

37/3-99I 6810 Westmoreland Avenue
(Takoma Park Historic District)

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 5.12.99

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

37/3-99I

FROM: Gwen Wright, Coordinator
Historic Preservation PDZ

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved Denied

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Michael Fisher & Christy Lopez

Address: 6810 Westmoreland Ave, Takoma Park MD. 20912

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.



DEPARTMENT OF PERMITTING SERVICES
 250 HUNGFORD DRIVE, 2nd FLOOR ROCKVILLE, MD 20850
 301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
 HISTORIC AREA WORK PERMIT**

Contact Person: ALAN ABRAMS

Daytime Phone No.: 202 726 5094

Tax Account No.: _____

Name of Property Owner: MICHAEL FISHER & CHRISTY LOPEZ Daytime Phone No.: 703 236 1290

Address: 6810 WESTMORELAND AVE TAKOMA PK MD 20912
Street Number City State Zip Code

Contractor: (OWNER) Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 6810 Street: WESTMORELAND AVE

Town/City: TAKOMA PK Nearest Cross Street: WALNUT AVE

Lot: 26 Block: 17 Subdivision: PINECREST

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 30,000

1C. If this is a revision of a previously approved active permit, see Permit # X

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Dther: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Dther: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Alan Abrams
 Signature of owner or authorized agent

4-16-99
 Date

Approved: X For Chairman, Historic Preservation Commission

Disapproved: _____ Signature: [Signature] Date: 5/12/99

Application/Permit No.: 990416.0089 Date Filed: 4/16/99 Date Issued: _____

37/3-99I

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 6810 Westmoreland Avenue Meeting Date: 5/12/99
Resource: Takoma Park Historic District Review: HAWP
Case Number: 37/3-99I Tax Credit: No
Public Notice: 4/28/99 Report Date: 5/5/99
Applicant: Michael Fisher & Christy Lopez Staff: Robin D. Ziek
PROPOSAL: Construct rear dormer RECOMMEND: APPROVAL

RESOURCE: Outstanding Resource in Takoma Park Historic District
STYLE: Bungalow
DATE: c1910-1920s

This 1-1/2 story bungalow is a pair with the bungalow next door, which may one of the reasons, including "integrity", that both have been designated Outstanding. There is a dormer on the front elevation, facing the street, and a smaller dormer on the rear elevation (see Circle / /).

PROJECT DESCRIPTION

The applicant proposes to add a small dormer along the rear to provide sufficient ceiling height for attic bedrooms. The new materials will match the existing (see discussion on Circle / 2).

STAFF DISCUSSION

The applicant proposes a small-scale solution to the problem of existing inadequate ceiling height at the attic level. The rear dormer will be retained, and the new dormer will be inset on either side of the existing eaves by 8". This will help reduce the visibility of the new dormer from the public right-of-way. The proposed addition seems to work with the existing structure and work within the existing vocabulary. Staff feels that this proposal is compatible in terms of massing, scale and materials for the individual resource and for the historic district.

The *Takoma Park Guidelines* for Outstanding Resources note that "all alterations should be compatible with the resource's original design... and sympathetic to existing architectural character, including massing, height, setbacks, and materials" (p. 15).

STAFF RECOMMENDATION

Staff recommends that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

(1)

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: ALAN ABRAMS

Daytime Phone No.: 202 726 5894

Tax Account No.: _____

Name of Property Owner: MICHAEL FISHER & CHRISTY LOPEZ Daytime Phone No.: 703 235 1290

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Lot: 25 Block: 17 Subdivision: PINECREST

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 30,000

1C. If this is a revision of a previously approved active permit, see Permit # X

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Alan Abrams

Signature of owner or authorized agent

4-16-99

Date

Approved: _____

For Chairperson, Historic Preservation Commission

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See Attachment

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHMENT

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

Adjacent and Confronting Owners

Lot 26/Block 17 (6808 Westmoreland)
Shirley J. Roberts, Trustee
7427 Carroll Ave.
Takoma Park, MD 20912

Lot 24/Block 17
Sandra Manahan
6812 Westmoreland Ave.
Takoma Park, MD 20912

Pt. Lot 12/Block 18
David J. Wachter and Jacqueline M. Kuchta
6809 Westmoreland Ave.
Takoma Park, MD 20912

Pt. Lot 12/Block 18
Clifford F. Hunter et. al.
6811 Westmoreland Ave.
Takoma Park, MD 20912

Lot 11/Block 17
Thomas M. Roberts and Patricia L. Mallin
6741 Eastern Ave.
Takoma Park, MD

A Dormer was Approved
in April 1999, (1/4/99)
(37/3-99I)

— Shed dormer with
a shallow pitch which
was to add additional
ceiling height to the interior

**ADDENDUM TO
APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Owners: Christy Lopez and Michael Fisher

Project Address: 6810 Westmoreland Avenue, Takoma Park, MD 20912

1. Description of Project

a. Description of existing structure and setting

The existing house is a Category 1 side gabled bungalow with a full-width front porch, situated on a narrow, upwardly sloping city lot. The house sits next to its mate at 6808, and among other relatively small scale bungalows and eclectic houses, on uniform, 42' wide lots. The existing house has a transverse attic, and narrow, low dormers at front and rear. Present attic ceiling height and stairs to the attic do not meet CABO or Montgomery County code requirements for habitable space; the space is presently useful only for occasional access and storage. Tax assessment records date the house to 1928.

b. General description of project and impact

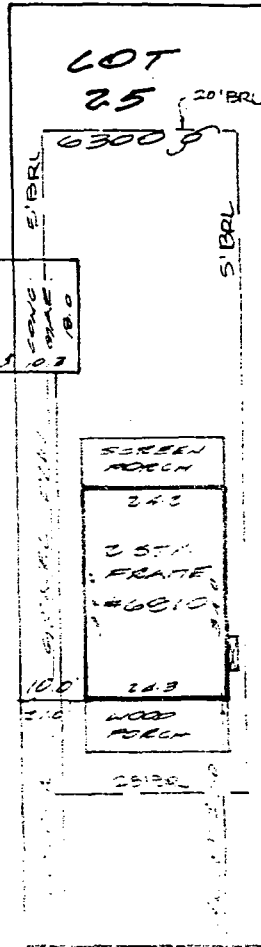
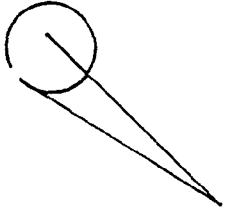
The proposal is to add a shallow, articulated dormer to the rear portion of the house, for use as a third bedroom and second bathroom. Total roof area of the proposed addition, including overhangs, is to be less than 200SqFt. The footprint of the existing house is to be unaffected. Work is to include reorientation and improvement of the existing stairs. The dormer is to have a substantially flat roof which would be not visibly higher than the ridge of the existing roof. Given the 7'-7" height under the existing ridge of the attic, the flat roof is necessary to provide the minimum required ceiling height for habitable space. The sidewalls of the dormer are to be inset 8", and the existing rake lines are to remain undisturbed, in order to distinguish the new structure from the original. Also, the prominent portion of the existing rear dormer will be preserved. The visible exterior elements of the addition are to be similar to the existing house:

1. Cladding is to be cedar shingles.
2. Barge boards and corbelled supports are to be of similar material and design as existing.
3. Windows are to be wood awnings, with muntin proportions scaled to the existing windows.

Given the siting of the existing house (which rises almost a full story higher than the street to its main level), the existing low pitched roof with 24" overhang, and the inseting of the sidewalls, the proposed addition will be almost completely hidden from sight from the right-of-way.

13

N45°00'00"W 42.00



24

20



S45°00'00"E 27.00

LOCATION DRAWING
 LOT 25 BLOCK 17
 PINE CREST

WESTMORELAND AVENUE

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100 year flood plain according to FEMA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

Sandra F. Gross

Sandra F. Gross, MD Property Line Surveyor No. 532

Date: 7-3-97
 Title: 1130
 Blk Book: 2
 Plt No: 165
 Work Order: 07-1521

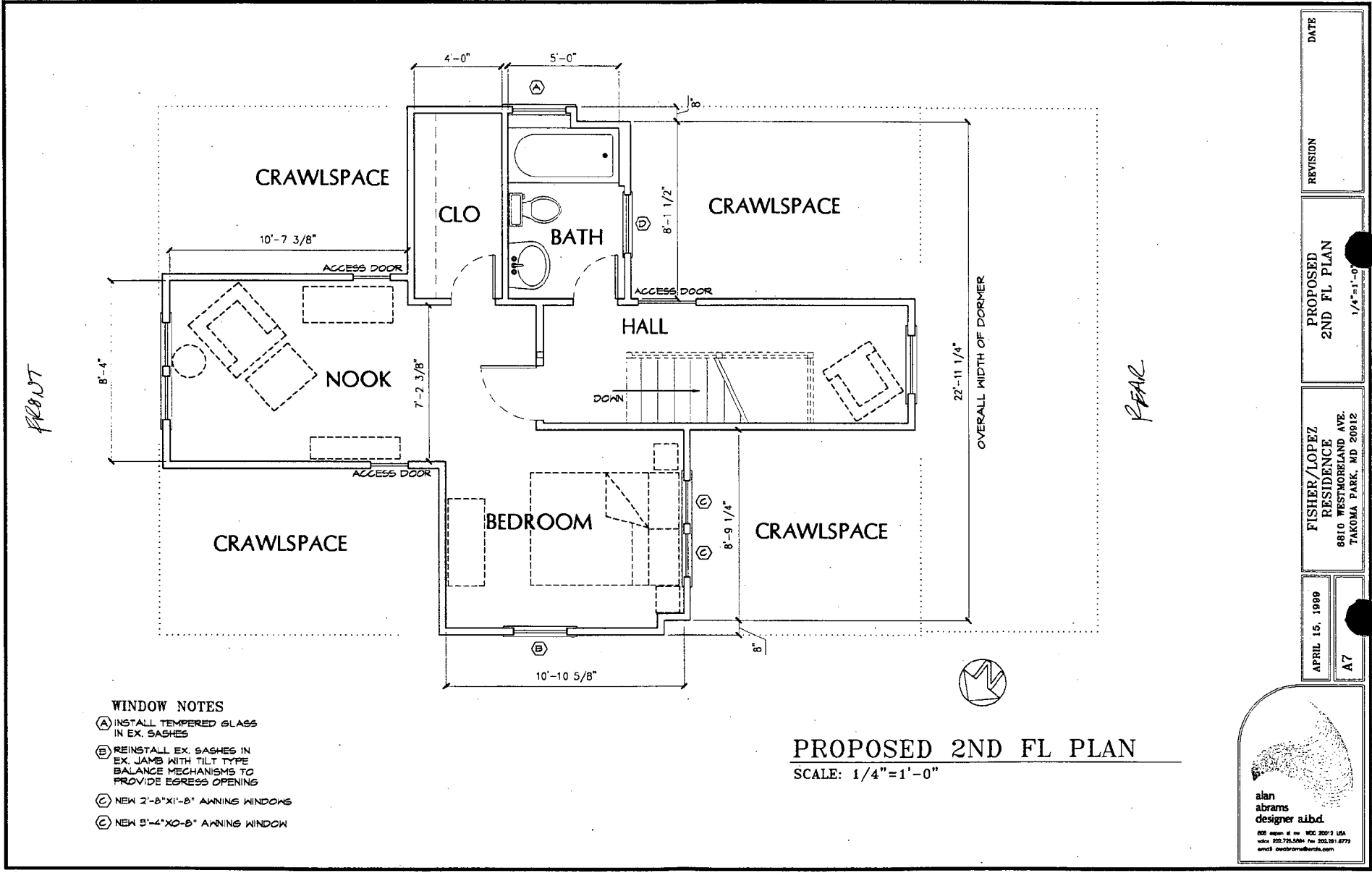


Meridian Surveys, Inc.
 2401 Research Boulevard
 Rockville, MD 20850
 Tel: 840-0625

Address: 2510 WESTMORELAND AVENUE
 District: F
 Jurisdiction: MONTGOMERY COUNTY, MD

NO TITLE REPORT FURNISHED

7



WINDOW NOTES

- (A) INSTALL TEMPERED GLASS IN EX. SASHES
- (B) REINSTALL EX. SASHES IN EX. JAMB WITH TILT TYPE BALANCE MECHANISMS TO PROVIDE EGRESS OPENING
- (C) NEW 2'-8"X1'-8" AWNING WINDOWS
- (E) NEW 5'-4"X0'-8" AWNING WINDOW

PROPOSED 2ND FL PLAN
SCALE: 1/4"=1'-0"

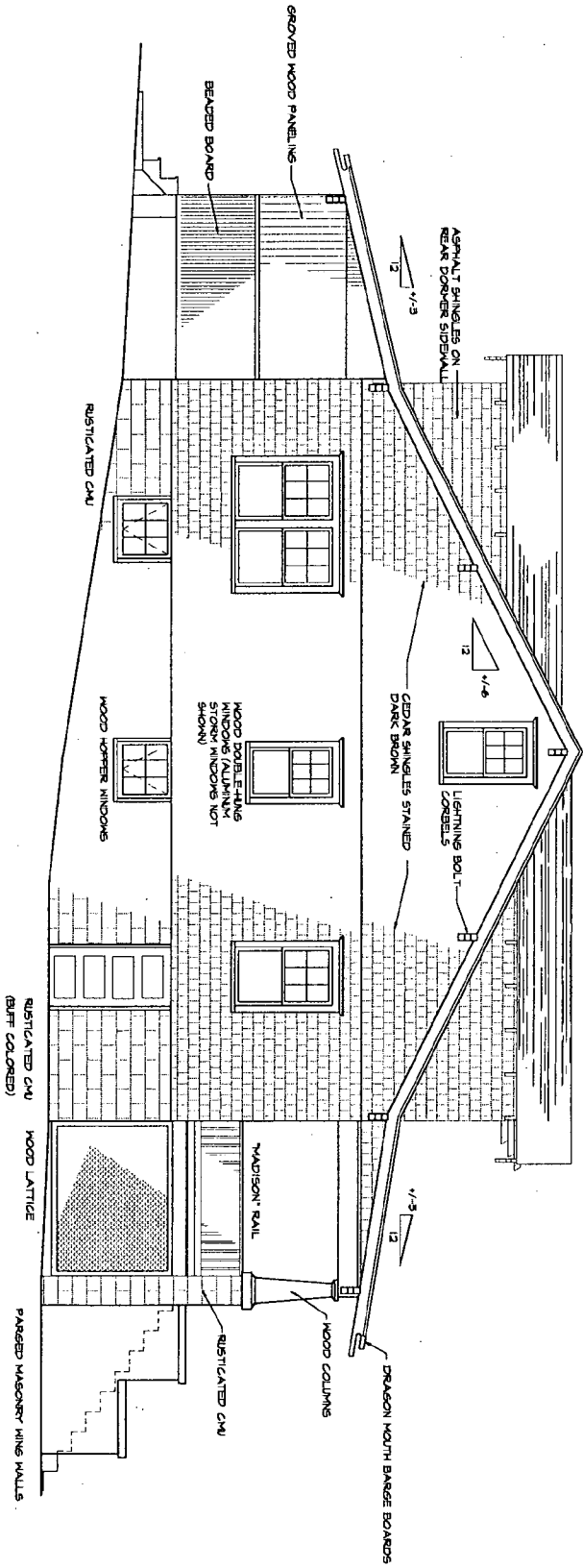
alan
abrams
designer a.i.b.d.

