

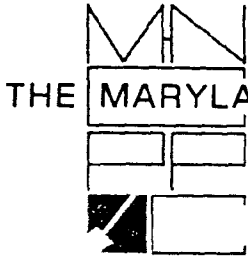
37/3-00UU 9 Pine Avenue
(Takoma Park Historic District)

m









THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 12/07/00

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

DPS# ?

HPC# 37/3-000U

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: BOB + THERESA GIBSON

Address: 9 PINE AVE. TAKOMA PARK H.D.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: RICHARD G. ELKINS

Daytime Phone No.: (301) 270-4799

Tax Account No.: _____

Name of Property Owner: BOB + THERESE GIBSON Daytime Phone No.: (703) 467-1469

Address: 9 PINE AVE TAKOMA PARK MD 20912
Street Number City State Zip Code

Contractor: HERITAGE BUILDING + RENOVATION Phone No.: (301) 270-4799

Contractor Registration No.: MHIC 32422

Agent for Owner: HERITAGE BLDG + RENOV Daytime Phone No.: (301) 270-4799

LOCATION OF BUILDING/PREMISE

House Number: 9 Street: PINE AVE

Town/City: TAKOMA PARK Nearest Cross Street: COLUMBIA AVE

Lot: 3+4 Block: 16 Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 35,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/OADITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

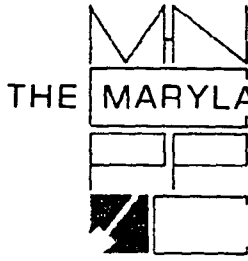
02 NOV 00
Date

Approved: X

For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: [Signature] Date: 12-07-00

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 12/07/00

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

DPS#? HPC# 37/3-00UU

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ permits.emontgomery.org of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

C:\hawpapr.wpd

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	9 Pine Avenue., Takoma Park	Meeting Date:	12/06/00
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	11/29/00
Review:	HAWP	Public Notice:	11/22/00
Case Number:	37/03-00UU	Tax Credit:	None
Applicant:	Bob and Therese Gibson (Richard Elkins, Agent)	Staff:	Michele Naru
PROPOSAL:	Rear porch demolition and construction of new room addition	RECOMMEND:	Approval

PROJECT DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource in Takoma Park Historic District
STYLE: Colonial Revival
DATE: 1943

The subject house is a non-contributing, 1-1/2 story, front gabled, colonial revival solid brick house with a half-width, front gabled front porch. The precast lintels and sills are painted to contrast with the brick walls and are the only ornamentation on the exterior. At the rear of the house is an approximately 12' wide by 8' deep covered porch with a shed roof, and a sundeck to the north. The house is offset to the left side of a relatively wide but shallow lot. (The lot is the residue of the rear portion of two original lots fronting on Columbia Avenue.)

The neighboring house to the north is a Contributing, two-story frame colonial revival. The house to the south is an Outstanding, colonial revival four-square. The parking lot of the Savory Café, which is bounded by a 6' high privacy fence, is located at the rear of the subject house.

PROPOSAL:

The proposal is to create a dining room generally at the location of the existing rear porch. The depth of the porch will be increased by 4', and a 6' wide bay will project 1'-6" from the rear corner to the south. The shed roof will extend in plane over the added area. (A variance to project beyond the rear building restriction line was granted on October 18, 2000 (Case #A-546I).)

STAFF DISCUSSION

The existing house is a non-contributing resource within the historic district, and alterations to a non-contributing resource are reviewed in terms of their impact on the

environmental setting and streetscape of the historic district. These types of resources should receive the most lenient level of design review.

The Takoma Park guidelines state, "most additions and alterations to non-contributing resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the resource, which would affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole."

Staff is of the opinion that the proposed alterations are compatible to the scale and massing of the resource and feels that the alterations will not negatively impact the surrounding streetscape or the character of the historic district. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



TURN TO: DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
 240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
 301/563-3400

APPLICATION FOR
 HISTORIC AREA WORK PERMIT

Contact Person: RICHARD G. ELKINS

Daytime Phone No.: (301) 278-4799

Tax Account No.: _____

Name of Property Owner: BOB + THERESE GIBSON Daytime Phone No.: (703) 467-1469

Address: 9 PINE AVE TAKOMA PARK MD 20912
Street Number City State Zip Code

Contractor: HERITAGE BUILDING & RENOVATION Phone No.: (301) 278-4799

Contractor Registration No.: MHIC 32422

Agent for Owner: HERITAGE BLDG + RENOV Daytime Phone No.: (301) 278-4799

LOCATION OF BUILDING/PREMISE

House Number: 9 Street: PINE AVE

Town/City: TAKOMA PARK Nearest Cross Street: COLUMBIA AVE

Lot: 3+4 Block: 16 Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|--|--|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 35,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 02 NOV 00
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**ADDENDUM TO
APPLICATION FOR
HISTORIC AREA WORK PERMIT**

October 25, 2000

Owners: Bob and Therese Gibson

Project Address: 9 Pine Avenue, Takoma Park, MD 20912

1. Description of Project

a. Description of existing structure and setting

The subject house is a non contributing, story-and-a-half, front gabled, colonial revival solid brick house with a half-width, front gabled front porch. The precast lintels and sills, painted to contrast with the brick walls, are the only ornamentation on the exterior. At the rear of the house is an approximately 12'w X 8'd covered porch with a shed roof, and a sundeck to the north. The house is offset to the left side of a relatively wide but shallow lot. (The lot is the residue of the rear portion of two original lots fronting on Columbia Avenue.) The neighboring house to the north is a Category 2, two-story frame colonial revival. To the south is a Category 1, colonial revival four-square. To the rear of the subject house is the parking lot of the Savory Café, which is bounded by a 6' high privacy fence.

Tax assessment records date the house to 1943.

b. General description of project and impact

The proposal is to create a dining room generally at the location of the existing rear porch. The depth of the porch will be increased by 4', and a 6' wide bay will project 1'-6" from the rear corner to the south. The shed roof will extend in plane over the added area.

A variance to project beyond the rear building restriction line was granted on October 18, 2000 (Case #A-5461).

The proposal will have a minimal impact on the historic district for the following reasons:

- i. Exterior detailing will be in character with the existing house, and the massing will be in scale with the volume and form of the house.
- ii. The room will be well within the width of the main block of the house, approximately 6' from the north side of the house, and nearly 11' from the south side.
- iii. Because of the shed roof, the massing of the room diminishes as it extends to the rear.
- iv. The view to the west is the parking lot of a café.

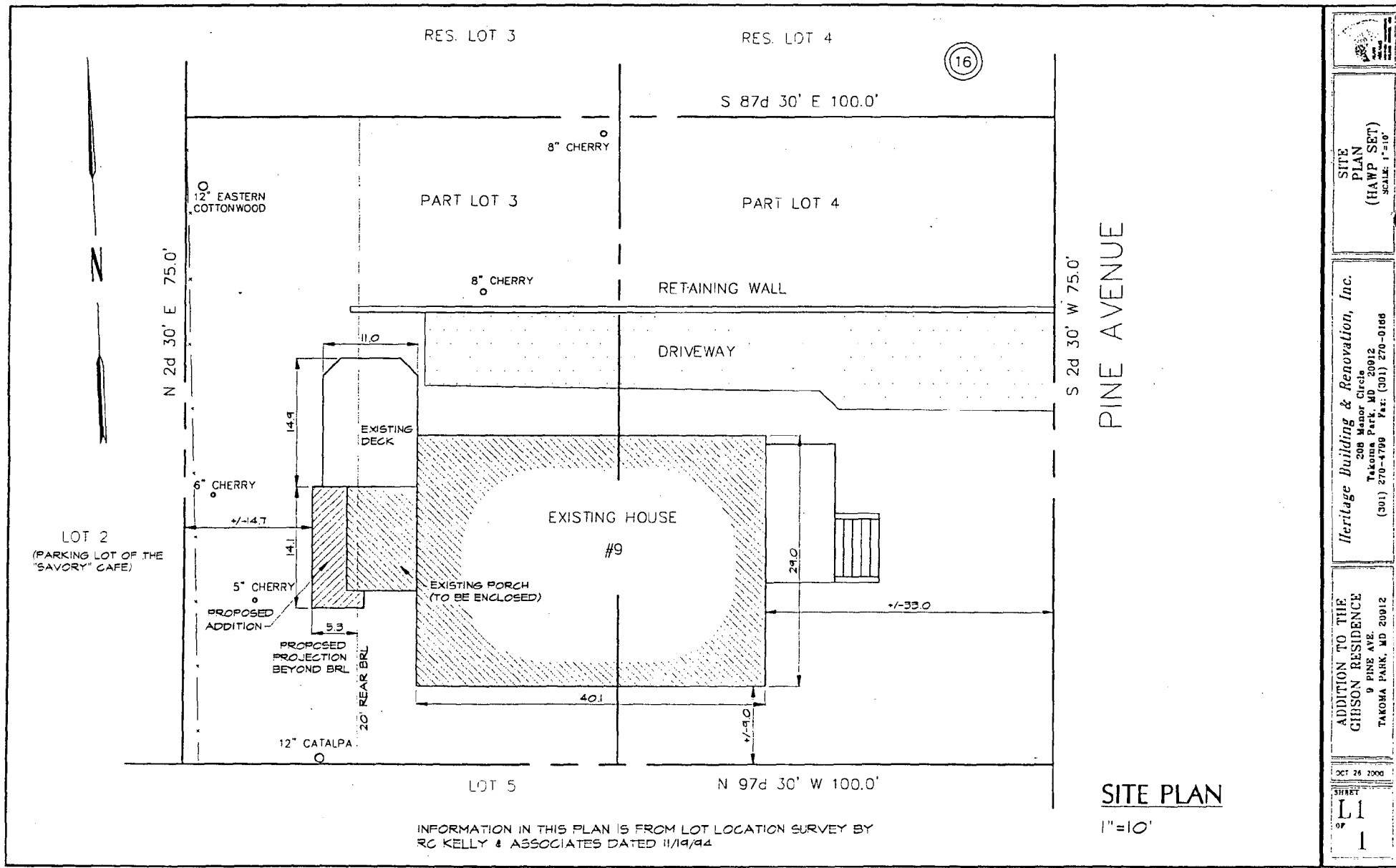
Adjacent and Confronting Owners

Joseph B. Uehlein
11 Pine Avenue
Takoma Park, MD 20912

Anne Sergeant
5 Pine Avenue
Takoma Park, MD 20912

Nancy E. O'Donnell
8 Pine Avenue
Takoma park, MD 20912


Savory Cafe
7071 Carroll Avenue
Property Owner:
Andrew C. Sickler
5320 Ijamsville Road
Ijamsville, MD 21754



