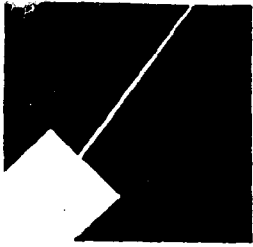


35/13-99S

21 Melrose Street

(Chevy Chase Village Historic District)

M-NCPPC



**MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING**

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 8-20-99

**MEMORANDUM**

**TO:** Historic Area Work Permit Applicants

**FROM:** Gwen Wright, Coordinator  
Historic Preservation Section

**SUBJECT:** Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

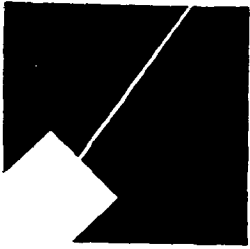
When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 8-20-99

MEMORANDUM

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved  Denied

Approved with Conditions: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: MICHAEL + SUSAN WILLIAMS

Address: 21 E. MELROSE ST. CHEVY CHASE

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.

M-NCPPC



**MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING**

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

**MEMORANDUM**

DATE: 8-20-99

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC

Robin D. Ziek, Historic Preservation Planner  
Perry Kephart, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application - HPC Decision

---

The Historic Preservation Commission reviewed this project on 8-18-99.  
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

G:\wp\aphawp.ltr



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850  
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: George Myers  
Daytime Phone No.: 301/942-9062 x13

Tax Account No.: \_\_\_\_\_

Name of Property Owner: Michael & Susan Williams Daytime Phone No.: 202/637-8675  
Address: 21 E Melrose St Chevy Chase MD 20015  
Street Number City State Zip Code

Contractor: To be Selected Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: George Myers Daytime Phone No.: 301/942-9062 x13

**LOCATION OF BUILDING/PREMISE**

House Number: 21 Street: E Melrose St  
Town/City: Chevy Chase Nearest Cross Street: \_\_\_\_\_  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Arcaaway

1B. Construction cost estimate: \$ 10,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height 7 feet 0 inches \* 6 to 8 inches visible above grade w/36" high wood rail above  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent 7/26/99 Date

Approved:  \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 8-18-99  
Application/Permit No.: 9907270092 Date Filed: 7/27/99 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THE APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

House located on Melrose street is a 2 story structure with wraparound porch. The house is a Cottsfield/Bungalow/Craftsman adaptation.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The areaway is to provide egress from the existing basement and is to be constructed of like materials as the house. The guardrail atop the areaway is to be painted pickets to provide transparency around the areaway and security from fall per code

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Names and Addresses of our Neighbors

PROPERTY OWNERS ADJACENT TO:  
21 EAST MELROSE STREET, CHEVY CHASE, MD

1. Mr. and Mrs. Charles Farmer  
15 East Melrose Street  
Chevy Chase, MD 20815  
(301) 986-0571

Farmers currently living in California at:

