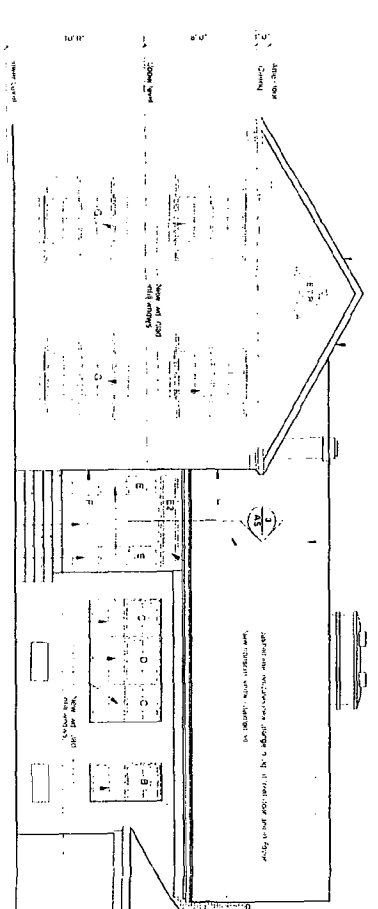




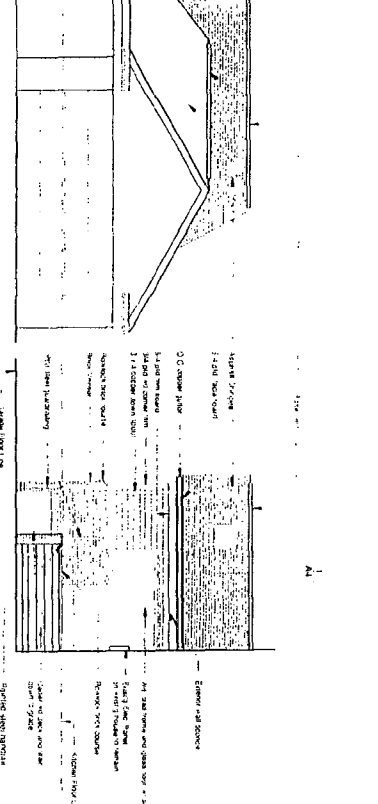
2 Section  
1/4" = 1'-0"



1 Side Elevation  
1/4" = 1'-0"



4 Front Elevation  
1/4" = 1'-0"



3 North Elevation - Farm Rm. Add  
1/4" = 1'-0"

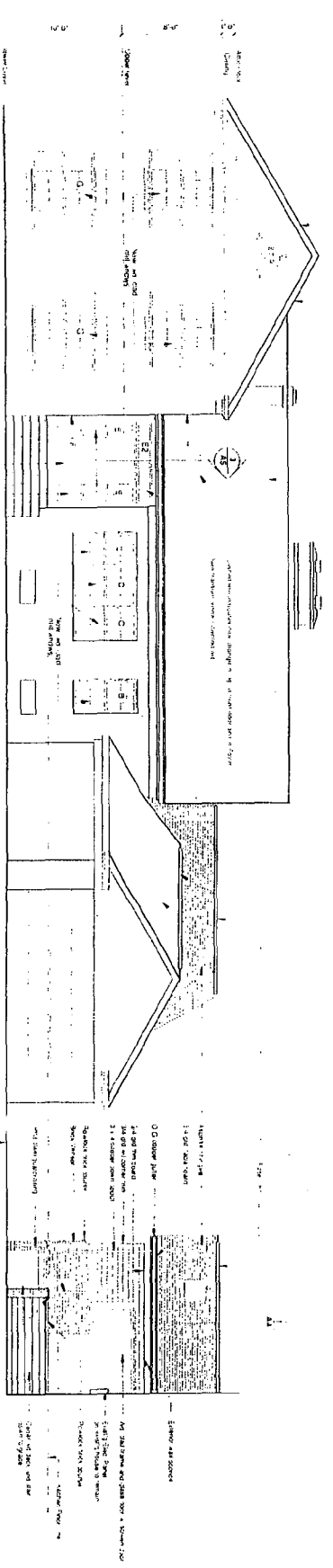
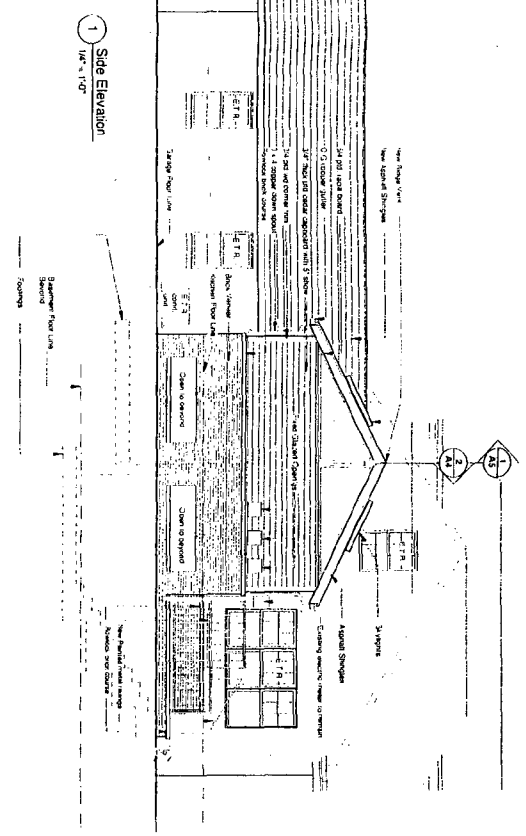
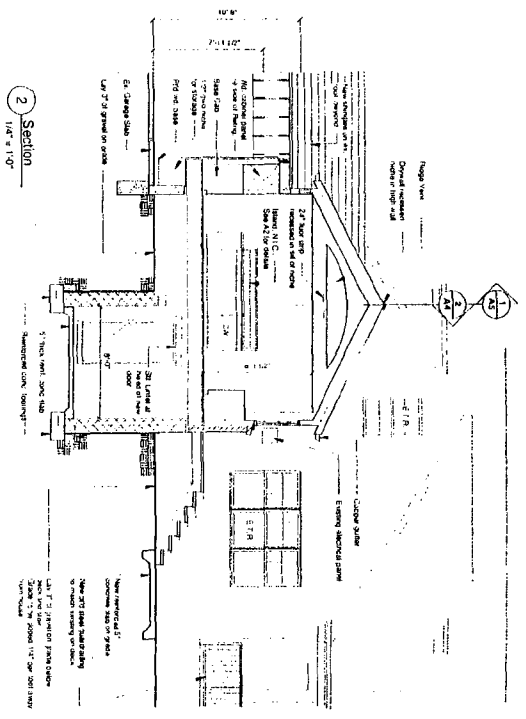
APPROVED  
Montgomery County  
Historic Preservation Commission

*[Handwritten signature]*

A7

Drawing Title	Project	Revisions	<b>SCHICK GOLDSTEIN ARCHITECTS</b> 1506 18TH STREET, NW WASHINGTON, D.C. 20036 TEL: 202-232-8135 FAX: 202-232-7149
ELEVATIONS	<b>ROBBINS / EVANS RESIDENCE</b> 43 Magnolia Parkway, Chevy Chase, Maryland		
Scale: 1/4" = 1'-0" Date: Mar. 10, 2000			

Contractor shall verify and bear responsibility for all field measurements, and shall provide a written report of any discrepancies before proceeding with the project.



4 Front Elevation  
1/4" = 1'-0"

1 Side Elevation  
1/4" = 1'-0"

3 North Elevation - Tam, Rim, Add  
1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*  
10/14/09

A 7	Scale Date 1/4" = 1'-0" Mar. 10, 2006	Drawing Title <b>ELEVATIONS</b>	Project <b>ROBBINS / EVANS RESIDENCE</b> #3 Magnolia Parkway, Chevy Chase, Maryland	Revisions	<b>SCHICK GOLDSTEIN ARCHITECTS</b>
	1506 19TH STREET, NW WASHINGTON, D.C. 20036 TEL: 202-232-8135 FAX: 202-232-7149				

1. This set of drawings and specifications are prepared for all listed dimensions and conditions and shall comply with all applicable codes and regulations governing the project.



M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 6-14-00

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator *gdw*  
Historic Preservation

SUBJECT: Historic Area Work Permit *#9806110061*  
*35/13-99C (Revision)*

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved  
 Approved with Conditions: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

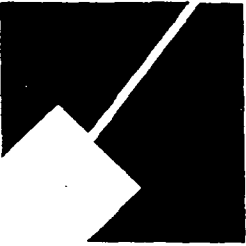
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Ruth Robbins & David Erens

Address: 3 Magnolia Parkway, Chevy Chase

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 6.14.00

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section *gfw*

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits  
35/13-99C (Revision) # 9806110061

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

c:\hawpapr.wpd

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	3 Magnolia Parkway, Chevy Chase	<b>Meeting Date:</b>	06/14/00
<b>Resource:</b>	Chevy Chase Village Historic District	<b>Report Date:</b>	06/07/00
<b>Case Number:</b>	35/13-99C (REVISED)	<b>Public Notice:</b>	05/31/00
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Applicant:</b>	Ruth Robbins & David Evans	<b>Staff:</b>	Perry Kephart
<b>PROPOSAL:</b>	Modify Front Alteration	<b>RECOMMEND:</b>	Approve

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**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource in Chevy Chase Village Historic District.

**DATE OF CONSTRUCTION:** 1957

**ARCHITECTURAL DESCRIPTION:** The residence is a painted brick, neo-colonial, s;lit level structure with a two-car garage attached at an angle. In front of the lower (center) section of the house is a brick wall. The house roof is asphalt, the windows are 6/1 and 8/1 on the front facade..

**BACKGROUND**

A HAWP was approved for a 1½ story addition with a front turret, segmental portico, and modified front wall design. The addition was to match the existing resource in terms of materials

**REVISION PROPOSAL**

The applicant has submitted a simplified expansion plan with the front facade now only slightly modified from the existing.

1. The central windows are to be 8/1 wood-framed, double-glazed openings with wood exterior muntins.

**STAFF RECOMMENDATION**

Staff recommends that the Commission *approve* the HAWP revision as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that,

if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the general condition applicable to all Historic Area Work Permits that **the applicant shall present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits** and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

Ms. Perry Kephart  
Montgomery County Department of Park and Planning  
Maryland-National Capital Park and Planning Commission  
8787 Georgia avenue  
Silver Spring, Md. 20910

May 10, 2000

Re: Permit #9806110061/ Revision Request

Dear Ms. Kephart:

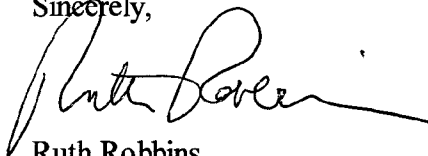
With this letter, I am requesting a revision to a historic building permit issued on April 6, 1999 for my home located at 3 Magnolia Parkway in the Village of Chevy Chase.

As you will note by the drawings, we have eliminated the turret-like structure that was to have been built at the front of the house. Thus, the only changes that continue to affect the front (and were included in the original plan and historic review) include: a) Replacing of the front windows with "eight over one" type windows and b) Reroofing of the entire house. Otherwise, all construction will be the rear and side of the house as originally stipulated.

Included here are the finalized plans for your review.

Thank you.

Sincerely,



Ruth Robbins  
301-907-9451

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

May 26, 2000

Mr. Reggie Jetter  
Department of Permitting Services  
255 Rockville Pike - 2nd Floor  
Rockville, MD 20850

*Reggie :*  
Dear Mr. Jetter:

Ms. Ruth Robbins of 3 Magnolia Parkway in the Chevy Chase Village Historic District is planning to apply for a building permit for an addition at her home. She has already been to the HPC for project review, and it was approved. However, she has decided to revise that particular design, and so has been scheduled for an additional review at the June 14<sup>th</sup> HPC meeting.

Because a more extensive and complicated project has already been reviewed and approved by the HPC, staff feels that this revised design will be approved by the commission as submitted.

In order to assist the applicant with her construction schedule, I am asking you to please accept her construction documents for the required building permit review prior to the HPC meeting on June 14<sup>th</sup>. This is clearly outside of our agreed upon procedure, and reflects our professional assessment that this project will be approved by the HPC. I have noted on the drawings that the HPC review is scheduled for June 14, 2000.