INFORMATION IN THIS PLAN IS FROM LOT LOCATION SURVEY BY
 RC KELLY & ASSOCIATES DATED 11/19/94

SITE PLAN

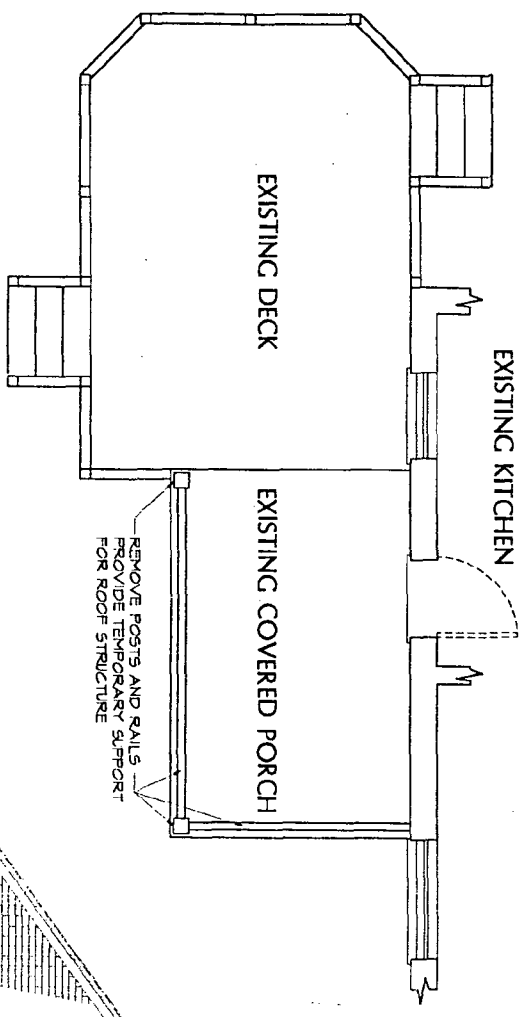
1"=10'

 SITE PLAN (HWP SET) SCALE: 1"=10'
<i>Heritage Building & Renovation, Inc.</i> 208 Manor Circle Takoma Park, MD 20912 (301) 270-4799 Fax: (301) 270-0168
ADDITION TO THE GIBSON RESIDENCE 9 PINE AVE. TAKOMA PARK, MD 20912
OCT 26 2000
SHEET 1 1

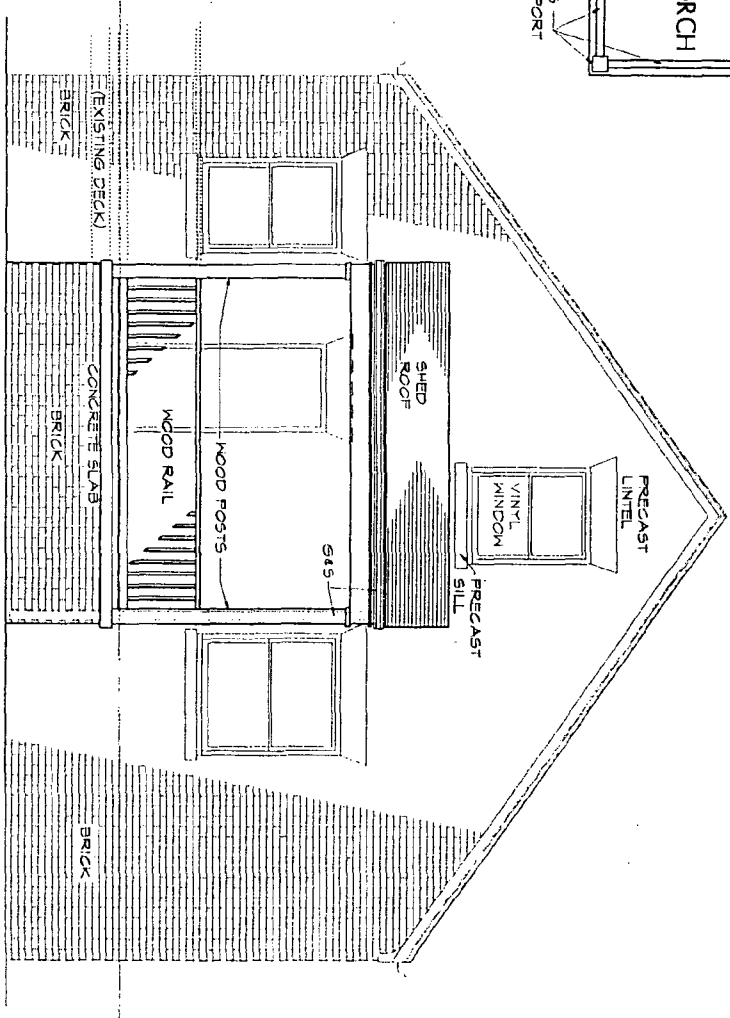
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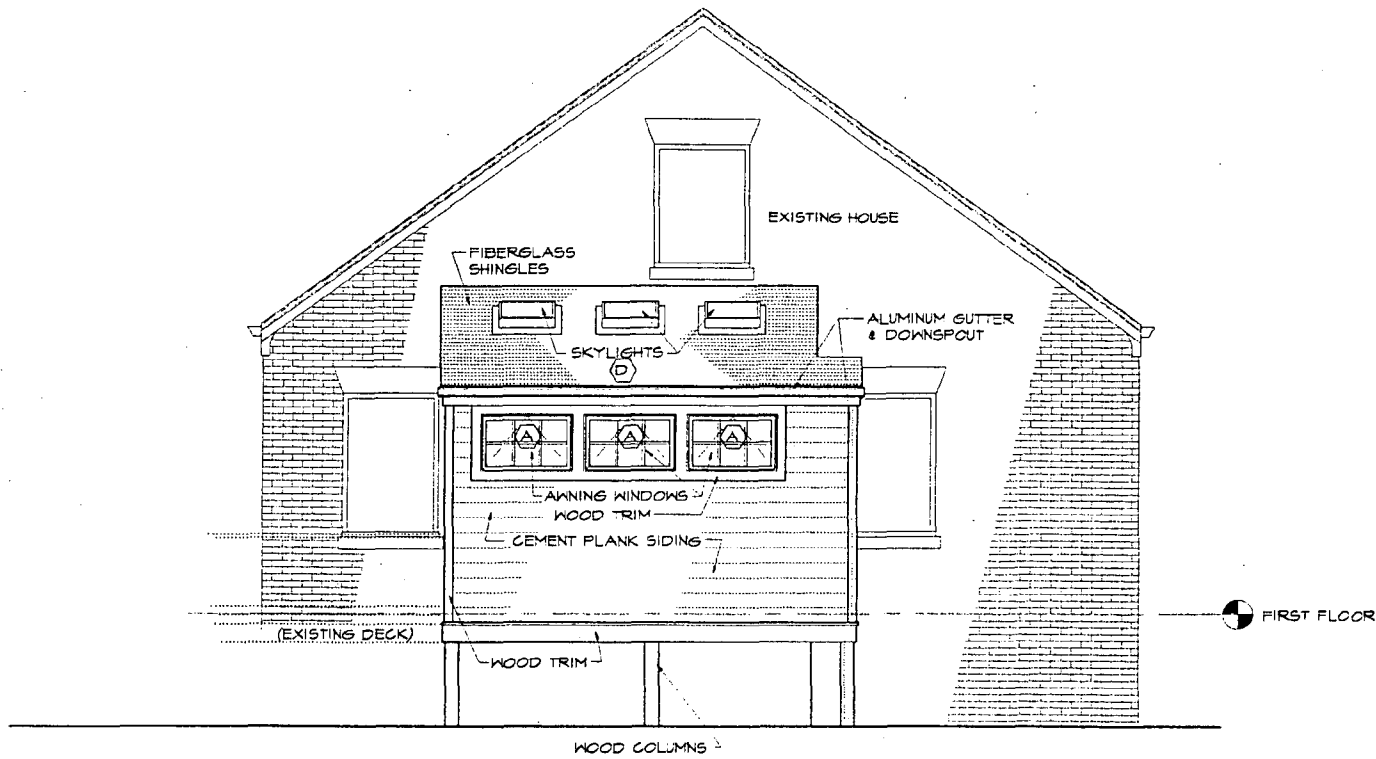
EXISTING FLOOR PLAN
1/4" = 1'-0"



EXISTING REAR ELEVATION
1/4" = 1'-0"