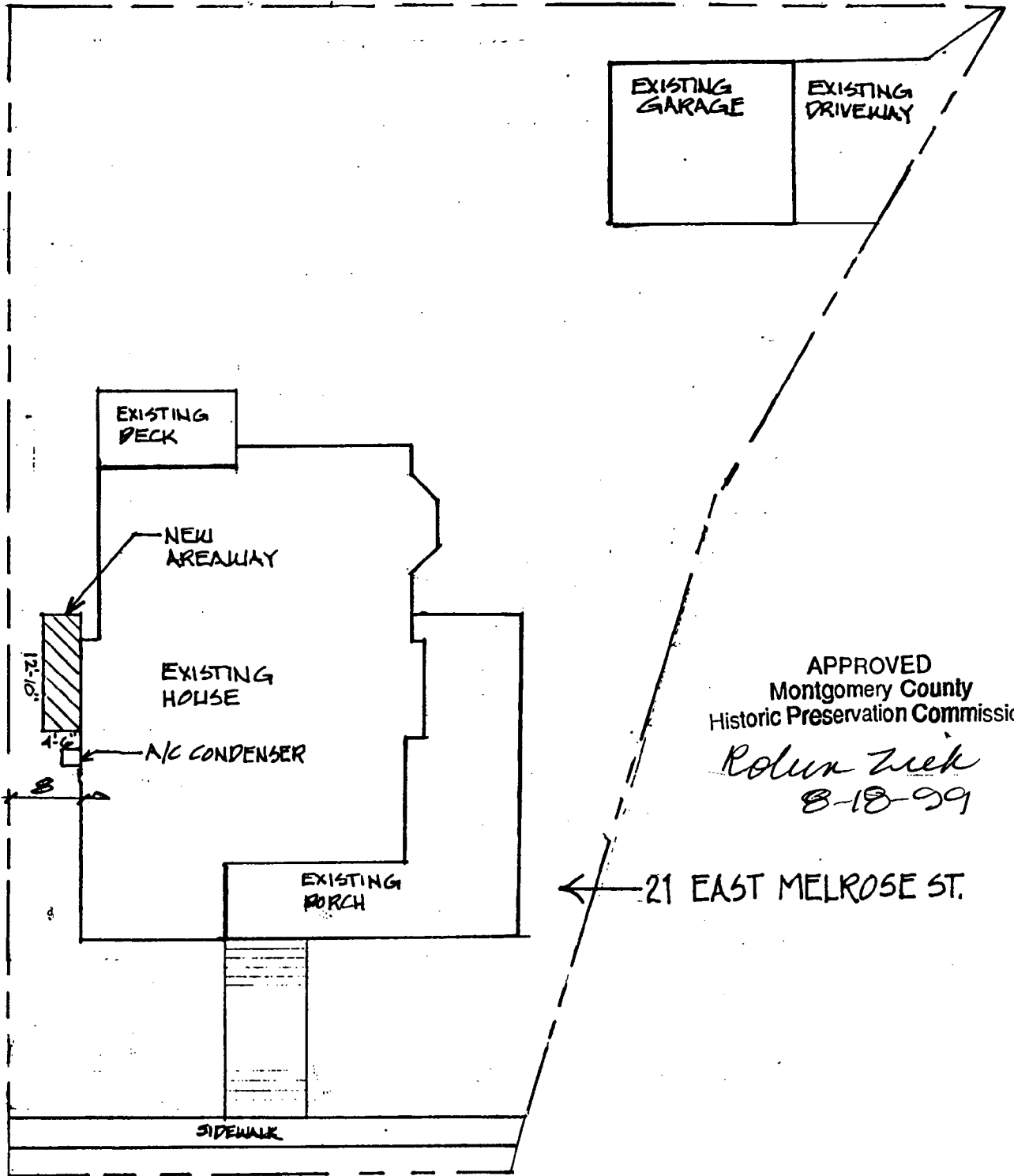
12921 Alta Terrace Road  
Los Altos Hills, CA 94022  
(650) 941-7942

2. Mr. and Mrs. Joseph Slevin  
16 East Melrose Street  
Chevy Chase, MD 20815  
(301) 656-1461
3. Daniel Korengold and Martha Dipell  
102 East Melrose Street  
Chevy Chase, MD 20815  
(301) 656-2757
4. Mr. and Mrs. William Clinton  
10 East Melrose Street  
Chevy Chase, MD 20815  
(301) 215-9285
5. Mr. and Mrs. B. Francis Saul  
14 Newlands Street  
Chevy Chase, MD 20815  
(301) 986-6110
6. Dr. and Mrs. Robert Morgenstein  
16 East Newlands Street  
Chevy Chase, MD 20815  
(301) 986-8639

APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert Wick*  
8-18-99

*George Myers  
10415 Armany Avenue  
Kennington MD  
20895*



APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Rolun Ziek*  
 8-18-99

← 21 EAST MELROSE ST.

