

3773-001 TO FILE IN
(Takoma Park Historic District)



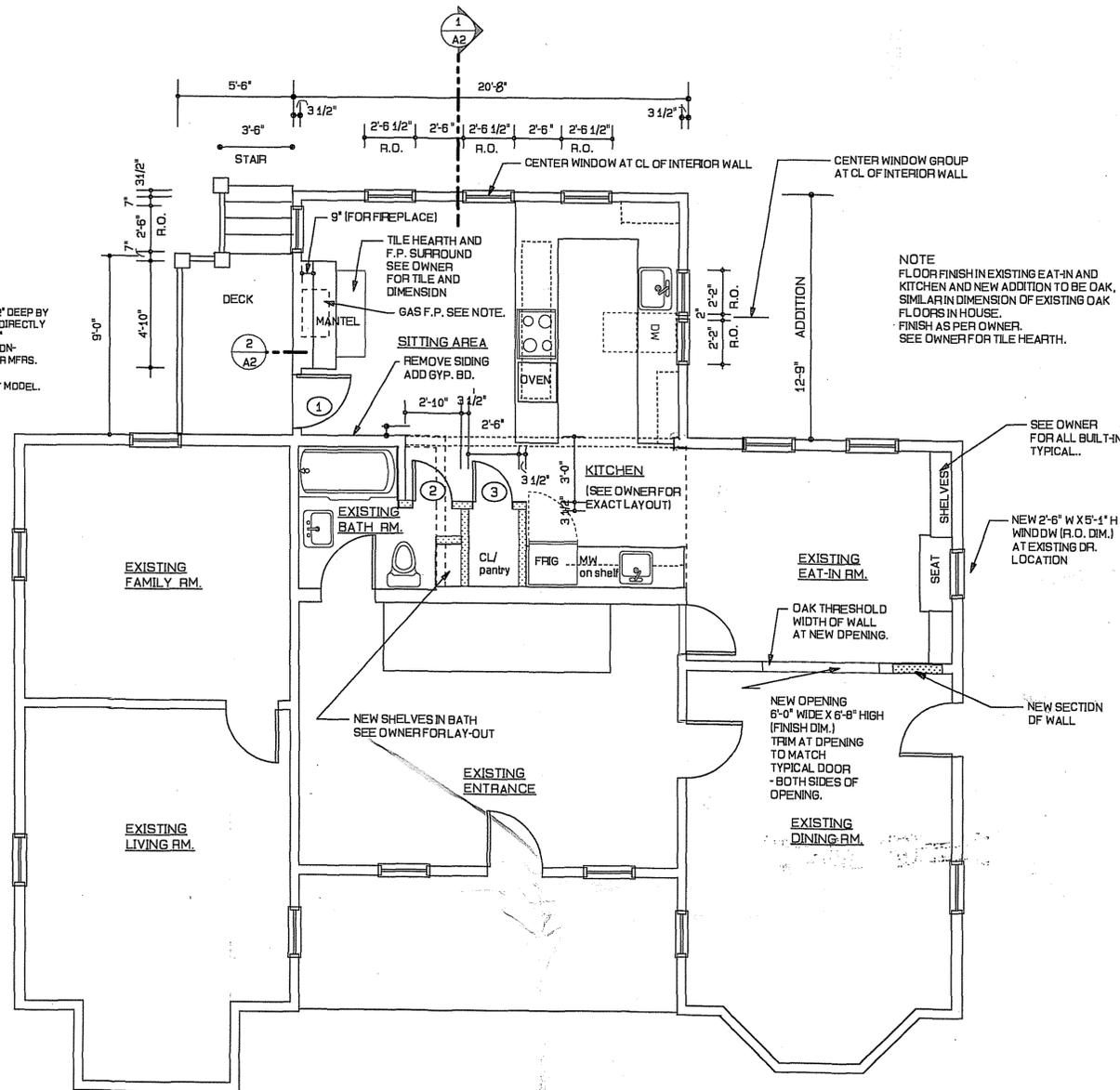
EXISTING SOUTH ELEVATION

REMOVE DOOR AND TRIM, SAVE FOR POSSIBLE RE-USE.

DEMOLITION
 Remove existing kitchen partitions, cabinets, lighting, portion of exterior walls, plumbing, appliances, outlets, wiring, etc. as required for new work. Field verify conditions and inform Architect immediately of variations in assumed versus actual conditions. Provide shoring and bracing as required to stabilize existing construction during demolition or until new construction is completed. Patch and repair work as required (see "Patch & Repair" note. Coordinate demolition with new work. Also see Demolition notes in the Specification.

NOTE: GAS F.P.

FIREPLACE TO BE 16 1/2" DEEP BY 29" WIDE - W/ VENT OUT DIRECTLY TO BACK. "HEAT-N-GLO" PROVIDE ALL UTILITY CONNECTIONS. INSTALL PER MFRS. SPECIFICATIONS. SEE OWNER FOR EXACT MODEL.



FIRST FLOOR PLAN/ ADDITION PLAN

NOTES

- NEW PARTITION IN EXISTING ROOM
- ALL FLOORING IN ADDITION SHALL MATCH FLOORING IN EXISTING HOUSE.
- BASEBOARD, PLINTH, TRIM AT WINDOWS AND DOORS TO BE SIMILAR TO EXISTING IN HOUSE, EXISTING IN HOUSE.
- CONFIRM SHELVING (BATHROOM AND PANTRY) W/ OWNER.

DOOR SCHEDULE

- 1 RE-USE EXISTING DR. AT EAT-IN TO PORCH
- 2 SEE OWNER FOR DR. TO BATH
- 3 NEW WD. 2' X 6'8" SIM. TO EXIST. IN HOUSE.

SEE OWNER FOR HARDWARE AND KEYING.

PAINTING NOTES

Walls, ceilings, doors, interior doors, new windows, baseboard and all trim to be painted.

Interior: kitchen, eat-in room, new wall at dining rm, and entire addition - to be painted.

Exterior: addition to be painted - all siding and wood trim.

Deck: Provide solid stain/waterproofing per mfrs. specifications. Rolling and lattice paint.

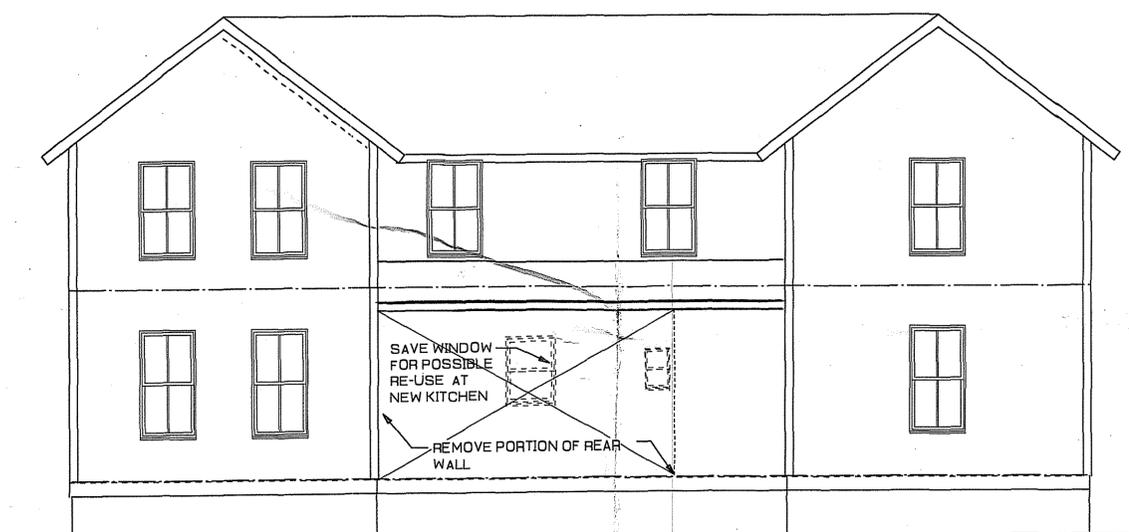
See specification for painting types and application. Confirm all painting - color and gloss with Owner prior to purchase and installation.

PATCH AND REPAIR NOTES

Patch existing wall ceiling floors as required below. Patch using similar materials or existing materials to create an even homogeneous appearance. Patch areas where finishes are missing or damaged due to the removal of the following, (but not limited to): partitions, windows, doors registers and other demolition.

DRAWING INDEX

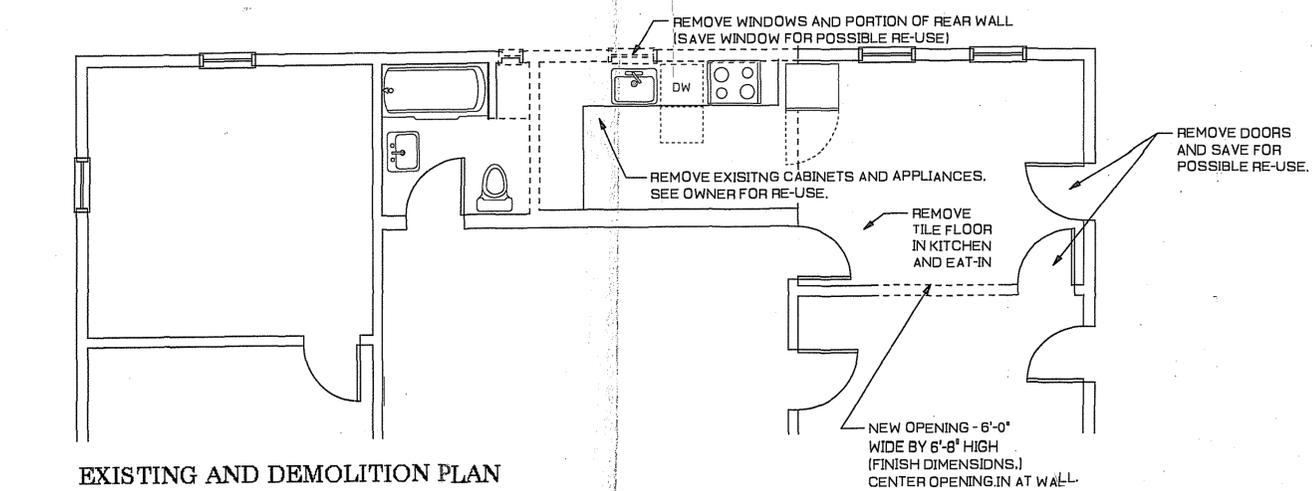
- A1 ADDITION PLAN/ EXISTING AND DEMOLITION PLAN AND ELEVATIONS
- A2 ELEVATIONS/BLDG. SECTION/DETAILS
- A3 FRAMING PLANS/DETAILS
- A4 SPECIFICATIONS
- A5 SPECIFICATIONS/ELECTRICAL PLAN



EXISTING EAST ELEVATION

SAVE WINDOW FOR POSSIBLE RE-USE AT NEW KITCHEN

REMOVE PORTION OF REAR WALL



EXISTING AND DEMOLITION PLAN

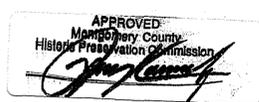
REMOVE WINDOWS AND PORTION OF REAR WALL (SAVE WINDOW FOR POSSIBLE RE-USE)

REMOVE EXISTING CABINETS AND APPLIANCES. SEE OWNER FOR RE-USE.

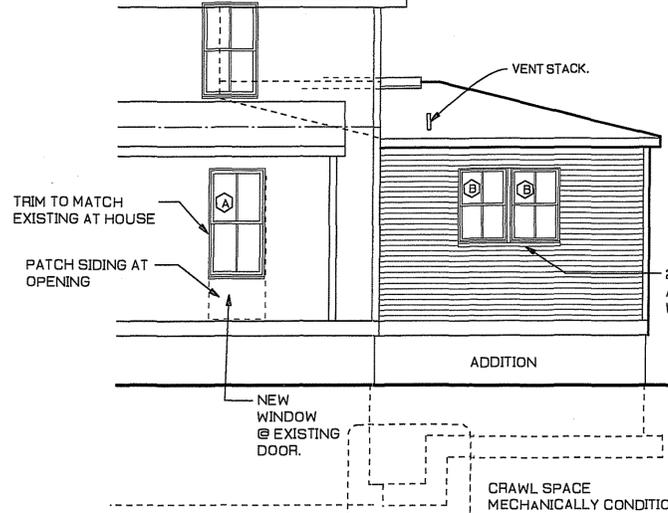
REMOVE TILE FLOOR IN KITCHEN AND EAT-IN

REMOVE DOORS AND SAVE FOR POSSIBLE RE-USE.