<p>OCT 26 1000 SHEET A1 4</p>	<p>ADDITION TO THE GIBSON RESIDENCE 9 PINE AVE. TAKOMA PARK, MD 20912</p>	<p>Heritage Building & Renovation, Inc. 209 Manor Circle Takoma Park, MD 20912 (301) 270-4700 Fax: (301) 270-0186</p>	<p>EXISTING PLAN & REAR ELEVATION (HAWP SET) SCALE: 1/4" = 1'-0"</p>	
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PROPOSED REAR ELEVATION

1/4" = 1'-0"

WINDOW & DOOR SCHEDULE

MARK	QTY	DESCRIPTION	MANUF.	CATALOG #	R.O.	SDL GRILLE	REMARKS
A	3	3/0X1/8 CLAD WOOD AWNING WINDOW	WEATHERSHIELD	11-3216		3WX2H	WHITE 4 5/8" JAMBS
B	2	2/4X4/8 CLAD WOOD CASEMENT WINDOW	WEATHERSHIELD	11-24-50		2WX4H	WHITE 4 5/8" JAMBS (1)RH, (1) LH
C	1	3/0X1/8 CUSTOM ART GLASS WINDOW	VELUX	FS-101			
D	3	2/8X1/0 SKYLIGHT					EDL STEP FLASHING
T	1	6/0X6/8 CLAD WOOD FRENCH SLIDING PATIO DR	WEATHERSHIELD	6-0 1/4X6-8 X0		2WX5H	WHITE 4 5/8" JAMBS LEFT SIDE ACTIVE

NOTE: HANDING IS BASED ON HINGE SIDE, VIEWED FROM EXTERIOR



PROPOSED
REAR ELEVATION
(HAWP SET)
SCALE: 1/4" = 1'

Heritage Building & Renovation, Inc.

308 Manor Circle
Takoma Park, MD 20912
(301) 270-4789 Fax: (301) 270-0168

ADDITION TO THE
GIBSON RESIDENCE
0 PINE AVE.
TAKOMA PARK, MD 20912

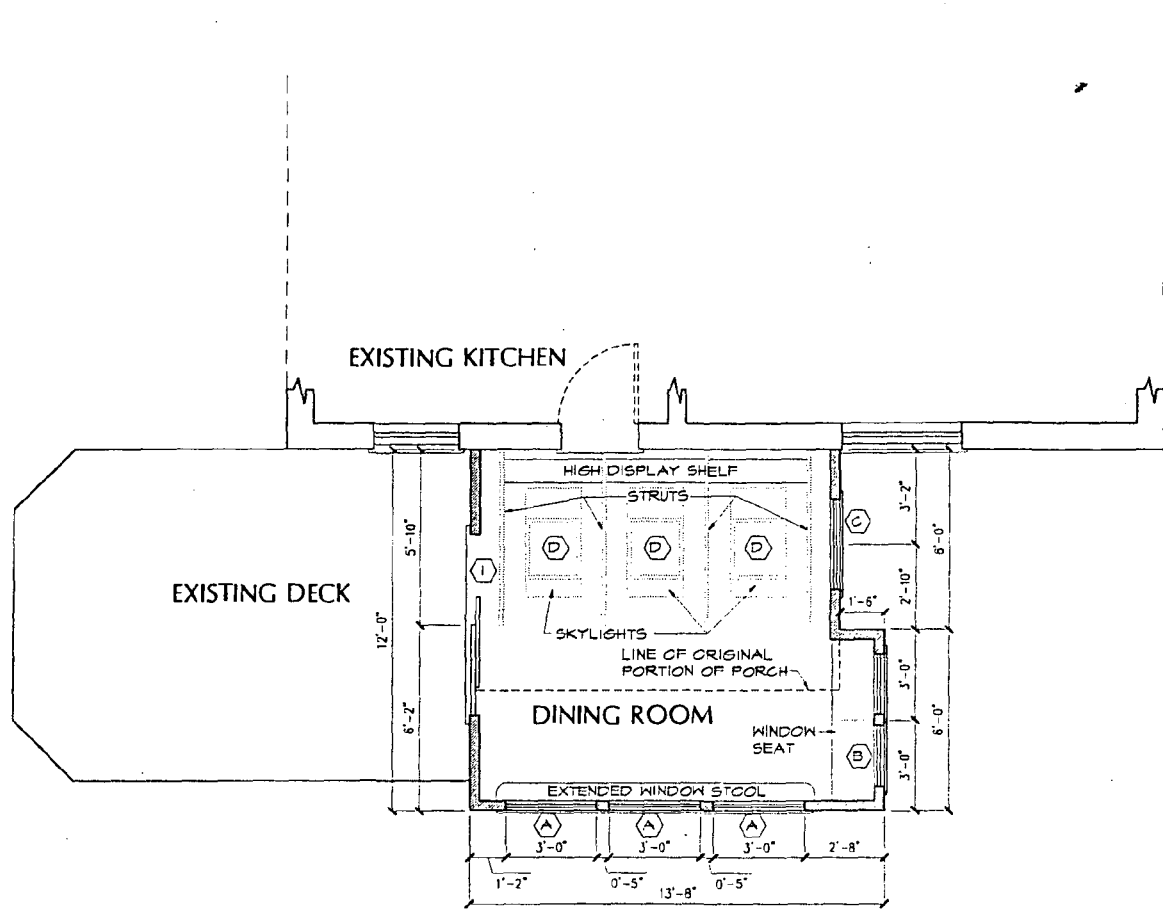
OCT 24 2000

STREET

A3

4

8



PROPOSED PARTIAL 1ST FL PLAN

1/4" = 1'-0"



PROPOSED
FL PLAN
(HWP SET)
SCALE: 1/4"=1'-0"

Heritage Building & Renovation, Inc.
208 Manor Circle
Takoma Park, MD 20912
(301) 270-4709 Fax: (301) 270-0186

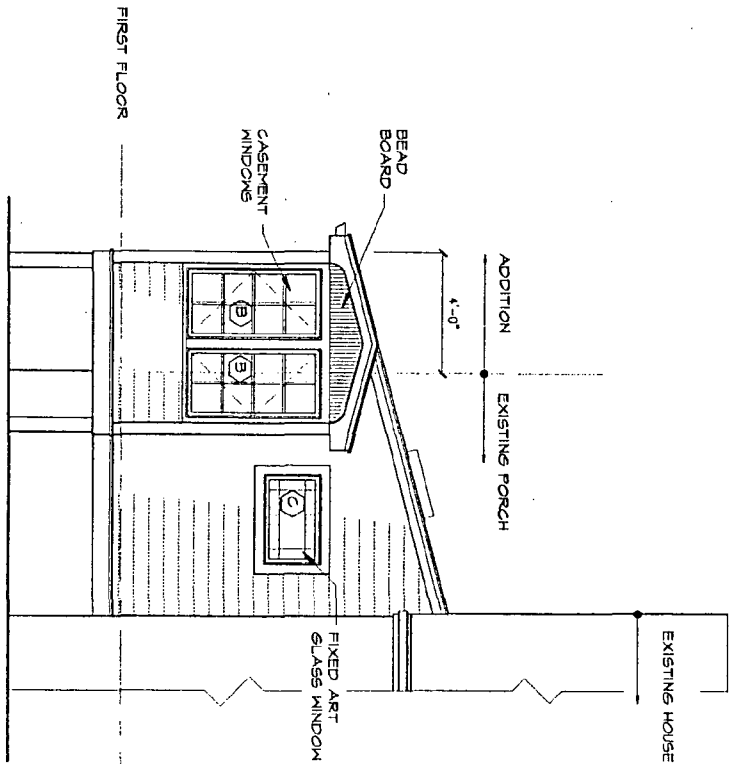
ADDITION TO THE
GIBSON RESIDENCE
9 PINE AVE.
TAKOMA PARK, MD 20913

OCT 26 2000

SHEET
A2
4

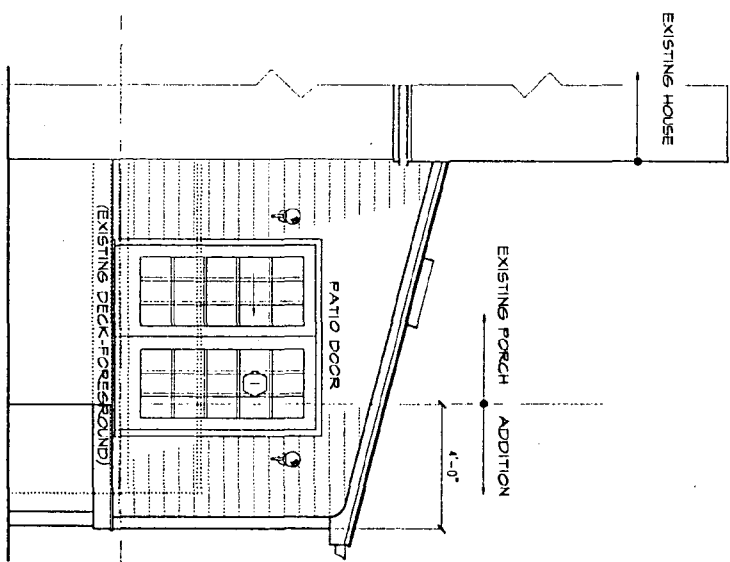
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10



PROPOSED LEFT ELEVATION

1/4" = 1'-0"



PROPOSED RIGHT ELEVATION

1/4" = 1'-0"

<p>DATE: OCT 18 2000 SHEET: A4 OF: 4</p>	<p>ADDITION TO THE GIBSON RESIDENCE 9 PINE AVE. TAKOMA PARK, MD 20912</p>	<p>Heritage Building & Renovation, Inc. 208 Manor Circle Takoma Park, MD 20912 (301) 270-4799 Fax: (301) 270-0188</p>	<p>PROPOSED SIDE ELEVATIONS (HAWP SET) SCALE: 1/4"=1'-0"</p>	
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FRONT

