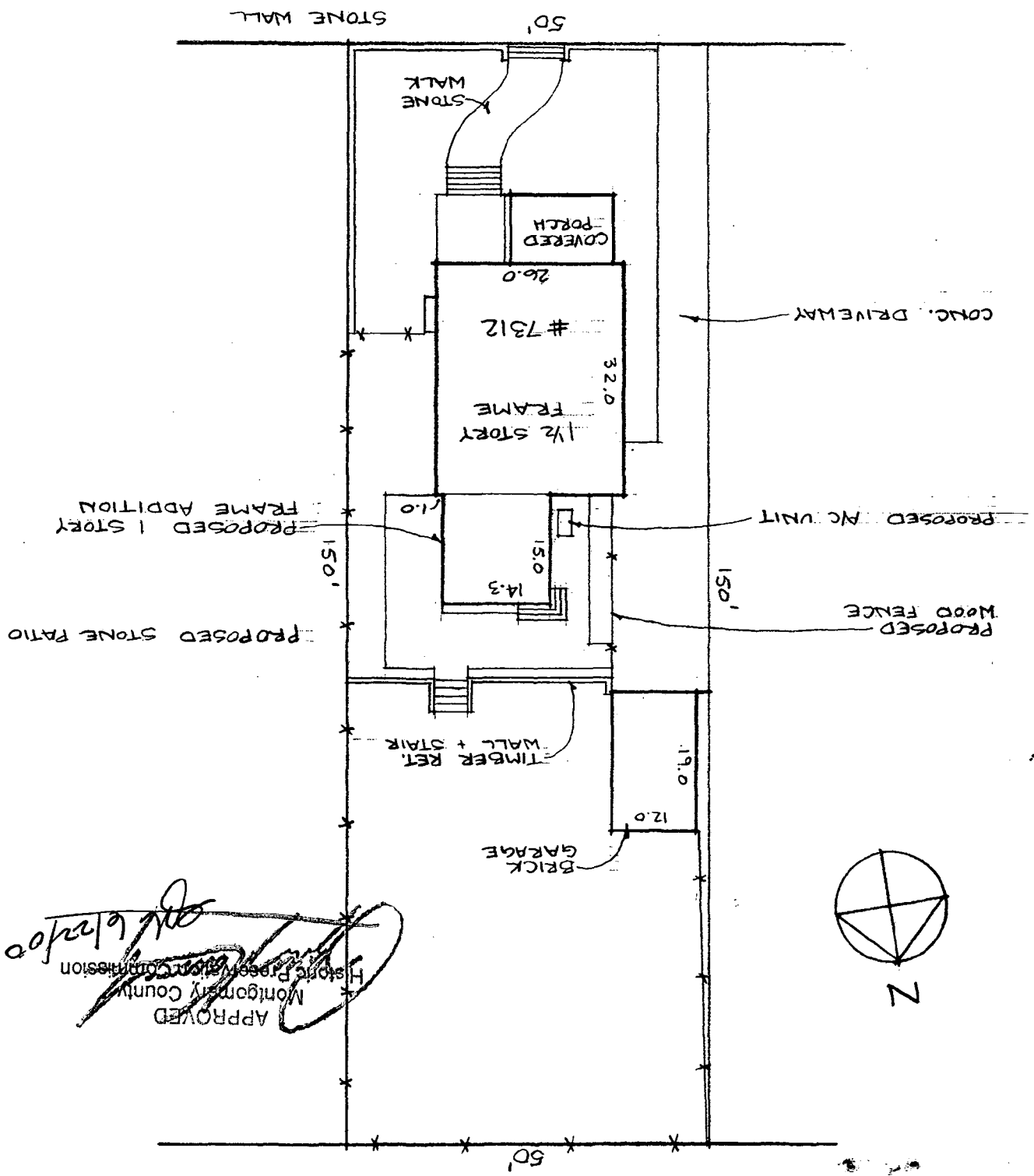


37/3-99Q 7312 Willow Avenue
Takoma Park (Takoma Park HD)

37/3-99Q REV 7312 Willow Avenue
(Takoma Park Historic District)

7312 WILLOW AVENUE - SITE PLAN
 SCALE: 1" = 20'
 6.6.00

WILLOW AVENUE



APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
 6/22/00

NOTES!

1. DO NOT SCALE OFF DRAWINGS! ALWAYS REFER TO GIVEN DIMENSIONS OR CONSULT ARCHITECT FOR FURTHER CLARIFICATIONS.

HUGHES / RAHN RESIDENCE ADDITION

7312 WILLOW STREET
TAKOMA PARK, MARYLAND

ABBREVIATIONS

ARCHITECTURAL

- A.D. -area drain
- ADJUST. -adjustable
- AFF. -above finished floor
- ALUM. -aluminum
- BLDG. -building
- C.J. -control joint
- CLG. -ceiling
- CONC. -concrete
- CONT. -continuous
- CMU -concrete masonry unit
- D -deep/depth
- DN -down
- D/W -dishwasher
- DTL -detail
- DWG. -drawing
- EA. -each
- E.J. -expansion joint
- EXT. -exterior
- F.D. -floor drain
- FLR. -floor
- GAL. -gallon
- GALV. -galvanized
- GWB -gypsum wallboard
- HORIZ. -horizontal
- JT. -joint
- INSUL. -insulation
- MAX. -maximum
- MIN. -minimum
- M.O. -masonry opening
- MTD. -mounted
- MTL -metal
- MRGWB -moisture resistant gypsum wallboard
- N.I.C. -not in contract
- O.C. -on center
- OPP. -opposite
- P-LAM -plastic laminate
- PT. -pressure treated
- PTD. -painted
- RECEPT. -receptacle
- RE-BAR -reinforcing bar
- REINF. -reinforced/reinforcing
- R.O. -rough opening
- SIM. -similar
- STL. -steel
- T&G -tongue and groove
- T.O.W. -top of wall
- TYP. -typical
- V -volt/voltage
- V.I.F. -verify in field
- VERT. -vertical
- VCT -vinyl composition tile
- W -wide/width
- W/ -with
- W/D -washer/dryer
- WD. -wood
- W.P. -waterproof
- WH -water heater
- WWF -welded wire fabric

MECHANICAL

- F.R. -floor register
- C.R. -ceiling register
- R.A.G. -return air grille
- WRH -wall register-high
- WRL -wall register-low

GENERAL INFORMATION

OWNER(S):

NAME: NANCY HUGHES & TIM RAHN
 ADDRESS: 7312 WILLOW ST.
 TAKOMA PARK, MD.
 PHONE(H): (301) PHONE(W):

ARCHITECT:

NAME: BRIAN R. HUNT
 ADDRESS: 4025 BRANDYWINE ST. NW,
 WASHINGTON, D.C. 20016
 PHONE: (202)244-9840 FAX: (202) 244-9841

GENERAL CONTRACTOR:

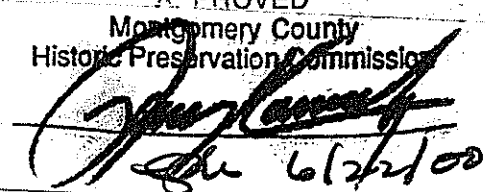
NAME:
 ADDRESS:
 PHONE: FAX:

VICINITY MAP

LOCATION MAP

SHEET INDEX

- T.1 TITLESHEET
- A.1 BASEMENT PLAN
- A.2 FIRST FLOOR PLAN
- A.3 SECOND FLOOR PLAN
- A.4 ROOF PLAN
- A.5 EXTERIOR ELEVATION
- A.6 EXTERIOR ELEVATION
- A.7 EXTERIOR ELEVATION
- A.8 ELEVATIONS/BUILDING SECTION
- A.9 NOT USED
- A.10 NOT USED
- A.11 NOT USED
- A.12 INTERIOR ELEVATIONS
- A.13 SECTION DETAILS (WALL SECTIONS)
- A.14 SECTION DETAILS (WALL SECTIONS)
- A.15 SECTION DETAILS (WALL SECTIONS)
- A.16 SECTION DETAILS (PORCH STAIR)
- S.1 FIRST FLOOR FRAMING PLAN
- S.2 SECOND FLOOR FRAMING PLAN
- S.3 LOWER ROOF FRAMING PLAN
- S.4 UPPER ROOF FRAMING PLAN
- M.1 FIRST FLOOR MECHANICAL PLAN
- M.2 SECOND FLOOR MECHANICAL PLAN
- P.1 FIRST FLOOR PLUMBING PLAN
- P.2 SECOND FLOOR PLUMBING PLAN
- E.1 FIRST FLOOR ELECTRICAL PLAN
- E.2 SECOND FLOOR ELECTRICAL PLAN

APPROVED
 Montgomery County
 Historic Preservation Commission

 6/22/00

PROJECT FILE CODE: HURA

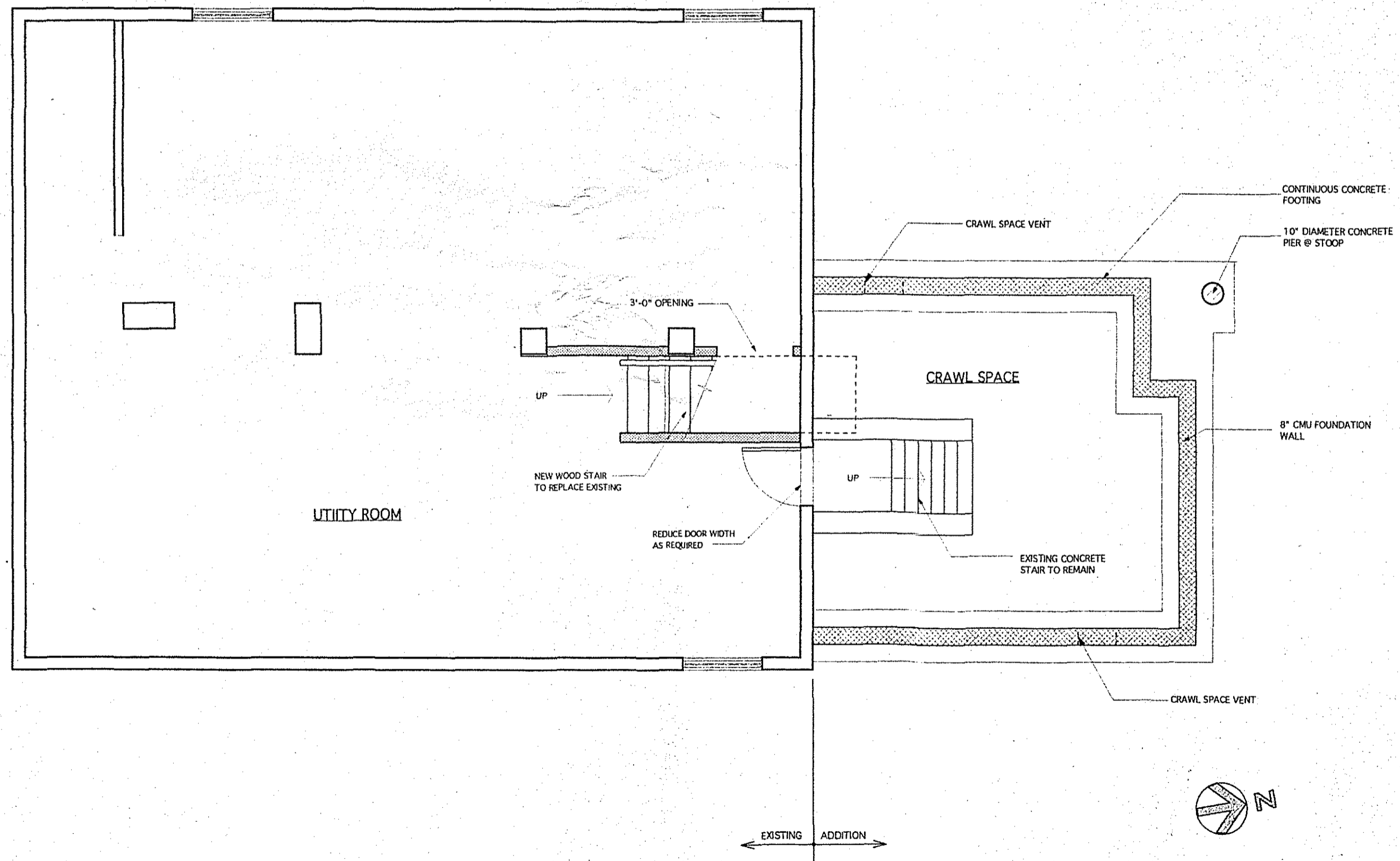
HUNT ARCHITECTS

4025 BRANDYWINE STREET, N. W.
 WASHINGTON, DISTRICT OF COLUMBIA 20016
 202.244.9840 FAX 202.244.9842

HUGHES/RAHN RESIDENCE
 ADDITION
 7312 WILLOW AVENUE
 TAKOMA PARK, MD.

6.01.00 PERMIT SET

T.1



1 BASEMENT PLAN/NEW FOUNDATION PLAN
 A.1 SCALE: 1/4" = 1' - 0"



APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
 6/24/00

HUNT ARCHITECTS

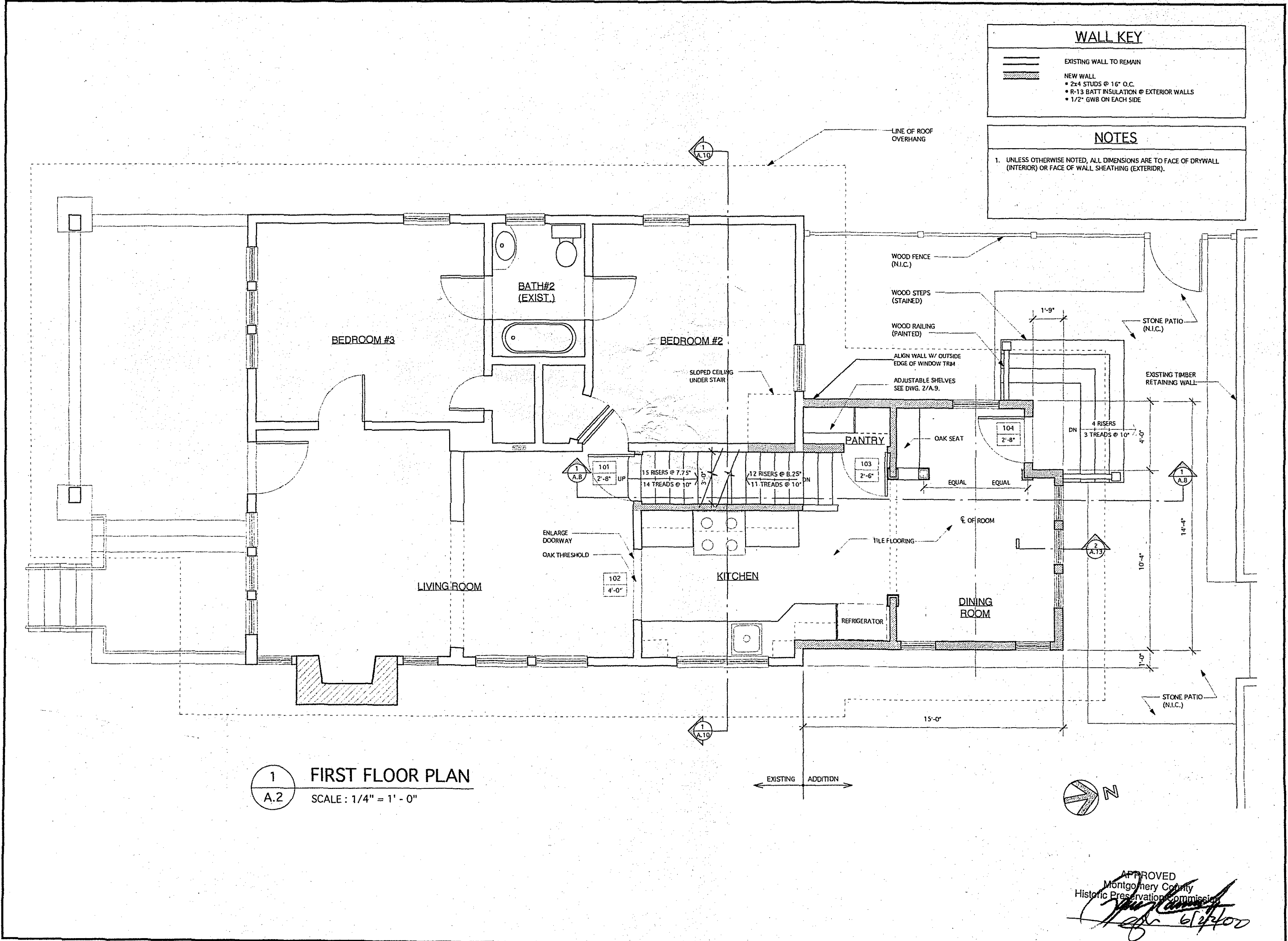
4025 BRANDYWINE STREET, N. W.
 WASHINGTON, DISTRICT OF COLUMBIA 20016
 202.244.9840 FAX 202.244.9842

HUGHES/RAHN RESIDENCE
 ADDITION

7312 WILLOW AVENUE
 TAKOMA PARK, MD.

6.01.00 PERMIT SET

A.1



WALL KEY	
	EXISTING WALL TO REMAIN
	NEW WALL
	• 2x4 STUDS @ 16" O.C.
	• R-13 BATT INSULATION @ EXTERIOR WALLS
	• 1/2" GWB ON EACH SIDE

NOTES	
1.	UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE OF DRYWALL (INTERIOR) OR FACE OF WALL SHEATHING (EXTERIOR).

