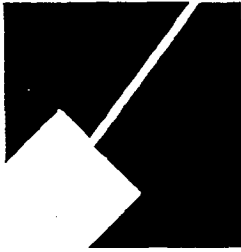


37/3-00K 7218 Spruce Avenue
(Takoma Park Historic District)

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 4-12-00

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator *gfw*
Historic Preservation

SUBJECT: Historic Area Work Permit *DPS# 214-362*
HPC# 37/3-60K

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Jill Gau

Address: 7218 Spruce Avenue Silver Spring

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Rick LEONARD

Daytime Phone No.: 301 270 4799 x 101

Tax Account No.: _____

Name of Property Owner: JILL GAY Daytime Phone No.: _____

Address: 7218 SPRUCE AVE. TAKOMA PARK MD 20912
Street Number City State Zip Code

Contractor: HERITAGE BUILDING & RENOVATIONS, INC. Phone No.: _____

Contractor Registration No.: MHIC 32422

Agent for Owner: RICK LEONARD Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7218 Street SPRUCE AVE.

Town/City: TAKOMA PARK Nearest Cross Street: TULIP AVE.

Lot: 33 Block: 8 Subdivision: LIPSCOMB + EARNEST TRUSTEE ADDITION TO

Liber: _____ Folio: _____ Parcel: TAKOMA PARK

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
- Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
- Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 7000

1C. If this is a revision of a previously approved active permit, see Permit # 9907090074 PREVIOUSLY APPROVED PERMIT FOR WORK WHICH OWNER DECIDED NOT TO DO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]

Signature of owner or authorized agent

3-22-00

Date

Approved: [Signature] For Chairman, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 4/12/00

Application/Permit No.: 214362 Date Filed: 3/23/2000 Date Issued: _____

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

BUNGALOW w/ EXISTING DECK ON REAR

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

DECK TO BE REPLACED WITH ONE OF SIMILAR SIZE, STAIRS +
LANDING TO BE RECONFIGURED. 4' SECURITY FENCE TO BE
TO CLOSE OFF REAR YARD FOR DOG. EXISTING POLYESTER TO
FENCE WILL REMAIN.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

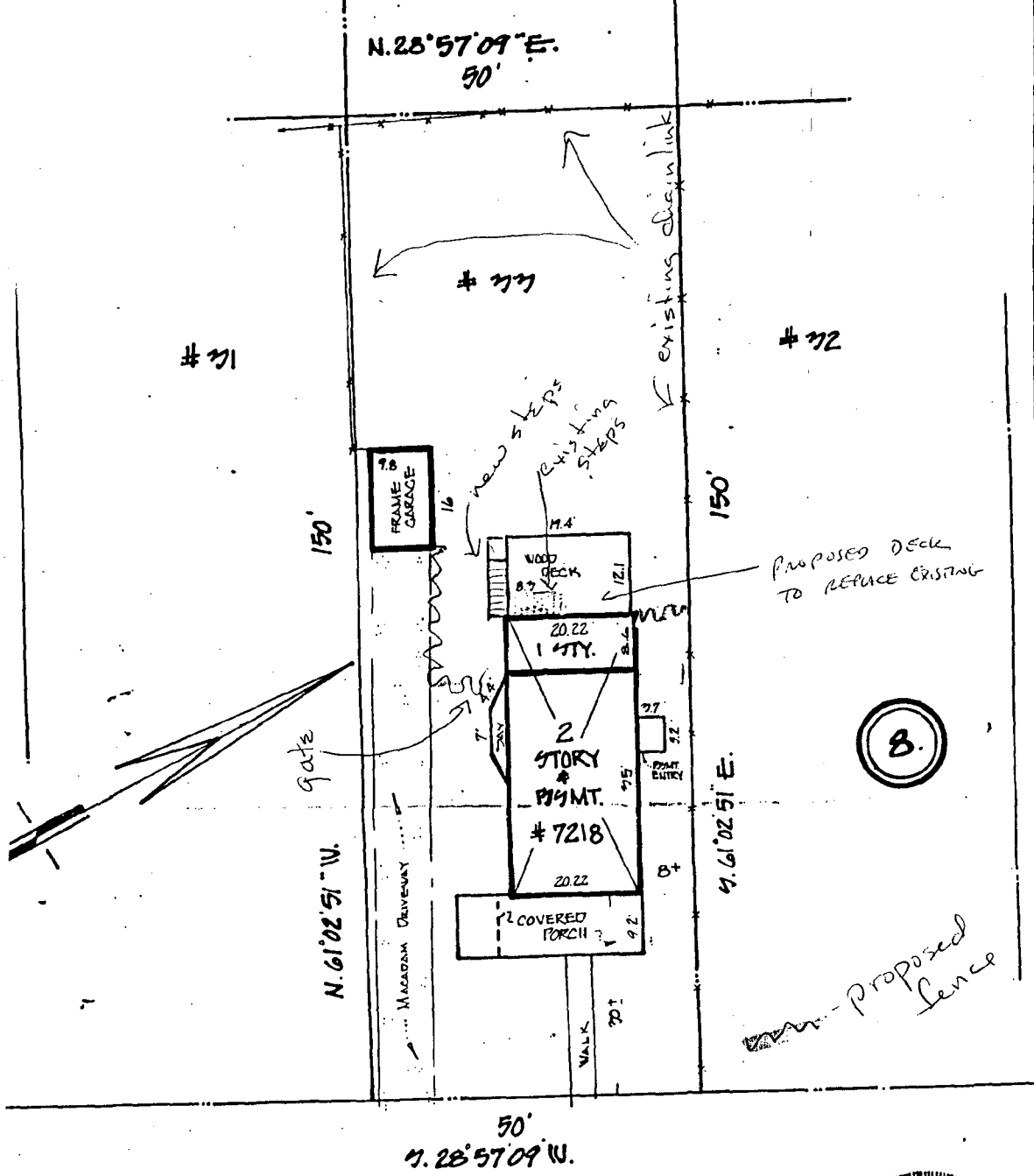
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

LANDTECH ASSOCIATES INC.

4206 EDMONSTON ROAD BLADENSBURG, MARYLAND 20710



SPRUCE AVENUE

APPROVED
Montgomery County
Historic Preservation Commission



NO TITLE REPORT FURNISHED

LOCATION SURVEY OF
7218 SPRUCE AVENUE
MONT. CO., MARYLAND

SUBDIVISION
LIPSON & EARNEST TRUSTEE'S
ADDITION TO
TAKOMA PARK

LOT: 777

PLAT BOOK: 1

DATE: 10-8-85

CASE NO: 13904

BLOCK: 8

PLAT NO: 46

SCALE: 1" = 20'