11







RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

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Lot: 344 Block: 16 Subdivision: _____

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1A. CHECK ALL APPLICABLE:

- | | | | | | | | | |
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CHECK ALL APPLICABLE:

1B. Construction cost estimate: \$ 35,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

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[Signature]
Signature of owner or authorized agent

02 Nov 00
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**ADDENDUM TO
APPLICATION FOR
HISTORIC AREA WORK PERMIT**

October 25, 2000

Owners: Bob and Therese Gibson

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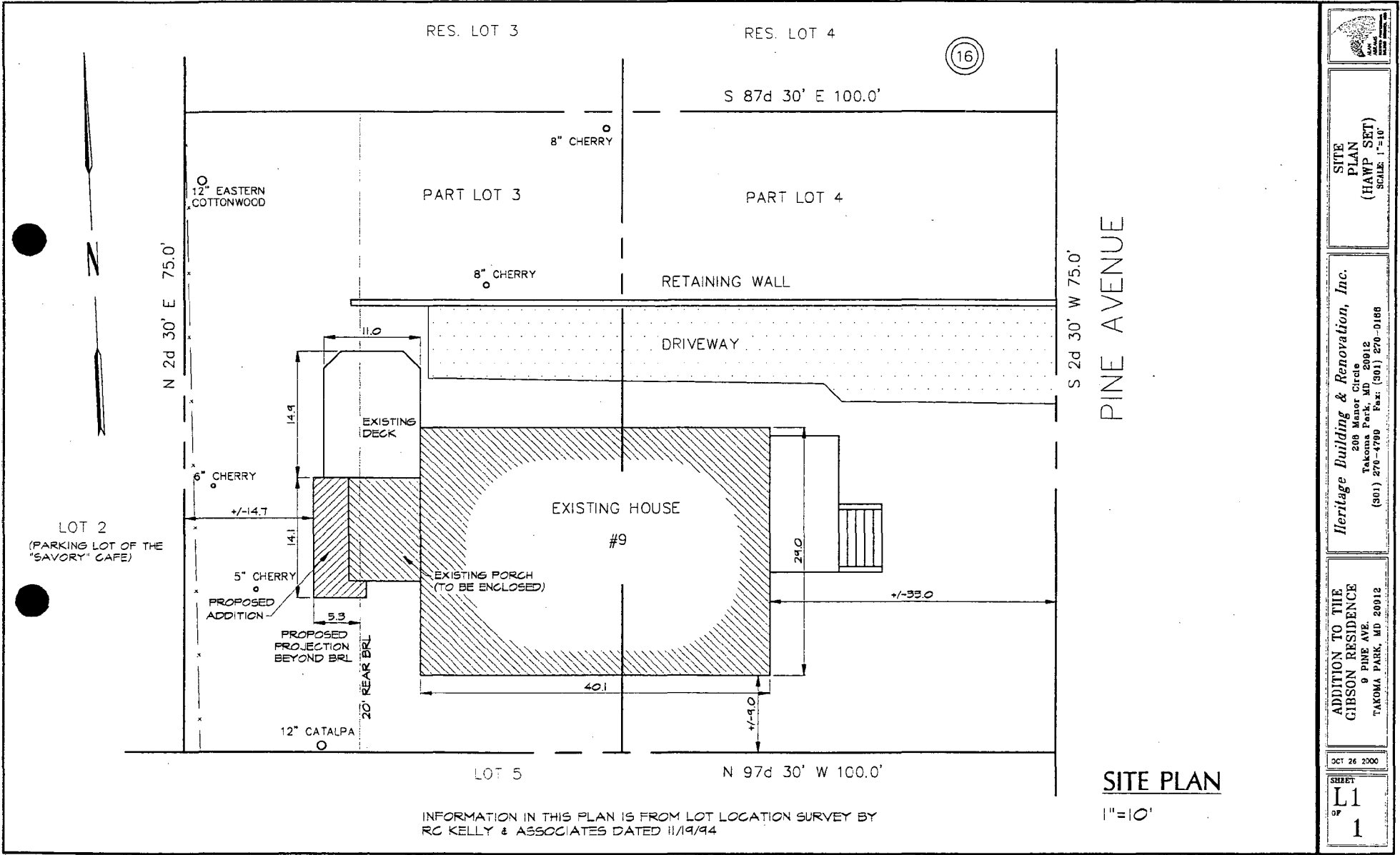
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8 Pine Avenue
Takoma park, MD 20912

Savory Cafe
7071 Carroll Avenue
Property Owner:
Andrew C. Sickler
5320 Ijamsville Road
Ijamsville, MD 21754



INFORMATION IN THIS PLAN IS FROM LOT LOCATION SURVEY BY
RC KELLY & ASSOCIATES DATED 11/19/94

SITE PLAN



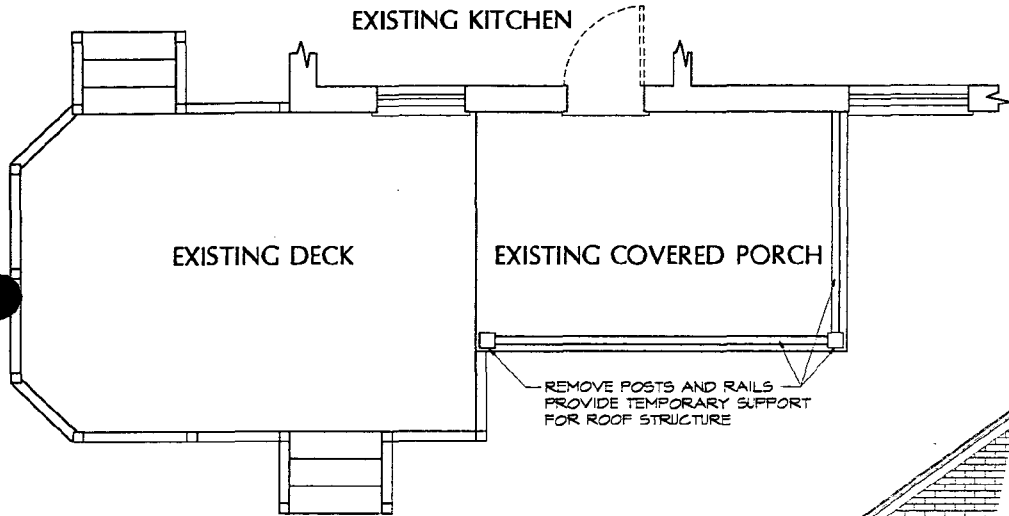
SITE PLAN
(HWP SET)
SCALE: 1"=10'

Heritage Building & Renovation, Inc.
208 Manor Circle
Takoma Park, MD 20912
(301) 270-4790 Fax: (301) 270-0166

ADDITION TO THE GIBSON RESIDENCE
9 PINE AVE.
TAKOMA PARK, MD 20912

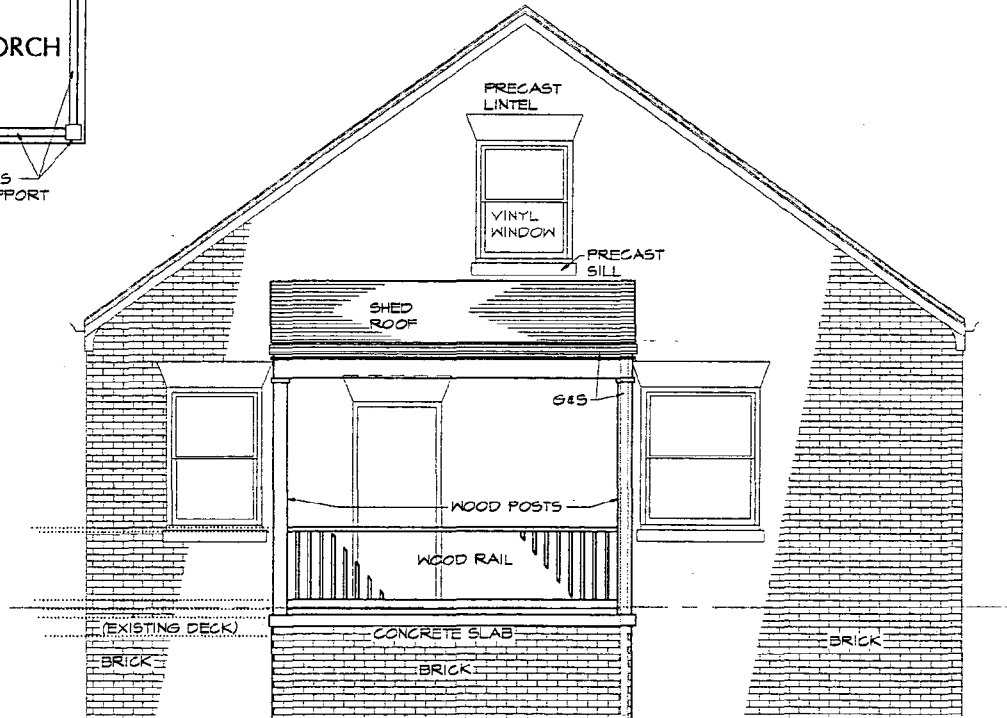
NOV 26 2000

SECRET
1
OF
1



EXISTING FLOOR PLAN

1/4"=1'-0"



EXISTING REAR ELEVATION

1/4"=1'-0"



EXISTING PLAN &
REAR ELEVATION
(HWP SET)
SCALE: 1/4"=1'0"

