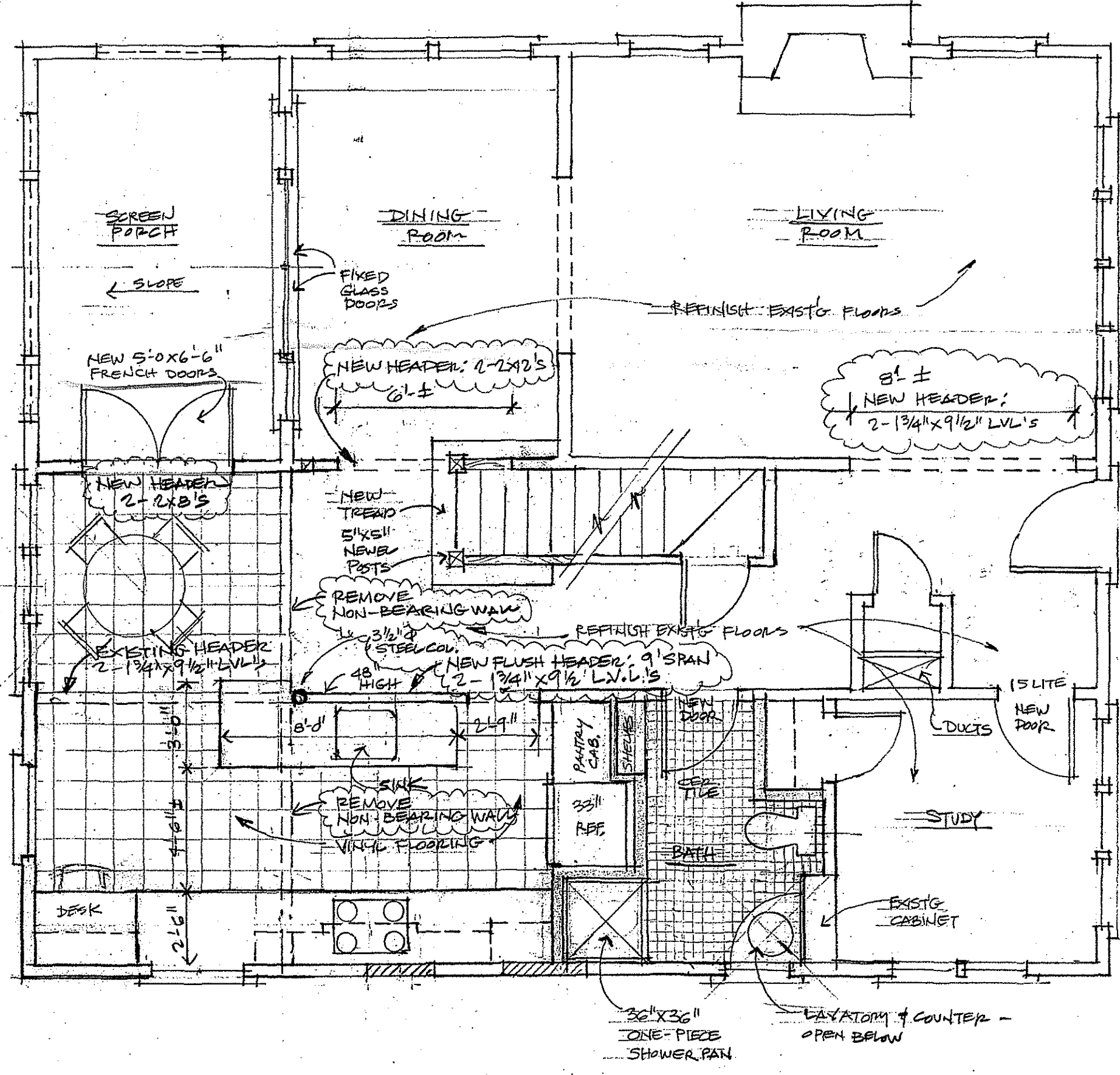
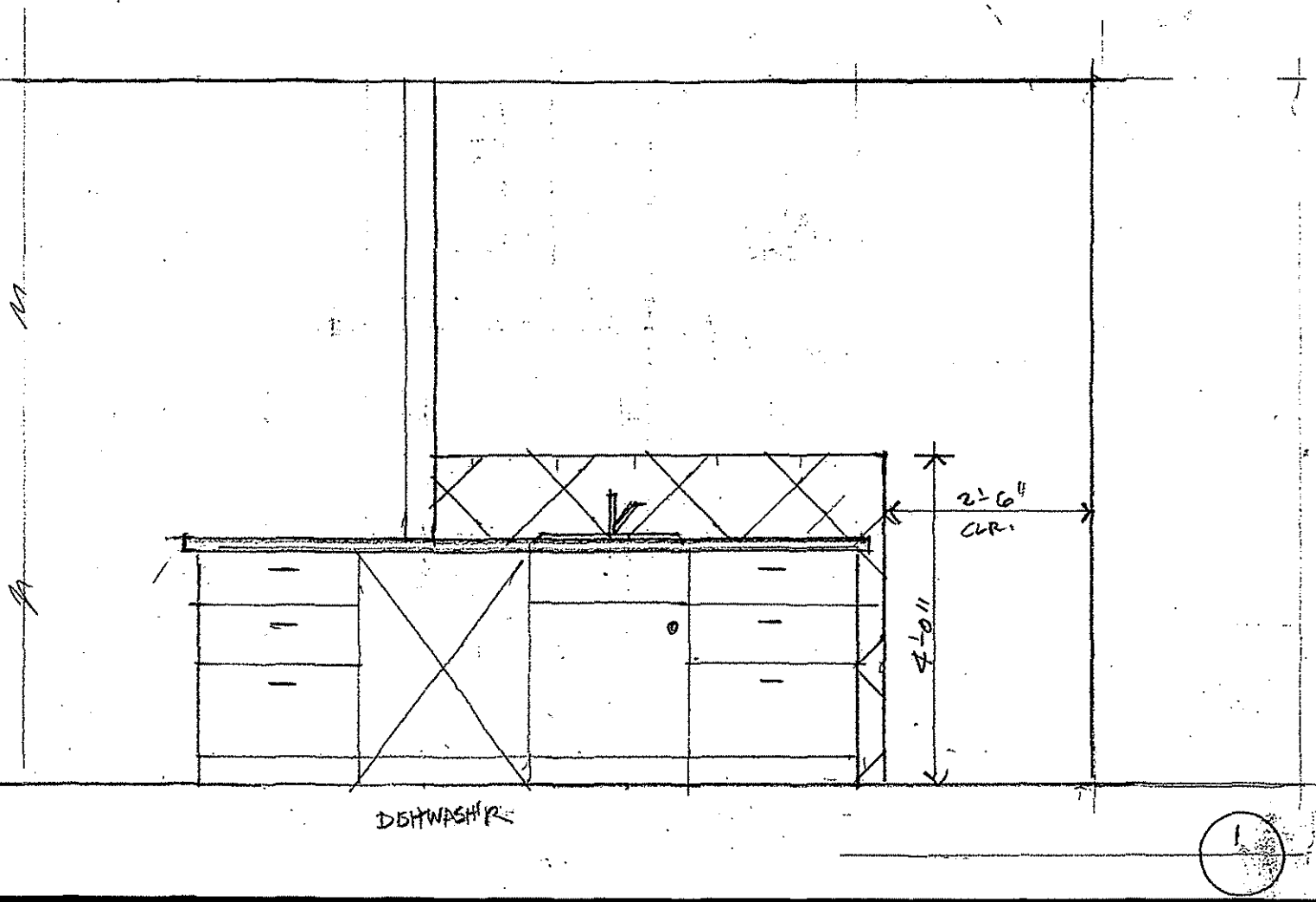
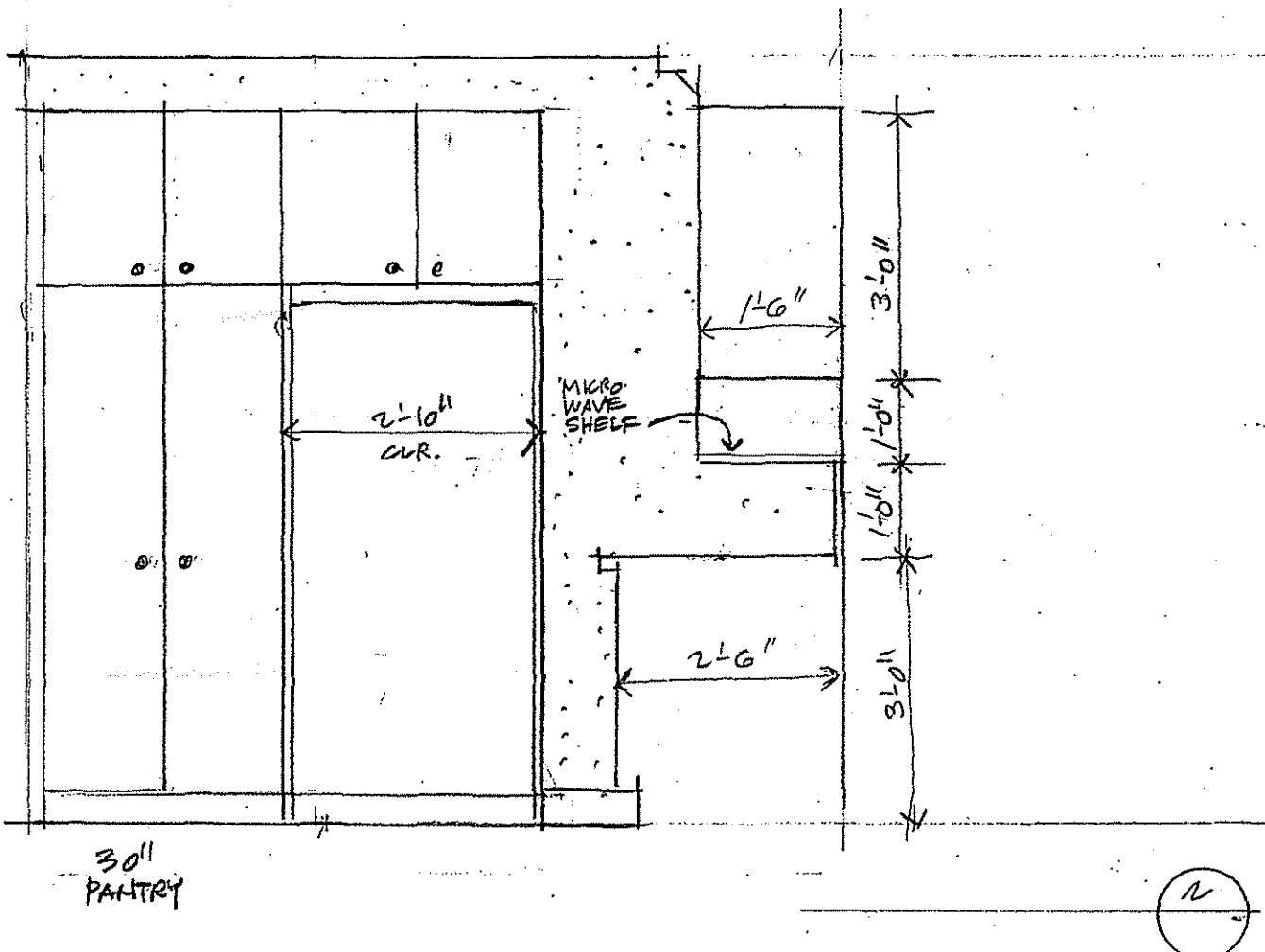
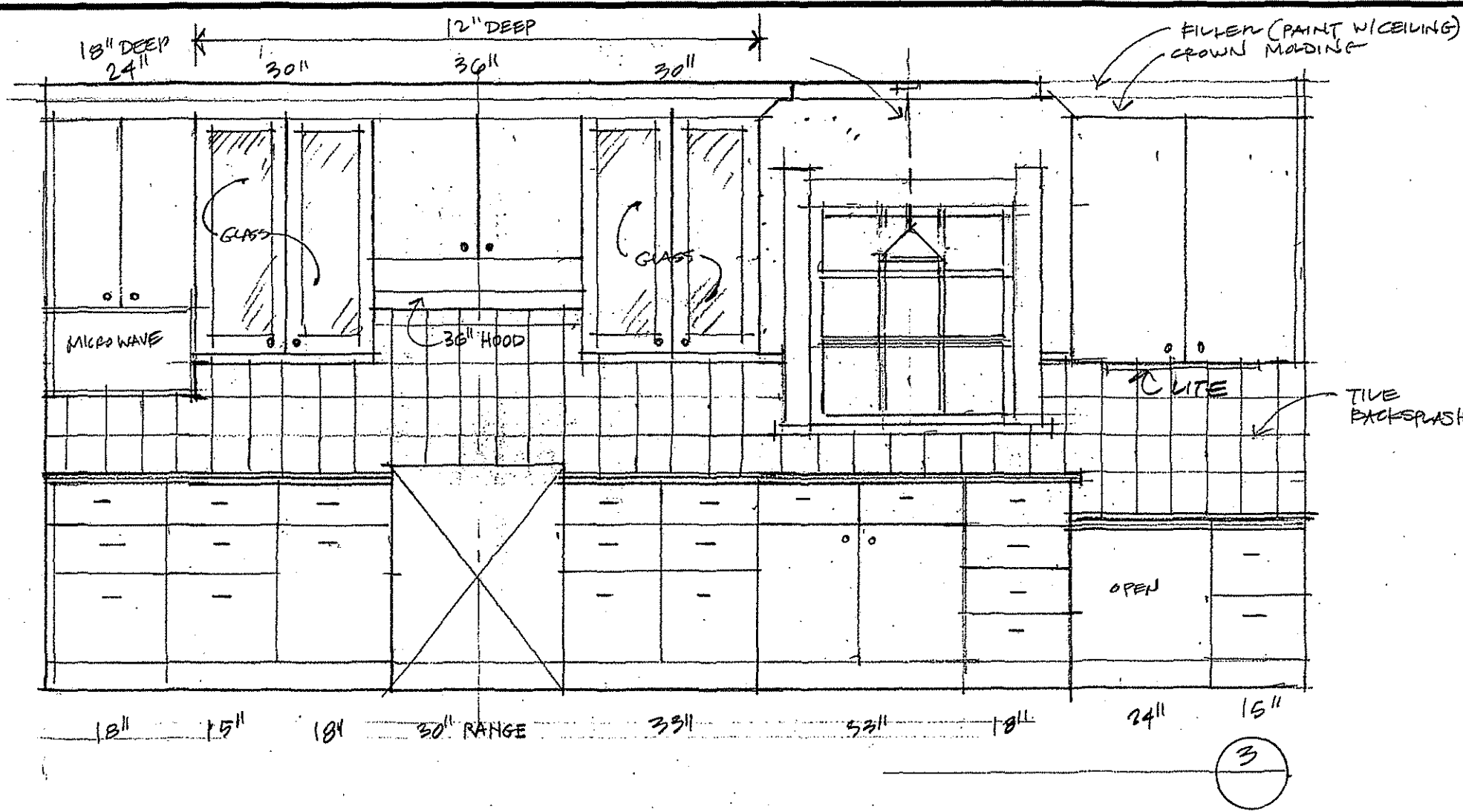


#37/3-01Z 7330 Piney Branch Road
(Takoma Park HD)

R

#37/3-02H 7330 Piney Branch Rd.
(Takoma Park Historic District)

1-sided
ORIGINAL



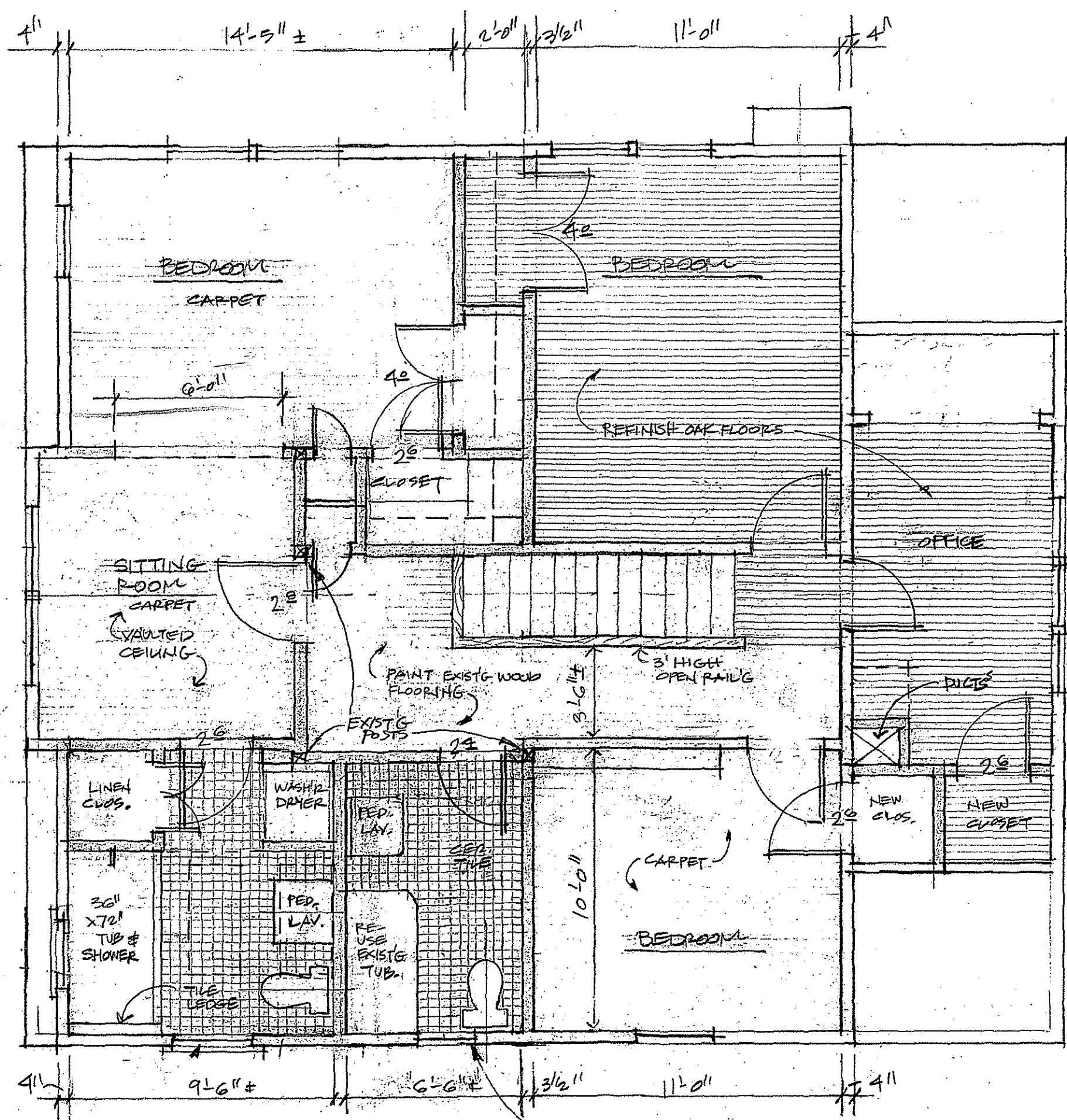
FIRST FLOOR PLAN

APPROVED
 Montgomery County
 Historic Preservation Commission
 PDZ
 5/11/02

ALTERATIONS TO
 7330 PINEY BRANCH ROAD
 TAKOMA PARK, MD.

Paul Tresseder
 ARCHITECT AIA
 6320 Wisconsin Road, Bethesda, MD, 20816
 (301) 320-1580

Date	4-3-02
Scale	1/4" = 1'-0"
Drawn	
Job	
Sheet	1
Of	Sheets



SECOND FLOOR PLAN

APPROVED
Montgomery County
Historic Preservation Commission

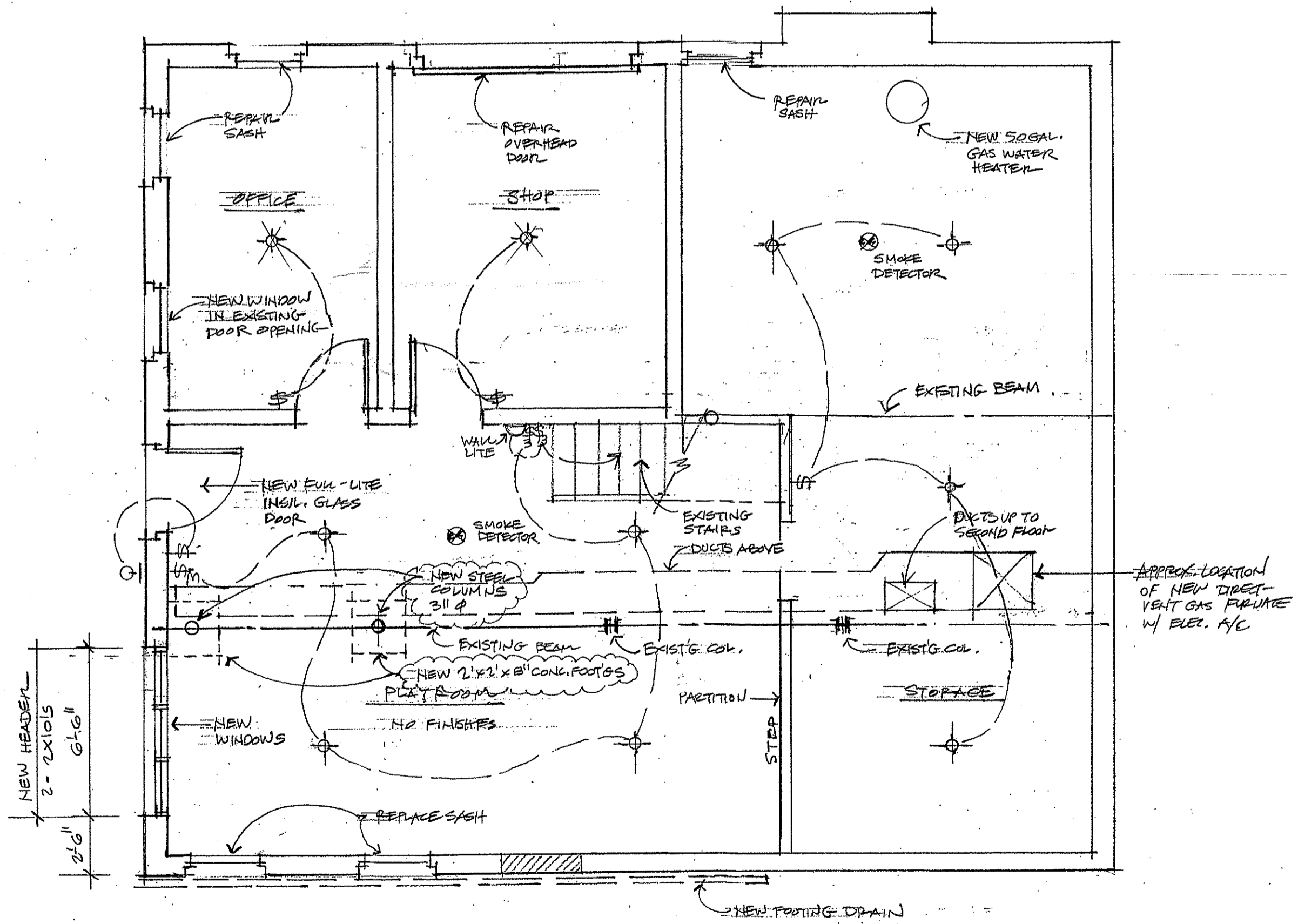
PDZ
5/1/02

Paul Tresseder
ARCHITECT AIA

(301) 320-1580

6320 Wisconsin Road, Bethesda, MD, 20816

Date	4-3-02
Scale	1/4" = 1'-0"
Drawn	
Job	
Sheet	9
Of	Sheets



BASEMENT PLAN

AND LIGHTING PLAN

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]
5/1/02



Paul Treseder
ARCHITECT AIA
6320 Wiccasset Road, Bethesda, MD, 20816

(301) 320-1580

Date 3-27-02

Scale 1/4" = 1'-0"

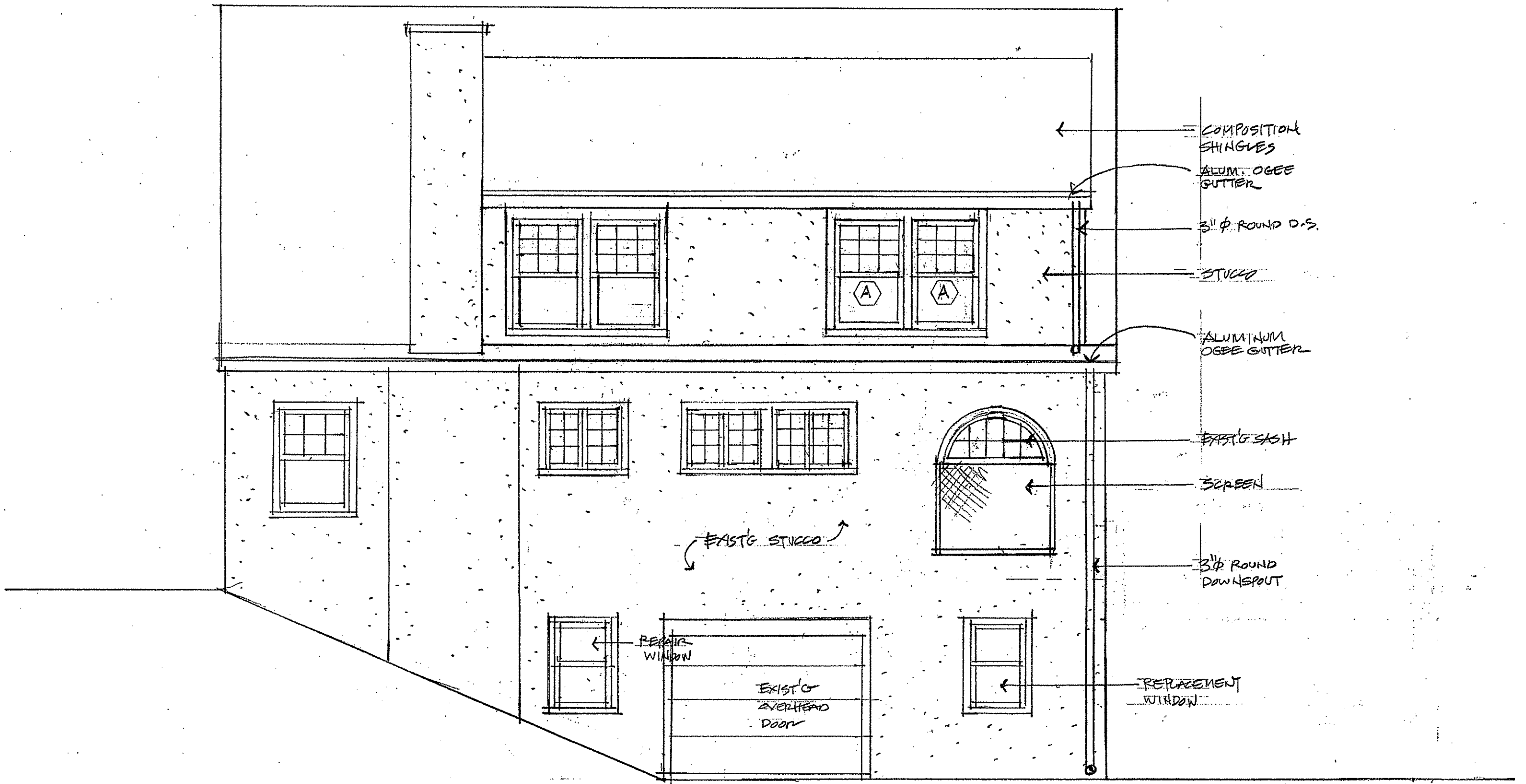
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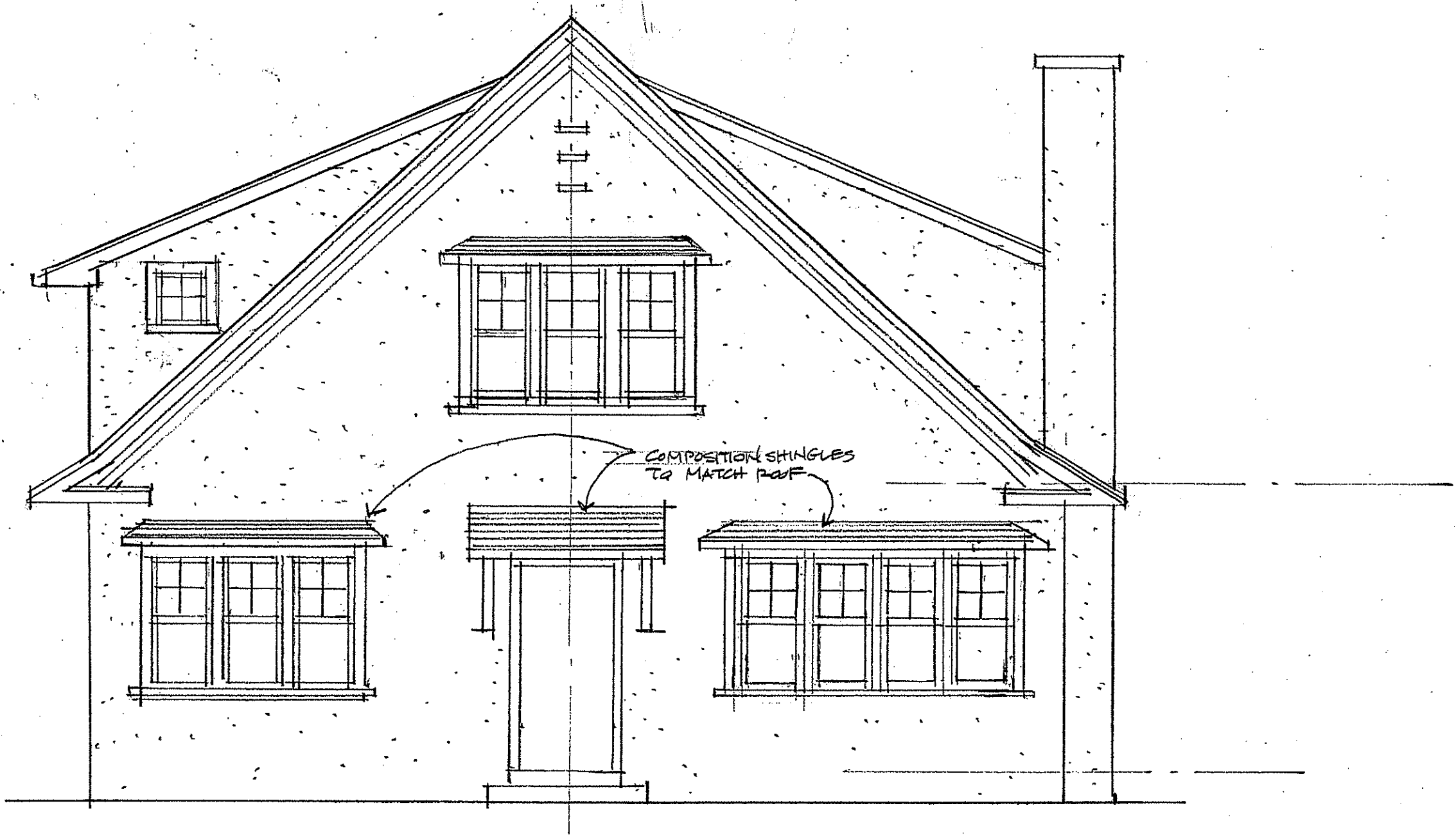
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NORTH ELEVATION