1 FIRST FLOOR PLAN
 A.2 SCALE: 1/4" = 1'-0"

HUNT ARCHITECTS

4025 BRANDYWINE STREET, N. W.
 WASHINGTON, DISTRICT OF COLUMBIA 20016
 202.244.9840 FAX 202.244.9842

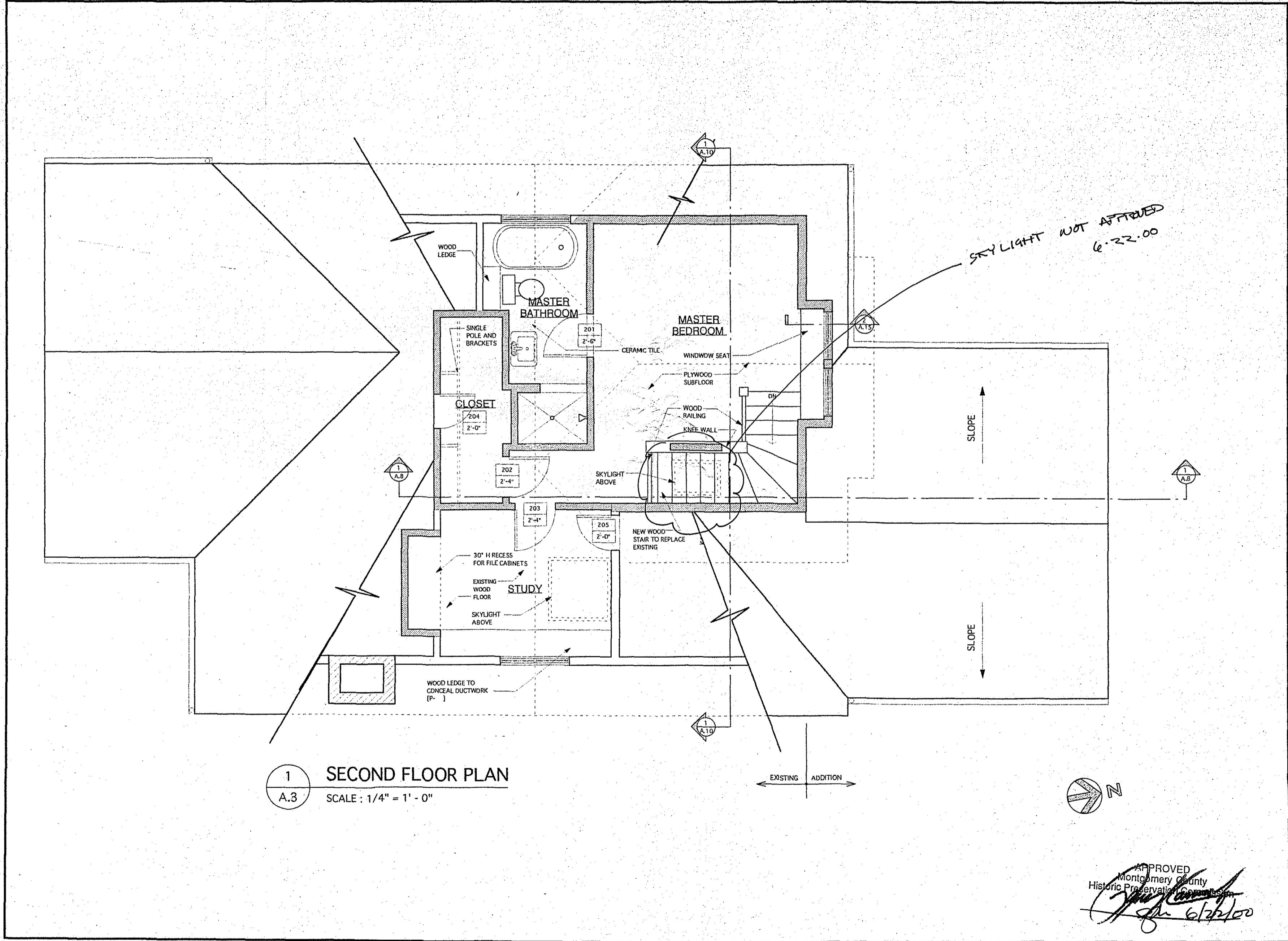
HUGHES/RAHN RESIDENCE
 ADDITION

7312 WILLOW AVENUE
 TAKOMA PARK, MD.

PERMIT SET
 6.01.00

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
 6/24/00

A.2



1 SECOND FLOOR PLAN
 A.3 SCALE: 1/4" = 1' - 0"

EXISTING ADDITION



SKYLIGHT NOT APPROVED
 6-22-00

HUNT ARCHITECTS
 4025 BRANDYWINE STREET, N.W.
 WASHINGTON, DISTRICT OF COLUMBIA 20016
 202.244.9940 FAX 202.244.9942

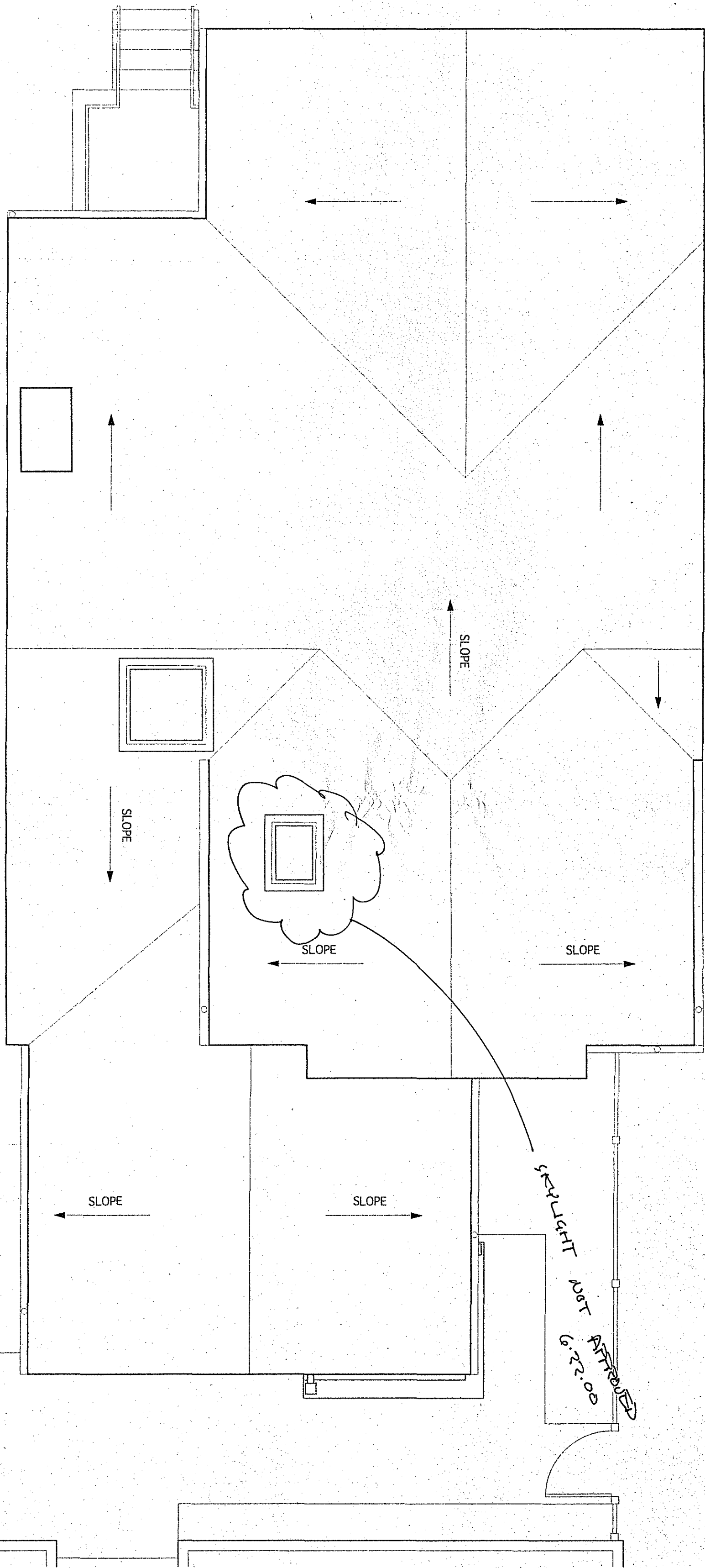
HUGHES/RAHN RESIDENCE
 ADDITION
 7312 WILLOW AVENUE
 TAKOMA PARK, MD.

PERMIT SET
 6.01.00

A.3

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
 6/22/00

1
A.4 ROOF PLAN
SCALE: 1/4" = 1'-0"

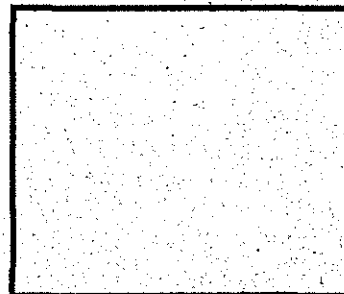


APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

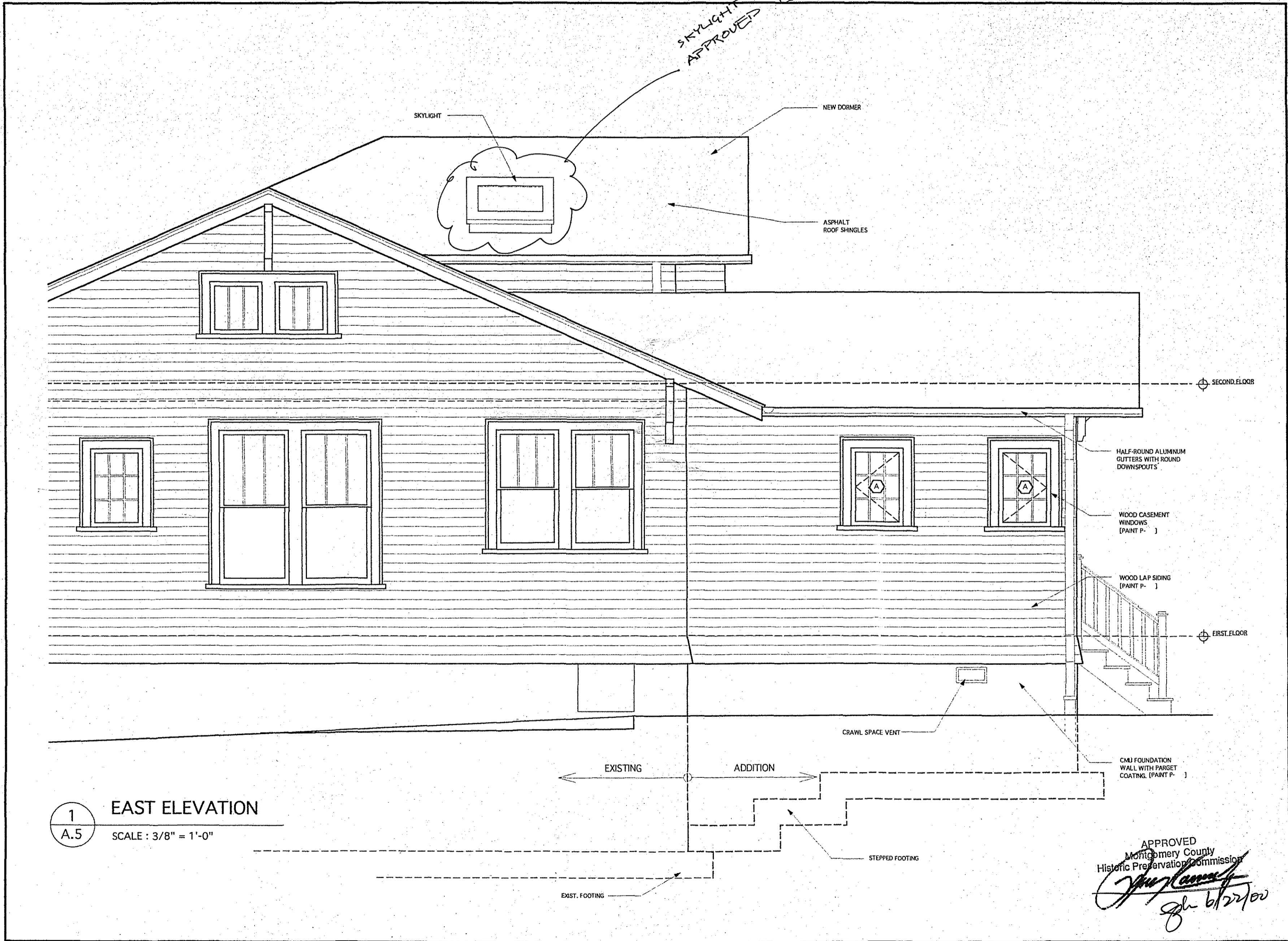
A.4

6.01.00 PERMIT SET

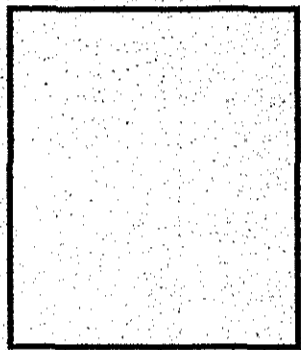
**HUGHES/RAHN RESIDENCE
ADDITION**
7312 WILLOW AVENUE
TAKOMA PARK, MD.