©2012 alan abrams & co. inc. 2012 USA
office 202.725.5264 fax 202.281.4772
email aabrams@abrams.com

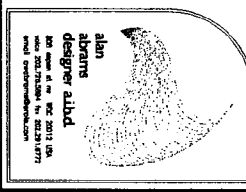
APRIL 15, 1999	PROPOSED 2ND FL PLAN	DATE
A7	2ND FL PLAN	REVISION
	1/4"=1'-0"	DATE
	FISHER/LOPEZ RESIDENCE	REVISION
	8810 WESTSHORELAND AVE.	DATE
	TAKOMA PARK, MD 20912	REVISION

8

6



EXISTING LEFT SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



alvin
 abrams
 designers
 alvin abrams
 1000 14th St. NW
 Washington, DC 20005
 (202) 331-1177
 www.alvinabrams.com

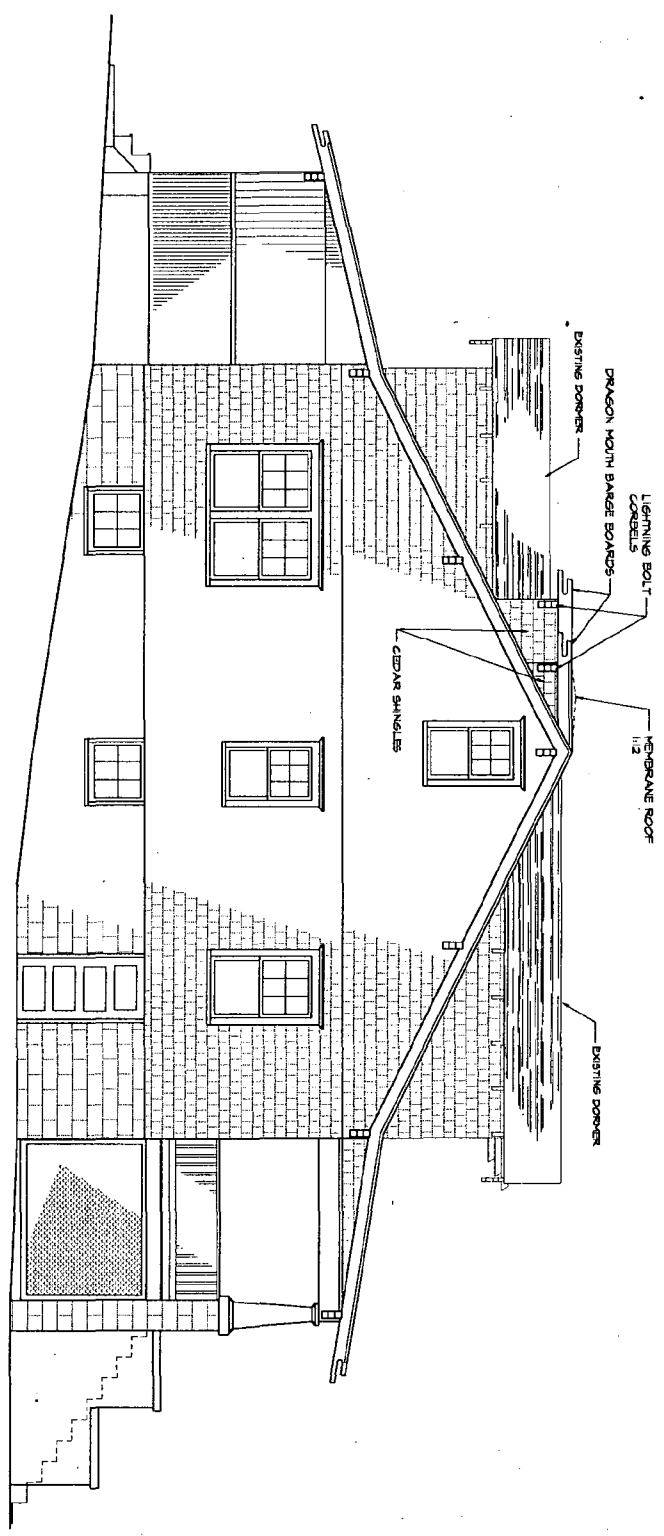
APRIL 15, 1999
 A1

FISHER/LOPEZ
 RESIDENCE
 6810 WESTMORELAND AVE.
 TAKOMA PARK, MD 20912

EXISTING LEFT
 SIDE ELEVATION
 3/16" = 1'-0"

REVISION	DATE

01



PROPOSED LEFT SIDE ELEVATION
 SCALE: 3/16"=1'-0"



alan
 abrams
 designers albd
 6810 WESTMORELANO AVE.
 TAKOMA PARK, MD 20912
 TEL: 301.271.2504 FAX: 301.271.1777
 WWW: WWW.ABRAMSDSIGNERS.COM

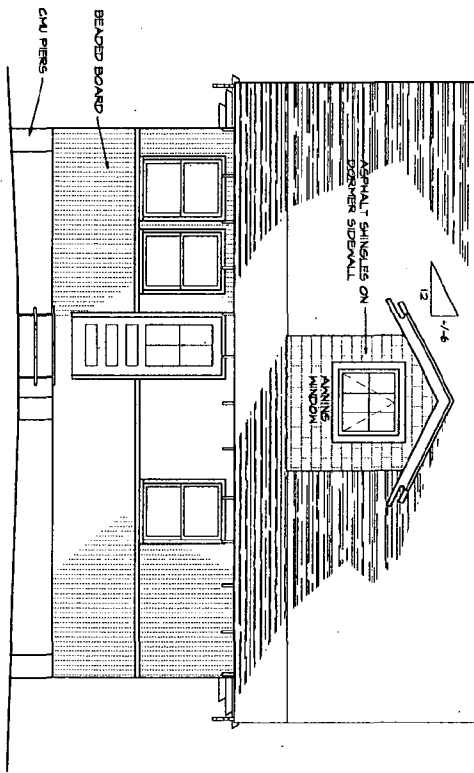
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**FISHER/LOPEZ
 RESIDENCE**
 6810 WESTMORELANO AVE.
 TAKOMA PARK, MD 20912

**PROPOSED LEFT
 SIDE ELEVATION**
 3/16"=1'-0"

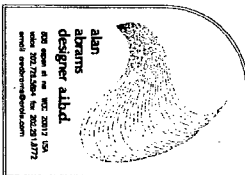
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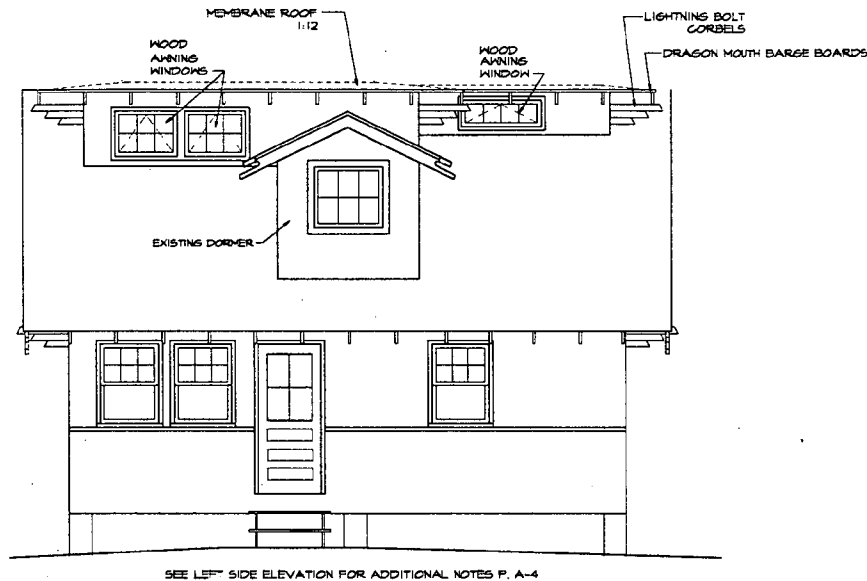
SEE LEFT SIDE ELEVATION FOR ADDITIONAL NOTES P. A-1

EXISTING REAR ELEVATION
 SCALE: 3/16"=1'-0"



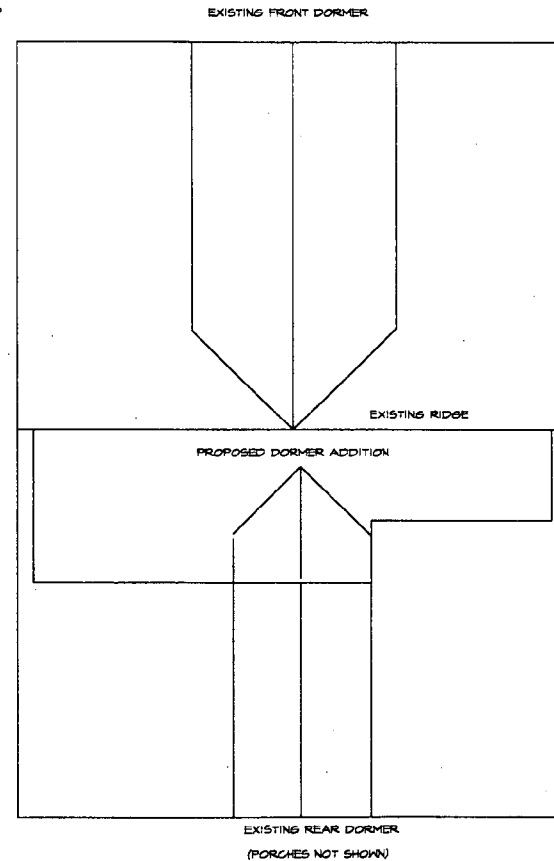
alan
 abrams
 designers alba.
 6810 WESTMORELAND AVE.
 TAKOMA PARK, MD 20912
 TEL: 301.771.5800 FAX: 301.771.5772
 WWW: www.alanabrams.com

APRIL 15, 1999	FISHER/LOPEZ RESIDENCE 6810 WESTMORELAND AVE. TAKOMA PARK, MD 20912	EXISTING REAR ELEVATION 3/16"=1'-0"	<table border="1"> <thead> <tr> <th data-bbox="1107 1932 1274 1974">REVISION</th> <th data-bbox="1274 1932 1365 1974">DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	REVISION	DATE		
REVISION	DATE						
A3							



PROPOSED REAR ELEVATION

SCALE: 3/16"=1'-0"



ROOF PLAN

SCALE: 3/16"=1'-0"



DATE

REVISION

PROPOSED REAR
ELEV; ROOF PLAN

3/18"-1'-0"

FISHER/LOPEZ
RESIDENCE
8810 WESTMORELAND AVE.
TAKOMA PARK, MD 20912

APRIL 15, 1999

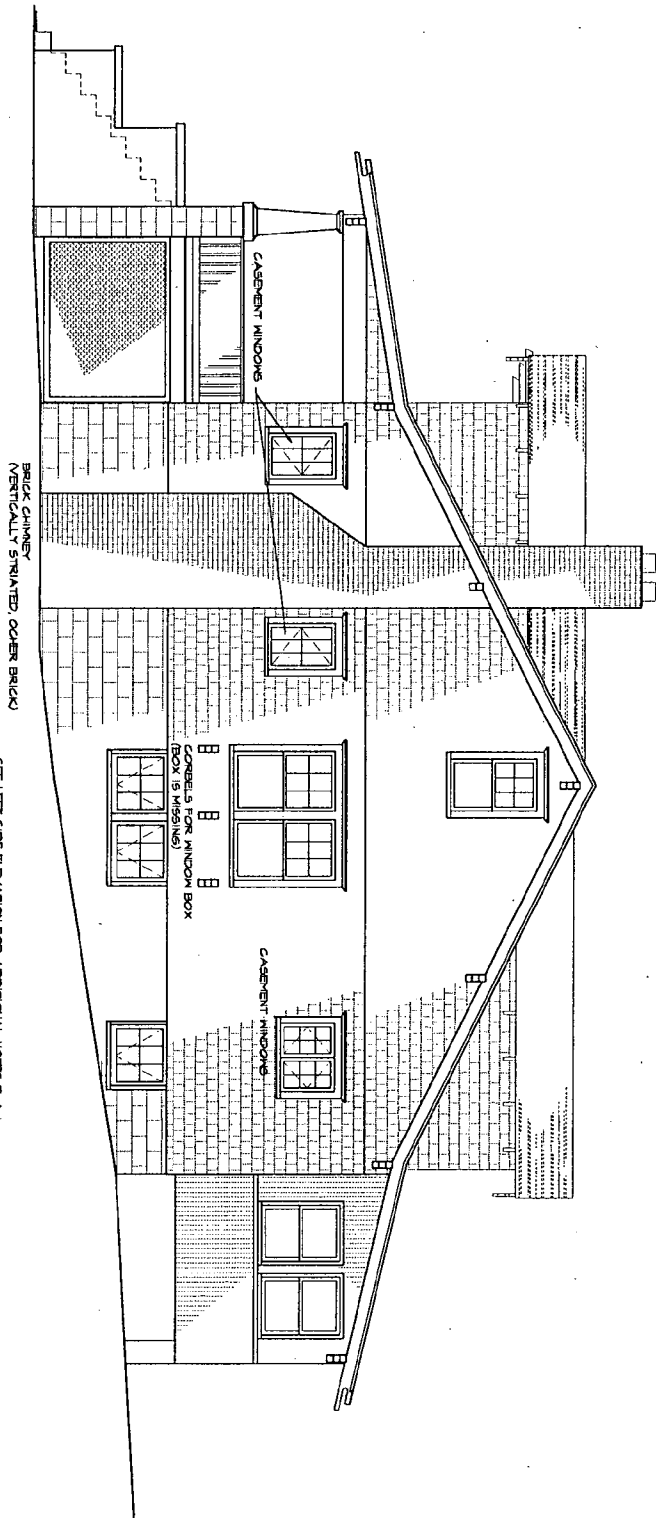
A6

alan
abrams
designer a.i.d.