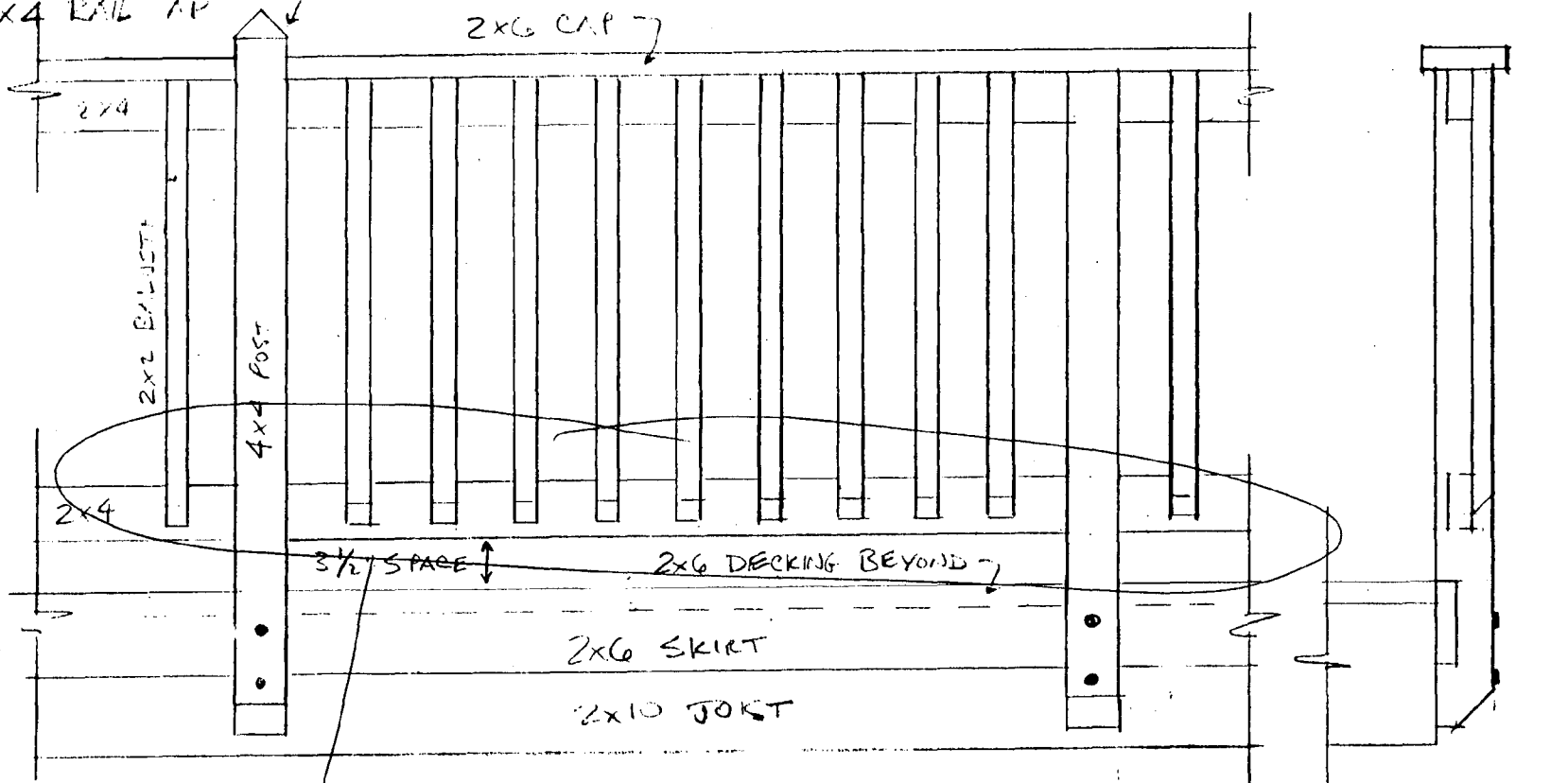
FILE NO: RC-85189

CERTIFICATION: I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT TAPE SURVEY AND THAT UNLESS OTHERWISE SHOWN THERE ARE NO OTHER IMPROVEMENTS ON THE PROPERTY SURVEYED AND SHOULD NOT BE USED AS SUCH.

7

STANDARD RAILING

* ALTERNATE POST DESIGN
PYRAMID CUT POST TOP
OR BALL CAP WITH
2x4 BAL IN



not approved
see profile

FRONT VIEW

SIDE VIEW

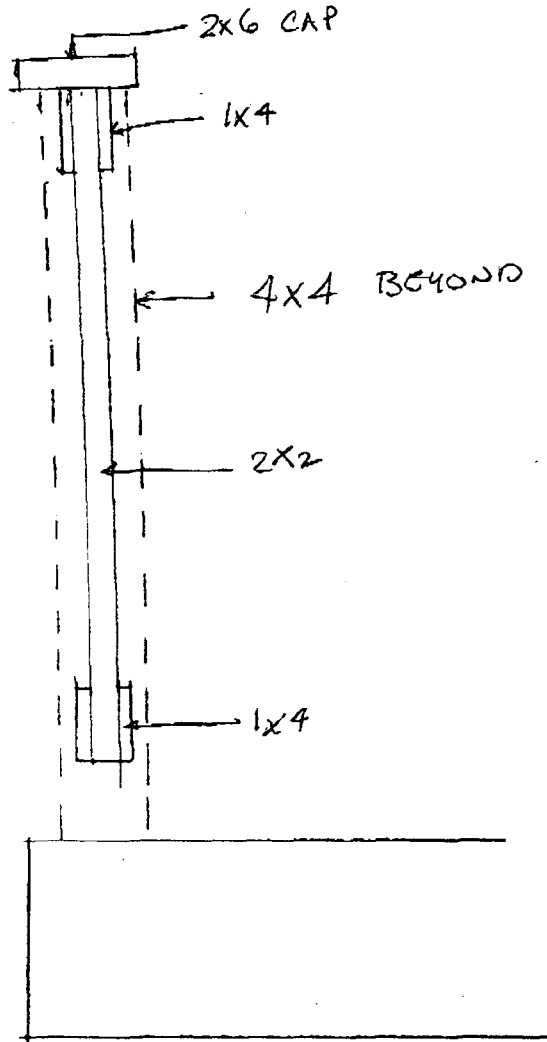
APPROVED
Montgomery County
Historic Preservation Commission

[Signature]
11/10/10

FAX

TO: PERRY

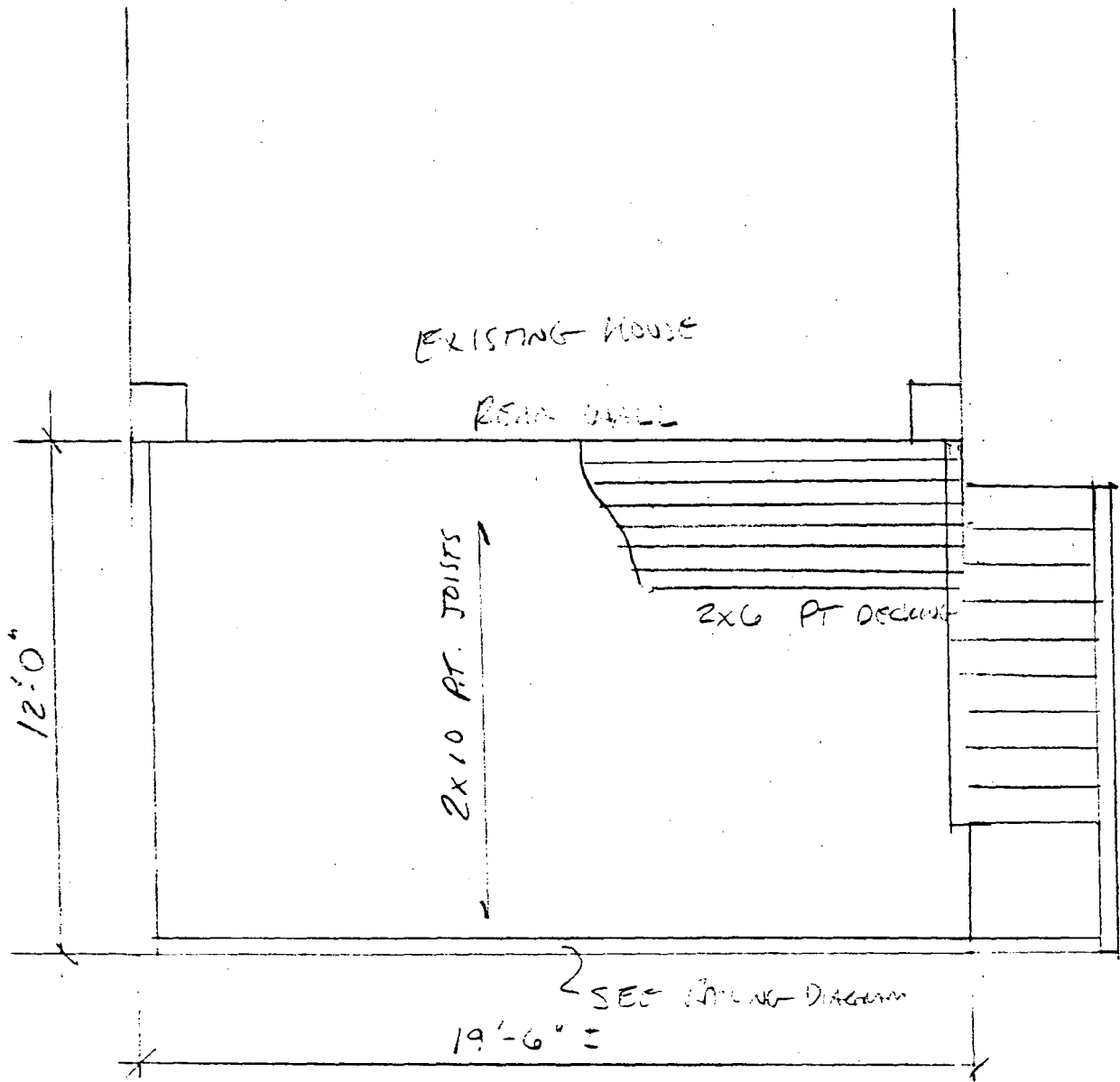
From: Rick LEONARD



APPROVED
Montgomery County
Preservation Commission

DETAIL OF RAILING WITH
INSET PICKETS

SCALE: 1/2" = 1'-0"