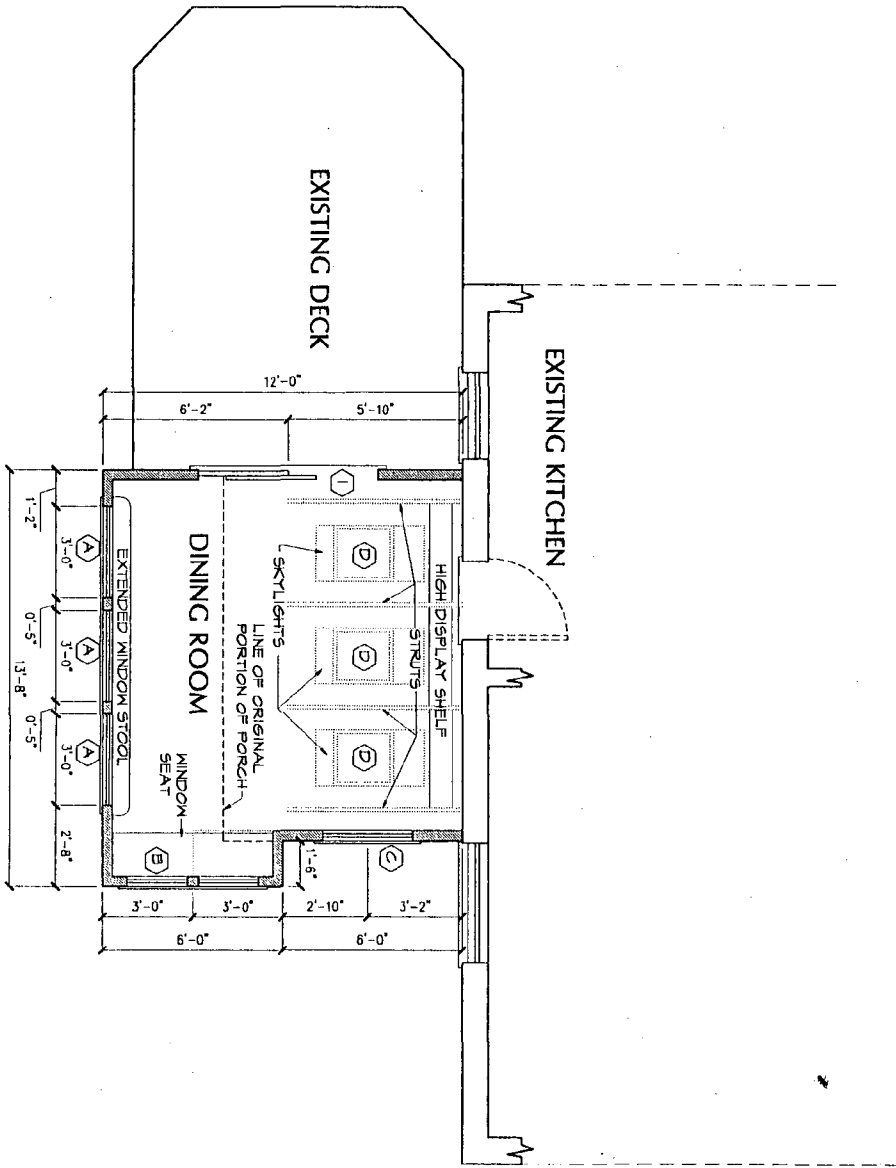
Heritage Building & Renovation, Inc.

2008 Manor Circle
Takoma Park, MD 20912
(301) 270-4790 Fax: (301) 270-0100

ADDITION TO THE
GIBSON RESIDENCE
9 PINE AVE.
TAKOMA PARK, MD 20912

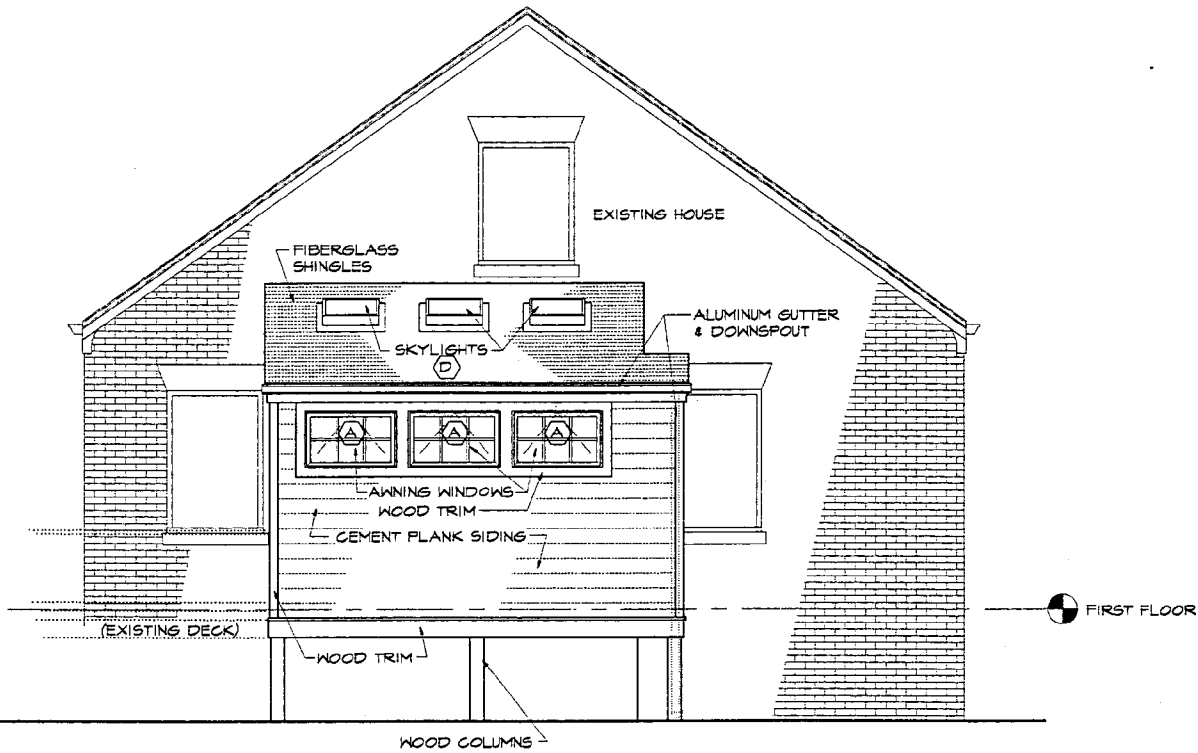
OCT 26 2000

SHEET
A1
OF
4



PROPOSED PARTIAL 1ST FL PLAN
 1/4" = 1'-0"

SHEET A2 OF 4	OCT 26 2000 ADDITION TO THE GIBSON RESIDENCE 9 PINE AVE. TAKOMA PARK, MD 20012	Heritage Building & Renovation, Inc. 208 Manor Circle Takoma Park, MD 20012 (301) 270-4700 Fax: (301) 270-0186	PROPOSED FL PLAN (HAWP SET) SCALE: 1/4" = 1'-0"	
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PROPOSED REAR ELEVATION
1/4" = 1'-0"

WINDOW & DOOR SCHEDULE

MARK	QTY	DESCRIPTION	MANUF.	CATALOG #	R.O.	SDL GRILLE	REMARKS
A	3	3/10x1/8 GLAD WOOD AWNING WINDOW	WEATHERSHIELD	11-3216		3WX2H	WHITE 4 5/8" JAMBS
B	2	3/4x4/8 GLAD WOOD CASEMENT WINDOW	WEATHERSHIELD	11-24-50		2WX4H	WHITE 4 5/8" JAMBS (1)RH, (1) LH
C	1	3/10x1/8 CUSTOM ART GLASS WINDOW	VELUX	FS-101			
D	3	3/8x1/10 SKYLIGHT					EDL STEP FLASHING
1	1	6/10x6/8 GLAD WOOD FRENCH SLIDING PATIO DR	WEATHERSHIELD	6-0 1/4x6-8 XO		2WX3H	WHITE 4 5/8" JAMBS LEFT SIDE ACTIVE