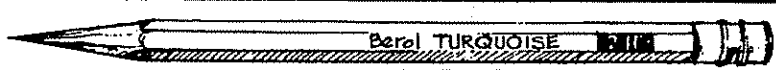


EAST ELEVATION

APPROVED
 Montgomery County
 Historic Preservation Commission
 5/1/02

Paul Treseder

ARCHITECT AIA
 6320 Wiscasset Road, Bethesda, MD. 20816



(301) 320-1580

Date 3-27-02

Scale 1/4" = 1'-0"

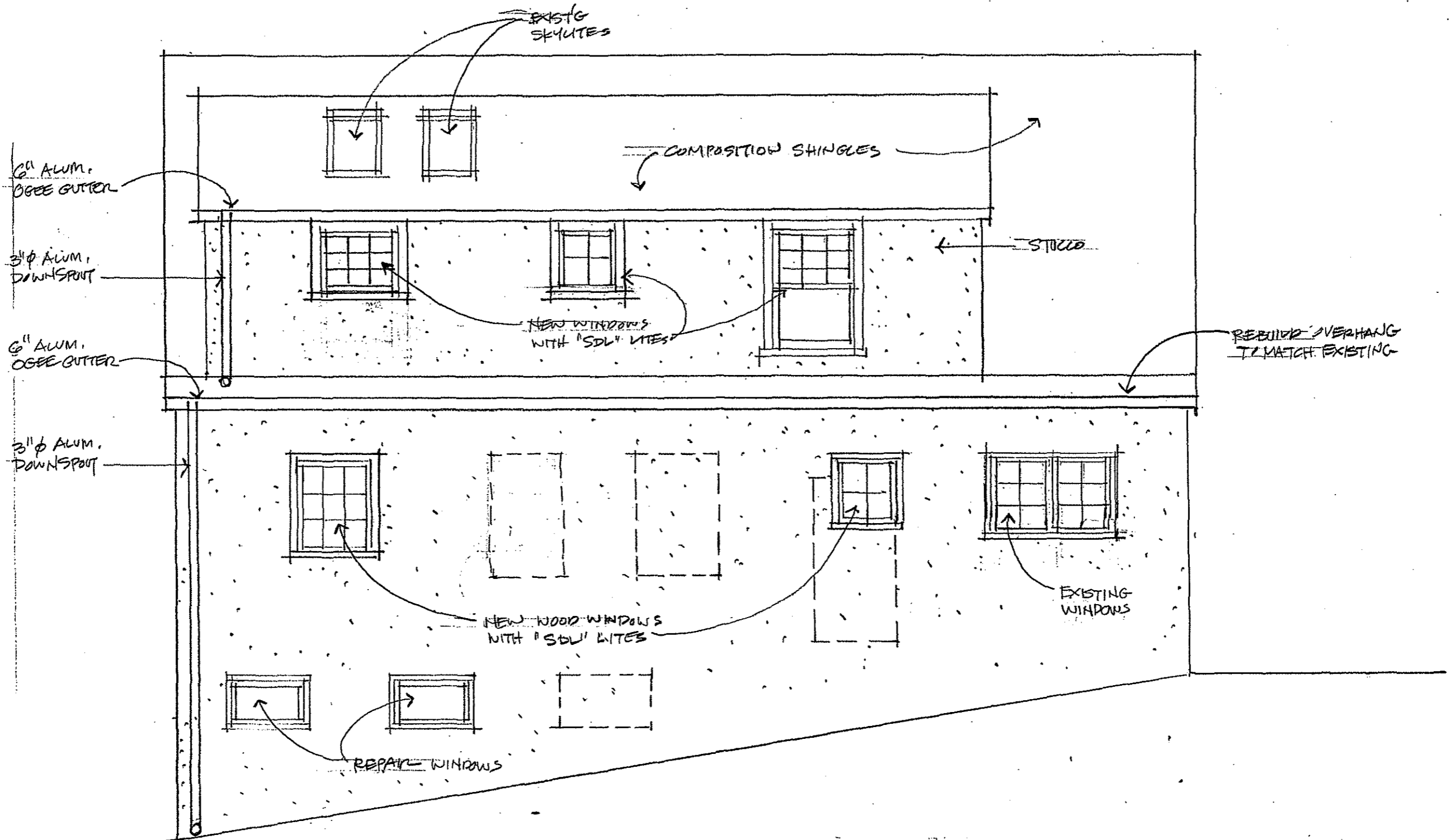
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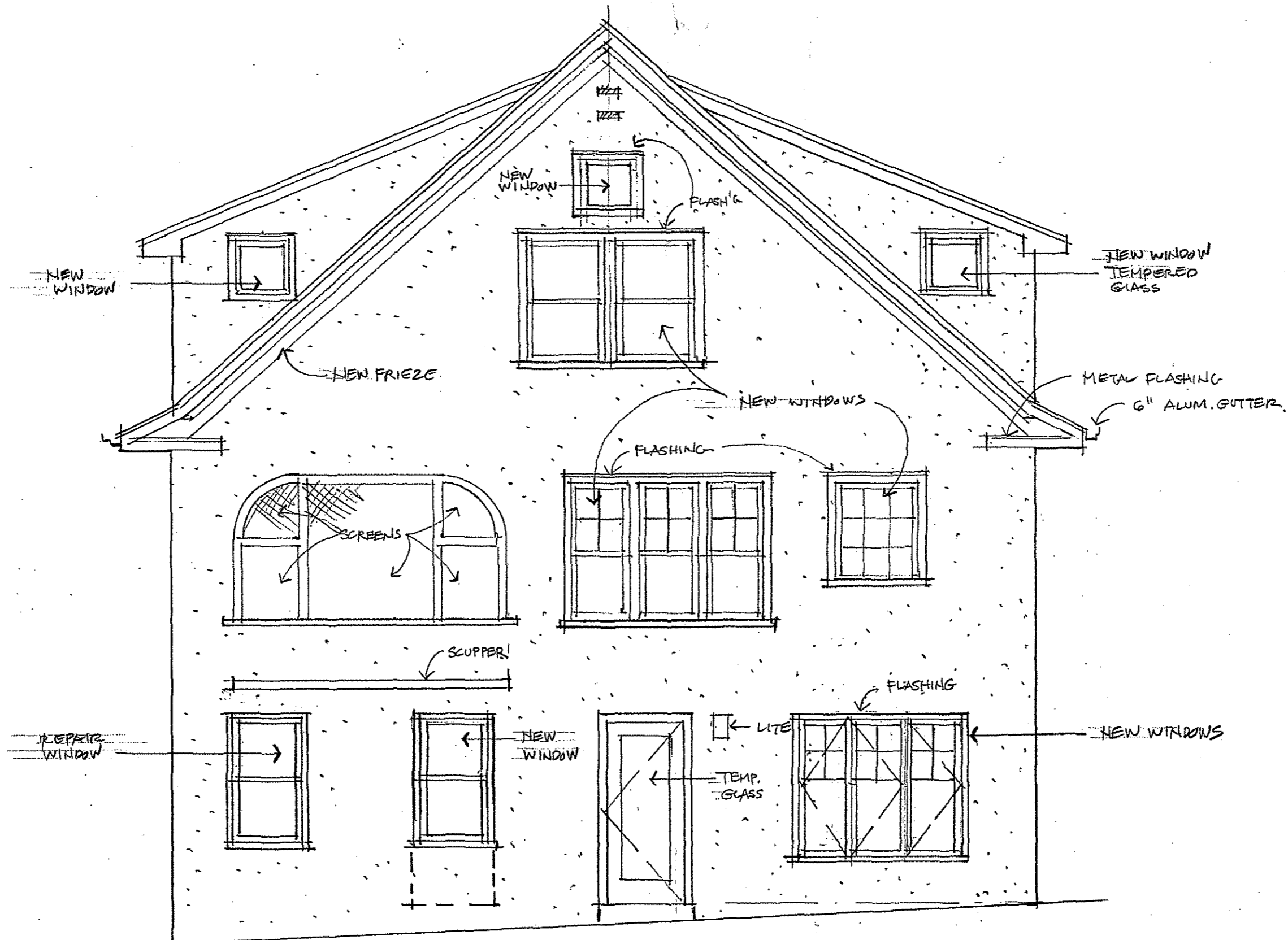
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Of

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SOUTH ELEVATION

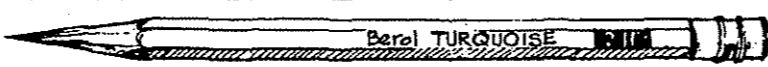


WEST ELEVATION

APPROVED
 Montgomery County
 Historic Preservation Commission
 02
 5/1/02

Paul Treseder

ARCHITECT AIA
 6320 Wiscasset Road, Bethesda, MD. 20816



(301) 320-1580

Date 3.27.02
 Scale 1/4" = 1'-0"
 Drawn
 Job
 Sheet
 of Sheets

GENERAL NOTES AND SPECIFICATIONS

1. General Conditions

- a. This project shall be built according to all applicable codes of Montgomery County.
- b. All work shall be done in workmanshiplike manner.
- c. Contractors shall obtain required permits and inspections and pay all fees thereof.
- d. Contractor shall file with owner certificates of insurance in amounts considered adequate by the owner and if applicable, the lending institution for a) public liability insurance and b) workmen's compensation.
- e. Contractor shall adequately protect all work during construction from damage, wind, rain, and cold weather. All damaged work shall be repaired at the contractor's expense.
- f. Contractor shall properly brace the structure against wind, dead and live loads until the building is completed according to plans and specifications.
- g. Construction site shall be clean at the end of each working day; construction debris shall be picked up in the yard and the floors shall be broom swept.
- h. All debris shall be removed promptly from the site by the contractor and according to all applicable county codes.
- i. Contractor shall verify all dimensions and site conditions. Any discrepancies between drawings and site conditions shall be brought to the architect's attention.
- j. Contractor shall pay all sales tax.
- k. Contractor shall be responsible for and make good any defects due to faults in labor and materials which may arise or be discovered by the owner within one year after completion of contract.
- l. Contractor shall coordinate with owner for the location a staging area.

2. Rough Carpentry

- a. All beams, posts, and repetitive members to be Hem-Fir #2 (min 1200 psi) or better or approved equal.
- b. All lumber to be kiln dried to a max of 19% moisture content.
- c. Subflooring shall be 3/4" (6 layers) for bedroom, 1" in bathroom and shall be glued and nailed, wall sheathing 1/2" (4 layers) and roof sheathing 5/8" (6 layers) ext. grade plywood.
- d. Exterior walls shall be 2x4's @ 16" o.c., interior walls 2x4's @ 16" o.c. u.o.n.
- e. header min. sizes:
for 2'0" - 3'0" opening : 2-2x6
for 3'1" - 4'0" opening : 2-2x8
for 4'1" - 7'0" opening : 2-2x10
for 7'1" - 9'0" opening : 2-2x12

3. Insulation

- a. All insulation in walls (4") and ceiling (9"+) shall be foiled fiberglass batt insulation.
- b. Insulation shall be installed behind all ducts, electrical outlets and pipes. All electrical wire penetrations to the exterior or unheated shall be sealed with non-hardening putty.
- c. Insulation shall be placed tightly around all windows and doors.

4. Roofing

Roofing shall be 30 yr GAF Timberline asphalt shingle or approved equal; color to match existing.

5. Exterior Finish

Vinyl siding to match existing in color, finish and texture. Trim to match existing.
SYN. STUCCO

6. Gypsum Board

All walls and ceilings shall receive 1/2" gypsum board. In bathroom all walls at shower above 6' and ceiling and area around tub and behind lavatory shall receive waterproof gypsum board and at shower below 6' (all walls) 1/2" concrete panel.

7. Finishes

- a) ceramic tile on floor, shower area, and around tub in bathroom.
- b) study and W.I.C.: pine flooring to match existing on second floor as close as possible.

8. Doors

Interior doors to match existing in style.

9. Windows

The windows shall be wood, insulated, double hung with screen, standard finish, white outside, by Weathershield or approved equal. Sizes to match existing dormer. LOW E, GLAD, TILT Skylight by Velux; clear insulated tempered laminated glass; bronze enameled frame. For sizes see drawings. LOW E.

10. Interior Trim and Painting

All interior trim to match existing in size; no clam moulding. All trim to be filled and sanded before being painted. All joints to be caulked with silicone caulking.
Paint Manufacturer: Duron or approved equal.
Walls and Ceiling: 1 coat latex primer, 2 coats finish latex flat
Wood Work: 1 coat latex semi-gloss primer, 2 coats finish semi-gloss.
Color to be selected by owner.

11. Plumbing

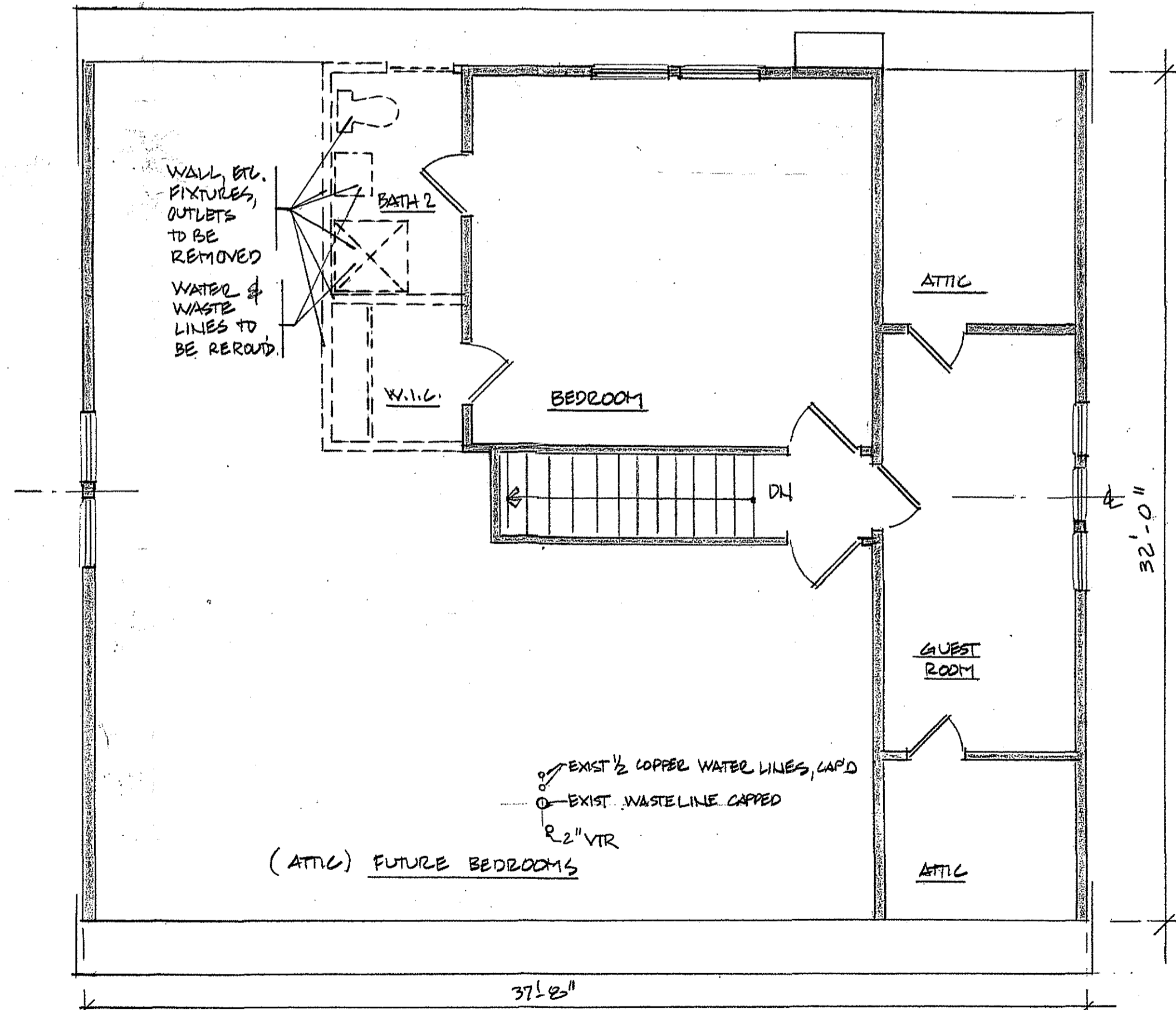
Toilet: Kohler, 1.6 gal flush white
Sink: Kohler, manufactured marble as part of countertop
Shower: 36"x36" prefab drainboard w/ glass shower door
Tub: acrylic 6' whirlpool
Faucets: chrome over brass; to be selected; Delta or approved equal.
H & C waterlines: 1/2" Copper; waste, PVC.

12. Heating/ Cooling

New system: FOR COOLING Frigidaire thru the wall heatpump. FOR HEATING: INSTALL RADIATORS IF EXIST'G SYSTEM ALLOWS.

13. Electrical

See Drawings for style of fixtures. Verify if panel needs to be upgraded to 200amp.



DEMOLITION PLAN (SECOND FLOOR)

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]
RDZ 8/21/01

NICOLA HAIN ARCHITECT
3905 NICHOLSON ST
HYATTSVILLE MD. 20782
301.927.4937
301.779.3850 FAX

SPECIFICATIONS
DEMOLITION PLAN

THOMPSON DORMER
7330 PINEY BRANCH RD
TAKOMA PARK MARYLAND

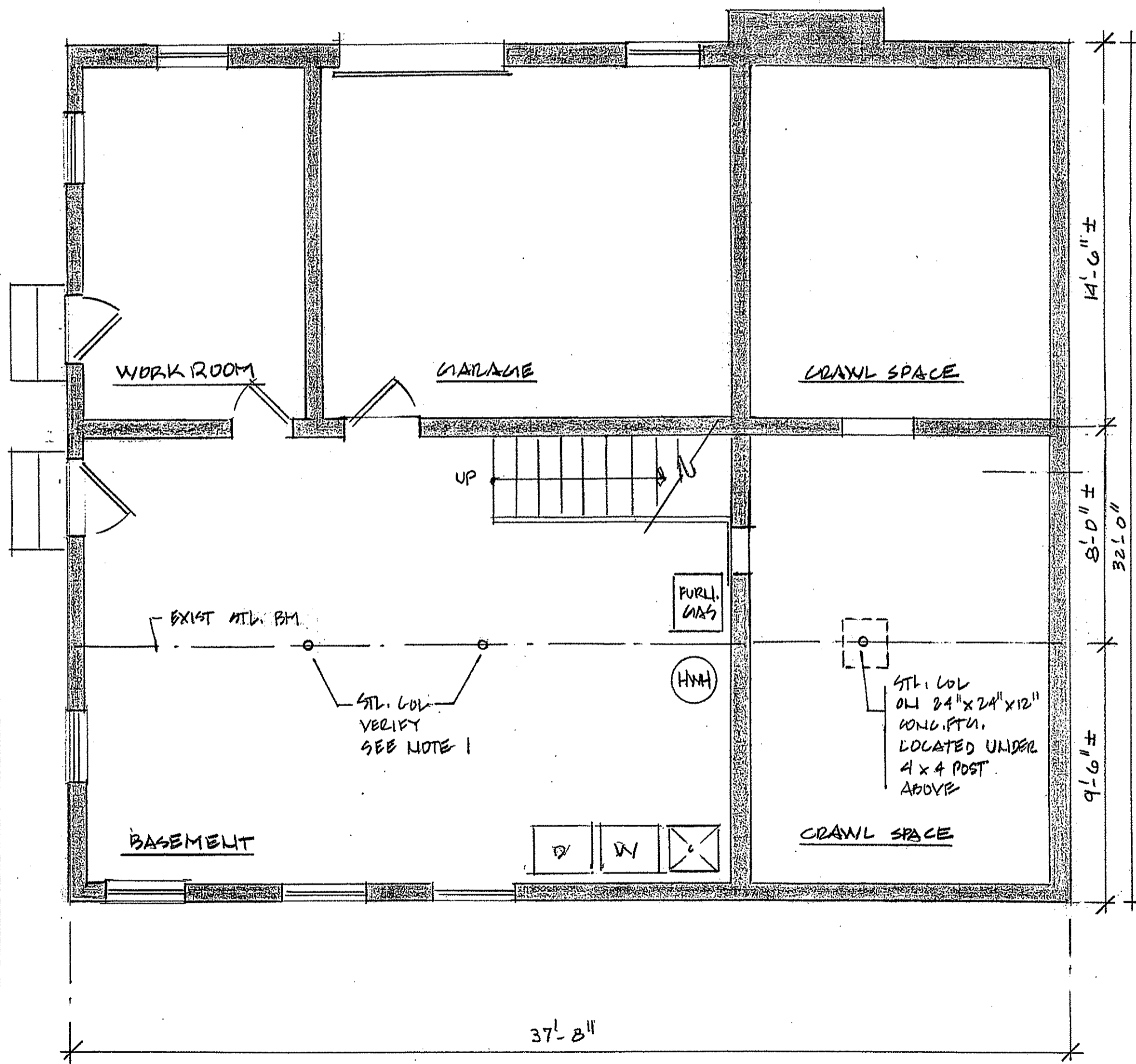
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JULY 23, 2001

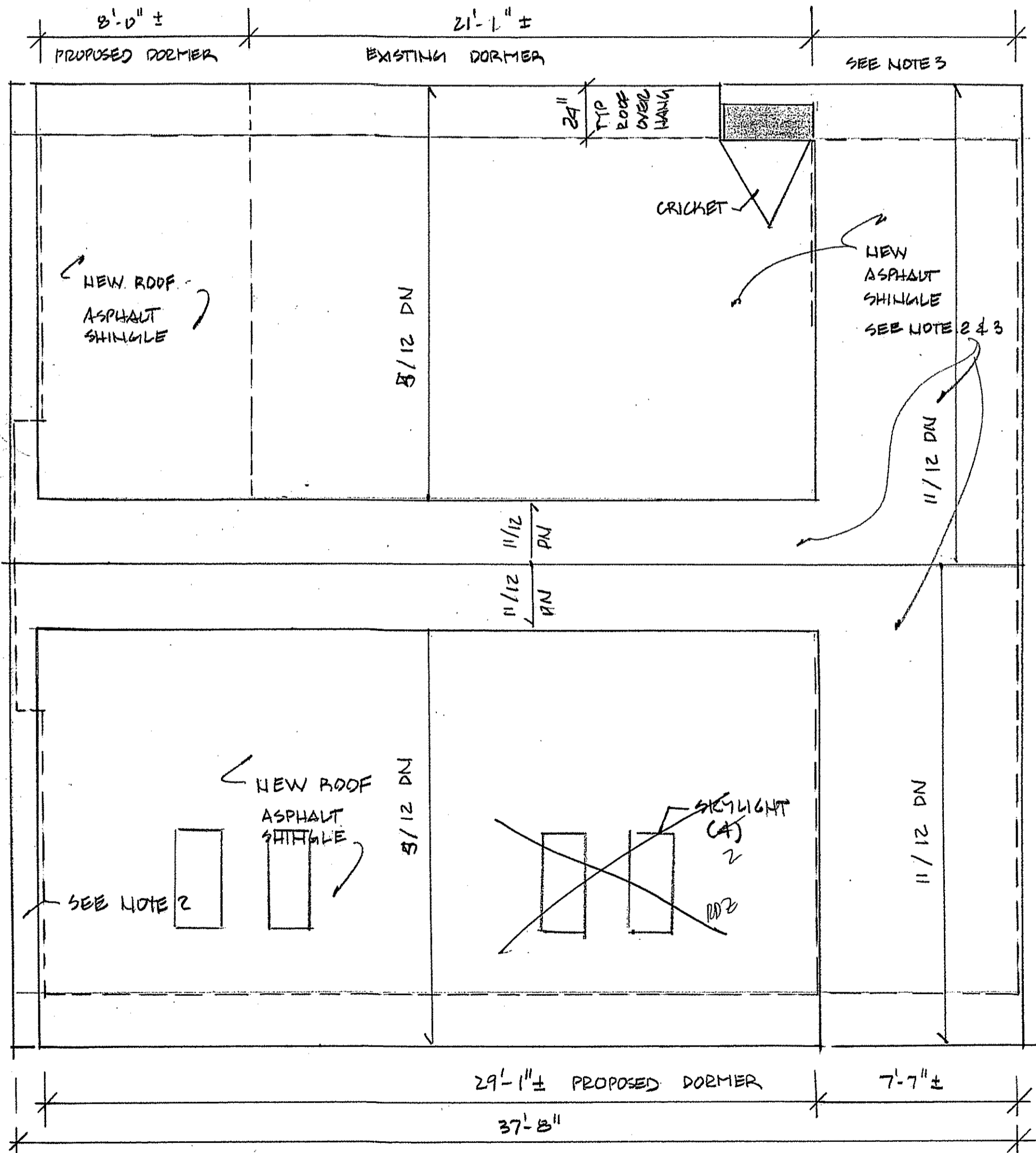
AI
1 of 8

NOTES:

1. VERIFY IF EXIST STL. COL'S LINE UP W/ NEW 4x4 POSTS ABOVE. IF DO NOT LINE UP, PLACE NEW 3 1/2" x 24" x 24" x 12" CONC. FTN W/ 2 #5 REBAR EACH WAY.
2. REPAIR SHEATH'G & RAFTERS AS NEEDED DUE TO WATER DAMAGE.
3. REMOVE EXIST BUILDING FELT & SHINGLES. INSTALL NEW PAPER FELT & ASPHALT SHINGLES.



BASEMENT PLAN



ROOF PLAN

NICOLA HAIN ARCHITECT
 3905 NICHOLSON ST
 HYATTSVILLE, MD. 20782
 301.927.4937
 301.771.3850 FAX

PAYEMENT PLAN
 ROOF PLAN

THOMPSON DORMER
 7330 PINNEY BRANCH RD
 TAKOMA PARK MARYLAND

1/4" = 1'-0"

JULY 23, 2001

A2

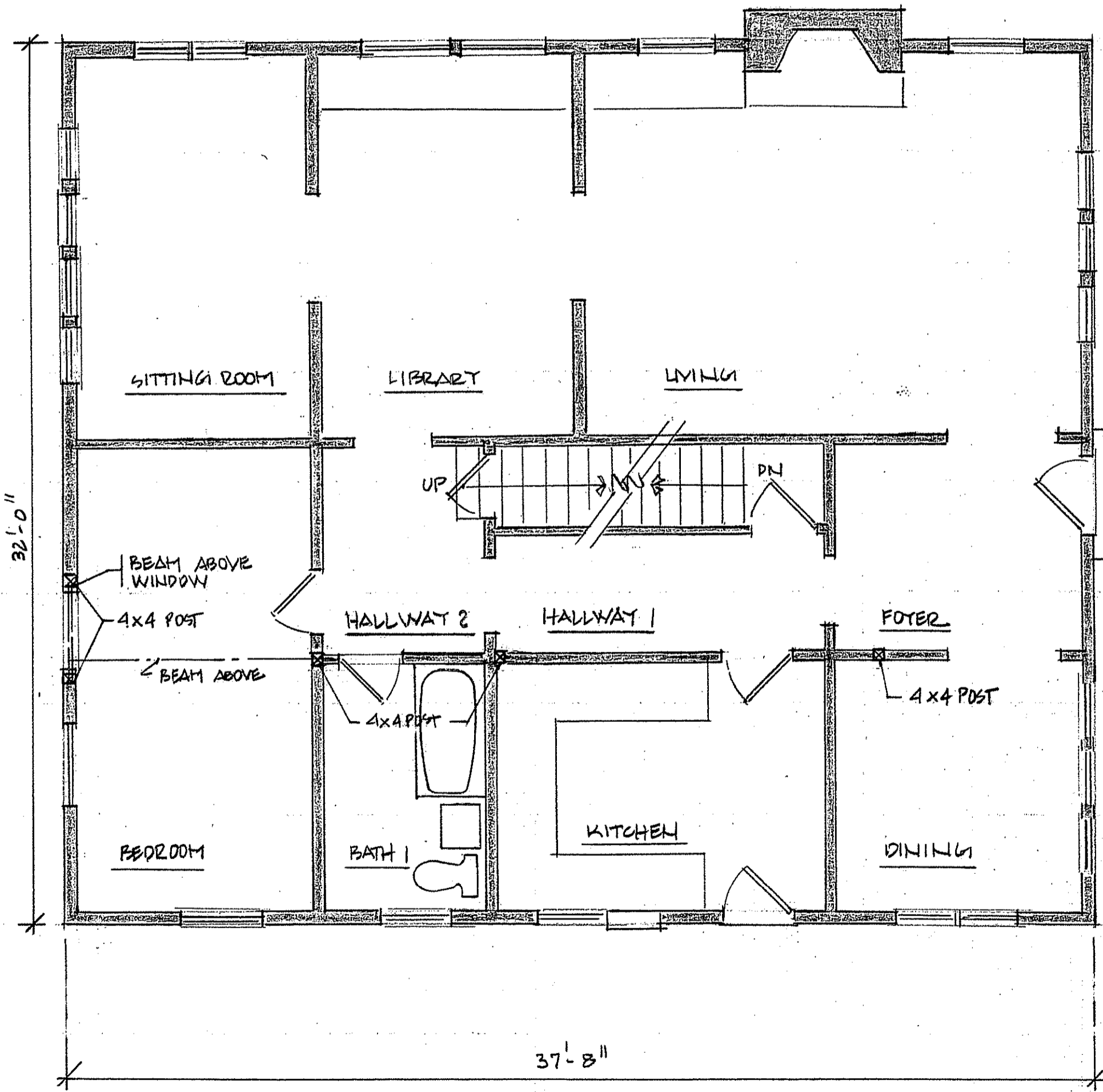
2 OF 8

APPROVED
 Montgomery County
 Historic Preservation Commission

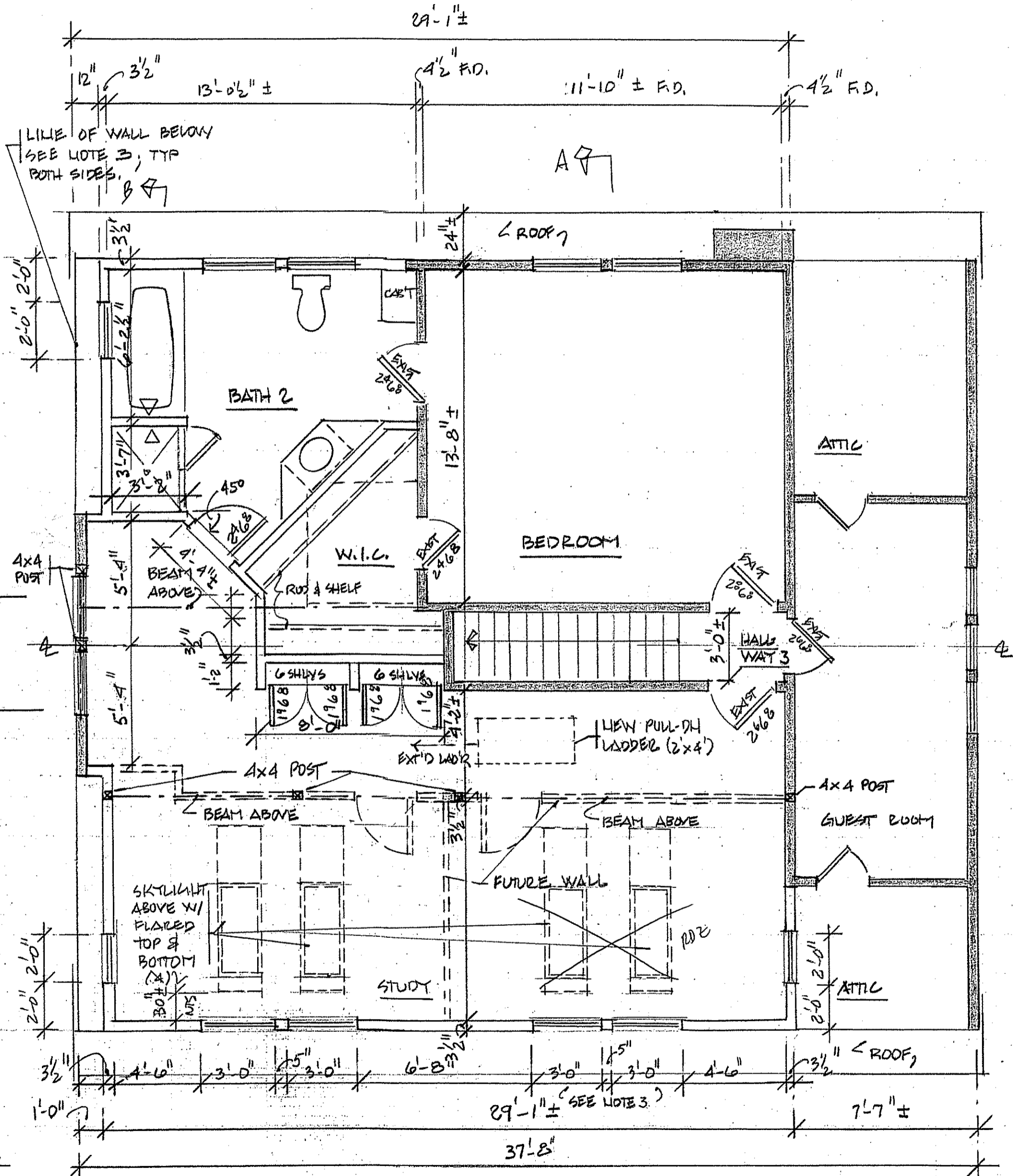
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 8/21/01

NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS & SITE CONDITIONS.
2. EXIST WALL
 PROPOSED WALL
 FUTURE WALL
3. DORMER IS TO BE BUILT 12" FROM FACE OF EXIST WALL BELOW.