HUNT ARCHITECTS
4025 BRANDYWINE STREET, N. W.
WASHINGTON, DISTRICT OF COLUMBIA 20016
202.244.9840 FAX 202.244.9842



HUNT ARCHITECTS
 4025 BRANDYWINE STREET, N. W.
 WASHINGTON, DISTRICT OF COLUMBIA 20016
 202.244.9840 FAX 202.244.9842

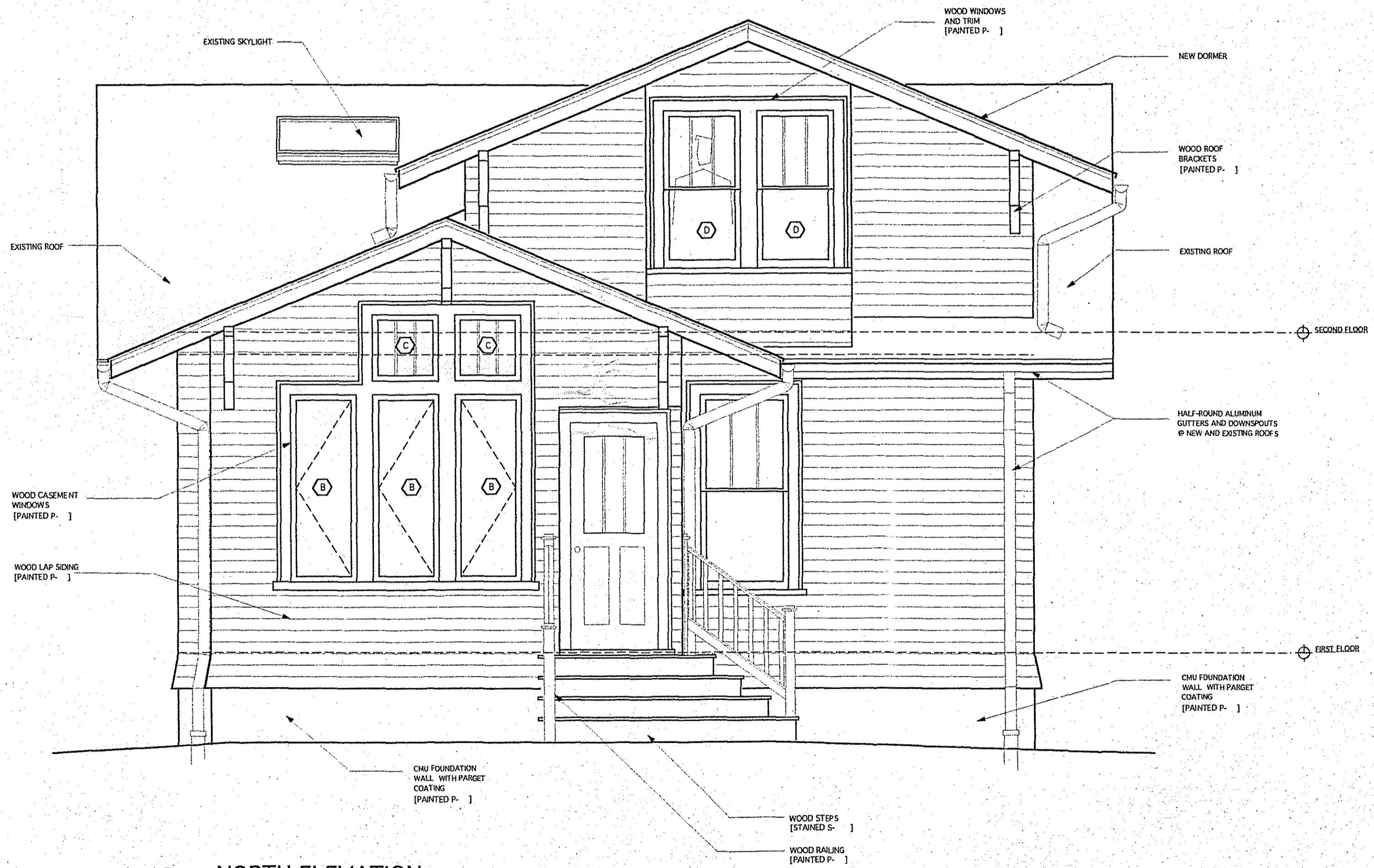


**HUGHES/RAHN RESIDENCE
 ADDITION**
 7312 WILLOW AVENUE
 TAKOMA PARK, MD.

PERMIT SET
 6.01.00

A.5

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
 6/22/00



1 NORTH ELEVATION
 A.6 SCALE : 3/8" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

HUNT ARCHITECTS

4025 BRANDYWINE STREET, N. W.
 WASHINGTON, DISTRICT OF COLUMBIA 20016
 202.244.9840 FAX 202.244.9842

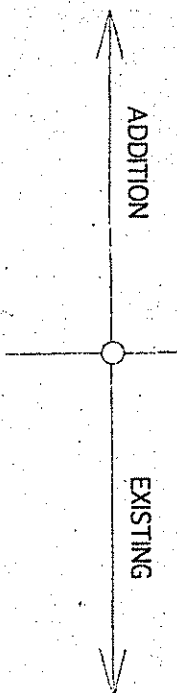
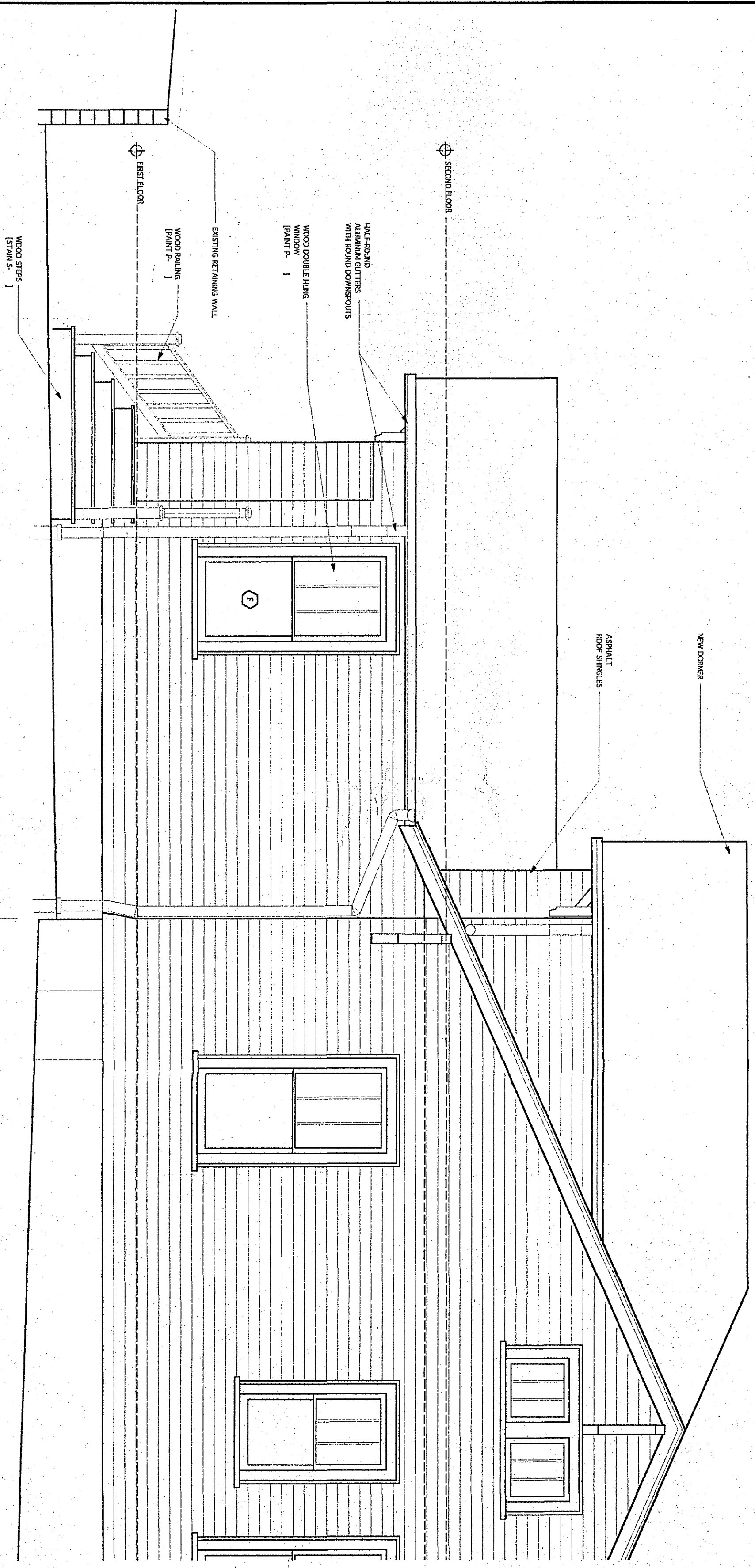
HUGHES/RAHN RESIDENCE
 ADDITION