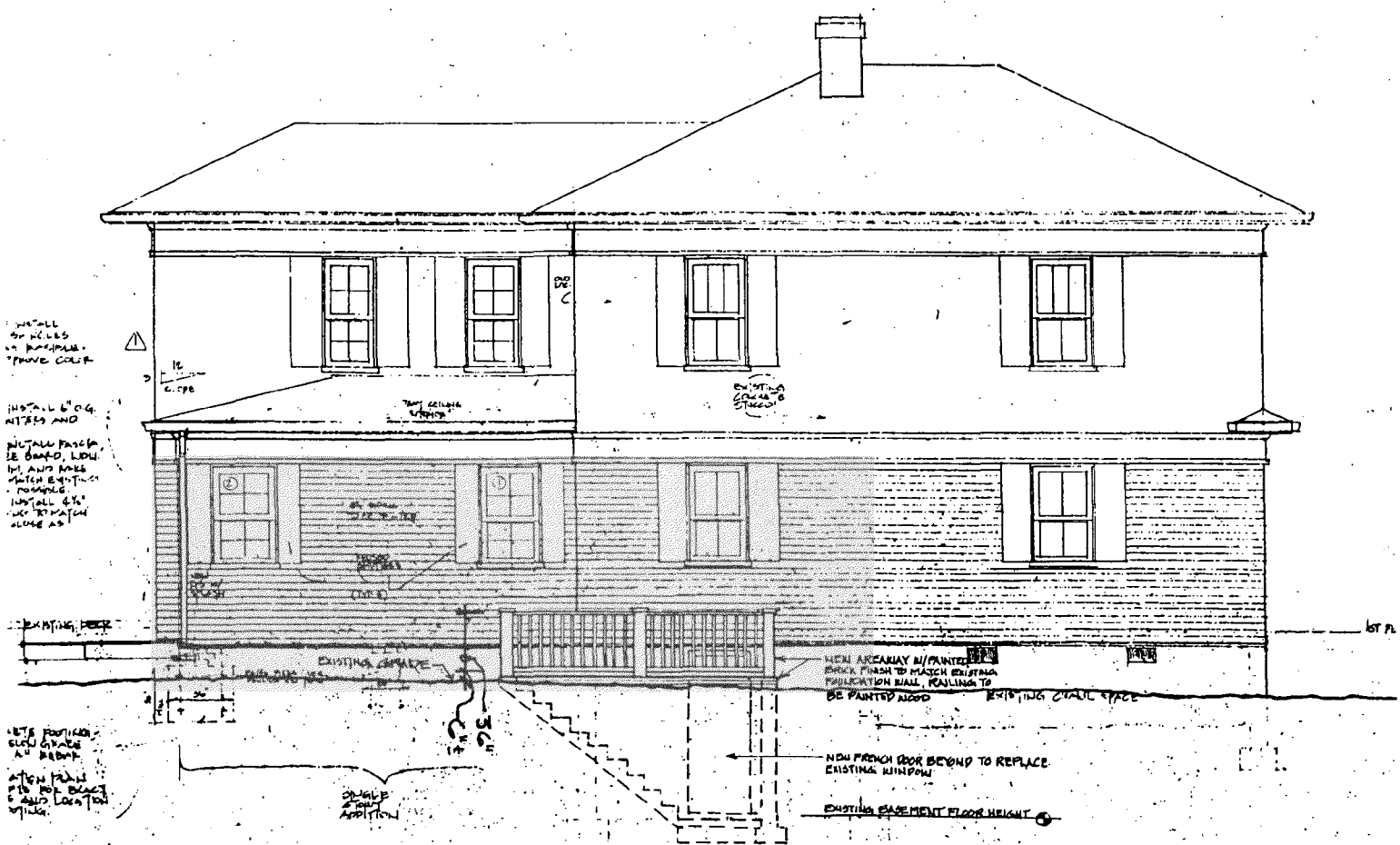
EAST MELROSE STREET

SITE PLAN

1/16" = 1'-0"

CON





APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Robert Zell*  
 8-18-99

IN

**EXPEDITED  
HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	21 East Melrose Street	<b>Meeting Date:</b>	08/18/99
<b>Applicant:</b>	Michael & Susan Williams	<b>Report Date:</b>	08/11/99
<b>Resource:</b>	Chevy Chase Village Historic District	<b>Public Notice:</b>	08/04/99
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	No
<b>Case Number:</b>	35/13-99S	<b>Staff:</b>	Perry Kephart
<b>PROPOSAL:</b>	Install basement areaway.	<b>RECOMMENDATION:</b>	Approve

**DATE OF CONSTRUCTION:** Circa 1900

**SIGNIFICANCE:**

- Individual Master Plan Site
- Within a Master Plan Historic District
- Primary Resource
- Contributing Resource
- Non-contributing/Out-of-Period Resource

**ARCHITECTURAL DESCRIPTION:** Two-story, wood-frame Craftsman residence with lapped wood and stucco cladding.

**PROPOSAL:** The applicant proposes to install a basement entry areaway on the left side of the house away from Brookeville Road. The facing at grade is to be brick with a 36" painted inset wood picket railing. At the basement level, the applicant proposes to replace the existing window with a french door.