FIRST FLOOR PLAN



SECOND FLOOR PLAN

NICOLA HAIN ARCHITECT

3705 NICHOLSON ST
HYATTSVILLE MD 20782
301.927.4127
301.774.3950 FAX

FIRST FLOOR PLAN
SECOND FLOOR PLAN

THOMPSON DORMER
7330 PILLEY BRANCH RD
TAKOMA PARK MARYLAND

1/4" = 1'-0"

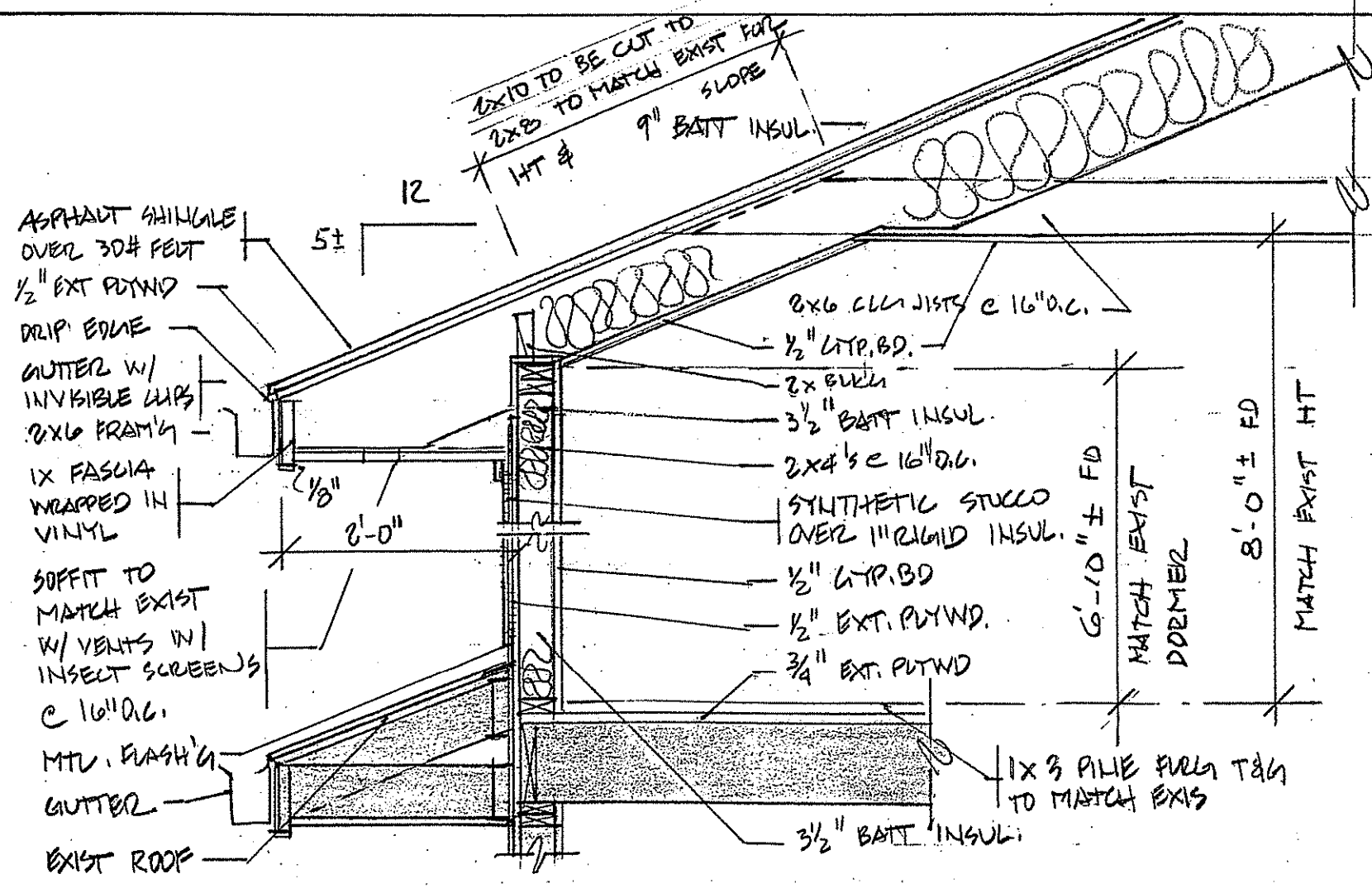
JULY 23, 2001

A3

3 OF 8

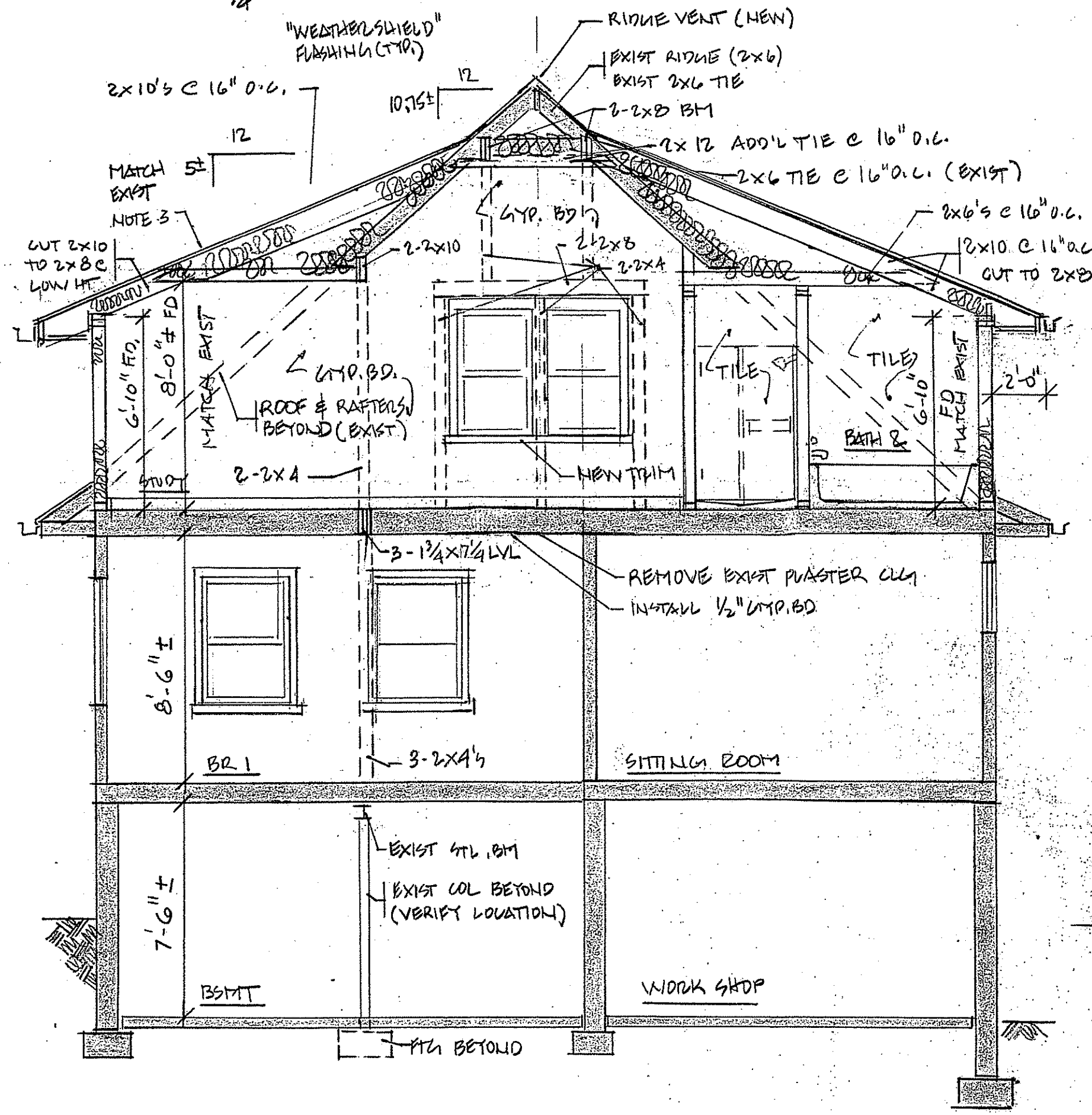
APPROVED
Montgomery County
Historic Preservation Commission

256
8/21/01

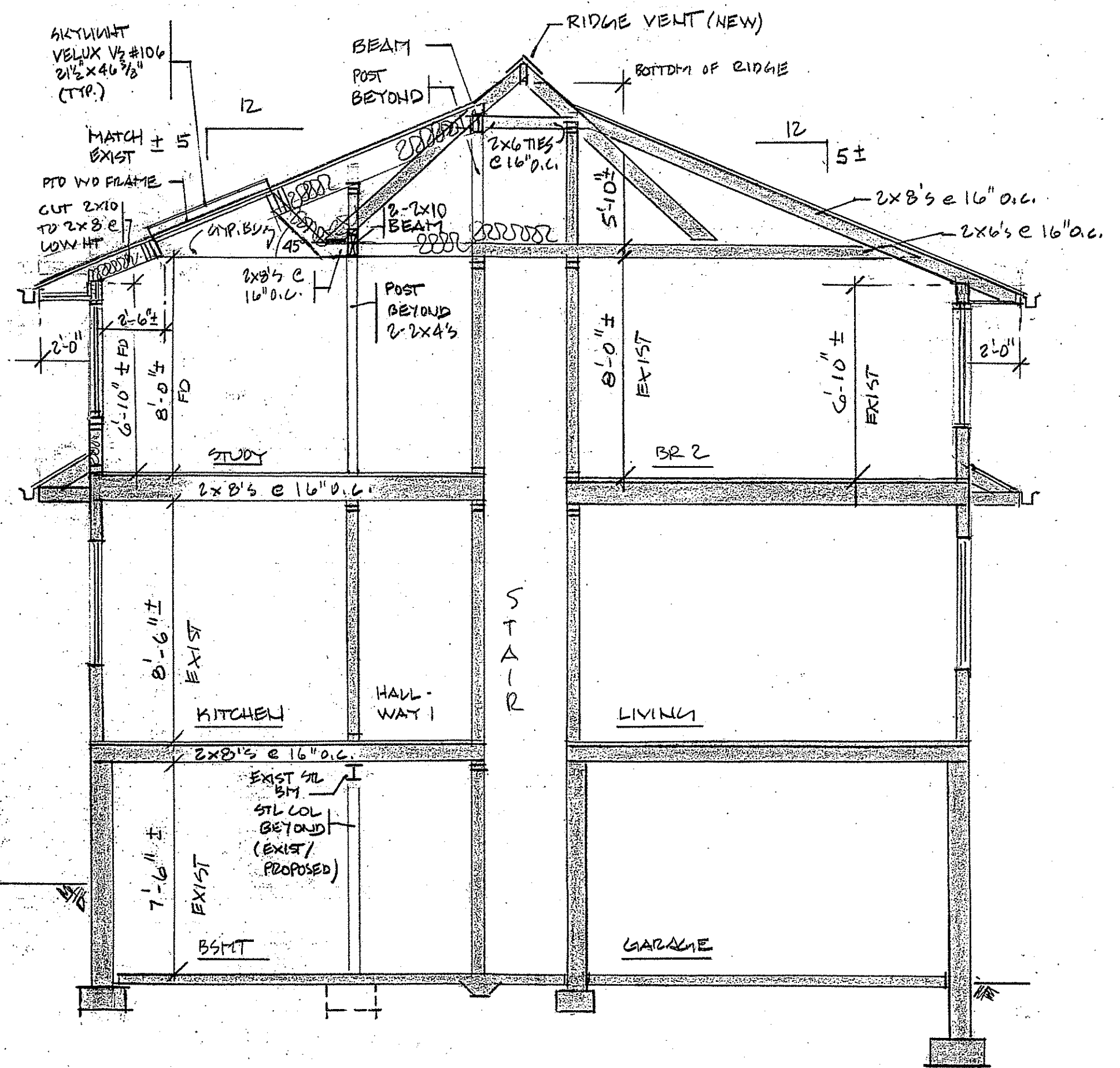


WALL SECTION

3/4" = 1'-0"



SECTION BB



SECTION AA

- NOTES:
1. CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS & DIMENSIONS;
 2. EXIST WALL
 PROPOSED WALL
 3. INTERT: NEW DORMER TO MATCH EXIST IN SIZE, SLOPE OF ROOF, EXTERIOR FINISH, & WINDOW STYLE & SIZE, & COLOR.
 4. FD = FINISHED DIMENSION

NICOLA HAIN ARCHITECT
3905 NICHOLSON ST
HYATTSVILLE MD 20782
301.927.4937
301.771.3850 FAX

SECTIONS
WALL SECTION

THOMPSON DORMER
7330 PINEY BRANCH RD
TAKOMA PARK MARYLAND

3/4" = 1'-0"
JULY 23, 2001

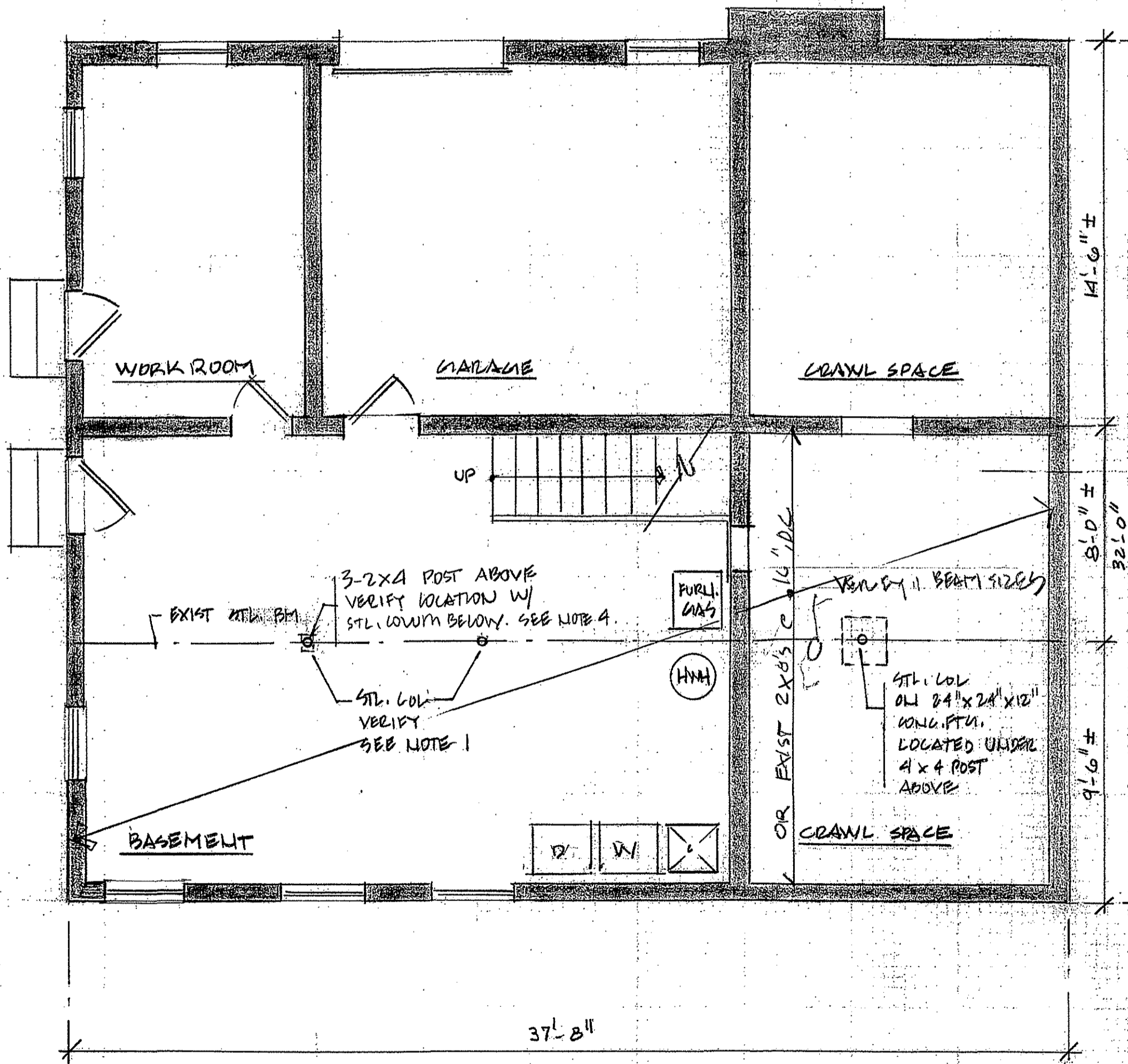
A5
5 OF 8

APPROVED
Montgomery County
Historic Preservation Commission

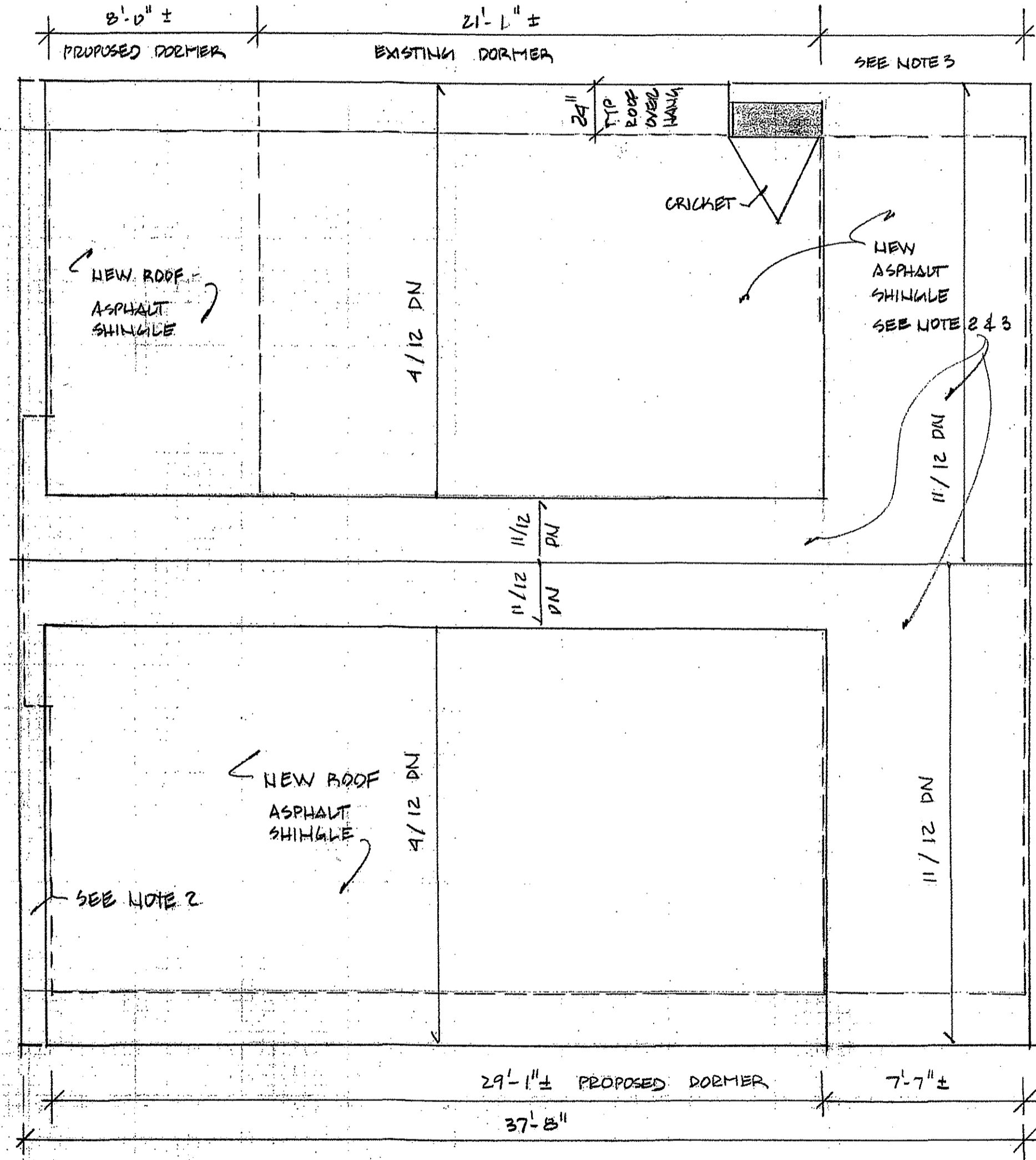
RDB 8/21/01

NOTES:

1. VERIFY IF EXIST STL. COL'S LINE UP W/ NEW 4x4 POSTS ABOVE. IF DO NOT LINE UP, PLACE NEW 3 1/4" STL. COL W/ 24" x 24" x 12" CONC. FTN W/ 2 #5 REBAR EACH WAY.
2. REPAIR SHEATH'G & RAFTERS AS NEEDED DUE TO WATER DAMAGE.
3. REMOVE EXIST BUILDING FELT & SHINGLES. INSTALL NEW PAPER FELT & ASPHALT SHINGLES.
4. IF 3-2x4 POST IS MORE THAN 12" FROM E OF STL. COL, VERIFY & CONTACT ARCHITECT.



BASEMENT PLAN/FIRST FLOOR FRAMING



ROOF PLAN

NICOLA MAIN ARCHITECT
 3905 NICHOLSON ST
 HYATTSVILLE, MD 20782
 301.977.4937
 301.771.3850 FAX

BASEMENT PLAN
 ROOF PLAN
 FRAMING PLANS

THOMPSON DORMER
 7330 PINEY BRANCH RD
 TAKOMA PARK MARYLAND

1/4" = 1'-0"

JULY 23, 2001

SI

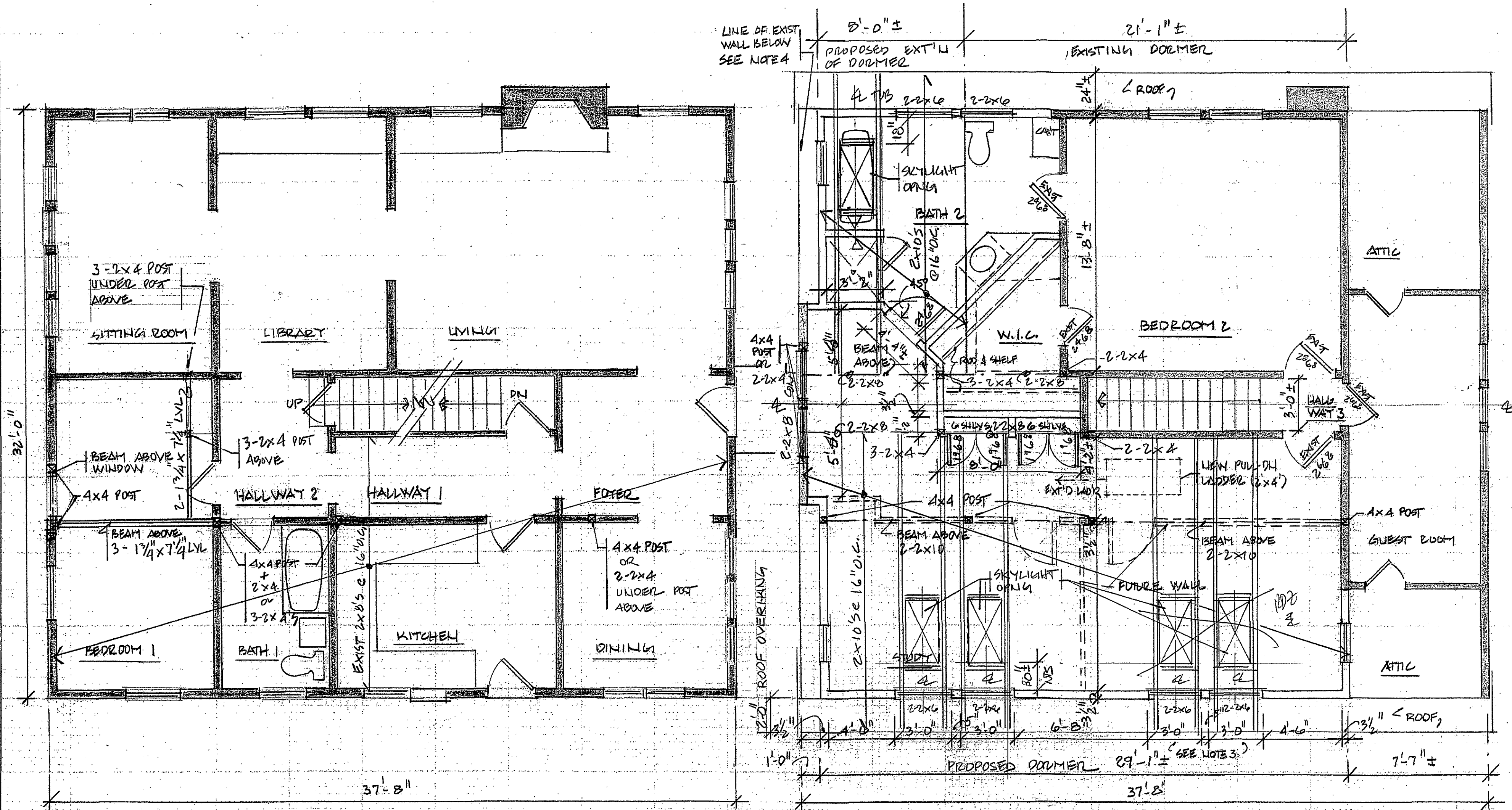
6 OF 8

APPROVED
 Montgomery County
 Historic Preservation Commission

RDZ
 8/21/01

NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS & SITE CONDITIONS.
2. EXIST WALL
 PROPOSED WALL
 FUTURE WALL
3. VERIFY W/ARCHITECTURAL DWGS FOR CHANGES
4. PROPOSED DORMER WALL IS TO BE BUILT 12" IN FROM FACE OF EXIST WALL.