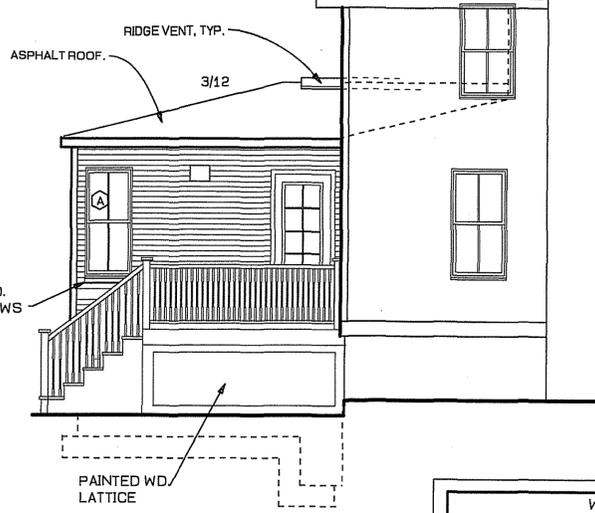
NEW OPENING - 6'-0" WIDE BY 6'-8" HIGH (FINISH DIMENSIONS.) CENTER OPENING IN AT WALL



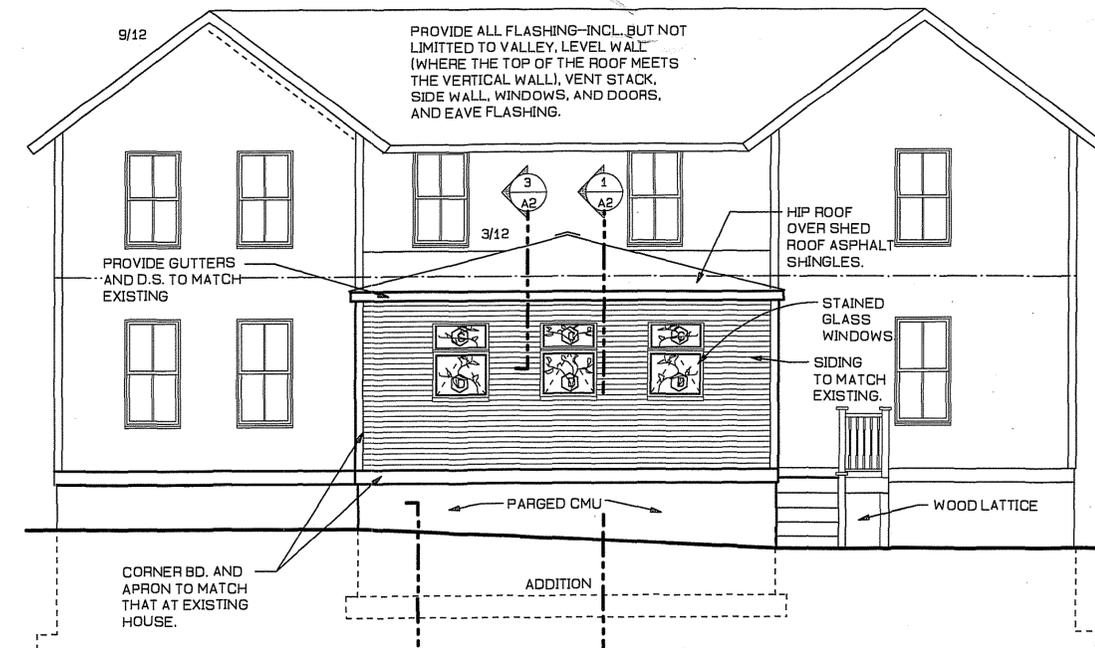
NOTE:
GUTTERS AND D.S. NOT INDICATED, PROVIDE D.S. AT EACH CORNER (EXCEPT CORNER NEAR DOOR). PROVIDE GUTTER AROUND ENTIRE PERIMETER OF ADDITION. SEE DETAIL 3/A2 FOR DETAIL. DRAIN AWAY FROM FOUNDATION, PROVIDE D.S. LEADERS.



SOUTH ELEVATION



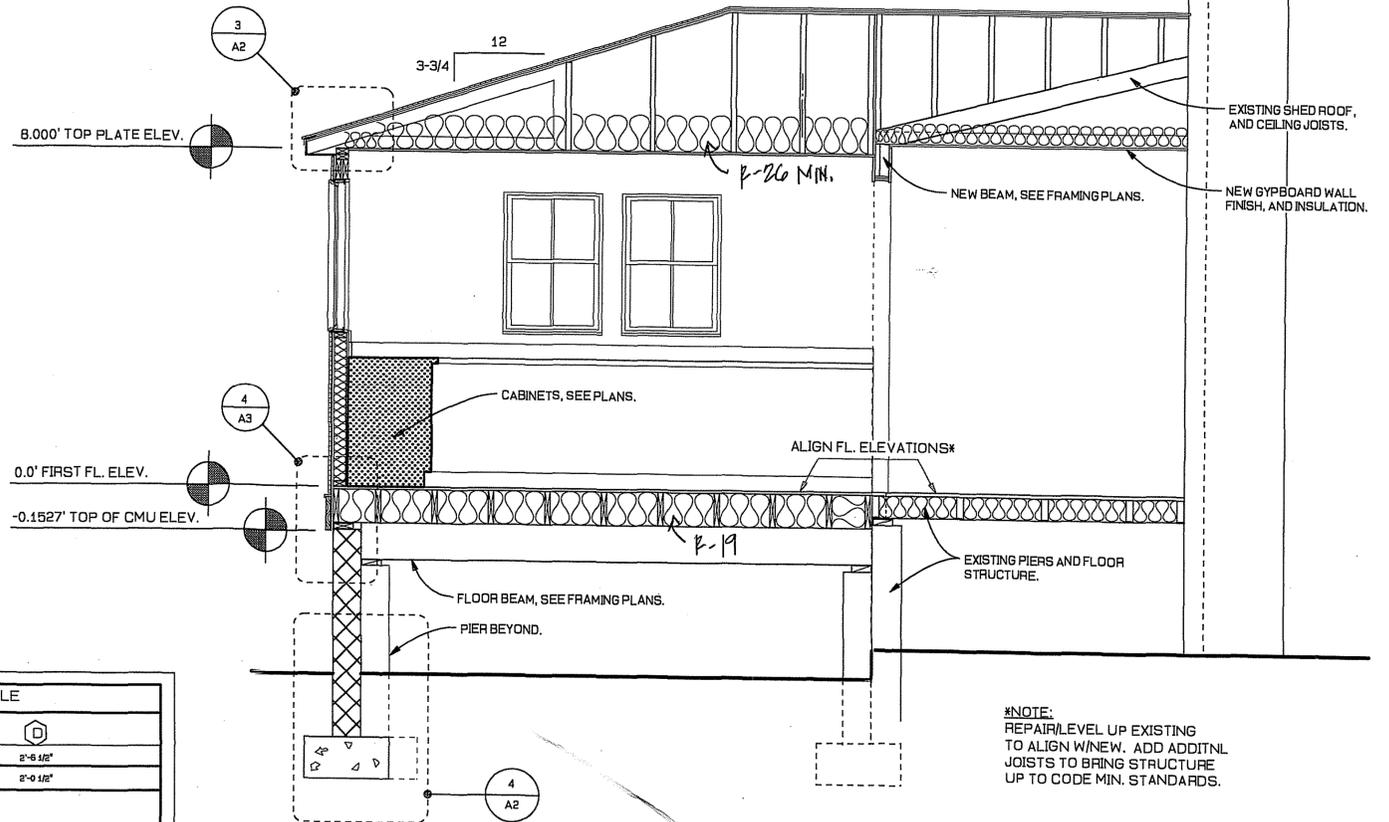
NORTH ELEVATION



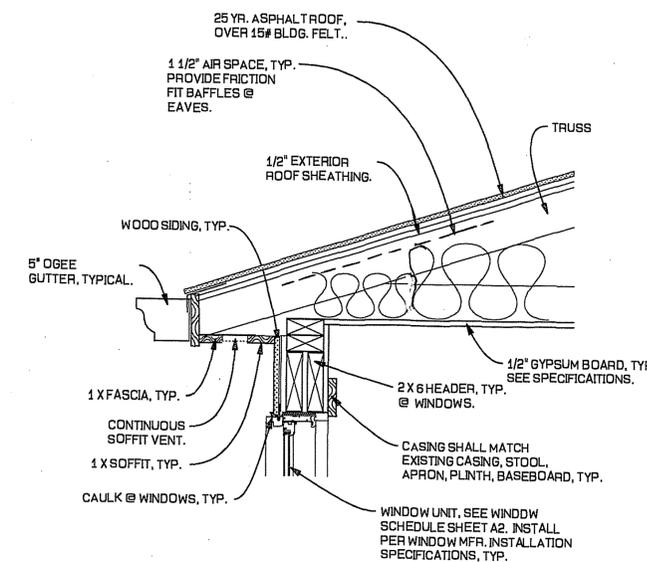
EAST ELEVATION

WINDOW SCHEDULE				
MARK	A	B	C	D
WIDTH (R.O.)	2'-0"	2'-0"	2'-6 1/2"	2'-6 1/2"
HEIGHT (R.O.)	5'-1"	3'-5"	1'-3 1/2"	2'-0 1/2"
FIN. FL TO HEAD DIM	7'-0"	7'-0"	7'-0"	
TYPE	24 x 28 double hung	20 x 18 double hung	fixed unit	36x220 opening
NOTES	<p>All windows are manufactured by "Kolbe & Kolbe". All are wood and to be shop-primed. Glazing - to be insulated for windows A and B. See elevation for authentic cut-lite patterns. (Double-hung windows to match existing in house.) Windows C and D to be single glazed with a stained glass window panel on interior side. Mull windows C and D. *CONFIRM WINDOWS C/D W/DOWNER. Manufacture's screen panel for windows A and B - screen to be color charcoal. Standard hardware - match existing windows in house. Track color to be white. Confirm if existing kitchen windows is a type B. Interior casing to be similar to that in house.</p>			

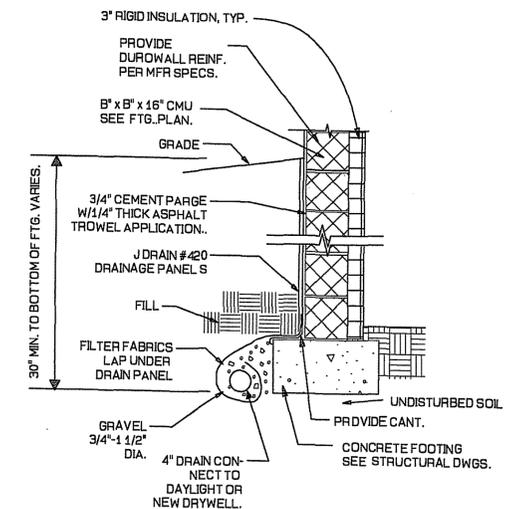
2 TYP. SILL PLATE/DECK
A-2 SCALE: 1 1/2" = 1'-0"



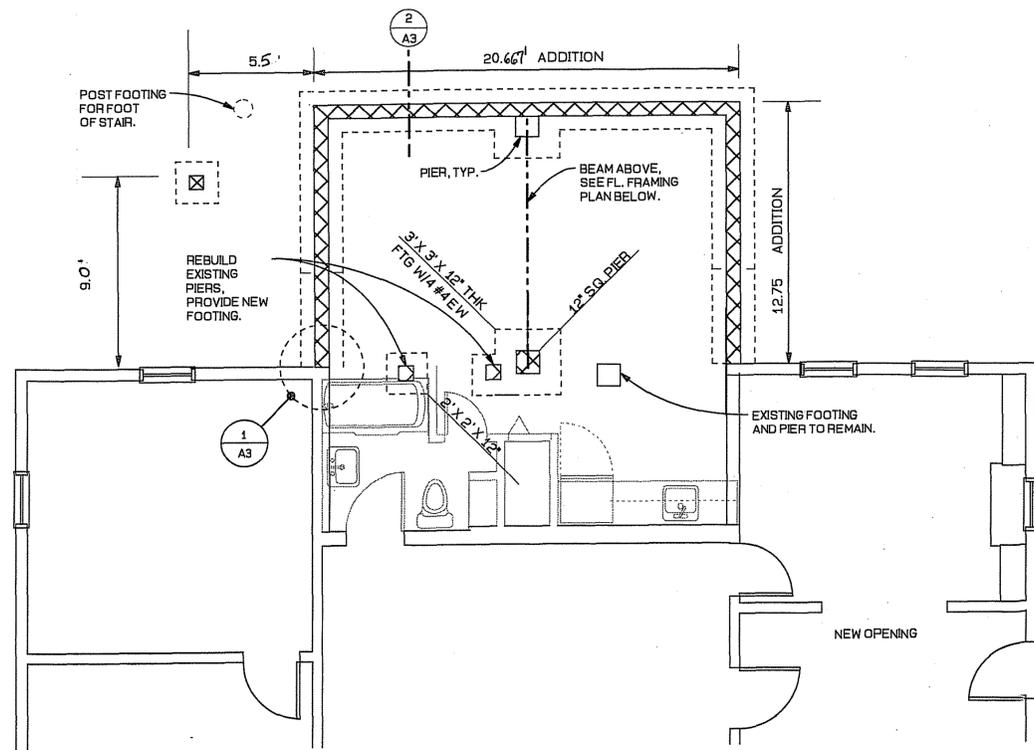
1 BUILDING SECTION
A-2 SCALE: 1/2" = 1'-0"