[Signature]
 VEB
 Montgomery County
 Planning Commission
 4/12/00 *[Signature]*

7218 SARICE AVE.
 DECK PLAN

David Baron & Nadine K Wettstein
7217 Spruce

lot 13/block 7

Elizabeth Saindon

7220 Spruce

lot 32 /block 7

Lynn Dougherty & Michael Mayers

7216 Spruce

lot 30/block 7

Jerome Deitch Trust et al

3 Kohler Court

Silver Spring 20902-5407

owner of 7217 Willow

Lot 13 block 8

JILL GAY'S
NEIGHBORS

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 4-12-00

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section *[Signature]*

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits - 3713-00K

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

c:\hawpapr.wpd

EXPEDITED
HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7218 Spruce Avenue	Meeting Date:	04/12/00
Applicant:	Jill Gay	Report Date:	04/05/00
Resource:	Takoma Park Historic District	Public Notice:	03/29/00
Review:	HAWP	Tax Credit:	Partial
Case Number:	37/3-00K	Staff:	Perry Kephart
PROPOSAL:	Install wood fence, replace deck.		RECOMMENDATION: Approve

DATE OF CONSTRUCTION: Circa 1915-1925

SIGNIFICANCE:

Individual Master Plan Site
 Within a Master Plan Historic District
 Primary Resource
 Contributing Resource
 Non-contributing/Out-of-Period Resource

ARCHITECTURAL DESCRIPTION: Two-bay, 2-story Four-Square Style residence with full width front porch and full width rear sunroom. A treated wood deck set on wood pilings extends across the width of the back elevation.

PROPOSAL: The applicant proposes to:

1. Install a 4' high stockade fence from the garage along the right side of the driveway to the rear corner of the house on the left side and from the right rear corner of the sun room to the right property line. This along with the existing rear chain link fence will enclose the back yard. The applicant proposes that a stockade gate be installed on the fence surface that faces the street on the left side of the house.
2. Replace the wood deck, including removing the existing steps to grade and replacing them with steps on the left side of the deck. The deck railing design would be modified to include inset pickets to bring the deck design more into keeping with that of the historic resource.

RECOMMENDATION:

Approval

①

_____ Approval with conditions:

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

_____ 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

_____ 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied, or

_____ 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

_____ 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

Policy On Use of Expedited Staff Reports for Simple HAWP Cases

This policy is developed with the understanding that:

- I. The HPC's policy regarding in-kind replacements has not changed, that is, all replacements of exterior features with exactly matching materials may be done without a HAWP.
- II. Staff will continue to notify Local Advisory Panel (LAP), and adjacent and confronting owners of all HAWP applications and, if a neighbor or the LAP is known to object to a proposal, the Expedited Staff Report will not be used.
- III. If, because of the specifics of the case, staff is uncertain whether the Expedited Staff Report format is appropriate, or if an applicant requests it, the Standard Staff Report will be used.
- IV. The Expedited Staff Report format may be used on the following type of cases:
 1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.
 2. Modifications to a property which do not significantly alter its visual character. These include, but are not limited to:
 - A. Repair or replacement of masonry foundations with new materials that match the original closely.
 - B. Installation of vents, venting pipes, and exterior grills.
 - C. New installation of gutters.
 4. Removal of asbestos, asphalt, or other artificial siding when the original siding is to be repaired, and, where necessary, replaced in kind.
 5. Removal of accessory building that are not original to the site or otherwise historically significant.
 6. Replacement of missing architectural details, provided that at least one example of the detail to be replaced exists on the house, and/or physical or documentary evidence exists that illustrates or describes the missing detail or details.
 7. Signs that are in conformance with all other County sign regulations.

8. Construction of wooden decks that are at the rear of a structure and are not readily visible from a public right-of-way. This applies to all categories of resources: Outstanding, Contributing, Individually Designated Sites, or Non-contributing.
9. Replacement of roofs on non-contributing or out-of-period building, as well as new installation of historically appropriate roofing materials on outstanding and contributing buildings..
10. Installation of exterior storm windows or doors that are compatible with the historic site or district in terms of material or design.
11. Construction of fences that are compatible with historic site or district in terms of material, height, location, and design. Requests for fences higher than 48" to be located in the front yard of a property will not be reviewed using an Expedited Staff Report.
12. Construction or replacement of walkways, parking areas, patios, driveways or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.
13. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.
14. Construction or replacement of storage and small accessory buildings that are not readily visible from a public right-of-way.
15. Landscaping, or the removal or modification of existing planting, that is compatible with the visual character of the historic site or district.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: RICK LEONARD

Daytime Phone No.: 301 270 4799 x 101

Tax Account No.: _____

Name of Property Owner: JILL GAY Daytime Phone No.: _____

Address: 7218 SPRUCE AVE. TAKOMA PARK MD 20912
Street Number City State Zip Code

Contractor: HERITAGE BUILDING & RENOVATION, INC Phone No.: _____

Contractor Registration No.: MHC 32422

Agent for Owner: RICK LEONARD Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7218 Street: SPRUCE AVE.

Town/City: TAKOMA PARK Nearest Cross Street: TULIP AVE.

Lot: 33 Block: 8 Subdivision: LIPSCOMB + EARNEST TRUSTEE ADDITION TO

Liber: _____ Folio: _____ Parcel: TAKOMA PARK

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 7000

1C. If this is a revision of a previously approved active permit, see Permit # PREVIOUSLY APPROVED PERMIT FOR WORK
9907090074 WHICH OWNER DECIDED NOT TO DO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

3-22-00
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 214362 Date Filed: 3/23/2000 Date Issued: _____

5

2712 nok

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

BUNGALOW w/ EXISTING DECK ON REAR

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

DECK TO BE REPLACED WITH ONE OF SIMILAR SIZE, STEPS +
LANDING TO BE RECONFIGURED. 4' STRUCTURE FENCE TO BE ADDED
TO CLOSE OFF REAR YARD FOR DOG. EXISTING POLYMER TO
FENCE WILL REMAIN.

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Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

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3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

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General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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JILL GAYS
NEIGHBORS