808 upper st. ne WDC 20012 USA
voice 202.775.5894 fax 202.281.8772
email oac@alanabrams.com

12

13



SEE LEFT SIDE ELEVATION FOR ADDITIONAL NOTES P. A-1

EXISTING RIGHT SIDE ELEVATION
 SCALE: 3/16"=1'-0"



alton
 abrams
 designer aia
 6810 WESTMORELAND AVE.
 TAKOMA PARK, MD 20912
 TEL: 301.271.5814 FAX: 301.271.4772
 WWW.ABRAMSDSIGN.COM

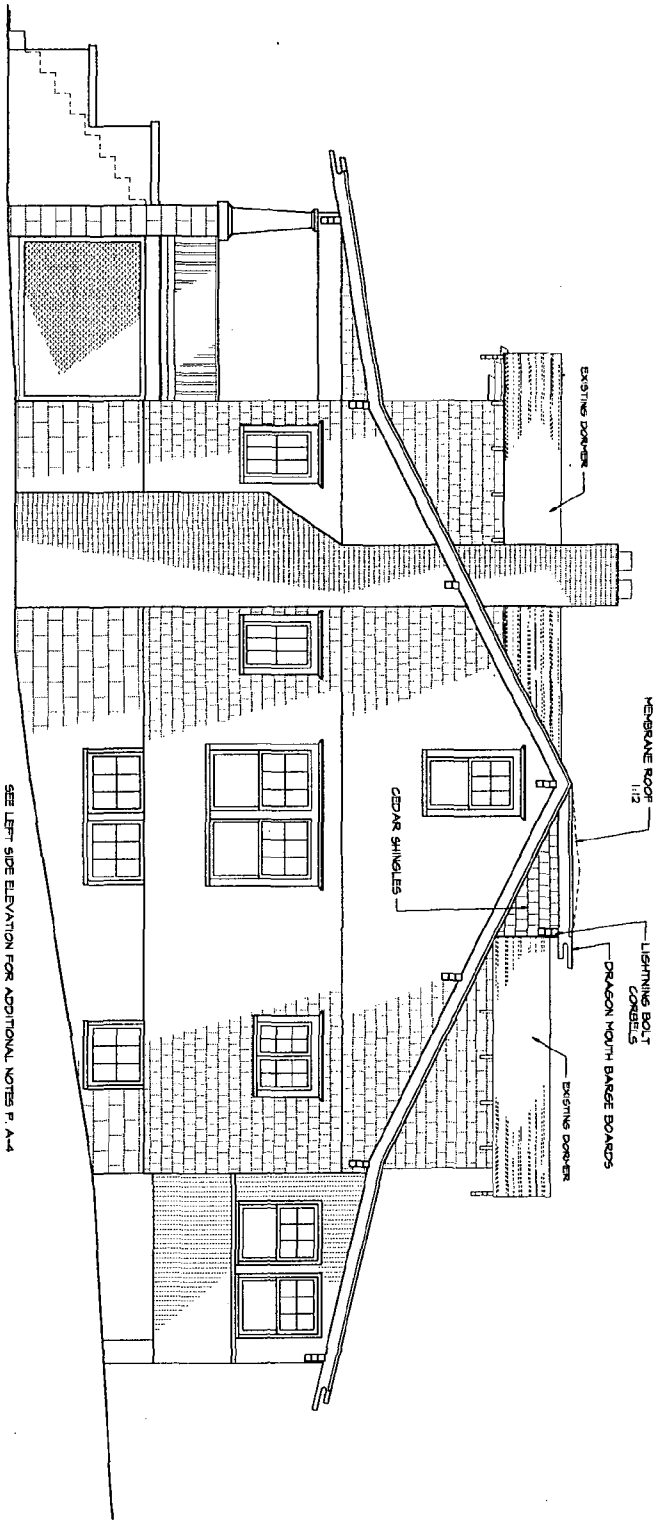
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FISHER/LOPEZ
 RESIDENCE
 6810 WESTMORELAND AVE.
 TAKOMA PARK, MD 20912

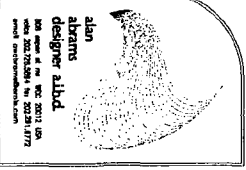
EXISTING RIGHT
 SIDE ELEVATION
 3/16"=1'-0"

REVISION	DATE

71



PROPOSED RIGHT SIDE ELEVATION
 SCALE: 3/16" = 1'-0"

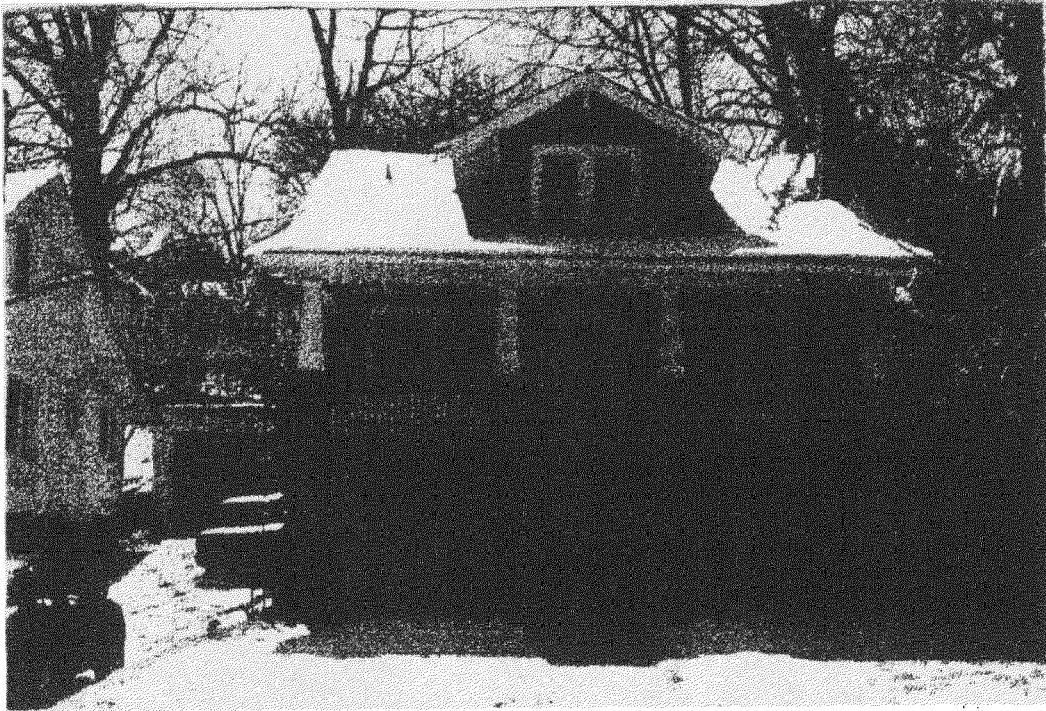


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 A5

**FISHER/LOPEZ
 RESIDENCE**
 8810 WESTMORELAND AVE.
 TAKOMA PARK, MD 20912

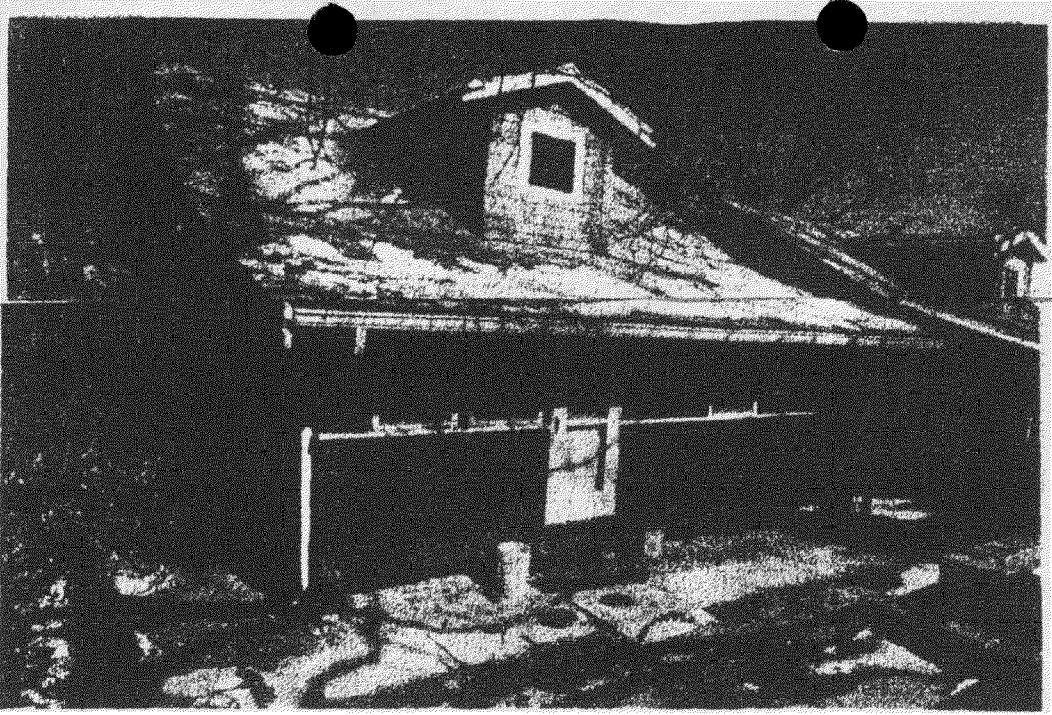
**PROPOSED RIGHT
 SIDE ELEVATION**
 3/16" = 1'-0"

REVISION	DATE



6810 WESTMORELAND



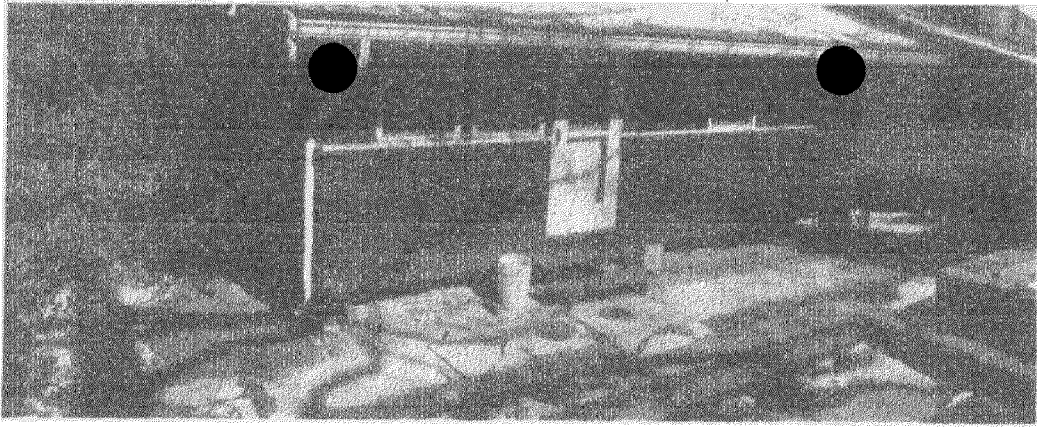


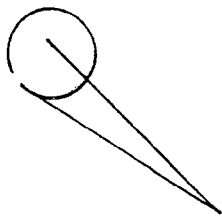
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6810 WEST MORELAND

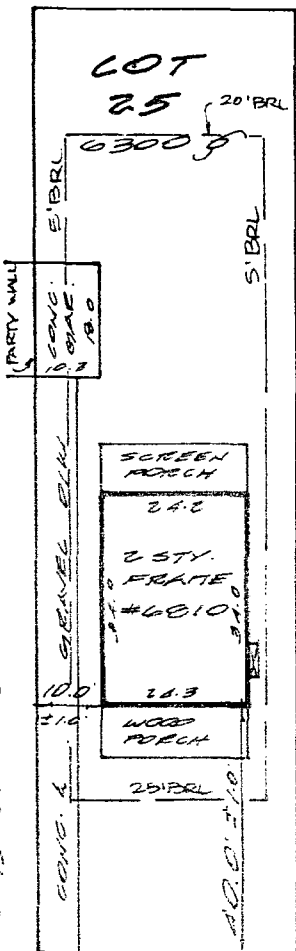






13

N45°00'00"W 42.00



20

24



S45°00'00"E 42.00

LOCATION DRAWING
LOT 25 BLOCK 17
PINE CREST

WESTMORELAND AVENUE

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100 year flood plain according to FEMA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