FIRST FLOOR PLAN / SECOND FLOOR FRAMING

SECOND FLOOR PLAN / ROOF FRAMING

NICOLA HAIN ARCHITECT
 3905 NICHOLSON ST
 HYATTSVILLE MD 20882
 301-927-4437
 301-774-3950 FAX

FIRST FLOOR PLAN
 SECOND FLOOR PLAN
 FRAMING PLANS

THOMPSON DORMER
 7330 PILLEY BRANCH RD
 TAKOMA PARK MARYLAND

1/4" = 1'-0"
 JULY 23, 2001

APPROVED
 Montgomery County
 Historic Preservation Commission

 PDE
 8/21/01

S2
 7 OF 8

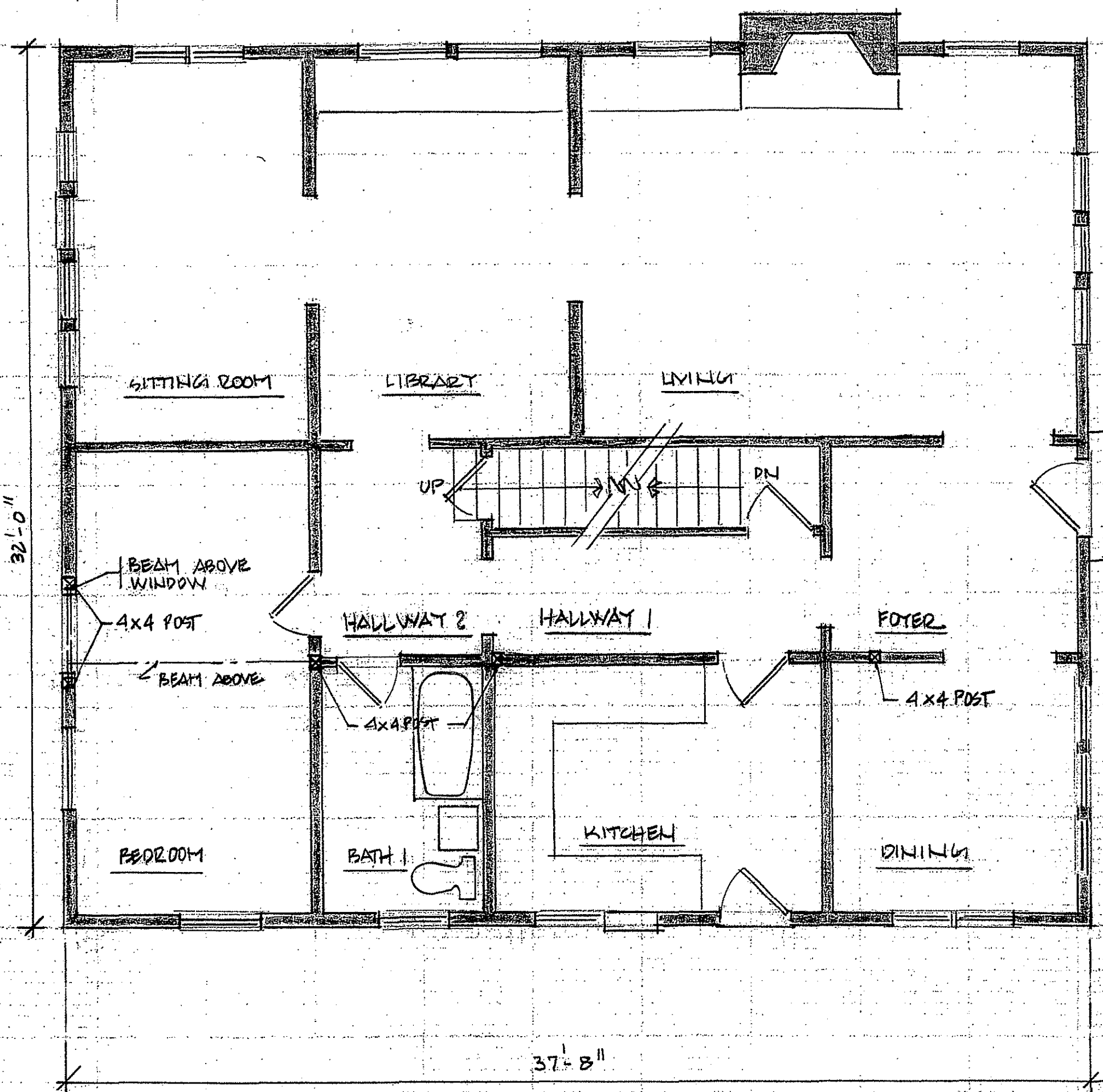
NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS & SITE CONDITIONS.

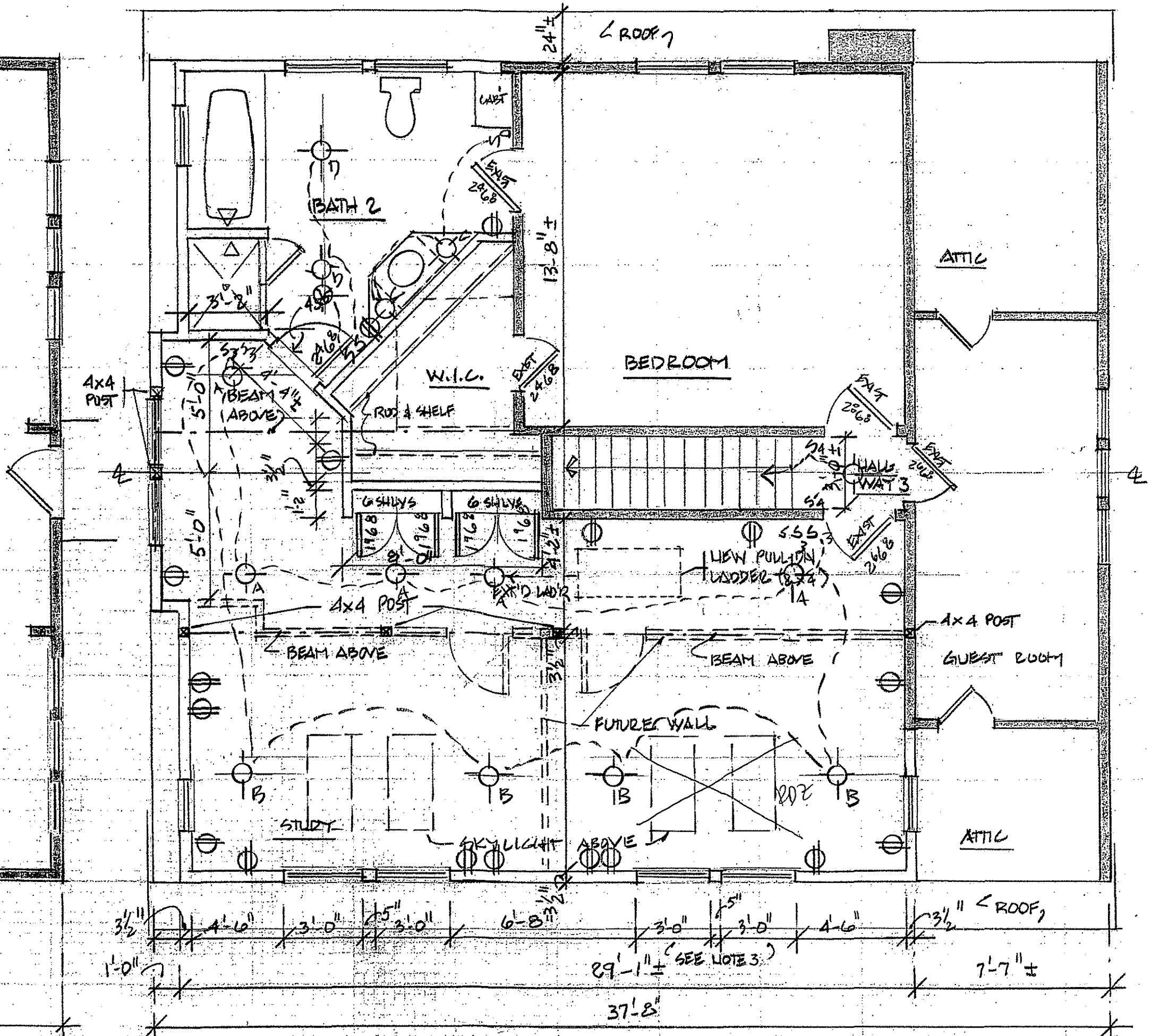
- 2. ——— EXIST WALL
- PROPOSED WALL
- FUTURE WALL

3. SYMBOLS

- ⊙ RECESS DN LIGHT FIXT
- ⊙ 2x4 FLOORS "
- ⊙ WALL FIXTURE "
- ⊙ CEN MTD " (VAPOR PROOF)
- ⊙ EXHAUST FAN
- S SINGLE POLE SWITCH
- SD SWITCH W/ DIMMER
- S₂ THREE-WAY SWITCH
- S₄ FOUR-WAY SWITCH
- ⊕ DUPLEX OUTLET (110V)



FIRST FLOOR PLAN



SECOND FLOOR PLAN

NICOLA HAIN ARCHITECT
 3905 NICHOLSON ST
 HYATTSVILLE MD 20782
 301.927.4927
 301.774.3950 FAX

FIRST FLOOR PLAN
 SECOND FLOOR PLAN
 ELECTRICAL

THOMPSON DORMER
 7330 PINEY BRANCH RD
 TAKOMA PARK MARYLAND

1/4" = 1'-0"
 JULY 23, 2001

APPROVED
 Montgomery County
 Historic Preservation Commission
 [Signature]
 PDZ
 8/21/01

E1



DEPARTMENT OF HOUSING AND COMMUNITY AFFAIRS

Douglas M. Duncan
County Executive

Elizabeth B. Davison
Director

FAX

DATE: 2-5-01 NUMBER OF PAGES: 4
(excluding this one)

TO: ROBIN ZIEK PHONE NUMBER: 301-563-3408
FAX NUMBER: 301-563-3412

FROM: ROBBY REU PHONE NUMBER: 240-777-3738
FAX NUMBER: 240-777-3701

COMMENTS: _____

Division of Housing & Code Enforcement
100 Maryland Avenue, Room 260, Rockville, MD 20850

Silber & Perlman, P.A.

ATTORNEYS AT LAW

JAN 24 2001

Susan Silber
Linda S. Perlman
Kristine D. Brown
Kenneth T. Sigman
◆ ADMITTED IN MARYLAND ONLY

7000 Carroll Avenue, Suite 200
Takoma Park, Maryland 20912-4437

(301) 891-2200
Fax: (301) 891-2206

Practicing in
Maryland and the
District of Columbia

WRITER'S E-MAIL:
PERLMAN@SP-LAW.COM

January 23, 2001

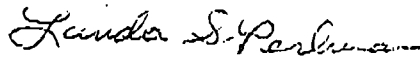
Robert A. Bell, Jr.
Housing Code Inspector
Department of Housing and Community Affairs
100 Maryland Ave., 4th Floor
Rockville, MD 20850

Re: 7330 Piney Branch Road, Takoma Park, MD 20910
Owners: James Welu and Maureen Thompson
Your Case: 25639

Dear Bobby:

Enclosed is a copy of the Order for Abatement signed by Judge Vaughney of the District Court of Maryland for Montgomery County on January 23, 2001. As you can see, the Order grants James Welu ninety (90) days to correct the violations at 7330 Piney Branch Road. Thanks for the information you provided to me on this case.

Sincerely,



Linda S. Perlman
Asst. City Attorney
City of Takoma Park

Enclosure.

FAWPD0CS\TAKOMA\WELU\BELL.LTR

IN THE DISTRICT COURT OF MARYLAND FOR MONTGOMERY COUNTY

CITY OF TAKOMA PARK

Plaintiff

v.

JAMES WELU

Defendant

Citation Nos. 4233487864 MI

6233487852 MI

RECEIVED

JAN 23 2001

ORDER FOR ABATEMENT

COURTROOM STAFF
DISTRICT COURT #6

Upon consideration of the verified citations filed herein and any evidence presented at trial in this case, the Court finds that Defendant has committed the violations of the *Takoma Park Code* stated in the above-referenced citations and that the Plaintiff, City of Takoma Park, is entitled to this Order of Abatement pursuant to *Annotated Code of Maryland*, Art. 23A, §3, and it is, therefore, this 23rd day of January, 2001, by the District Court of Maryland for Montgomery County:

ORDERED that the Defendant shall refrain from further violations of the *Takoma Park Code*; and it is further

ORDERED that the Defendant shall take action to correct the violations mentioned and contained in the above-referenced citations at the property known as 7330 Piney Branch Road, Takoma Park, Maryland 20912 which constitute continuing violations of City of Takoma Park law, namely:

- (1) Repair or replace roof structure;
- (2) Repair or replace gutters and/or soffit boards;
- (3) Remove all accumulations of trash and debris (including ~~wood piles~~ ^{removing all tree stumps}) from all sides of the property;
- (4) Remove or cut uncontrolled growth of vegetation on all sides of the property; and
- (5) Remove uncontrolled vines/vegetation growth from sides of the house.

ORDERED, that the Defendant shall comply with this Order within ^{ninety (90)}~~thirty (30)~~ days after the date this Order is served on the Defendant; and it is further

ORDERED, that the Defendant shall obtain all required Historic Area Work Permits, building and other permits required for roof, gutters, and soffit board replacements at 7330 Piney Branch Road, Takoma Park, Maryland 20912 and shall complete all repairs and replacements in a good and workmanlike manner and in compliance with all applicable codes and standards; and it is further

ORDERED, that representatives of the City of Takoma Park shall be permitted to enter and inspect the property located at 7330 Piney Branch Road, Takoma Park, Maryland 20912, to verify that the terms of this Order have been complied with; and it is further

ORDERED, that if the Defendant fails to abide by this Order, the Plaintiff, City of Takoma Park, has permission to enter the property located at 7330 Piney Branch Road, Takoma Park, Maryland 20912, and correct or remove the violations; and it is further

ORDERED, that if the Plaintiff, City of Takoma Park, abates any code violations upon the Defendant's property mentioned above pursuant to *Annotated Code of Maryland*, Art. 23A, §3(b)(8), the Plaintiff, City of Takoma Park, shall send the Defendant a bill for the cost of abatement by regular mail to the Defendant's last known address or by any other means reasonably calculated to bring the bill to the Defendant's attention; and it is further

ORDERED, that if the Defendant does not pay the bill within 30 days after it is presented, the Plaintiff may file a verified statement of the costs of abating the violations with the Court and the Court shall enter a judgment against the Defendant for the cost of the abatement; and it is further

ORDERED, that once the Court has entered a judgment against the Defendant for the cost of abating the violations, the Plaintiff may enforce the judgment in the same manner as any other civil judgment for money, or collect the judgment in the same manner as it collects real property taxes.

FAILURE TO COMPLY WITH THIS ORDER IS PUNISHABLE AS A CONTEMPT OF COURT.



Judge
District Court of Maryland for Montgomery County

FAWPDOCS\TAKOMA\WELUHSG-ABAT.ORD

6/21/00

Get for Venita:

~~7330~~ DNR # for local chapter 301-258-7308

Raccoon problem - grocery shopping to neighbors!

7330

7332 Piney Branch

7303 ~~Eastern Ave~~ Piney branch (Beick ~~A~~ B)

7307 Piney Branch.

Call Maureen Mangson to remind her we are waiting for a schedule for the work - by July 1.

Get for Venita:

Call with phone # for } Maureen Mangson 301-926-0291
 } James Walsh

Call Lorraine Pearssall about buying property & flipping it - as a non-profit -

Meeting with Bobby Bell (county inspector) + Venita
George (Cov. Tak. PK. Housing Insp. Supv.)
✓ Tim (T.P. Housing inspector)



DEPARTMENT OF HOUSING AND COMMUNITY AFFAIRS

Douglas M. Duncan
County Executive

Elizabeth B. Davison
Director

May 10, 2000

James A. and M. T. Welu
811 Thayer Avenue
Silver Spring, Maryland 20910

Case Number: 25639
Location: 7330 Piney Branch Road
Takoma Park 20912

Dear Mr. and Mrs. Welu:

An inspection of a vacant dwelling located at the above-referenced address, was conducted on April 18, 2000 by Housing Code Inspector Robert A. Bell, Jr. Tax assessment records indicate that you are the owner of the property, which is described as:

Lot P16 in Block 11 in a subdivision known as "BRASHEARS SUB" and further described in a deed recorded among the Land Records of Montgomery County MD in Liber 4101 at folio 471. Parcel ID: 13-25-1076631.

This property is located within the Takoma Park Historic District as designated by the Maryland National Capital Park and Planning Commission's Historic Preservation Office and is identified as Site #37/3 on the Master Plan for Historic Preservation. Therefore, this property is protected by Chapter 24A of the Montgomery County Code, entitled *Preservation of Historic Resources*.

The inspection revealed conditions which constitute Demolition By Neglect as defined in Chapter 24A and must be corrected to halt further deterioration. Section 24A-9 defines "Demolition by Neglect" as the failure to provide ordinary and necessary maintenance and repair to an historic site or an historic resource within an Historic District, whether by negligence or willful neglect, purpose or design, by the owner or any party in possession of the site or resource which results in any of the following conditions:

The deterioration of exterior features so as to create or permit a hazardous or unsafe condition to exist; and,

Division of Housing and Code Enforcement

Code Enforcement	Moderately Priced Dwelling Unit	Housing Development and Loan Programs	Landlord-Tenant Affairs
FAX 240/777-3701	FAX 240/777-3709	FAX 240/777-3691	FAX 240/777-3691

100 Maryland Avenue, 4th Floor • Rockville, Maryland 20850 • 240/777-3600, TDD 301/217-3679

Website: www.co.mo.md.us/hca

Mr. and Mrs. Welu
May 10, 2000
Page Two

The deterioration of exterior walls, roofs, chimneys, windows, the lack of adequate waterproofing or deterioration of interior features or foundations which will or could result in permanent damage, injury or loss of or to the exterior features

This is a Notice and Order to correct the conditions evidenced at this property and deemed "Demolition by Neglect." Enclosed is a list of violations identified as Addendum "A", that outlines and explains the exact nature of the repairs, maintenance and remedial action necessary to stabilize this structure and prevent further deterioration. All repairs must commence within thirty (30) days of your receipt of this Notice and be satisfactorily completed by July 17, 2000. Addendum "A" constitutes a part of this Notice and Order and is incorporated by reference.

In the event the corrective action specified in this Notice and Order is not completed by, the County will make arrangements to do the work and you will be billed for the entire cost and this debt will be collected in any way legally available to the County. Furthermore, failure to comply will constitute a violation of Chapter 24A of the Montgomery County Code and subject you to a \$250 fine and each day the violation continues to exist constitutes a separate offense.

You have the right to appeal this Notice and Order by requesting a hearing from the Historic Preservation Commission within ten days of your receipt of this Notice. Address your request to the Historic Preservation Commission, Maryland-National Capital Park and Planning Commission, ATTENTION: Gwen Wright, 8787 Georgia Avenue, Silver Spring, Maryland 20910. For further information, you can reach Ms. Wright at 301-563-3400.

If you have any questions, or wish to discuss this matter further, please call Inspector Bell at 240-777-3738.

Sincerely,
Joseph T. Giloley
Joseph T. Giloley, Chief
Division of Housing and Code Enforcement

JTG:wlb
S:\DHCD\REGSERV\CODEENF\Demolition\7330PineyBranch.doc
Enclosure

VIA REGULAR & CERTIFIED MAIL

ADDENDUM "A"
List of Violations

Location: 7330 Piney Branch Road

Date of Inspection: 4/18/00

1. Repair or replace the deteriorated roof trusses and sub-roofing to restore structural integrity and good repair. *Montgomery County Code, 1997, as amended, Section 26-8(a).*
2. Replace the missing area of tiles on the roof. All repair work must adequately secure the replacement roofing material and prevent water from entering the dwelling. *Montgomery County Code, 1997, Section 26-8(b).*
3. Repair or replace the deteriorated gutter boards and/or soffit boards and restore surface finishes to match surrounding areas. *Montgomery County Code, 1997, Section 26-8(g).*
4. Repair or replace the deteriorated, loose, or leaking components of the gutter and downspout system and remove any obstructions as necessary to provide a system that will properly conduct storm water away from the structure. *Montgomery County Code, 1997, Section 26-8(f).*
5. Replace the missing, broken or cracked window glass. *Montgomery County Code, 1997, 26-8(b)*
6. Repair or replace the deteriorated area of stucco siding. The replacement siding must closely match the original and must be properly installed in order to provide a weathertight exterior surface. *Montgomery County Code, 1997, Section 26-8(a).*
7. Remove the vegetation growth from the siding. *Montgomery County Code, 1997, as amended, Section 26-10(j).*
8. Remove all accumulations of trash, rubbish (including abandoned vehicles), debris, refuse and garbage scattered about the grounds. Maintain the grounds in a clean condition on a continuing basis. A regular and routine maintenance effort must be instituted, and continued, to prevent the accumulation of trash and debris. More frequent or improved trash and garbage collection may be an important factor, but there is an apparent necessity for supervised cleaning and maintenance on a routine, scheduled and frequent basis. *Montgomery County Code, 1997, Section 26-10(a)(2).*
9. Cut the tall grass and/or weeds (and maintain on a continuing basis) before they grow to a height of twelve (12) inches. *Montgomery County Code, 1997, Section 26-10(h).*
10. Remove the stack of wood from the right side of the house. *Montgomery County Code, Section 48-24(b).*

Sender: Downing

Thanks for updated language from Venita. I will keep a copy with my mark-up version of the Draft Master Plan; and, will dispose of John Urciolo version.

Date for public hearing has not been set by County Council; I believe that mid July may be possible, since Council is to set a date at their June 6 meeting.

After the hearing date is set, then the City should send a letter for the Master Plan record to:

The Honorable Michael L. Subin
President, Montgomery County Council
Stella B. Werner Council Office Building
100 Maryland Avenue
Rockville, Maryland 20850

301-762-

5689

CASE # 25683

6811 Eastern Ave
Takoma Park, Md

12700 CIRCLE DR.

ROCKVILLE, MD

20850-3713

05/23/00

Gwen Wright
Hist. Pres. Comm

I request a hearing from the
Historic Preservation Comm on case
no 25683.

James J. Rast

JAMES J. RAST

J. R. Ray
12700 Circle Dr.
Rockville Md 20850-3713

PLACE STICKER AT TOP OF ENVELOPE
TO THE RIGHT OF RETURN ADDRESS.
FOLD AT DOTTED LINE

CERTIFIED MAIL



7099 3220 0004 6302 7701

U.S. POSTAGE
PAID
TRKDOR PARK, MD
MAY 23 1990
RMCJNT
\$1.73
00017923-02

Historic Pres. Comm
Md. - Nat. Cap. Park & Plan. Comm

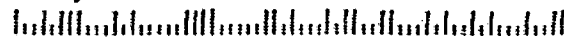
8787 Gar Ave.

Silver Spring, Md.

20910

Attn:
Gwen Wright

20910/3760



Robin
F.Y.I. - info from the
city - in your files
on this project
Lou DiDuro
77 7.7922

From: Linda Mckenzie
To: Wayne Hobbs
Date: Thu, Mar 30, 2000 10:11 AM
Subject: Tax Sale Process

Spoke with the Tax Sale Expert from Montgomery Co.

When a property is sold at tax sale the owner has ~~six~~ ^{2 years} months to redeem the property. If the owner does not redeem their property the

purchaser has two years to actually take ownership of the property. However the property will go back to the owner if the purchaser does not take over the ownership. (In other words the purchaser actually paid the taxes for the owner for that tax year.) Clear as mud?

Larry:

House was sold at Tax Sale in June 98.
Owner can redeem the property within two
years (June 00). If not the person who
bought it at Tax Sale can foreclose or it
goes back to tax sale.

According to Linda Penland, it does not even
become legally abandoned. (She is checking further.)

I will continue to monitor and explore
possible solutions.

Steve 3/30/00

 <p>Real Property Information</p>	<p>Maryland Department of Assessments and Taxation</p> <p>Real Property System</p>
---	---

[\[Go Back\]](#)

MONTGOMERY COUNTY

[\[Start Over\]](#)

DISTRICT: 13 ACCT NO: 01076631

Owner Information

Owner Name: WELU, JAMES A & M T Use: RESIDENTIAL
 Mailing Address: 7330 PINEY BRANCH ROAD Principal Residence: YES
 TAKOMA PARK MD 20912

Transferred

From: Date: 09/20/1971 Price: \$25,500

Deed Reference: 1) / 4101 / 471 Special Tax Recapture:

2)

* NONE *

Tax Exempt: NO

Location Information [\[View Map\]](#)

Premises Address: Zoning: Legal Description:
 7330 PINEY BRANCH RD R60 BRASHEARS SUB
 TAKOMA PARK 20912

Map	Grid	Parcel	Subdiv	Sect	Block	Lot	Group	Plat No:
JN42			25		11	P16	80	Plat Ref:

Special Tax Areas Town: TAKOMA PARK
 Ad Valorem:

Primary Structure Data

Year Built:	Enclosed Area:	Property Land Area:	County Use:
1928	1,881 SF	12,360.00 SF	111

Value Information

	Base Value	Current Value		Phase-in Assessments	
		As Of	Phase-In Value	As Of	As Of
		01/01/1998	07/01/2000	07/01/1999	07/01/2000
Land:	64,680	63,180			
Impts:	115,780	34,630			
Total:	180,460	97,810	97,810	39,120	39,120
Pref Land:	0	0	0	0	0

Partial Exempt Assessments

	Code	07/01/1999	07/01/2000
County	000	0	0
State	000	0	0
Municipal	000	0	0

City of Takoma Park, Maryland
Housing and Community Development



Abated
7/13/97

Code Enforcement

7500 Maple Avenue, Takoma Park, MD 20912
Office (301) 270-5900 Fax (301) 270-8794

VIOLATION NOTICE

INSPECTION DATE: 7/1/97 CASE #: _____

INSPECTION TYPE: COMPLAINT DRIVE BY
we/u

PROPERTY ADDRESS: 7330 Piney Branch Road

An inspection of the above mentioned property was conducted to ensure all minimum City Code standards are in compliance. At the time of this inspection, the violation(s) described below existed at the property.

EXTERIOR PROPERTY VIOLATION

- Section 6-4 PM- 302.5 Exterior Walls.
- Section 8-6 Abandoned refrigerators prohibited.
- Section 10-23 Disposal of refuse on private property.
- Section 11-36 Sidewalk to be kept free of ice and snow.
- Section 12-12 Fallen or dangerous tree on private property.
- Section 12-15 Vegetation not to obstruct sidewalks or traffic.
- Section 12-20A Noxious growths.
- Section 12-28A Tree permit required for activity within drip line of tree.
- Section 13-68 & 6-4 PM 301.8 Storing or parking vehicles.

COMMENTS:

Large Tree uprooted and lying on house
and other trees - creating a hazard
Remove tree by below date
Fines will be issued for non-compliance

ALL VIOLATIONS MUST BE CORRECTED AND/OR ABATED PRIOR TO THE REINSPECTION DATE: 7/11/97 12pm

All work must be completed in a professional manner. Failure to comply with directives of this notice will result in administrative action within the provisions of the law. If this is rental property and you are not responsible for maintenance, contact the Code Enforcement Officer listed below at (301) 270-1700 ext.: 370 or (301) 270-5900

Code Enforcement Officer: Sanford ID #: 0316

See reverse for Code description.

PROPERTY ADDRESS 7330 PINEY BRANCH RD

		INSPECTION	
SECTION	VIOLATIONS	EXIST	NEEDED
302.4	Glass pane on storm window side entrance missing.	* 8/20/93	
10-23	Debris on right side of property.	* 8/20/93	
12-16	Vegetation growing on top of gutter.	* 8/20/93	
301.5	Driveway in disrepair.	* 8/20/93	

Final Notice!

City of Takoma Park, Maryland

DEPARTMENT OF HOUSING AND
COMMUNITY DEVELOPMENT
TELEPHONE 301-270-5900



7500 MAPLE AVENUE
TAKOMA PARK, MD. 20912

DATE: 1-7-93 DATE OF INSPECTION: 9-14-72
 PROPERTY ADDRESS: 7330 Piney Branch Rd REGISTRATION: NA
 PROPERTY OWNER: James Welu INSPECTION TYPE: Complaint
 ADDRESS: Same TELEPHONE: _____
 REINSPECTION DATE: 1-15-93

An inspection of the above mentioned property was conducted to ensure all minimum housing standards, as required through the laws and ordinances prescribed by the City of Takoma Park, are in compliance

At the time of this inspection, the violations described below existed at the property. All violations must be corrected and/or abated prior to the reinspection date scheduled below. All work must be completed in a workman like manner. Failure to comply with the directives of this notice may result in administrative action within the provisions of the law.

Extensions may be granted, only if a written request is received no latter than five (5) working days prior to the reinspection date.

A REINSPECTION HAS BEEN SCHEDULED FOR: JANUARY 15, 1993 3:00PM

CODE SECTION	VIOLATIONS	REINSPECTION	
		EXIST	ABATED
12-18 301.1 302.4.41 12-16 12-18 302.3 506.1	Overgrown vegetation in front of property Ceiling on front entrance canopy in disrepair. No screen on front door. Vegetation growing on top of roof Overgrown vegetation on back of property Suffit board, right side in disrepair and rotted. Right side gutter in disrepair		1/15/93

CODE ENFORCEMENT OFFICER: JOSE MESA ADDENDUM: Yes

PROPERTY ADDRESS 7330 PINEY Branch Rd

SECTION	VIOLATIONS	DATE	REMARKS
302.4	Glass pane on storm window side entrance, missing		
10-23	Debris on right side of property.		
12-16	Vegetation growing on top of gutters.		
301.5	Driveway in disrepair.		

City of Takoma Park, Maryland

DEPARTMENT OF HOUSING AND
COMMUNITY DEVELOPMENT
TELEPHONE 301-270-5900



7500 MAPLE AVENUE
TAKOMA PARK, MD 20912

September 14, 1993

James A. Welu
7330 Piney Branch Rd
Takoma Park, MD 20912

Re: 7330 Piney Branch Rd
Takoma Park, MD

This is to let you know that the above mentioned property will be reinspected for compliance on October 1, 1993 at 2:00 pm. This will be our last inspection.

Enclosed is a copy of a correction notice sent to you on 1/7/93.

If you have any questions, please contact this office.

Sincerely,

Jose Mesa
Code Enforcement Officer

Encl:
a/s

City of Takoma Park, Maryland

DEPARTMENT OF HOUSING AND
COMMUNITY DEVELOPMENT
TELEPHONE 301-270-5900



7500 MAPLE AVENUE
TAKOMA PARK, MD. 20912

DATE 11/2/92 DATE OF INSPECTION 9/14/92
 PROPERTY ADDRESS 7330 PINEY BRANCH Rd REGISTRATION _____
 PROPERTY OWNER James A. Wielu INSPECTION TYPE Complaint
 ADDRESS 7330 PINEY BRANCH Rd TELEPHONE _____
Takoma Park, Md 20912 REINSPECTION DATE 10/26/92

An inspection of the above mentioned property was conducted to ensure all minimum housing standards, as required through the laws and ordinances prescribed by the City of Takoma Park, are in compliance.

At the time of this inspection, the violations described below existed at the property. All violations must be corrected and/or abated prior to the reinspection date scheduled below. All work must be completed in a workmanlike manner. Failure to comply with the directives of this notice will result in Administrative action within the provisions of the law.

A REINSPECTION HAS BEEN SCHEDULED FOR November 19, 1992 at 10:AM

CODE SECTION	VIOLATIONS	RE INSPECTION	
		EXIST	ABATED
12-18	Overgrown vegetation in front of property		
301.1	Ceiling on front entrance canopy in dis-repair.		
302.4.41	No screen on front door.		
12-16	Vegetation growing on top of roof.		
12-17	Overgrown vegetation on back of property.		
302.3	Suffit right side, front in disrepair, and rotted.		
506.1	Right side gutter in disrepair.		

INSPECTION OFFICER JOSE MESA

ADDENDUM Yes

PROPERTY ADDRESS 7330 PINEY BRANCH RD

		PENALTY	
SECTION	VIOLATIONS	EXIST	REPAIR
302.4	Glass pane on storm window side entrance, missing.		
10-23	Debris on right side of property.		
12-16	Vegetation growing on top of gutters.		
301.5	Driveway in disrepair.		