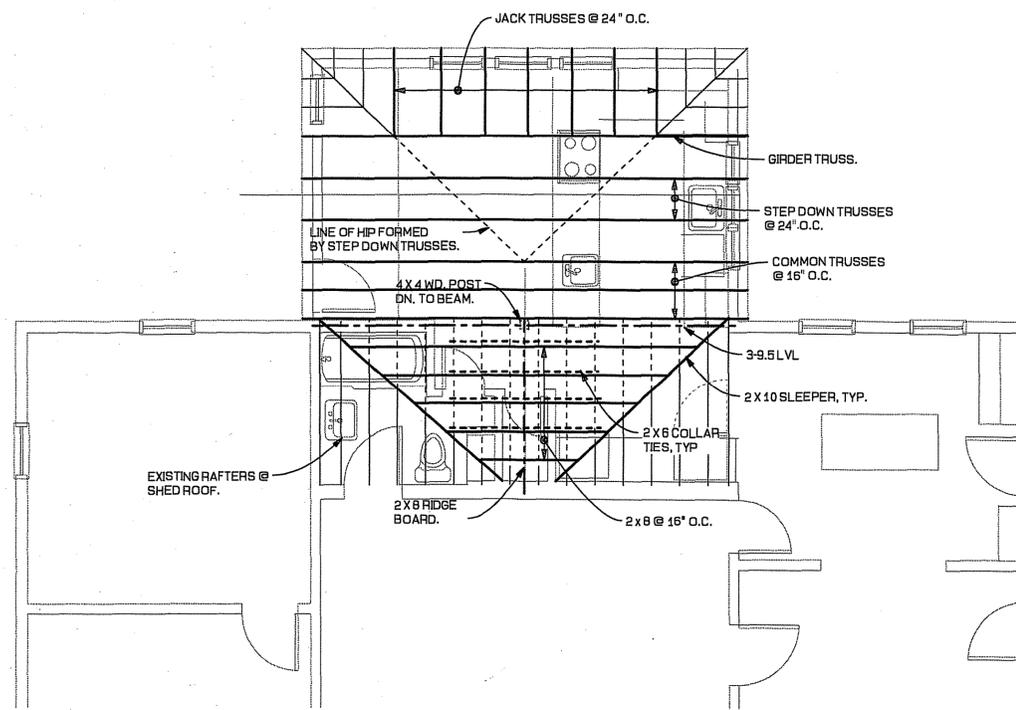
3 EAVE DETAIL, TYP.
A-2 SCALE: 1 1/2" = 1'-0"



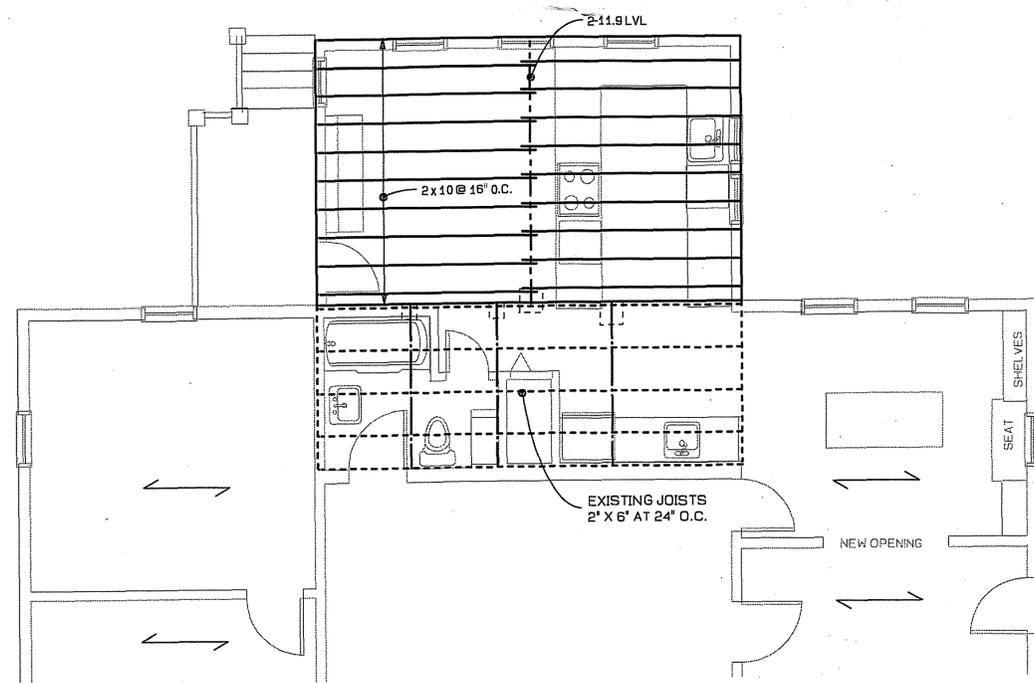
4 FOUNDATION WATERPROOFING, TYP.
A-2 SCALE: 3/4" = 1'-0"



FOUNDATION PLAN



ROOF FRAMING PLAN



FIRST FLOOR FRAMING PLAN

GENERAL NOTES:
 POSTS SHALL BE CONTINUOUS (OR SPLICED, BUT ALIGNED VERTICALLY) TO THE FOUNDATION.
 POSTS SHALL SUPPORT ENDS OF ALL BEAMS, U.N.O.
 BEAMS DESIGNATED "LVL" SHALL BE LAMINATED VENEER LUMBER BEAMS HAVING THE FOLLOWING STRUCTURAL PROPERTIES: F_b = 2,850 PSI, E = 2,000,000 PSI. CONTRACTOR SHALL NOT SUBSTITUTE BRANDS OF LVL BEAMS OR HEADERS WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT. SIZES ARE TO BE AS SHOWN ON THE PLANS AND DETAILS.
 INTERIOR MULTIPLE LVL'S ARE TO BE FASTENED TOGETHER WITH A MINIMUM OF TWO ROWS OF 16d NAILS AT 12" O.C. NAILS TO BE SPACED 3" FROM THE TOP AND BOTTOM OF BEAMS.
 EXTERIOR MULTIPLE ML ARE TO BE FASTENED WITH 2- 1/2" DIAMETER THROUGH BOLTS, AT 16" O.C.

LAMINATED VENEER LUMBER BEAMS DESIGNATED ON PLANS ARE TO BE SIZED AS FOLLOWS (WITH x DEPTH):

9.5" LVL = 1 3/4" x 9 1/2" 11.9" LVL = 1 3/4" x 11 7/8" 14" LVL = 1 3/4" x 14" 16" LVL = 1 3/4" x 16" 18" LVL = 1 3/4" x 18"

ALL FRAMING LUMBER SHALL BE SOUTHERN PINE FIR #2 U.N.O.

CONTRACTOR SHALL TAKE DUE CARE TO PROVIDE WIND BRACING, CORNER BRACING, AND TIE DOWNS AS REQUIRED BY MONTGOMERY COUNTY.

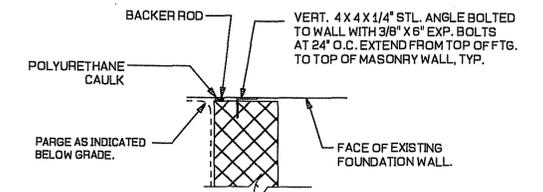
ALL FOOTINGS ARE BASED ON 2 KSF ALLOWABLE SOIL BEARING CAPACITY. PROVIDE SOLID BEARING AT ALL MASONRY BENEATH POSTS.

PROVIDE BRIDGING AT MIDSPAN, TYP. PROVIDE FIRESTOPPING AS REQUIRED BY CODE, TYPICAL.

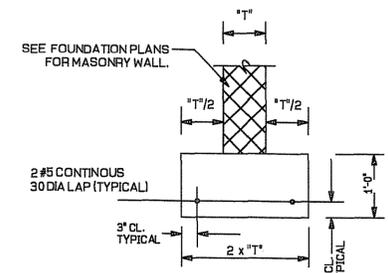
ELEVATIONS SHOWN ARE TO SHEATHING OR ROUGH FRAMING, SEE SHEET A2.

SEE WINDOW SCHEDULE FOR HEAD HEIGHTS (ROUGH OPENING) OF ALL WINDOWS.

SOLID MASONRY PIER (SMP)-24" OR 3 COURSES (MIN.) SOLID MASONRY/BRICK-ALL SPACES GROUTED FULLY (INCL. CELLS OF 4" CMU) 12" MIN LENGTH (16" PREFERRED).

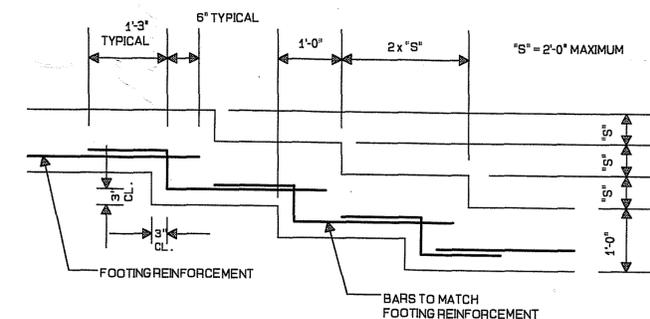


1 ADDITION WALL/EXIST'G WALL JOINT
 SCALE: 3/4" = 1'-0"

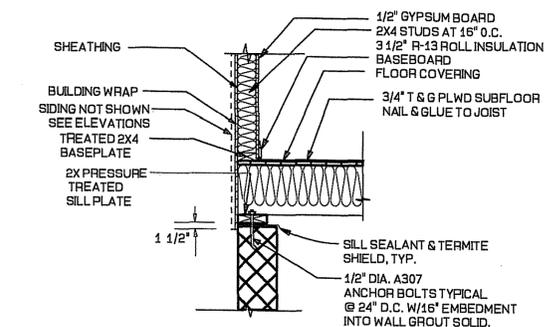


1. ALL BEARING WALL FOOTINGS TO BE A MINIMUM OF 2'-0" x 1'-0" W/2 #5 CONTINUOUS.
2. 8" AND 10" NON-BEARING WALLS TO HAVE TO HAVE 2x 1" FOOTINGS MINIMUM.
3. MINIMUM FOOTING WIDTH 16"

2 TYP. MASONRY WALL FOOTING
 SCALE: 3/4" = 1'-0"



3 STEPPED FOOTING DETAIL, TYP.
 SCALE: 3/4" = 1'-0"



4 TYPICAL EXTERIOR WALL AT FOUNDATION
 SCALE: 3/4" = 1'-0"

GYPSUM WALLBOARD

- Materials**
 A. Furred partitions and suspended ceilings: ASTM C36, 1/2" thick regular type.
 Use 1/2" thick "High Strength for Ceilings" by Gold Bond or equal where ceiling joist spacing is 24" O.C. or greater.
 B. Moisture-resistant wallboard: ASTM C 630, regular type "M/R" manufactured by U.S. Gypsum. Use moisture-resistant drywall at toilet rooms, and as indicated on the drawings.
 C. Tile Backer: Glass mesh mortar units by U.S. Gypsum or approved equal. Use in bathtub enclosures.
 D. Use Type X-fire resistant where required by code or where shown on the drawings.
 E. Use materials for trim, adhesives and accessories as recommended by the manufacturer and in accordance with highest industry standards.

- Installation**
 A. Install gypsum boards in lengths and directions which will minimize number of end joints, avoid end joints in central areas of ceilings. Install walls and partitions with exposed gypsum boards at right angles with supports and end joints staggered over supports. Screw to studs in accordance with manufacturer's recommendations.
 B. Use beaded type metal trim with flanges for concealment in joint compound. Provide corner beads at external corners. Provide edge trim where edge of gypsum board would be exposed.
 C. Apply joint tape and compound at joints (both directions) between gyp board walls. Apply compound in 3 coats plus pre-fill of cracks. Sand after last 2 coats.