Sandra F. Gross

Sandra F. Gross, MD Property Line Surveyor No. 532

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Date 7-3-97

Scale 1"=30'

Plat Book 2

Plat No. 195

Work Order 97-1521



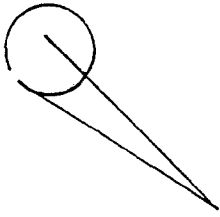
Meridian Surveys, Inc.
2401 Research Boulevard
Rockville, MD 20850
(301) 840-0025

Address 4610 WESTMORELAND AVENUE

District 13

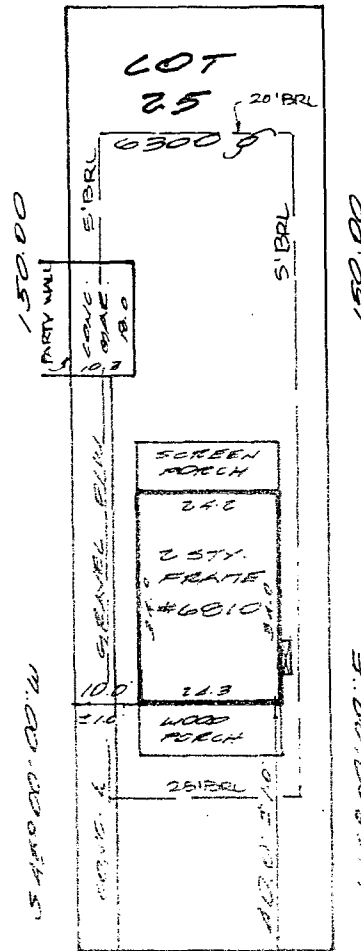
Jurisdiction MONTGOMERY COUNTY, MD

NO TITLE REPORT FURNISHED



13

N45°00'00"W 42.00



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S45°00'00"E 42.00

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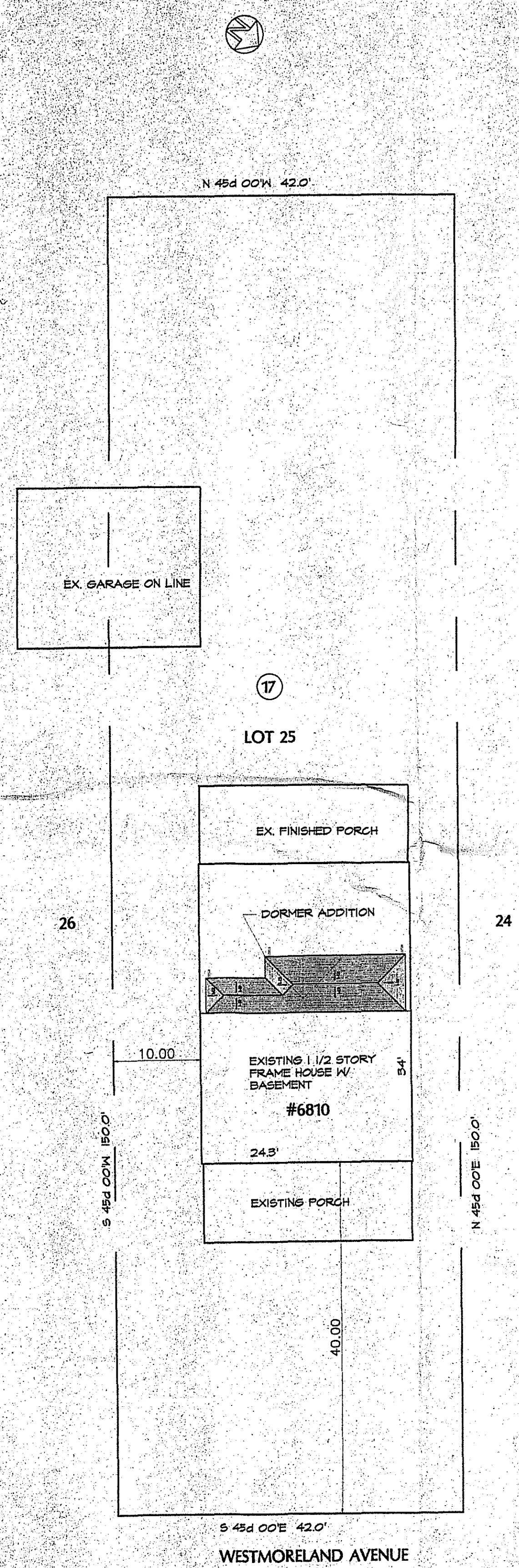
Date: 7-3-97
Scale: 1"=30'
Plat Book: 2
Plat No.: 145
Work Order: 97-1521



Meridian Surveys, Inc.
2401 Research Boulevard
Rockville, MD 20850
(301) 840-0025

Address: 6810 WESTMORELAND AVENUE
District: 13
Jurisdiction: MONTGOMERY COUNTY, MD.

NO TITLE REPORT FURNISHED



SITE PLAN
SCALE: 1"=10'

INDEX OF DRAWINGS

- CS COVER SHEET/SITE PLAN/SCHED'S/INDEX
- A1 FLOOR PLANS/SECTION D-D
- A2 ELEVATIONS/SECTION DETAIL
- A3 FRAMING; ROOF PLANS/ELECTRICAL PLAN
- A4 SECTION A-A
- A5 SECTION B-B
- A6 SECTION C-C

AREA CALCULATIONS:

- AREA OF ADDITION (AREA UNDER NEW ROOF): 139 SF
- AREA OF REMODELING: 268 SF
- GROSS WALL AREA OF ADDITION: 99 SF
- GLAZED AREA OF ADDITION: 14 SF

WINDOW SCHEDULE

MARK	QTY	DESCRIPTION	MANUF.	R.O.	GRILLE	REMARKS
A	1	EXISTING DBL HUNG			Ø/1	REPL EX. GLASS WITH TEMPERED GLASS
B	1	EXISTING DBL HUNG			Ø/1	INSTALL TILT-TYPE BALANCES (FOR EGRESS)
C	2	2'-8"X2'-0" AWNING			3W2H SURFACE APPLIED	LO-E/ARGON
D	1	2'-8"X8" FIXED			3W1H " "	LO-E/ARGON

DOOR SCHEDULE

MARK	QTY	DESCRIPTION	MANUF.	R.O.	GRILLE	HARDWARE	REMARKS
1	1	2'-0"X6'-8" FLUSH				BATH PRIVACY	
2	1	2'-0"X6'-8" FLUSH				PASSAGE	CUT OFF CORNER FOR SLOPE OF ROOF
3	5	PLYWOOD ACCESS PANELS		MIN. 24"X30"		MAGNETIC CATCHES	
4	1	PR. 4'-0"X5'-0" FLUSH				DUMMY	BULLET CATCHES
5	1	EXISTING BEDROOM DOOR				REUSE EXISTING	RAISE BY HT OF NEW LANDING
6	1	EXISTING BASEMENT STAIR DOOR				REUSE EXISTING	RELOCATE PER PLAN

FINISH SCHEDULE SEE BATHROOM ELEVATIONS FOR ADDITIONAL INFORMATION

	BEDROOM	CLOSET	BATHROOM	STORAGE	STAIR	BASMT STR
BASEBOARD	WM-753	WM-753		WM-753	WM-165	
CASING	WM-452	WM-452		WM-452	REUSE EX	
STOOL/APRON	WM-1163	WM-1163	CER TILE	WM-1163		
CLOS. SHELVING			3/4X16 N.P.			
CLOS. ROD						
FLOORING	EX. WOOD	FNTD PLWD	EX. WOOD	EX. WOOD	CARPET (OP)	UNFIN
PAINT						
WALL	COL-1 FL	COL-1 FL	COL-1 FL	COL-1 FL	COL-1 FL	UNFIN GNB
CEILING	COL-2 FL	COL-2 FL	COL-2 FL	COL-1 FL	COL-2 FL	UNFIN GNB
DOORS, WINDOWS, TRIM	COL-3 SS	COL-3 SS	COL-4 *	COL-3 SS	COL-3 SS	

COL-4 * USE URETHANE MODIFIED ENAMEL ON WINDOW AND TRIM @ BATHTUB AREA

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
5/15/99

RENOVATION OF AND ADDITION TO THE HOME OF CHRISTY LOPEZ & MICHAEL FISHER TAKOMA PARK, MARYLAND

DATE
REVISION

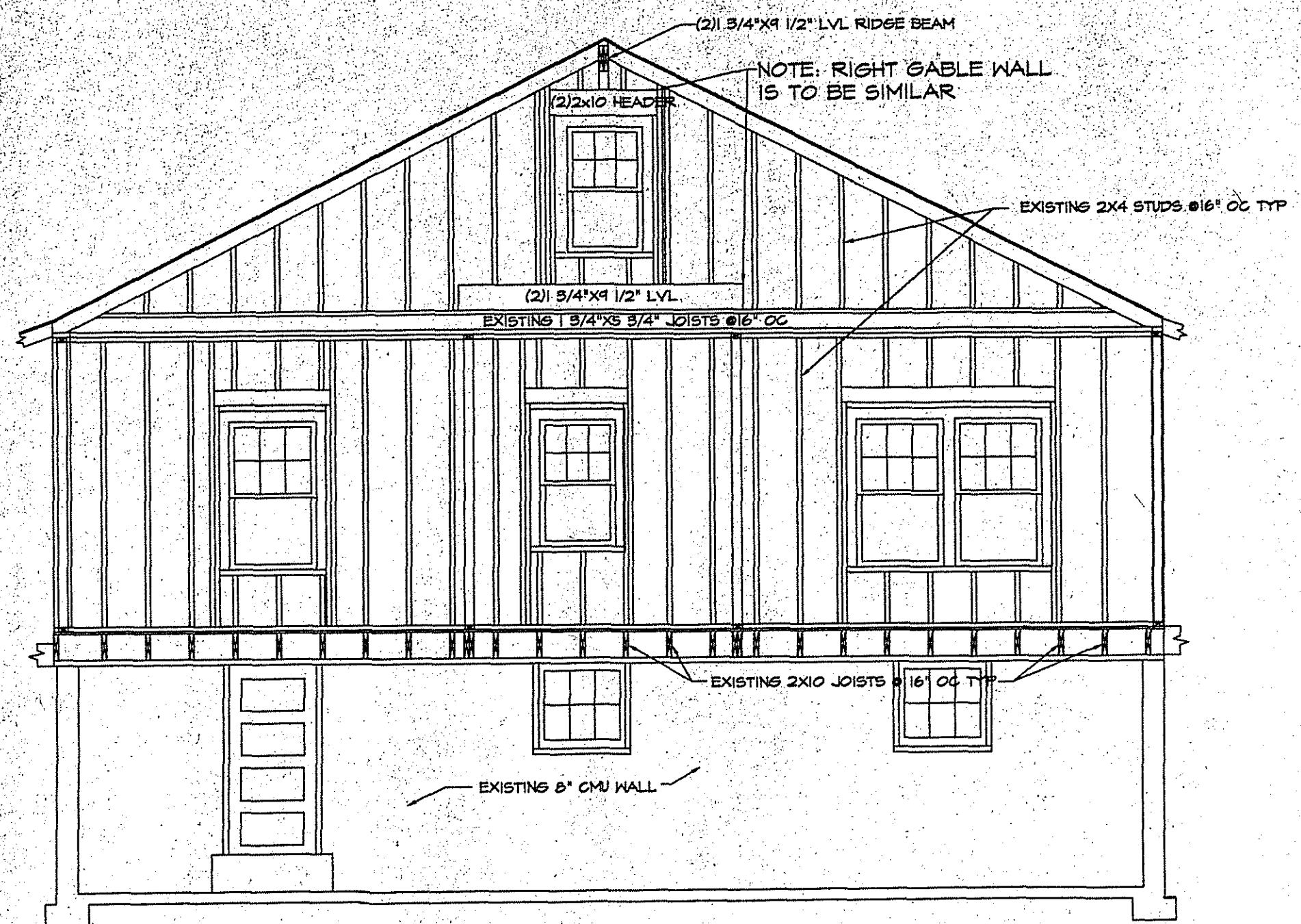
COVER SHEET
SITE PLAN
1"=10'