David Baron & Nadine K Wettstein
7217 Spruce

lot 13/block 7

Elizabeth Saindon

7220 Spruce

lot 32 /block 7

Lynn Dougherty & Michael Mayers

7216 Spruce

lot 30/block 7

Jerome Peitch Trust et al

3 Kohler Court

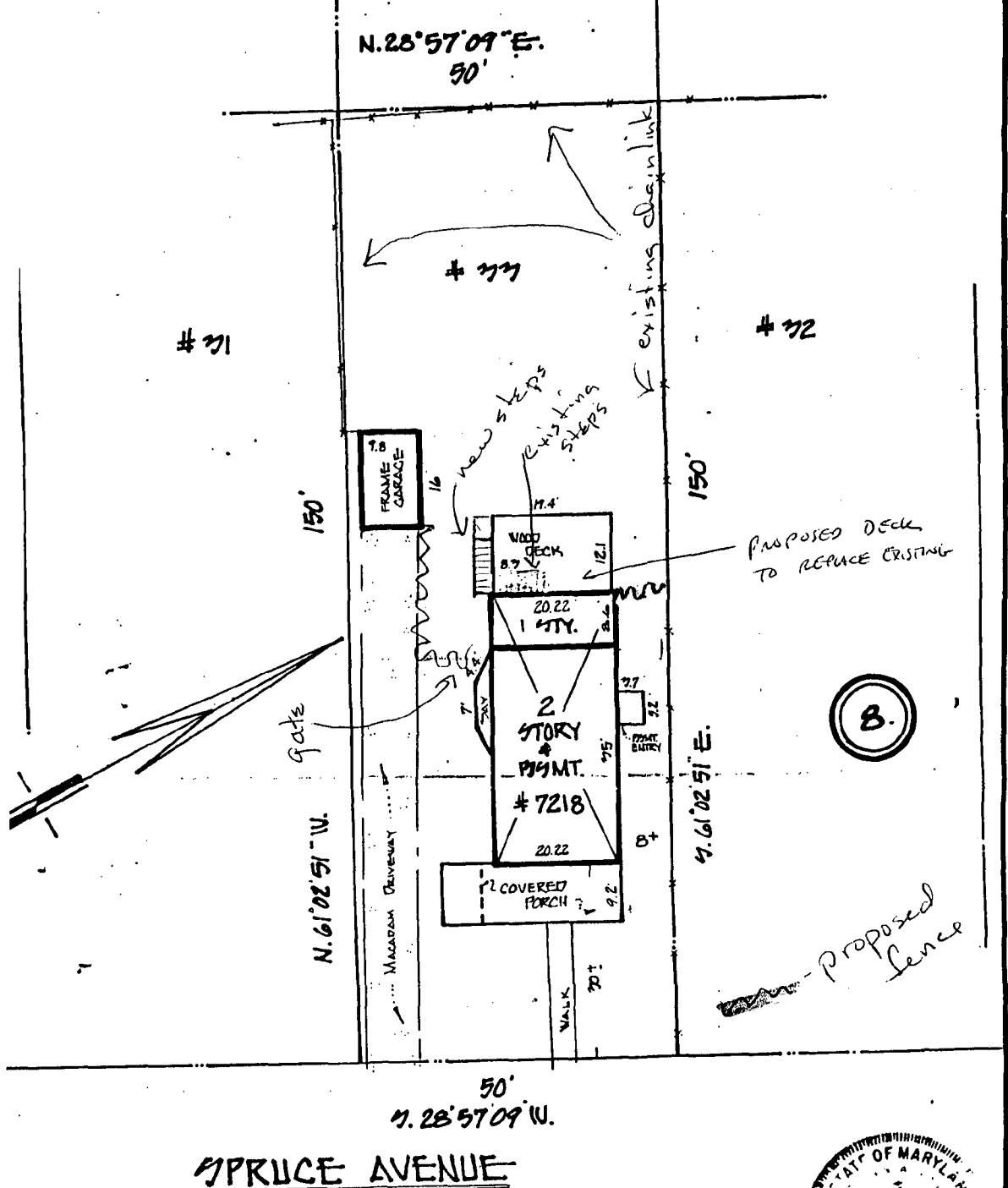
Silver Spring 20902-5407

owner of 7217 Willow

Lot 13 block 8

LANDTECH ASSOCIATES INC.

4206 EDMONSTON ROAD BLADENSBURG, MARYLAND 20710



SPRUCE AVENUE



NO TITLE REPORT FURNISHED

LOCATION SURVEY OF
#7218 SPRUCE AVENUE
MONT. CO., MARYLAND

SUBDIVISION LIPYCOMP + EARNEST TRUSTEE'S
ADDITION TO
TAKOMA PARK

LOT: 777
PLAT BOOK: 1
DATE: 10-8-85
CASE NO: 13904

BLOCK: 8
PLAT NO: 46
SCALE: 1" = 20'
FILE NO: RC-85189

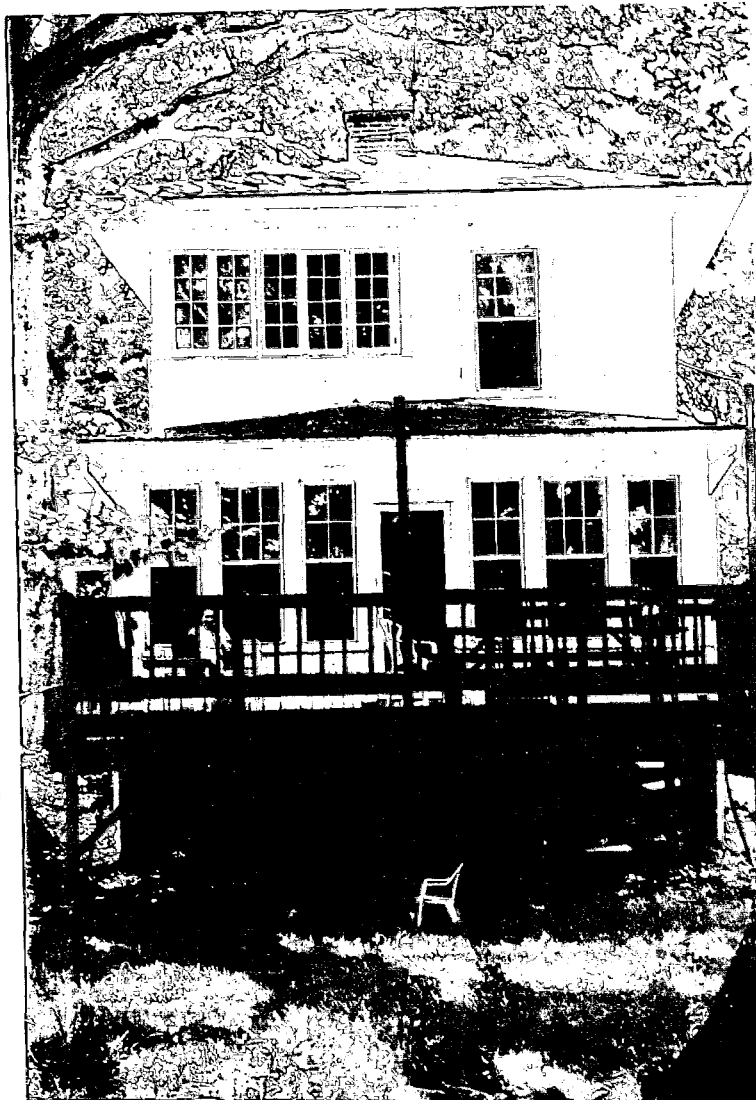
CERTIFICATION: I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT TAPE SURVEY AND THAT UNLESS OTHERWISE SHOWN THERE ARE NO ENCROACHMENTS. THIS IS NOT A PROPERTY LINE SURVEY AND SHOULD NOT BE USED AS SUCH.

7

7218 SPANCE AVE. TAKOMA PARK



EX. FRONT
ELEV.