PAINTING

- Materials**
 A. Paint is to be the manufacturer's highest grade or best quality - "Duron" or approved equal. The colors and exact gloss finish will be selected by the Owner. (Exterior colors to match existing colors at house.). Primers to be compatible with the surface being covered and the finish coats covering it.
 1. Exterior Surfaces:
 a. Wood (trim): 1 coat white exterior wood oil based primer. Wood trim to be primed and back primed. 2 coats exterior latex based paint.
 2. Interior Surfaces:
 a. Gyp. Bd. ceilings: 1 coat wall primer, 2 coats flat wall paint.
 b. Gyp. Bd walls: 1 coat latex wall primer, 2 coats egg-shell.
 c. Gyp. Bd. ceilings and walls in bath, interior doors, windows, trim: 1 coat latex primer; 2 coats semi-gloss.

(Confirm paint type w/Owner. Confirm colors w/owner.

- Installation**
 Follow manufacturer's written instructions as to surface preparation and application for their products. Work shall be done by experienced painters who will protect all finished work during preparation and painting and will remove any paint from glass and other materials.
 Do not paint over dirt scale, grease moisture, scuffed surfaces, or conditions otherwise detrimental to formation of a durable paint film. Perform prep and cleaning procedures in accordance with paint manufacturer's instructions.
 Remove hardware accessories for surface preparation and painting operations. Determine alkalinity and moisture content of surfaces to be painted by performing appropriate tests. Prime or seal wood required to be job painted immediately upon delivery of job. Prime edges, ends, faces, underside, backsides of such wood. Clean wood surfaces to be painted and sandpaper as required. Scrape and clean small dry seasoned knots and apply thin coat of white shellac or other recommended knot sealer before application of priming coat. After priming, fill holes and imperfections in finish surfaces with putty or plastic wood filler. Sand paper smooth when dried.
 Do not paint hinges.

DIVISION 9.0 FINISHES

WOOD FLOORING

- Materials**
 A. Underlayment: CD INT APA, T&G, 3/4".
 B. New Flooring:
 T&G to match existing in existing in first floor areas to be patched.
 New Flooring in addition: width and type to match existing wood floor.
 C. Stain color to match existing. Two coats (in family room and hall areas) and three coats (in existing and new kitchen and eat-in areas.) Miracle oil modified polyurethane sealer and finish. Provide samples of stained wood for Owner's approval prior to application.
 Refinish entire kitchen and family room floor so new and existing portions of floor to be similar in appearance.

- Installation**
 A. Lay out wood strips and stagger joints minimum two strips apart. Blind nail @8" o.c. maximum. Face nail end strips only. Finish floor shall be smooth, level, free from movement with tight joints.
 B. Sand new flooring with drum sander/buffer, and hand scraper and thoroughly vacuum floor to remove dust and particles prior to application of finishes.
 C. Tooth new flooring into existing where possible.

DIVISION 11 RESIDENTIAL KITCHEN EQUIPMENT

Products

Appliances shall be furnished by Owner. Contractor shall provide hook-ups as required for proper operations and shall install all kitchen equipment in accordance with the manufacturer's recommendations.

Installation

- A. Contractor shall schedule delivery of units to site at appropriate time. Contractor shall accept delivery and protect units from damage during handling and storage. Units damaged in any way during handling and storage shall be replaced by Contractor.
 B. Unpack unit and dispose of containers. Install in locations indicated. Make connections to all mechanical and electrical services required. Test units to ensure proper functions and operation of all of the features.
 C. Adjust built-in leveling devices to ensure units are level when placed in final position. Remove all tags and marking and clean unit inside and out as recommended by manufacturer. Submit all warranties and instruction manuals to Owner at the end of the job.

DIVISION 12. KITCHEN CABINETS

Field Measurements: All cabinet dimensions to be verified and shop drawings approved by Architect prior to ordering cabinets. Verify sizes and shapes of countertops prior to fabrication by field measurements taken after base cabinets are installed.

Materials

- A. Cabinets, countertops and hardware: Owner to purchase cabinets, countertops and hardware directly from the Kitchen supplier. Contractor shall be responsible for verifying that all components are specified and dimensioned to ensure a complete installation. This includes, but is not limited to all hardware, filler pieces and shelves.
 B. Countertops:
 1. Exposed Surfacing Material:
 2. Backsplash shall be 4" and shall be of same material as counter.

Installation of Cabinets and Countertops

- Contractor shall install all cabinets, countertops and hardware. Contractor shall schedule delivery of units to site at appropriate time. Contractor shall accept delivery and protect units from damage during handling and storage. Units damaged in any way during handling and storage shall be replaced by Contractor.
 A. Install cabinets plumb, level, true and straight with no distortions. Shim as required using concealed shims. Where wood kitchen cabinets abut other finished work, scribe and cut for accurate fit. Provide filler strips, scribe strips and moldings as indicated or required, and in finish to match cabinet face.
 B. Anchor cabinets securely in place with concealed (when doors and drawers are closed) fasteners, anchored into structural support members of wall construction. Comply with manufacturer's instructions for support of units.
 C. Attach countertops securely to base units. Spline and glue joints in countertops; provide concealed mechanical clamping of joint. Provide cutouts for fixtures and appliances as required; drill pilot holes at corners before making cutouts. Smooth cut edges and coat with waterproof coating or adhesive.
 D. Complete hardware installation and adjust doors and drawers for prior operation.
 E. Repair or remove and replace defective work as directed upon completion of installation.
 F. Clean exposed and semi-exposed surfaces, touch-up finish as required. Remove and refinish damaged or soiled areas.
 G. Protection: Maintain conditions necessary to ensure that work will be without damage or deterioration at time of acceptance.
 H. Cover completed work with 4-mil polyethylene protective enclosure, applied in manner to allow easy removal without damaging cabinets or adjoining work. Remove cover immediately before time of final acceptance.

ELECTRICAL/LIGHTING SCHEDULE			
⊙ A	WALL FIXTURE Interior	⊙	DUPLEX
⊙	PENDANT Clg.-mounted	⊙ WP	DUPLEX Exterior GFI
⊙ C	WALL FIXTURE -Exterior	⊙	DUPLEX (Flush floor mounted)
—	UNDERCOUNTER LIGHT	⊙	SINGLE POLE SWITCH
⊙	DOWNLIGHT	⊙ D	DIMMER SWITCH
⊙ S	SURFACED MOUNTED	⊙ 3	3-WAY SWITCH
▽	TELEPHONE	⊙	EXISTING DUPLEX
—	SEE OWNER ABOUT LANDSCAPING LIGHTING.	⊙	EXISTING SWITCH
		⊙	EXISTING LIGHT FIXTURE

DIVISION 16.0 ELECTRICAL

GENERAL

Electrical contractor to comply with all local building codes and applicable sections. Provide dedicated circuits as required by code. The work under this section shall include all labor, materials, equipment and services necessary for and incidental to the provision and installation of a complete electrical system, such as electrical distribution equipment, panel feeders, branch circuits, outlets for power and motors, metering equipment, etc. The electrical system and specifications shall comply with the Underwriters Laboratories (UL 98A) and the National Fire Protection Association (NFPA). All systems shall be grounded in accordance with the requirements of the National Electrical Code, and any and all local codes.

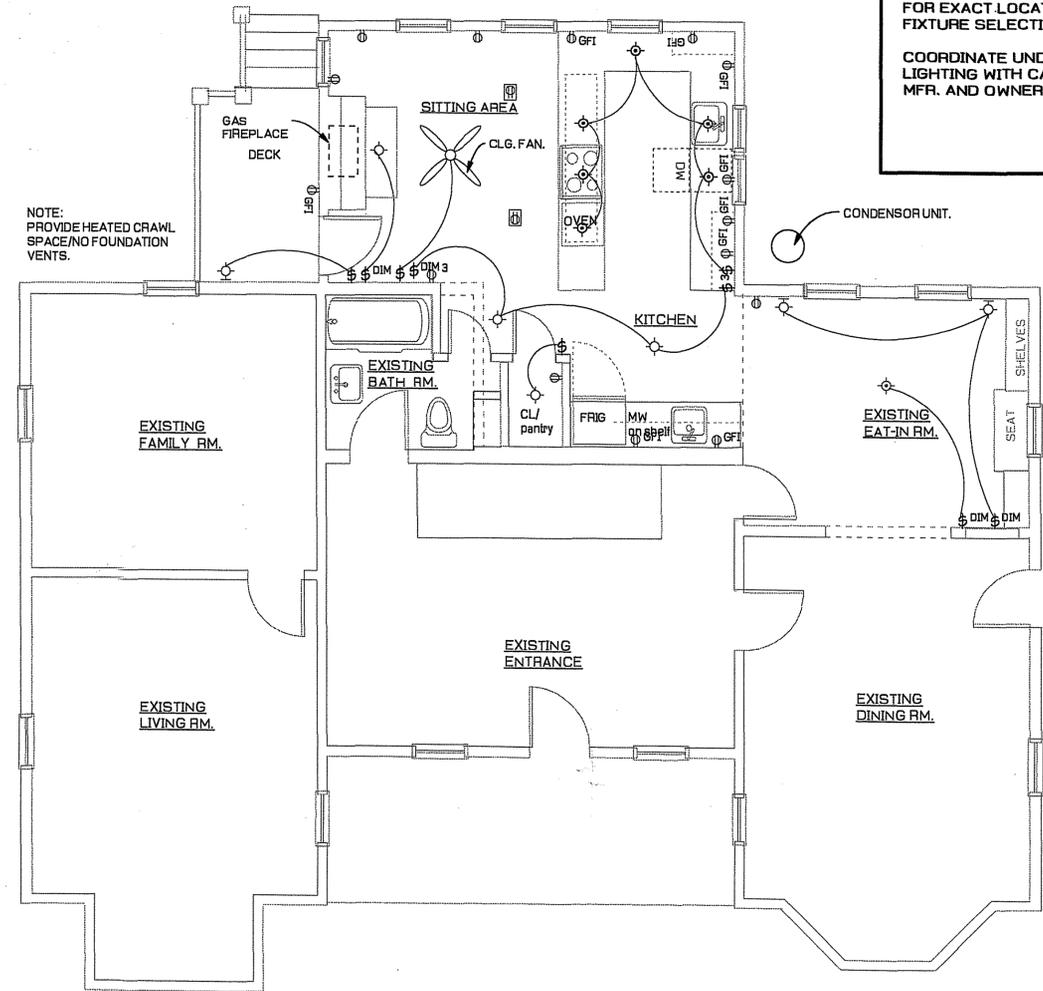
Contractor to provide complete system. Restore existing circuits and system which are altered by demolition or new work. All work to conform with governing codes. Verify that existing service is adequate for new work. (If upgrade is required include cost and recommendation in bid.) All wiring to be hidden unless otherwise noted. No conduit or raceways of any kind to be exposed. Recessed light trim rings to be installed flush continuously around mounting surface. Verify that recessed lights will fit within joist spaces prior to purchase of fixtures. All cover plates to be installed level and flush around mounting surfaces. Exact location of light fixtures and ceiling fans to be determined on the job by the Architect. Contractor to verify final locations of all outlets and switches with the owner.

Provide 15 AMP circuit breakers for lighting and convenience circuits.

Coordinate telephone requirements with owner.

Products

- A. Provide straps, and supports, frame-in kits and other materials required for proper installation of fixtures.
 B. Provide convenience outlets and switches and provide cover plates similar to existing in house. Outlets to match switch cover plates.
 C. Contractor to review existing electrical and service and panel. Coordinate work with electrical utility for additions to service as shown or required.



FIRST FLOOR PLAN/ ADDITION PLAN

DIVISION 15.0 MECHANICAL AND PLUMBING

MECHANICAL

SYSTEM: Extend existing forced-air heating and air conditioning system for new addition.

Installation

1. All the work shall be performed in accordance with all applicable local codes and regulations. Coordinate work with other trades. Install and check all safety devices prior to operation of systems. Exact location of all mechanical units and thermostats to be determined on the job by the Architect. Perform balancing and tests on all equipment and systems to the satisfaction of the Architect.
 2. Provide piping as necessary to furnish complete and working system. Rout new piping through joist space. Do not cut existing joists without approval of Structural Engineer.

PLUMBING

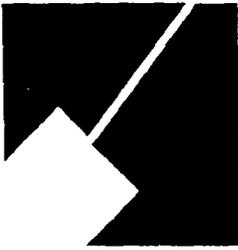
Materials

- A. Fixtures and fittings.