FISHER-LOPEZ
RESIDENCE
6810 WESTMORELAND AVE.
TAKOMA PK, MD 20912

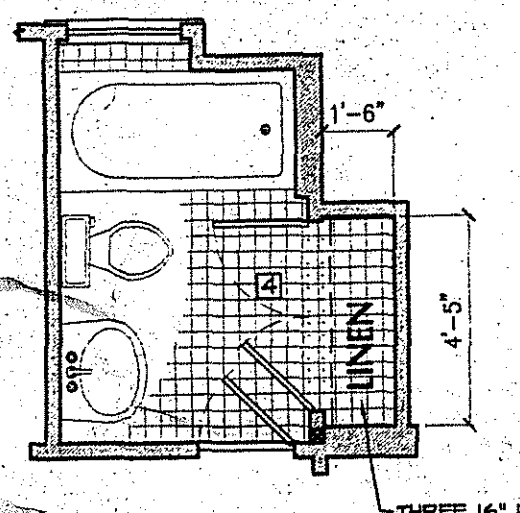
MAY 15, 1999
CS

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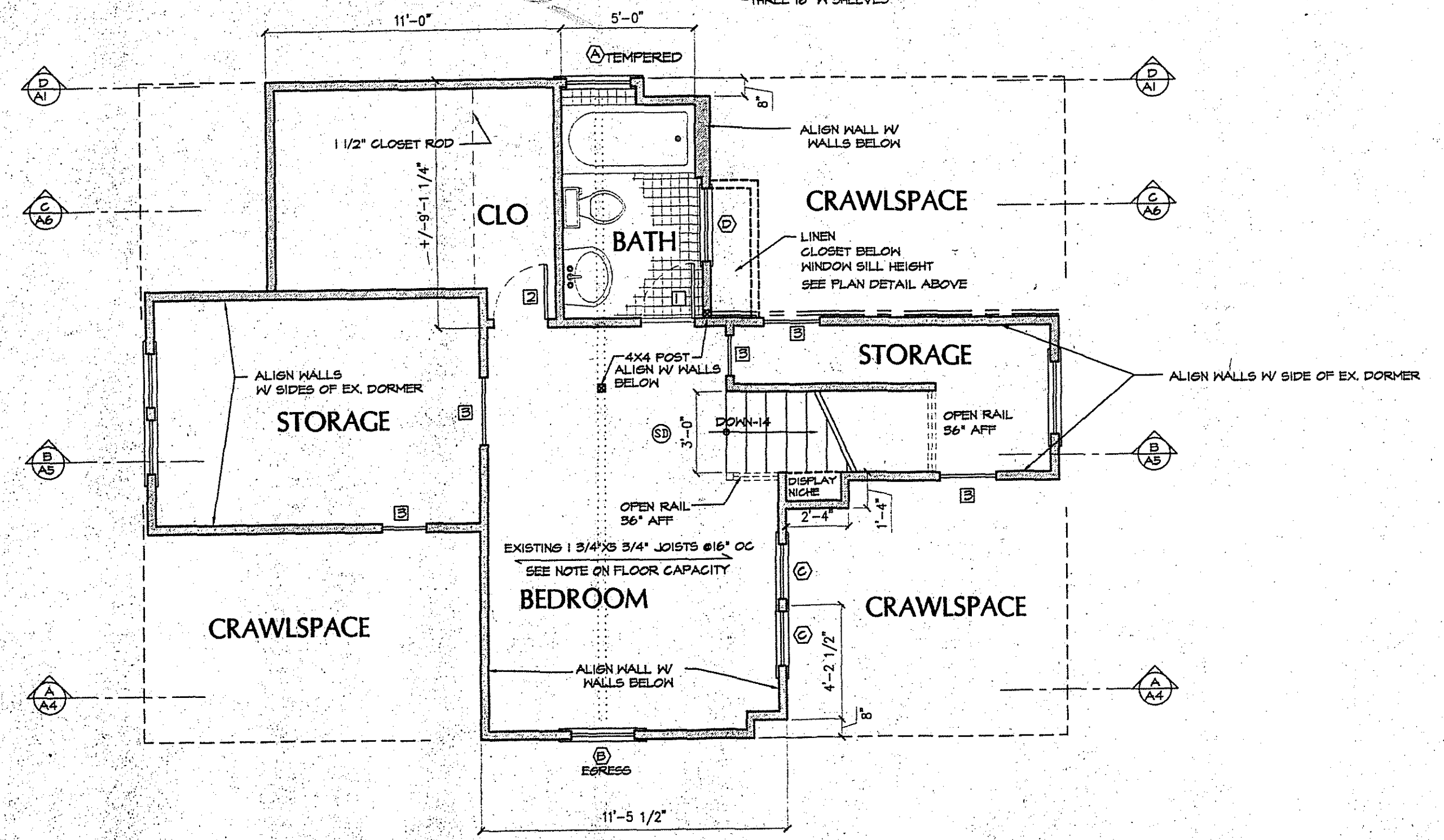
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voice 202.726.5894 fax 202.291.6772
email awabrams@erols.com



SECTION
SCALE: 1/4"=1'-0"

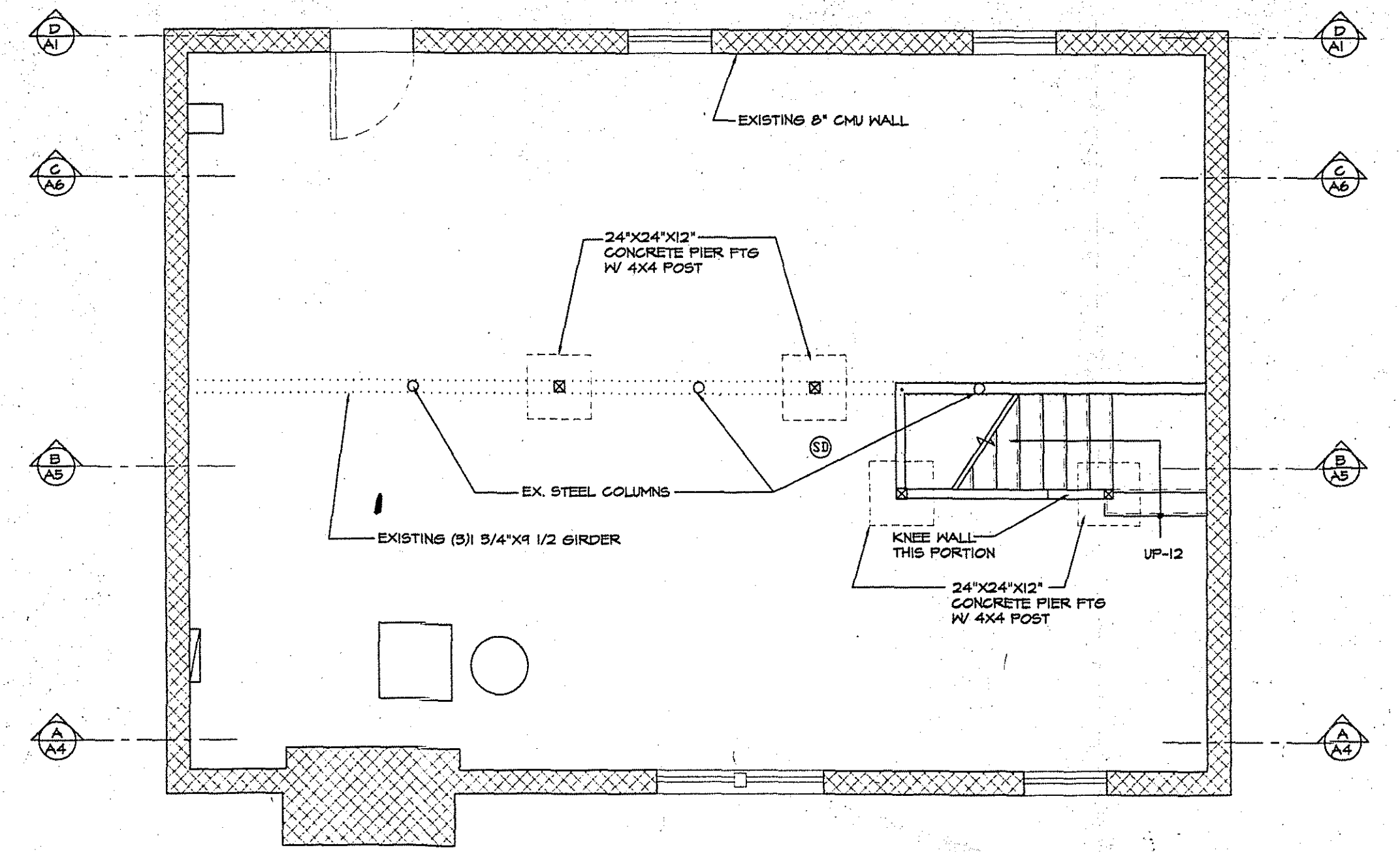


PLAN DETAIL
SCALE: 1/4"=1'-0"



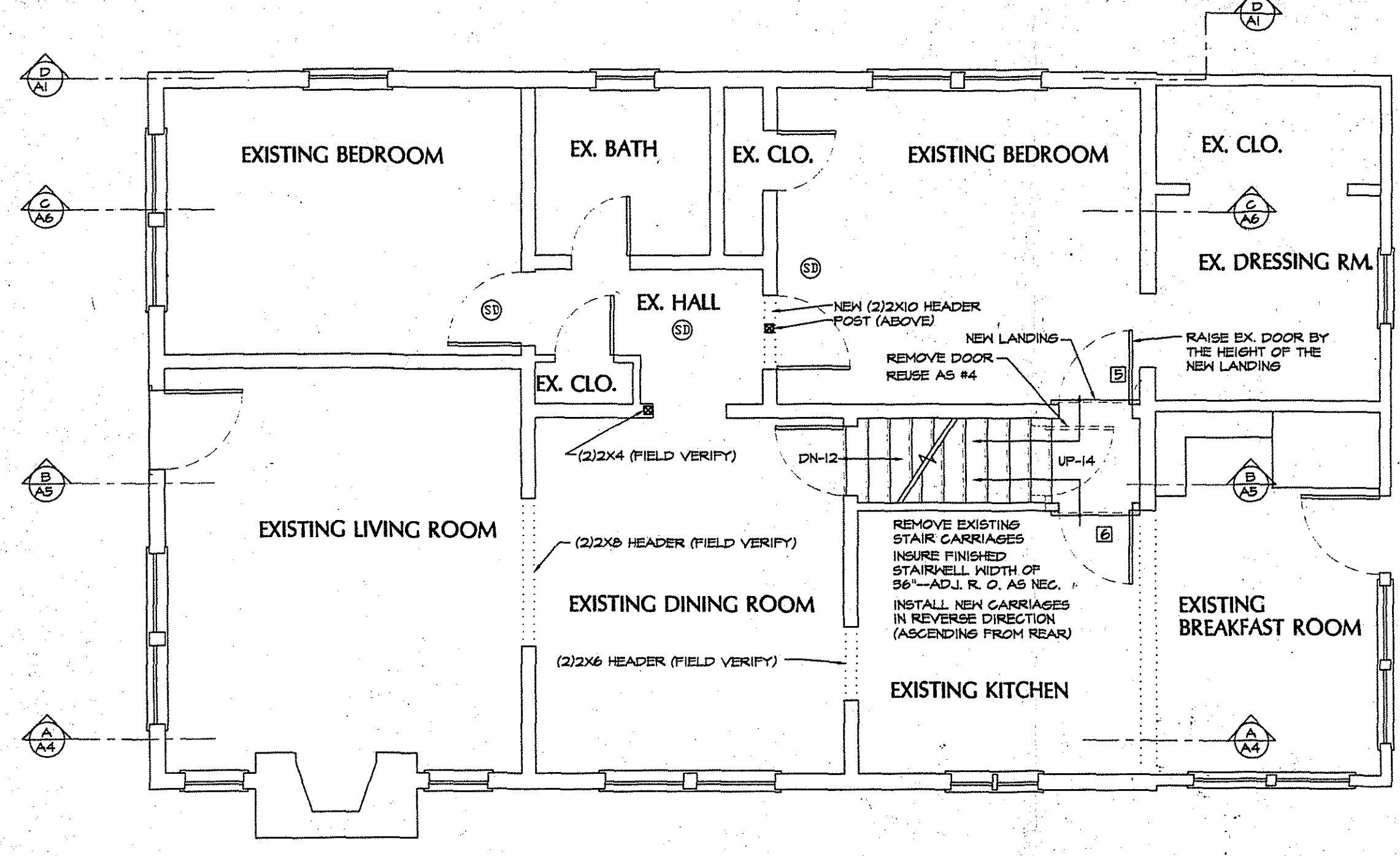
2ND FL PLAN
SCALE: 1/4"=1'-0"

INCLUDE SMOKE DETECTORS THROUGHOUT THE HOUSE PER MONT. CO. CODE.



BASEMENT PLAN
SCALE: 1/4"=1'-0"

INCLUDE SMOKE DETECTORS THROUGHOUT THE HOUSE PER MONT. CO. CODE.



1ST FL PLAN
SCALE: 1/4"=1'-0"

INCLUDE SMOKE DETECTORS THROUGHOUT THE HOUSE PER MONT. CO. CODE.

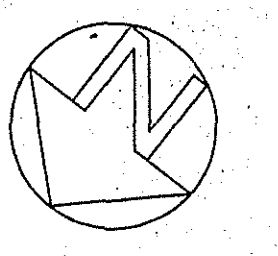
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Historic Preservation Commission
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5/11/99

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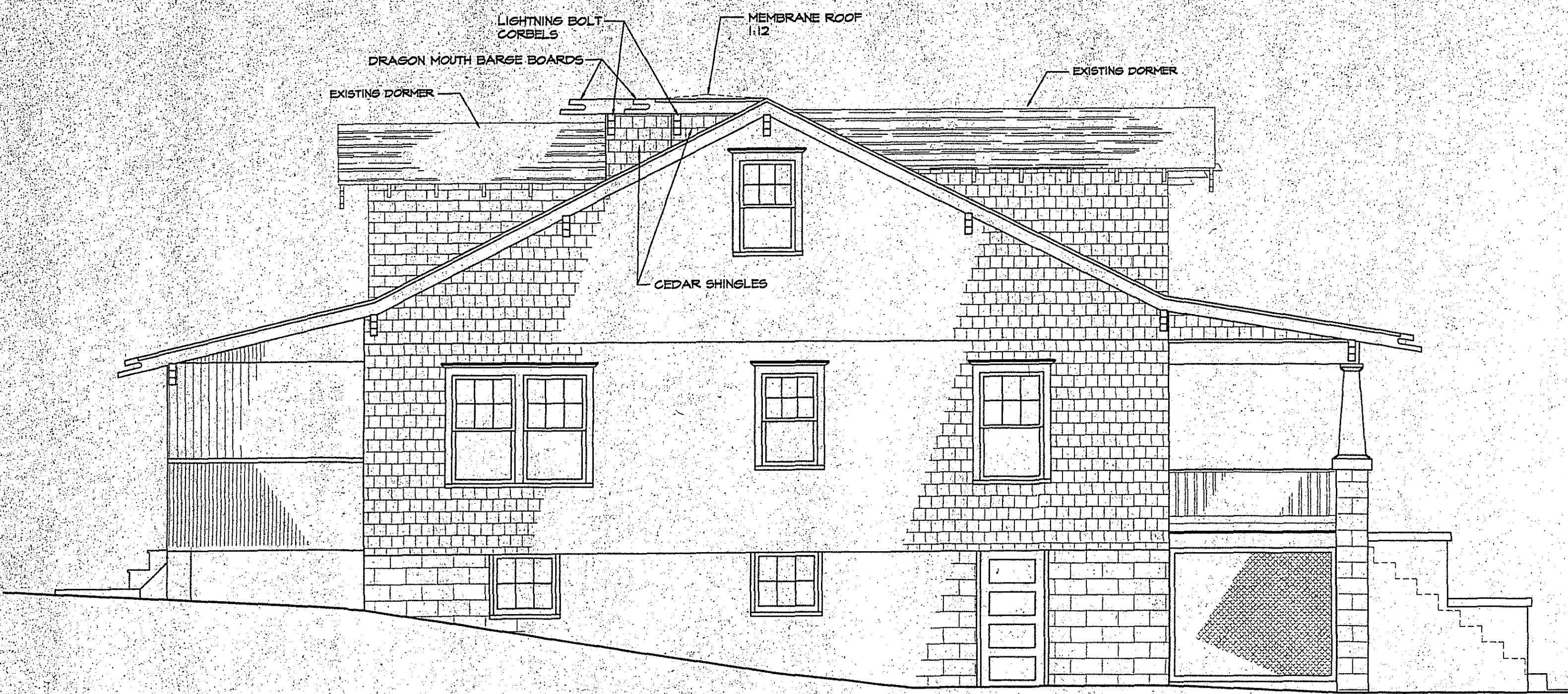
2ND FL PLAN
SCALE: 1/4"=1'-0"