NOTE: HANDING IS BASED ON HINGE SIDE, VIEWED FROM EXTERIOR



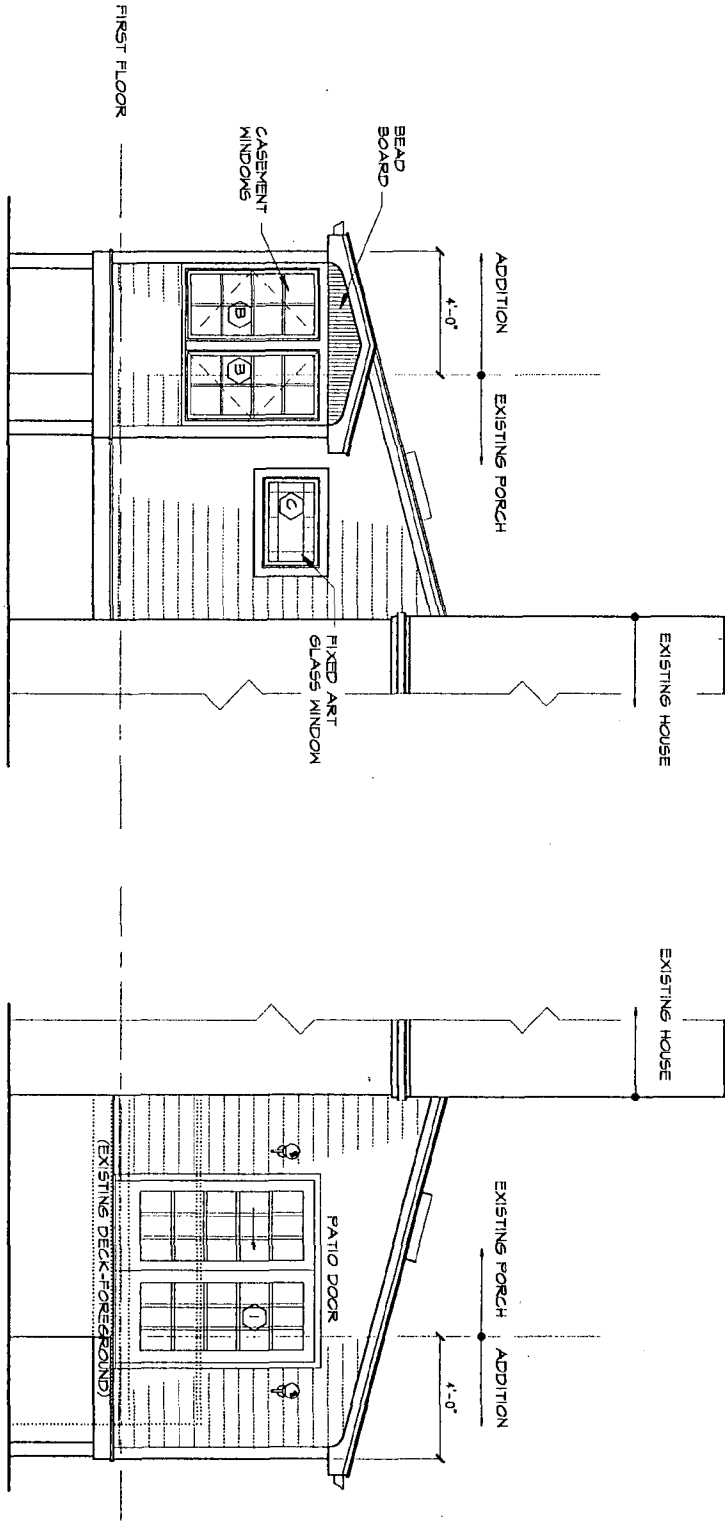
PROPOSED REAR ELEVATION (HAWP SET)
SCALE: 1/4"=1'-0"

Heritage Building & Renovation, Inc.
208 Manor Circle
Takoma Park, MD 20912
(301) 270-4788 Fax: (301) 270-0168

ADDITION TO THE GIBSON RESIDENCE
9 FINE AVE.
TAKOMA PARK, MD 20912

OCT 28 2000

SHEET
A3
OF
4



PROPOSED LEFT ELEVATION
 1/4" = 1'-0"

PROPOSED RIGHT ELEVATION
 1/4" = 1'-0"

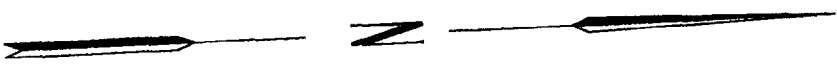
SHEET A4 OF 4	OCT 26 2000 REVISION	ADDITION TO THE GIBSON RESIDENCE 9 PINE AVE. TAKOMA PARK, MD 20912	<i>Heritage Building & Renovation, Inc.</i> 208 Manor Circle Takoma Park, MD 20912 (301) 270-4799 Fax: (301) 270-0166	PROPOSED SIDE ELEVATIONS (HWP SET) SCALE: 1/4" = 1'-0"	
	ARCHITECT: [Signature]				



FRONT



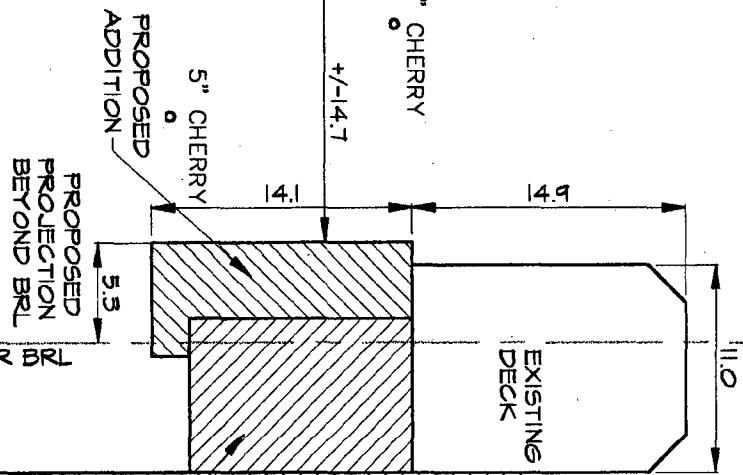




N 2d 30' E 75.0'

LOT 2
(PARKING LOT OF THE
'SAVORY' CAFE)

12" EASTERN
COTTONWOOD



12" CATALPA

NO REAR BRL

RES. LOT 3

PART LOT 3

8" CHERRY

8" CHERRY

RES. LOT 4

PART LOT 4

S 87d 30' E 100.0'

DRIVEWAY

RETAINING WALL

EXISTING HOUSE
#9

EXISTING PORCH
(TO BE ENCLOSED)

LOT 5

N 97d 30' W 100.0'

40.1

29.0

+/- 33.0

+/- 9.0

S 2d 30' W 75.0'

PINE AVENUE

(16)

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

SITE PLAN

1" = 10'

INFORMATION IN THIS PLAN IS FROM LOT LOCATION SURVEY BY
RC KELLY & ASSOCIATES DATED 11/19/14

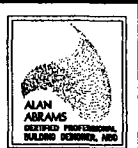
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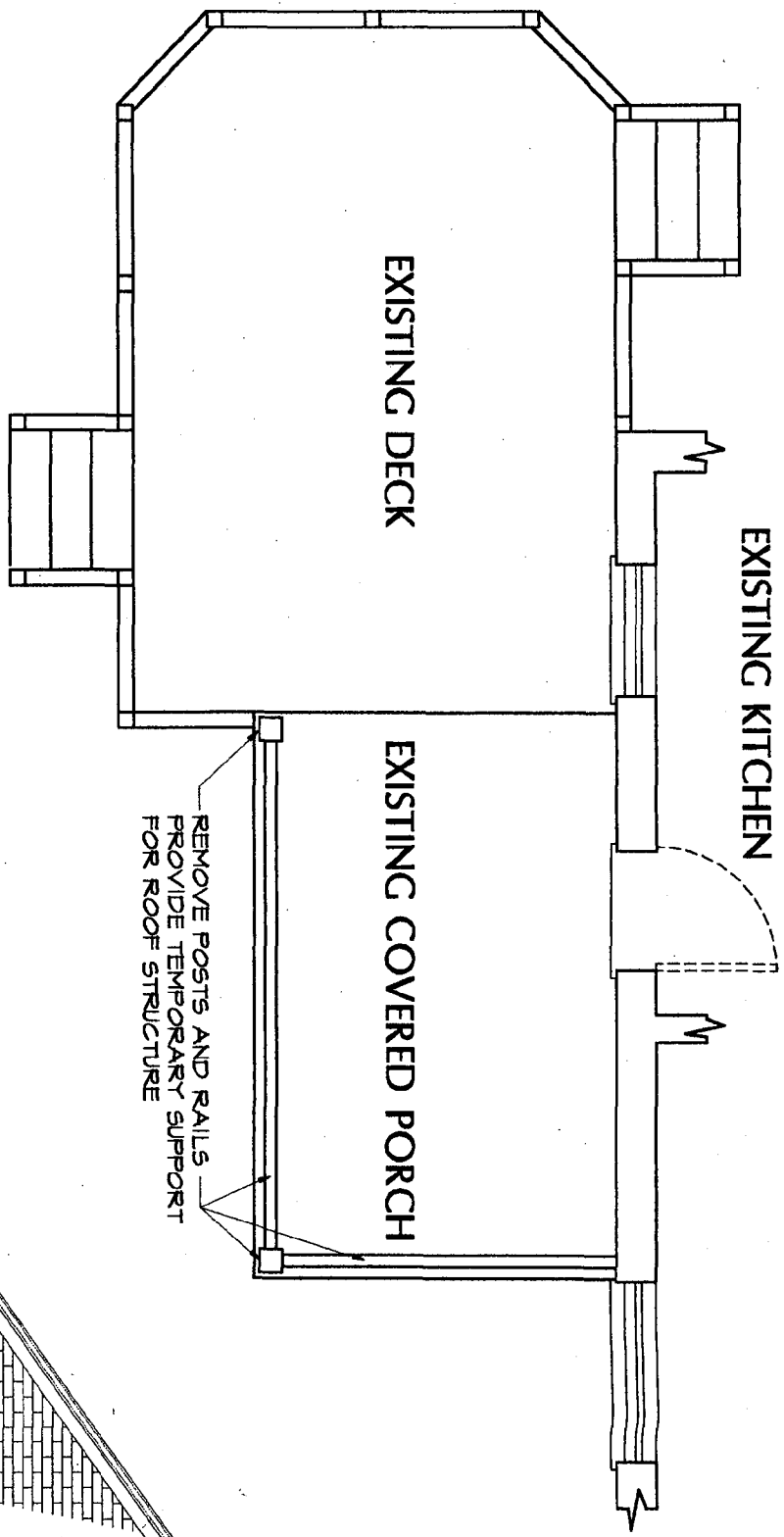
OCT 26 2000