Installation

- A. Locate existing supply and sanitary piping and tie new work into existing. Provide hot and cold water piping, waste and vent piping in conformance with all applicable codes and regulations. Supply piping: copper type L. Soil waste and vent piping: plastic. Provide all connections and transitions between new and existing as required by code.
 B. Support piping rigidly to maintain pitch and to allow for expansion and to prevent vibration.
 C. Service: All connections to municipal water and sewer service shall be provided and coordinated as required. Provide necessary plumbing connections for all fixtures. Coordinate all necessary permits and include all permit fees in this bid.
 F. Conceal all piping in finished areas in floors, walls and ceilings. Insulate pipes in uninsulated spaces.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: April 26, 2000

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: *pdz* Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved *as submitted*

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: TAFI-MORALES

Address: 10 PINE AVENUE, TAKOMA PARK HISTORIC DISTRICT

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Juan Duncan / SPA

Daytime Phone No.: 301-270-0990

Tax Account No.: 01066814

202-362-8852

Name of Property Owner: Taft-Morales

Daytime Phone No.: 301-270-0064

Address: 10 Pine Ave. Takoma Park MD 20912
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10 Street: Pine Ave.

Town/City: Takoma Park Nearest Cross Street: Montgomery Ave.

Lot: 1e2 Block: 18 Subdivision: BF Gilbert's Addition to Takoma Park

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|------------------------------------|--|---|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # Revision to Approved HAWP
37/3-9400

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Taft Morales
Signature of Owner or authorized agent

4/4/00
Date

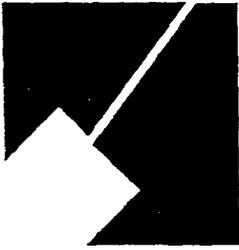
Approved: X

For Chairman, Historic Preservation Commission

Disapproved: _____ Signature: [Signature] Date: 4/20/00

Application/Permit No.: 215627 Date Filed: 4/10/2000 Date Issued: _____

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: April 26, 2000

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: *PDW* Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

c:\hawpapr.wpd

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 10 Pine Avenue Meeting Date: 4/26/00
 Applicant: Taft-Morales (Joan Duncan, Agent) Report Date: 4/19/00
 Resource: Takoma Park Historic District Public Notice: 4/12/99
 Review: HAWP Tax Credit: No
 Case Number: 37/3-00L Staff: Robin D. Ziek

PROPOSAL: Construct one-story rear addition and deck

RECOMMEND: Approve w/Conditions:

Approved as submitted
Revise based on new information from applicant:
2nd Down low window + vertical element is found on all the windows - probably for shutter - days.

1. ~~The existing side porch door will be retained in its present location.~~
2. ~~The new north side door will be a wood paneled door, to be approved by staff.~~

PROJECT DESCRIPTION

RESOURCE: Outstanding Resource in Takoma Park Historic District
 STYLE: Gothic Revival
 DATE: 1880

The HPC has previously (1994) approved the construction of a rear two-story addition in the same location as this new application. Due to the degree of alterations from that design, the applicant is coming in for a new HAWP rather than a revision to the previous HAWP.

This frame Victorian house has essentially an "H" form, with major rooms to either side of the entry and stair hall (see Circle 10), and twin front-facing gables to the street. The front porch and a small 1-story rear addition fill in the open areas between the major rooms at the first floor level only.

PROPOSAL

The applicant proposes to enlarge the kitchen and add an adjoining family room at the rear of the house. The existing major rooms in the house will remain essentially unchanged. The new addition will measure 12.8' x 20', with a small deck for rear access on the north side of the addition, measuring 9' x 5.8'. The addition will have a low hipped roof, covered with metal. The rear deck will include a wood railing with inset pickets, and wood lattice below the deck. There are currently two doors leading on the side porch on the south elevation (See Circle 10, 13). The central doorway will be retained while the doorway to the right would be replaced with a window, to match the existing window on the side porch (see Circle 11, 14). All materials would match existing, including 2/2 thermally glazed windows. The removed porch door would be reused at the new deck/family room entrance.

STAFF DISCUSSION

The project is suitably sited for the site, and the one-story massing will not affect the essential form of the house. While the small stained glass windows may not match the narrow proportions of the original windows, they are at the rear and will be hardly visible from the public right-of-way. The side deck is modest.

Staff notes that the two doors at the side porch appear to be original features. Both doors have been modified to accommodate storm doors at some time in the past. In addition, the doorway which is proposed to be removed has two additional pieces of shaped trim towards the base of the door, and the siding is neatly cut around this trim. This is the only doorway with this detail, and this would be lost with the removal of the doorway, especially as the siding would have to be pieced in below the new window, resulting in a small square of siding or require the removal of some of the original siding to effectively piece in the small section of new siding.

Programmatically, the applicant could effectively close off this opening with interior alterations and exterior furnishing in front of the opening even if the doorway is retained. The existing door is a wood paneled door that matches the other porch door, and there is a half-light to provide interior light. The Takoma Park *Guidelines* note that, for Outstanding Resources, "preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged." While this is a secondary elevation, this corner house has two street-facing elevations. The side porch facing Montgomery Avenue is a prominent element on the house, and the two existing doors indicate different interior spaces and an earlier need for access.

STAFF RECOMMENDATION

Staff recommends, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

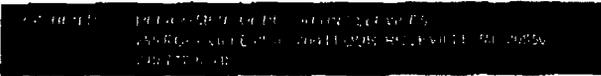
and with *Secretary of the Interior's Standards for Rehabilitation #2*:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

CONDITIONS:

1. The existing side porch door will be retained in its present location.
2. The new north side door will be a wood paneled door, to be approved by staff.

and subject to the general condition that, **the applicant shall contact staff for an appointment to stamp three permit sets (one for HPC files; call 301-563-3400 for appointment) prior to applying to DPS for the building permit**; and, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6240 prior to commencement of work and not more than two weeks following completion of work.



OPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: JOAN DUNCAN / SPA
Daytime Phone No.: 301.270.0990

Tax Account No.: _____
Name of Property Owner: TAPT-MORALES Daytime Phone No.: 301.270.0069
Address: 10 PINE AVE. TAKOMA PARK MD. 20912
Street Number City Street Zip Code
Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10 Street: PINE AVE.
Town/City: TAKOMA PARK Nearest Cross Street: MONTGOMERY AVE
Lot: 1 & 2 Block: 18 Subdivision: BF GILBERT'S ADDITION TO TAKOMA PARK
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Revovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # Revision to approved HAWP - Case 37/3-9400

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/assessment

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] _____ Date: 4/4/00
Signature of owner or authorized agent

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

SEE ATTACHMENT

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 6 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)278-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

Eric Bond
8 Pine Ave.
Takoma Park, MD. 20912

Bernard Shaw
17 Pine Ave.
Takoma Park MD 20912

Joseph Uehlein
11 Pine Ave.
Takoma Park, MD.
20912

Eliot Andelman
Martha Bergmark
6 Montgomery Ave.
Takoma Park, MD. 20912

Christopher Kendall
~~Christopher Kendall~~
1 Montgomery Ave.
Takoma Park MD.
20912

Studio Partners Architects
25 Pine Avenue
20912

Date: April 3, 2000
Ref.: Historic Area Work Permit Attachment
Address: 10 Pine Ave., Takoma Park, Md. 20912.
Applicant: Maureen and Hugh Taft-Morales
Proposal: Rear one-story addition with deck. New window at existing door location at existing south porch.

The house at 10 Pine Avenue is classified as an outstanding resource in the Takoma Park Historic District. The house is located on a corner lot (at Pine and Montgomery Avenues) with the Pine Avenue elevation being the prominent "front" elevation. It is a two story wood frame Victorian c1880s, symmetrical in plan and elevation. The window sashes are non-original, but are similar to appearance of the original windows (from photo evidence). The windows are double insulated, double-hung, two over two with true divided lights. The siding is 3" exposure clapboard. The roofs of the house and one of the porches is asphalt roofing. The front porch and one of the bay window projections have metal roofing. There is extensive detailing common to Victorians of the period - bargeboards, spindles, ornamental rafter tails, decorative window trim, and shutters.

The proposal calls for a one-story addition, centered at the rear of the house. The addition does not affect the view at all from the Front - Pine Avenue facade. The addition is visible from Montgomery Avenue, but is set in over 15 feet from the outside corner of the existing porch facing Montgomery Ave. Viewed straight on from Montgomery Avenue, the addition projects 12.75 feet from the main house (See attached South Elevation.)

The one-story addition is a rectangular in plan and has a metal hipped shaped roof. The windows at the north and south elevations are similar in detailing and dimensions to the existing windows. The windows at the east elevation (close to the neighboring house on Montgomery Ave.) are high fixed windows with stained glass panels. The door at the north elevation will be a re-used door from the south porch.

The deck will be wood with a wood lattice at the base. There will be turned wood rails with a wood cap similar to the existing wood railing at the front porch.

At the existing south elevation, the eastern most porch door to be replaced by a window to match the other double hung window at the porch. The room at this location is a small eat-in kitchen (13'6" x 10'8") which presently has four doors/passageways into the room. These entrance ways which cannot be modified in the interior plan, have made it difficult to furnish and maximize the use of this room.

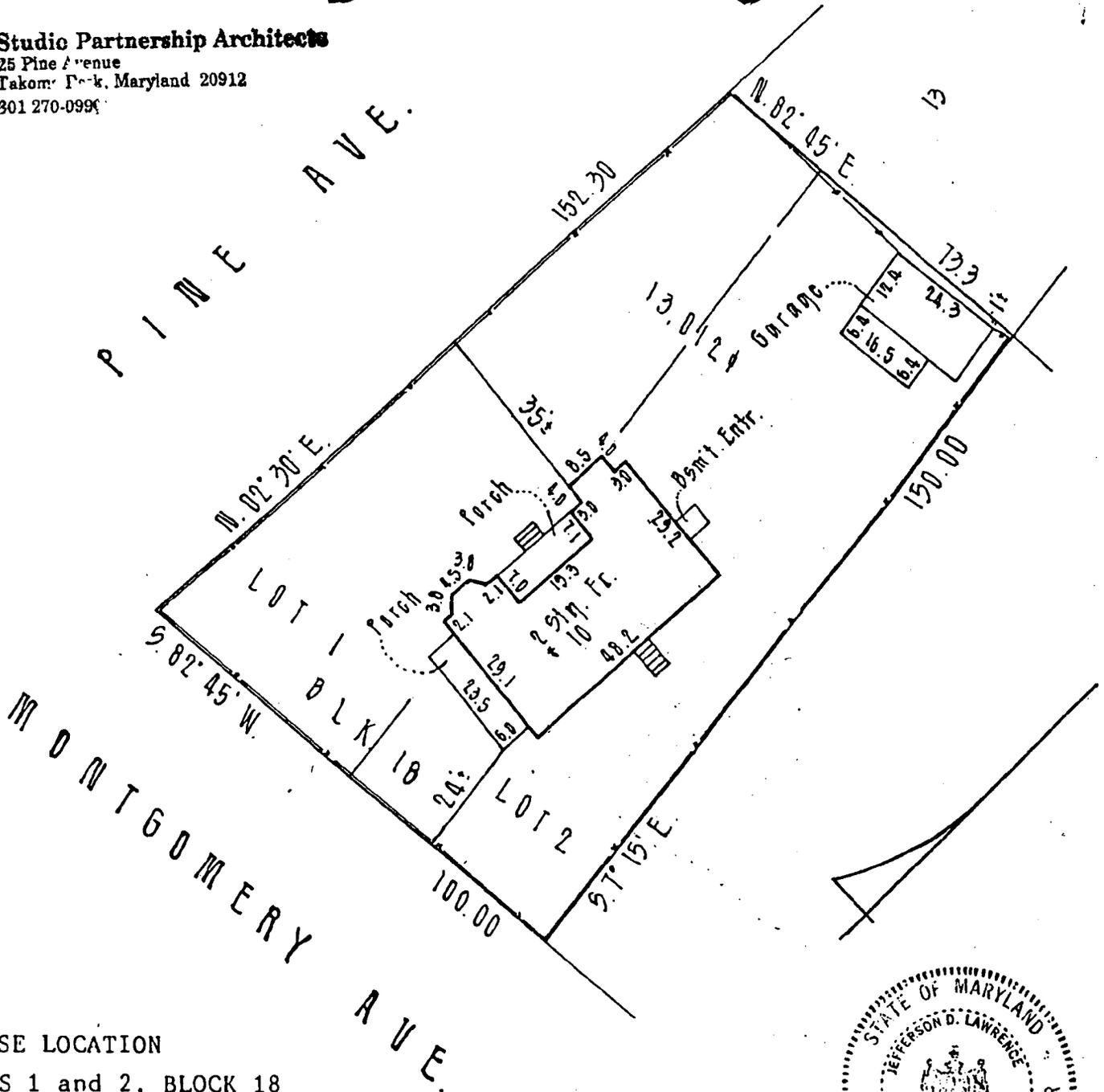
The addition compliments the house by continuing the symmetrical theme. Materials - siding, window design, and roofing of the original structure are repeated in the addition. The addition is differentiated from the original structure by use of much simpler detailing, lack of shutters and window ornamentation, and a parged CMU foundation instead of the original brick foundation.