**Please do not issue the building permit until we provide you with the paperwork to substantiate the HPC action.** I have informed the applicant that, should any revisions be required by the HPC, the submitted drawings will be withdrawn and a new set provided for your permitting review. That is a risk she will take at her own discretion.

Thank you very much for your assistance with this. We have a rule, and this is (in my opinion) an exception. We very much appreciate you and your staff working with the HPC by not generally accepting building permit applications unless they have been stamped by the HPC. If you have any further questions. I can be reached at (301) 563-3400.

Sincerely yours,

Robin D. Ziek  
Historic Preservation Planner



## Facsimile Cover

*To:* 1-301-563-3412 *From:* Bourke, Tom  
*Fax Number:* 1-301-563-3412 *Subject:* CCV LAP: 3 Magnolia, 5 Grafton, 1  
*Date:* Tuesday, June 13, 2000 *Pages:* 2  
*Time:* 2:34:19 PM

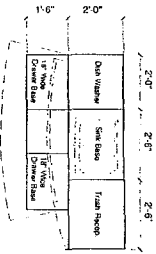
**Message:**

The following are the comments by the Chevy Chase Village LAP for HPC Agenda Items for 6/14/00:

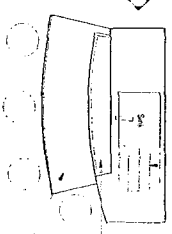
- P* A 3 Magnolia Pkwy,  
Robbins-Evans Residence  
Non-contributing resource  
Front alterations - revision for wood-framed windows  
Staff recommendation: approval  
the CCV LAP concurs with the staff recommendation to approve without conditions. The change to prior plan is not significant.
- P* D. 5 Grafton, Poole-Barr Residence  
Contributing resource  
a change to a previously (1998) approved front facade  
Staff recommendation: approval  
The LAP concurs with staff recommendation for approval without conditions. The changes from the prior approval are minor and generally help the facade.
- P* J. 1 East Melrose, Asher Residence  
Contributing Resource  
replace existing chain-link and panel fence with 6' 1x6 board on board fence  
Staff recommendation: expedited approval  
The LAP concurs that this is a good candidate for an expedited approval. Applicant is reminded that they must also secure approval from Chevy Chase Village Board of Managers for fences.
- R* O. 6100 Connecticut, CC Country Club  
Primary resource  
remove 8' x 11' paving area and replace with planting bed  
Staff recommendation: Expedited approval  
The LAP concurs with Staff recommendation



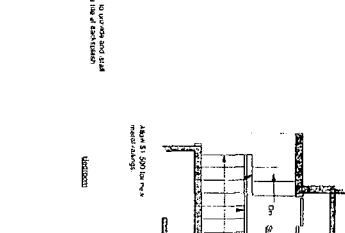
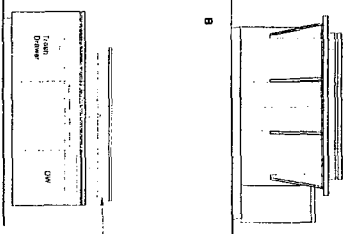
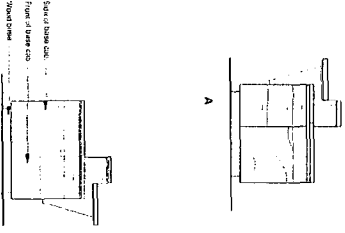




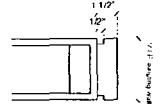
3 Plan @ Island Base Cabinets  
1/2" = 1'-0"



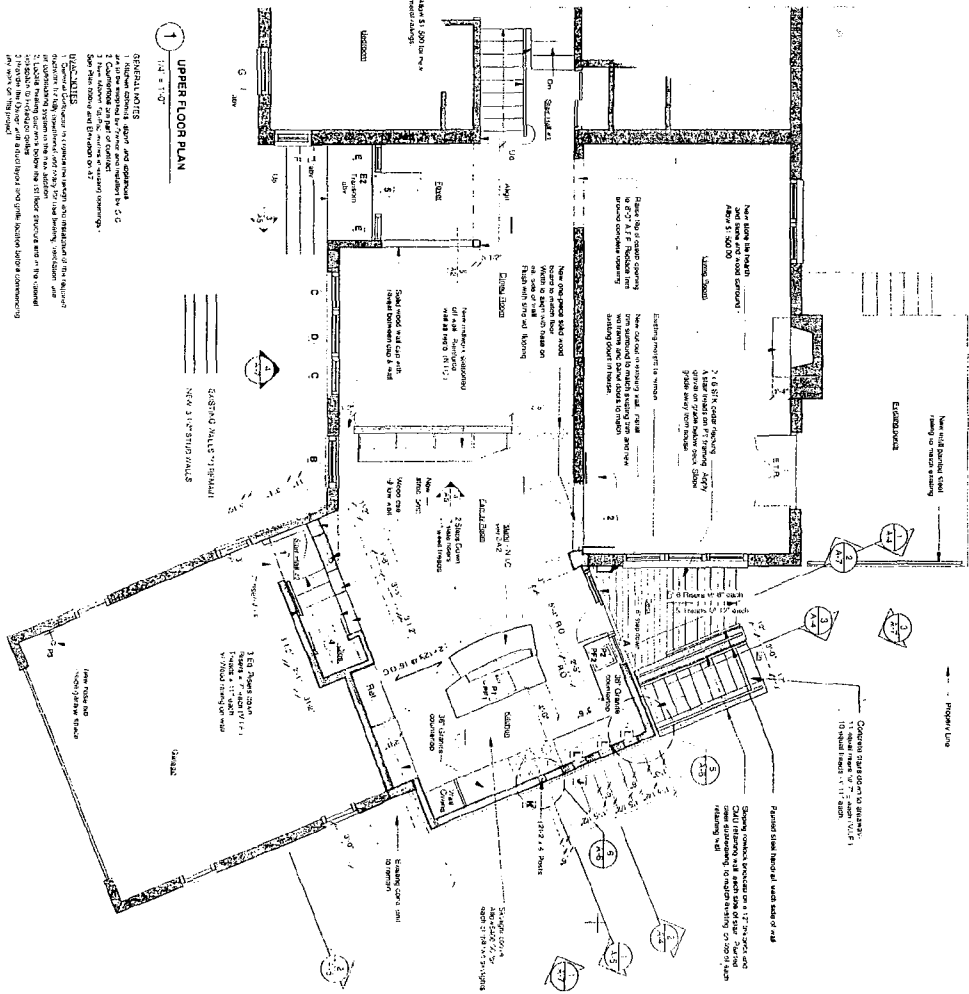
2 Plan @ Island Countertops  
1/2" = 1'-0"



4 Island Elevation  
1/2" = 1'-0"

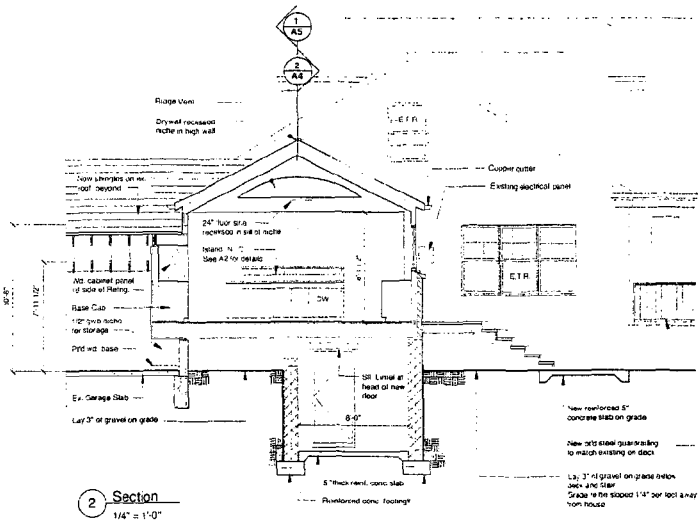


5 Wall Cap Detail  
3/8" = 1'-0"

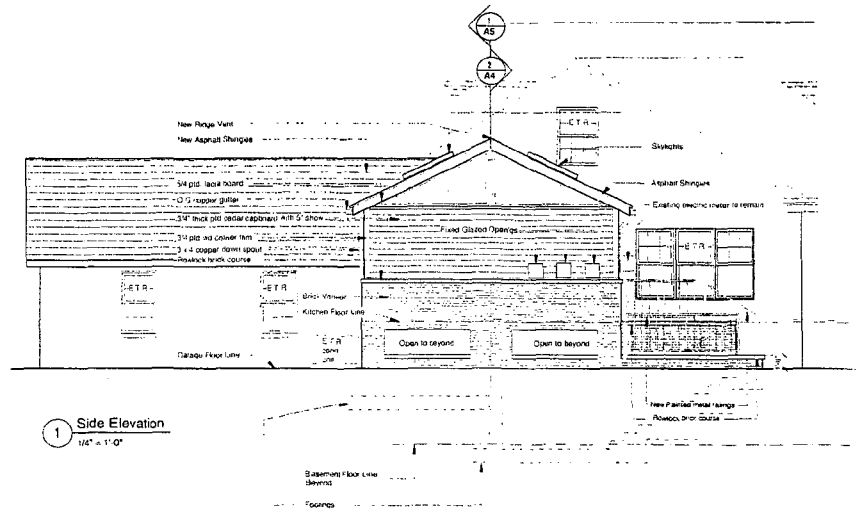


A 2	Scale	AS SHOWN	Project	Revisions	SCHICK GOLDSTEIN ARCHITECTS
	Date	MAR 16, 2000			

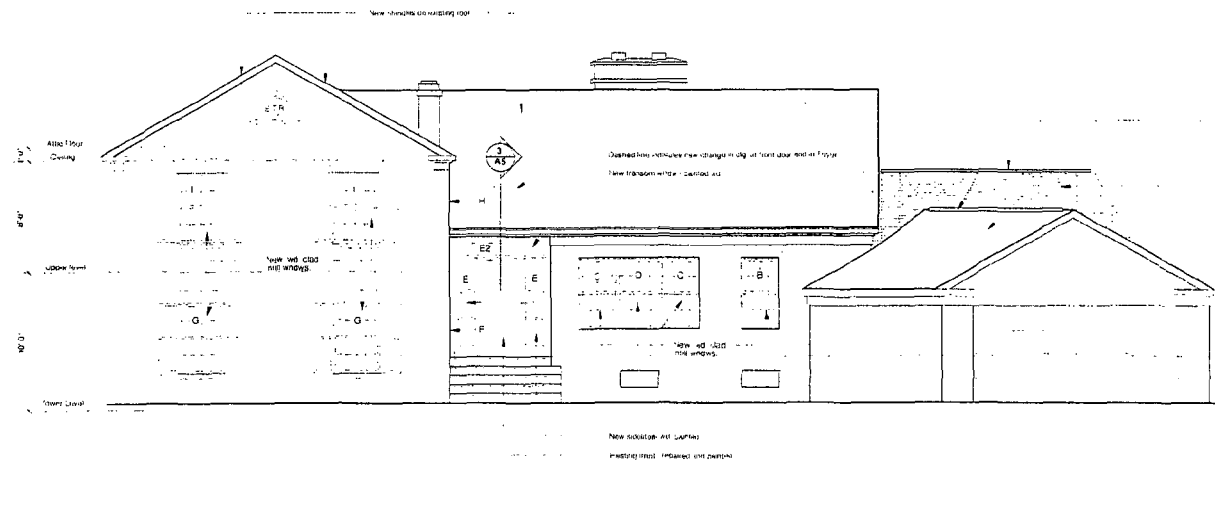
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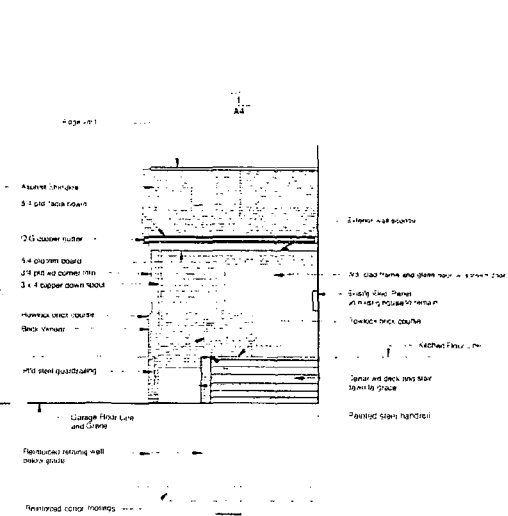
2 Section  
1/4" = 1'-0"