MONTGOMERY COUNTY CODE
Chapter 24A

§24A-8

- (c) It is not the intent of this chapter to l period or architectural style.
- (d) In the case of an application for worl district, the commission shall be leni historical or design significance or fi plans would seriously impair the his resources or would impair the charac No. 11-59.)

Post-it™ Fax Note 7671		Date 5/24/00	# of pages ▶ 3
To <i>Wanda E. George</i>		From <i>Robin Ziet</i>	
Co./Dept.		Co. <i>M-NCPPC</i>	
Phone #		Phone #	
Fax # <i>3-270-4568</i>		Fax #	

Sec. 24A-9. Demolition by neglect.

In the event of a case of demolition by neglect of an historic resource on public or private property, the following provisions shall apply:

- (a) If the historic resource has been designated on the master plan as an historic site or an historic resource within an historic district, the director shall issue a written notice to all persons of record with any right, title or interest in the subject property, or the person occupying such premises, of the conditions of deterioration and shall specify the minimum items of repair or maintenance necessary to correct or prevent further deterioration. The notice shall provide that corrective action shall commence within 30 days of the receipt of such notice and be completed within a reasonable time thereafter. The notice shall state that the owner of record of the subject property, or any person of record with any right, title or interest therein, may, within 10 days after the receipt of the notice, request a hearing on the necessity of the items and conditions contained in such notice. In the event a public hearing is requested, it shall be held by the commission upon 30 days' written notice mailed to all persons of record with any right, title or interest in the subject property and to all citizens and organizations which the director feels may have an interest in the proceedings.
 - (1) After a public hearing on the issue of necessity of improvements to prevent demolition by neglect, if the commission finds that such improvements are necessary, it shall instruct the director to issue a final notice to be mailed to the record owners and all parties of record with any right, title or interest in the subject property advising of the items of repair and maintenance necessary to correct or prevent further deterioration. The owners shall institute corrective action to comply with the final notice within 30 days of receipt of the revised notice.
 - (2) In the event the corrective action specified in the final notice is not instituted within the time allotted, the director may institute, perform and complete the necessary remedial work to prevent deterioration by neglect and the expenses incurred by the director for such work, labor and materials shall be a lien against the property, and draw interest at the highest legal rate, the amount to be

MONTGOMERY COUNTY CODE
Chapter 24A

amortized over a period of 10 years subject to a public sale if there is a default in payment.

- (3) Failure to comply with the original or final notice shall constitute a violation of this chapter for each day that such violation continues and shall be punishable as set forth in section 24A-11.
 - (4) In the event that the commission finds that, notwithstanding the necessity for such improvements, action provided in paragraphs (1) and (2) of this subsection would impose a substantial hardship on any or all persons with any right, title or interest in the subject property, then the commission shall seek alternative methods to preserve the historic site or historic resource located within an historic district. If none are confirmed within a reasonable time, the director shall not proceed in accordance with paragraphs (1) and (2).
- (b) If the historic resource is listed in the "Locational Atlas and Index of Historic Sites in Montgomery County, Maryland," or the microfilmed addenda to such atlas, published by the Maryland-National Capital Park and Planning Commission, the director shall advise the planning board which, after receiving the recommendation of the commission, shall conduct a public hearing to determine whether the historic resource will be designated as an historic site or historic district in the master plan for historic preservation.
- (1) Where the planning board determines that the historic resource will not be included in the master plan for historic preservation, no further action will be taken.
 - (2) Where the planning board determines that the historic resource in all likelihood will be included in the master plan for historic preservation, the planning board shall initiate an amendment to the master plan for historic preservation pursuant to the provisions of article 28 of the Annotated Code of Maryland.
 - a. In the event that such amendment is adopted and the historic resource is placed on the master plan for historic preservation as an historic site or an historic resource within an historic district, the director shall give written notice to all persons with any right, title, or interest in the subject property of the conditions of deterioration and shall specify the items of repair or maintenance necessary to stabilize the condition of the historic resource and prevent further deterioration.
 - b. Such notice shall provide that such stabilization work shall commence within 30 days of receipt of the notice and shall be completed within a reasonable time thereafter.

- c. In the event that stabilization action is not instituted within the time allotted, or not completed within a reasonable time thereafter, the director may institute, perform and complete the necessary stabilization work and the expenses incurred by the director for such work, labor or materials shall be a lien against the property, and draw interest at the highest legal rate, the amount to be amortized over a period of 10 years subject to a public sale if there is a default in payment. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Sec. 24A-10. Moratorium on alteration or demolition.

- (a) *Application for permits for historic resources on locational atlas.* Any applicant for a permit to demolish or substantially alter the exterior features of any historic resource which is listed in the "Locational Atlas and Index of Historic Sites in Montgomery County, Maryland," or the microfilmed addenda to that atlas, published by the Maryland-National Capital Park and Planning Commission, but which is not designated as an historic site or historic district on the master plan for historic preservation, must disclose that fact on the application. If the historic resource is located in an area under review for designation as an historic district and is not under review for designation as an historic site, the application must be reviewed under the procedure in Section 24A-7 if the applicant seeks review under that Section.
- (b) *Referral to the planning board.* If the applicant does not seek review under Section 24A-7, the Director must promptly forward the permit application to the Planning Board to make a finding, after a public hearing, as to the significance of the historic resource and to determine whether, after considering the recommendations of the Commission, the property will be designated as an historic site or an historic resource within an historic district, listed in the master plan for historic preservation. The Planning Board's public hearing on an application to demolish or substantially alter any historic resource listed in the locational atlas satisfies the requirements of section 33A-6 for a public hearing on a preliminary draft amendment to the historic preservation master plan if all notice requirements of that section are met.
- (c) *Determination by the planning board.*
 - (1) Where the planning board determines that the historic resource will not be included in the master plan for historic preservation, the director shall forthwith issue the permit.
 - (2) Where the planning board determines that the historic resource in all likelihood will be included in the master plan for historic preservation, the director shall withhold issuance of the permit once for a maximum period of 195 days from the date the application for demolition is filed. If, as a result of the master plan process, the property is designated an historic site or an historic resource within



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

March 14, 2002

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: *LDZ* Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit 37/3-02H

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved Denied **Approved with Conditions:**

1. The new dormer will be sided with stucco, to match the existing 2nd story dormer.
2. The changes to the windows on the South Elevation are approved.

and subject to the general conditions that 1) HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and 2) after issuance of Montgomery County Department of Permitting Services (DPS) permit, applicant to arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Art McMurdie
7330 Piney Branch Road
Takoma Park, MD 20912



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Art McMurdie
Daytime Phone No.: 301 565-0524

Tax Account No.: _____
Name of Property Owner: Arthur F. McMurdie Daytime Phone No.: 301 565-0524
Address: 12 Cleveland Ave Takoma Park MD 20912
Street Number City State Zip Code

Contractor: TBD Phone No.: _____
Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____
Address: _____

LOCATION OF BUILDING/PREMISE

House Number: 7330 Piney Branch Rd Street:
Town/City: Takoma Park Nearest Cross Street: ~~East~~ Takoma Ave
Lot: 16 Block: 11 Subdivision: Mrs. Sarah E Brashears subdivision
Liber: 4101 Folio: 471 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/renovate HVAC Slab Room Addition Porch Deck Shed
 Move Install Wreck/razed Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 150,000

1C. If this is a revision of a previously approved active permit, see Permit # 254395

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Arthur F. McMurdie Signature of owner or authorized agent 22 FEB 2002 Date

Approved: X w/ Conditions For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 3/13/02
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

37/3-02H

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

This is a revision of plan approved in Aug 2001 (permit # 254395) Owner at that time was Maureen Thompson.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Plan is similar to that approved under work permit 254395 Aug 2001 with these exceptions 1) Deck and bay added on rear of house, 2) minor changes in new door and window placement 3) Siding on clombers to be cedar shingles 4) New parking area and turnaround in rear of house.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7330 Piney Branch Road Meeting Date: 3/13/02
 Applicant: Art McMurdie Report Date: 3/06/02
 Resource: Takoma Park Historic District Public Notice: 2/27/02
 Review: **HAWP (REVISION)** Tax Credit: Yes
 Project Number: 37/3-02H Staff: Robin D. Ziek

PROPOSAL: Revise existing HAWP, with some modifications to sides and rear.

RECOMMEND: Approval with Conditions:

1. The new dormer will be sided with stucco, to match the existing 2nd-story dormer
2. Change on South Elevation see approved.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource in the Takoma Park Historic District
STYLE: Colonial Revival
DATE: c1920s

The applicant is the new owner of the property. The previous owner passed away suddenly, and the applicant is completing the rehabilitation work at the site. The most recently HAWP was reviewed by the HPC at the 8/8/01 meeting. (see Circle 8)

PROPOSAL

The applicant would like to modify the existing HAWP by doing the following:

- Add wood shingles in 2nd floor dormers instead of stucco; (see Circle 9)
- add a rear deck with wood railing; (see Circle 10)
- replace existing windows at rear with French doors for access to deck; (see Circle 11)
- add bay at kitchen on rear elevation; (see Circle 11)
- add French doors at basement level; (see Circle 11)
- extend driveway to rear for parking under the new deck; (see Circle 7)
- replace the left side door with a window; (see Circle 12)
- remove one left side window; (see Circle 12)
- alter two other left side windows to half-size at kitchen. (see Circle 12)

STAFF DISCUSSION

Much of the proposed work is at the rear of the house, and will not be seen from the public right-of-way. The applicant will maintain the arched opening of the sunporch windows, while adapting that area for access to the new deck. The alterations to the left side are in-keeping with the resource, by providing windows which are compatible and relate to the existing windows on the right side of the building.

Staff is concerned with the proposal to add wood shingles in the dormers at the 2nd story level, because the existing dormer on the right side is stucco. The addition of a layer of shingles on this right-side dormer would damage the existing stucco, while removal of the stucco to accommodate new shingles would be a change of material at the site. This is not a very big house, and staff is concerned with adding a new material where the house has been unified with one material in the past.

STAFF RECOMMENDATION

Staff recommends, with the following Conditions, that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

CONDITIONS:

1. The new dormer will be sided with stucco, to match the existing 2nd-story dormer

and subject to the general condition that **the applicant shall present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits (1 set for HPC files) and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.**



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Art McMurdie
Daytime Phone No.: 301 565-0524

Tax Account No.: _____

Name of Property Owner: Arthur F. McMurdie Daytime Phone No.: 301 565-0524

Address: 12 Cleveland Ave Takoma Park MD 20912
Street Number City Street Zip Code

Contractor: TBD Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

Address: _____

LOCATION OF BUILDING/PREMISE

House Number: 7330 Piney Branch Rd Street

Town/City: Takoma Park Nearest Cross Street: ~~S. ...~~ Takoma Ave

Lot: 16 Block: 11 Subdivision: Mrs. Sarah E. Brashears subdivision

Liber: 4101 Folio: 471 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Remove
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- None
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 150,000

1C. If this is a revision of a previously approved active permit, see Permit # 254395

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Arthur F. McMurdie
Signature of owner or authorized agent

22 FEB 2002
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

37/3-02H

3

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

This is a revision of plan approved in Aug 2001 (permit # 254395) Owner at that time was Maureen Thompson.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Plan is similar to that approved under work permit 254395 Aug 2001 with these exceptions 1) Deck and bay added on rear of house. 2) minor changes in new door and window placement 3) Siding on clombers to be cedar shingles 4) New parking area and turnaround in rear of house.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the drip-line of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that diameter.

7. ADDRESSES OF ADJACENT AND CONTIGUOUS PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and adjoining property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 54 Monroe Street, Raleigh, (919) 275-1250

PLEASE PRINT AND FILL IN ALL INFORMATION ON THE FOLLOWING PAGE.
PLEASE SUBMIT WITH THE PERMIT AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

7328 Piney Branch:

John D + V.B. Walker

7328 Piney Br. Rd.

Takoma Park Md. 20912

Collins, Randolph + Kathryn

7328 Piney Branch

Takoma Park, MD 20912

7329 Piney Branch:

George H. McCabe et al.

7329 Piney Br. Rd.

Takoma Park, Md. 20912

7331 Piney Branch:

Hansel H + C P Coy

7331 Piney Br. Rd.

Takoma Park, Md. 20912

7332 Piney Branch:

Common ownership

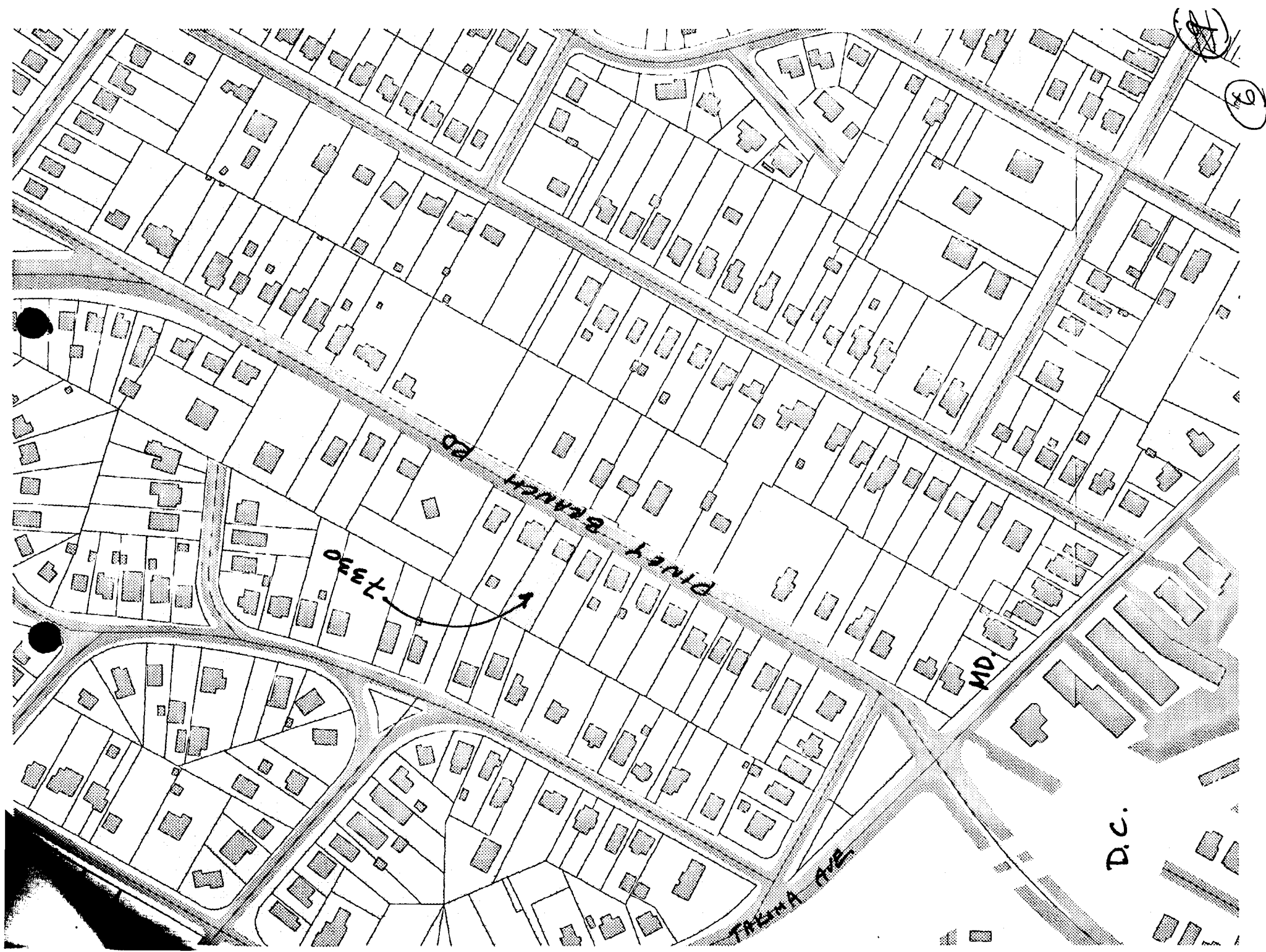
7330 Piney Branch Rd

owner James Welu

811 Thayer Ave

Silver Spring MD

20910



2

A

PINEY BRANCH RD

7330

MD.

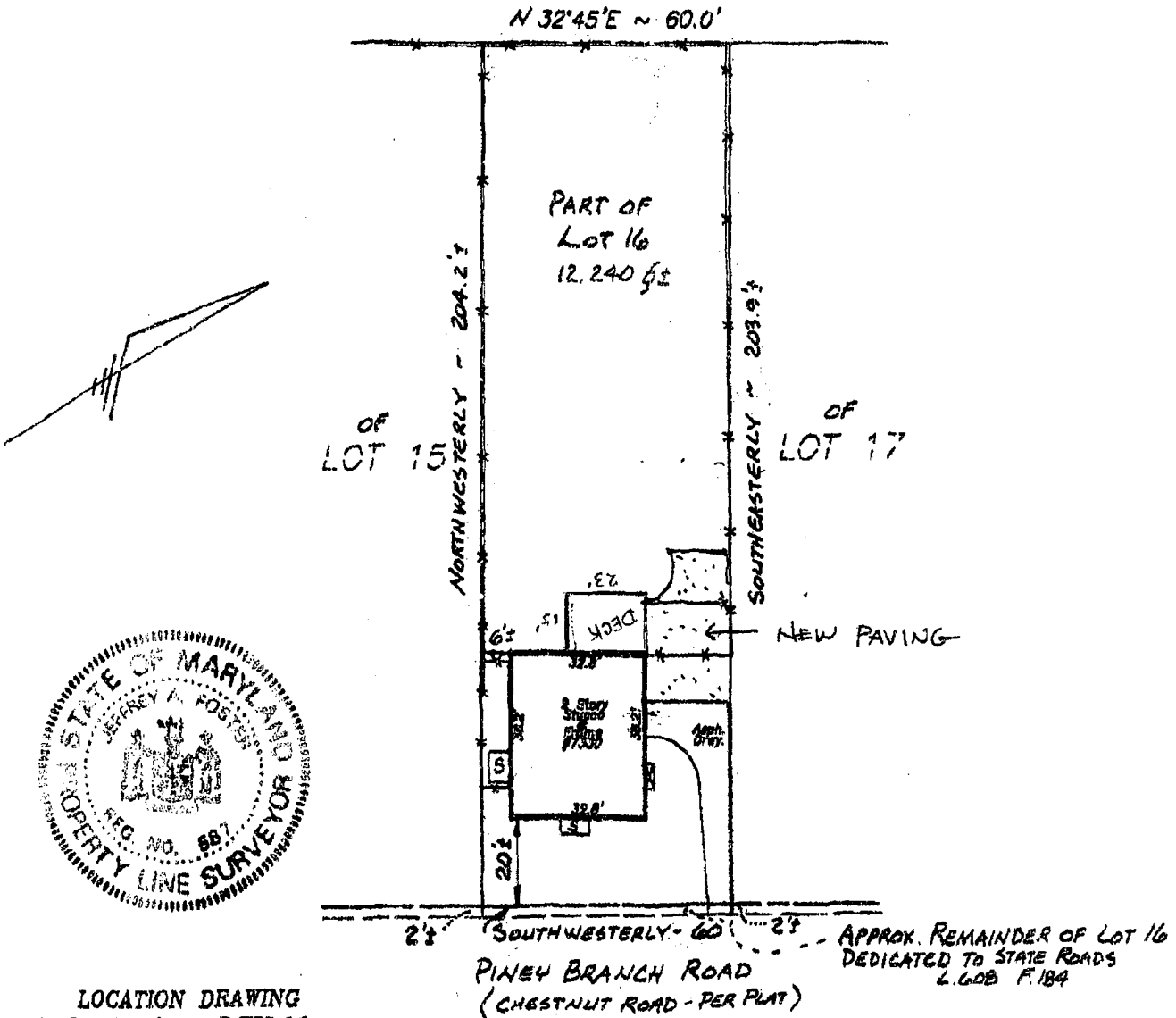
D.C.

TRONA AVE

CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 5' FEET
 Flood Zone "C" per H.U.D. Flood Panel No. 0200C. NO PROPERTY CORNERS CONFIRMED.



LOCATION DRAWING
 PART OF LOT 16, BLOCK 11
 MRS. SARAH E. BRASHEARS SUBDIVISION
 ADJOINING TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND

<p>SURVEYOR'S CERTIFICATE</p> <p>THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION.</p> <p><i>Jeffrey A. Foster</i> MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587</p>	<p>REFERENCES</p> <p>PLAT BK. B PLAT NO. 2</p> <p>LIBER : 4101 VOLID : 471</p>	<p>SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 218 Gaithersburg, Maryland 20878 301/948-6100, Fax 301/948-1288</p> <p>DATE OF LOCATIONS: 1-7-02 WALL CHECK: HSE. LOC.: 1-7-02</p> <p>SCALE: 1" = 40' DRAWN BY: T.N.T. JOB NO.: 02-0048</p>
--	---	--

AD

JULY 25, 2004

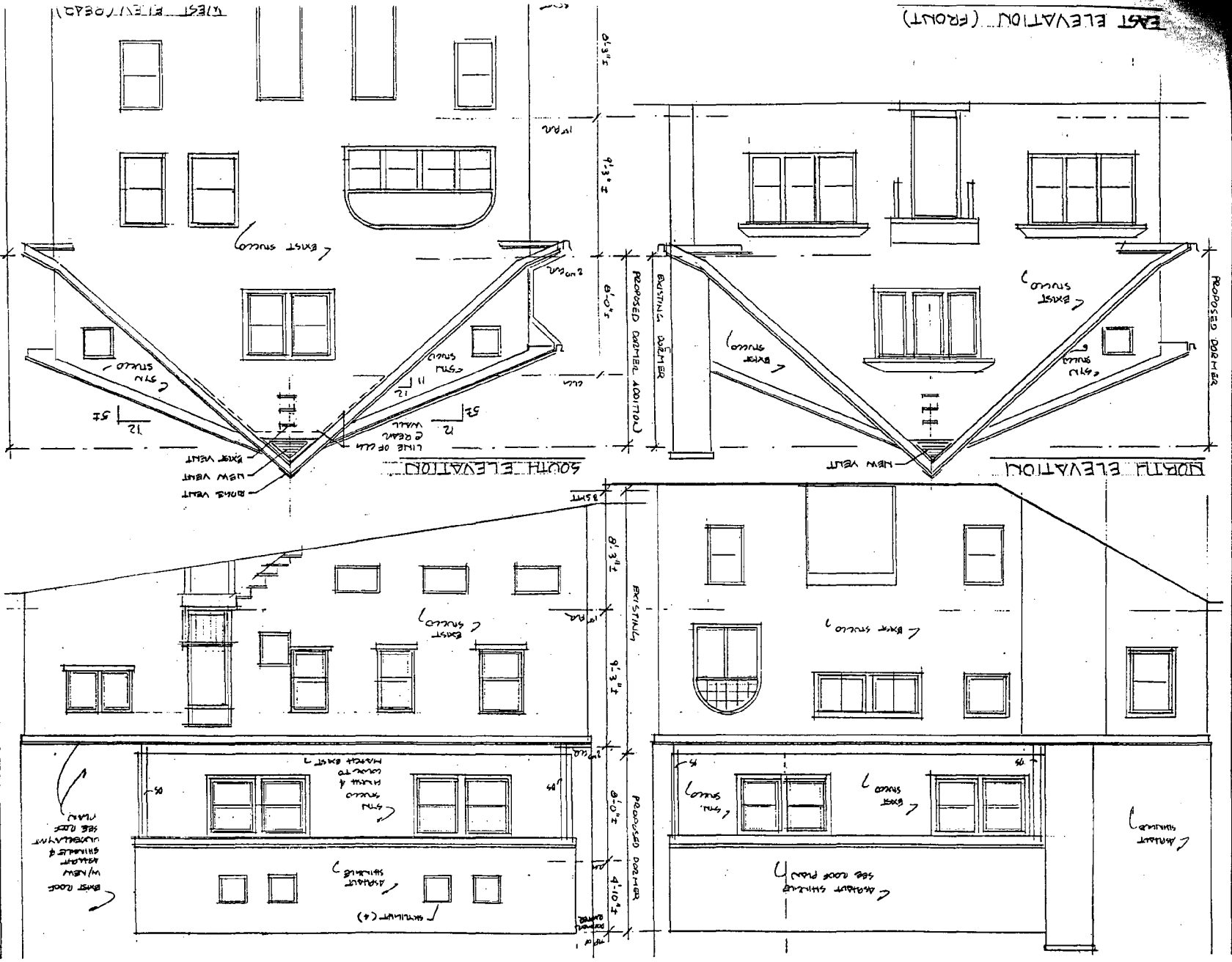
1/4" = 1'-0"

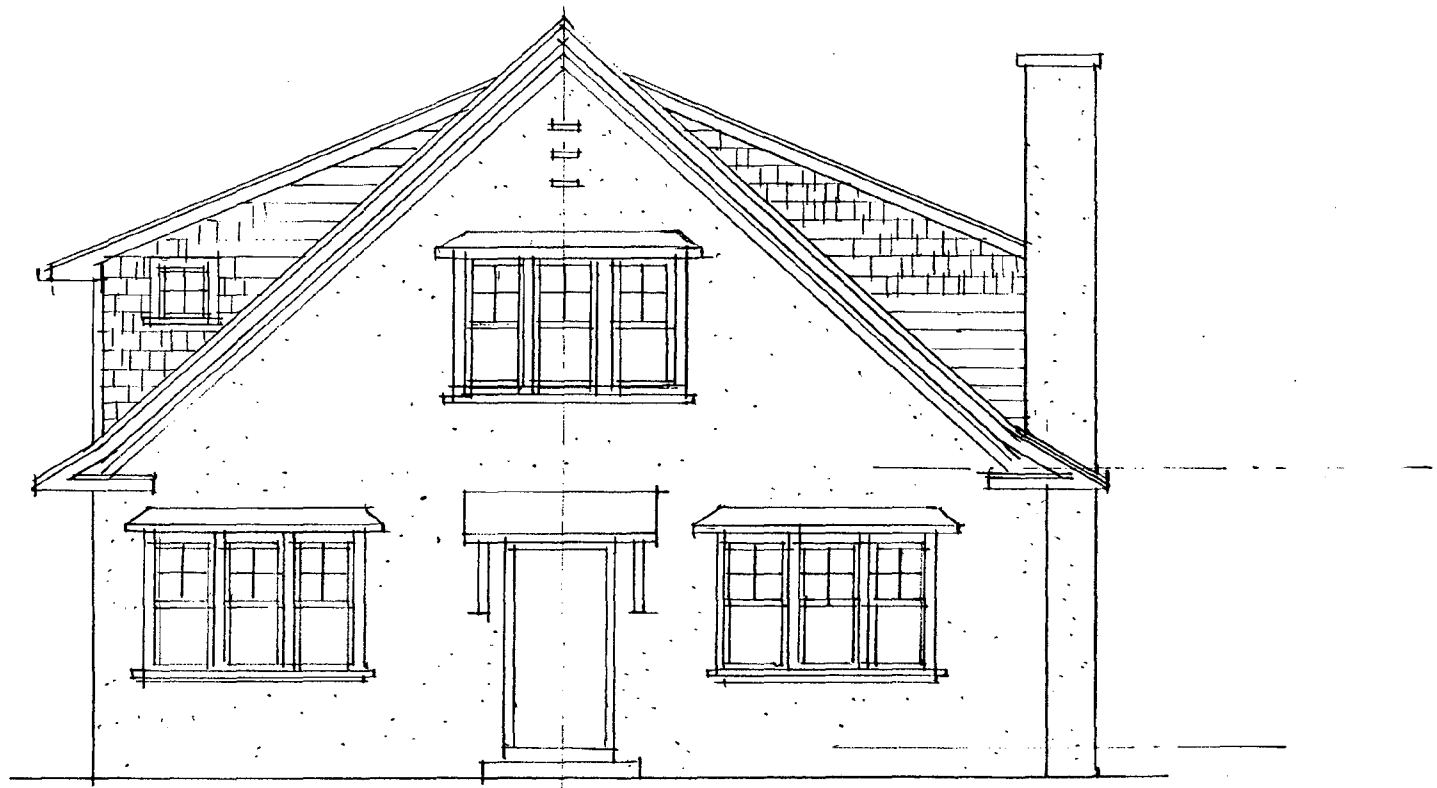
THOMPSON DORMER
730 RIVER ROAD
FALCONA, MD 21034