7312 WILLOW AVENUE
 TAKOMA PARK, MD.

PERMIT SET
 6.01.00

A.6

1
A.7
WEST ELEVATION
SCALE: 3/8" = 1'-0"



APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
6/20/02

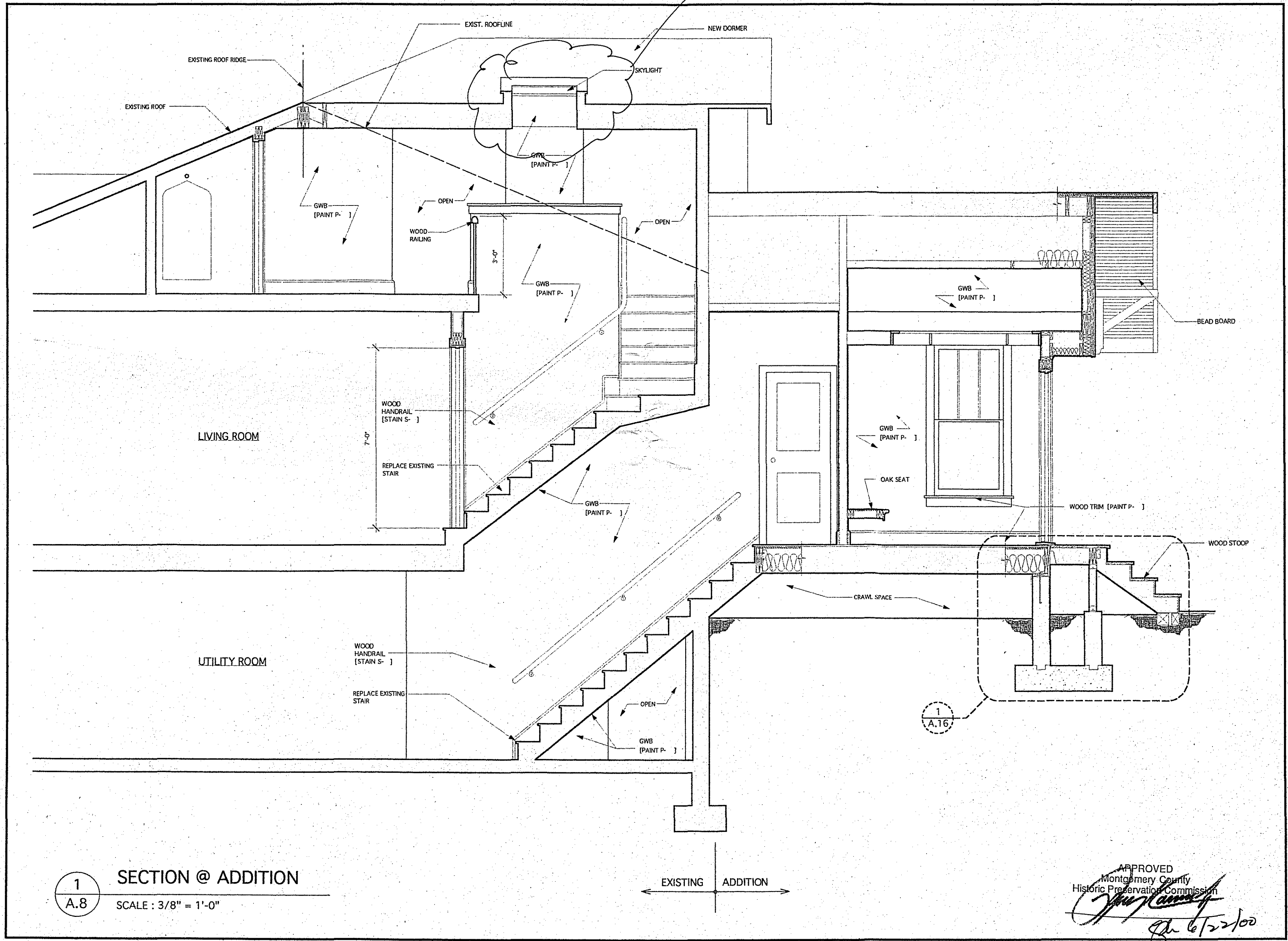
A.7

6.01.00 PERMIT SET

**HUGHES/RAHN RESIDENCE
ADDITION**
7312 WILLOW AVENUE
TAKOMA PARK, MD.

HUNT ARCHITECTS
4025 BRANDYWINE STREET, N.W.
WASHINGTON, DISTRICT OF COLUMBIA 20016
202.244.9840 FAX 202.244.9842

SKYLIGHT NOT APPROVED
6-22-00



1 SECTION @ ADDITION
A.8 SCALE : 3/8" = 1'-0"

← EXISTING ADDITION →

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
6/22/00

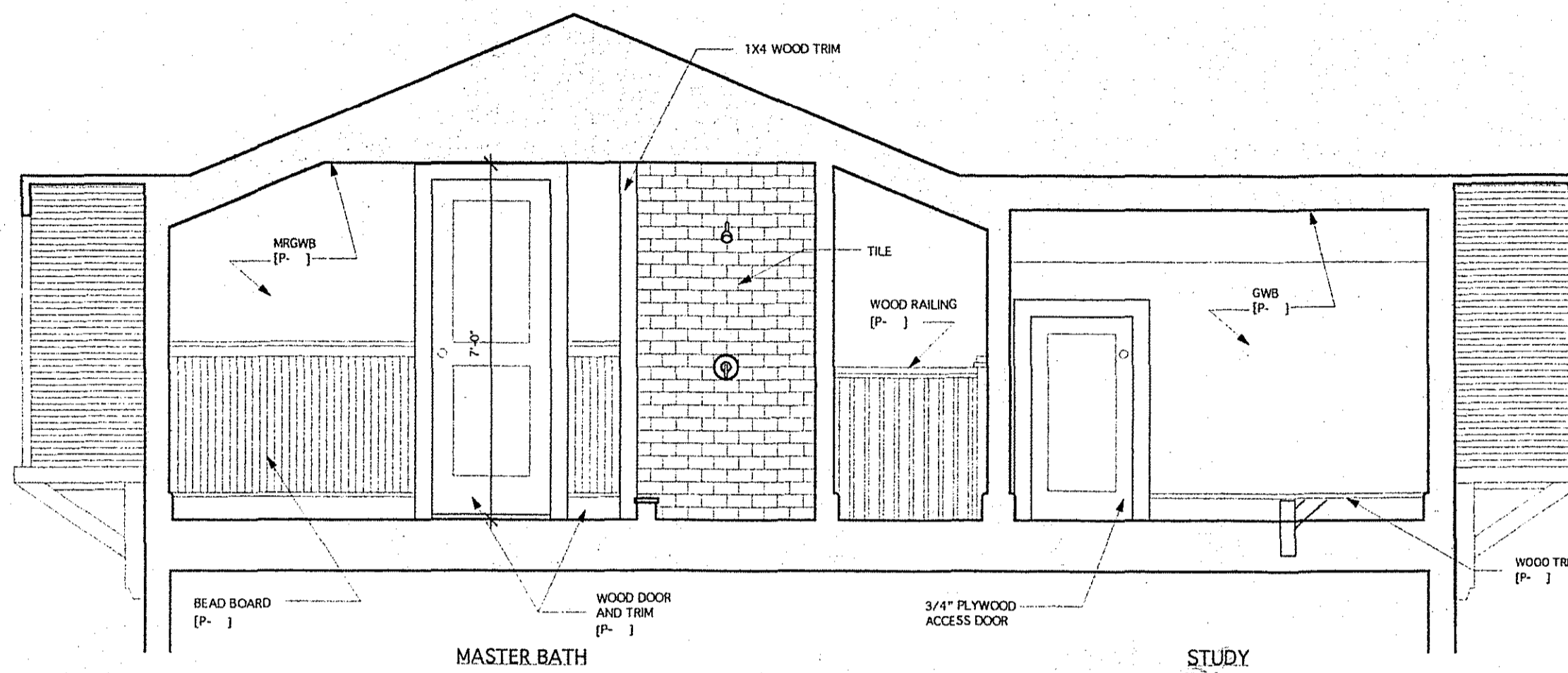
HUNT ARCHITECTS

4025 BRANDYWINE STREET, N.W.
WASHINGTON, DISTRICT OF COLUMBIA, 20016
202.244.9940 FAX 202.244.9942

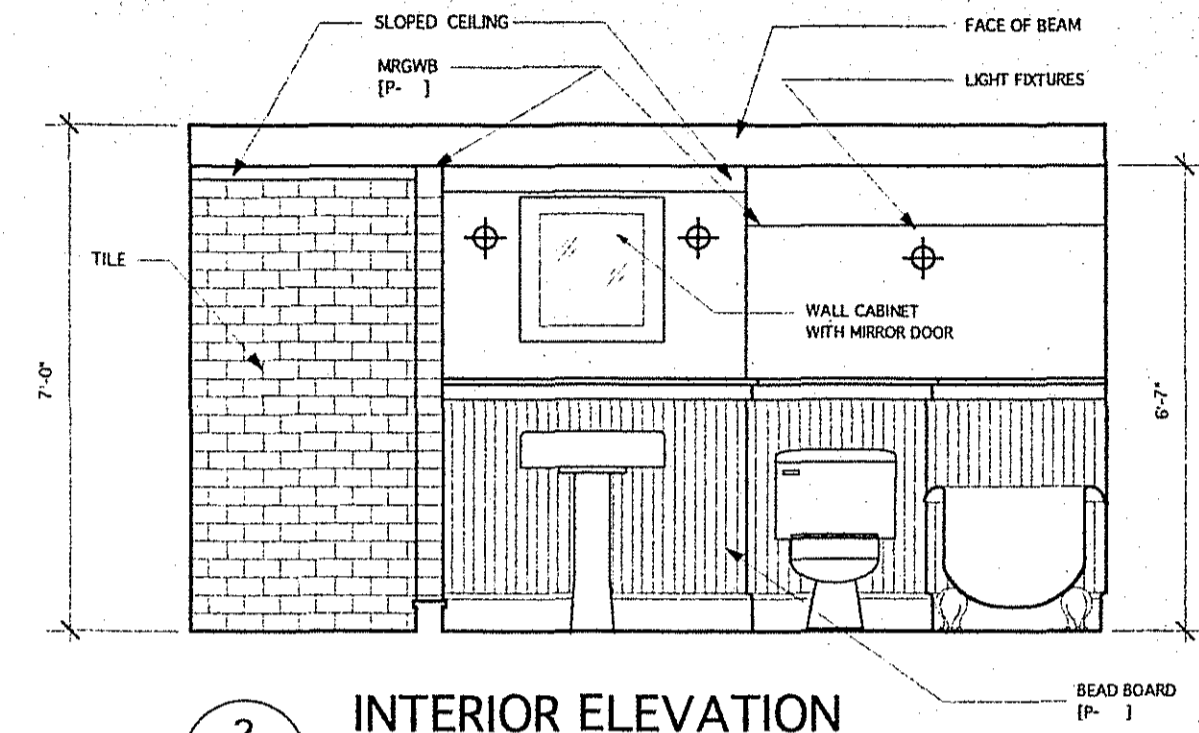
HUGHES/RAHN RESIDENCE
ADDITION
7312 WILLOW AVENUE
TAKOMA PARK, MD.

6.01.00 PERMIT SET

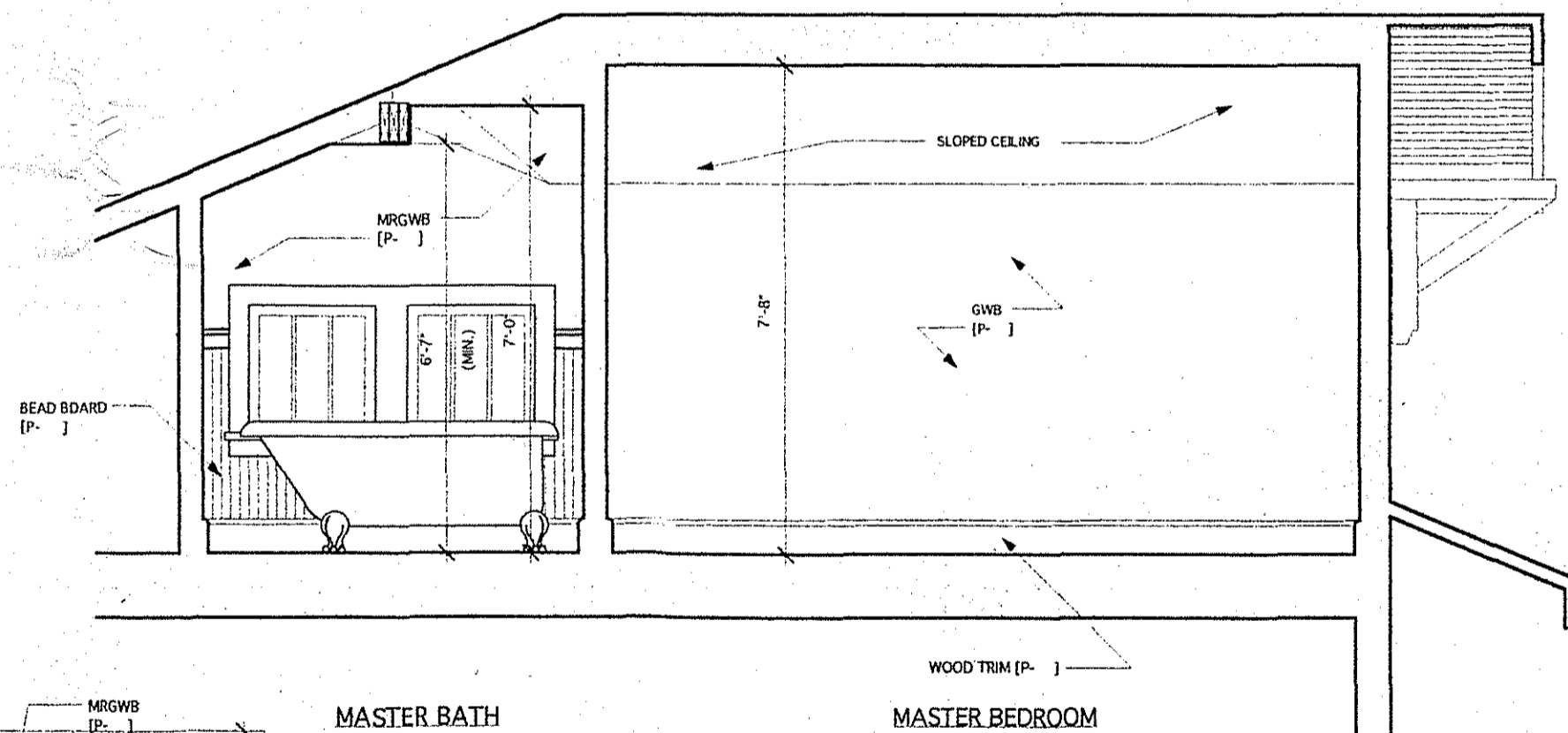
A.8



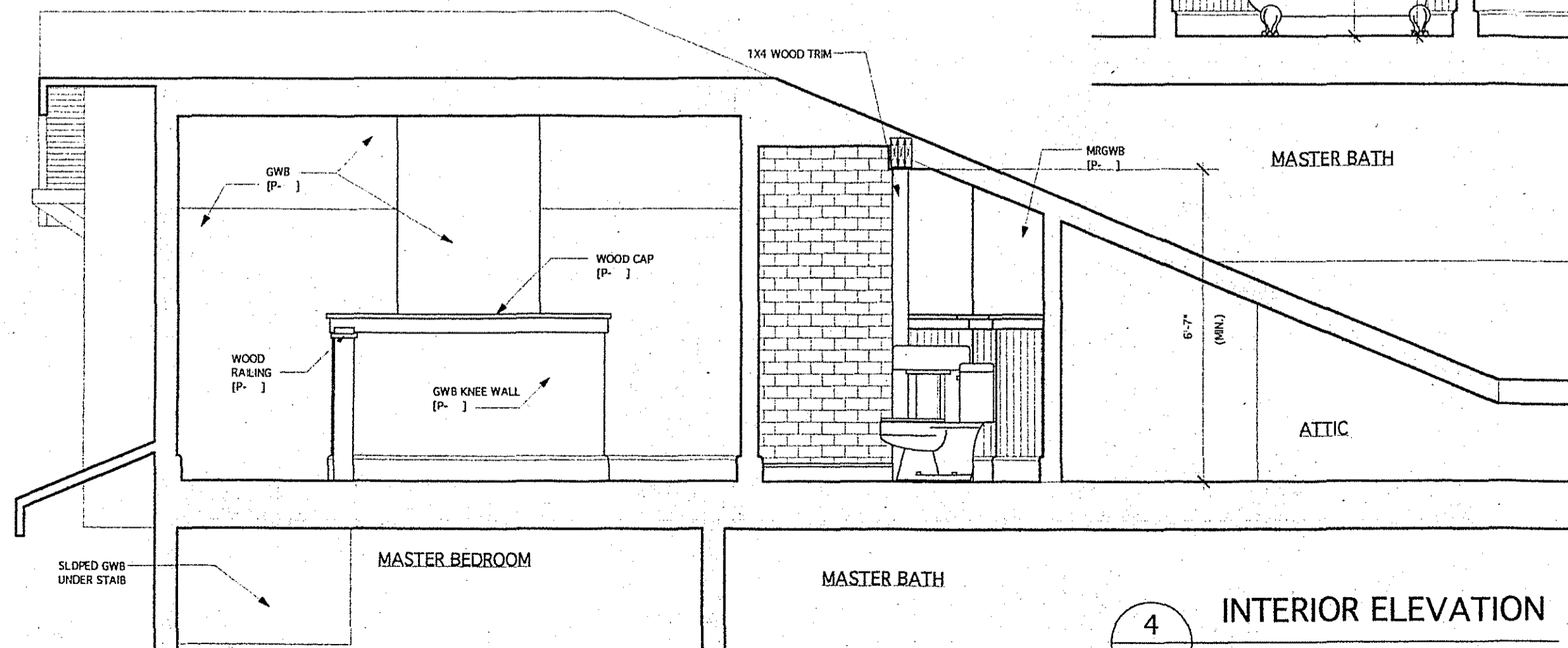
1
A.12
INTERIOR ELEVATION
SCALE : 3/8" = 1'-0"



2
A.12
INTERIOR ELEVATION
SCALE : 3/8" = 1'-0"



3
A.12
INTERIOR ELEVATION
SCALE : 3/8" = 1'-0"



4
A.12
INTERIOR ELEVATION
SCALE : 3/8" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
6/22/00

HUNT ARCHITECTS

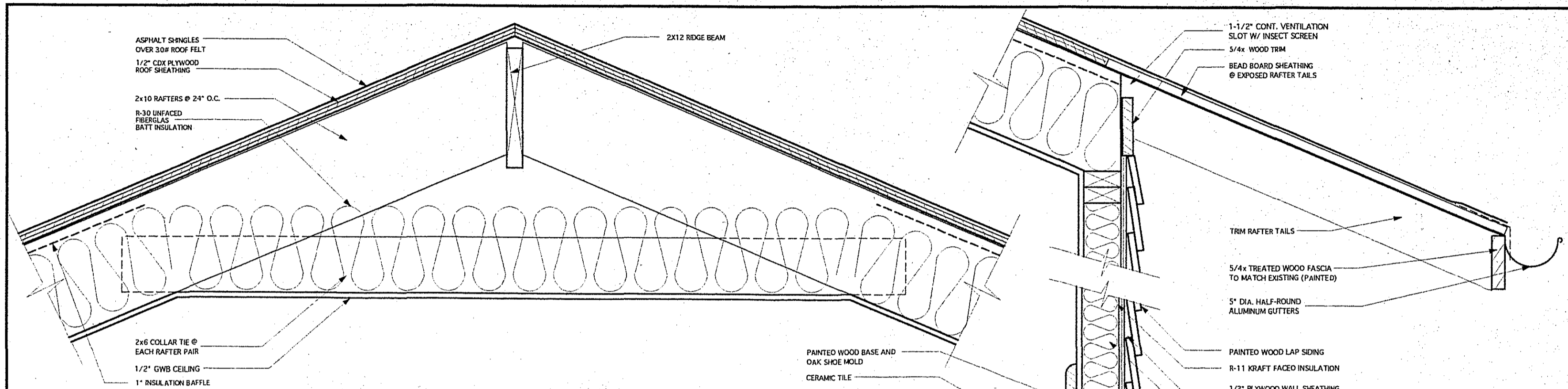
4023 BRANDYWINE STREET, N. W.
WASHINGTON, DISTRICT OF COLUMBIA 20016
202.244.9840 FAX 202.244.9842

HUGHES/RAHN RESIDENCE
ADDITION

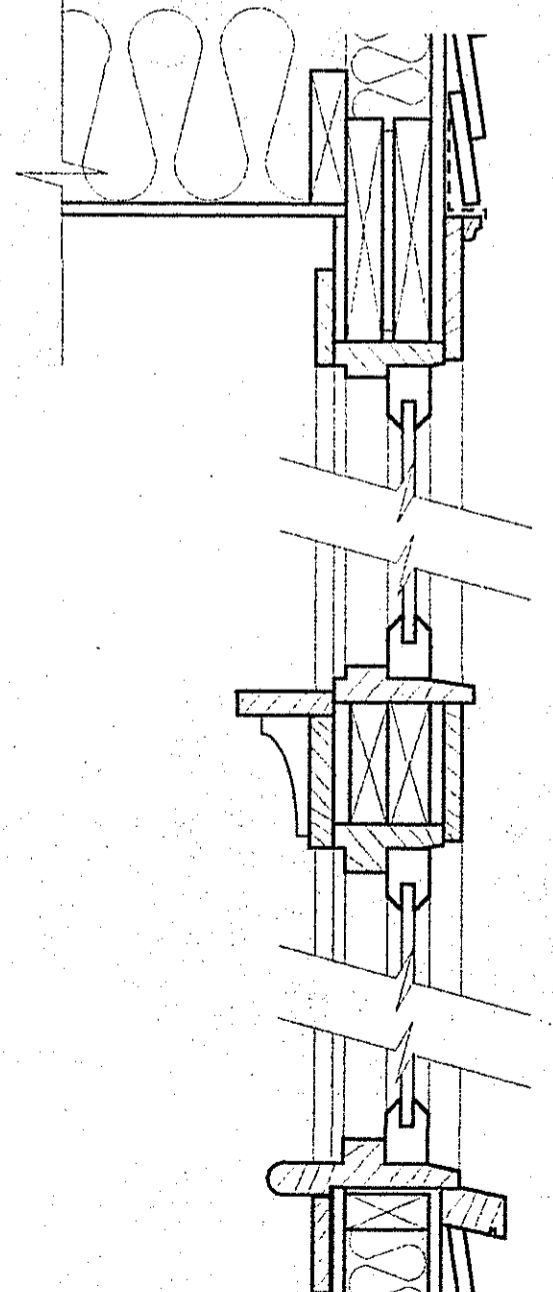
7312 WILLOW AVENUE
TAKOMA PARK, MD.