1 Side Elevation  
1/4" = 1'-0"



4 Front Elevation  
1/4" = 1'-0"



3 North Elevation -Porch, Rm. Add.  
1/4" = 1'-0"

SCHICK GOLDSTEIN ARCHITECTS

Revisions

Project

ROBBINS / EVANS RESIDENCE  
43 Magnolia Parkway, Chevy Chase, Maryland

Drawing Title

ELEVATIONS

Scale:  
Date:

1/4" = 1'-0"  
Mar. 10. 2006

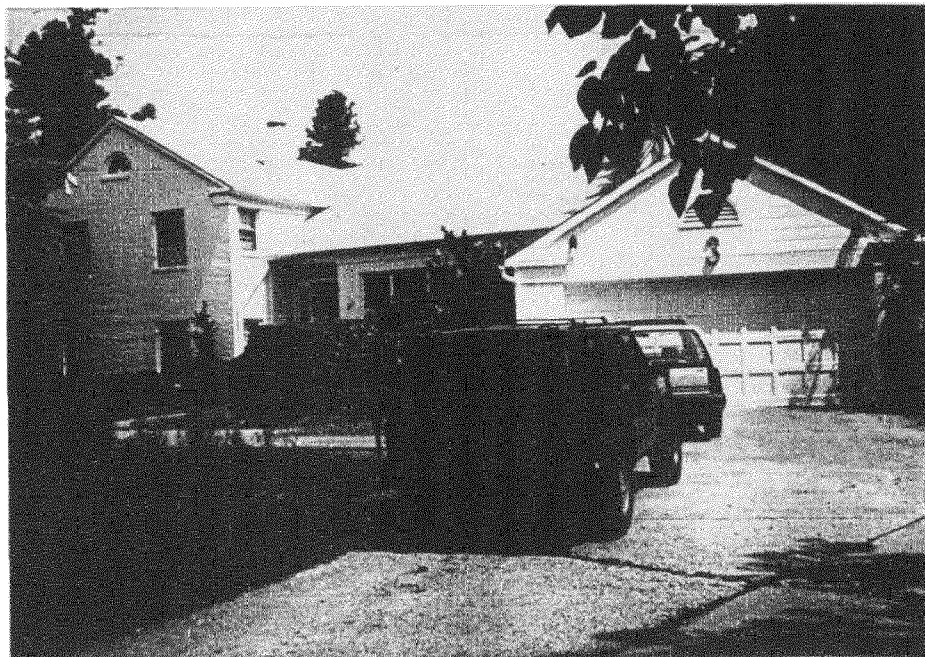
A7

1506 19TH STREET, NW  
WASHINGTON, D.C. 20036  
TEL: 202-232-0135 FAX: 202-232-7149

Contract documents and the responsibility is defined in drawings and conditions and EXHIBIT A, Addendum to the contract documents, shall prevail in the event of any discrepancy.



View from backyard, looking south at wall of existing structure and side-yard along property line.



Front view. House faces south. Variance is requested for east side of house, behind existing garage.





DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, 2nd FLOOR ROCKVILLE, MD 20850  
301/217-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Person: Ruth Robbins  
Daytime Phone No.: 301-907-9451

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Ruth Robbins / David Evans Daytime Phone No.: 301-907-9451  
Address: 3 Magnolia Parkway Chevy Chase MD 20815  
Street Number City Street Zip Code  
Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 3 Street: Magnolia Parkway  
Town/City: Chevy Chase Nearest Cross Street: Chevy Chase Circle  
Lot: 24 Block: 27 Subdivision: Chevy Chase Village  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 150-250,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Ruth Robbins \_\_\_\_\_ Date: 3/2/99  
Signature of owner or authorized agent

Approved: (Rec'd @ HPC 3/8/99 - gpl) For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 3-24-99  
Application/Permit No.: 9806110061 Date Filed: 6/11/98 Date Issued: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

35/13-99C 8

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

This split-level home was built in 1957 and is listed in the Master Plan as "noncontributing." It is of brick construction sitting between two other brick-constructed homes, directly off Cherry Chase Circle.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Project entails a relocation of the kitchen to the opposite side of the existing space. The family room, sitting next to the kitchen, would be totally renovated and expanded in 3 feet, if variance is approved. The structure would be all brick and would expand the home slightly to the east and the south.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

N/A

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

M-NCPCC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 3-24-99

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit - # 35/13-99C

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved  Denied

Approved with Conditions: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

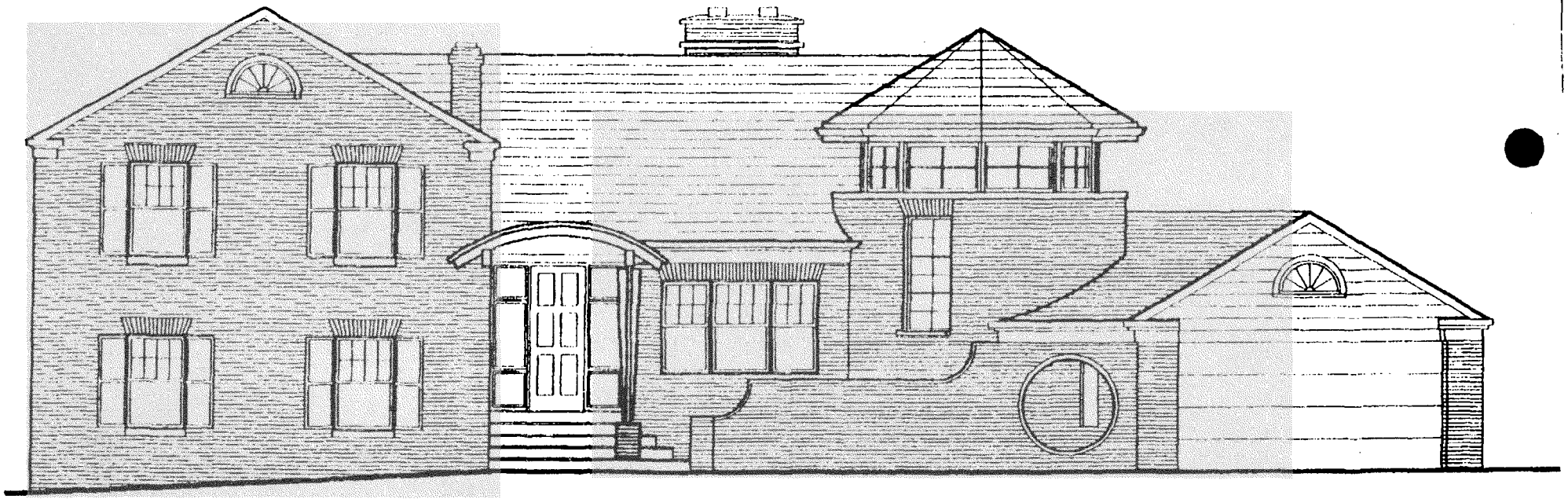
and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Ruth Robbins & David Evans

Address: 3 Magnolia Parkway Chevy Chase

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.



Front Elevation

1/8" = 1'-0"

**Robbins - Evans Residence**

**# 3 Magnolia Street**

**Chevy Chase, Md**

**Schick Goldstein Architects**

*Approved 03-24-99*



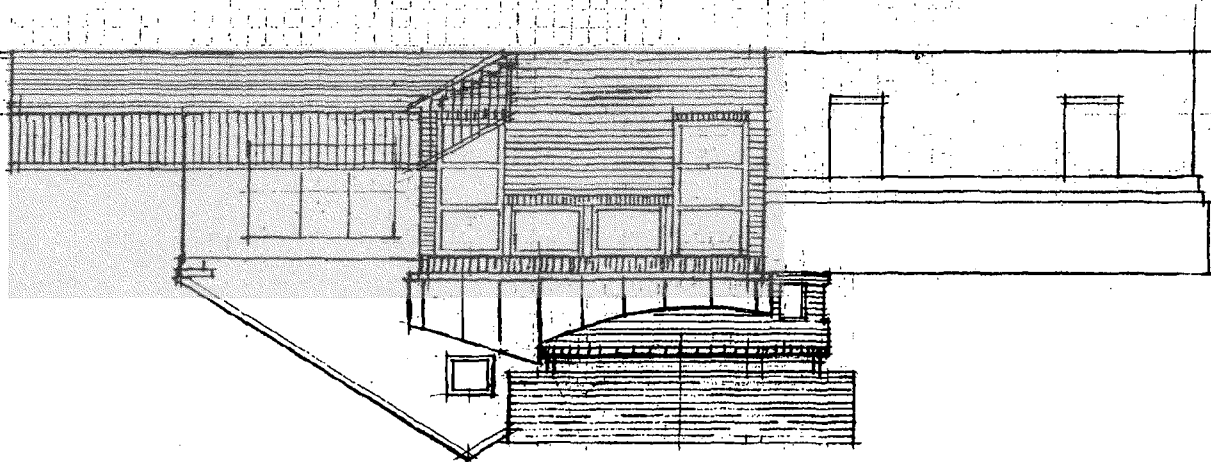
Approved 3-24-98 ARCHITECTS

ROBBINS / EVANS REG.

6.24.98

1/8" = 1'-0"