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A1

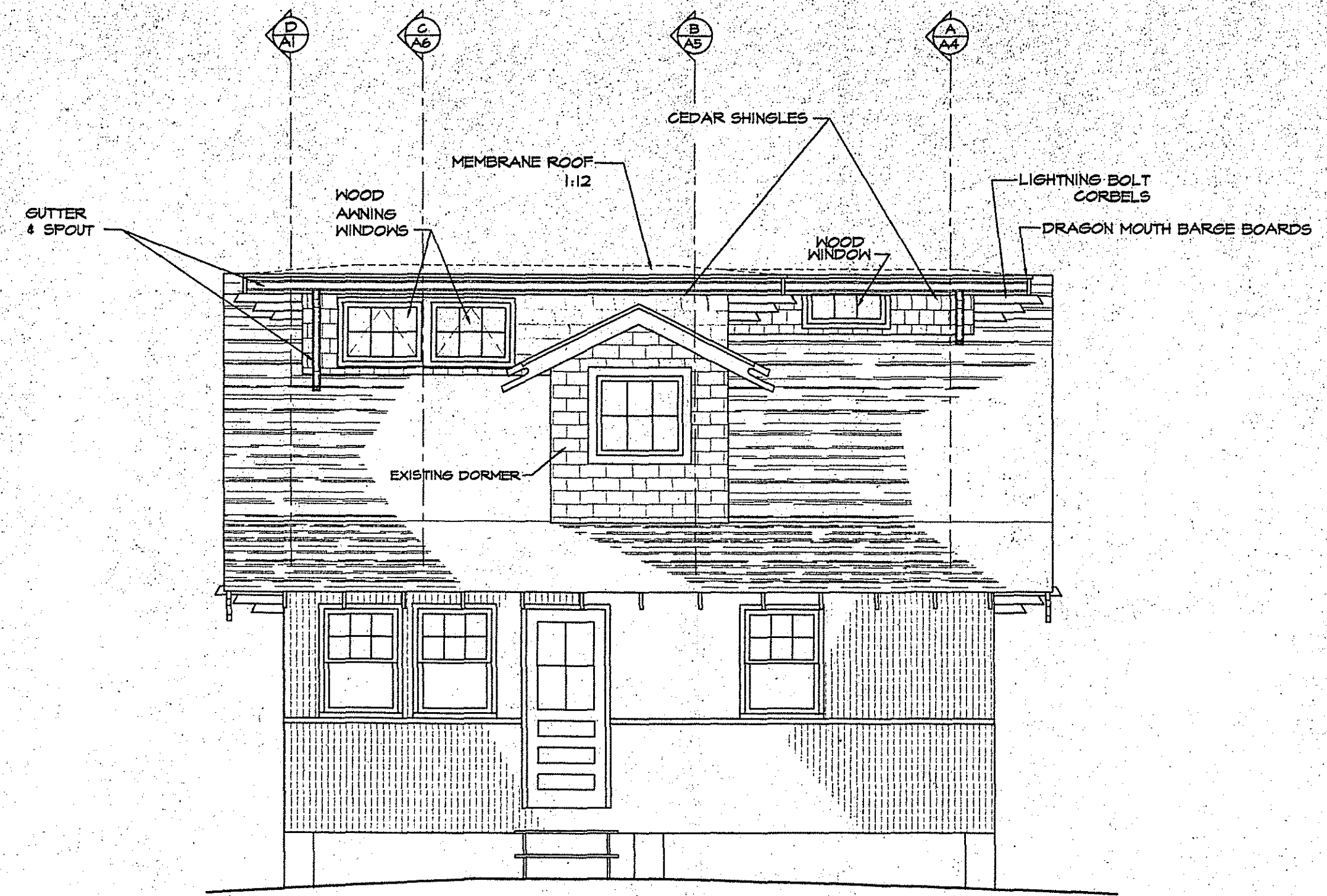


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LEFT SIDE ELEVATION

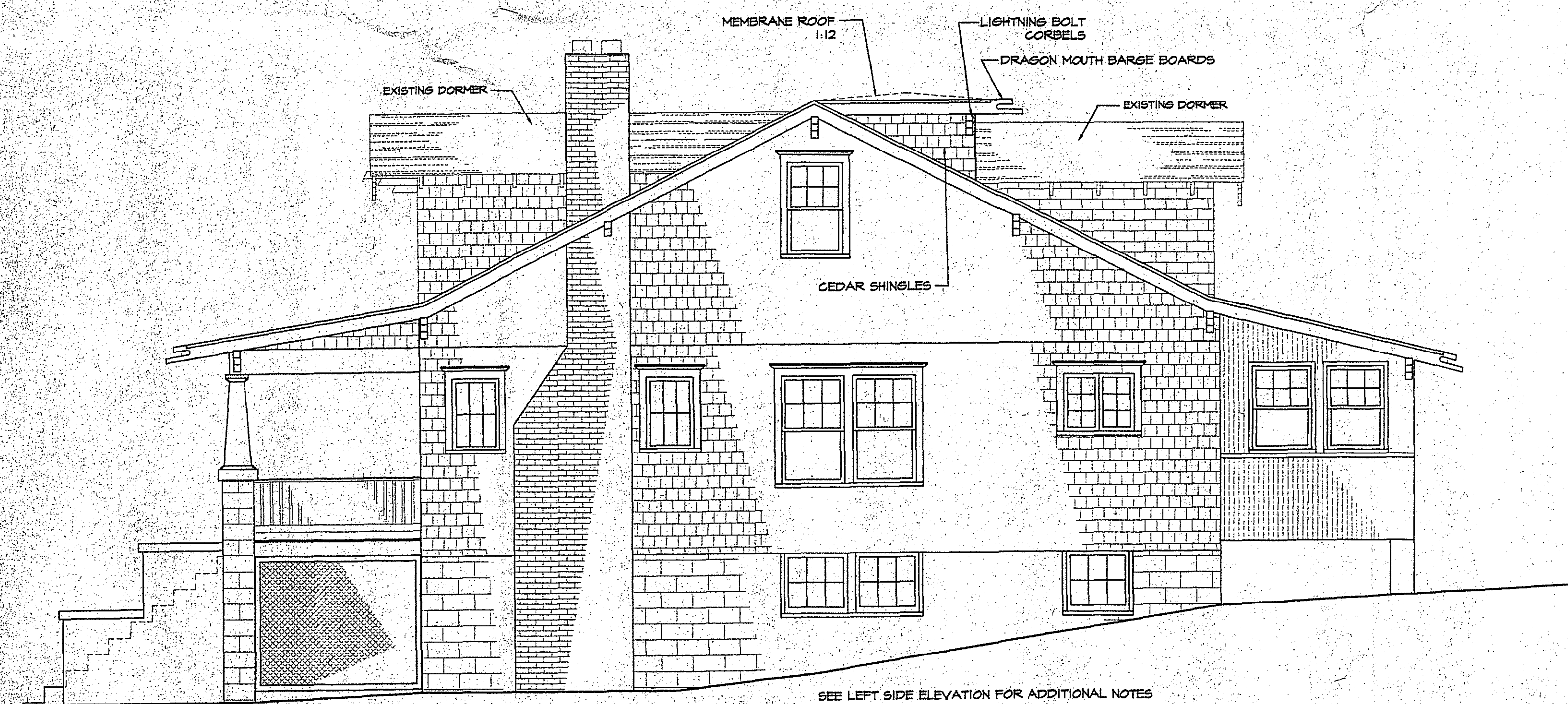
SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"

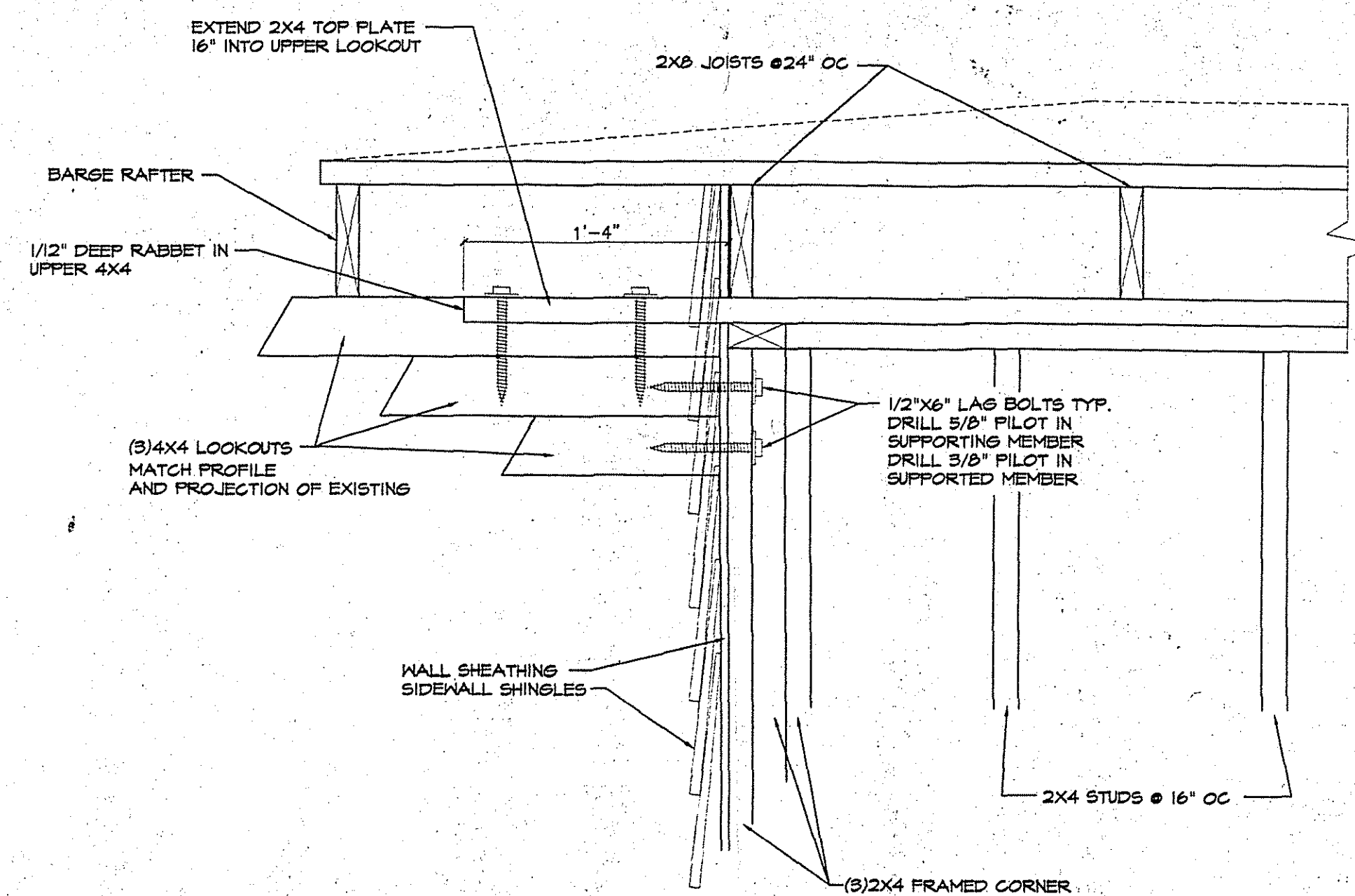
SEE LEFT SIDE ELEVATION FOR ADDITIONAL NOTES P. A-4



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

SEE LEFT SIDE ELEVATION FOR ADDITIONAL NOTES



**SECTION DETAIL
(TYP @ CORBEL)**

SCALE: 1 1/2"=1'-0"