ELEVATIONS

WILCOX HALL ACADITECTS
3105 MICHIGAN ST
HARTFORD, MD 21034

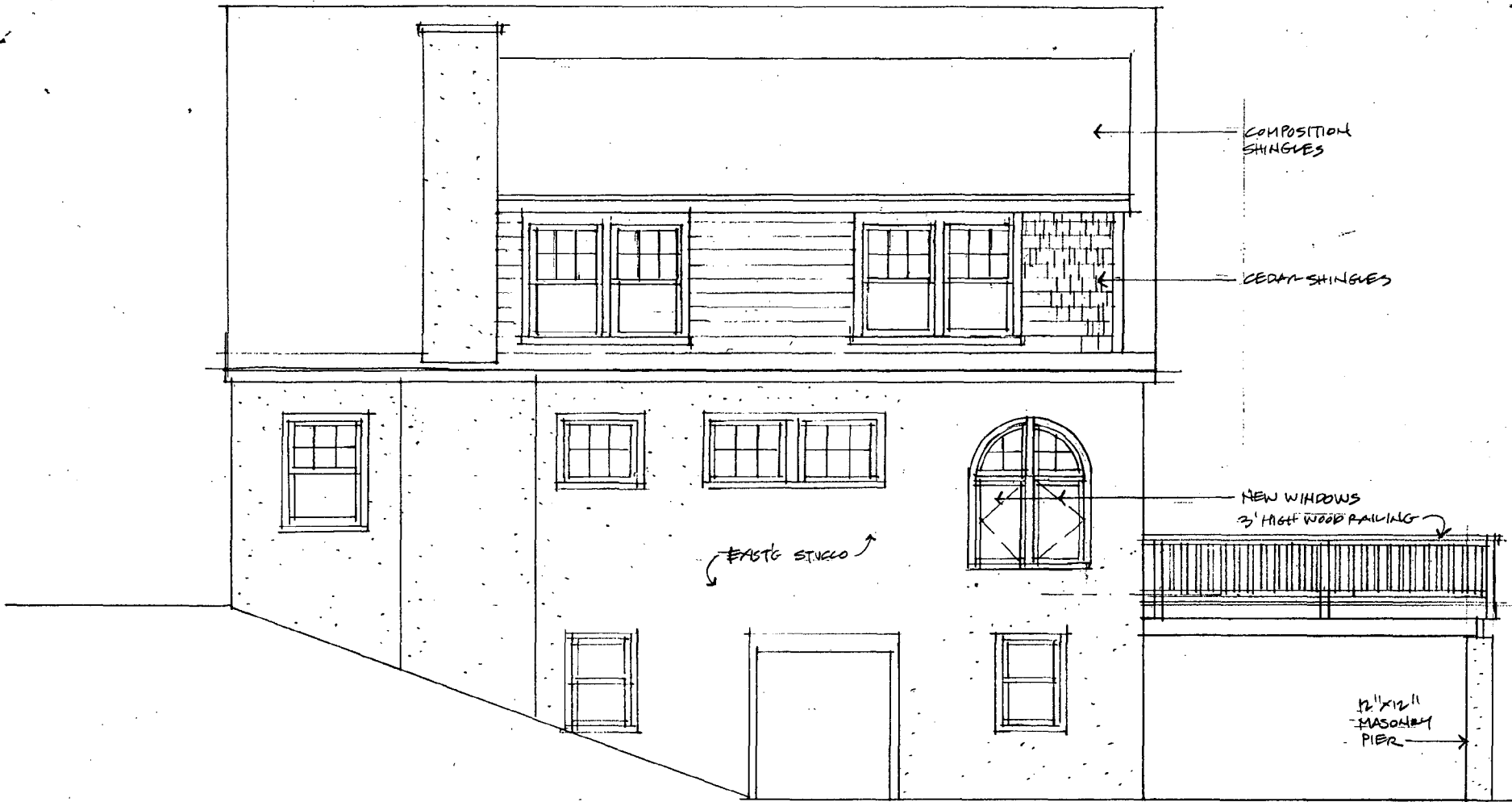
13





EAST ELEVATION

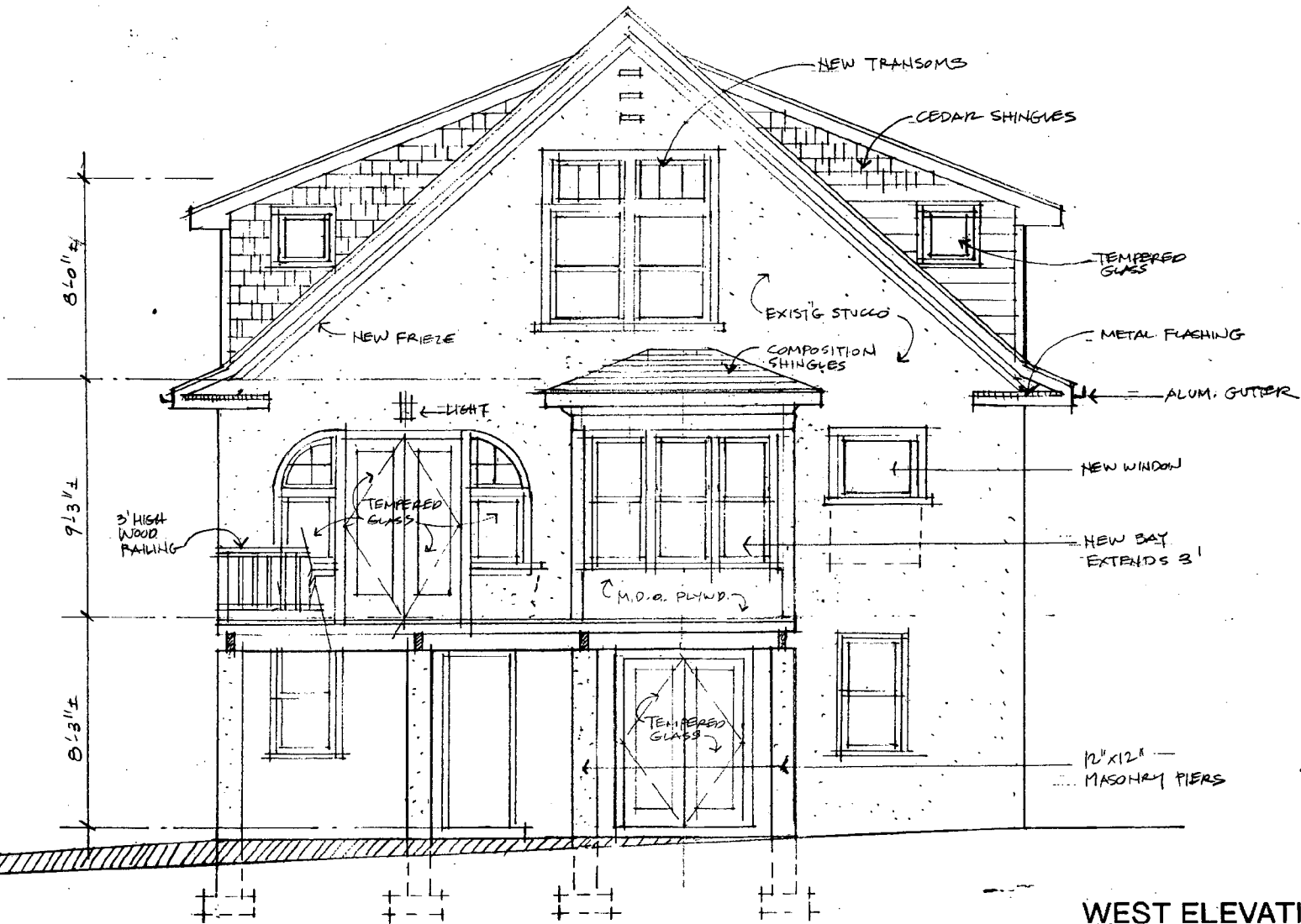
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NORTH ELEVATION

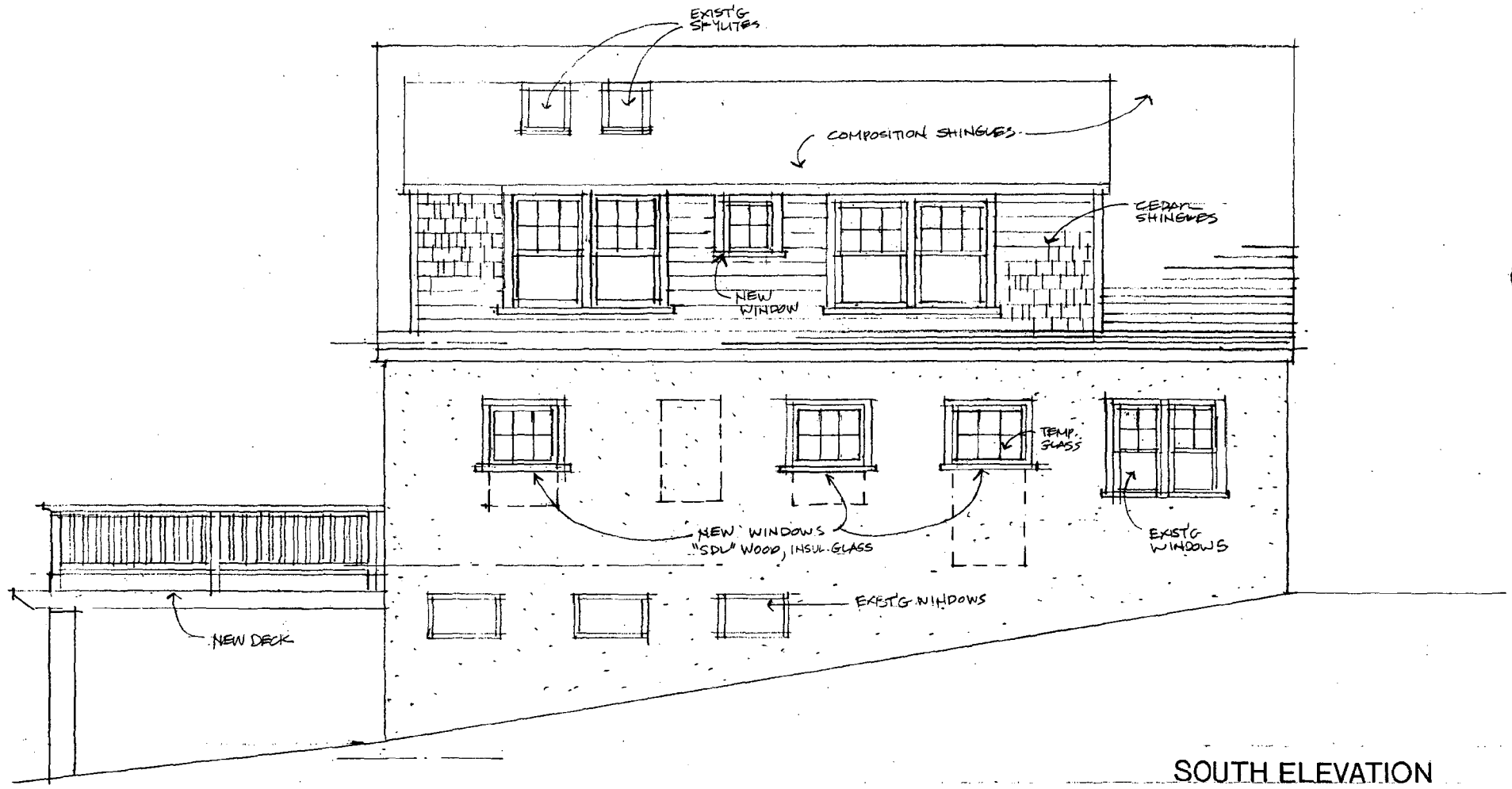
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SOUTH ELEVATION

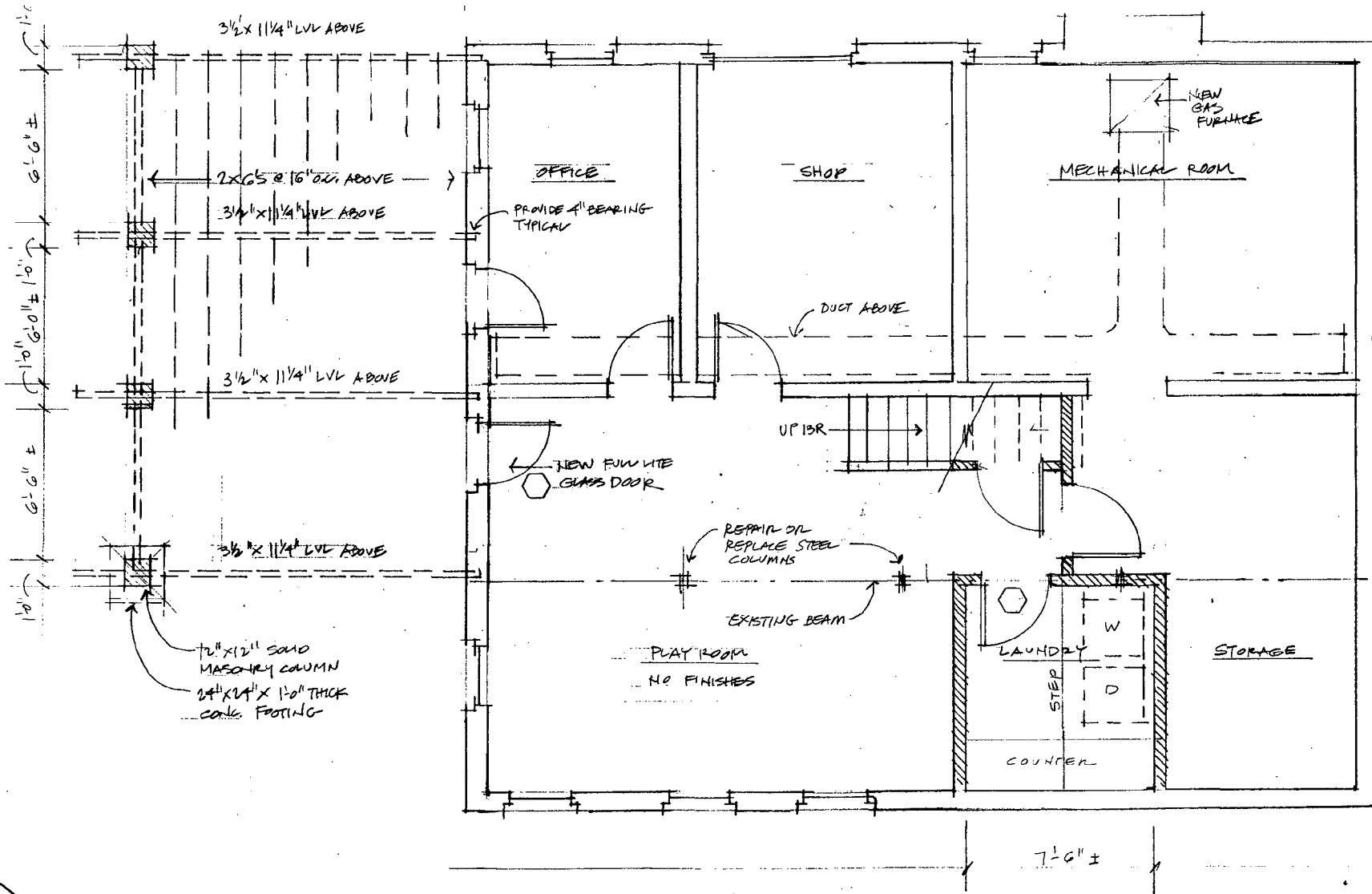


WEST ELEVATION

11

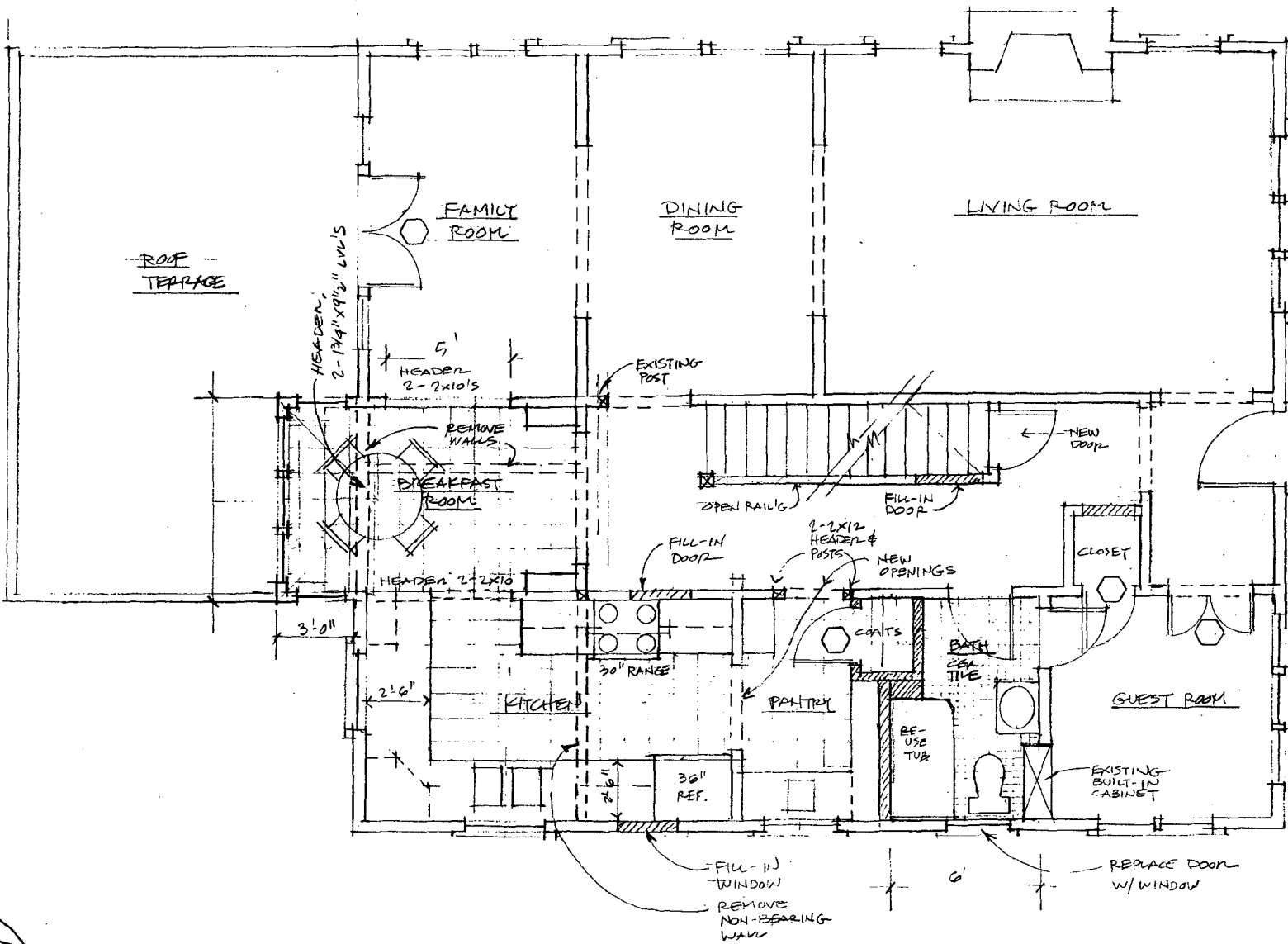


SOUTH ELEVATION



13

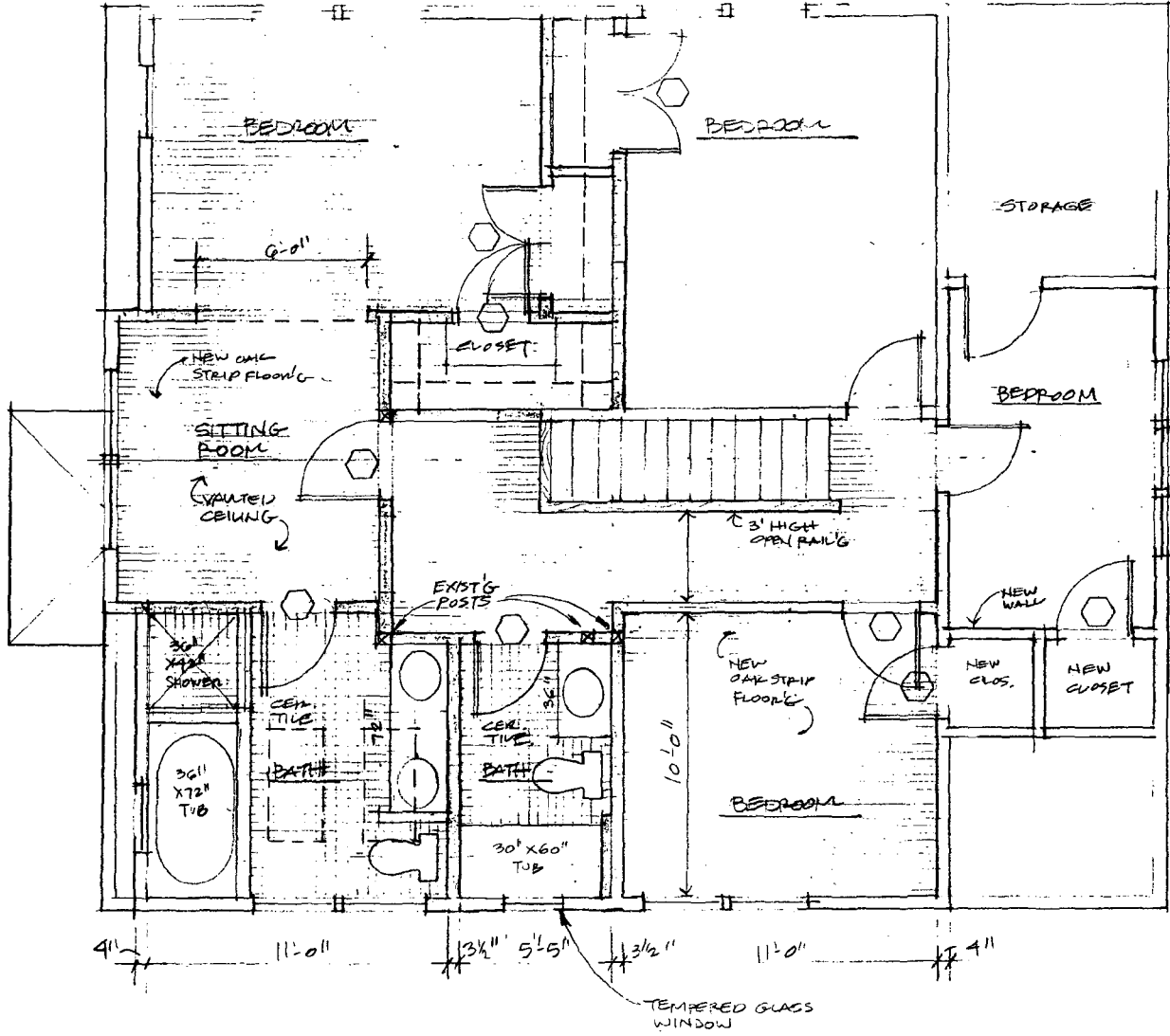
BASEMENT PLAN



171

FIRST FLOOR PLAN

Date
Scale
Drawn
Job
Sheet



15

SECOND FLOOR PLAN

Paul Tresseder
 ARCHITECT A I A

6320 Wiscasset Road, Bethesda, MD, 20816
 (301) 320-1580

Date	
Scale	
Drawn	
Job	
Sheet	15
Of	15

61



16



EXHIBIT
*North Elevation
 from front*



EXHIBIT
*North Elevation
 from back*

18



EXHIBIT
 11021 1000
 (near)
 Central Terminal
 11021 1000



EXHIBIT
 11021 1000
 (near)
 Central Terminal
 11021 1000

15

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

August 17, 2001

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit 37/3-01Z

754395

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved Denied **Approved with Conditions:**

- 1) Delete two front skylights, but approve two rear skylights on the new shed dormer.

and subject to the general conditions that 1) HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and 2) after issuance of Montgomery County Department of Permitting Services (DPS) permit, applicant to arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Maureen Thompson
7330 Piney Branch Avenue
Takoma Park, MD 20912



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

received
JUL 27 2001

entered
JK

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Margaret A. Thompson

Daytime Phone No.: 301-926-0291

Tax Account No.: 01061630

Name of Property Owner: Margaret A. Thompson Daytime Phone No.: 301-926-0291

Address: 7330 Percy Branch Rd. Takoma Park 20912
Street Number City Street Zip Code

Contractor: Bids not yet in Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7330 Street: Percy Branch Road

Town/City: Takoma Park Nearest Cross Street: Eastern Ave.

Lot: 11 Block: 16 Subdivision: Sara Brashers

Liber: 4674 Folio: 815 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

\$ 40,000

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ Bids not yet in

1C. If this is a revision of a previously approved active permit, see Permit # 13025 -> SN42
Blk 11 - Lot 116

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Margaret A. Thompson
Signature of owner or authorized agent

7/24/01
Date

Approved: X w/conditions

For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____

Date: 8/15/01

Application/Permit No.: 254395

Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

This is a single family home with a masonry exterior which was built in 1925. It is included in the Takoma Park Historic District

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Other than repair of water damage this application is to change the roof line by adding a dormer (matching) to one side of the house to make usable living space of the unfinished half of the second floor.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date; *The architect was told that, because the "footprint" of the house will be unchanged, a site plan is not necessary.*
b. dimensions of all existing and proposed structures; and
c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Aug 15, 2004

Nikola Hayer - AIA
Maureen Thompson -

Architect is pro H.P.

She feels strongly about the skylights. She thinks
you can't all them.

Client wants light - winter light + solar gain

Could use shades at night against "night-glow"
3" above roof -

STAFF DISCUSSION

Staff has been working with the applicant on the Demolition by Neglect issues, and is very glad to see the project moving forward. The addition of a new roof dormer would be compatible with the house and with the district, matching the existing massing and taking advantage of the need for roof work on this south part of the roof anyway.

Staff is concerned with the addition of 4 skylights on this side roof, however. The new windows in the dormer will provide light and air to this attic, in addition to the existing windows on the front and rear elevations at the attic level. The use of skylights when visible from the public right-of-way is not encouraged. The skylights alter the aspect of the house at night, affect neighbors, and contribute to the loss of "night sky". Skylights have traditionally been necessary for interior rooms with no other lighting options. However, this dormer will have new windows, and there are existing windows.

STAFF RECOMMENDATION

Staff recommends, **with the following CONDITIONS**, that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

CONDITION:

1. No skylights will be installed.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

received
JUL 27 2001
Entered
JK

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Margaret A. Thompson
Daytime Phone No.: 301-926-0291

Tax Account No.: 01061630
Name of Property Owner: Margaret A. Thompson Daytime Phone No.: 301-926-0291
Address: 7330 Purey Branch Rd. Takoma Park 20912
Street Number City State Zip Code
Contractor: Bids not yet in Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7330 Street: Purey Branch Road
Town/City: Takoma Park Nearest Cross Street: Eastern Ave.
Lot: 11 Block: 16 Subdivision: Sara Brushgrass
Liber: 4674 Folio: 815 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: 1140000 CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ Bids not yet in
1C. If this is a revision of a previously approved active permit, see Permit # 13025 -> JN42
Blk 11 - Lot 116

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
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3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Margaret A. Thompson _____ 7/24/01
Signature of owner/authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 254375 Date Filed: _____ Date Issued: _____

37/3-012 (3)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

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- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Other than repair of water damage this application is to change the roof line by adding a dormer (matching) to one side of the house to make usable living space of the unfinished half of the second floor.

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Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

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5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

7328 Pines Branch:
John D. + V.B. Walker
7328 Pines Br. Rd.
Takoma Park, Md. 20912

7329 Pines Branch:
George H. McCabe et al.
7329 Pines Br. Rd.
Takoma Park, Md. 20912

7331 Pines Branch:
Hansel H + C P Coy
7331 Pines Br. Rd.
Takoma Park, Md. 20912

7332 Pines Branch:
Common ownership



DEPARTMENT OF HOUSING AND COMMUNITY AFFAIRS

Douglas M. Duncan
County Executive

Elizabeth B. Davison
Director

July 5, 2001

James A. and M. T. Welu
811 Thayer Avenue
Silver Spring, Maryland 20910

Case Number: 25639
Location: 7330 Piney Branch Road
Takoma Park 20912

Dear Mr. and Mrs. Welu:

Housing Code Inspector Robert A. Bell, Jr conducted a reinspection of the vacant dwelling located at the above-referenced address, on July 3, 2001. None of the violations listed in the original notice dated May 10, 2000 have been corrected.

This property is located within the Takoma Park Historic District as designated by the Maryland National Capital Park and Planning Commission's Historic Preservation Office and is identified as Site #37/3 on the Master Plan for Historic Preservation. Therefore, this property is protected by Chapter 24A of the Montgomery County Code, entitled *Preservation of Historic Resources*. Section 24A-9 defines "Demolition by Neglect" as the failure to provide ordinary and necessary maintenance and repair to an historic site or an historic resource within an Historic District, whether by negligence or willful neglect, purpose or design, by the owner or any party in possession of the site or resource which results in any of the following conditions:

The deterioration of exterior features so as to create or permit a hazardous or unsafe condition to exist; and,

The deterioration of exterior walls, roofs, chimneys, windows, the lack of adequate waterproofing or deterioration of interior features or foundations which will or could result in permanent damage, injury or loss of or to the exterior features.

This is a Final Notice and Order to correct the conditions evidenced at this property and deemed "Demolition by Neglect. The correction of all violations must commence immediately and be satisfactorily completed by August 31, 2001. The enclosed Addendum "A" constitutes a part of this Notice and Order and is incorporated by reference.

Division of Housing and Code Enforcement

Code Enforcement	Moderately Priced	Housing Development	Landlord-Tenant Affairs
FAX 240/777-3701	Dwelling Unit	and Loan Programs	240/777-3691
	240/777-3709	240/777-3691	

100 Maryland Avenue, 4th Floor • Rockville, Maryland 20850 • 240/777-3600, TDD 301/217-3679

Website: www.co.mo.md.us/hca

6

Mr. & Mrs. Welu
July 5, 2001
Page Two

In the event the corrective action specified in this Notice and Order is not completed by the deadline, the County will make arrangements to do the work and you will be billed for the entire cost and this debt will be collected in any way legally available to the County. Furthermore, failure to comply will constitute a violation of Chapter 24A of the Montgomery County Code and subject you to a \$500 fine and each day the violation continues to exist constitutes a separate offense.

You have the right to appeal this Notice and Order by requesting a hearing from the Historic Preservation Commission within ten days of your receipt of this Notice. Address your request to the Historic Preservation Commission, Maryland-National Capital Park and Planning Commission, ATTENTION: Gwen Wright, 8787 Georgia Avenue, Silver Spring, Maryland 20910. For further information, you can reach Ms. Wright at 301-563-3400.

If you have any questions, or wish to discuss this matter further, please call Inspector Bell at 240-777-3738.

Sincerely,

Joseph T. Giloley

Joseph T. Giloley, Chief
Division of Housing and Code Enforcement

JTG:wlb
S:\DHCD\REGSERV\CODEENF\Demolition\7330PineyBranch.doc
Enclosure

VIA REGULAR & CERTIFIED MAIL/POSTING

⑦

ADDENDUM "A"
List of Violations

Location: 7330 Piney Branch Road

Date of Inspection: 4/18/00

1. Repair or replace the deteriorated roof trusses and sub-roofing to restore structural integrity and good repair. *Montgomery County Code, 1997, as amended, Section 26-8(a).*
2. Replace the missing area of tiles on the roof. All repair work must adequately secure the replacement roofing material and prevent water from entering the dwelling. *Montgomery County Code, 1997, Section 26-8(b).*
3. Repair or replace the deteriorated gutter boards and/or soffit boards and restore surface finishes to match surrounding areas. *Montgomery County Code, 1997, Section 26-8(g).*
4. Repair or replace the deteriorated, loose, or leaking components of the gutter and downspout system and remove any obstructions as necessary to provide a system that will properly conduct storm water away from the structure. *Montgomery County Code, 1997, Section 26-8(f).*
5. Replace the missing, broken or cracked window glass. *Montgomery County Code, 1997, 26-8(b)*
6. Repair or replace the deteriorated area of stucco siding. The replacement siding must closely match the original and must be properly installed in order to provide a weathertight exterior surface. *Montgomery County Code, 1997, Section 26-8(a).*
7. Remove the vegetation growth from the siding. *Montgomery County Code, 1997, as amended, Section 26-10(j).*
8. Remove all accumulations of trash, rubbish (including abandoned vehicles), debris, refuse and garbage scattered about the grounds. Maintain the grounds in a clean condition on a continuing basis. A regular and routine maintenance effort must be instituted, and continued, to prevent the accumulation of trash and debris. More frequent or improved trash and garbage collection may be an important factor, but there is an apparent necessity for supervised cleaning and maintenance on a routine, scheduled and frequent basis. *Montgomery County Code, 1997, Section 26-10(a)(2).*
9. Cut the tall grass and/or weeds (and maintain on a continuing basis) before they grow to a height of twelve (12) inches. *Montgomery County Code, 1997, Section 26-10(h).*
10. Remove the stack of wood from the right side of the house. *Montgomery County Code, Section 48-24(b).*



7330

PIVET BRIDGE RD

THEMA AVE

MD.

D.C.