Addition Specifications:

- Siding - Wood clapboard and corner boards to match the existing house.
- Windows - True-divided light wood windows with muntins sizes to match existing non original windows. Most new windows would be 2 over 2 similar in size to existing windows. Small wood windows with stain glass at east elevation.
- Roofing - Metal roofing to match existing roofing at porch.
- Foundation Addition would be built on crawl space with CMU, parged and painted. Wood privacy lattice at porch location.
- Details - Generally, the approach is for the new features to be similar to, inspired by, but simplified versions of the existing features.

Windows trim to be wood with dimensions to approximately match existing trim, but without decorative trim at head of window. Also there would not be shutters.

Studio Partnership Architects
 25 Pine Avenue
 Takoma Park, Maryland 20912
 301 270-0996



HOUSE LOCATION
 LOTS 1 and 2, BLOCK 18
 B.F. GILBERT'S ADDITION TO
 TAKOMA PARK
 MONTGOMERY COUNTY, MD

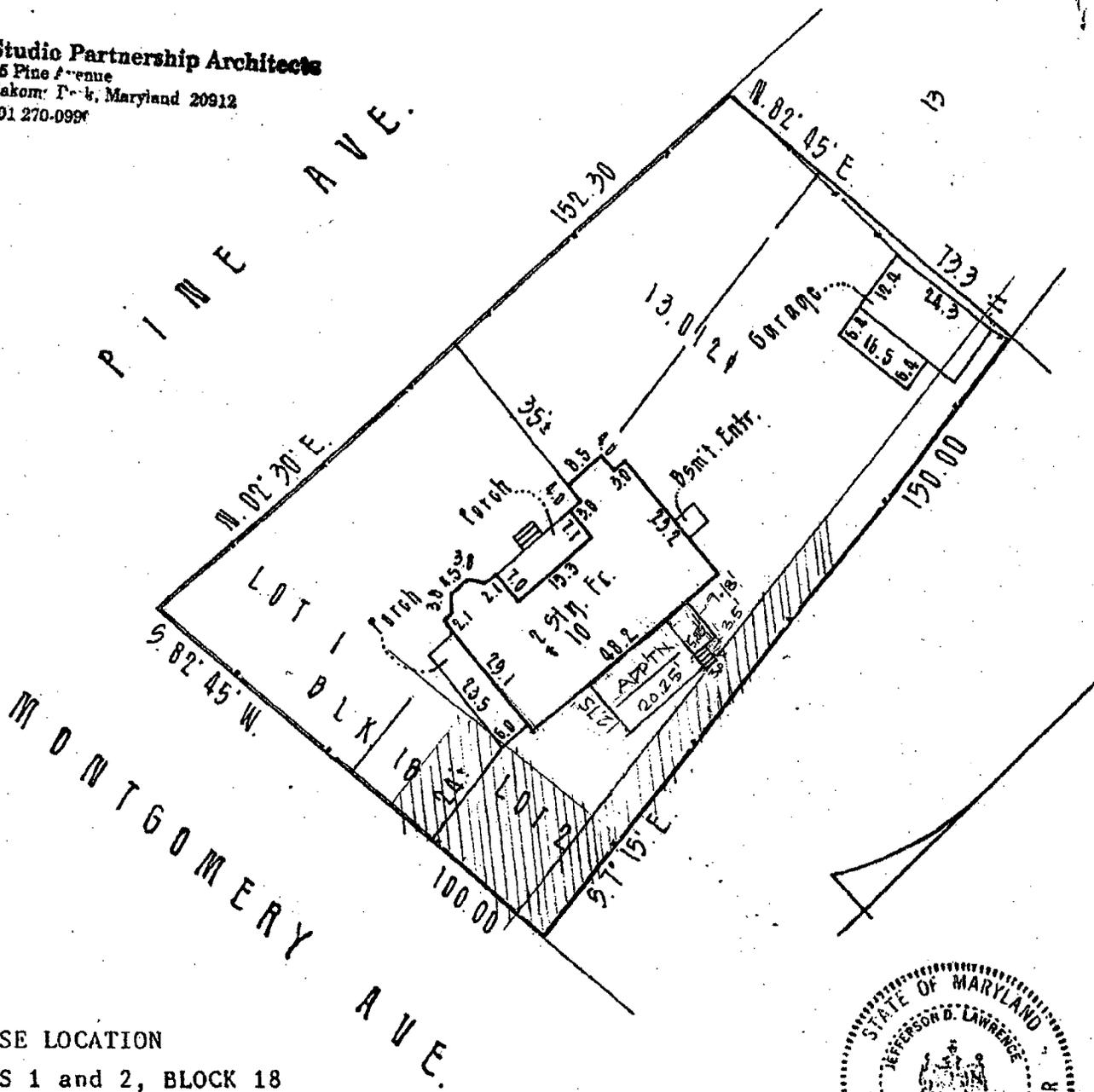


SURVEYOR'S CERTIFICATE I HEREBY CERTIFY THAT THE POSITION OF THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY ACCEPTED FIELD PRACTICES TO THE BEST OF MY KNOWLEDGE AND BELIEF. <i>Jefferson D. Lawrence</i> JEFFERSON D. LAWRENCE REGISTERED LAND SURVEYOR MARYLAND # 5216	REFERENCES PLAT BK. A PLAT NO. 2	ANDJON ASSOCIATES 7 Brookes Avenue Gaithersburg, Maryland 20877 (301) 840-8010	
	LIBER FOLIO		

Property shown hereon is not in a flood plain per existing records unless otherwise indicated.

8

Studio Partnership Architects
 25 Pine Avenue
 Takoma Park, Maryland 20912
 301 270-0990



HOUSE LOCATION
 LOTS 1 and 2, BLOCK 18
 B. F. GILBERT'S ADDITION TO
 TAKOMA PARK
 MONTGOMERY COUNTY, MD



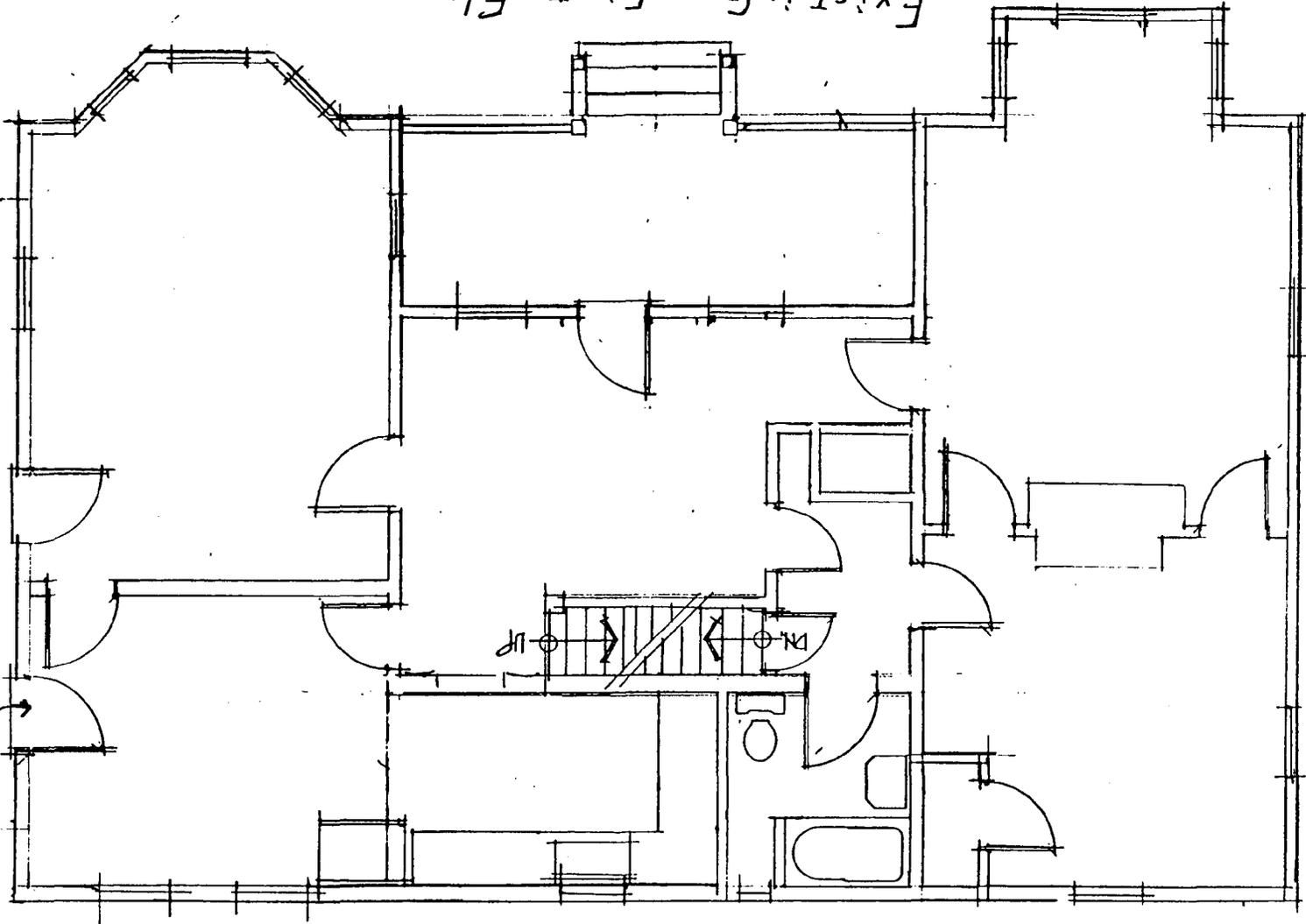
<p>SURVEYOR'S CERTIFICATE</p> <p>I HEREBY CERTIFY THAT THE POSITION OF THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY ACCEPTED FIELD PRACTICES TO THE BEST OF MY KNOWLEDGE AND BELIEF.</p> <p><i>Jefferson D. Lawrence</i></p> <p>JEFFERSON D. LAWRENCE REGISTERED LAND SURVEYOR MARYLAND # 5216</p>	<p>REFERENCES</p> <p>PLAT BK. 1</p> <p>PLAT NO. 2</p>	<p>ANDJON ASSOCIATES</p> <p>7 Brookes Avenue Gaithersburg, Maryland 20877 (301) 840-9016</p>		
	<p>LIBER</p>	<p>DATE OF SURVEYS</p>	<p>SCALE: 1" = 30'</p>	
	<p>FOLIO</p>	<p>WALL CHECK:</p> <p>HSE. LOC.: 2-22-89</p>	<p>DRAWN BY:</p>	
		<p>BOUNDARY:</p>	<p>JOB NO.: 12589</p>	

Property shown hereon is not in a flood plain per existing records unless otherwise indicated.