PROPOSED EAST ELEVATION







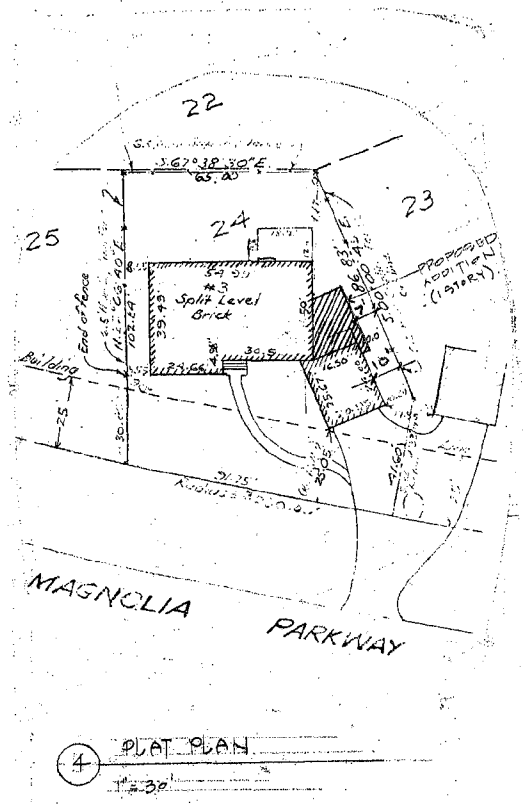
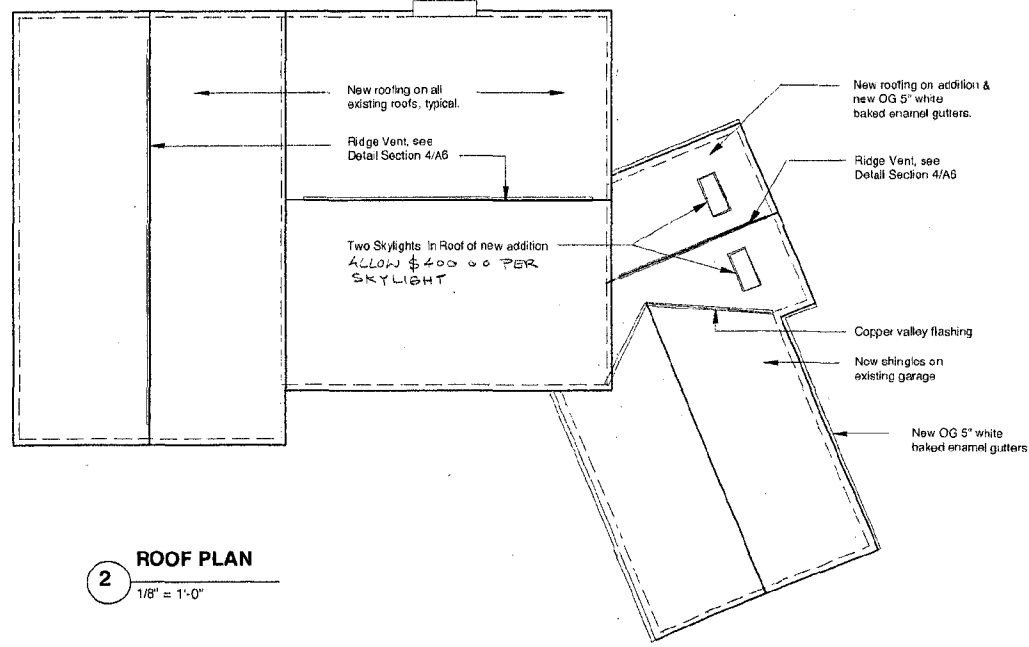
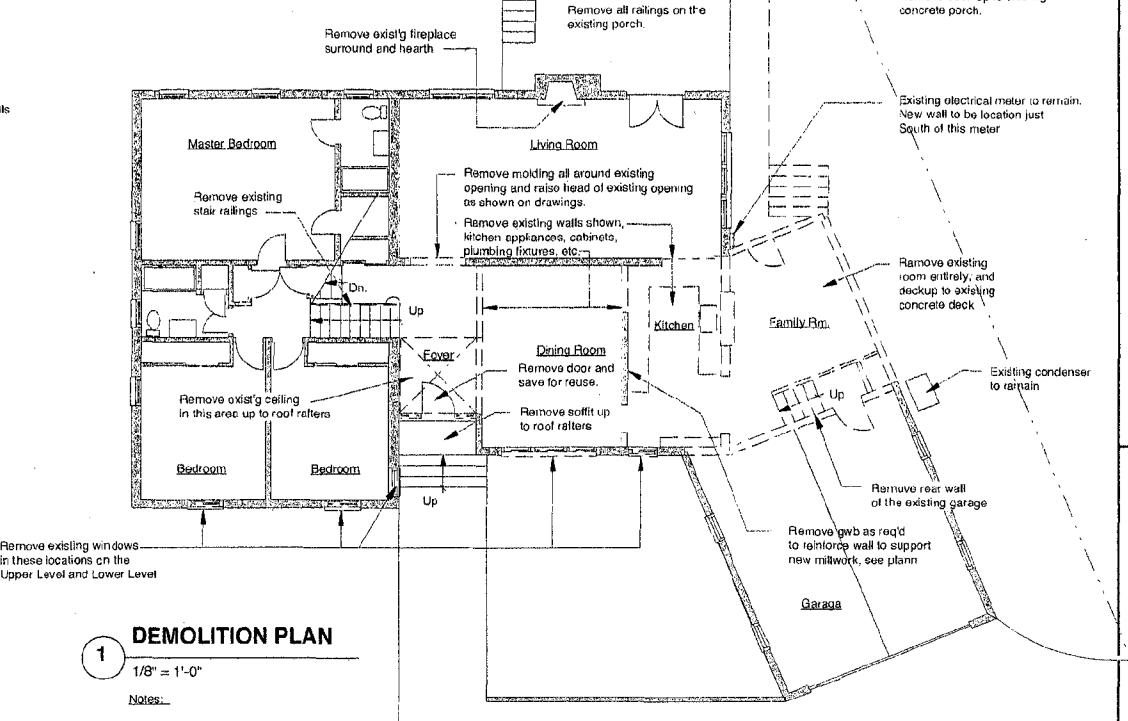
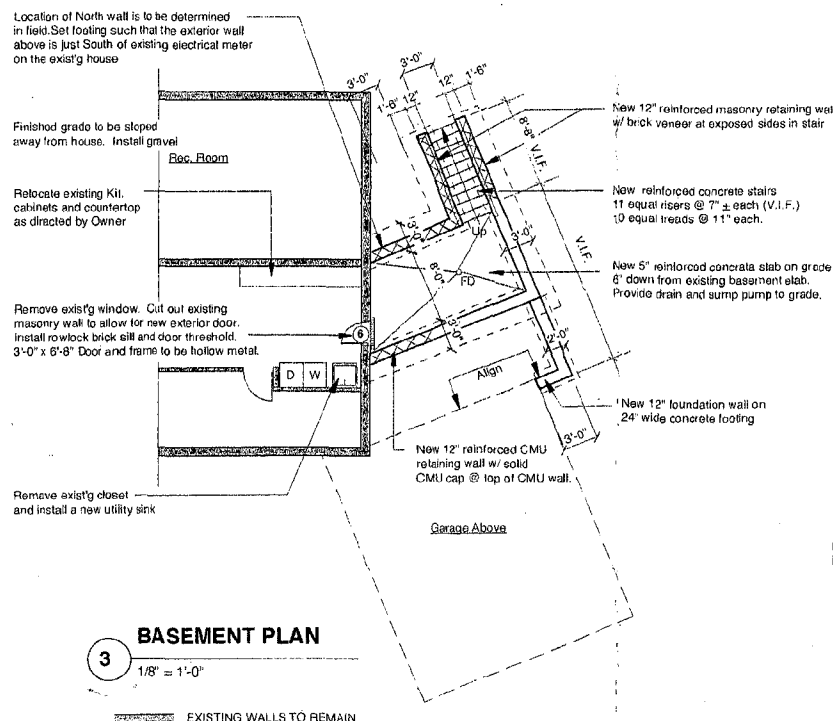
Front view. House faces south. Variance is requested for east side of house, behind existing garage.

**SYMBOLS LISTS**

	EXISTING TO BE REMOVED		CONCRETE MASONRY UNITS
	EXISTING TO REMAIN		PLYWOOD
	NEW WALL		STEEL
	NEW LOW WALL W/WD CAP		ALUMINUM
	REVISION		WOOD ROUGH FRAMING
	DOOR NO.		WOOD BLOCKING
	WINDOW SYMBOL		FINISHED WOOD MILLWORK
	PARTITION TYPE		CAST IN PLACE CONCRETE
	ELEVATION		CAST STONE
	ELEVATION Indicates Sheet No. AB Elevation No. 4		CENTERLINE
	INTERIOR ELEVATION Indicates Sheet No. AB Elevation No. 4		5'-0" DIMENSION TO FACE OF STUD OR MASONRY
	BUILDING SECTION Indicates Sheet No. AB Detail No. 4		5'-0" DIMENSION TO FINISH MATERIAL
	SECTION DETAIL Indicates Sheet No. AB Detail No. 4		BRICK
	SECTION DETAIL Indicates Sheet No. AB Detail No.		GLASS IN ELEVATION
			RIGID INSULATION
			BATT INSULATION

**ABBREVIATIONS**

ABV	Above	Fin	Finish	PL	Property Line
ABF	Above Finish floor	FLXT	Fixture	PLAM	Plastic Laminated
ACOUS	Acoustical	FLHTG	Flashing	PLAS	Plastic Plaster
A/C	Air Conditioning	FLFR	Floor	PLWD	Plywood
A/D	Adjustable	F.O.B.	Face of Brick, Block	PLW	Panel
ALT	Alternate	FP	Fire Proof	PP	Polished Plate
ALUM	Aluminum/Alloy	FR	Fire Rated	PRAP	Preparation
APPROX	Approximate	FRG	Facing	PSI	Pounds / Sq Inch
ANOD	Anodized	PSF	Pounds / Square Ft	PT	Point
ARCH	Architect	GA	Gauge	PTD	Painted
AT	At	GALV	Galvanized		
BC	Board	GC	General Contractor	PVC	Polyvinyl Chloride
BET	Between	GL	Glass	R.FAD	Radius, Riser
BOT	Bottom	GL	Ground Level Glass	RA	Return Air
BLOG	Blocking	GV	Galvanized	REC	Recessed
BUL	Block	GWB	Gypsum Wallboard	REF	Reference
BULK	Blocking	HD	Hose Bib	REG	Register
BUR	Buried	HDR	Highway	RENF	Reinforce
BSMT	Basement	HND	Highway	REQD	Required
BUP	Build Up Roofing	HGT	Height	RES	Resilient
CAB	Cabinet	HM	Hollow Metal	RET	Return
CER	Ceramic	HOR	Horizontal	RD	Roof Drain
CL	Control Joint	HND	Horizontal	RM	Room
CLG	Ceiling, Cofferings, Channel	HFG	Heating	RO	Rough Opening
CLR	Clear (ance)	HVAC	Heat, Ventilation and Air Cond.	RD	Round
CM	Centimeters	HWH	Hot Water Heater	S	South
CMU	Concrete Masonry	INCIN	Incinerator	SAN	Sanitary Sewer
CO	Cover Cut	INCL	Inch	SCH	Schedule
COL	Column	INCL	Inch	SEC	Section
CONC	Concrete	ID	Inside Diameter	SEP	Separate
CONT	Continuous	INSUL	Insulation	SC	Solid Core
CONTR	Contractor	INT	Interior	SCH	Schedule
CONST	Construction	INV	Invert	SHT	Sheet
C.S.	Cast Stone	JAN	Janitor	SIM	Similar
CT	Ceramic Tile	JT	Joint	SPEC	Specification
DEM	Demolition			SPK	Speaker
DET	Detail	KIT	Kitchen	SQ	Square
DF	Drinking Fountain	KPL	Kickplate	ST STL SS	Stainless Steel
DH	Double Hung	STL	Steel	STL	Steel
DIA	Diameter	LAB	Laboratory	STOR	Storage
DIAG	Diagonal	LAM	Laminated	ST SW	Storm Sewer
DIAM	Diameter	LAV	Lavatory	STR	Structural
DIM	Dimension	LBL	Label	SUSP	Suspended
DN	Down	LBS	Pounds	SW	Switch
DN/SPT	Downspout	LDR	Leader	SYM	Symbol
DR	Door	LW	Lightweight	T	Tread
DWG	Drawing	MAX	Maximum	TC	Top of Curb
DWR	Drawer	MCH	Mechanical	TCW	Top of Wall
E	East	MET, MTL	Metal	TOS	Top of Slab
EA	Each	MFG	Manufacturer	TS	Top of Steel
E/FS	Exterior Insulation Finish	MH	Man Hole	TRANS	Transformer
ELRC	Electric, Electrical	MIN	Minimum	TYP	Typical
ELEV	Elevation (in feet and)	MIS	Miscellaneous Metal	UNO	Unless Noted Otherwise
ELEV	Elevation	MISC	Miscellaneous	UL	Underwriter's Laboratories
EMER	Emergency	MLD	Moulding	VA	Valve
EPDM	Elastomeric Membrane	MC	Masonry Opening	VC	Vinyl Composition Tile
EQUIP	Equipment	N	North	VERT	Vertical
EQ	Equal	NAT	Natural	V.I.F.	Veil in Field
EST	Estimate	NIC	Not in Contract	W	Water/Wire/Wide/West
EW	Electric Water Cooler	NIS	Noise Insulation Coefficient	WC	Water Closet
EXCAV	Excavate	NPS	Noise Reduction Coefficient	WD	Wood
EXT	Exhaust	NTS	Not to Scale	WP	Water Proofing
EXT	Existing	NO or #	Number	WR	Water Resistant
EXT/IG	Existing	OC	On Center	WSC	Wainscot
EXP	Exposed	OD	Outside Diameter	WWF	Welded Wire Fabric
EXT/IE	Exterior Insulation	OPG	Opening	WWM	Welded Wire Mesh
EXT	Exterior	OPP	Opposite	W/	With
FBO	Finished by Owner	OH	Overhead		
FDIN	Foundation	OD	Outside Diameter		
FE	Fire Escape	OPR	Opening		
FE	Fire Extinguisher Cabinet	P	Plate, Property Line		
FF	Finish Floor, Factory Finish	PE	Pedestal		
FH	Full Height	PERF	Perforated		



**LIST OF DRAWINGS**

- A1 Demolition Plans  
Roof Plan  
Basement Plan  
Plat Plan
- A2 First Floor Plan  
Island Details & Millwork Elevation
- A3 Reflected Cig. Plan  
Electrical & Lighting Fixture Schedule
- A4 Sections
- A5 Sections
- A6 Details
- A7 Elevations

**SCHICK GOLDSTEIN ARCHITECTS**

Revisions

Project

Drawing Title

Scale:  
Date:

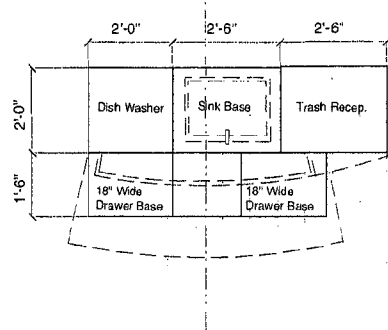
1506 19TH STREET, NW  
WASHINGTON, D.C. 20036  
TEL: 202-232-8135 FAX: 202-232-7149

**ROBBINS / EVANS RESIDENCE**  
#3 Magnolia Parkway, Chevy Chase, Maryland

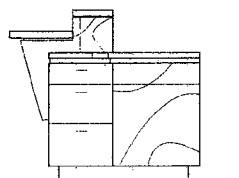
**DEMOLITION PLANS**

**A1**

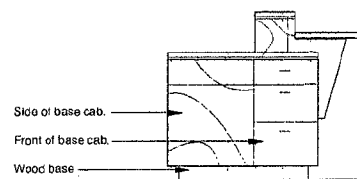
Contractor shall verify and be responsible for all field dimensions and conditions and shall notify Architect of any discrepancies before proceeding with the project.