DATE
REVISION

ELEVATIONS
SECTION DETAIL
SCALE: AS NOTED

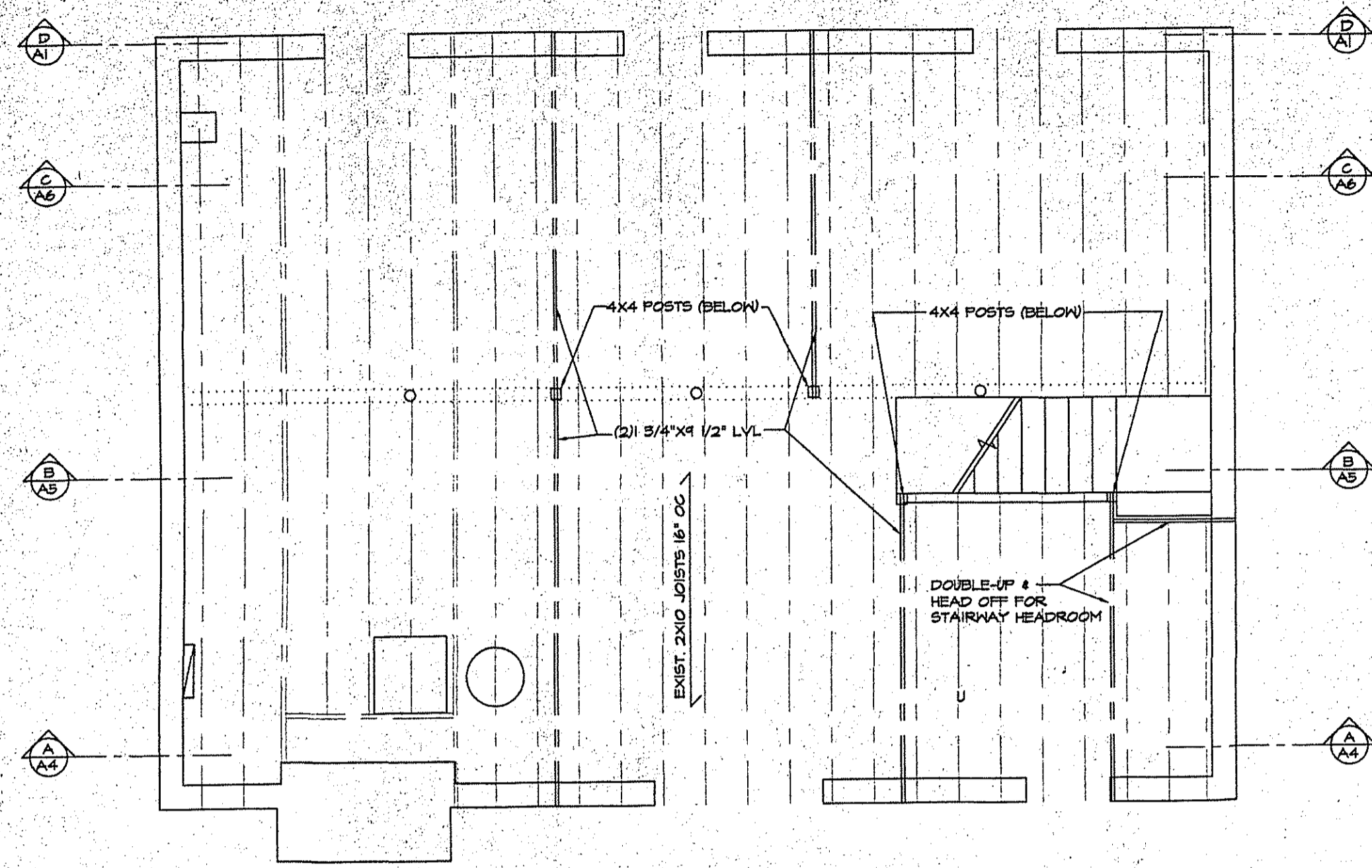
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A2

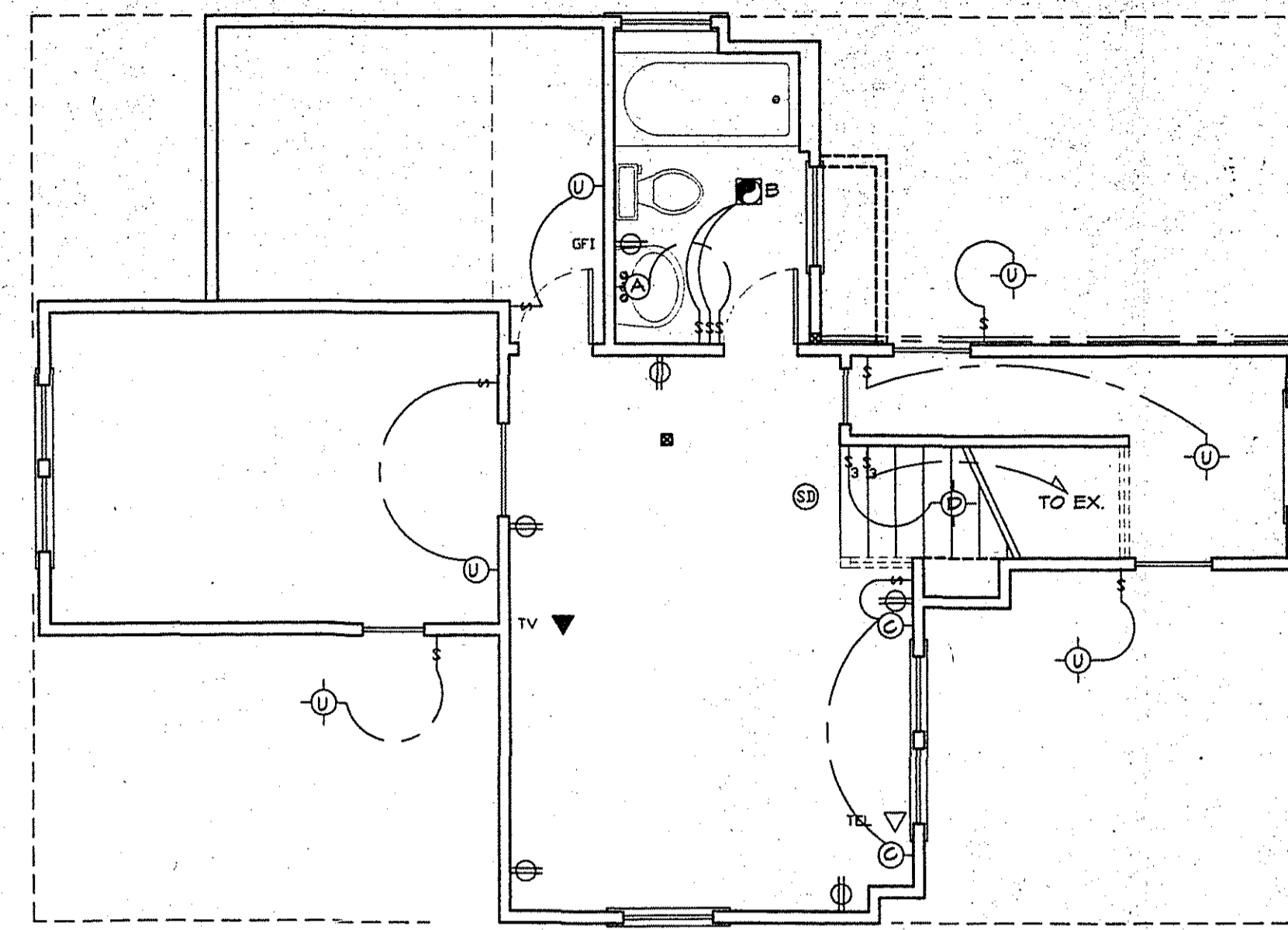
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1ST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



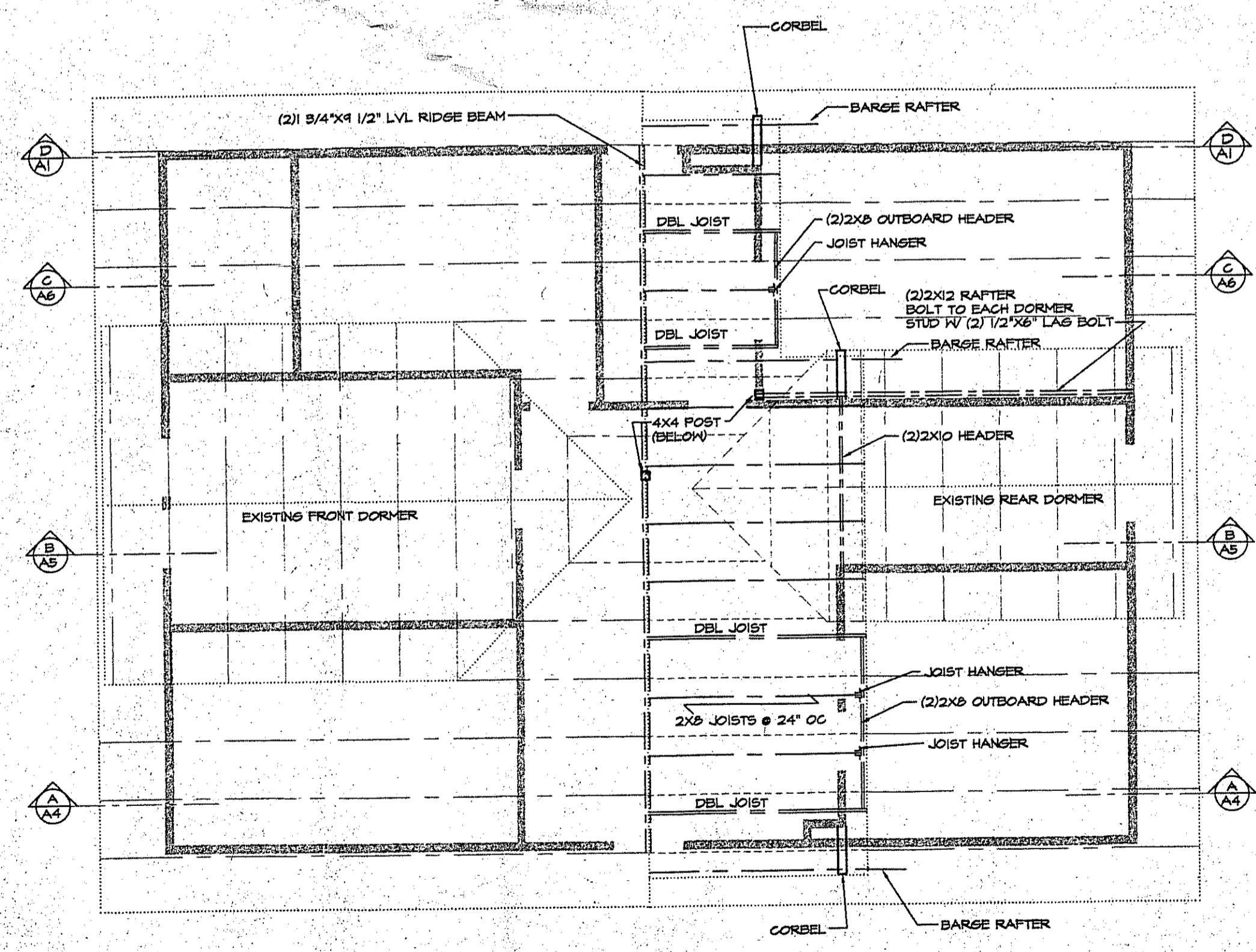
2ND FLOOR ELEC. PLAN
SCALE: 1/4"=1'-0"

- ELECTRICAL LEGEND**
- ⊥ SINGLE POLE SWITCH
 - ⊥ 3-WAY SWITCH
 - ⊕ SMOKE DETECTOR
 - ⊕ DUPLEX OUTLET
 - ⊕ WEATHERPROOF OUTLET
 - ⊕ GFI
 - ⊕ TEL
 - ⊕ TV
 - ⊕ BATHROOM EX. PAN
 - FLUORESCENT LIGHT
 - ⊕ CEILING MOUNT LIGHT
 - ⊕ HALL MOUNT LIGHT

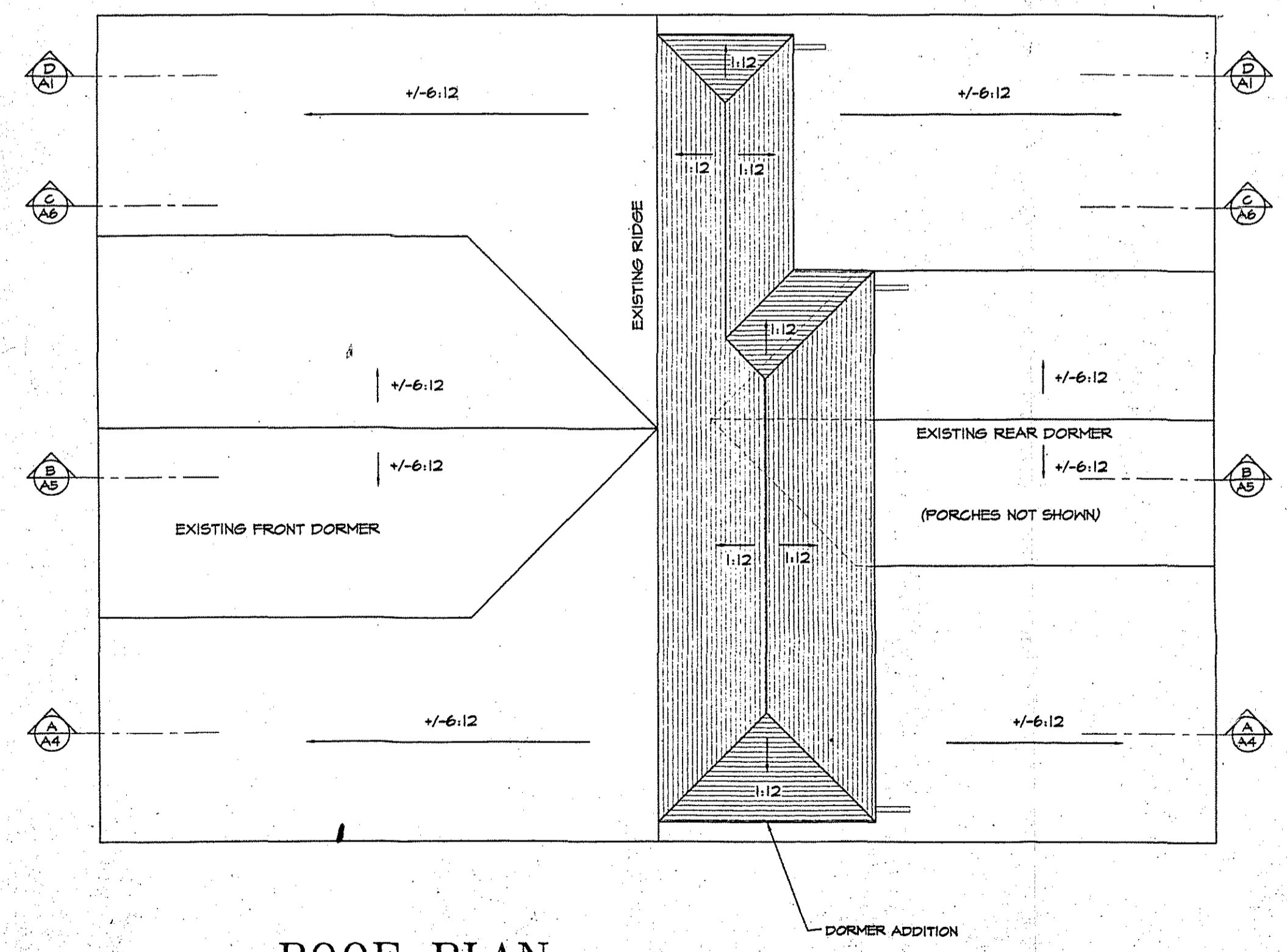
ELECTRICAL NOTES
INCL. OUTLETS TO CODE.
ALL DEVICES TO BE WHITE W/ PAINTABLE METAL COVERS.
COVERS TO BE "G" SIZE. MATCH HEIGHTS OF EXISTING.
INCLUDE SMOKE DETECTORS THROUGHOUT THE HOUSE.
PER MONT. CO. CODE.