9

10

EXISTING First Floor



14

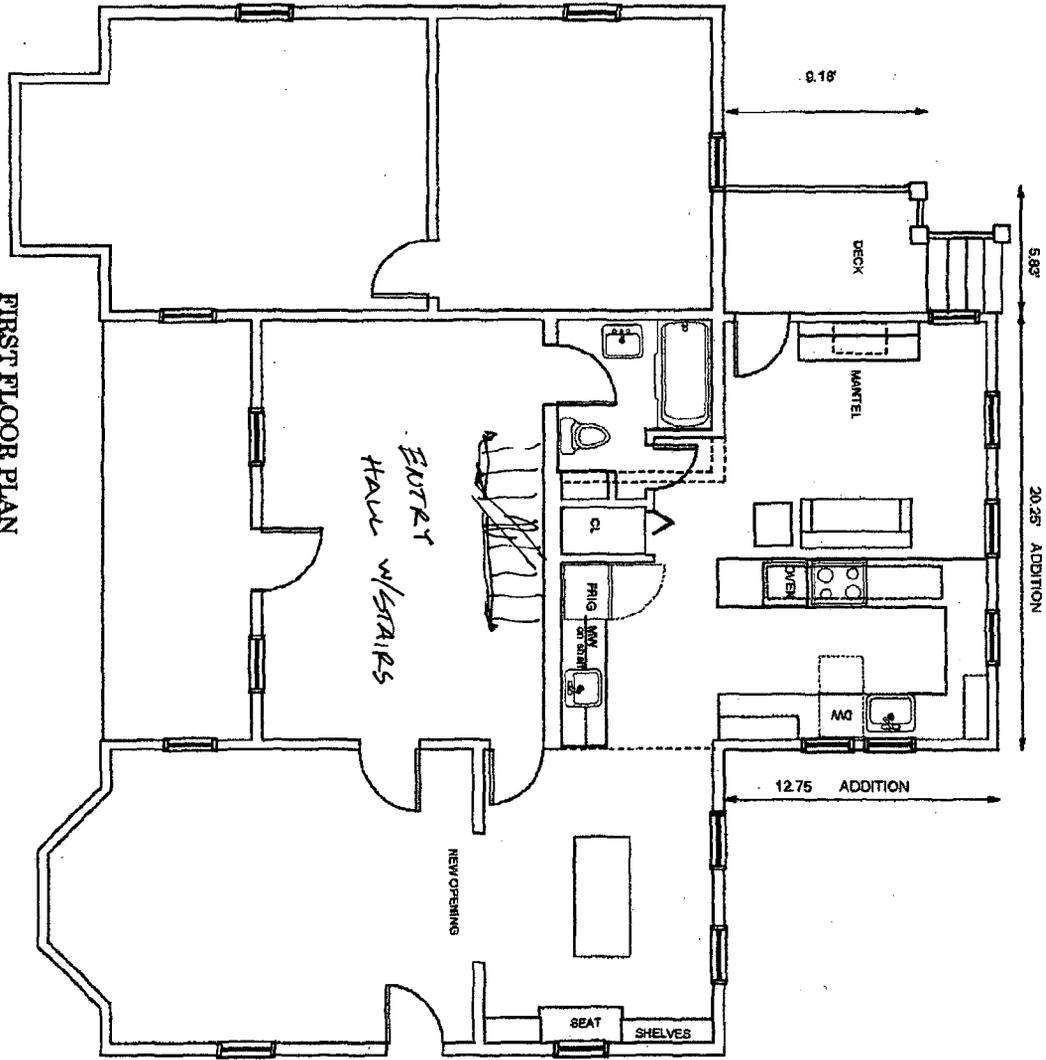
DOOR
PROPOSED
FOR
REPAIR

11

TAPT-MOBRALES

1/8" = 1'-0"

FIRST FLOOR PLAN

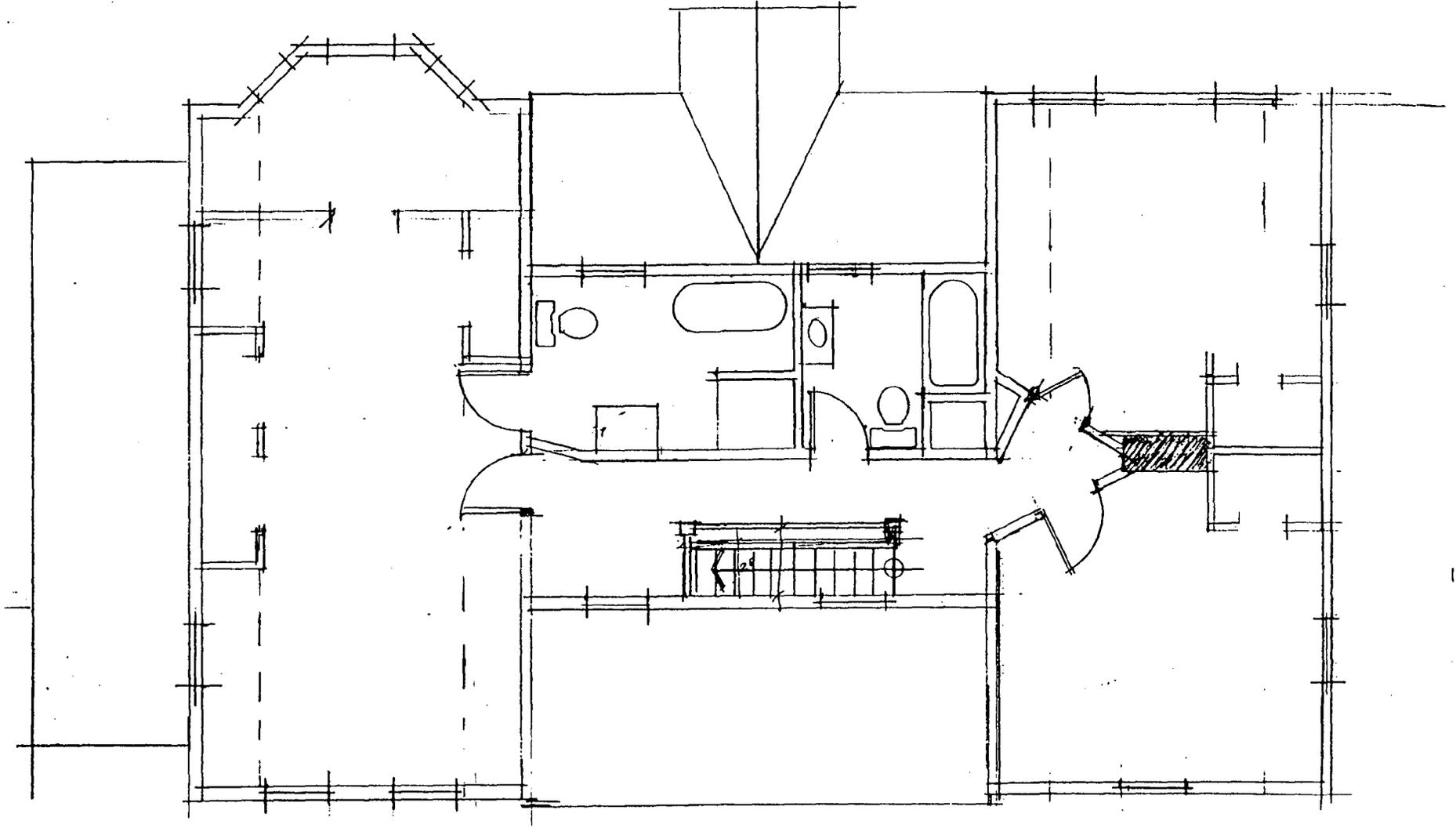


STUDIO PARTNERSHIP ARCHITECTS
 25 PINE AVENUE
 TAKOMA PARK, MARYLAND 20912
 301.270.0990 301.270.0092 Fax

21

Existing
Second Floor

15

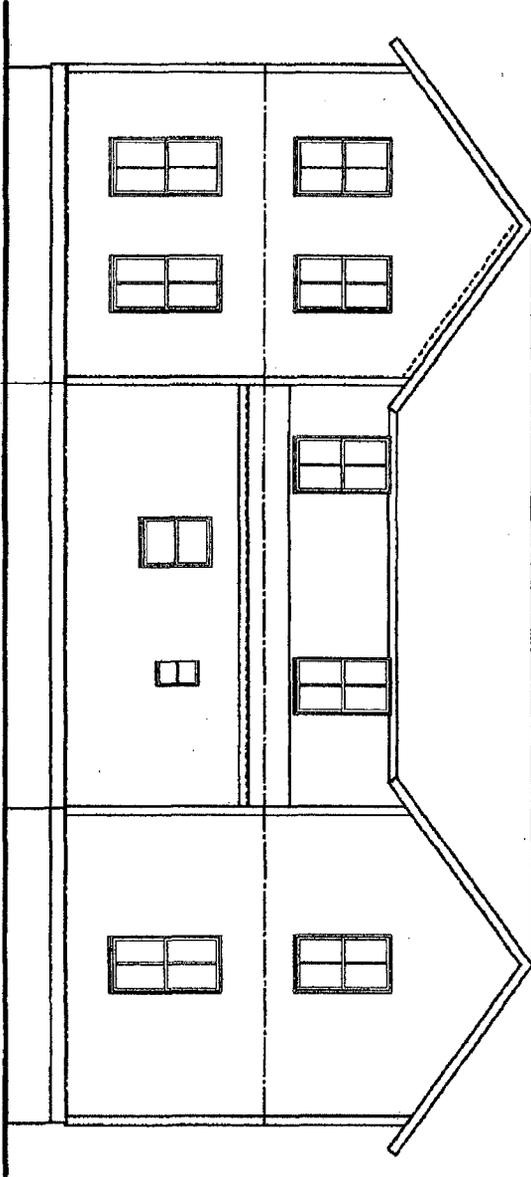


10'

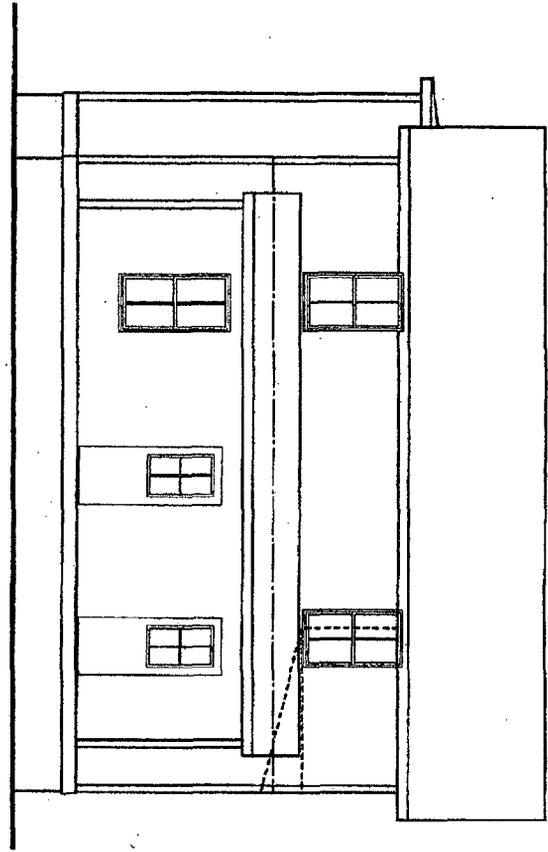
13

TAFT WOPRAUES

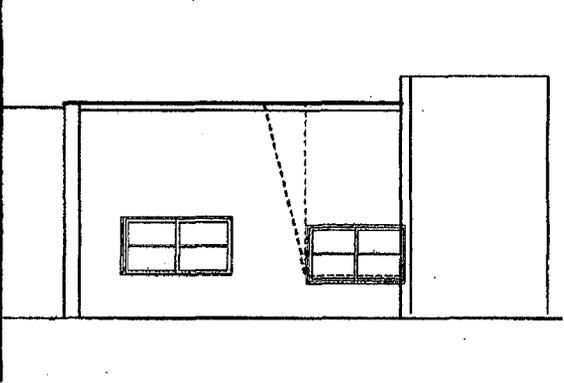
EXISTING EAST ELEVATION
1/8" = 1'-0"



EXISTING SOUTH ELEVATION

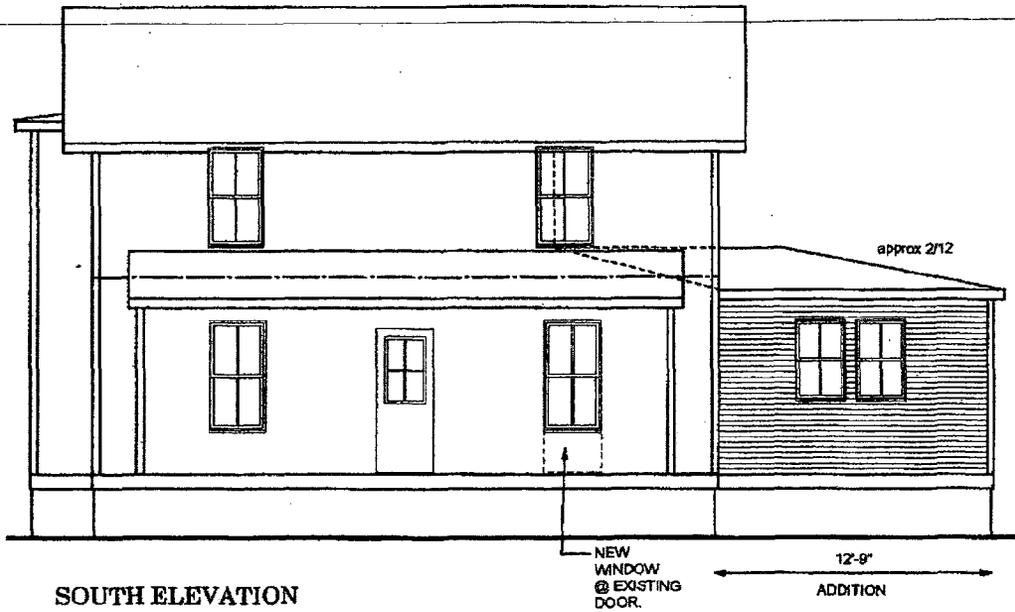


EXISTING NORTH ELEV. (PART)