**RECOMMENDATION:**

- Approval
- Approval with conditions:

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

①

x   2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

       3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

       4. The proposal is necessary in order that unsafe conditions or health hazards be remedied;  
or

       5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

       6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

## Policy On Use of Expedited Staff Reports for Simple HAWP Cases

This policy is developed with the understanding that:

- I. The HPC's policy regarding in-kind replacements has not changed, that is, all replacements of exterior features with exactly matching materials may be done without a HAWP.
- II. Staff will continue to notify Local Advisory Panel (LAP), and adjacent and confronting owners of all HAWP applications and, if a neighbor or the LAP is known to object to a proposal, the Expedited Staff Report will not be used.
- III. If, because of the specifics of the case, staff is uncertain whether the Expedited Staff Report format is appropriate, or if an applicant requests it, the Standard Staff Report will be used.
- IV. The Expedited Staff Report format may be used on the following type of cases:
  1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.
  2. Modifications to a property which do not significantly alter its visual character. These include, but are not limited to:
    - A. Repair or replacement of masonry foundations with new materials that match the original closely.
    - B. Installation of vents, venting pipes, and exterior grills.
    - C. New installation of gutters.
  4. Removal of asbestos, asphalt, or other artificial siding when the original siding is to be repaired, and, where necessary, replaced in kind.
  5. Removal of accessory building that are not original to the site or otherwise historically significant.
  6. Replacement of missing architectural details, provided that at least one example of the detail to be replaced exists on the house, and/or physical or documentary evidence exists that illustrates or describes the missing detail or details.
  7. Signs that are in conformance with all other County sign regulations.

8. Construction of wooden decks that are at the rear of a structure and are not readily visible from a public right-of-way. This applies to all categories of resources: Outstanding, Contributing, Individually Designated Sites, or Non-contributing.
9. Replacement of roofs on non-contributing or out-of-period building, as well as new installation of historically appropriate roofing materials on outstanding and contributing buildings..
10. Installation of exterior storm windows or doors that are compatible with the historic site or district in terms of material or design.
11. Construction of fences that are compatible with historic site or district in terms of material, height, location, and design. Requests for fences higher than 48" to be located in the front yard of a property will not be reviewed using an Expedited Staff Report.
12. Construction or replacement of walkways, parking areas, patios, driveways or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.
13. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.
14. Construction or replacement of storage and small accessory buildings that are not readily visible from a public right-of-way.
15. Landscaping, or the removal or modification of existing planting, that is compatible with the visual character of the historic site or district.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20  
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: George Myers  
Daytime Phone No.: 301/942-9062 x13

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Michael & Susan Williams Daytime Phone No.: 202/637-8675  
Address: 21 Melrose St Chevy Chase MD 20015  
Street Number City State Zip Code  
Contractor: To be Selected Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: George Myers Daytime Phone No.: 301/942-9062 x13

LOCATION OF BUILDING/PREMISE

House Number: 21 Street: Melrose St  
Town/City: Chevy Chase Nearest Cross Street: \_\_\_\_\_  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  
 Move  Install  Wreck/Raze  
 Revision  Repair  Revocable

CHECK ALL APPLICABLE:  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: Areaway

1B. Construction cost estimate: \$ 10,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 7 feet 0 inches \* 6 to 8 inches visible above grade w/36" high wood rail above  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Sam C. [Signature] Signature of owner/authorized agent 7/26/99 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 9907270092 Date Filed: 7/27/99 Date Issued: \_\_\_\_\_

3513-995

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

House located on Melrose street is a 2 story structure with wraparound porch. The house is a Cotswold/Bungalow/Craftsman adaptation.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The areaway is to provide egress from the existing basement and is to be constructed of like materials as the house. The guardrail atop the areaway is to be painted pickets to provide transparency around the areaway and security from fall per code.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY INTO MAILING LABELS.