3 Plan @ Island Base Cabinets  
1/2" = 1'-0"

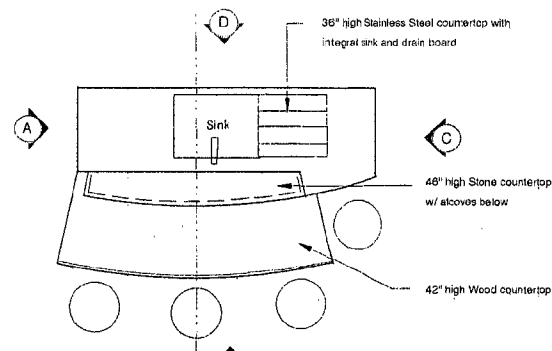


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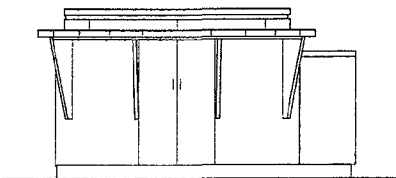


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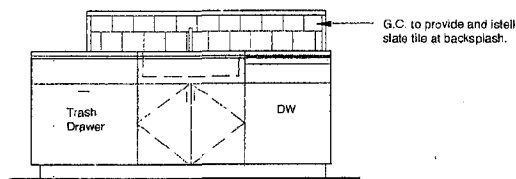
4 Island Elevations  
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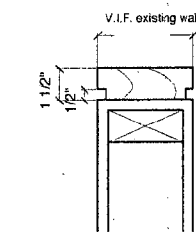
2 Plan @ Island Countertops  
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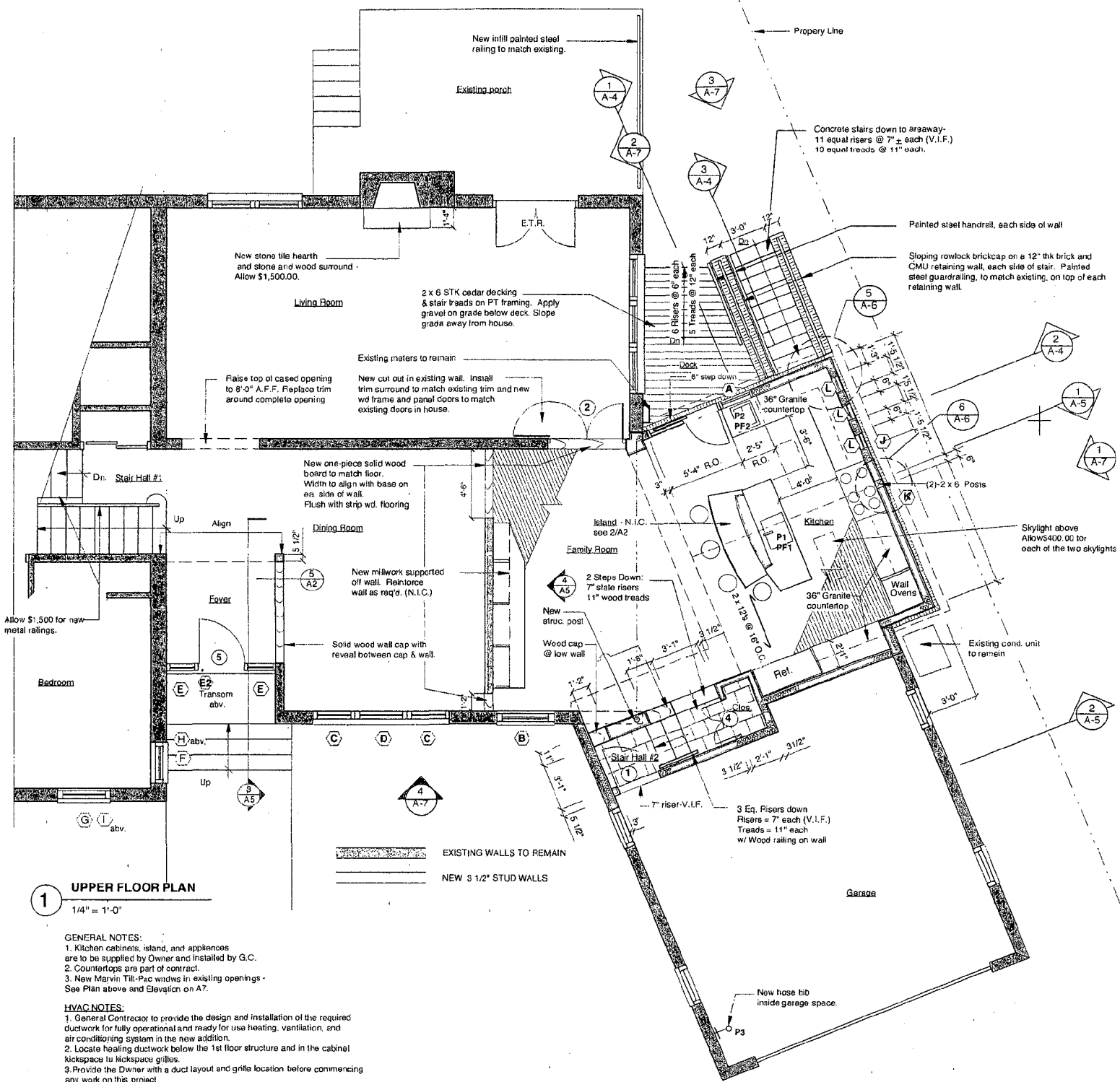
B



D



5 Wall Cap Detail  
3" = 1'-0"



1 UPPER FLOOR PLAN  
1/4" = 1'-0"

GENERAL NOTES:  
1. Kitchen cabinets, island, and appliances are to be supplied by Owner and installed by G.C.  
2. Countertops are part of contract.  
3. New Marvin Til-Pac windows in existing openings - See Plan above and Elevation on A7.

HVAC NOTES:  
1. General Contractor to provide the design and installation of the required ductwork for fully operational and ready for use heating, ventilation, and air conditioning system in the new addition.  
2. Locate heating ductwork below the 1st floor structure and in the cabinet kickspace in kickspace grilles.  
3. Provide the Owner with a duct layout and grille location before commencing any work on this project.

ROOM	FLOOR	BASE	WALLS	CEILING	HGT	REMARKS
Foyer	Ex. Wd - Refinish	Wd. - paint	P't'd gwb	P't'd gwb	Existing	
Stair hall #1	Ex. Wd - Refinish	" "	P't'd gwb	P't'd gwb	Existing	
Living Room	Ex. Wd - Refinish	" "	P't'd gwb	P't'd gwb	Existing	
Dining Room	Ex. Wd - Refinish	" "	P't'd gwb	P't'd gwb	Existing	
Family Room	New wd. to match exist.	" "	P't'd gwb	P't'd gwb	9' = 0"	
Kitchen	New wd. to match exist.	" "	P't'd gwb & Slate Tile	P't'd gwb	Sloped	
Stair Hall #2	Slate Tiles	" "	P't'd gwb	P't'd gwb	Sloped	Treads are slate or wood, Risers are slate. See Plan for location
Garage	Exist. Conc. - Repair	" "	P't'd gwb	Exposed Wd.		

Slate Wall Tiles: 12" x 12" cut down to 6" x 6"  
Allow \$ 11.30 per square foot for material cut.  
Slate Floor Tiles: 12" x 12"  
Allow \$8.30 per square foot for material

No.	Location	Size	Door		Frame		Remarks
			Mat.	Finish	Mat.	Finish	
1	Garage	Reuse existing garage door	Repair	Paint	Wd.	Paint	Reuse existing hardware
2	Living Room	(2) 2'-6" X V.I.F.	Wd.	Paint	Wd.	Paint	
3	Kitchen	See Wndw Schedule	Clad Wd/Gl	Clad/Paint	Clad		
4	Closest @ Stair #2		Wd.	Paint	Wd.	Paint	
5	Front Door	Existing door to be reused	Wd. Repair	Repair	Wd.	Paint	
6	Basement	3'-0" x 6'-0"	Hollow	Paint	Hollow	Paint	

**SCHICK GOLDSTEIN ARCHITECTS**  
 1506 19TH STREET, NW  
 WASHINGTON, D C 20036  
 TEL: 202 - 232 - 8135 FAX: 202 - 232 - 7149

**ROBBINS / EVANS RESIDENCE**  
 #3 Magnolia Parkway, Chevy Chase, Maryland

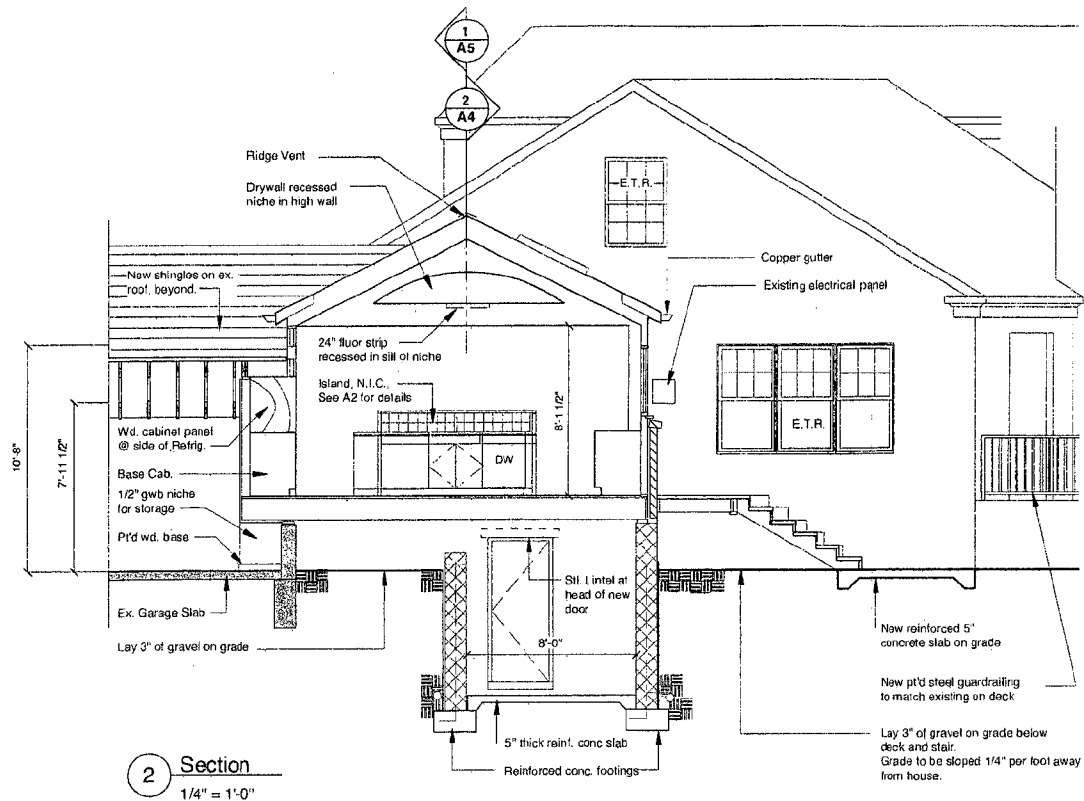
**UPPER & LOWER FLOOR PLANS**

Drawing Title: Project  
 Revisions:

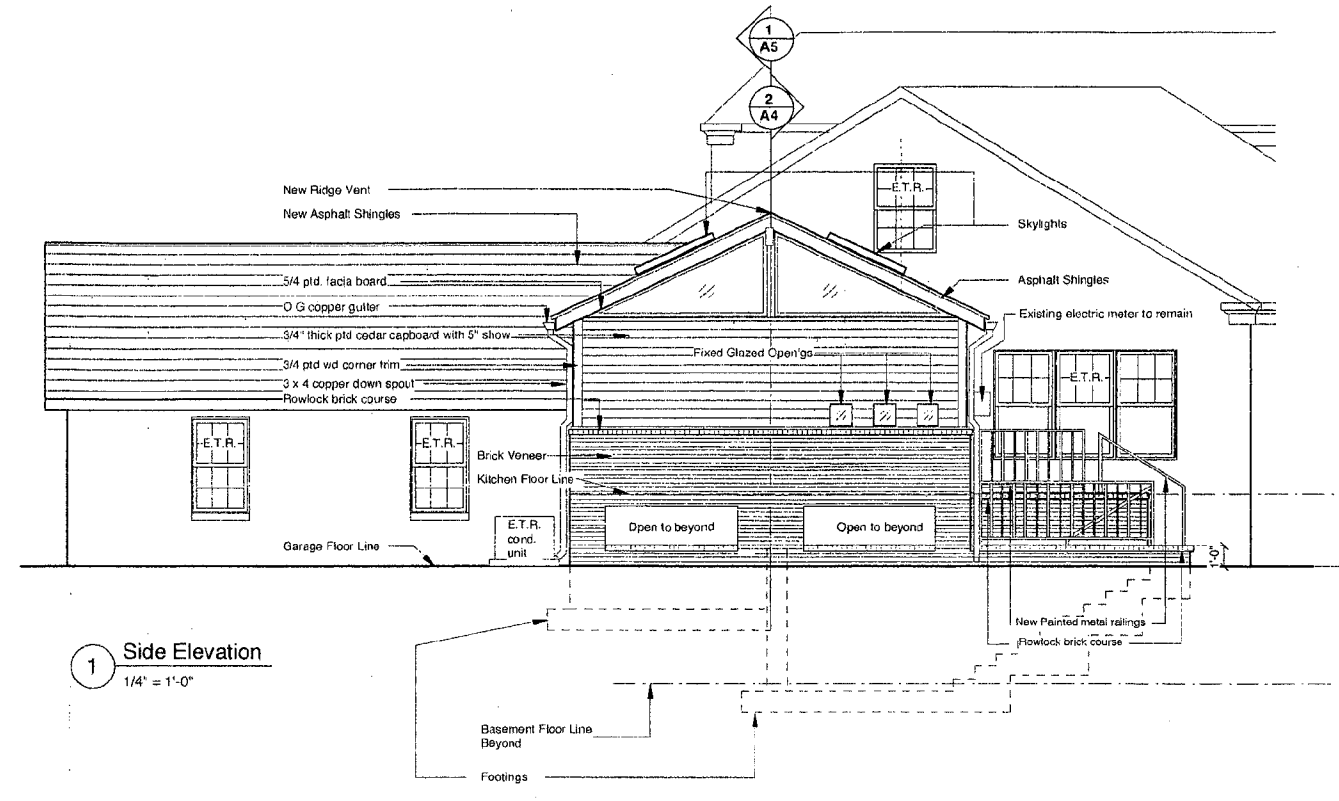
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**A 2**

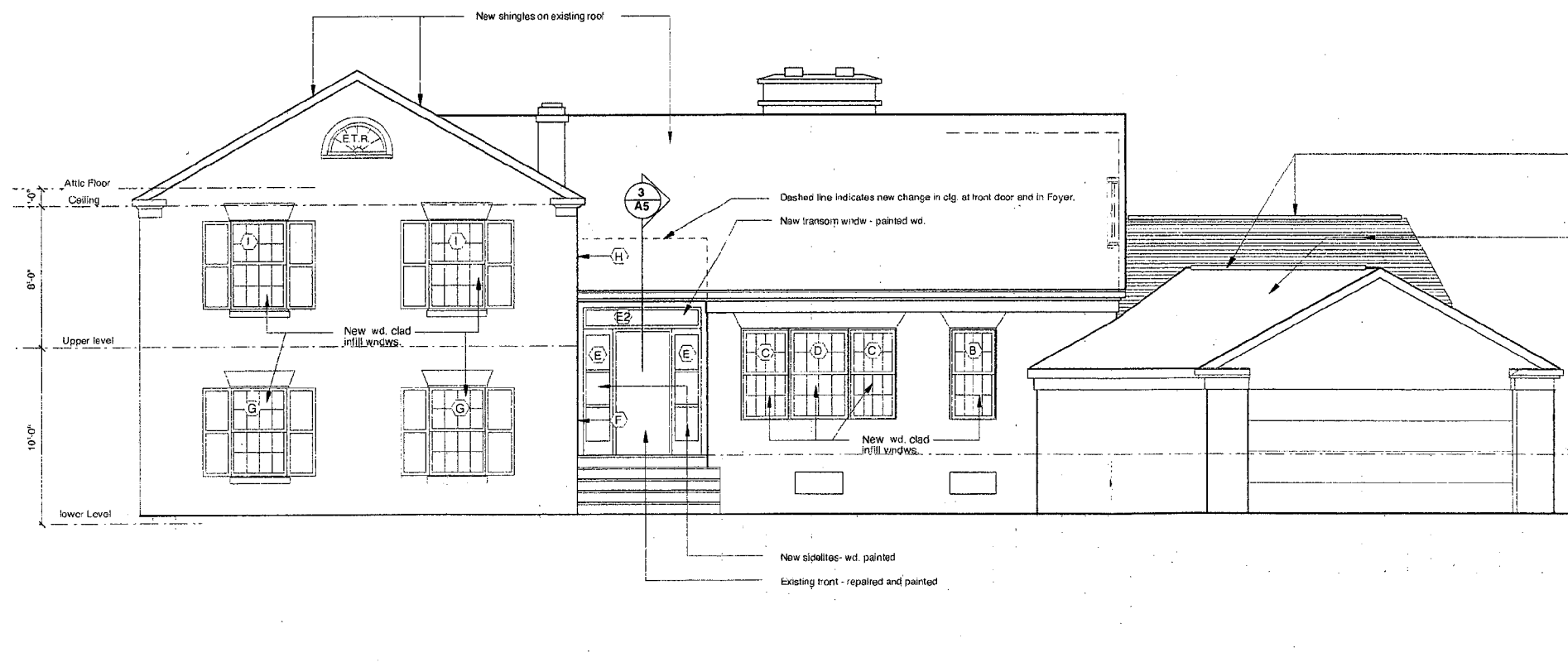
Contractor shall verify and be responsible for all field dimensions and conditions and shall notify Architect of any discrepancies before proceeding with the project.



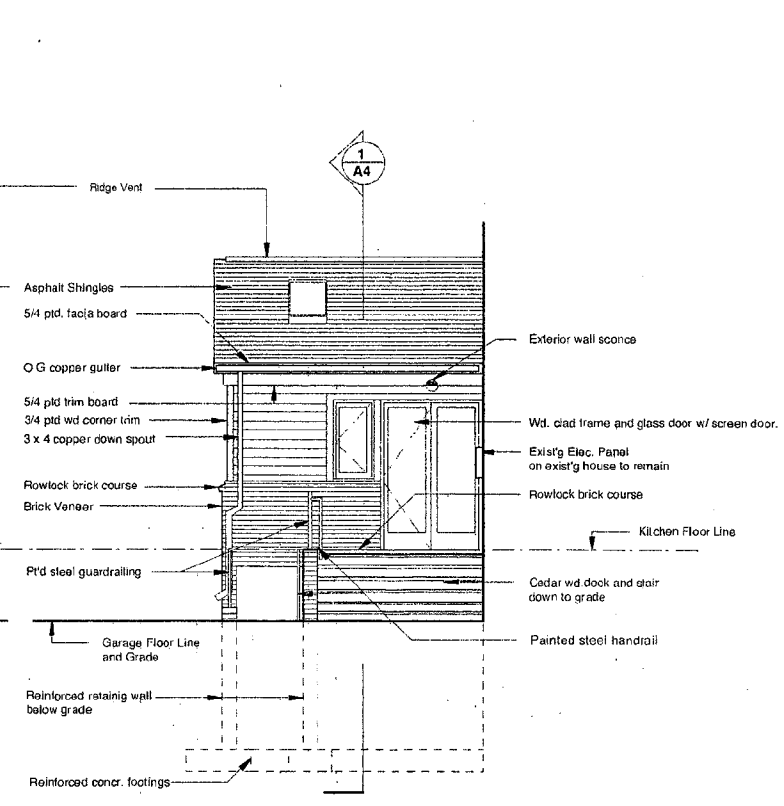
2 Section  
1/4" = 1'-0"



1 Side Elevation  
1/4" = 1'-0"



4 Front Elevation  
1/4" = 1'-0"



3 North Elevation - Fam. Rm. Add.  
1/4" = 1'-0"

SCHICK GOLDSTEIN ARCHITECTS

Revisions

Project

Drawing Title

Scale: 1/4" = 1'-0"  
Date: Mar. 10, 2000

1506 19TH STREET, NW  
WASHINGTON, D.C. 20036  
TEL: 202 - 232 - 8135 FAX: 202 - 232 - 7149

ROBBINS / EVANS RESIDENCE  
#3 Magnolia Parkway, Chevy Chase, Maryland

ELEVATIONS

A7

Contractor shall verify and be responsible for all field dimensions and conditions and shall notify Architect of any discrepancies before proceeding with the project.

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	3 Magnolia Parkway	<b>Meeting Date:</b>	03/24/99
<b>Resource:</b>	Chevy Chase Village Historic District	<b>Public Notice:</b>	03/10/99
<b>Case Number:</b>	35/13-99C	<b>Report Date:</b>	03/17/99
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Applicant:</b>	Ruth Robbins & David Evans	<b>Staff:</b>	Perry Kephart
<b>PROPOSAL:</b>	Substantial Alteration	<b>RECOMMEND:</b>	Approve

---

**DATE OF CONSTRUCTION:** 1957

**SIGNIFICANCE:** Non-contributing Resource in Chevy Chase Village Historic District.

**ARCHITECTURAL DESCRIPTION**

The residence is a painted brick, neo-colonial, split level structure with a two-car garage attached at an angle. In front of the lower (center) section of the house is a brick wall. The roof is asphalt. The windows are 6/1 and 8/1 on the front facade.

**PROPOSAL**

The applicant proposes to:

1. Add a segmental portico over the front door with panels on either side of the door.
2. Install a front facade 1½ story tower at the garage end of the house with a one story rear addition in the space between the house and the garage. The tower and rear section are proposed to be constructed of brick and glass with an octagonal asphalt shingle roof. An 8 light vertical window is proposed for the lower level of the tower. Clerestory windows are proposed above the first level.

**STAFF DISCUSSION**

The project is being undertaken in order to move the kitchen and enlarge the existing family room. Changes to a non-contributing residence are to be reviewed with leniency, including those to the front facade. In this case, the massing and scale are not being modified and the changes are compatible with the surrounding streetscape. The modifications are an innovative solution to the need for more space.