6.01.00 PERMIT SET

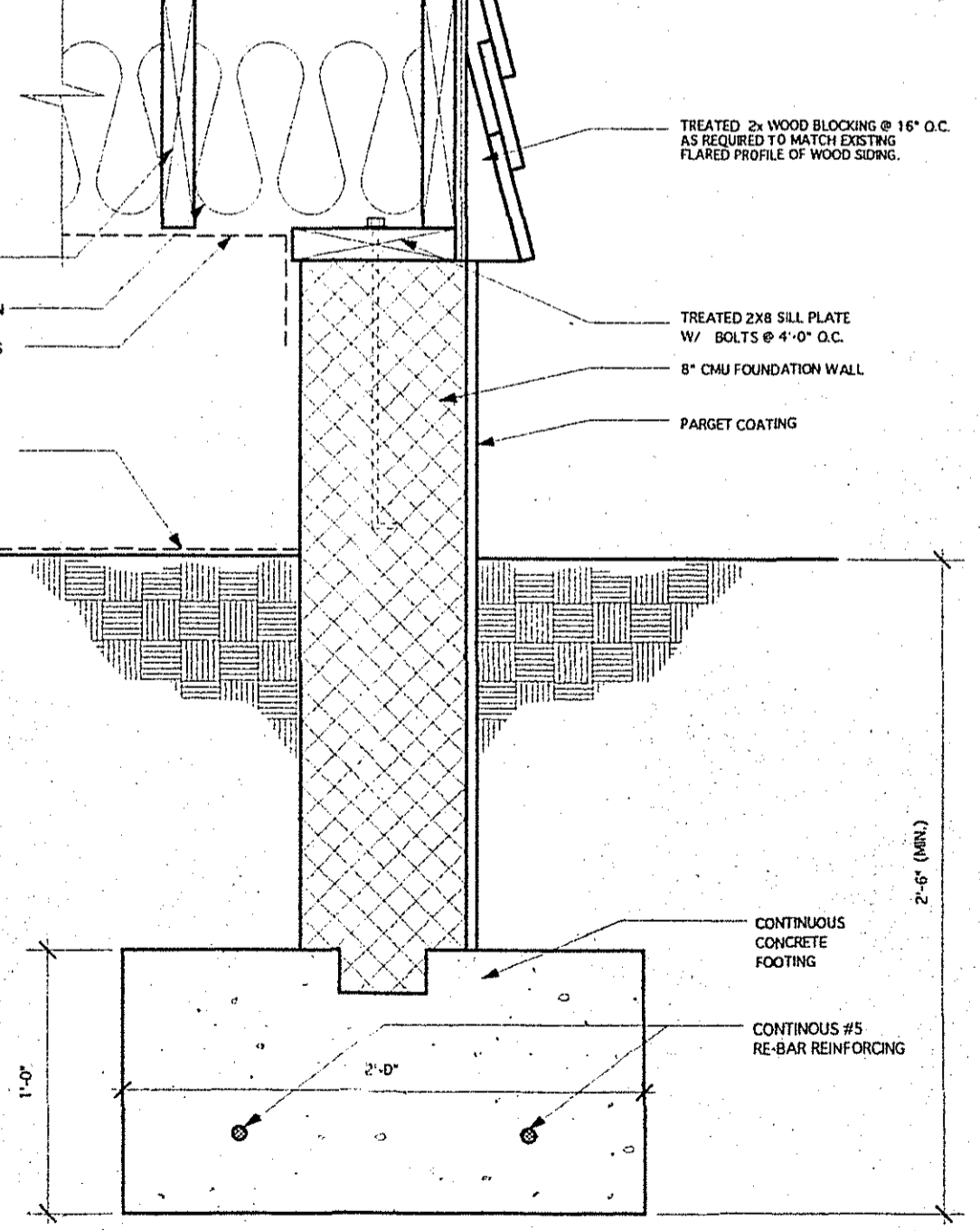
A.12



1 SECTION DETAIL THRU RIDGE BEAM
A.13 SCALE : 1 1/2" = 1'-0"



2 SECTION DETAIL THRU DINING ROOM WINDOW
A.13 SCALE : 1 1/2" = 1'-0"



3 SECTION DETAIL THRU WALL @ EAVE
A.13 SCALE : 1 1/2" = 1'-0"

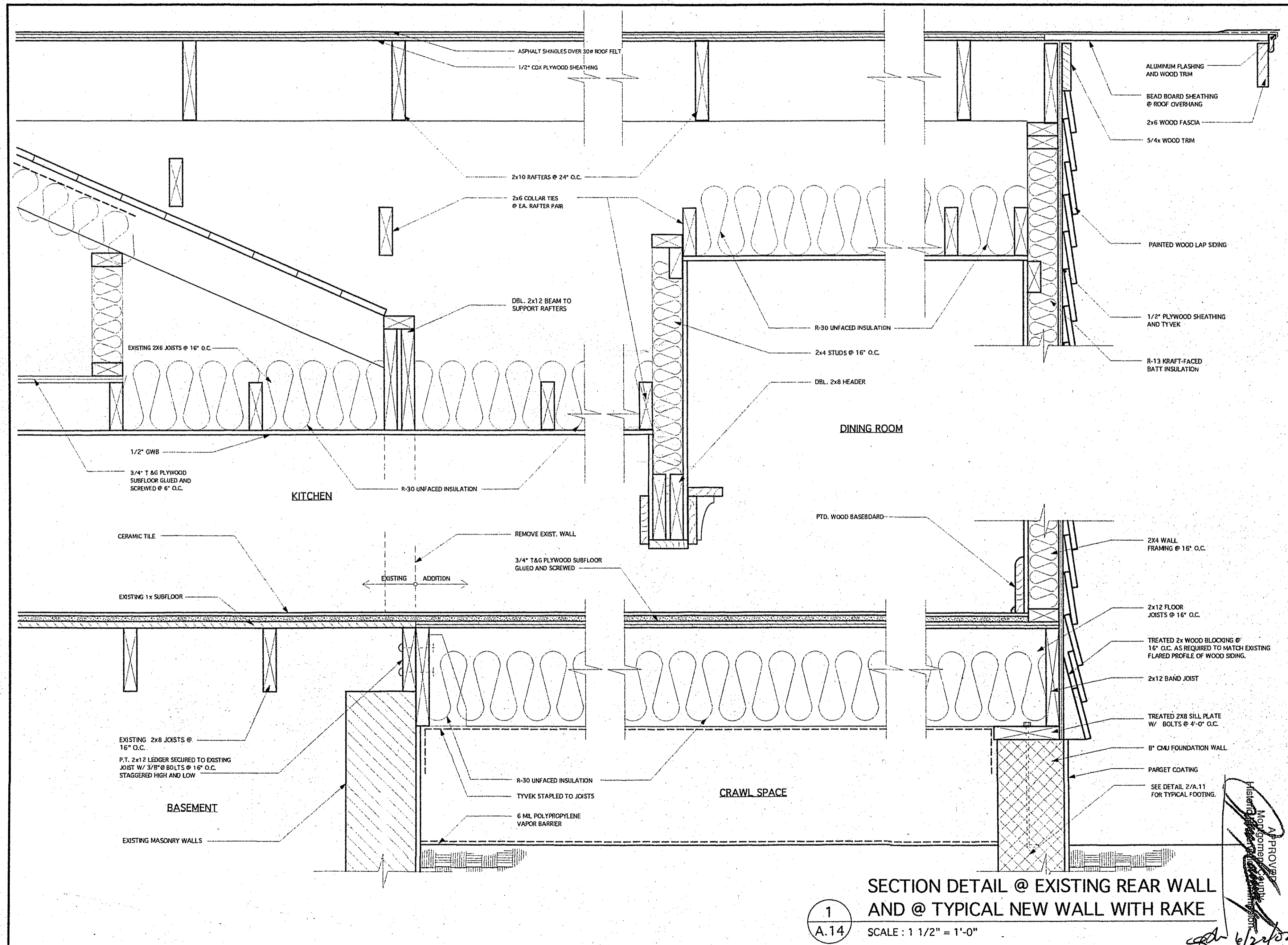
APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
6/27/00

HUNT ARCHITECTS
4025 BRANDYWINE STREET, N. W.
WASHINGTON, DISTRICT OF COLUMBIA 20016
202.244.9840 FAX 202.244.9842

HUGHES/RAHN RESIDENCE
ADDITION
7312 WILLOW AVENUE
TAKOMA PARK, MD.

PERMIT SET
6.01.00

A.13



SECTION DETAIL @ EXISTING REAR WALL AND @ TYPICAL NEW WALL WITH RAKE

1
 A.14

SCALE : 1 1/2" = 1'-0"

HUNT ARCHITECTS

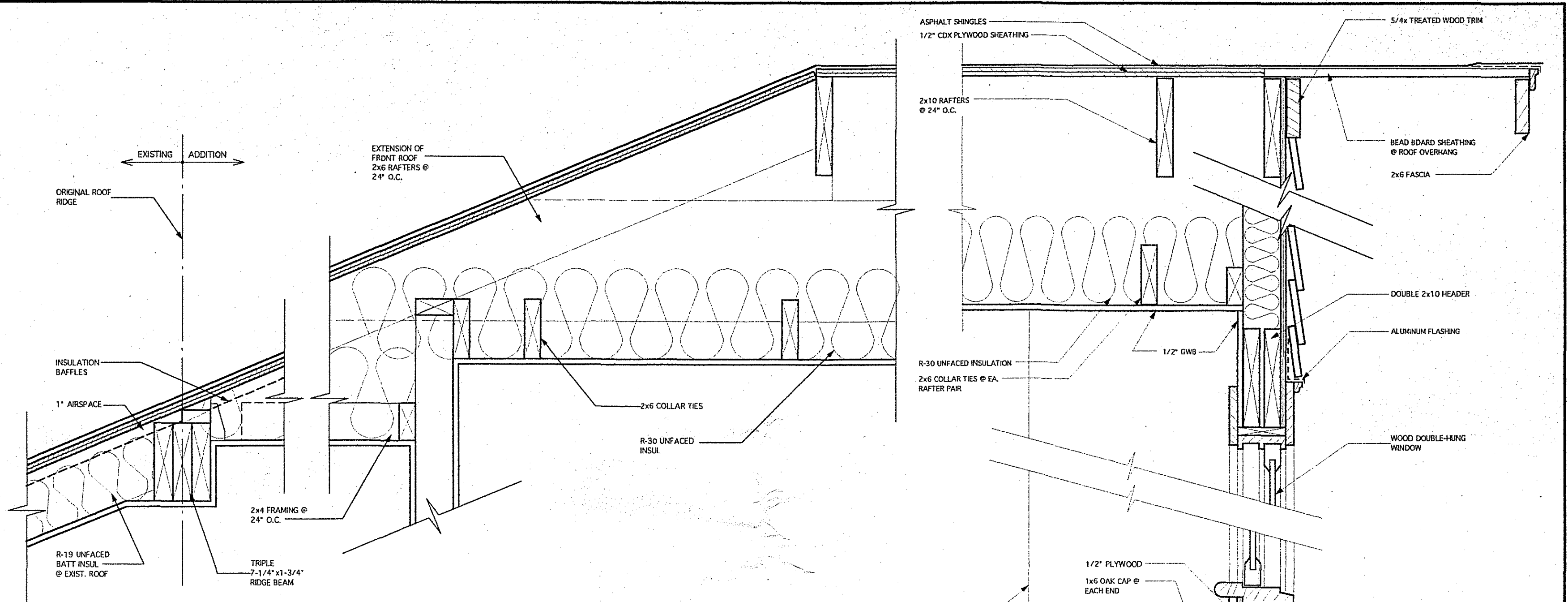
4025 BRANDYWINE STREET, N. W.
 WASHINGTON, DISTRICT OF COLUMBIA 20016
 202.244.9840 FAX 202.244.9840

HUGHES/RAHN RESIDENCE
 ADDITION

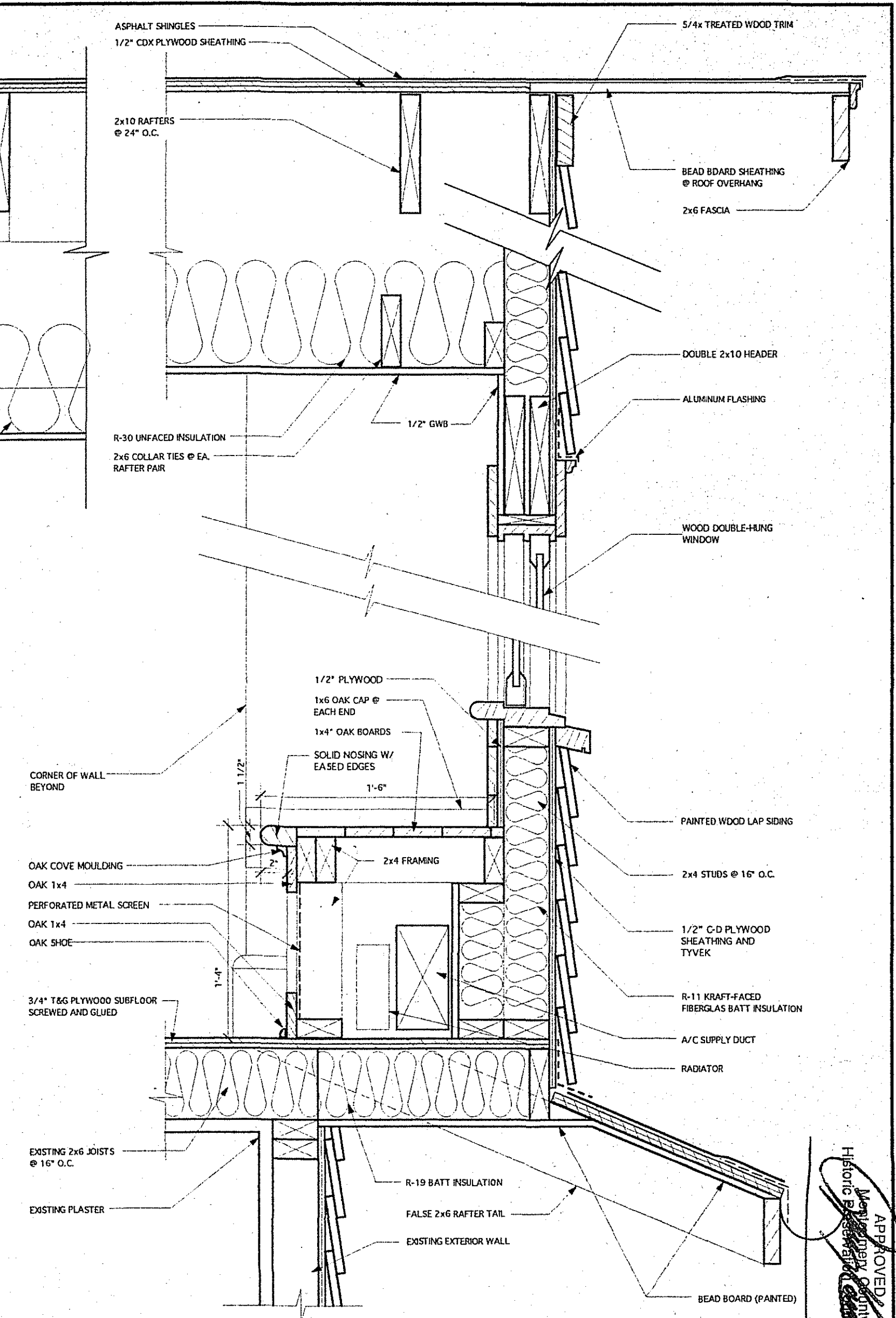
7312 WILLOW AVENUE
 TAKOMA PARK, MD.