EX.
REAR
ELEVATION

SHOWING
EXISTING
DECK

3 CORNICE WOOD
MOLDINGS

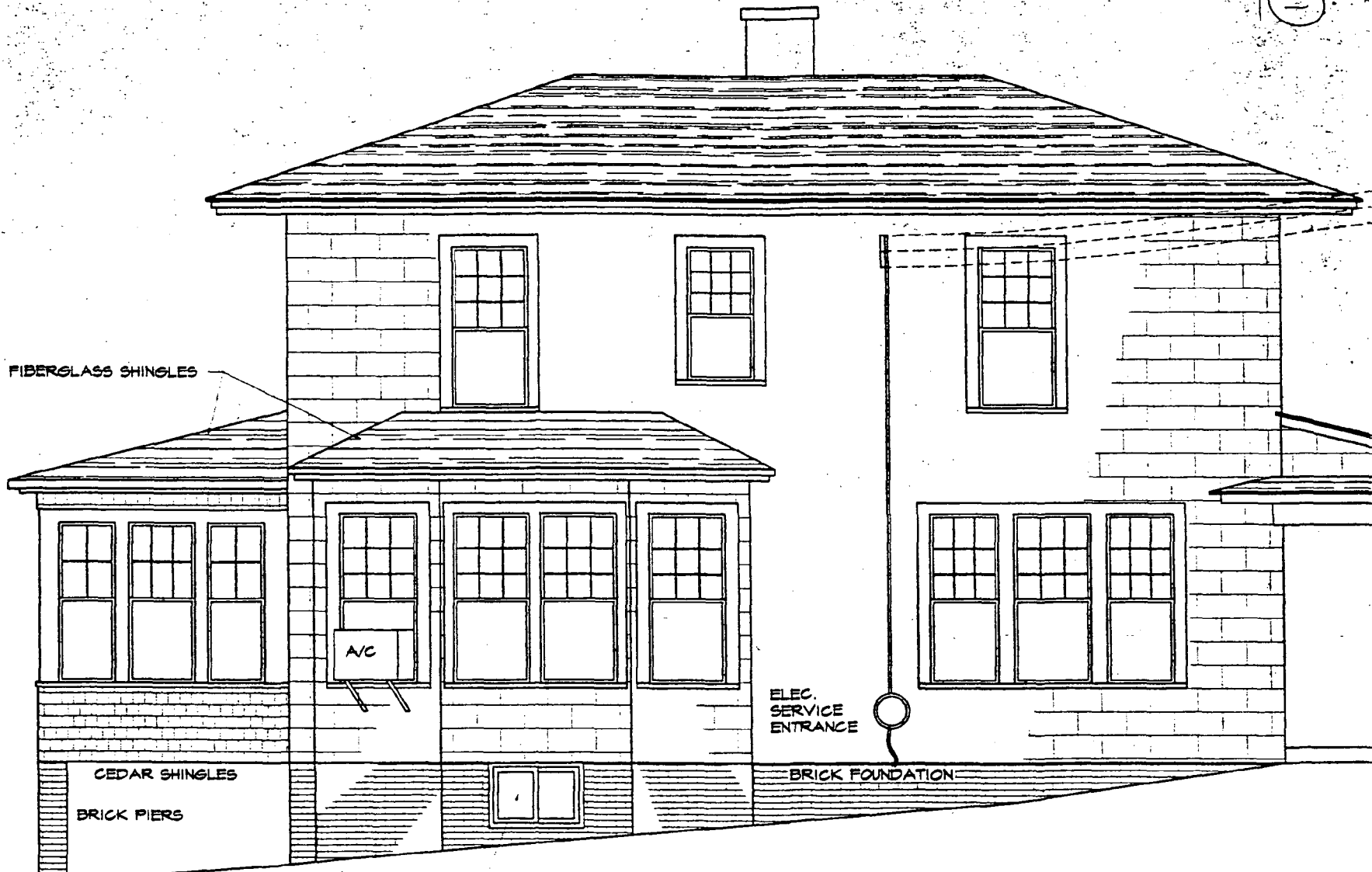
AND

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10



FIBERGLASS SHINGLES

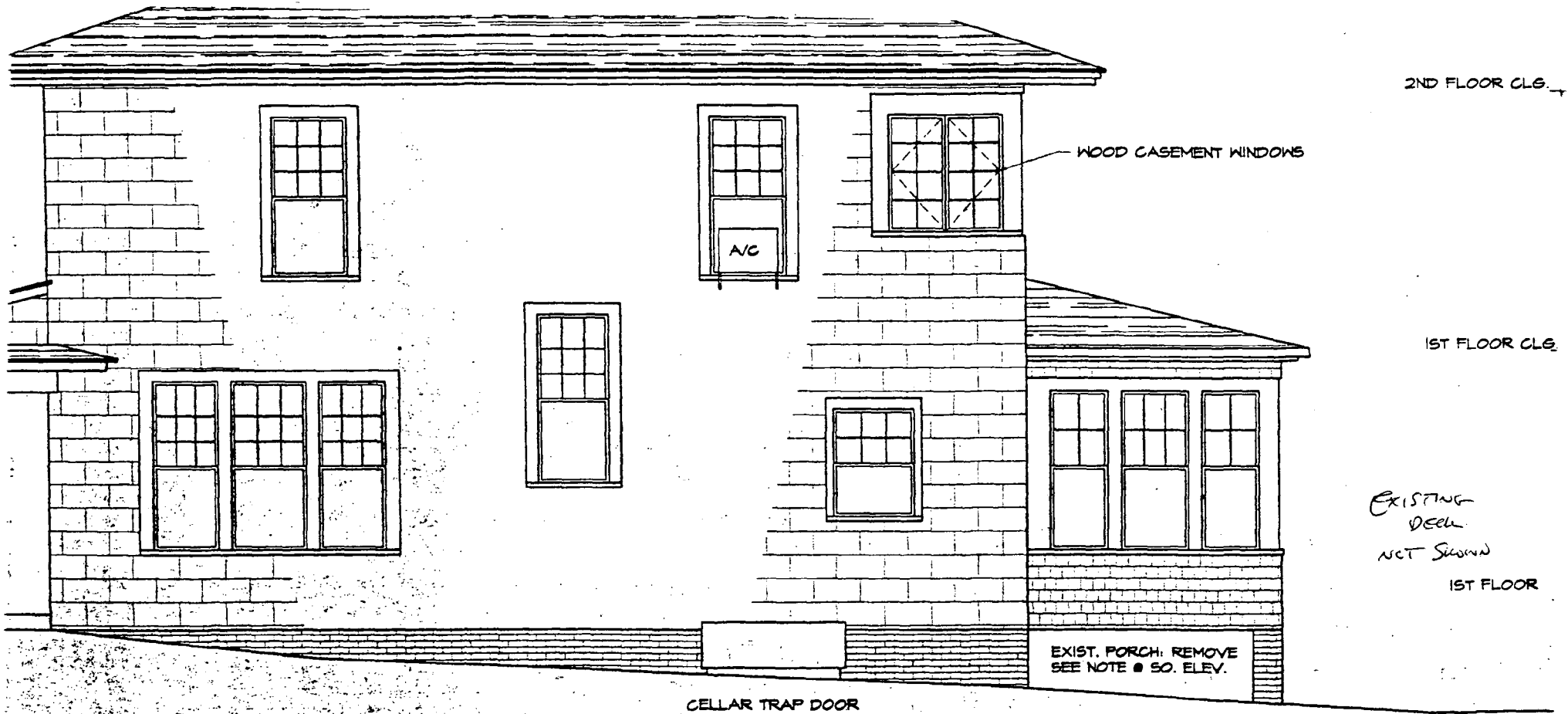
CEDAR SHINGLES

BRICK PIERS

A/C

ELEC.
SERVICE
ENTRANCE

BRICK FOUNDATION



2ND FLOOR CLG.

WOOD CASEMENT WINDOWS

A/C

1ST FLOOR CLG.

EXISTING
DECK
NOT SHOWN

1ST FLOOR

EXIST. PORCH. REMOVE
SEE NOTE @ SO. ELEV.

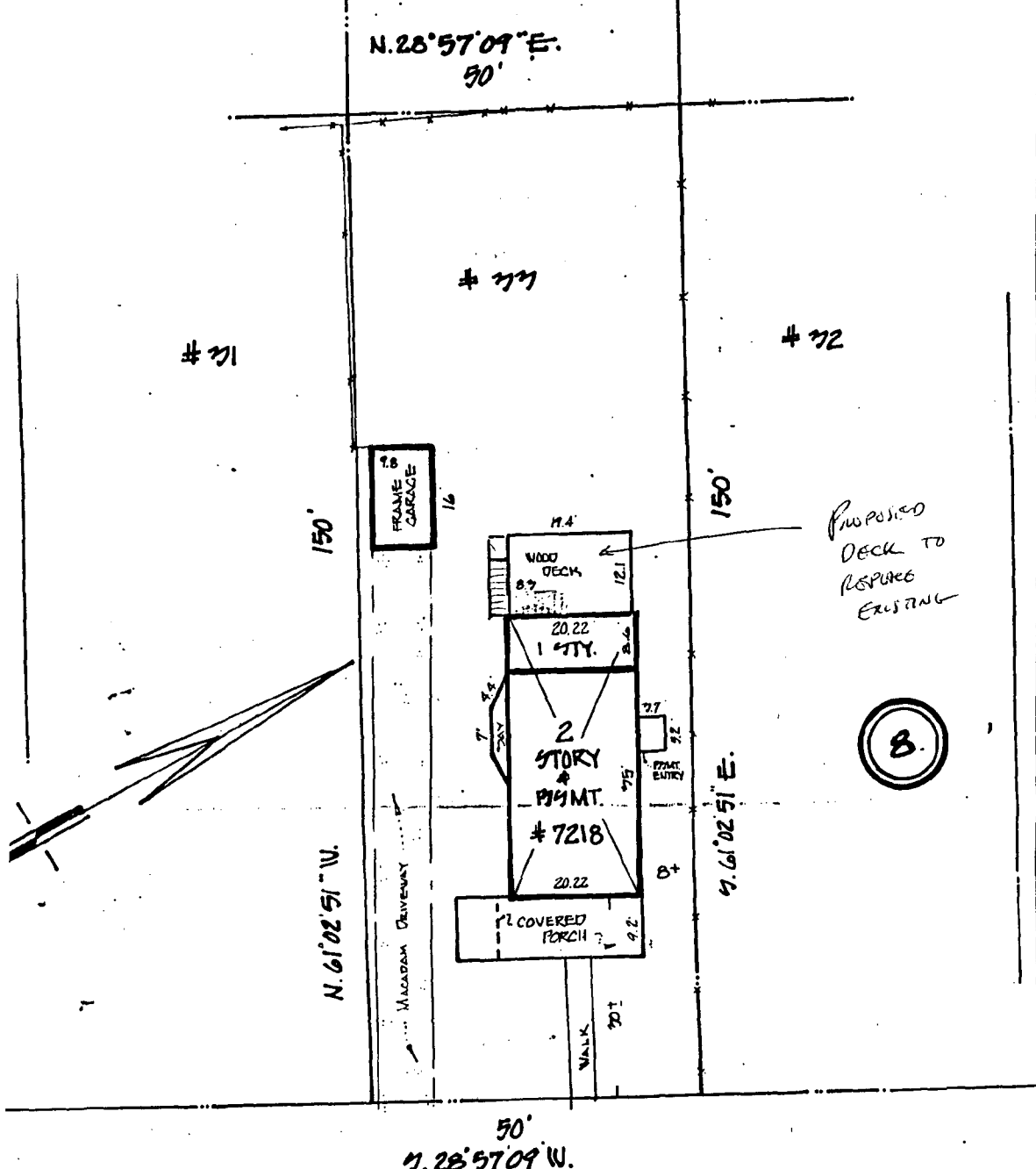
CELLAR TRAP DOOR

ST NORTH ELEVATION

1/4"=1'-0"