ADDITION TO THE
GIBSON RESIDENCE
9 PINE AVE.
TAKOMA PARK, MD 20912

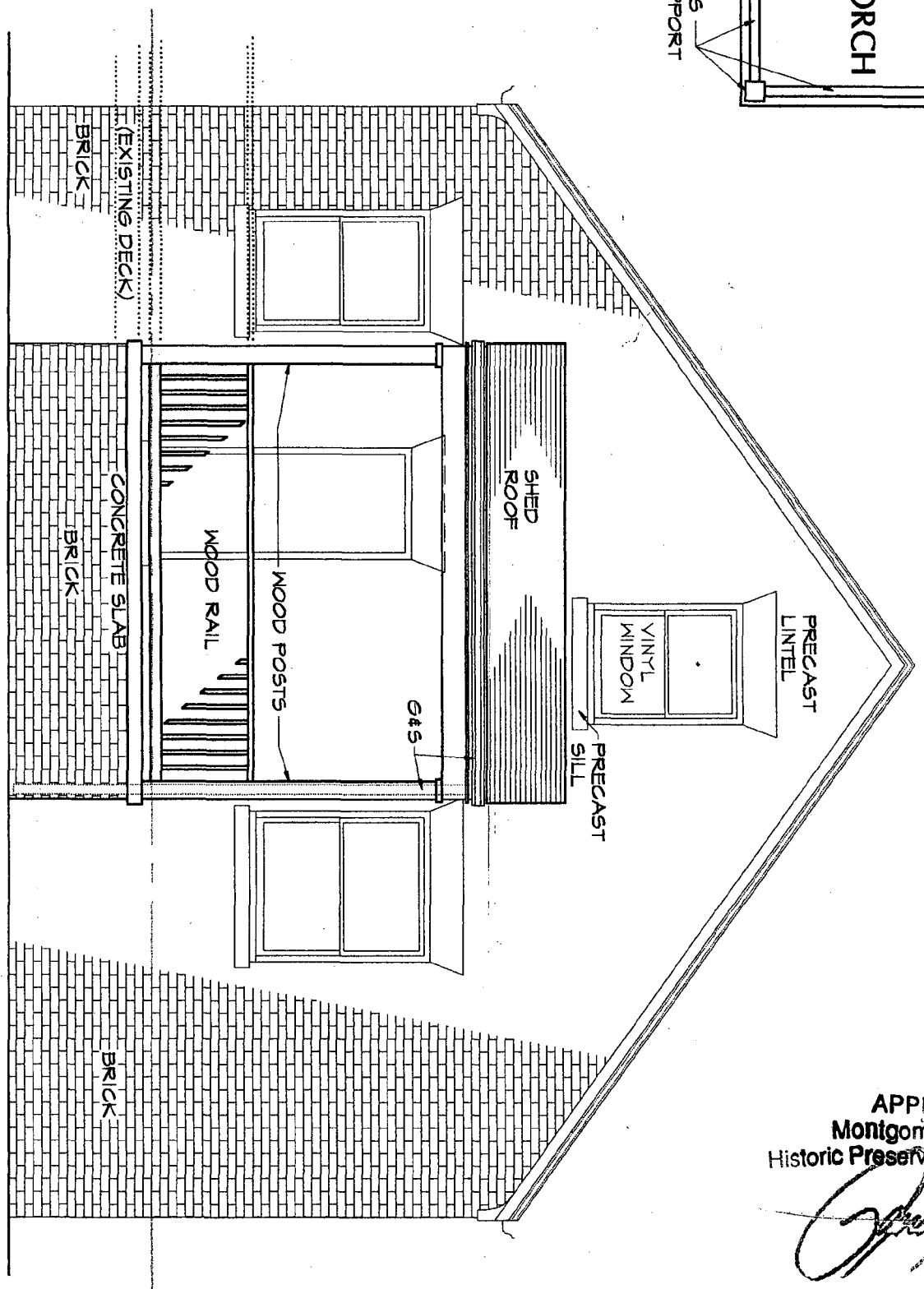
Heritage Building & Renovation, Inc.
208 Manor Circle
Takoma Park, MD 20912
(301) 270-4799 Fax: (301) 270-0166

SITE
PLAN
(HAWP SET)
SCALE: 1"=10'





EXISTING FLOOR PLAN
1/4" = 1'-0"



EXISTING REAR ELEVATION
1/4" = 1'-0"

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Montgomery County
Historic Preservation Commission

[Signature]

SHEET
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OF
4

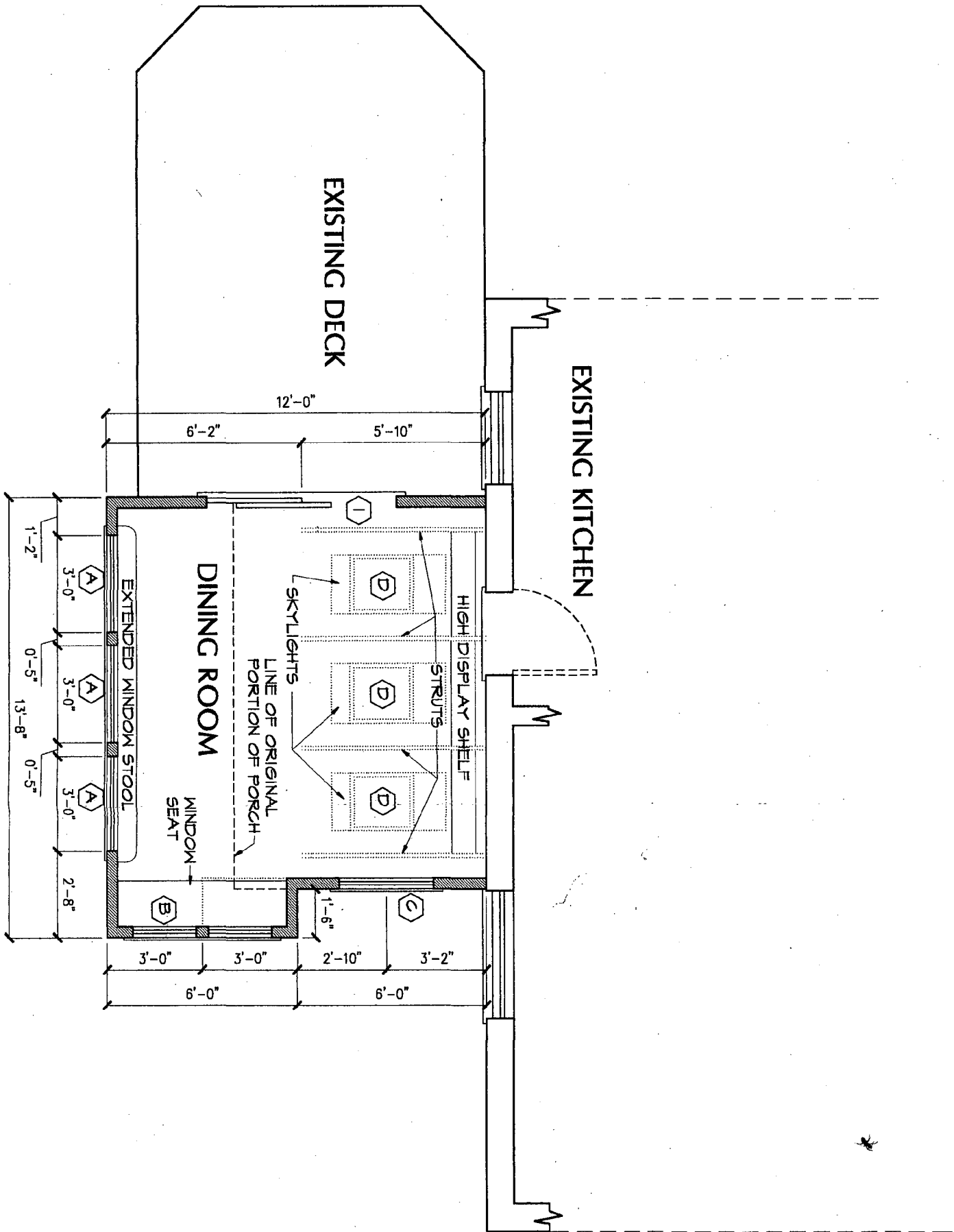
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EXISTING PLAN &
REAR ELEVATION
(HAWP SET)
SCALE: 1/4" = 1'-0"





PROPOSED PARTIAL 1ST FL PLAN
 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