PERMIT SET
 6.01.00

A.14



1 SECTION DETAIL @ RIDGE BEAM
 A.15 SCALE : 1 1/2" = 1'-0"



2 SECTION DETAIL THRU BAY WITH WINDOW SEAT
 A.15 SCALE : 1 1/2" = 1'-0"

APPROVED
 Historic Preservation
 [Signature]

HUNT ARCHITECTS

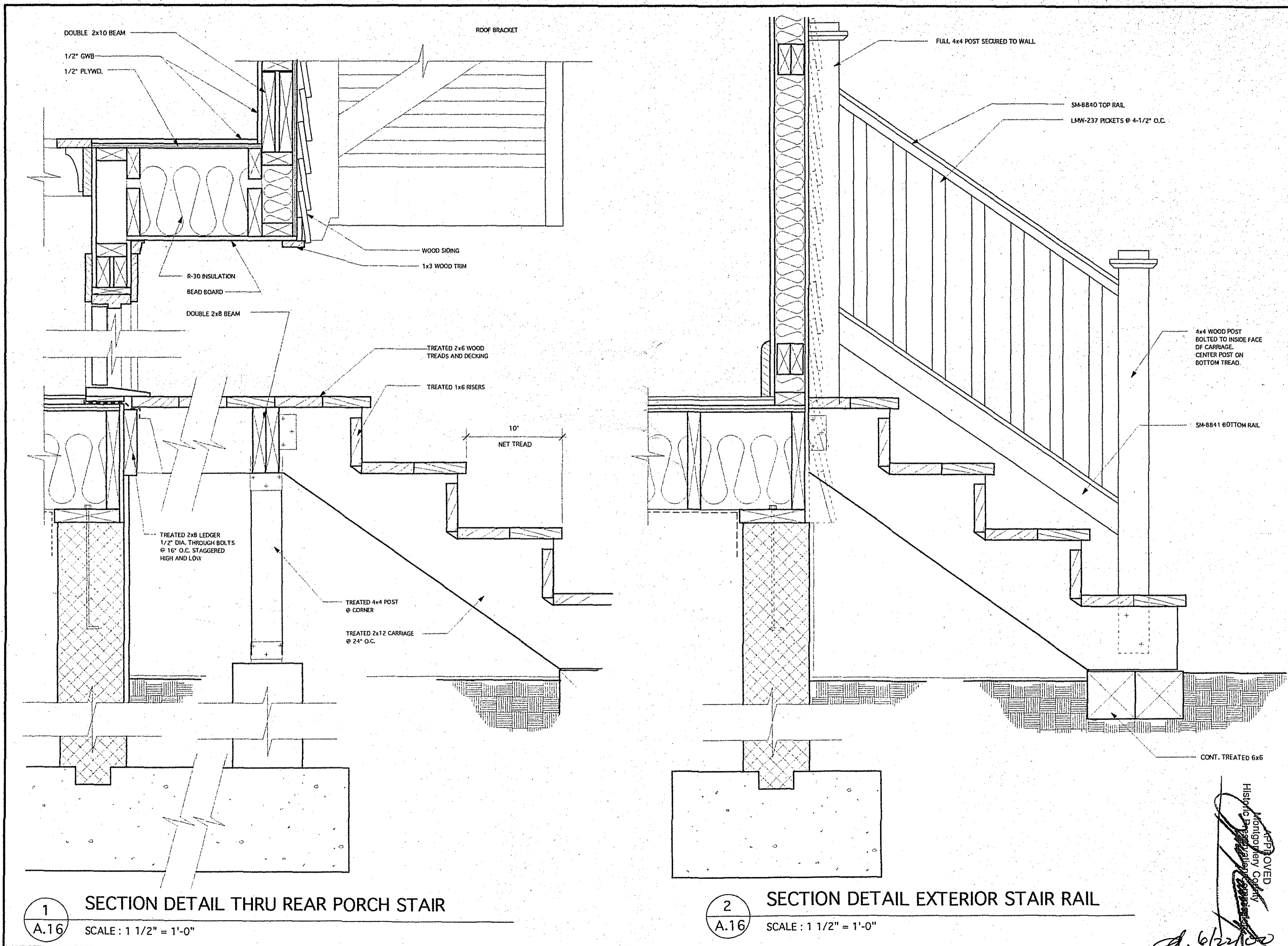
4025 BRANDYWINE STREET, N. W.
 WASHINGTON, DISTRICT OF COLUMBIA 20016
 202.244.9840 FAX 202.244.9842

HUGHES/RAHN RESIDENCE
 ADDITION

7312 WILLOW AVENUE
 TAKOMA PARK, MD.

6.01.00 PERMIT SET

A.15



1
A.16

SECTION DETAIL THRU REAR PORCH STAIR

SCALE: 1 1/2" = 1'-0"

2
A.16

SECTION DETAIL EXTERIOR STAIR RAIL

SCALE: 1 1/2" = 1'-0"

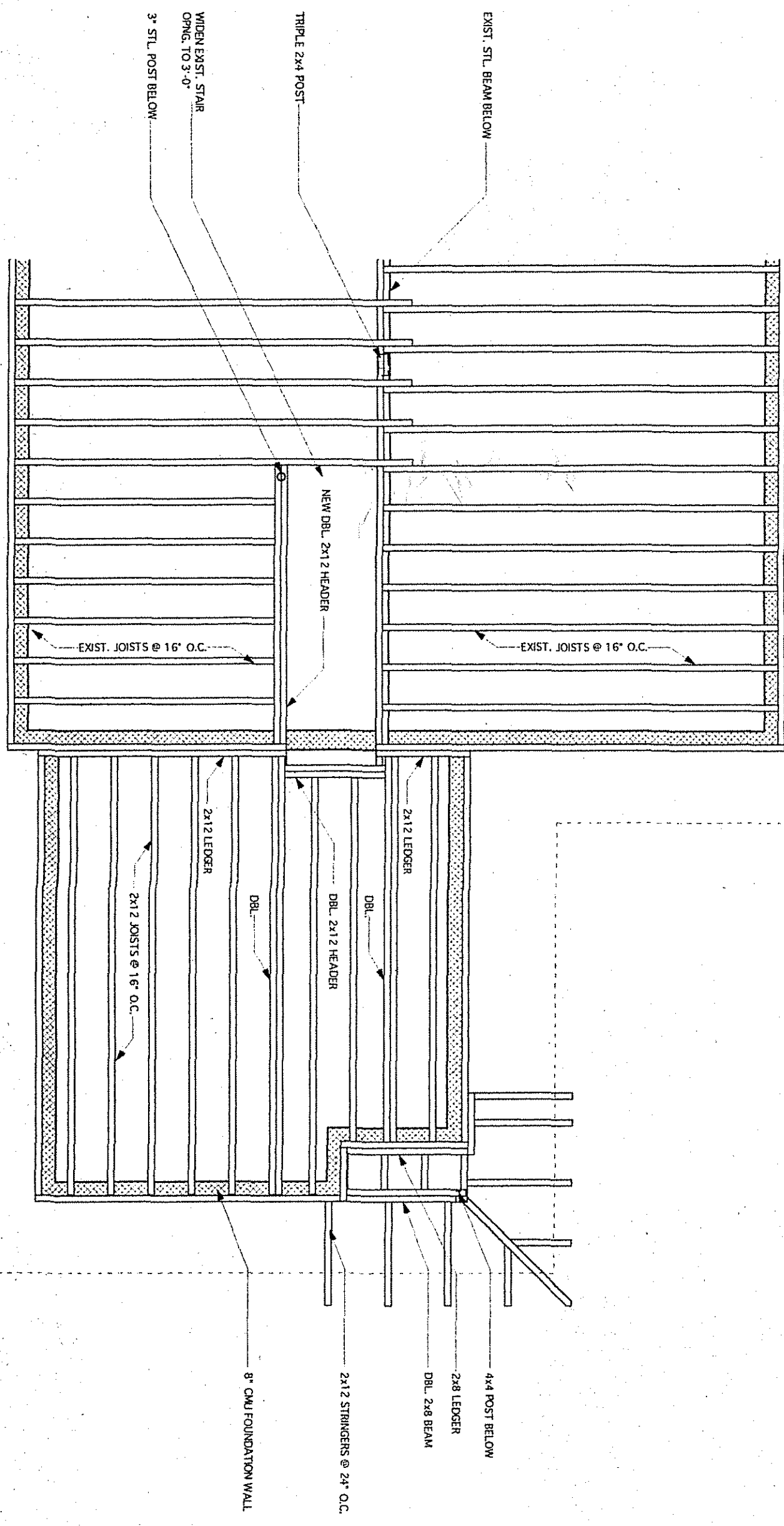
APPROVED
Historic Preservation Commission
Montgomery County
6/22/00

HUNT ARCHITECTS
4025 BRANDYWINE STREET, N. W.
WASHINGTON, DISTRICT OF COLUMBIA 20016
202.244.9840 FAX 202.244.9842

HUGHES/RAHN RESIDENCE
ADDITION
7312 WILLOW AVENUE
TAKOMA PARK, MD.

6.01.00
PERMIT SET

A.16



EXISTING
ADDITION

1
S.1
FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1' - 0"

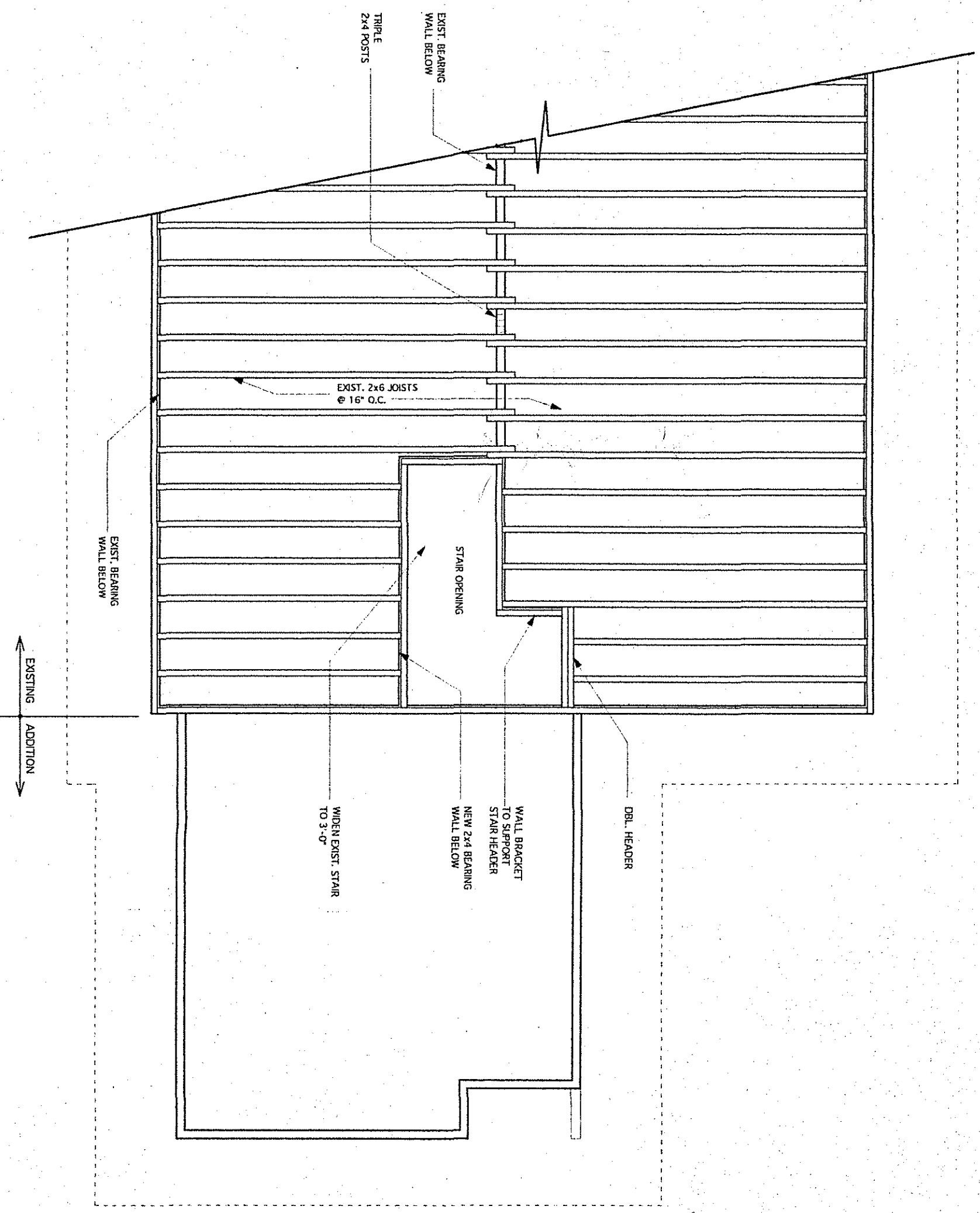
APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
6/27/20

S.1

6.01.00 PERMIT SET

**HUGHES/RAHN RESIDENCE
ADDITION**
7312 WILLOW AVENUE
TAKOMA PARK, MD.

HUNT ARCHITECTS
4025 BRANDYWINE STREET, N. W.
WASHINGTON, DISTRICT OF COLUMBIA 20016
202.244.9840 FAX 202.244.9842



1
S.2 SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

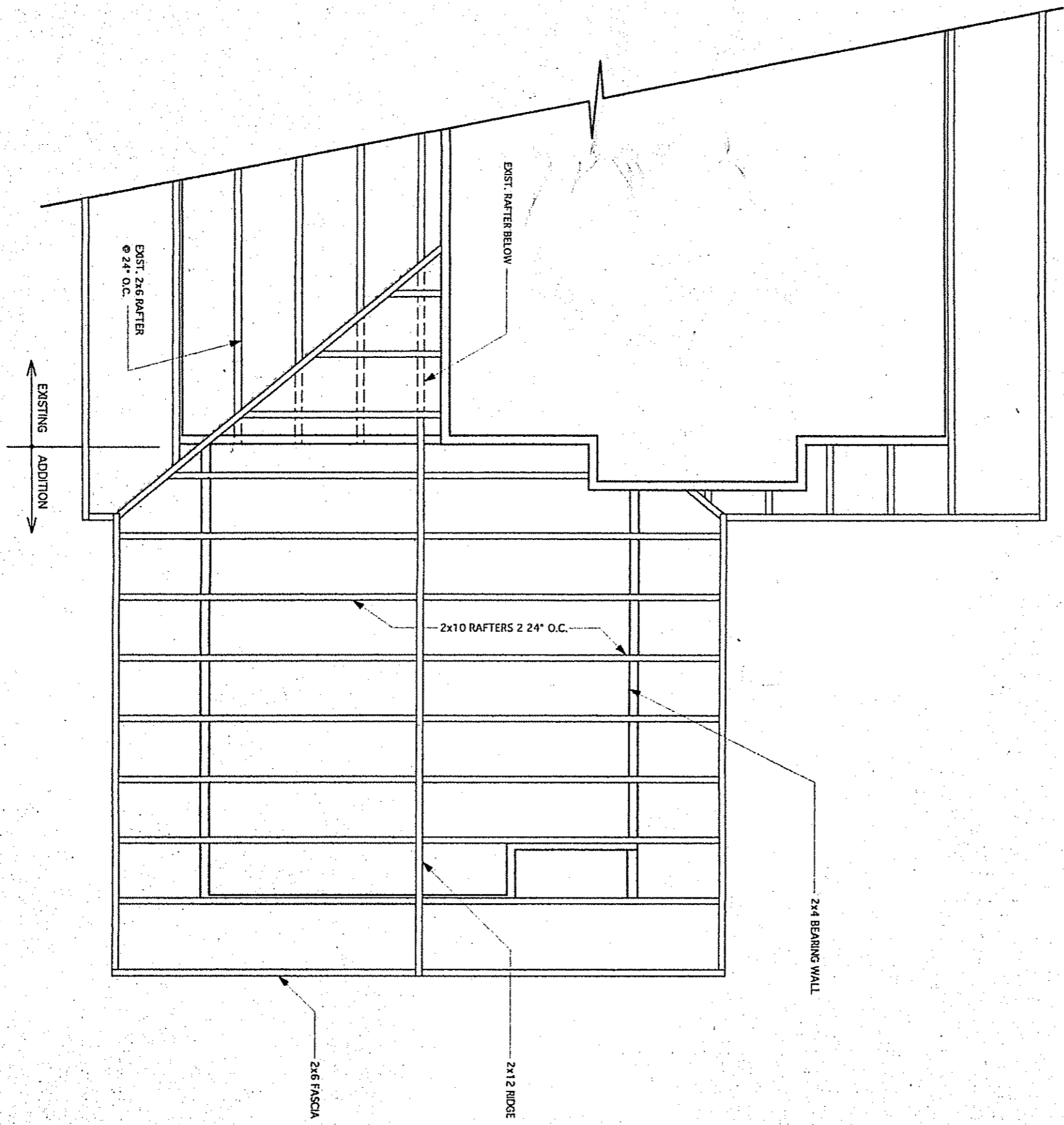
APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
6/12/2003

S.2

6.01.00 PERMIT SET

HUGHES/RAHN RESIDENCE ADDITION
7312 WILLOW AVENUE
TAKOMA PARK, MD.