ELECTRICAL FIXTURE SCHEDULE

MARK	QNTY	LOCATION	DESCRIPTION	MANUFR	MODEL
A	1	BATHROOM	WALL MT		
B	1	BATHROOM	EX. FAN/LT	BROAN	H26CL
C	2	BEDROOM	WALL MT		
D	1	STAIRWAY	CEILING MT		
U	6	VARIOUS	KEYLESS RECP		



ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 3/16"=1'-0"

DATE
REVISION

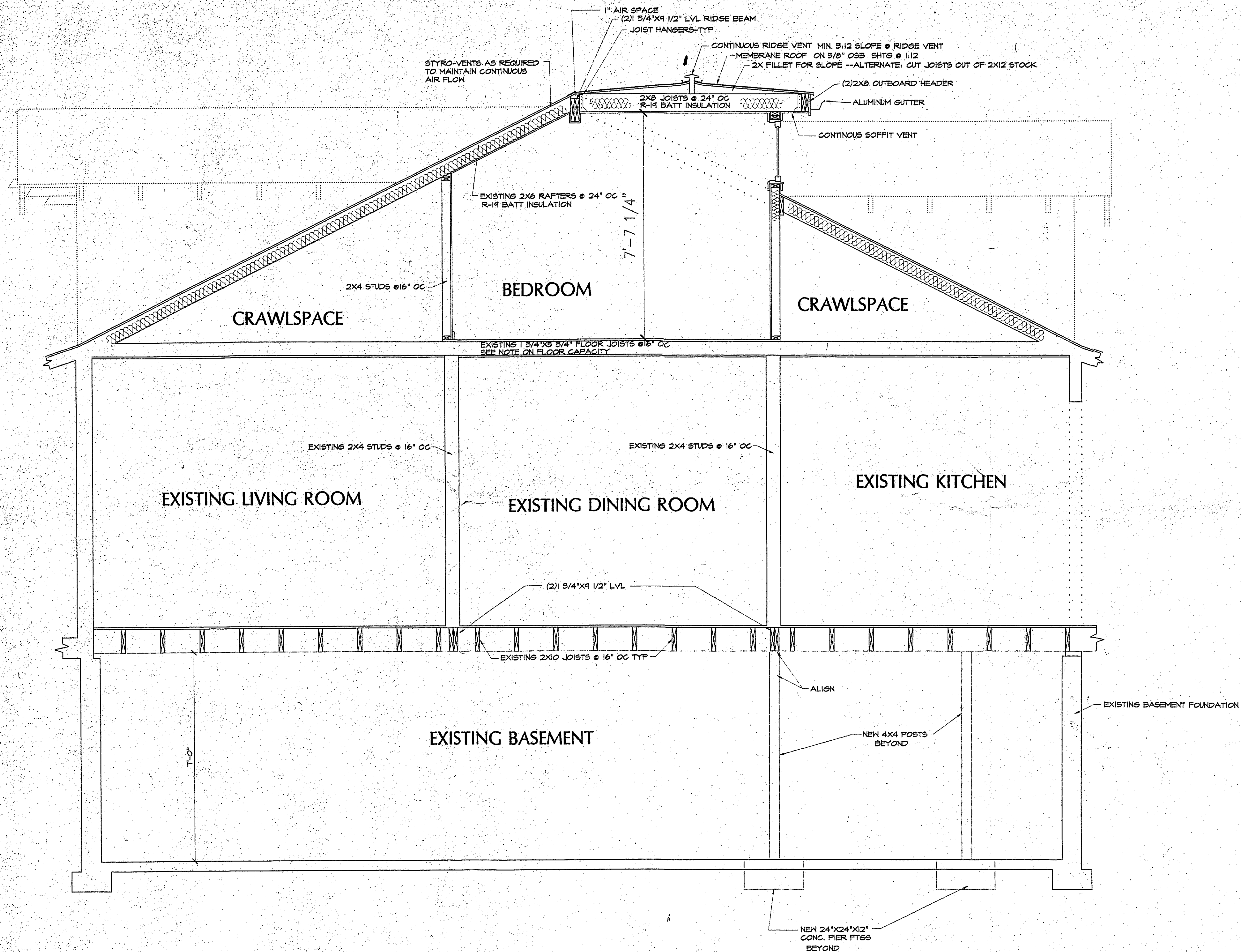
FRAMING PLANS
ROOF PLAN
SCALE: 1/4"=1'-0"

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RDZ
5/18/99

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A
A1 SECTION
 SCALE: 1/2"=1'-0"

DATE

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SECTION A-A

SCALE: 1/2"=1'-0"

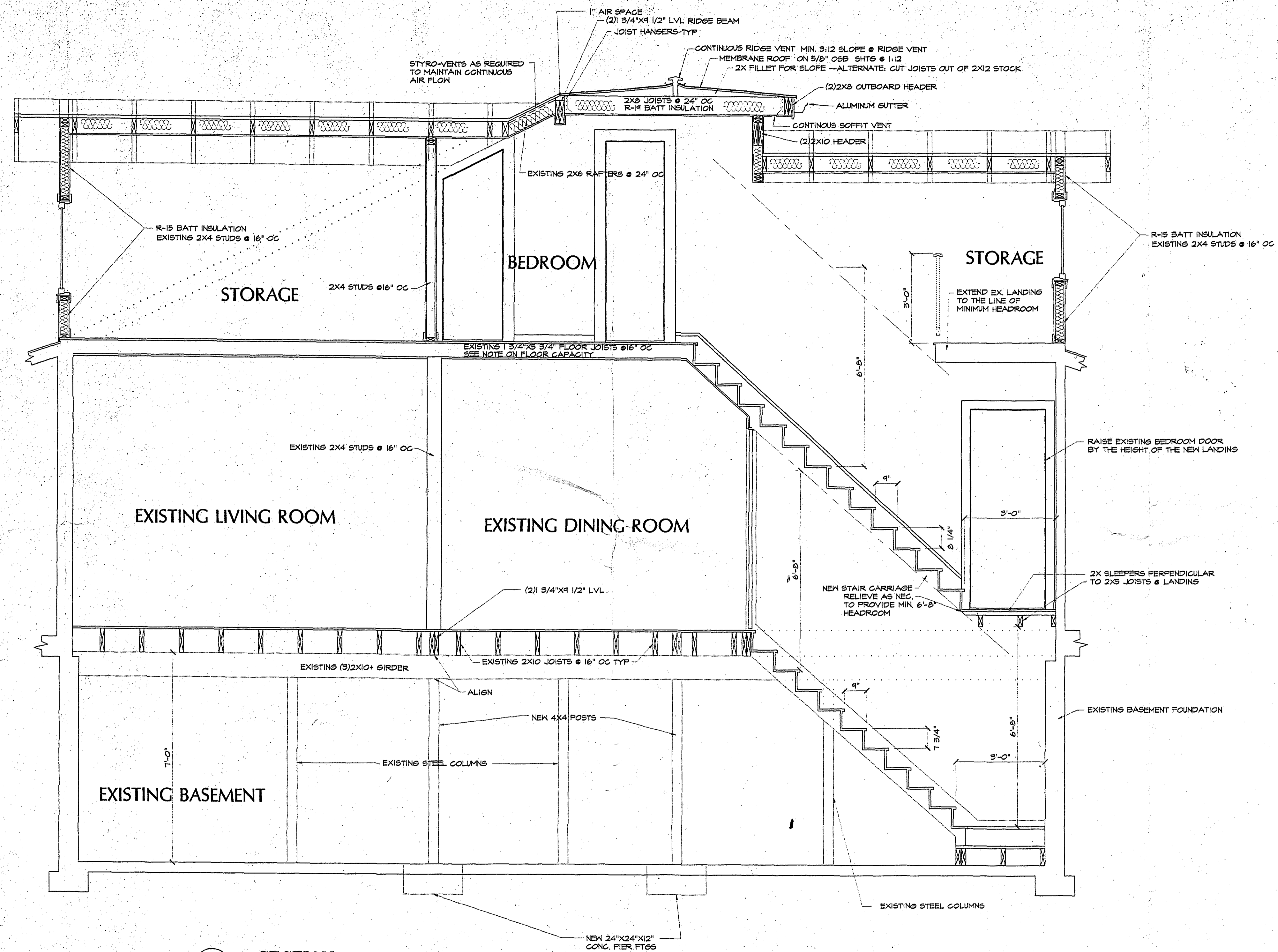
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A4

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B
SECTION
SCALE: 1/2"=1'-0"

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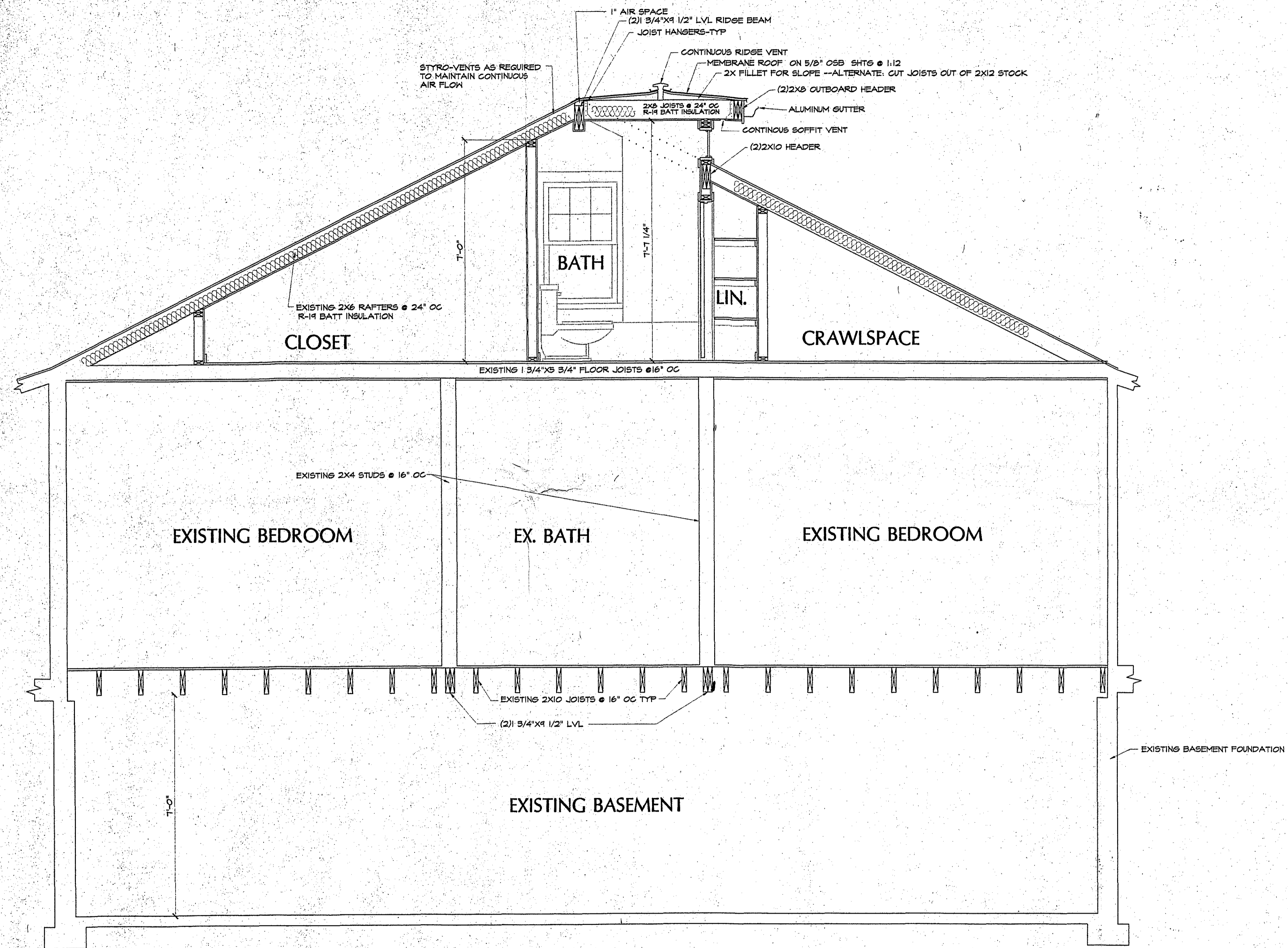
SECTION B-B
SCALE: 1/2"=1'-0"

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C
A1 SECTION
 SCALE: 1/2"=1'-0"

DATE

REVISION

SECTION C-C

SCALE: 1/2"=1'-0"

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 RESIDENCE
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 TAKOMA PK, MD 20912

MAY 15, 1999

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