D

LANDTECH ASSOCIATES INC.
 4206 EDMONSTON ROAD BLADENSBURG, MARYLAND 20710



SPRUCE AVENUE



NO TITLE REPORT FURNISHED

LOCATION SURVEY OF
 #7218 SPRUCE AVENUE
 MONT. CO., MARYLAND

SUBDIVISION **LIPKOMP & EARNEST TRUSTEE'S**
 ADDITION TO
TAKOMA PARK

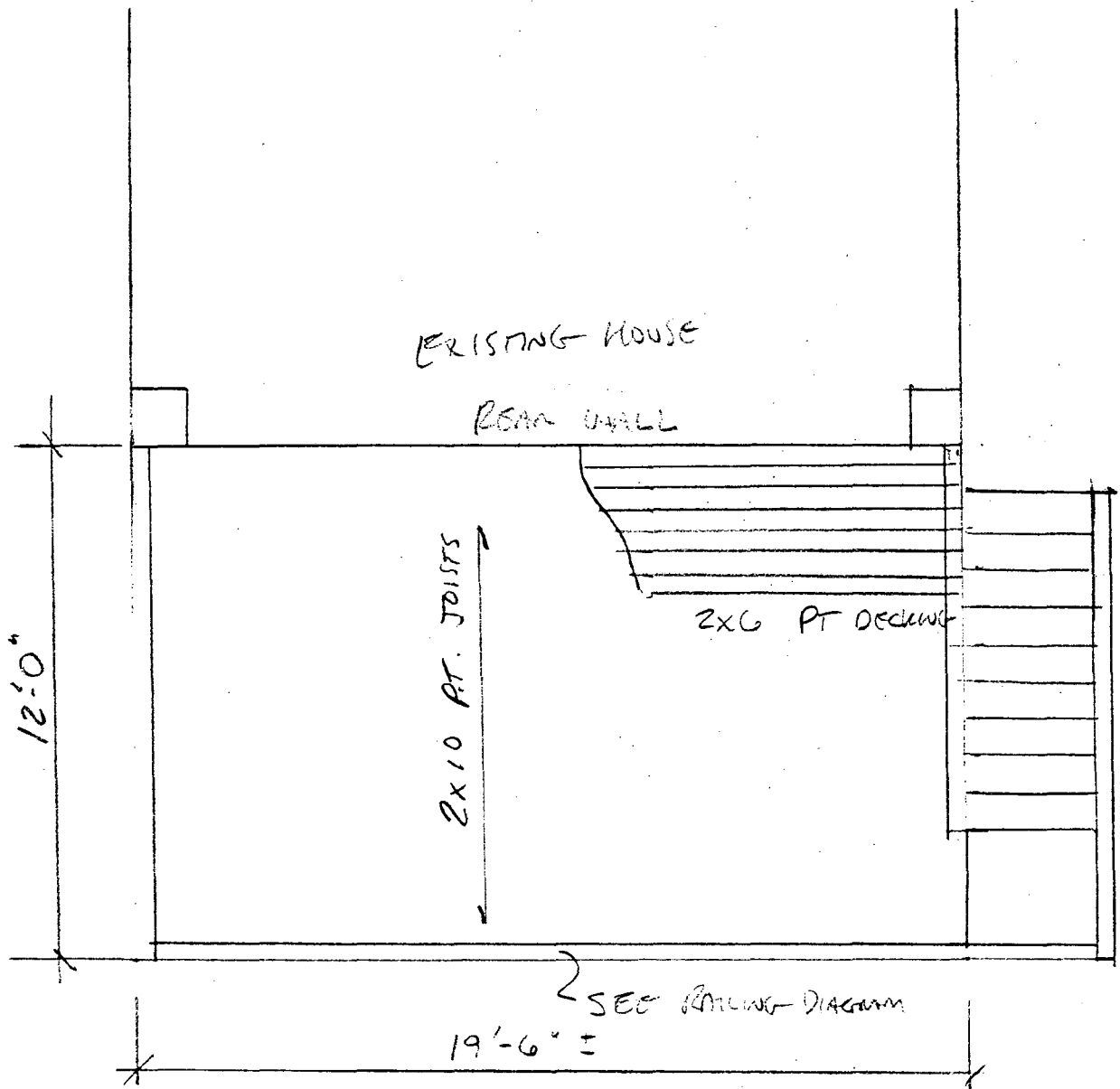
LOT: 777
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 DATE: 10-8-85
 CASE NO: 17904