**STAFF RECOMMENDATION**

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the general condition applicable to all Historic Area Work Permits that **the applicant shall present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits** and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE:

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC

Robin D. Ziek, Historic Preservation Planner

Perry Kephart, Historic Preservation Planner *pk*

SUBJECT: Historic Area Work Permit Application - HPC Decision # 35/13-99C

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The Historic Preservation Commission reviewed this project on 3-24-99.  
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

G\wp\laphawp.ltr

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 3-24-99

#9806110061

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section *gwr*

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

*HPC-35/13-99C*

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



Perry - 4/25  
10:10

Please call

Rita Robbins  
(3 Magnolia) re:

modification

301-907-9451

Sue

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Ruth Robbins  
Daytime Phone No.: 301-907-9451

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Ruth Robbins / David Evans Daytime Phone No.: 301-907-9451  
Address: 3 Magnolia Parkway Chevy Chase MD 20815  
Street Number City State Zip Code  
Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 3 Street: Magnolia Parkway  
Town/City: Chevy Chase Nearest Cross Street: Chevy Chase Circle  
Lot: 24 Block: 27 Subdivision: Chevy Chase Village  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  
 Move  Install  Wreck/Raze  
 Revision  Repair  Revocable

CHECK ALL APPLICABLE:  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 150-250,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

*I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.*

Ruth Robbins 3/2/99  
Signature of owner or authorized agent Date

(Rec'd @ HPC 3/8/99 - epl)  
Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

This split-level home was built in 1957 and is listed in the Master Plan as "noncontributing." It is of brick construction sitting between two other brick-constructed homes, directly off Chevy Chase Circle.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Project entails a relocation of the kitchen to the opposite side of the existing space. The family room, sitting next to the kitchen, would be totally renovated and expanded in 3 feet, if variance is approved. The structure would be all brick and would expand the home slightly to the east and the south.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

BOARD OF APPEALS FOR MONTGOMERY COUNTY, MARYLAND

**LIST OF ADJOINING AND CONFRONTING PROPERTY OWNERS**  
 (Please see information on reverse side)

NAME	ADDRESS (Please add Zip Code)	LOT/PARCEL	BLOCK
Philip S. Day	5800 Connecticut Ave. 20815	23	27
Del S. Winnik	5804 Connecticut Ave 20815	22	27
William Maloni	5 Chevy Chase Circle 20815	1	25
Jerome Bracken	5 Magnolia Parkway 20815	25	27

**Robbins/Evans Residence**

**Material Specifications**

12/3/98

**Exterior Wall Material:** Brick

**Roof:**

Turret Room: standing seam tin, painted, or copper, or asphalt shingles

Family Room: standing seam tin, painted, or asphalt shingles

Entrance overhang: standing seam tin, painted

**Windows:** Marvin Wood Clad

**Flooring:**

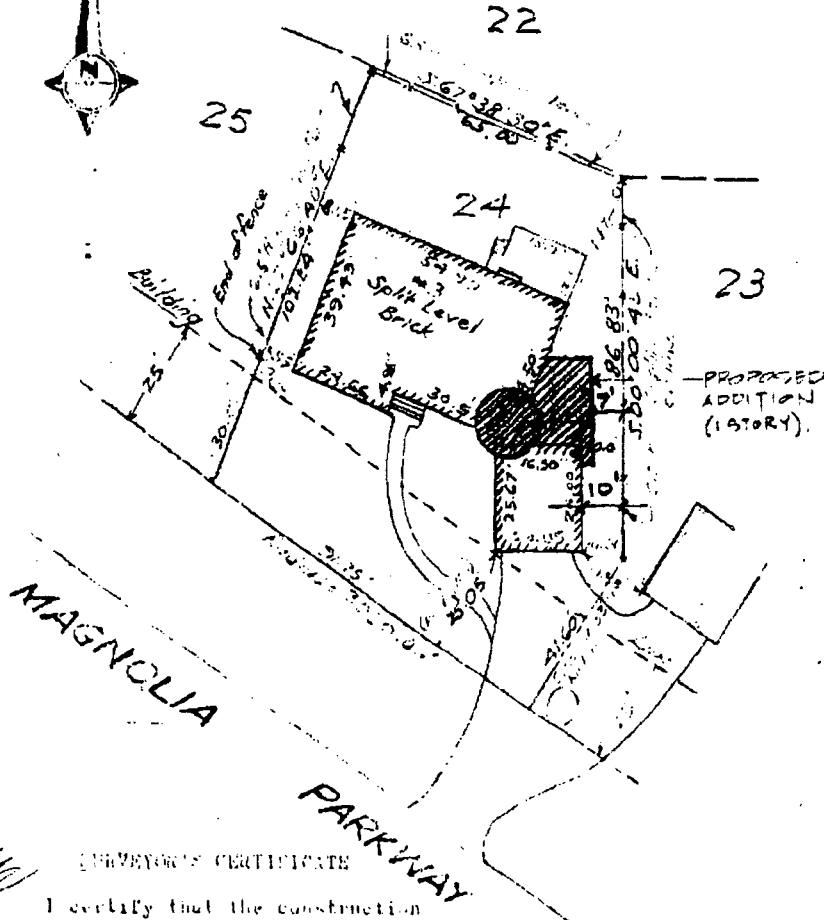
Foyer: Wood floor patch-in as necessary

Kitchen: Quarry Tile

Family Room: Wood to match existing

**Ceiling:**

Family Room and Kitchen: Exposed Douglas Fir Clear 4 x 12's with exposed Douglas  
Fir Clear 2 x 6 Tongue & Groove decking



MAGNOLIA  
PARKWAY

**SURVEYOR'S CERTIFICATE**

I certify that the construction exists as shown herein.

*John J. Allen*  
Registered Land Surveyor

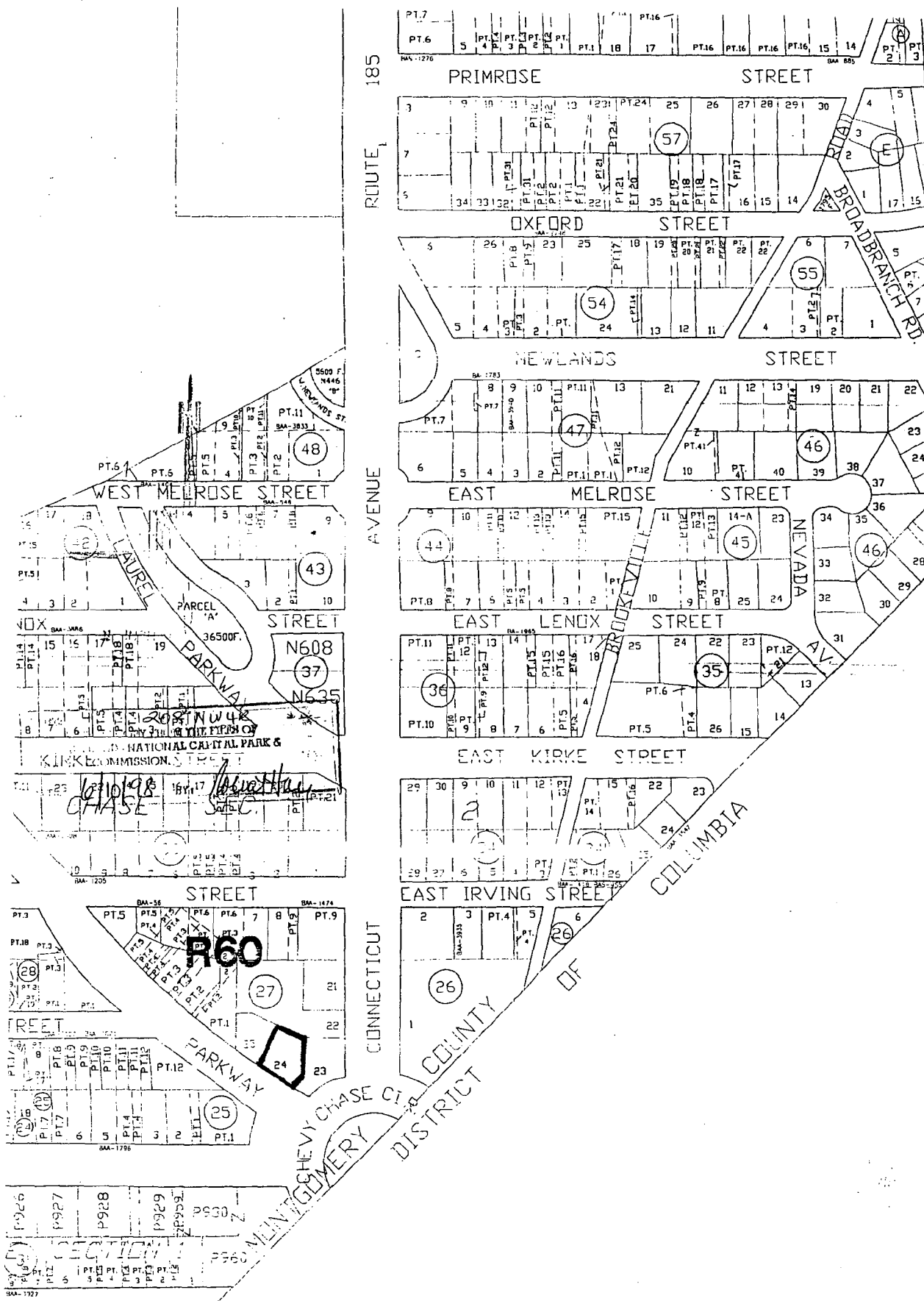
**SURVEYOR'S CERTIFICATE**

I hereby certify that the position of all the existing improvements on the above described property has been carefully established by a transit-tape survey and that unless otherwise shown, there are no encroachments.  
August 19, 1958.

*John J. Allen*  
Registered Land Surveyor

Building Location Plat  
Lot 24 to Block 27

Accepted to Park and Planning Dept. Lot was RECORDED  
on July 18, 1958  
Park and Planning # 201-495-4585



# Montgomery County Property Map

National Capital Park and Planning Commission; Montgomery County Planning Department



View from neighbor's yard toward existing structure. New structure will also be one story but constructed from brick and glass in keeping with the rest of the house.



View from side-yard, looking north. New Structure would come forward from behind the AC unit three additional feet, a length just short of the distance the existing AC unit juts out into the yard now.





Front view of shared driveway and neighbor's garage (5800 Connecticut Ave.).

**Robbins/Evans Residence**  
Material Specifications  
12/3/98

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**Roof:**

Turret Room: standing seam tin, painted, or copper, or asphalt shingles  
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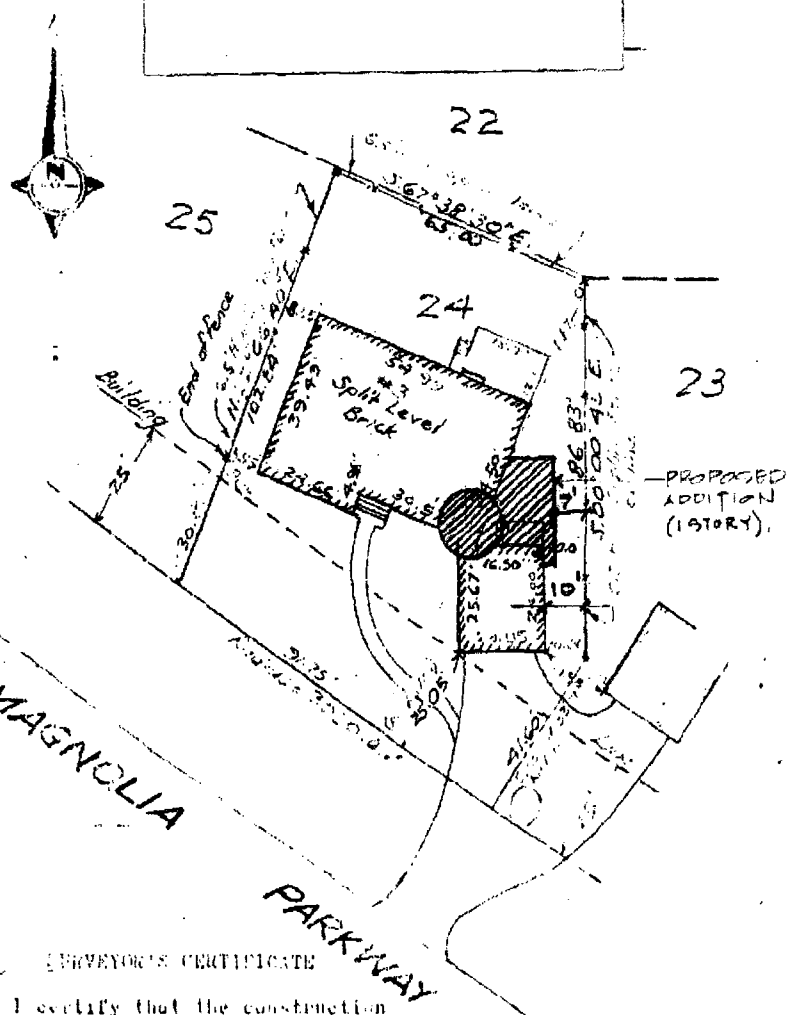
**Windows:** Marvin Wood Clad

**Flooring:**

Foyer: Wood floor patch-in as necessary  
Kitchen: Quarry Tile  
Family Room: Wood to match existing

**Ceiling:**

Family Room and Kitchen: Exposed Douglas Fir Clear 4 x 12's with exposed Douglas  
Fir Clear 2 x 6 Tongue & Groove decking



UW

**SURVEYOR'S CERTIFICATE**

I certify that the construction exists as shown hereon.