HUNT ARCHITECTS
4025 BRANOWINE STREET, N. W.
WASHINGTON, DISTRICT OF COLUMBIA 20016
202.244.9840 FAX 202.244.9842



1
S.3
ROOF FRAMING PLAN @ ADDITION
SCALE: 1/4" = 1' - 0"

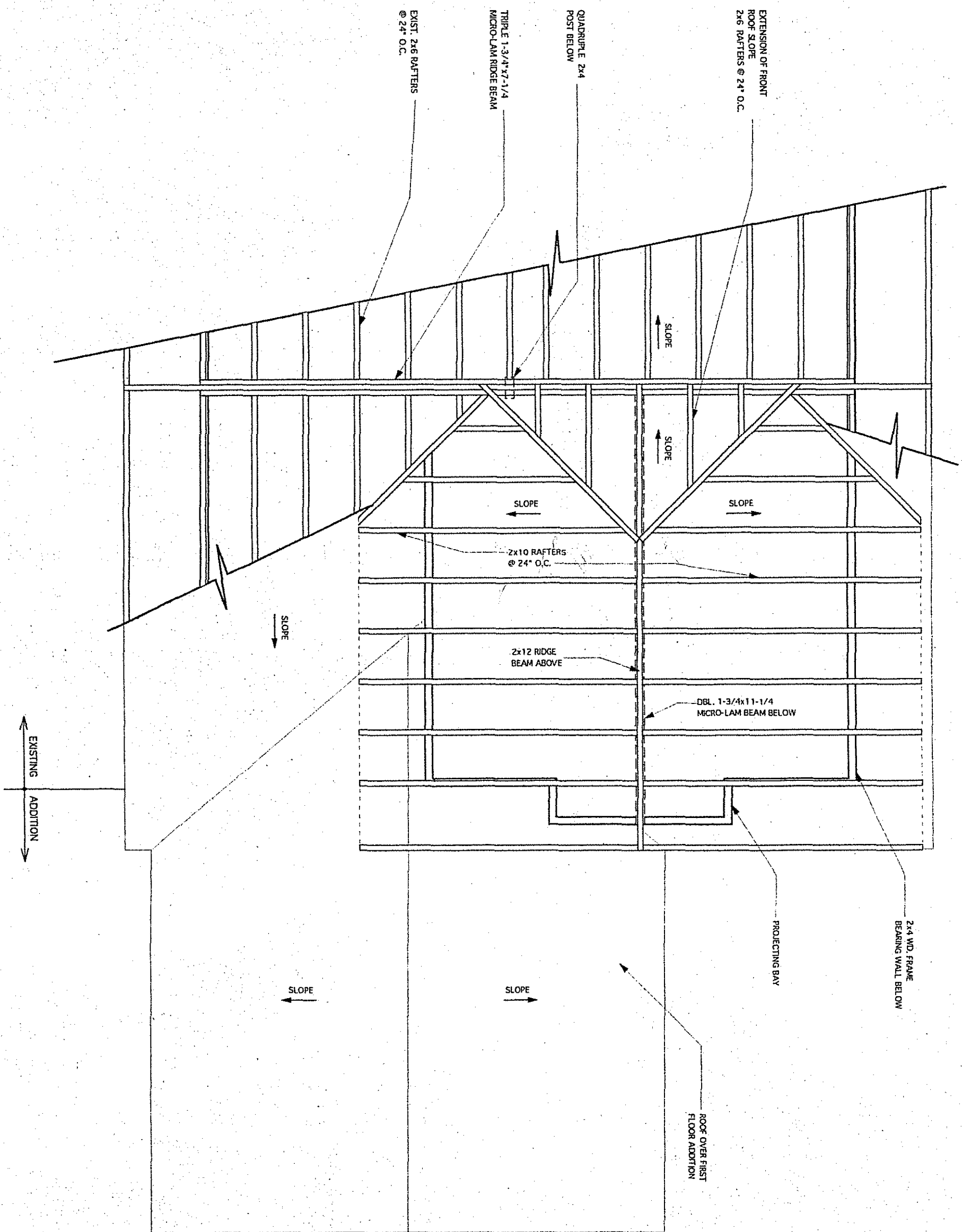
APPROVED
Montgomery County
Historic Preservation Commission
6/22/00

S.3

6.01.00 PERMIT SET

**HUGHES/RAHN RESIDENCE
ADDITION**
7312 WILLOW AVENUE
TAKOMA PARK, MD.

HUNT ARCHITECTS
4025 BRANDYWINE STREET, N. W.
WASHINGTON, DISTRICT OF COLUMBIA 20016
202.244.9840 FAX 202.244.9842



1 ROOF FRAMING PLAN @ ADDITION
 S.4 SCALE: 1/4" = 1'-0"

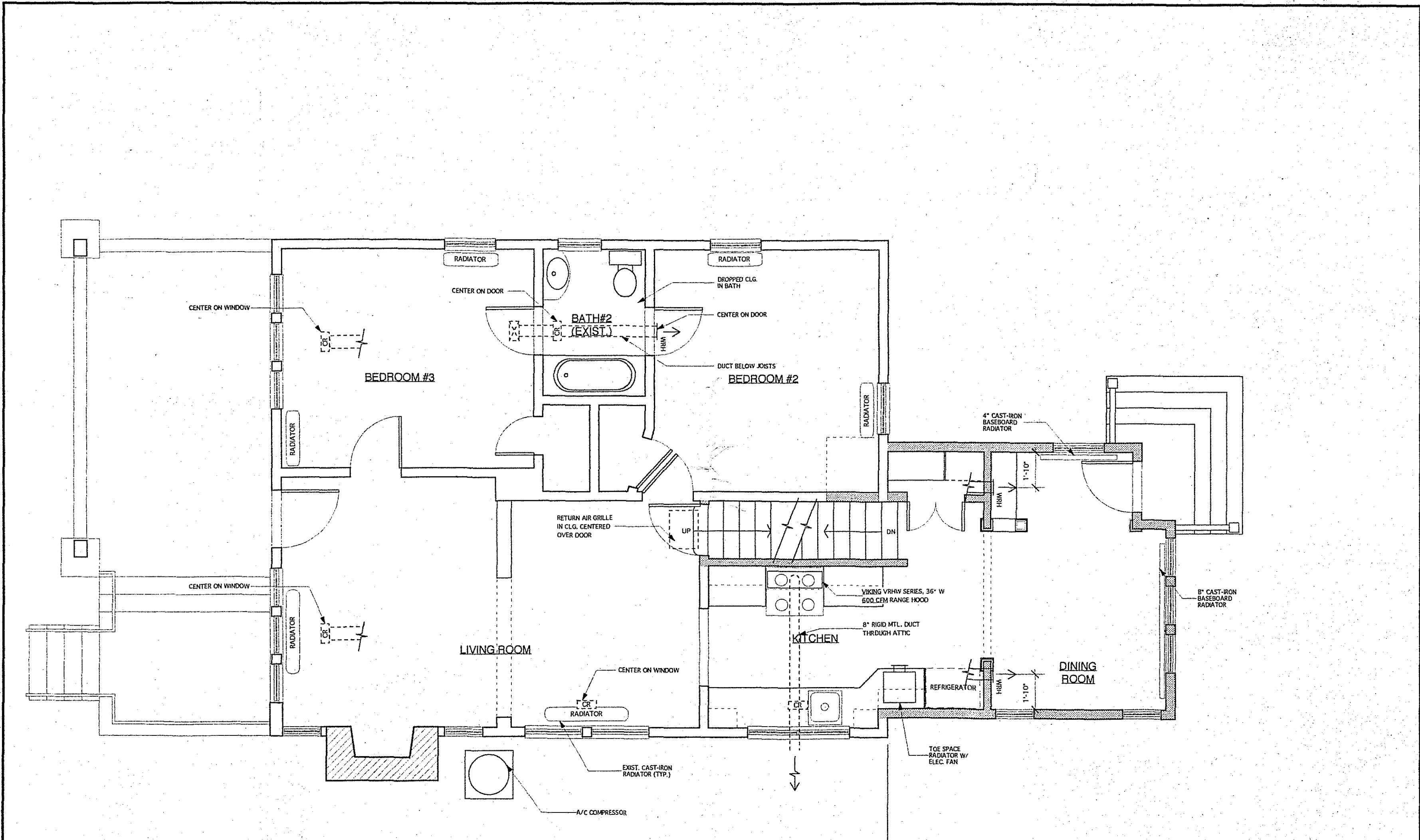
APPROVED
 Montgomery County
 Historic Preservation Commission
 Q. 6/22/00

S.4

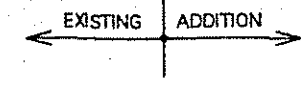
6.01.00 PERMIT SET

**HUGHES/RAHN RESIDENCE
 ADDITION**
 7312 WILLOW AVENUE
 TAKOMA PARK, MD.

HUNT ARCHITECTS
 4025 BRANDYWINE STREET, N. W.
 WASHINGTON, DISTRICT OF COLUMBIA 20016
 202.244.9840 FAX 202.244.9842



1 FIRST FLOOR MECHANICAL PLAN
 M.1 SCALE: 1/4" = 1' - 0"



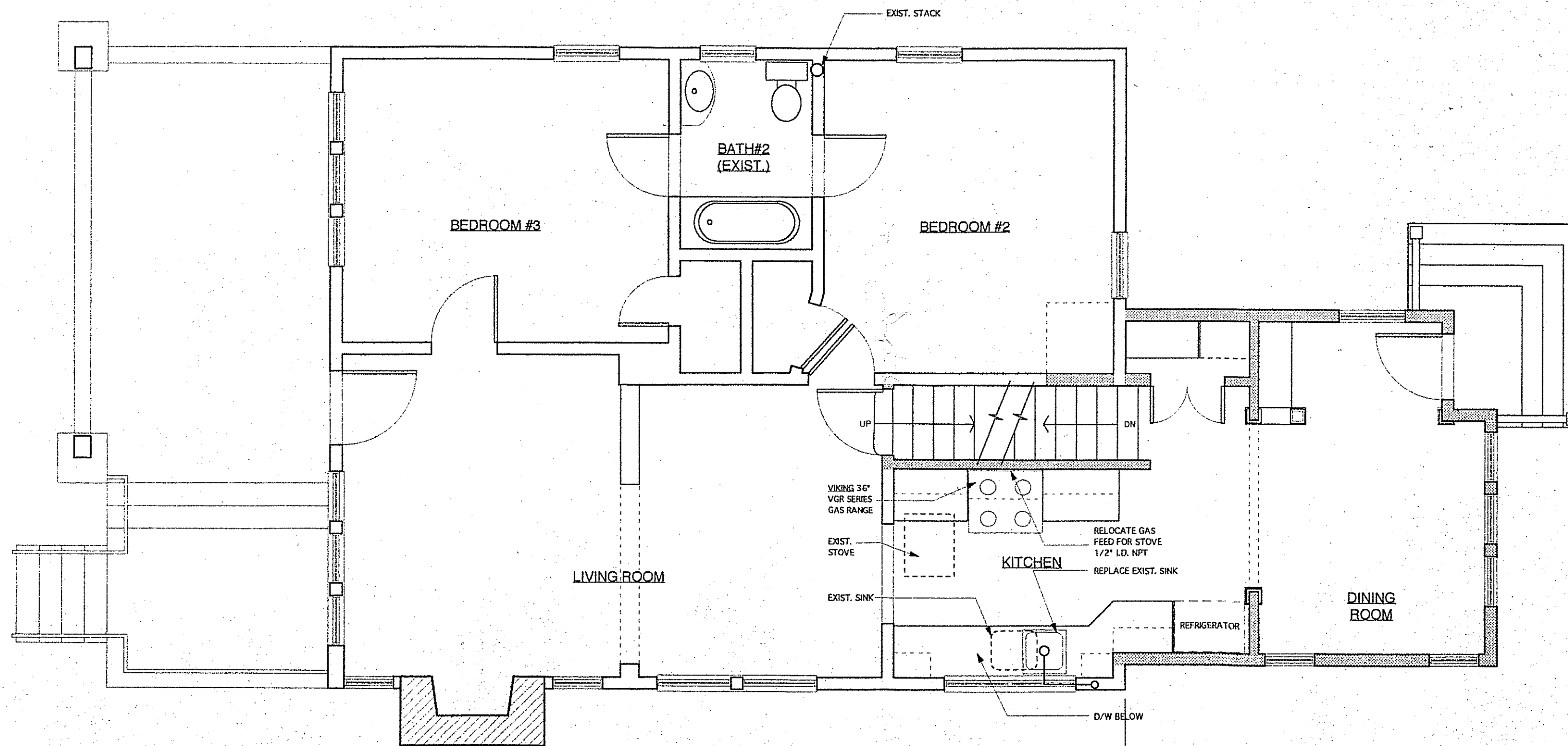
APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
 6/22/00

HUNT ARCHITECTS
 4025 BRANDYWINE STREET, N. W.
 WASHINGTON, DISTRICT OF COLUMBIA 20016
 202.244.9840 FAX 202.244.9842

HUGHES/RAHN RESIDENCE
 ADDITION
 7312 WILLOW AVENUE
 TAKOMA PARK, MD.

PERMIT SET
 6.01.00

M.1



1 FIRST FLOOR PLUMBING PLAN
 P.1 SCALE : 1/4" = 1' - 0"

← EXISTING ADDITION →

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
 6/22/00

HUNT ARCHITECTS

4025 BRANDYWINE STREET, N. W.
 WASHINGTON, DISTRICT OF COLUMBIA 20016
 202.244.9840 FAX 202.244.9842

HUGHES/RAHN RESIDENCE
 ADDITION

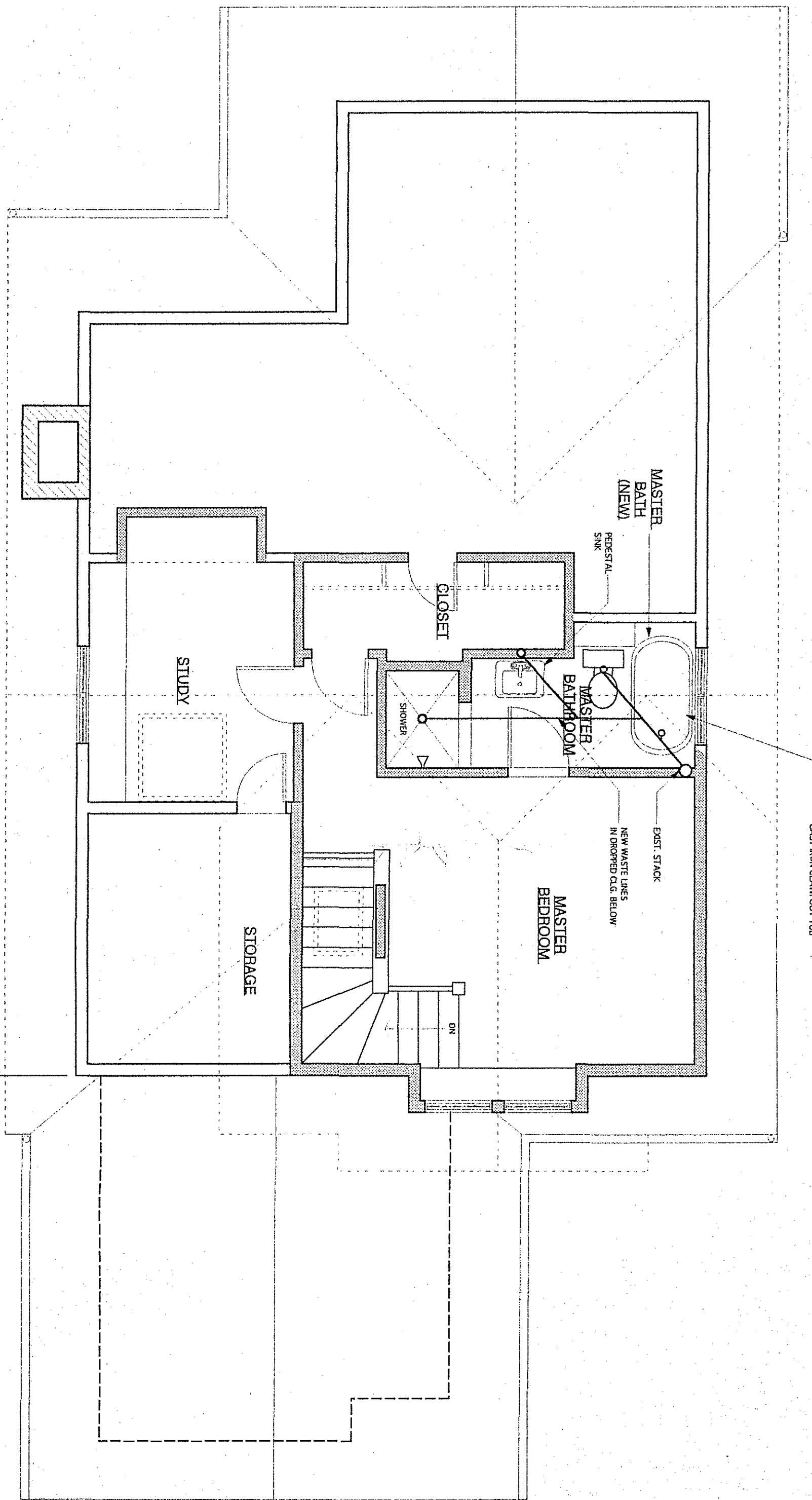
7312 WILLOW AVENUE
 TAKOMA PARK, MD.