BLOCK: 8
 PLAT NO: 46
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11



7218 SPRUCE AVE.
DECK PLAN

OD CORNICE WO
TERS

BAND

IGLES

FIBERGLASS SHINGLES

INS

EXISTING
DECK
NOT
SHOWN

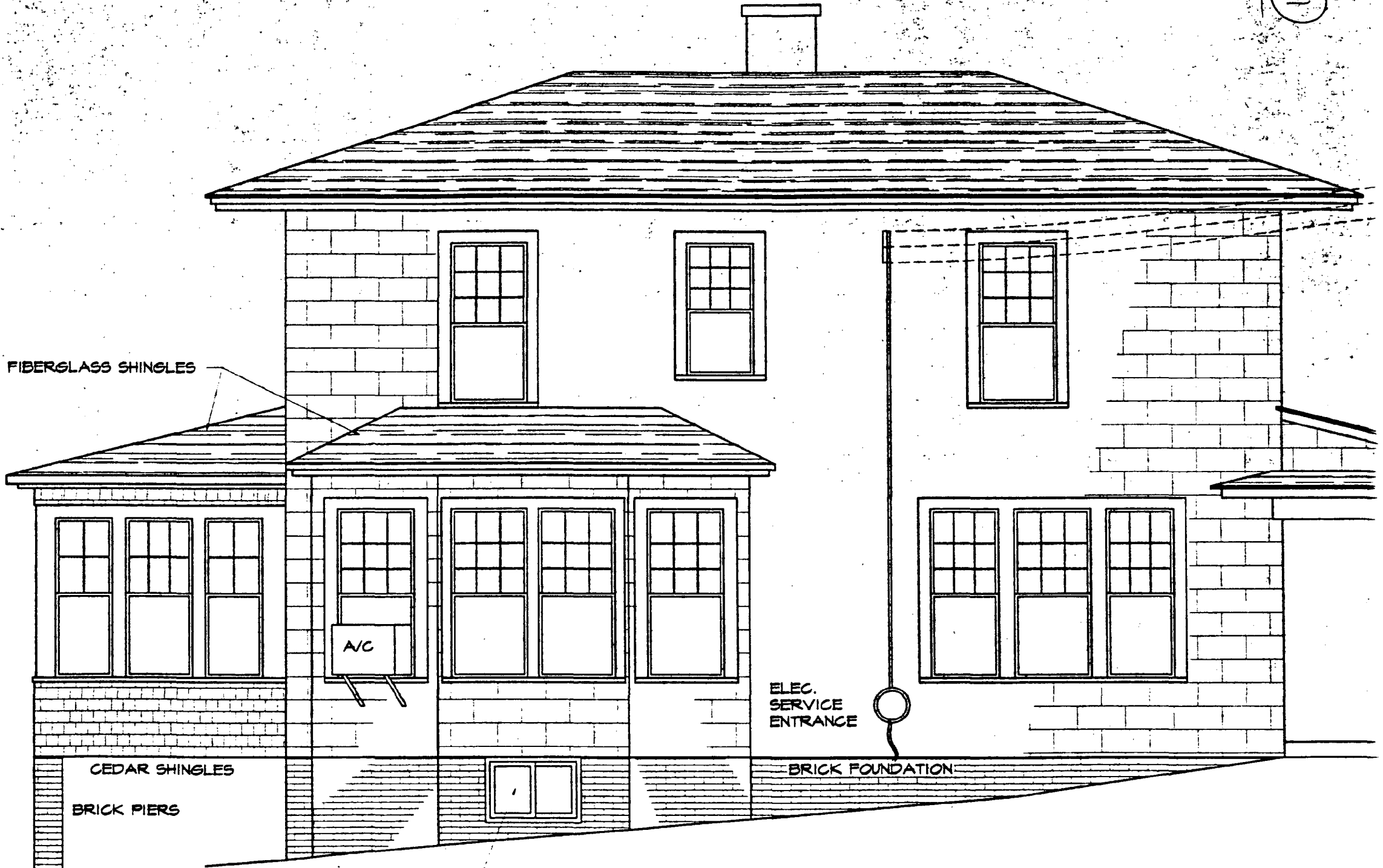
CEDAR SHINGLES

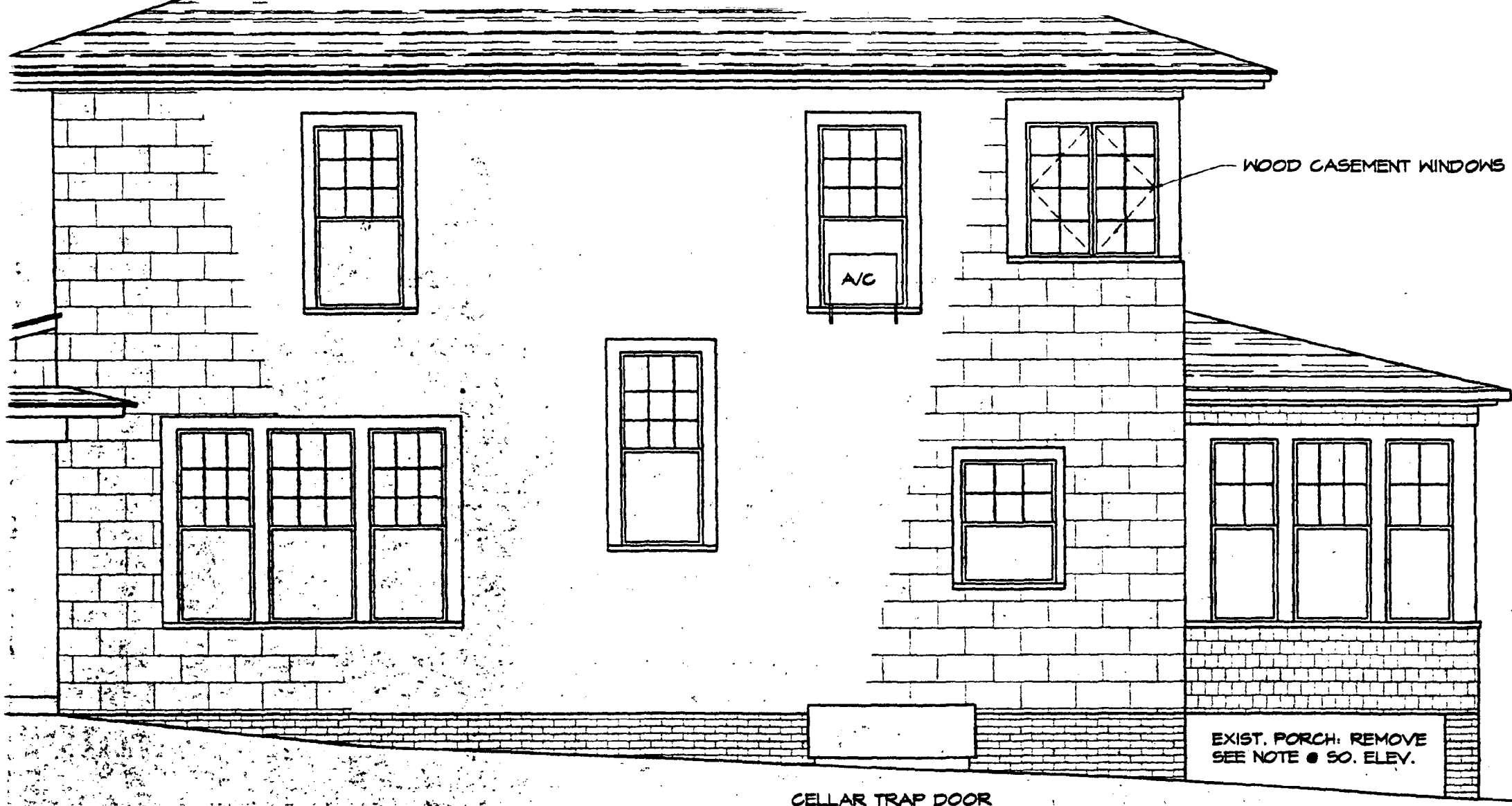
BRICK PIERS

AC

ELEC.
SERVICE
ENTRANCE

BRICK FOUNDATION





2ND FLOOR CLG. /

WOOD CASEMENT WINDOWS

1ST FLOOR CLG. /

EXISTING
DECK
NOT SHOWN

1ST FLOOR

EXIST. PORCH: REMOVE
SEE NOTE @ SO. ELEV.

CELLAR TRAP DOOR

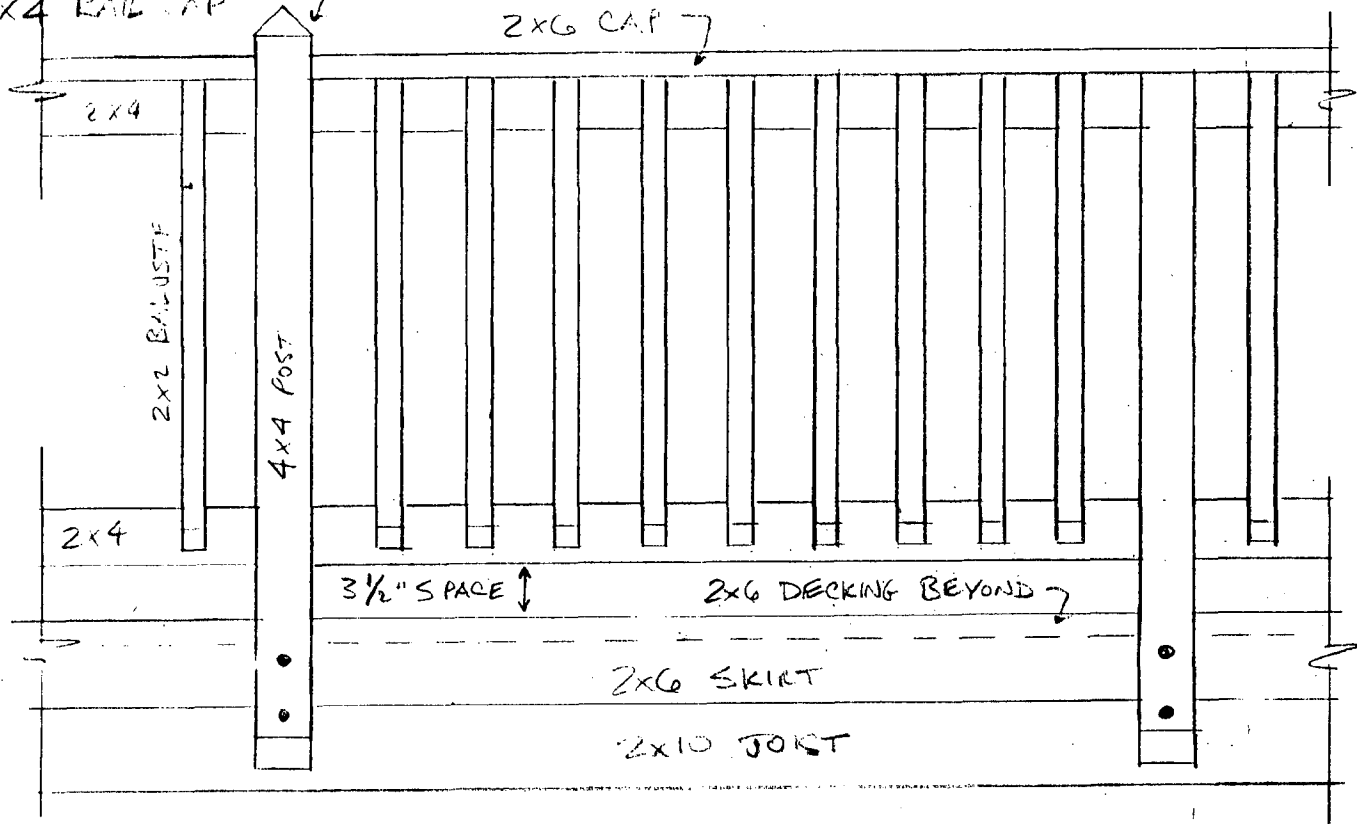
ST. NORTH ELEVATION

1/4" = 1'-0"