*John J. Allen, Jr.*  
Registered Land Surveyor

**SURVEYOR'S CERTIFICATE**

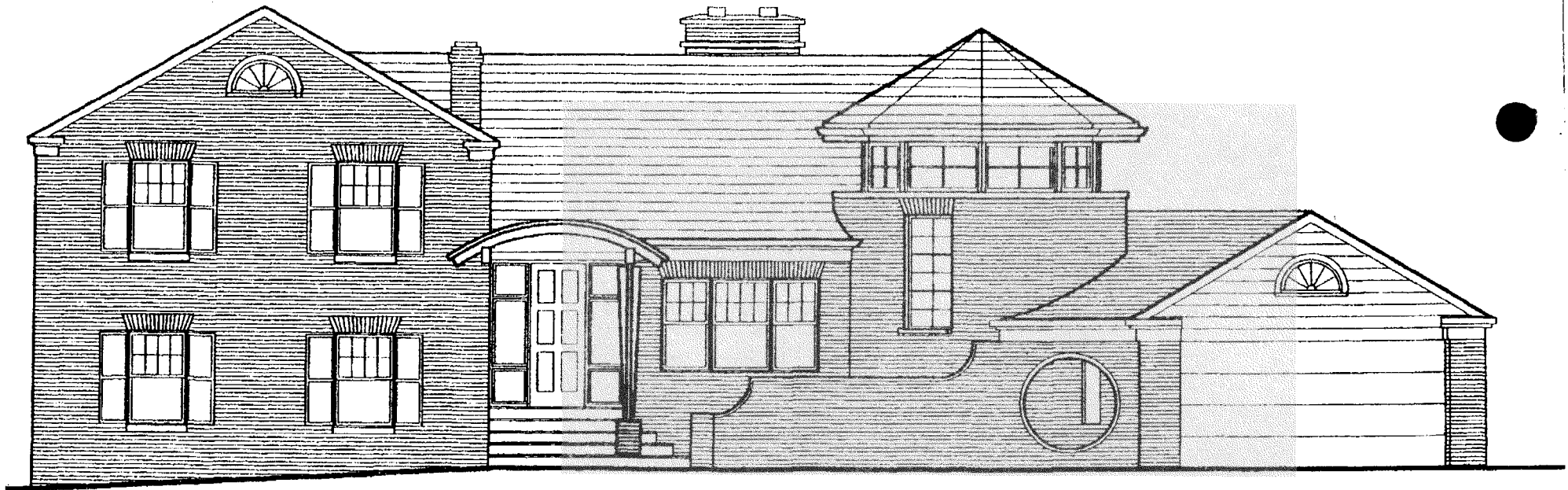
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August 19, 1958.

*John J. Allen, Jr.*  
Registered Land Surveyor

D. C. ... Dist. ... 1910

Building Location Plat  
Lot 24 in Block 27

Accessions to Park and Planning Co. Lot was RECORDED  
on July 18, 1957  
Park and Planning # 201. 495. 45 & 5.



Front Elevation  
1/8" = 1'-0"

Robbins - Evans Residence  
# 3 Magnolia Street  
Chevy Chase, Md

Schick Goldstein Architects



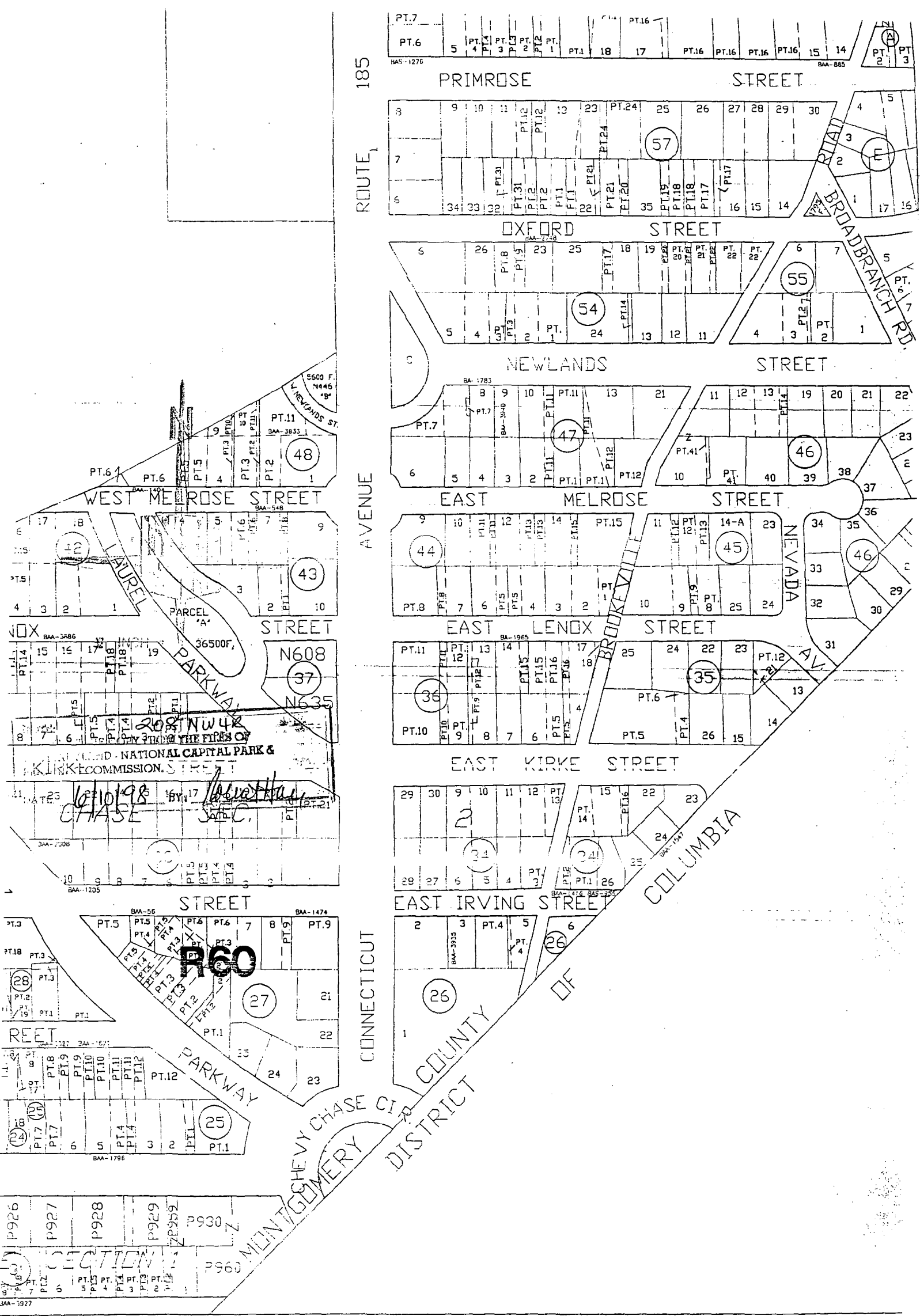
PROPOSED EAST ELEVATION

1/8" = 1'-0"

6.24.98

ROBBINS / EVANS RES.

90 ARCHITECTS



# Montgomery County Property Map

National Capital Park and Planning Commission; Montgomery County Planning Department

BOARD OF APPEALS  
FOR  
MONTGOMERY COUNTY, MARYLAND  
(301) 217-6600

PETITION FOR VARIANCE UNDER ZONING ORDINANCE  
Please Note Instructions on Reverse Side

Name of Petitioner(s): Ruth Robbins and David Evans  
Address of Petitioner(s): 3 Magnolia Parkway City Chevy Chase Zip 20815  
Description of property involved: Lot 24 Block 27 Parcel - Subdivision Chevy Chase Village  
Street and No. 3 Magnolia Parkway Town Chevy Chase Zone Classification R 60  
Appellant's present legal interest in above property (check one):  Owner (including joint ownership) \_\_\_\_\_ Other (describe) \_\_\_\_\_ Tax Account No. \_\_\_\_\_  
If not owner, name and address of owner: \_\_\_\_\_

What variance is requested, and what is the pertinent section of the Zoning Ordinance: 59-C-1.323(B)(1)  
1 ft. Variance from the side and 2.5 ft. requirement from sum of both side yards

What is the particular requirement(s) from which a variance is desired, in that section or subsection:  
8 ft. setback from side lot line / 18 ft. sum of both sides 59-C-1.323(B)(1)

Check existing reason(s) why the Ordinance requirement(s) in question would result in practical difficulties for the owner property:  
 narrowness \_\_\_\_\_ shallowness \_\_\_\_\_ shape \_\_\_\_\_ topography \_\_\_\_\_ other \_\_\_\_\_

Describe briefly: \_\_\_\_\_ Existing kitchen dictates expansion to east side of lot. Lot is pie-shaped and narrow to east. Additional 3 feet from existing structure requires one foot variance.

What is the date of recording of plat of present subdivision if any: \_\_\_\_\_; or, if property is unsubdivided, either give the date on which a deed conveying the identically-bounded tract was first recorded or state that such a deed was first recorded prior to March 6, 1928: \_\_\_\_\_

Briefly describe the practical difficulty for the owner if the requested variance is not granted: \_\_\_\_\_  
Current space provides no room for eat-in kitchen, expansion of existing galley kitchen or sufficient seating space for TV viewing.

Has any previous petition or appeal involving this property been made to this Board, or the former Board of Zoning Appeals by this Appellant, or by anyone else to this Appellant's knowledge? No. If so, give Case Number(s): \_\_\_\_\_

Further comments, if any: \_\_\_\_\_  
CC Village requires a 7ft. side yard set-back. Requested variance is county regulation. Side addition will be behind garage and not be visible from street. Minimal impact. Side visible to neighbor will improve.

I have read the instructions on the reverse side of this form and am filing herewith all of the required accompanying information.

I hereby affirm that all of the statements and information contained in or filed with this appeal are true and correct.

Name of Attorney (if petitioner will be represented by an attorney)

Ruth Robbins  
Signature of Petitioner(s)

301-907-9451 (home)

Address of Attorney

Home Telephone Numbers Office

Phone Number

(OVER)



# Montgomery County Government

## BUILDING PERMIT DENIAL

The Department of Environmental Protection cannot issue a building permit for the property indicated below without a variance from the Montgomery County Board of Appeals.

Name: RUTH ROBBINS

Address: 3 MAGNOLIA PKW.

Lot: 24

Block: 27

Zone: R260

Plat/Date of Recording: 4949/1957

Building Permit# \_\_\_\_\_

The variance request is for:

- |   |  |
|---|--|
| <input type="checkbox"/> Existing structure         | <input checked="" type="checkbox"/> Proposed structure |
| <input type="checkbox"/> Non-conforming             | <input type="checkbox"/> Non-complying                 |
| <input type="checkbox"/> New single-family dwelling |  |

Type of construction:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Room addition - 1 STORY | <input type="checkbox"/> Swimming pool        |
| <input type="checkbox"/> Porch                              | <input type="checkbox"/> Deck                 |
| <input type="checkbox"/> Shed                               | <input type="checkbox"/> Fence/Retaining wall |
| <input type="checkbox"/> Accessory Structure                | <input type="checkbox"/> Garage/Carport       |
| <input type="checkbox"/> Other _____                        |   |

The proposed construction requires a 1 ft. variance as it is within 7 ft. of the SIDE lot line. The required setback is 8 ft. in accordance with Section 59-C-1.323(b)(1).

The required sum of both side yards is 18 ft. in accordance with Section 59-C-1.323(b)(1). The proposed construction reduces the sum of both sides to 15.5 ft., creating a violation of 2.5 ft.

The proposed construction requires a variance from the Exemption from Controls, Section 59-B \_\_\_\_\_, as follows: \_\_\_\_\_

The proposed construction \_\_\_\_\_

Roller Ferro  
Signature

6.10.98  
Date





View from backyard, looking south at wall of existing structure and side-yard along property line.



View from neighbor's yard toward existing structure. New structure will also be one story but constructed from brick and glass in keeping with the rest of the house.



View from side-yard, looking north. New Structure would come forward from behind the AC unit three additional feet, a length just short of the distance the existing AC unit juts out into the yard now.



Front view of shared driveway and neighbor's garage (5800 Connecticut Ave.).