SHEET
 A2
 OF
 4

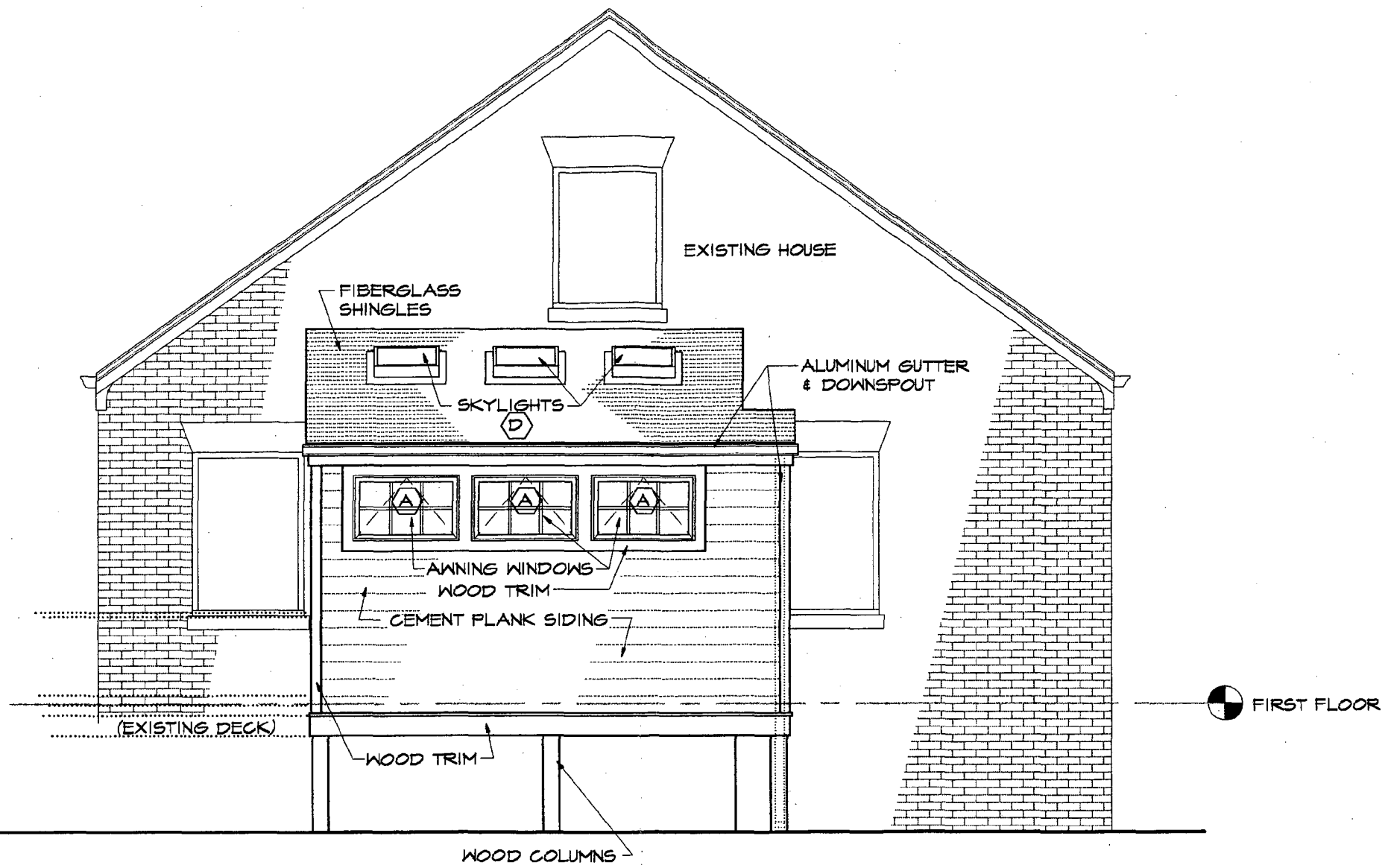
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PROPOSED
 FL PLAN
 (HAWP SET)
 SCALE: 1/4" = 1'0"





PROPOSED REAR ELEVATION

1/4" = 1'-0"

WINDOW & DOOR SCHEDULE

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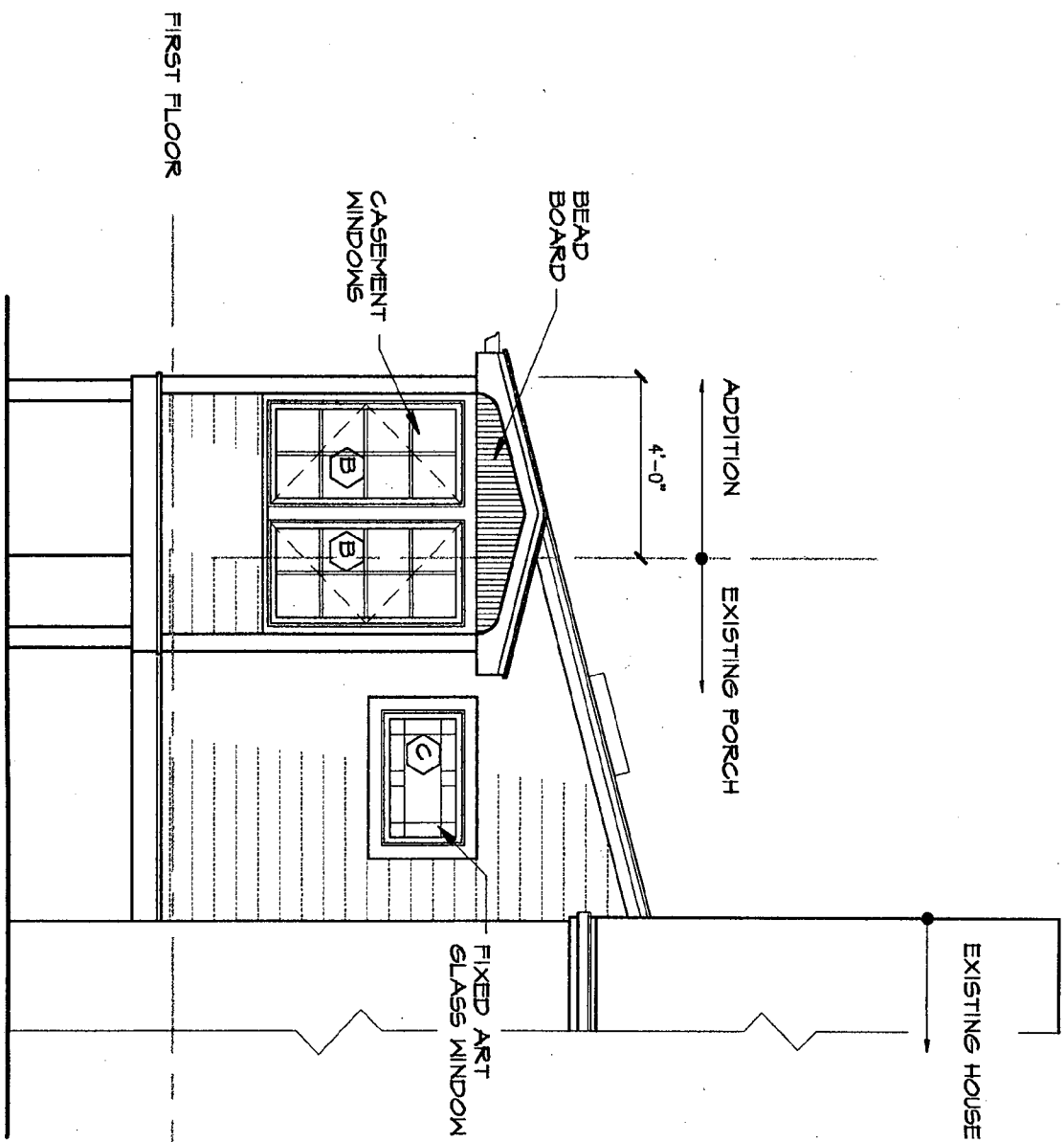
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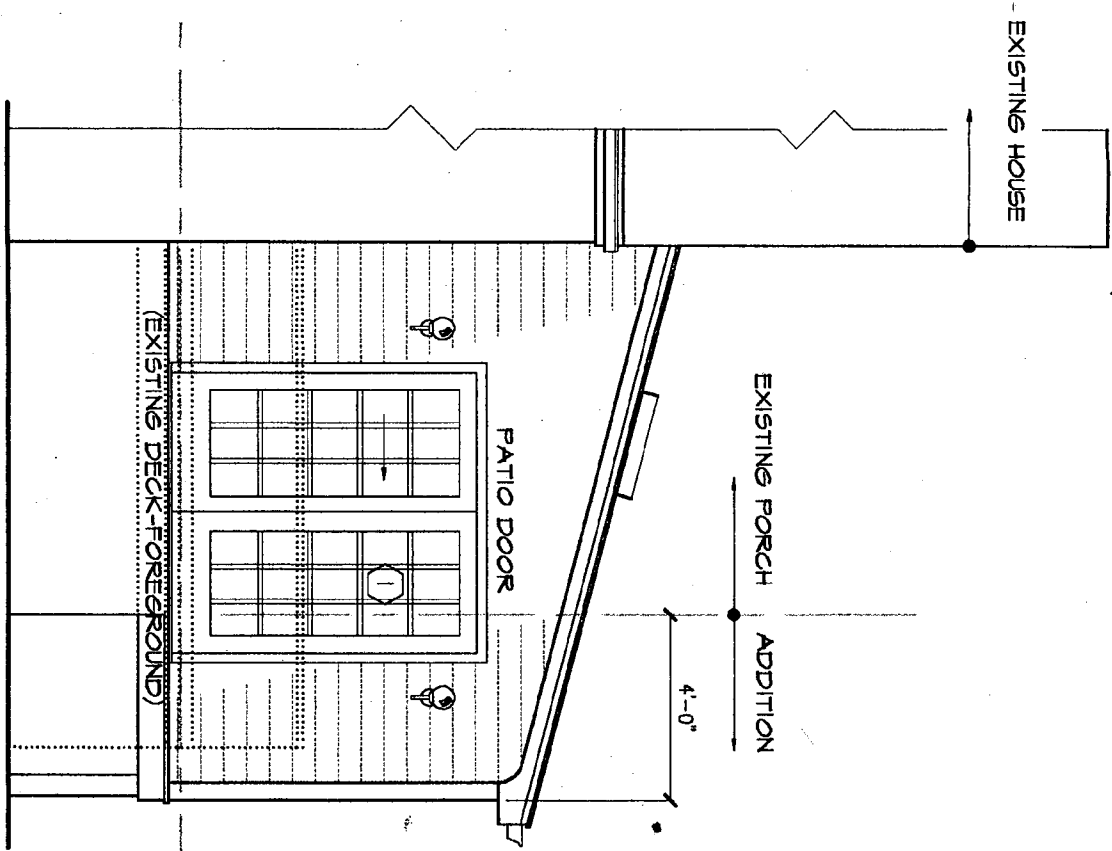
ADDITION TO THE
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OCT 26 2000

SHEET
A3
 OF
4



PROPOSED LEFT ELEVATION
1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
1/4" = 1'-0"

APPROVED
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Historic Preservation Commission
[Signature]

SHEET
A4
OF
4

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PROPOSED
SIDE ELEVATIONS
(HAWP SET)
SCALE: 1/4" = 1'-0"