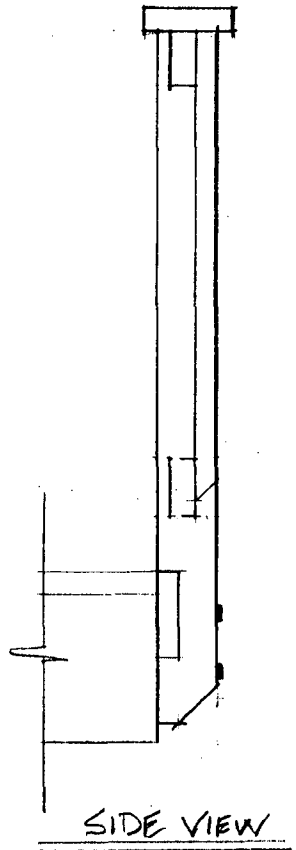


STANDARD RAILING

* ALTERNATE POST DESIGN
PYRAMID CUT POST TOP
OR LALL CAP WITH
2x4 RAIL CAP



FRONT VIEW

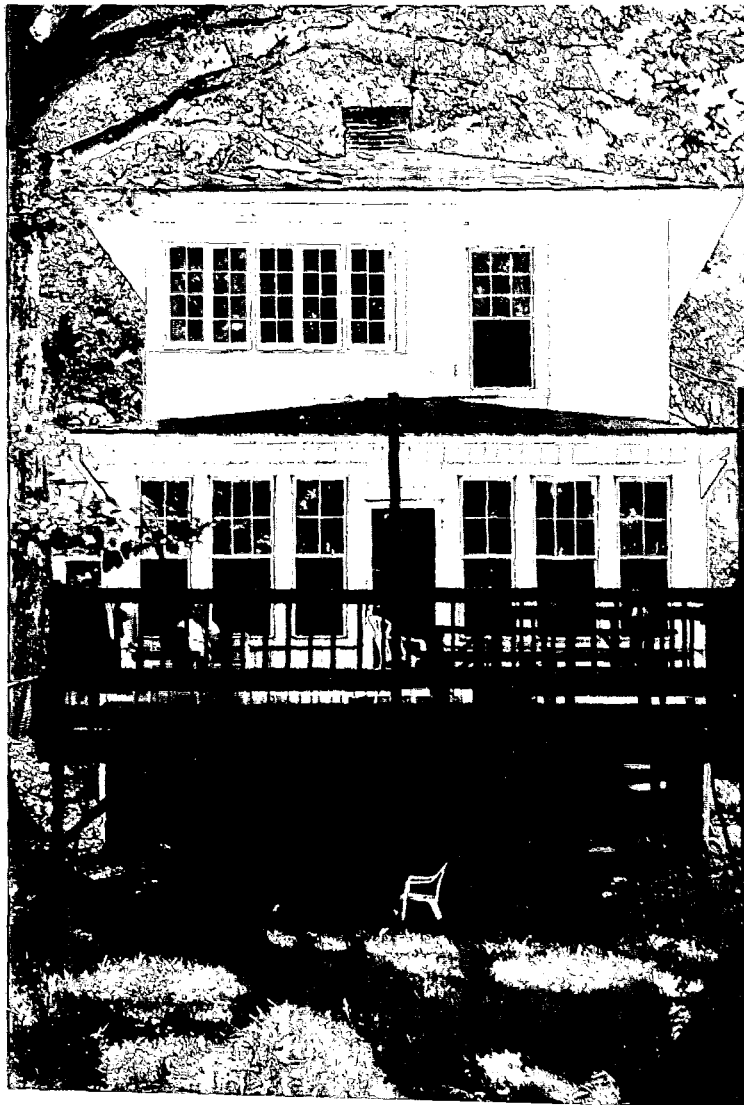


SIDE VIEW

7218 SPENCE AVE., TAKOMA PARK



EX. FRONT
ELEV.



EX.
REAR
ELEVATION

SHOWING
EXISTING
DECK

DD CORNICE W/O
TERS

BAND

IGLES

FIBERGLASS SHINGLES

INS

EXISTING
DECK
NOT
SHOWN

CEDAR SHINGLES

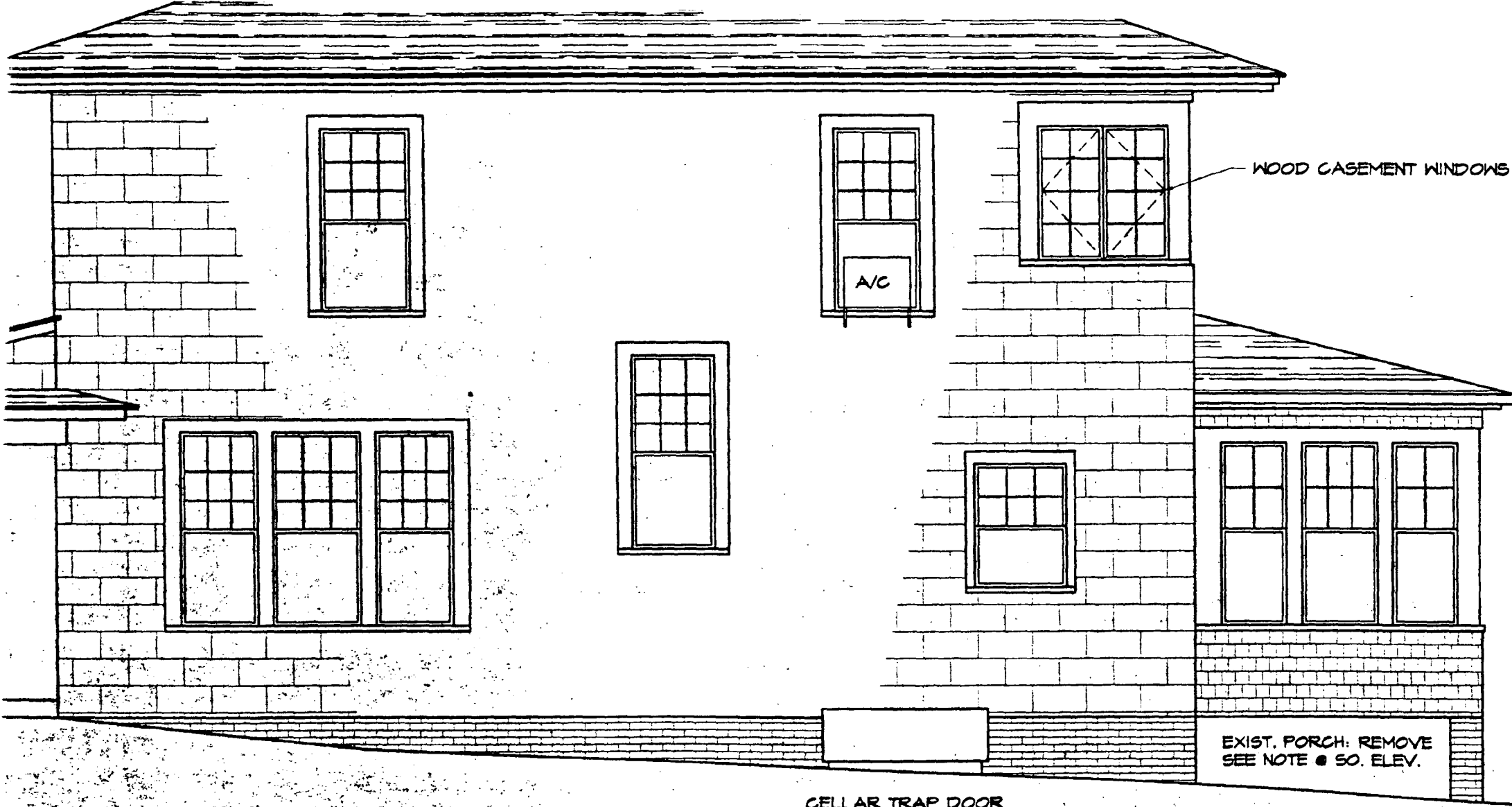
BRICK PIERS

A/C

ELEC.
SERVICE
ENTRANCE

BRICK FOUNDATION





2ND FLOOR CLG.

WOOD CASEMENT WINDOWS

1ST FLOOR CLG.

EXISTING
DECK
NOT
SHOWN
1ST FLOOR

EXIST. PORCH: REMOVE
SEE NOTE @ SO. ELEV.

CELLAR TRAP DOOR

ST NORTH ELEVATION

1/4" = 1'-0"

DATE: 11/11/11