9

1. General Conditions

- a. This project shall be built according to all applicable codes of Montgomery County.
- b. All work shall be done in workmanshiplike manner.
- c. Contractors shall obtain required permits and inspections and pay all fees thereof.
- d. Contractor shall file with owner certificates of insurance in amounts considered adequate by the owner and if applicable, the leading instruction for a) public liability insurance and b) workmen's compensation.
- e. Contractor shall adequately protect all work during construction from damage, wind, rain, and cold weather. All damaged work shall be repaired at the contractor's expense.
- f. Contractor shall properly brace the structure against wind, dead and live loads until the building is completed according to plans and specifications.
- g. Construction site shall be clean at the end of each working day; construction debris shall be picked up in the yard and the floors shall be broom swept.
- h. All debris shall be removed promptly from the site by the contractor and according to all applicable county codes.
- i. Contractor shall verify all dimensions and site conditions. Any discrepancies between drawings and site conditions shall be brought to the architect's attention.
- j. Contractor shall pay all sales tax.
- k. Contractor shall be responsible for and make good any defects due to faults in labor and materials which may arise or be discovered by the owner within one year after completion of contract.
- l. Contractor shall coordinate with owner for the location a staging area.

2. Rough Carpentry

- a. All beams, posts, and repetitive members to be Hem-Fir #2 (min 1200 psi) or better or approved equal.
- b. All lumber to be kiln dried to a max of 19% moisture content.
- c. Subflooring shall be 3/4" (6 layers) for bedroom, 1" in bathroom and shall be glued and nailed, wall sheathing 1/2" (4 layers) and roof sheathing 5/8" (6 layers) ext. grade plywood.
- d. Exterior walls shall be 2x4's @ 16" o.c., interior walls 2x4's @ 16" o.c. u.o.n.
- e. header min. sizes:
for 2'0" - 3'0" opening : 2-2x6
for 3'1" - 4'0" opening : 2-2x8
for 4'1" - 7'0" opening : 2-2x10
for 7'1" - 9'0" opening : 2-2x12

3. Insulation

- a. All insulation in walls (4") and ceiling (9"+) shall be foiled fiberglass batt insulation.
- b. Insulation shall be installed behind all ducts, electrical outlets and pipes.
- c. All electrical wire penetrations to the exterior or unheated shall be sealed with non-hardening putty.
- d. Insulation shall be placed tightly around all windows and doors.

4. Roofing

- Roofing shall be 30 yr GAF Timberline asphalt shingle or approved equal; color to match existing.

5. Exterior Finish

- Walls - siding to match existing in color, finish and texture. Trim to match existing.

6. Gypsum Board

- All walls and ceilings shall receive 1/2" gypsum board. In bathroom all walls at shower above 6' and ceiling and area around tub and behind lavatory shall receive waterproof gypsum board and at shower below 6' (all walls) 1/2" concrete panel.

7. Finishes

- a) ceramic tile on floor, shower area, and around tub in bathroom.
- b) study and W.I.C.: pine flooring to match existing on second floor as close as possible.

8. Doors

- Interior doors to match existing in style.

9. Windows

- The windows shall be wood, insulated, double hung with screen, standard finish, white outside, by Weathershield or approved equal. Style to match existing dormer. LOW E, U-10, TILT Skylight by Valux; clear insulated tempered laminated glass; bronze enameled frame. For sizes see drawings. LOW E.

10. Interior Trim and Painting

- All interior trim to match existing in size; no clam moulding. All trim to be filled and sanded before being painted. All joints to be caulked with silicone caulking.
- Paint Manufacturer: Duron or approved equal.
- Walls and Ceiling: 1 coat latex primer, 2 coats finish latex flat
- Wood Work: 1 coat latex semi-gloss primer, 2 coats finish semi-gloss.
- Color to be selected by owner.

11. Plumbing

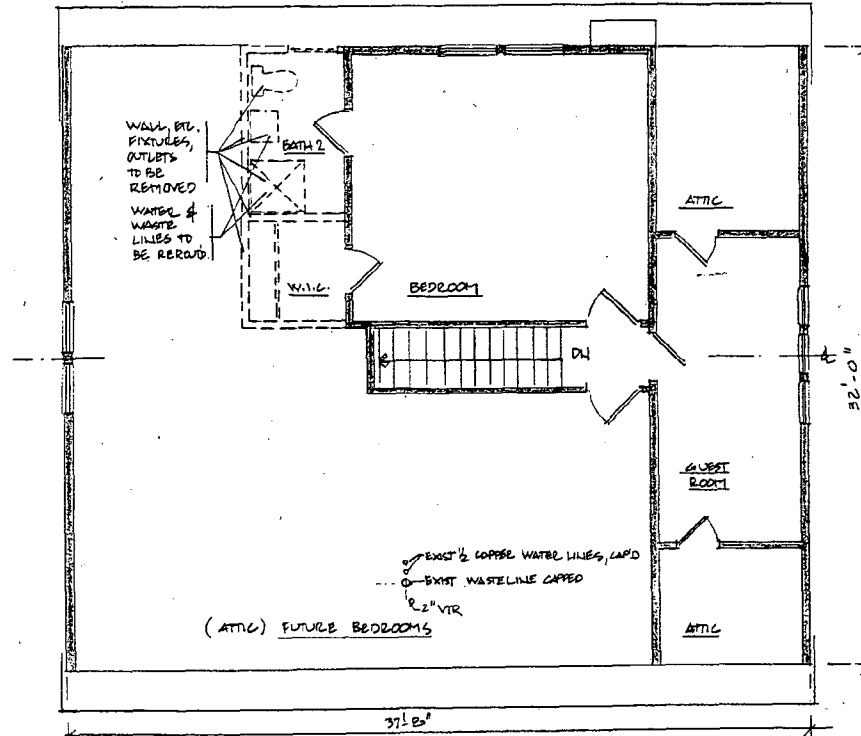
- Toilet: Kohler, 1.6 gal flush white
- Sink : Kohler, manufactured marble as part of countertop
- Shower: 36"x36" prefab drainboard w/ glass shower door
- Tub: acrylic 6' whirlpool
- Faucets: chrome over brass; to be selected; Deltas or approved equal.
- H & C waterlines: 1/2" Copper; waste, PVC.

12. Heating/ Cooling

- New system FOR COOLING FOR HEATING: INSTALL RADIATORS IF EXIST in 5'x7' BAY WINDOWS.
- Frigidaire thru the wall heatpump.

13. Electrical

- See Drawings for style of fixtures. Verify if panel needs to be upgraded to 200amp.



10

WICOLA HAIN ARCHITECT
3985 WICHMOND ST
HARTSVILLE MD. 20632
301.474.4137
301.471.1850 FAX

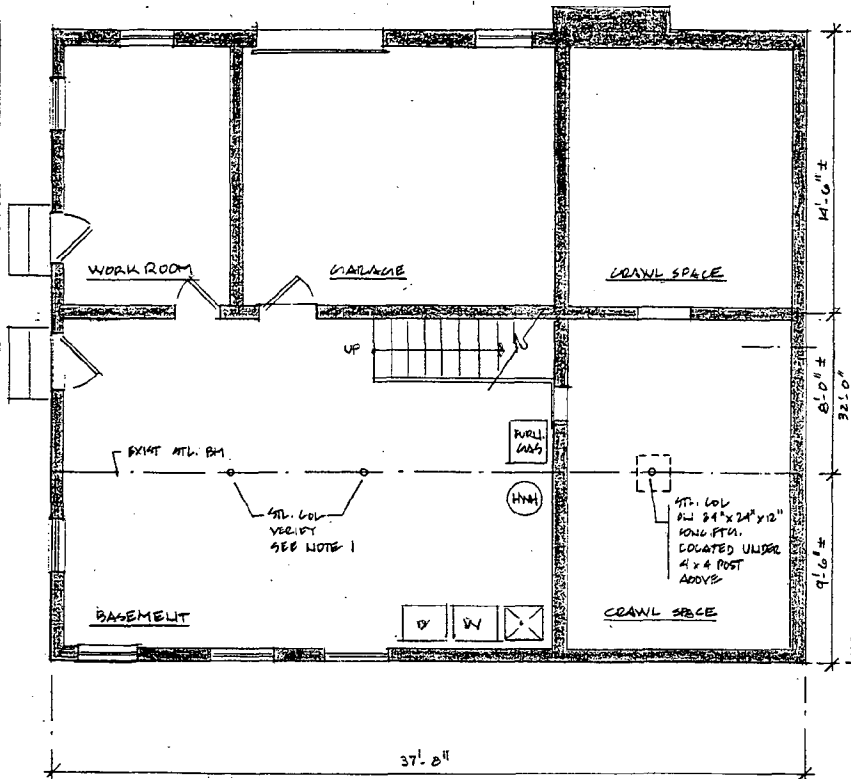
SPECIFICATION'S
DEMOUNTING PLAN

THOMPSON DORMER
730 PINET BRANCH RD
TAKOMA PARK MARYLAND

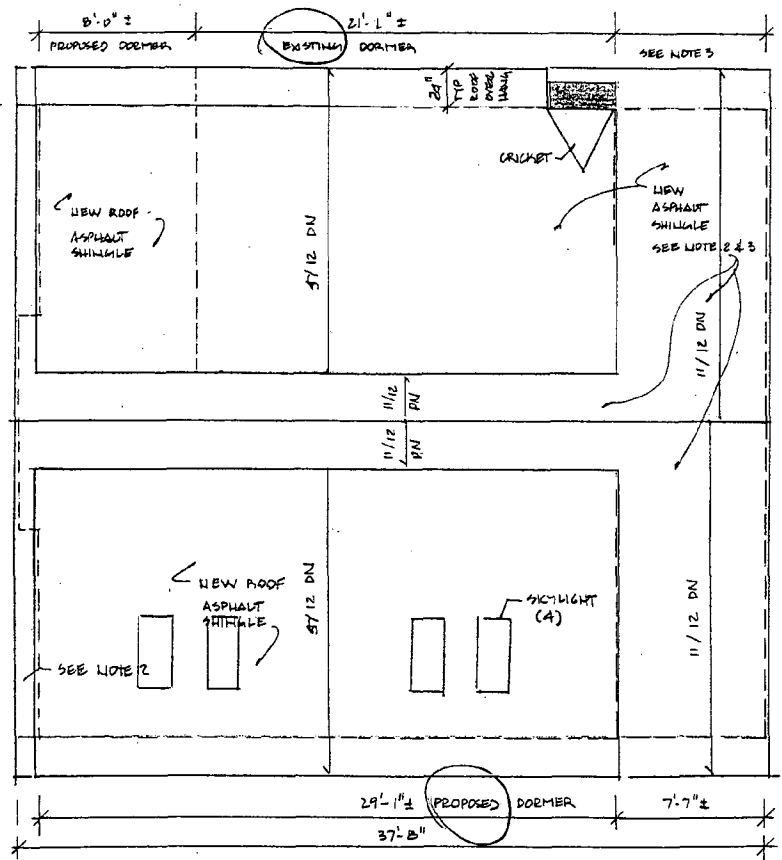
1/8" = 1'-0"
JUN 23, 2001

AI

1. VERIFY IF EXIST. MTL. COL'S LINE UP W/ NEW 4x4 PIPES ABOVE. IF DO NOT LINE UP, PLACE NEW 3/4" MTL. COL W/ 24" x 24" x 12' CONCRETE W/ 2x5 ROBAR. BOOTH WAT.
2. REPAIR SHEATH'G & RAFTERS AS NEEDED DUE TO WATER DAMAGE.
3. REMOVE EXIST. BUILDING FELT & SHINGLES. INSTALL NEW PAPER FELT & ASPHALT SHINGLES.



BASEMENT PLAN



ROOF PLAN

11

NICOLA HALL ARCHITECT
 3105 LICHFIELD ST
 HAYTSVILLE, TN 37082
 701.987.4188

BASEMENT PLAN
 ROOF PLAN

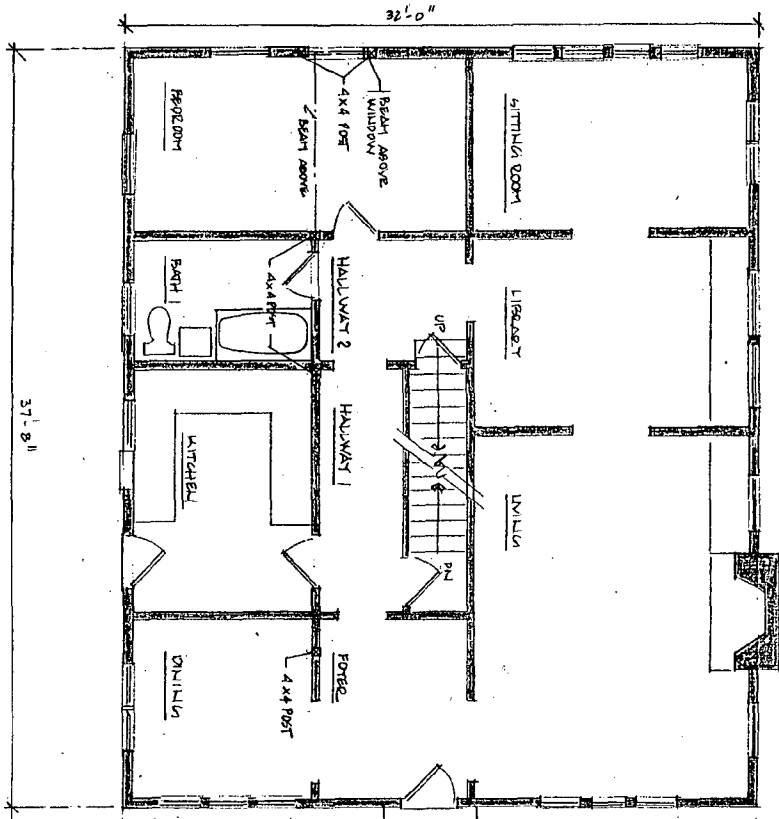
THOMPSON DORMER
 1330 PINEY BRANCH RD
 TAYLOR PARK, MARYLAND

1/4" = 1'-0"
 NOV 23, 2001

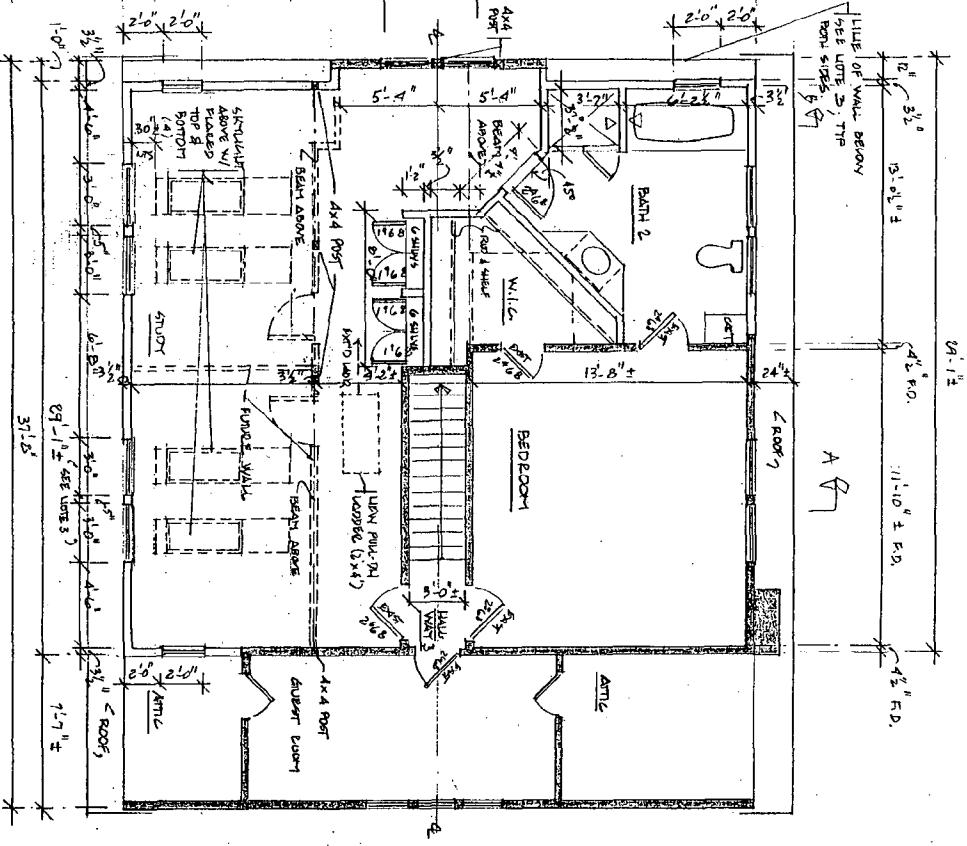
A2

1. CONTRACTOR TO VERIFY ALL DIMENSIONS & SITE CONDITIONS.
2. EXIST WALL
- ROOFED WALL
- FUTURE WALL
3. DOOR IS TO BE BUILT 12" FROM FACE OF EXIST WALL BEYOND.

FIRST FLOOR PLAN



SECOND FLOOR PLAN



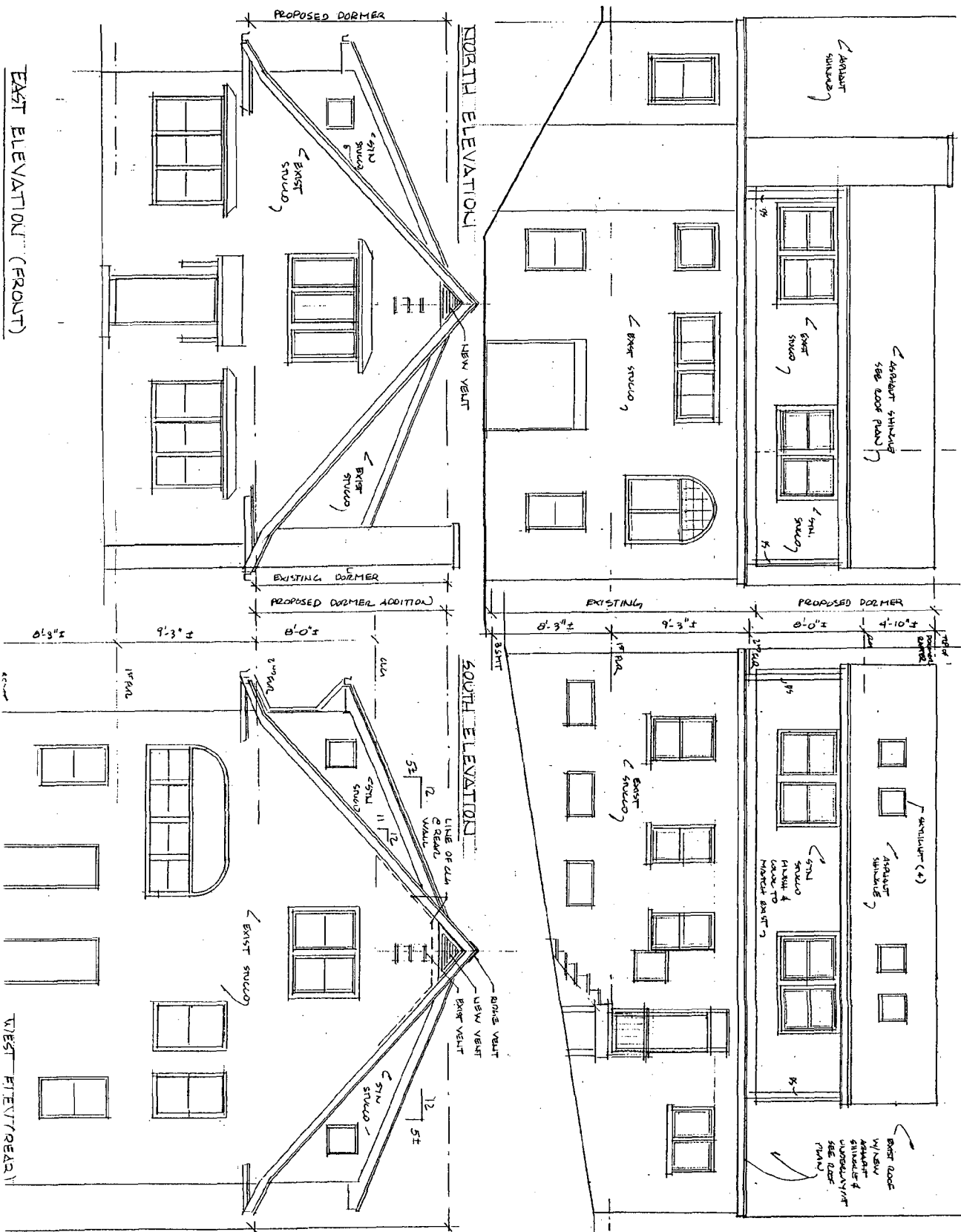
A-3

1/8" = 1'-0"
 JULY 23, 2007

THOMPSON DORMER
 7330 PILLEY BRANCH RD
 TAKOMA PARK MARYLAND

FIRST FLOOR PLAN
 SECOND FLOOR PLAN

NICOLA HAIN ARCHITECT
 3905 NICHOLSON ST
 HIAWASSEE MD 20822
 301.927.4137

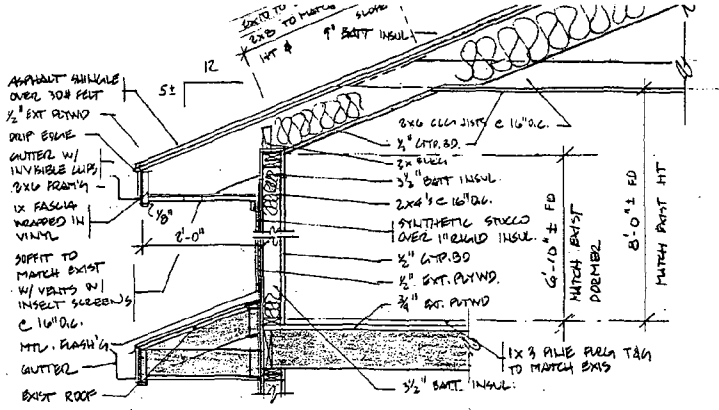


A4
 JULY 23, 2004
 1/8" = 1'-0"

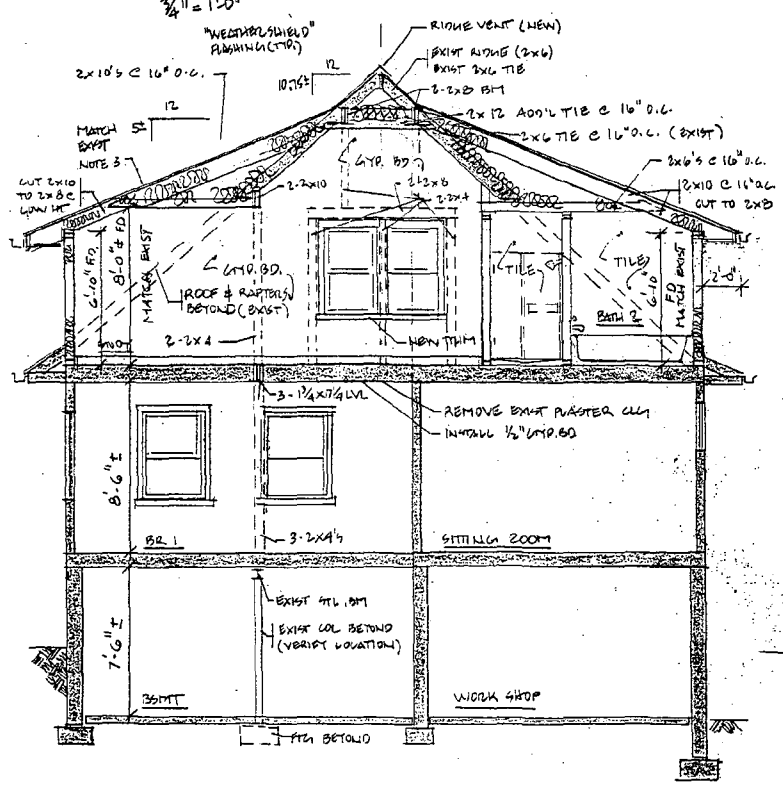
THOMPSON DORMER
 7330 PINEY BRANCH RD
 TAKOMA PARK MARYLAND

ELEVATIONS

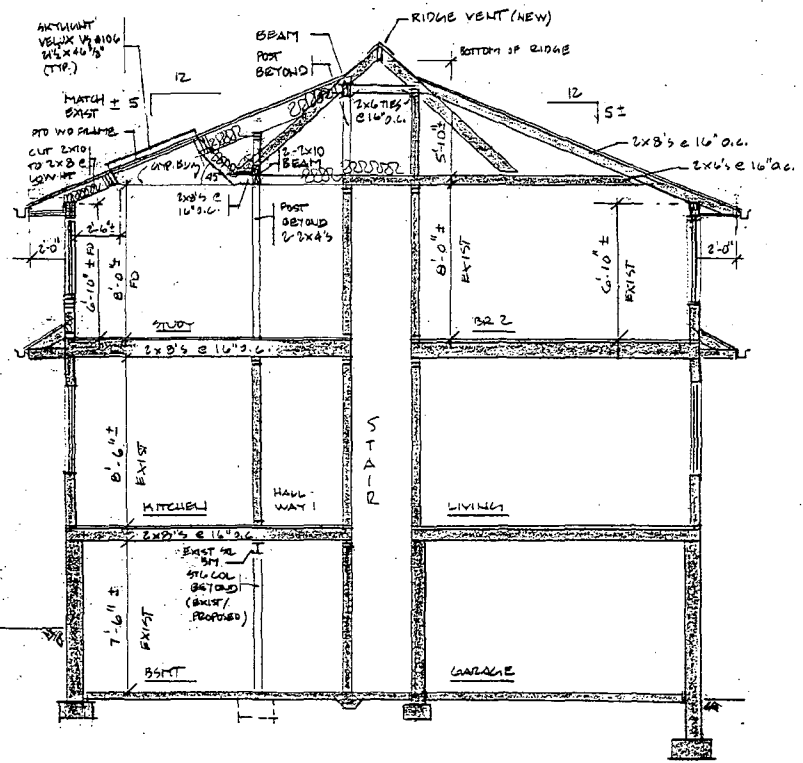
NICOLA HAIN ARCHITECT
 3905 MICHOLSON ST
 HYATTSVILLE MD
 PH: 927.4437



WALL SECTION



SECTION BB

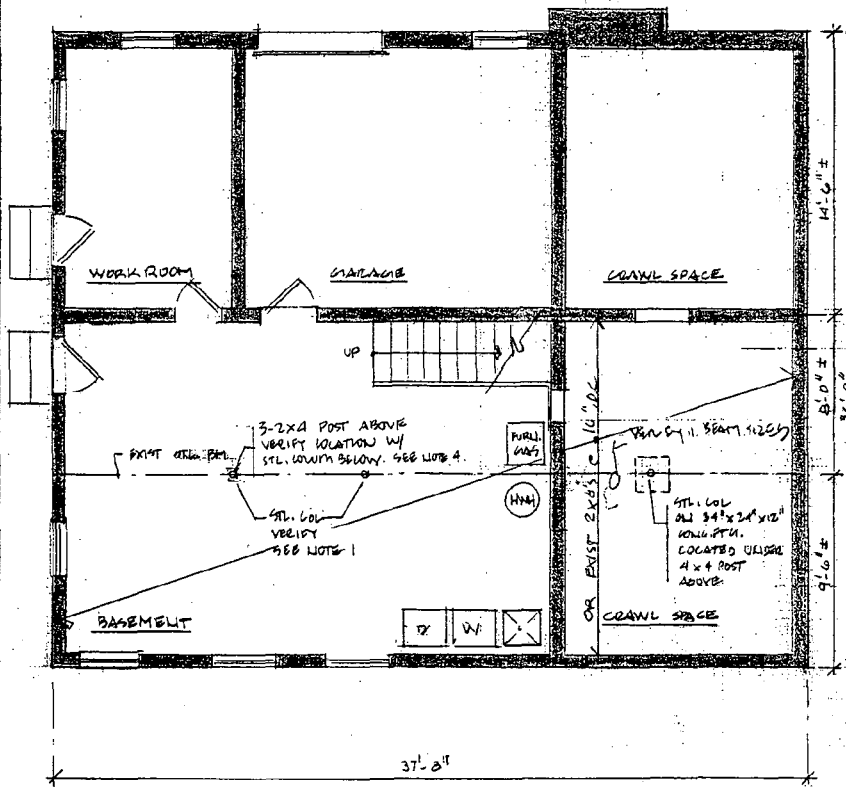


SECTION AA

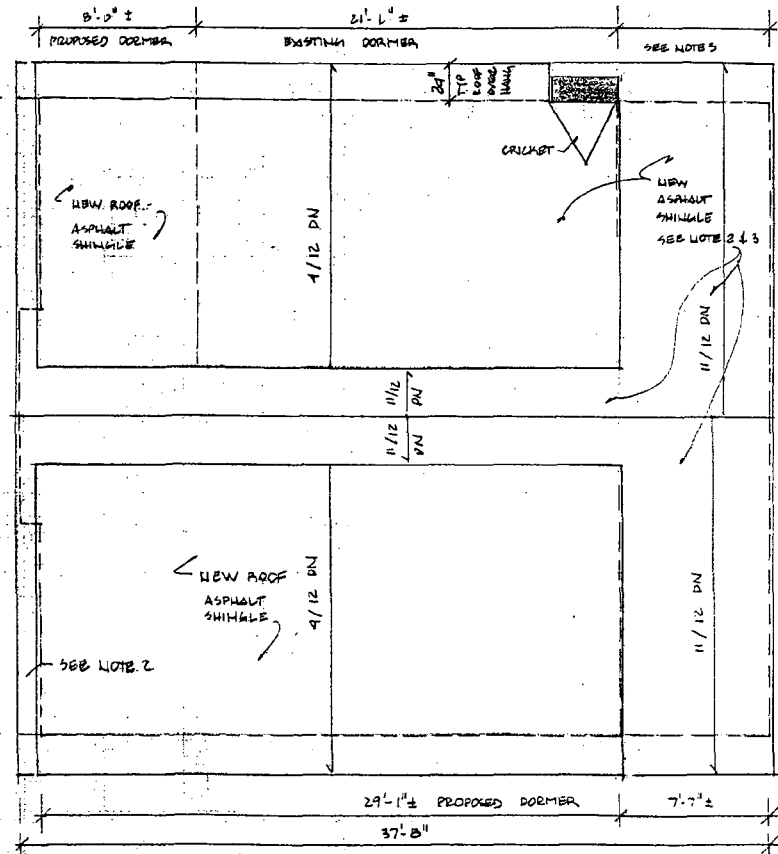
- NOTES:
1. CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS & DIMENSIONS.
 2. EXIST WALL
 PROPOSED WALL
 3. INTEREST: LEAN DORMER TO MATCH EXIST IN SIZE, SLOPE OF ROOF, EXTERIOR FINISH, & WINDOW SIZE & SIZE, & COLOR.
 4. FD = FINISHED DIMENSION

NOTES:

1. VERIFY IF EXIST STL. COL'S LINE UP W/ NEW 4x4 POST ABOVE. IF DO NOT LINE UP, PLACE NEW 3 1/2" STL. COL. W/ 2x4x2x12' CONC. FTN. W/ 2x4'S ABOVE EACH WAY.
2. REPAIR SHEATH'G & RAFTERS AS USED DUE TO WATER DAMAGE.
3. REMOVE EXIST BUILDING FELT & SHINGLES. INSTALL NEW PAPER FELT & ASPHALT SHINGLES.
4. IF ~~EXIST~~ ~~POST~~ IS MORE THAN 12" FROM EDGE OF EXIST. ROOF & CONTACT ARCHITECT.