6

**Names and Addresses of our Neighbors**

**PROPERTY OWNERS ADJACENT TO:  
21 EAST MELROSE STREET, CHEVY CHASE, MD**

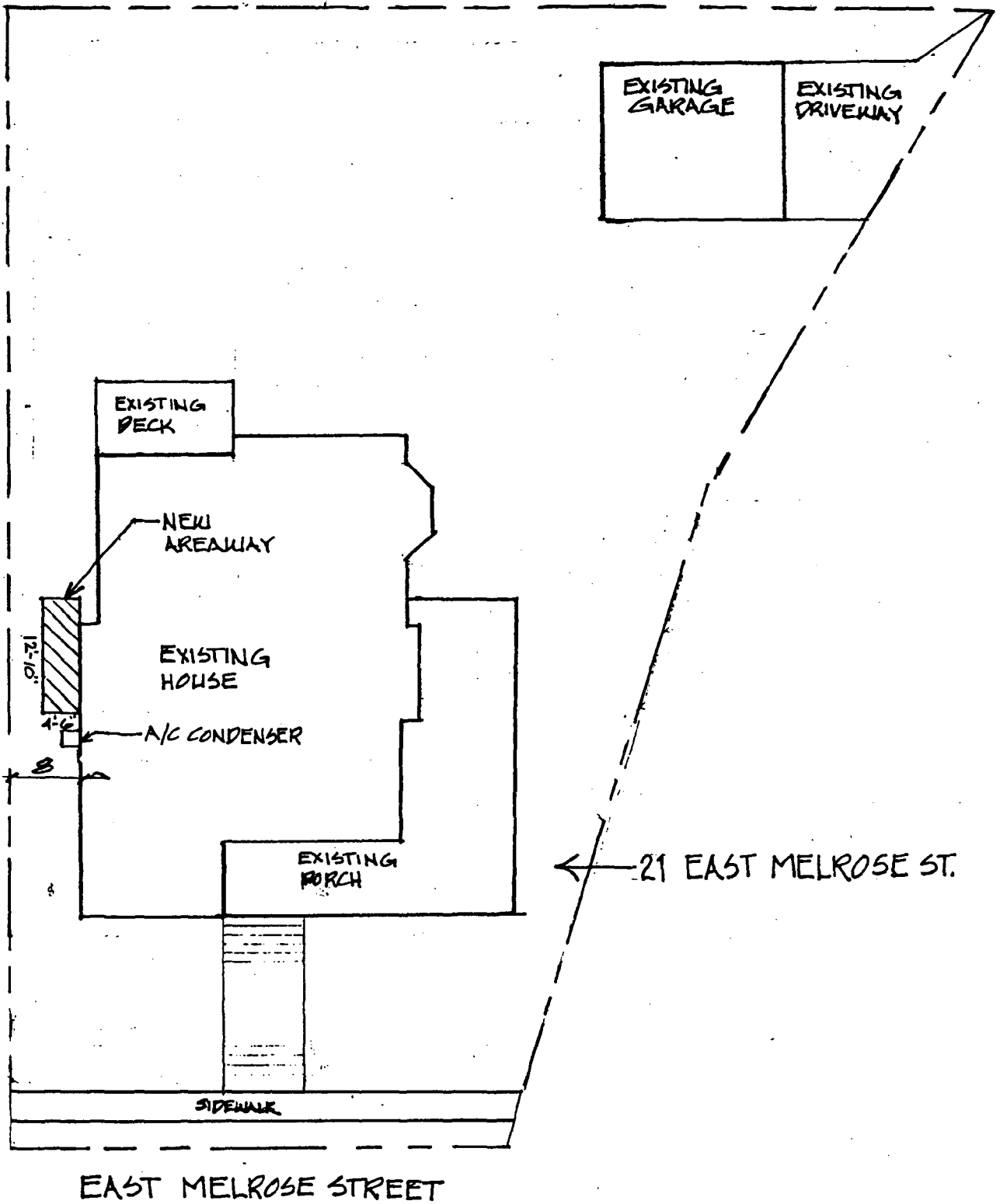
1. Mr. and Mrs. Charles Farmer  
19 East Melrose Street  
Chevy Chase, MD 20815  
(301) 986-0571

Farmers currently living in California at:

12921 Alta Terrace Road  
Los Altos Hills, CA 94022  
(650) 941-7942

2. Mr. and Mrs. Joseph Slevin  
160 East Melrose Street  
Chevy Chase, MD 20815  
(301) 656-1461
3. Daniel Korengold and Martha Dipell  
102 East Melrose Street  
Chevy Chase, MD 20815  
(301) 656-2757
4. Mr. and Mrs. William Clinton  
102 East Melrose Street  
Chevy Chase, MD 20815  
(301) 215-9285
5. Mr. and Mrs. B. Francis Saul  
14 Newlands Street  
Chevy Chase, MD 20815  
(301) 986-6110
6. Dr. and Mrs. Robert Morgenstein  
16 East Newlands Street  
Chevy Chase, MD 20815  
(301) 986-8639





SITE PLAN  
 1/16" = 1'-0"

1/16"

99