STUDIO PARTNERSHIP ARCHITECTS
 25 PINE AVENUE
 TAKOMA PARK, MARYLAND 20912
 301.270.0990 301.270.0092 Fax

Post-it® Fax Note	7671	Date	4-14-00	# of pages	4
To	ROBIN	From	SPA		
Co./Dept.		Co.			
Phone #		Phone #	301.270.0990		
Fax #	301.563-3412	Fax #	301.270.0092		

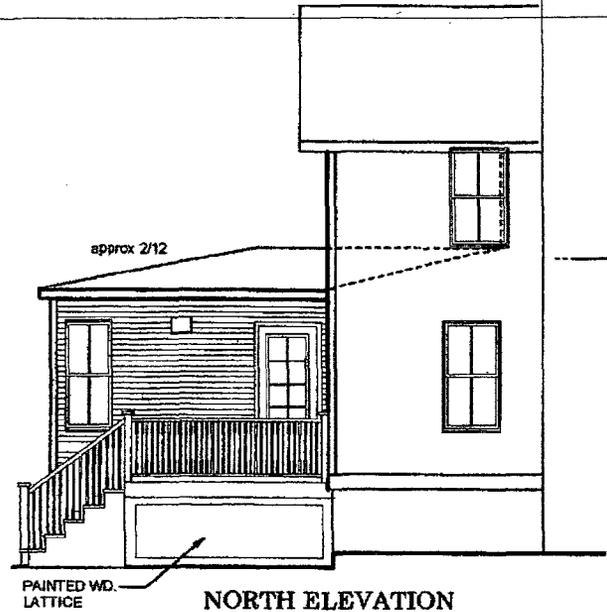


SOUTH ELEVATION

9/12

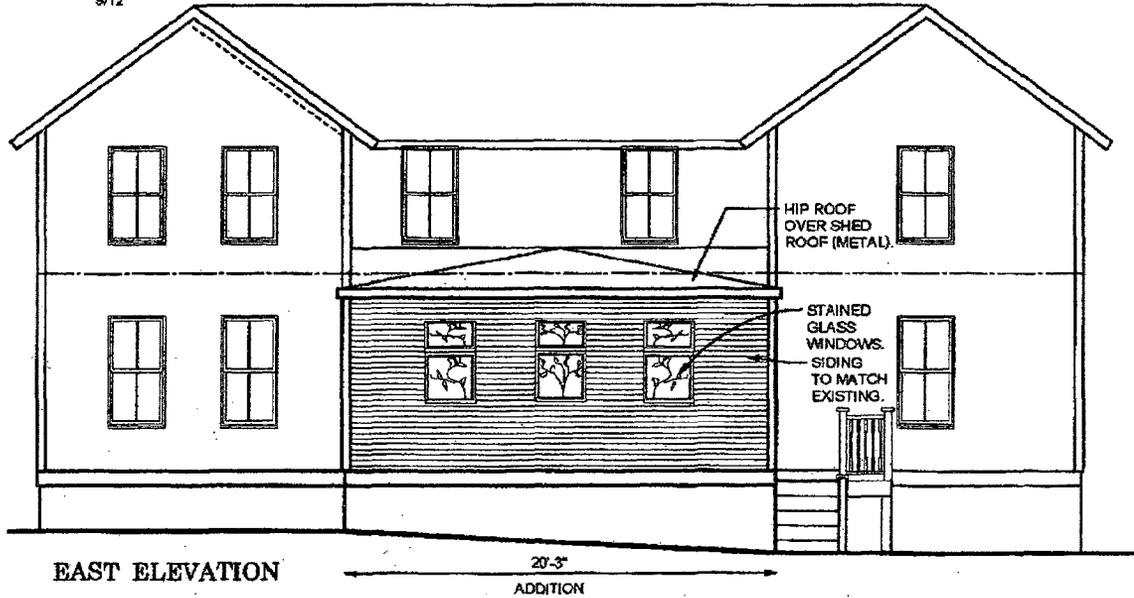
NEW WINDOW @ EXISTING DOOR.

12'-8" ADDITION



NORTH ELEVATION

PAINTED WD. LATTICE



EAST ELEVATION

20'-3" ADDITION

HIP ROOF OVER SHED ROOF (METAL).

STAINED GLASS WINDOWS. SIDING TO MATCH EXISTING.

1/8" = 1'-0"

14



FRONT (PINE AVE).



NORTH

Studio Partnership Architects
25 Pine Avenue
Takoma Park, Maryland 20912
301 270-0996

(15)



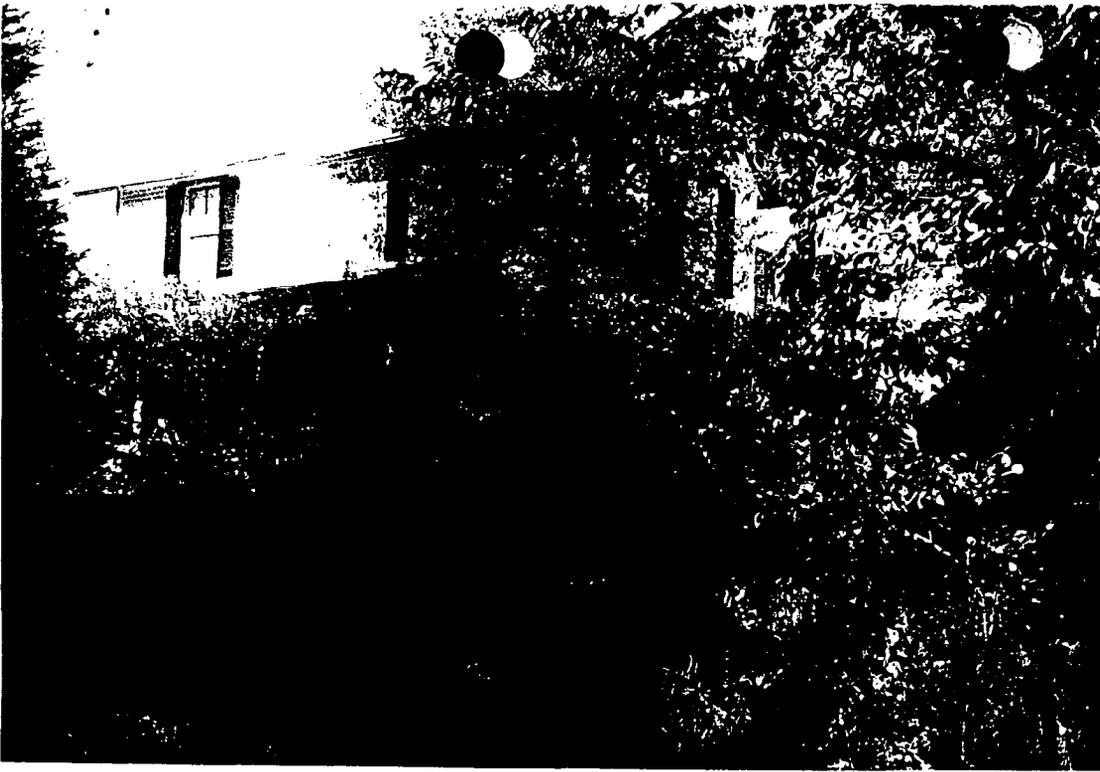
SOUTH (MONTGOMERY AVE)



REAR

Studio Partnership Architects
15 N. 3rd Avenue
Baltimore, MD 21201 Maryland 20912
Tel: 410-699-9999

16



VIEW FROM MONTGOMERY AVE.

Stodie Partnership Architects
25 Pine Avenue
Takoma Park, Maryland 20912
301 270-0996

17

SOLUTIONS

ARCHITECT'S EYE

REVIVING THE CARRIAGE HOUSE

By Elizabeth Gelfeld

The carriage house, a valued part of many historic properties, is an old idea whose time has come again, according to architect Joan Duncan. "I think going back to the carriage-house idea has a lot of appeal," she says.

Whether it's historic preservation or new construction, the design concept of the little house adjacent to the big house is making a comeback. Many older houses don't have garages, says Duncan, "and people want that kind of space. People now have home offices. And they also seem to like to put their guests somewhere else, with a little privacy."

Duncan works with her husband, architect Charles "Chas" Poor, in their firm, Studio Partnership, in Takoma Park. When the pair rebuilt a historic carriage house, the new structure became a functional extension of the main house, while retaining the flavor and some of the materials of the original. "An old ladder that led to a storage space was reused as a stair-rail in the new version," says Poor.

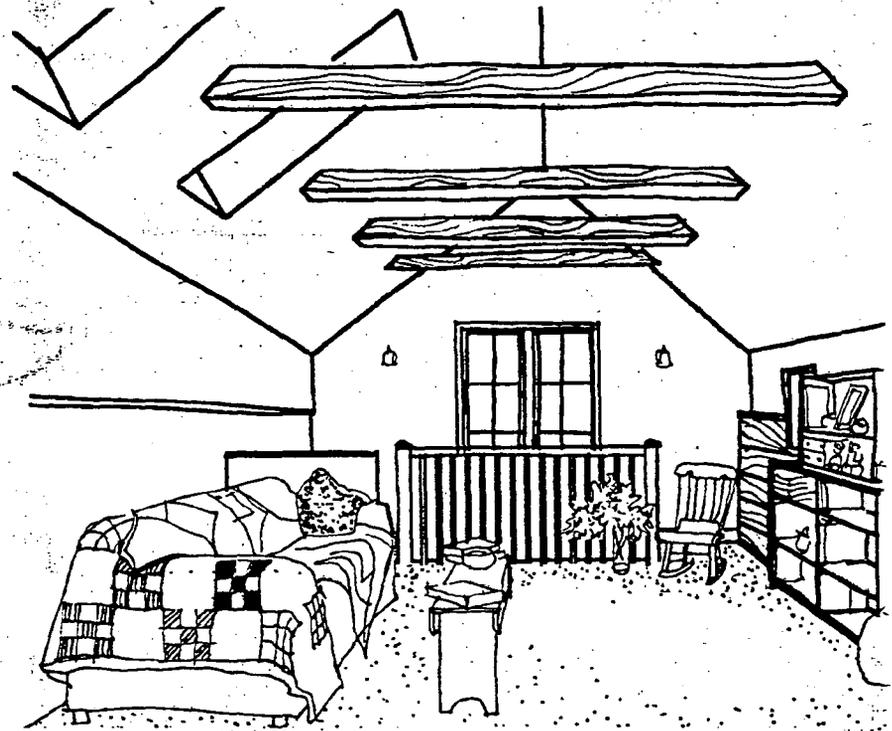
The new building, slightly larger and taller than the old, has a garage and storage space on the ground floor. Upstairs, a large skylit open space with an adjacent full bathroom can adapt to several uses, such as home office, guest suite or studio space.

"People are looking for space that's more versatile," says Poor. "And in a secondary building, there's more of a sense of fun, a little less seriousness."

Architect's Eye, an exploration of housing design, welcomes your queries. Write to Home, The Washington Post, 1150 15th St. NW, Washington D.C. 20071, or fax to 202-334-5059.



ILLUSTRATION BY JOAN DUNCAN AND CHARLES POOR / STUDIO PARTNE



JUST ASK

Q How should I rebuild the bottom edge of the exterior wall under new siding with a foamboard backer? It has started to rot because the wall sits on a concrete slab that is almost level with the ground outside.

A Short of raising the house or lowering the yard, there are several steps you can take to prevent the problems built into this rot-prone detail.

One is to stop the new siding farther away from the ground, for instance, above a ledger—2x4 pres-

sure-treated 2-by-6 that covers the joint between the slab and the wall frame.

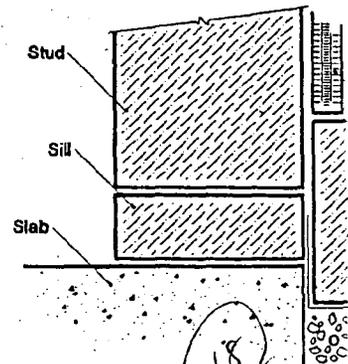
The seam at the slab should be thoroughly caulked, and flashing should be set before the pressure-treated board is installed.

Ideally, the existing plywood sheathing plus the new layer of foamboard (and tar paper and flashing under the siding) should fill out the space above the base 2-by-6. That way, the new siding can extend over the face of the pressure-treated board and create a finished, water-shedding detail.

It also will help to give groundwater near the building somewhere else to go—a path of less resistance you can create by excavating around the slab and filling the trench with gravel.

Dig deep enough, and you can add a perforated drain pipe near the bottom of the trench to carry water to a release point where it can't run back against the slab.

If water still collects at the building, build a bigger version of this drainage trench out in the yard to interrupt the flow of ground and surface water.



18