BASEMENT PLAN/FIRST FLOOR FRAMING



ROOF PLAN

15

NICOLA MAIL ARCHITECT
 3105 NICHOLS BLVD ST
 HARTSVILLE, MD. 20882
 TEL: 410-411-4114

BASEMENT PLAN
 ROOF PLAN
 FLOORING PLANS

THOMPSON DORMER
 7330 PINEY BRANCH RD
 TAKOMA PARK, MARYLAND

1/4" = 1'-0"
 JUL 23, 2007

51

NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS & SITE CONDITIONS.
2. EXIST WALL
 PROPOSED WALL
 FUTURE WALL
3. VERIFY W/ARCHITECTURAL DWGS FOR CHANGES
4. PROPOSED DORMER WALL IS TO BE BUILT 12" IN FROM FACE OF EXIST WALL.

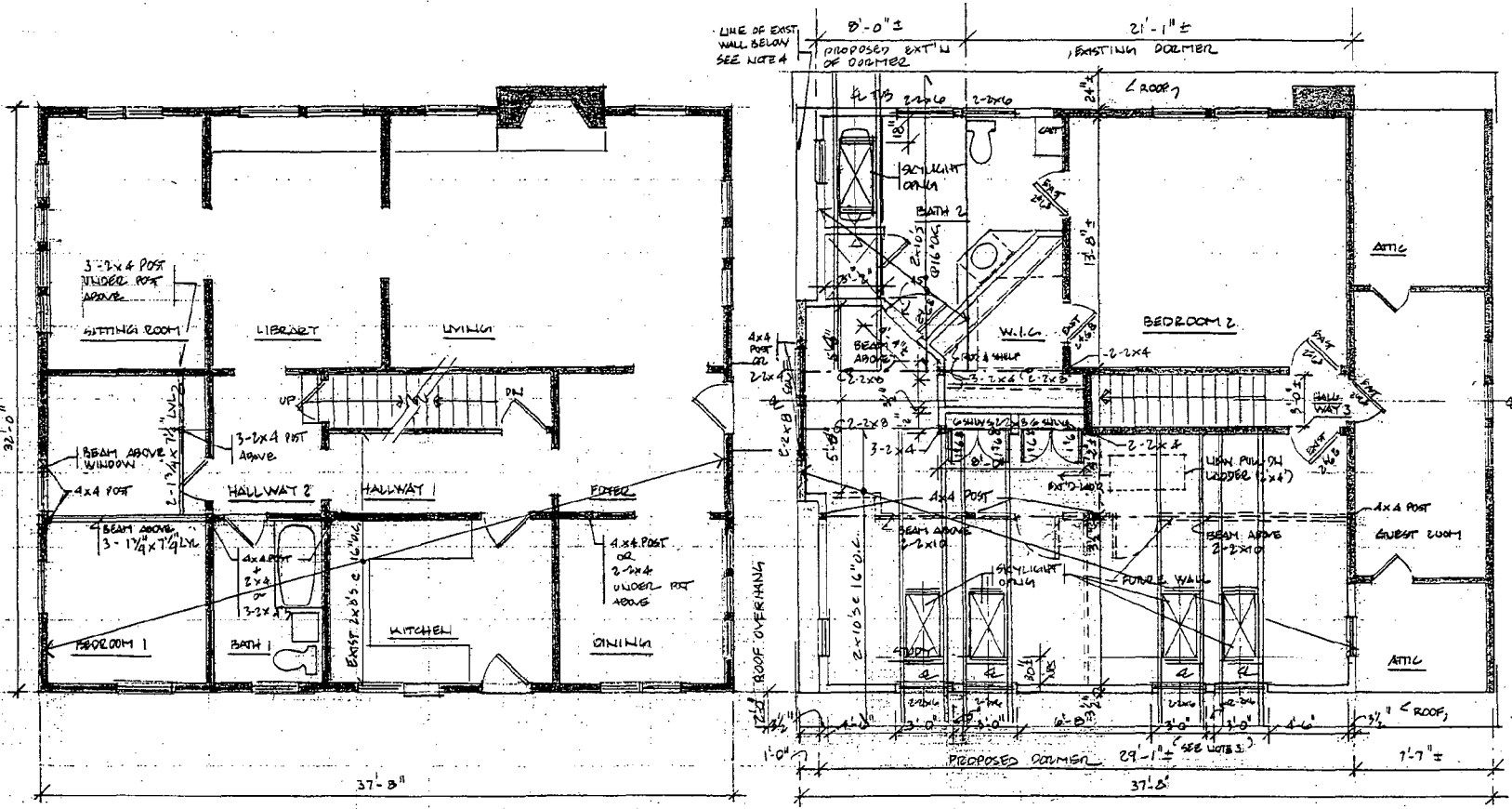
HILOLA HAIN ARCHITECT
3705 NICHOLSON ST
HANTSVILLE MD 21082
301.822.4182

FIRST FLOOR PLAN
SECOND FLOOR PLAN
FRAMING PLANS

THOMPSON DORMER
7330 PILLEY BRANCH RD
TAKOMA PARK MARYLAND

1/8" = 1'-0"
JULY 23, 2001

S2



FIRST FLOOR PLAN / SECOND FLOOR FRAMING

SECOND FLOOR PLAN / ROOF FRAMING

1. General Conditions

- a. The project shall be built according to all applicable codes Montgomery County.
- b. All work shall be done in workmanshiplike manner.
- c. Contractors shall obtain required permits and inspections and pay all fees thereof.
- d. Contractor shall file with owner certificates of insurance in amounts considered adequate by the owner and if applicable, the lending institution for a) public liability insurance and b) workmen's compensation.
- e. Contractor shall adequately protect all work during construction from damage, wind, rain, and cold weather. All damaged work shall be repaired at the contractor's expense.
- f. Contractor shall properly brace the structure against wind, dead and live loads until the building is completed according to plans and specifications.
- g. Construction site shall be clean at the end of each working day; construction debris shall be picked up in the yard and the floors shall be broom swept.
- h. All debris shall be removed promptly from the site by the contractor and according to all applicable county codes.
- i. Contractor shall verify all dimensions and site conditions. Any discrepancies between drawings and site conditions shall be brought to the architect's attention.
- j. Contractor shall pay all sales tax.
- k. Contractor shall be responsible for and make good any defects due to faults in labor and materials which may arise or be discovered by the owner within one year after completion of contract.
- l. Contractor shall coordinate with owner for the location a staging area.

2. Rough Carpentry

- a. All beams, posts, and repetitive members to be Hem-Fir #2 (min 1200 psi) or better or approved equal.
- b. All lumber to be kiln dried to a max of 19% moisture content.
- c. Subflooring shall be 3/4" (6 layers) for bedroom, 1" in bathroom and shall be glued and nailed, wall sheathing 1/2" (4 layers) and roof sheathing 5/8" (6 layers) ext. grade plywood.
- d. Exterior walls shall be 2x4's @ 16" o.c., interior walls 2x4's @ 16" o.c. u.o.n.
- e. header min. sizes:
for 2'0" - 3'0" opening : 2-2x6
for 3'1" - 4'0" opening : 2-2x8
for 4'1" - 7'0" opening : 2-2x10
for 7'1" - 9'0" opening : 2-2x12

3. Insulation

- a. All insulation in walls (4") and ceiling (9"+) shall be foiled fiberglass batt insulation.
- b. Insulation shall be installed behind all ducts, electrical outlets and pipes. All electrical wire penetrations to the exterior or unheated shall be sealed with non-hardening putty.
- c. Insulation shall be placed tightly around all windows and doors.

4. Roofing

Roofing shall be 30 yr GAF Timberline asphalt shingle or approved equal; color to match existing.

5. Exterior Finish

Vinyl siding to match existing in color, finish and texture. Trim to match existing.

BY W. STUCCO

6. Gypsum Board

All walls and ceilings shall receive 1/2" gypsum board. In bathroom all walls at shower above 6' and ceiling and area around tub and behind lavatory shall receive waterproof gypsum board and at shower below 6' (all walls) 1/2" concrete panel.

7. Finishes

- a) ceramic tile on floor, shower area, and around tub in bathroom.
- b) study and W.I.C.: pine flooring to match existing on second floor as close as possible.

8. Doors

Interior doors to match existing in style.

9. Windows

The windows shall be wood, insulated, double hung with screen, standard finish, white outside, by Weathershield or approved equal. Sizes to match existing dormer. LOW E, UAD, TILT Skylight by Velux; clear insulated tempered laminated glass; bronze enameled frame. For sizes see drawings. LOW E.

10. Interior Trim and Painting

All interior trim to match existing in size; no clam moulding. All trim to be filled and sanded before being painted. All joints to be caulked with silicone caulking.

Paint Manufacturer: Duron or approved equal.

Walls and Ceiling: 1 coat latex primer, 2 coats finish latex flat

Wood Work: 1 coat latex semi-gloss primer, 2 coats finish semi-gloss.

Color to be selected by owner.

11. Plumbing

Toilet: Kohler, 1.6 gal flush white

Sink : Kohler, manufactured marble as part of countertop

Shower: 36"x36" prefab drainboard w/ glass shower door

Tub: acrylic 6' whirlpool

Faucets: chrome over brass; to be selected; Delta or approved equal.

H & C waterlines: 1/2" Copper; waste, PVC.

12. Heating/ Cooling

New system: FOR COOLING
Frigidaire thru the wall heatpump.

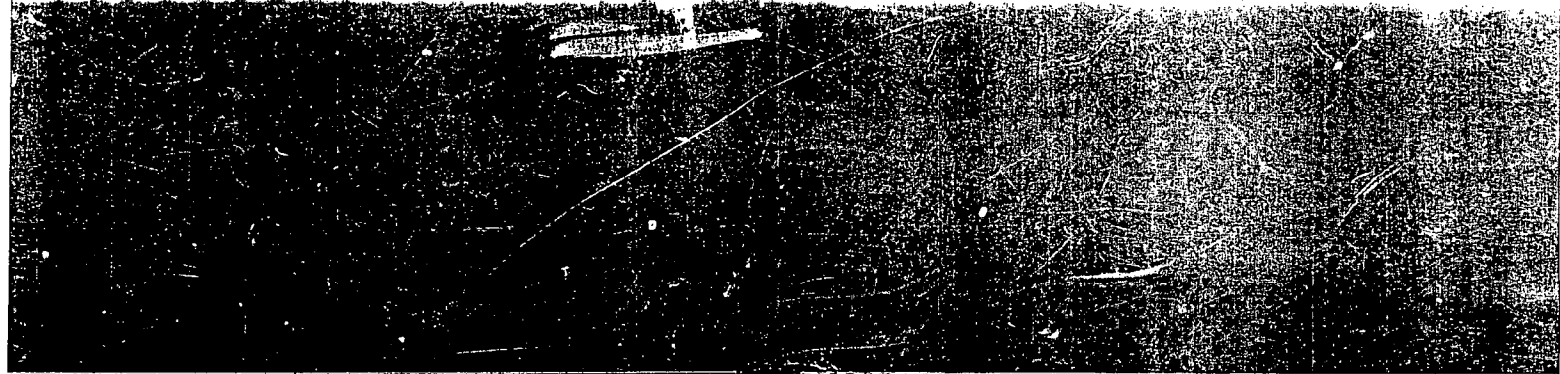
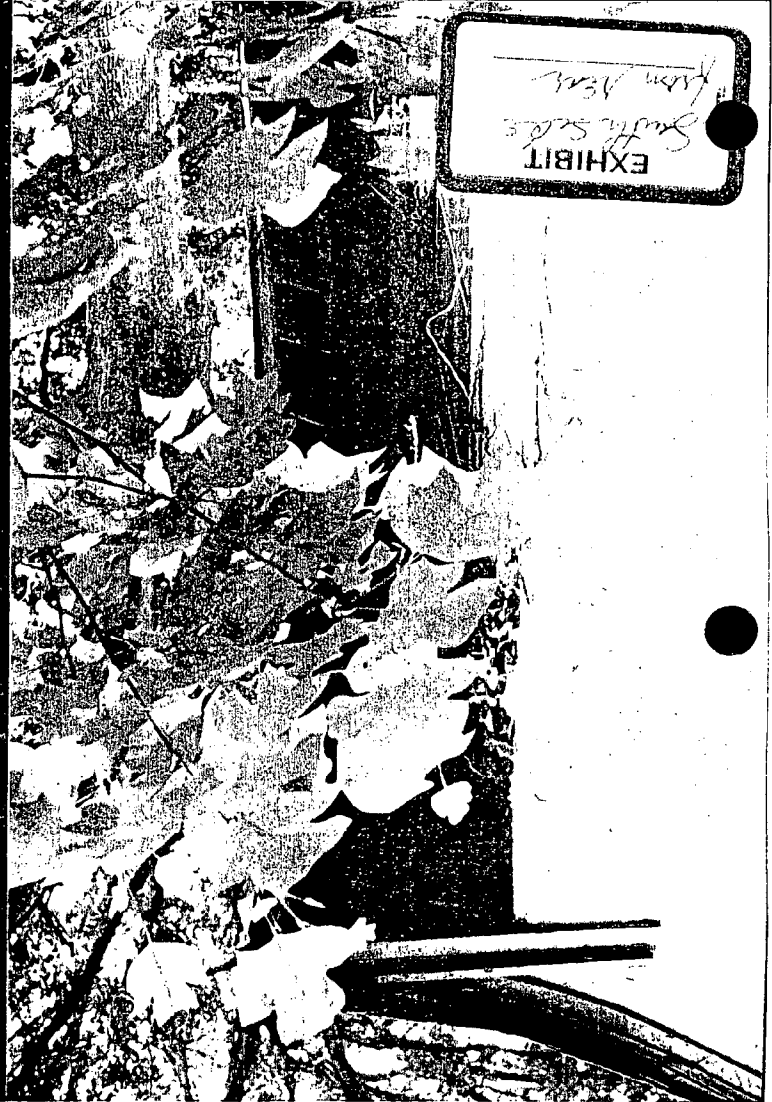
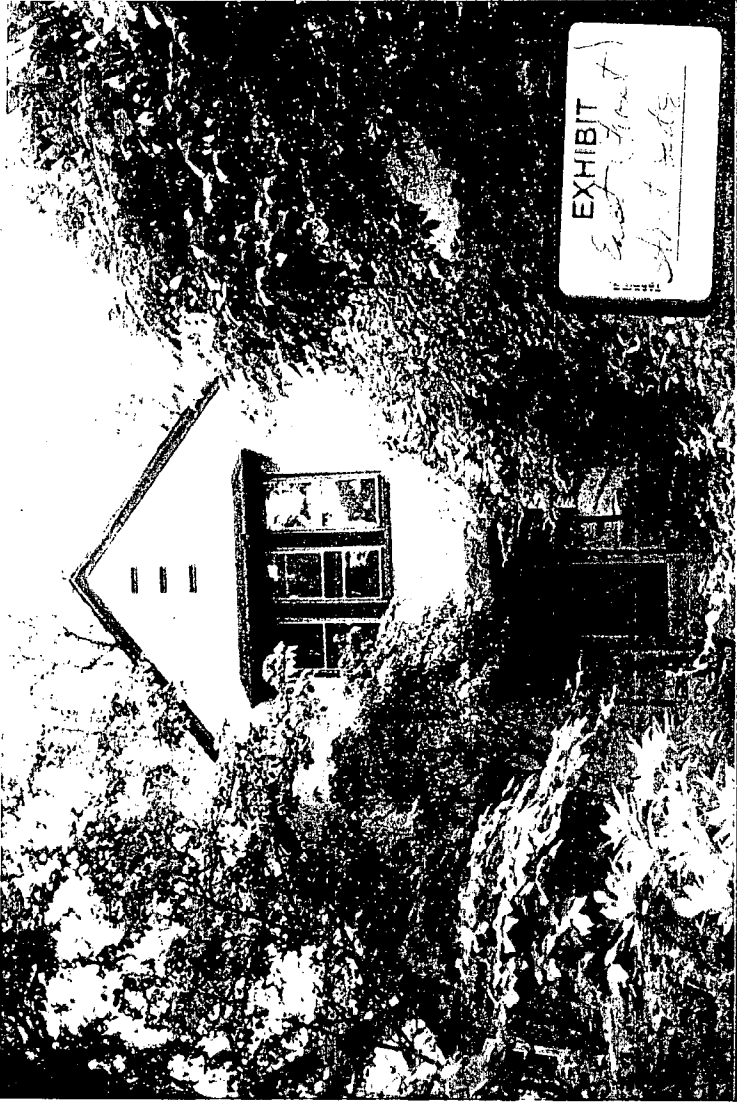
FOR HEATING: INSTALL RADIATORS IF
EXIST'N SYSTEM ALLOWS.

13. Electrical

See Drawings for style of fixtures. Verify if panel needs to be upgraded to 200amp.



15



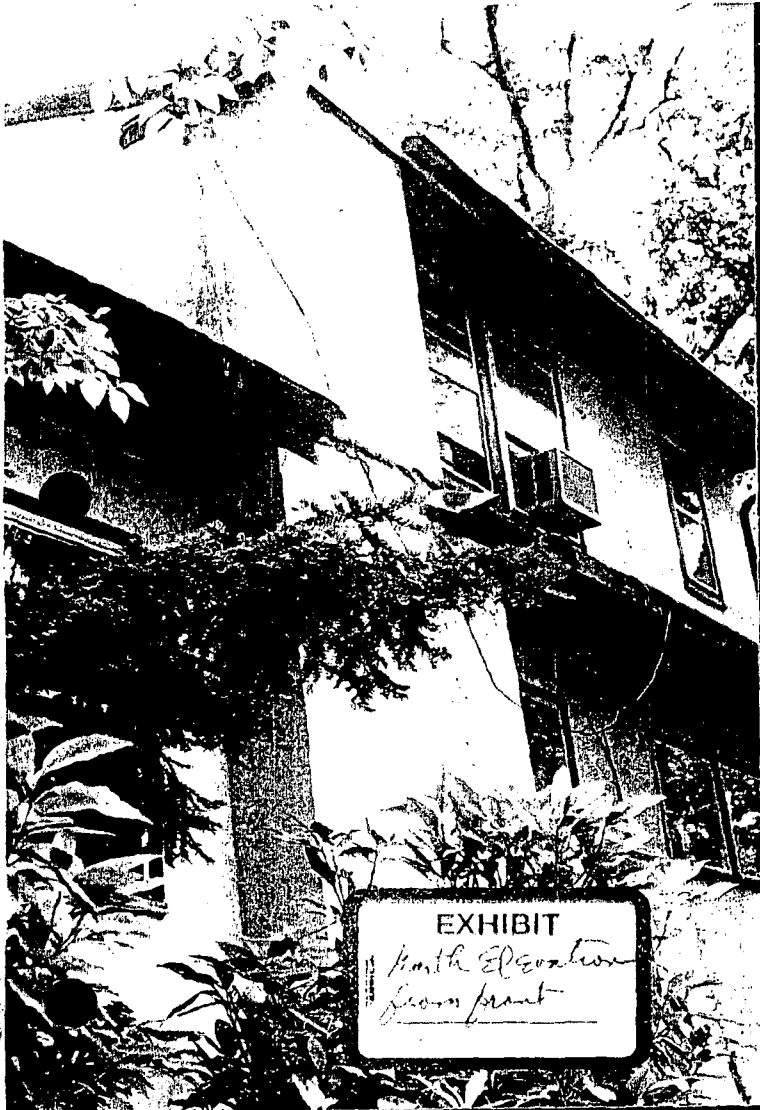


EXHIBIT
North Elevation
from front

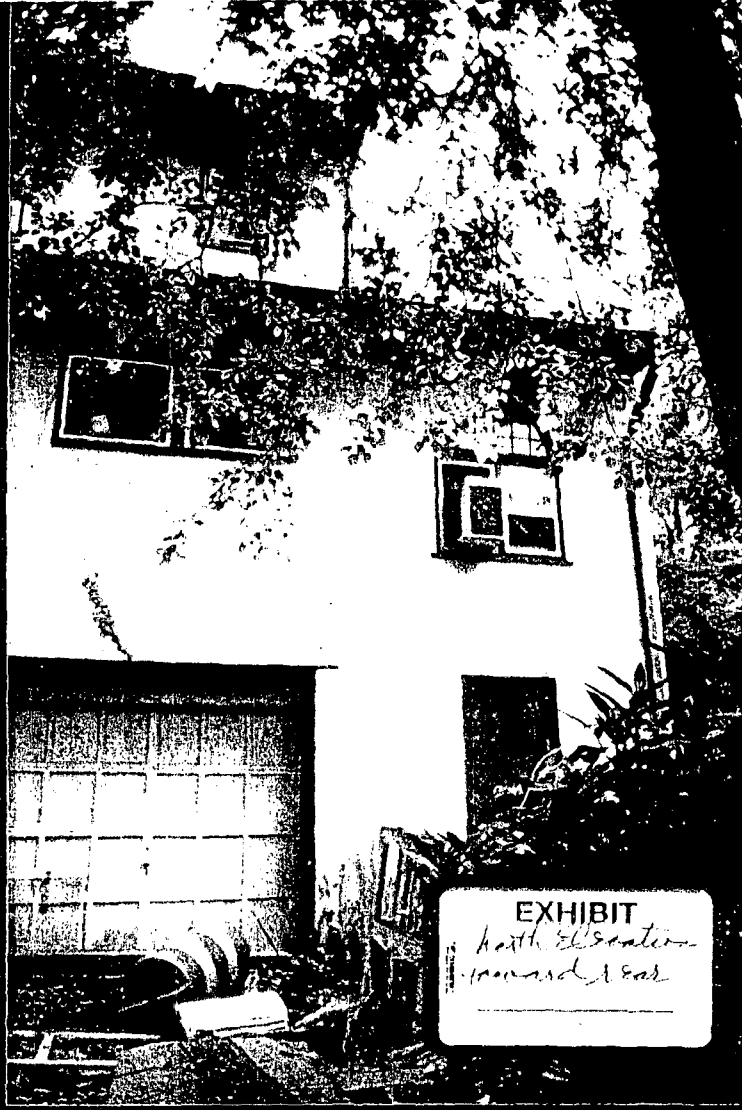


EXHIBIT
North Elevation
from road



DEPARTMENT OF HOUSING AND COMMUNITY AFFAIRS

Douglas M. Duncan
County Executive

Elizabeth B. Davison
Director

July 5, 2001

James A. and M. T. Welu
811 Thayer Avenue
Silver Spring, Maryland 20910

Case Number: 25639
Location: 7330 Piney Branch Road
Takoma Park 20912

Dear Mr. and Mrs. Welu:

Housing Code Inspector Robert A. Bell, Jr conducted a reinspection of the vacant dwelling located at the above-referenced address, on July 3, 2001. None of the violations listed in the original notice dated May 10, 2000 have been corrected.

This property is located within the Takoma Park Historic District as designated by the Maryland National Capital Park and Planning Commission's Historic Preservation Office and is identified as Site #37/3 on the Master Plan for Historic Preservation. Therefore, this property is protected by Chapter 24A of the Montgomery County Code, entitled *Preservation of Historic Resources*. Section 24A-9 defines "Demolition by Neglect" as the failure to provide ordinary and necessary maintenance and repair to an historic site or an historic resource within an Historic District, whether by negligence or willful neglect, purpose or design, by the owner or any party in possession of the site or resource which results in any of the following conditions:

The deterioration of exterior features so as to create or permit a hazardous or unsafe condition to exist; and,

The deterioration of exterior walls, roofs, chimneys, windows, the lack of adequate waterproofing or deterioration of interior features or foundations which will or could result in permanent damage, injury or loss of or to the exterior features.

This is a Final Notice and Order to correct the conditions evidenced at this property and deemed "Demolition by Neglect. The correction of all violations must commence immediately and be satisfactorily completed by August 31, 2001. The enclosed Addendum "A" constitutes a part of this Notice and Order and is incorporated by reference.

Division of Housing and Code Enforcement

Code Enforcement	Moderately Priced	Housing Development	Landlord-Tenant Affairs
FAX 240/777-3701	Dwelling Unit	and Loan Programs	240/777-3691
	240/777-3709	240/777-3691	

100 Maryland Avenue, 4th Floor • Rockville, Maryland 20850 • 240/777-3600, TDD 301/217-3679

Website: www.co.mo.md.us/hca

Mr. & Mrs. Welu
July 5, 2001
Page Two

In the event the corrective action specified in this Notice and Order is not completed by the deadline, the County will make arrangements to do the work and you will be billed for the entire cost and this debt will be collected in any way legally available to the County. Furthermore, failure to comply will constitute a violation of Chapter 24A of the Montgomery County Code and subject you to a \$500 fine and each day the violation continues to exist constitutes a separate offense.

You have the right to appeal this Notice and Order by requesting a hearing from the Historic Preservation Commission within ten days of your receipt of this Notice. Address your request to the Historic Preservation Commission, Maryland-National Capital Park and Planning Commission, ATTENTION: Gwen Wright, 8787 Georgia Avenue, Silver Spring, Maryland 20910. For further information, you can reach Ms. Wright at 301-563-3400.

If you have any questions, or wish to discuss this matter further, please call Inspector Bell at 240-777-3738.

Sincerely,

Joseph T. Giloley

Joseph T. Giloley, Chief
Division of Housing and Code Enforcement

JTG:wlb
S:\DHCD\REGSERV\CODEENFDemolition\7330PineyBranch.doc
Enclosure

VIA REGULAR & CERTIFIED MAIL/POSTING

ADDENDUM "A"
List of Violations

Location: 7330 Piney Branch Road

Date of Inspection: 4/18/00

1. Repair or replace the deteriorated roof trusses and sub-roofing to restore structural integrity and good repair. *Montgomery County Code, 1997, as amended, Section 26-8(a).*
2. Replace the missing area of tiles on the roof. All repair work must adequately secure the replacement roofing material and prevent water from entering the dwelling. *Montgomery County Code, 1997, Section 26-8(b).*
3. Repair or replace the deteriorated gutter boards and/or soffit boards and restore surface finishes to match surrounding areas. *Montgomery County Code, 1997, Section 26-8(g).*
4. Repair or replace the deteriorated, loose, or leaking components of the gutter and downspout system and remove any obstructions as necessary to provide a system that will properly conduct storm water away from the structure. *Montgomery County Code, 1997, Section 26-8(f).*
5. Replace the missing, broken or cracked window glass. *Montgomery County Code, 1997, 26-8(b)*
6. Repair or replace the deteriorated area of stucco siding. The replacement siding must closely match the original and must be properly installed in order to provide a weathertight exterior surface. *Montgomery County Code, 1997, Section 26-8(a).*
7. Remove the vegetation growth from the siding. *Montgomery County Code, 1997, as amended, Section 26-10(j).*
8. Remove all accumulations of trash, rubbish (including abandoned vehicles), debris, refuse and garbage scattered about the grounds. Maintain the grounds in a clean condition on a continuing basis. A regular and routine maintenance effort must be instituted, and continued, to prevent the accumulation of trash and debris. More frequent or improved trash and garbage collection may be an important factor, but there is an apparent necessity for supervised cleaning and maintenance on a routine, scheduled and frequent basis. *Montgomery County Code, 1997, Section 26-10(a)(2).*
9. Cut the tall grass and/or weeds (and maintain on a continuing basis) before they grow to a height of twelve (12) inches. *Montgomery County Code, 1997, Section 26-10(h).*
10. Remove the stack of wood from the right side of the house. *Montgomery County Code, Section 48-24(b).*





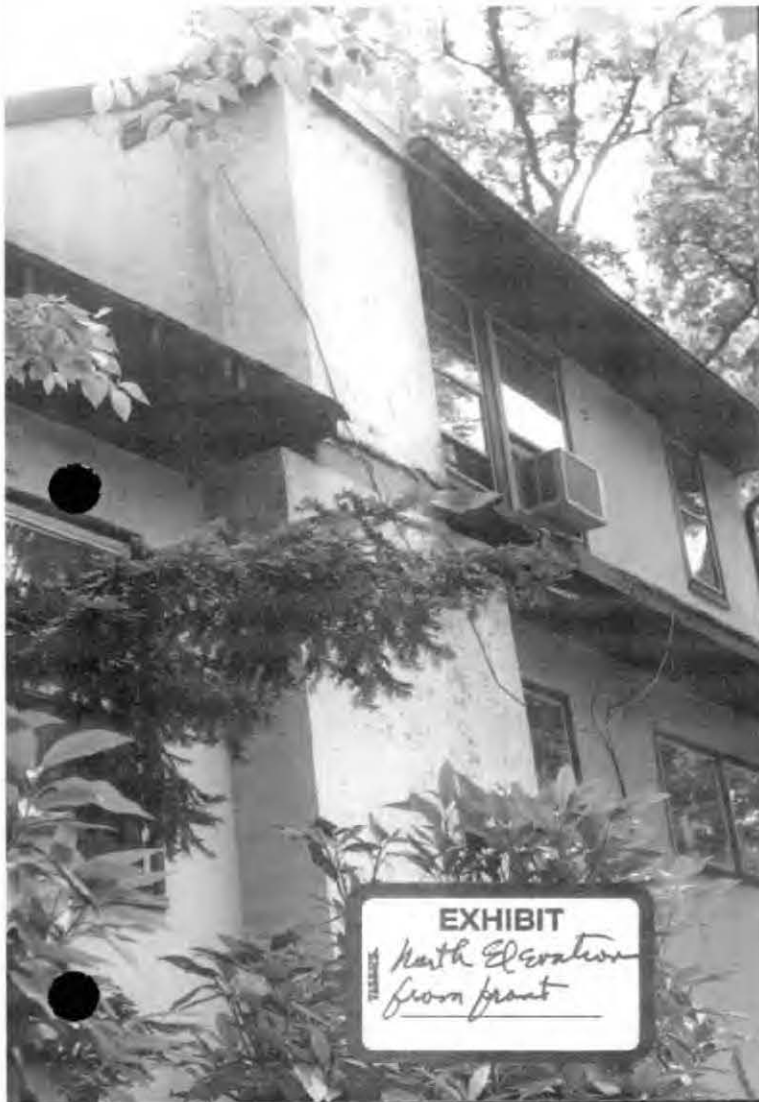


EXHIBIT
North Elevation
from front



EXHIBIT
North Elevation
forward & side