6.01.00 PERMIT SET

P.1

1
P.2 SECOND FLOOR PLUMBING PLAN
SCALE: 1/4" = 1' - 0"

EXISTING
ADDITION



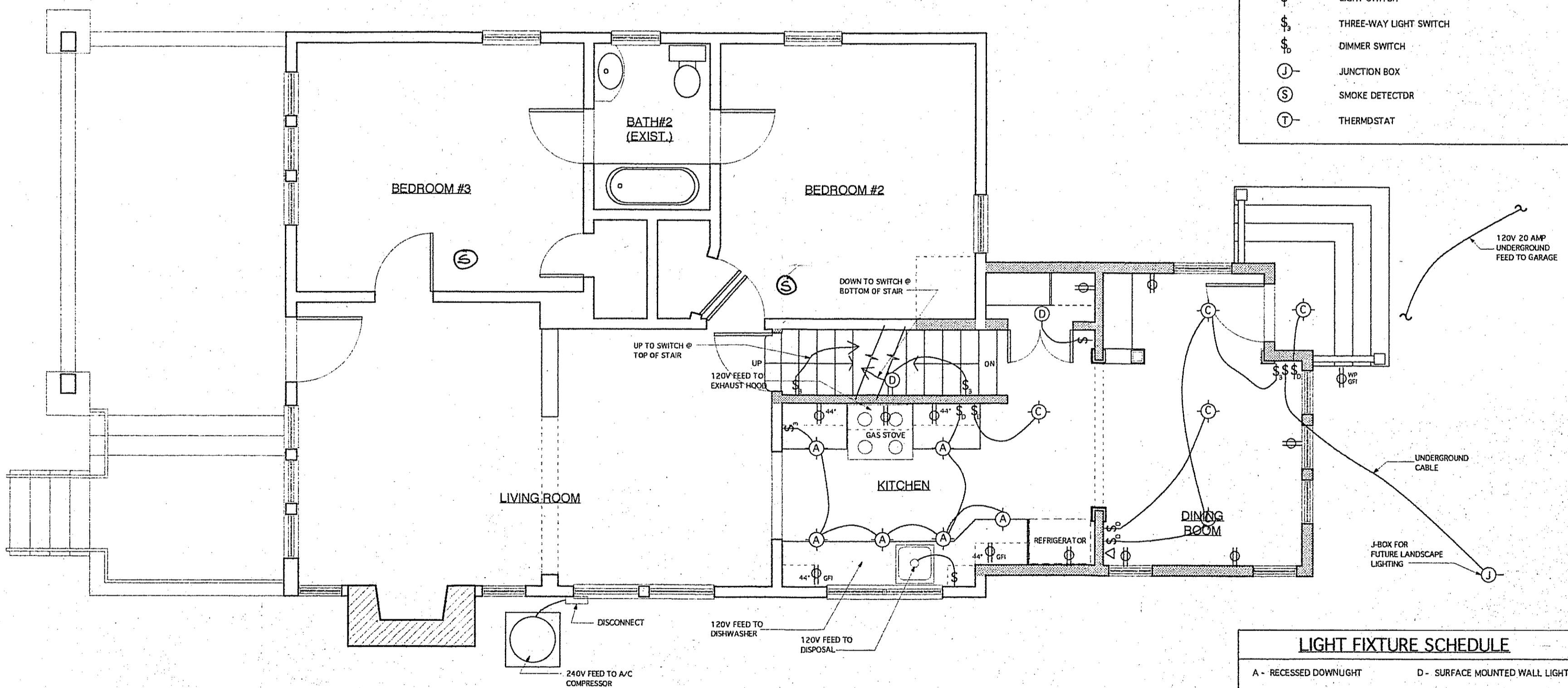
APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
6/24/00

P.2

6.01.00 PERMIT SET

**HUGHES/RAHN RESIDENCE
ADDITION**
7312 WILLOW AVENUE
TAKOMA PARK, MD.

HUNT ARCHITECTS
4025 BRANDYWINE STREET, N. W.
WASHINGTON, DISTRICT OF COLUMBIA 20016
202.244.9840 FAX 202.244.9842



SYMBOL KEY	
	DUPLEX WALL RECEPTACLE @ 18" O.C.
	GROUND FAULT INTERRUPT RECEPTACLE
	QUADRUPLEX RECEPTACLE
	CABLE TV JACK
	TELEPHONE JACK
	WALL LIGHT
	CEILING LIGHT
	LIGHT SWITCH
	THREE-WAY LIGHT SWITCH
	DIMMER SWITCH
	JUNCTION BOX
	SMOKE DETECTDR
	THERMSTAT

LIGHT FIXTURE SCHEDULE	
A - RECESSED DOWNLIGHT	D - SURFACE MOUNTED WALL LIGHT
B - WALLWASHERS	
C - SURFACE MOUNT CEILING LIGHT	

- ELECTRICAL NOTES**
- UNLESS OTHERWISE NOTED, ALL RECEPTACLES, JACKS, SWITCHES AND FIXTURES SHOWN IN THESE PLANS ARE NEW (INCLUDING NEW WIRING).
 - THE SYMBOL "R" INDICATES AN EXISTING FIXTURE, SWITCH RECEPTACLE OR JACK TO BE REPLACED (WIRING IS ALREADY IN PLACE).
 - THE SYMBOL "E" INDICATES AN EXISTING FIXTURE, SWITCH, RECEPTACLE OR JACK TO REMAIN.
 - REMOVE EXISTING FIXTURES, DEVICES, AND WIRING NOT SHOWN IN ELECTRICAL PLAN.
 - DIMENSIONS ARE TO CENTER LINE OF ROUGH-IN BOX.

1 FIRST FLOOR ELECTRICAL PLAN
 E.1 SCALE: 1/4" = 1' - 0"

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

HUNT ARCHITECTS
 4025 BRANDYWINE STREET, N. W.
 WASHINGTON, DISTRICT OF COLUMBIA, 20016
 202.244.9840 FAX 202.244.9842

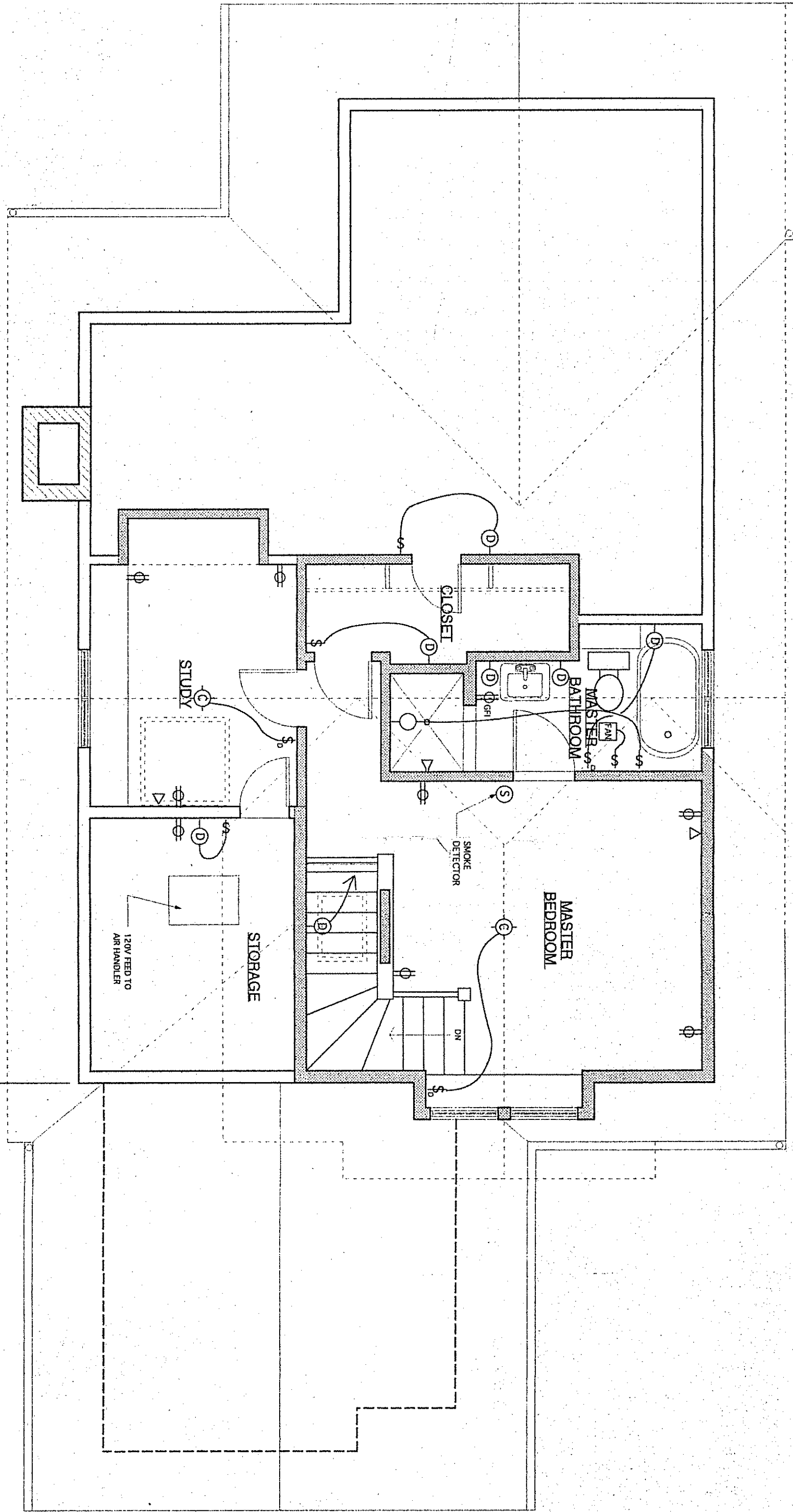
HUGHES/RAHN RESIDENCE
 ADDITION
 7312 WILLOW AVENUE
 TAKOMA PARK, MD.

6.01.00 PERMIT SET

E.1

1
E.2
SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

EXISTING
ADDITION



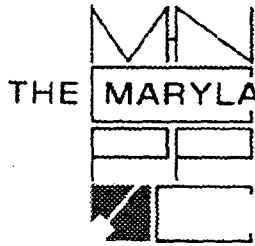
APPROVED
Montgomery County
Historic Preservation Commission

E.2

6.01.00 PERMIT SET

HUGHES/RAHN RESIDENCE
ADDITION
7312 WILLOW AVENUE
TAKOMA PARK, MD.

HUNT ARCHITECTS
4025 BRANDYWINE STREET, N. W.
WASHINGTON, DISTRICT OF COLUMBIA 20016
202.244.9840 FAX 202.244.9842




THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

December 6, 2000

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation 

SUBJECT: Historic Area Work Permit (*Revision for Skylight*)

HPC Case No. 37/3-99Q (Revision)

DPS # 990624008

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit.

*****HPC Staff must review and stamp the construction drawings prior to application for a building permit with Department of Permitting Services.*****

This application was:

APPROVED

APPROVED WITH CONDITIONS:

Please note that the building permit for this project will be issued conditional upon adherence to the approved Historic Area Work Permit (HAWP) to:

Applicant: **Tim Rahn & Nancy Hughes**

Address: **7312 Willow Avenue, Takoma Park**


and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.



December 6, 2000

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section 

SUBJECT: Historic Area Work Permit Application
Approval of Application /Release of Other Required Permits

HPC Case No. 37/3-99Q (Revision) - Skylight DPS # 990624008

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) for approval.

You may now apply for a county building permit at Department of Permitting Services (DPS) at 255 Rockville Pike, 2nd Floor, Rockville. **Before applying, please be sure that any permit sets of construction drawings have been reviewed and stamped by HPC Staff.** We are located at 1109 Spring Street, Suite 801, Silver Spring.

When you file for your building permit with DPS, you must take with you: 1) the enclosed forms, 2) the stamped sets of construction drawings, and 3) the Historic Area Work Permit if one was mailed directly to you from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience – and good luck with your project!

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7312 Willow Avenue	Meeting Date:	12/06/00
Applicant:	Tim Rahn & Nancy Hughes (Brian R. Hunt, Architect)	Report Date:	11/29/00
Resource:	Takoma Park Historic District	Public Notice:	11/22/00
Review:	HAWP	Tax Credit:	None
Case Number:	37/3-99Q (REVISION)	Staff:	Perry Kapsch
PROPOSAL:	Install skylight.	RECOMMEND:	Approve

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
 STYLE: Craftsman Bungalow
 DATE: circa 1910

The subject property is a three-bay, wood frame, side-gabled residence, with tripartite front windows and a large, front-gabled front porch. There are two skylights on the rear roof plane.

The applicant received approval on 7/14/99 for a rear addition that will increase the upper story height at the rear by means of a large, hipped front, rear dormer. To mitigate the intrusion of the new addition above the existing roof ridge, the HPC added a condition for approval that the front of the dormer should be clad with old roofing tile. The construction set of drawings submitted to the staff for stamping included a skylight as shown in this proposal. Staff deleted it from the approved documents. The applicant is now submitting the skylight proposal as a revision to the HAWP.

PROPOSAL

The applicant proposes to install a flat (not flush) skylight in the right plane of the new dormer roof.

STAFF DISCUSSION

The HPC has discouraged the use of skylights in general, and requests that skylights on the side or front of properties in the Takoma Park Historic District be deleted from designs for alterations, additions or other property modifications. Skylights at the rear of new construction have been approved in some cases.

The Takoma Park Historic District Guidelines state that for contributing resources, design "review emphasis will be restricted to changes that are *at all visible from the public right-of-way*,

irrespective of vegetation or landscaping” with emphasis on their impact on the overall district. It then goes on to list as one of the factors for review of contributing resources [] that skylights that “do not directly front on the public right-of-way” . . . “should be allowed as a matter of course.”

When the project was originally reviewed, the HPC indicated that the size and front protrusion of the new dormer were problematic. Because of this, staff is concerned that adding a skylight to the dormer would exacerbate that situation. With the understanding that the skylight is on the side and not “directly on the front” of the structure, and therefore can be approved, staff asks that the following points be addressed before the revision is approved. The skylight:

1. Would be visible from the public right-of-way. Staff requested documentation supporting the applicant’s contention that the skylight would not be visible from the street (except at night). Side elevations indicate that the skylight is clearly visible from the side. Photographs taken from a number of angles, including an overlay showing the new dormer (Exhibit D), indicate that the skylight from the angles shown would be tucked behind the side gable of the main house.
2. Would be visible at night. The architect agreed that this would be the case. Skylights are not a historic feature of the district and are out of keeping with the appearance of the historic district after dark.
3. Would be a departure from the unencumbered roof surfaces that are characteristic of Bungalows.
4. Would call attention away from the historic bungalow and back to the changes being made to the structure at the rear. The Secretary of the Interior Guideline #10 indicates *that new additions, which when removed in the future* would leave the essential form and integrity of the historic property extant meet the Standards for Rehabilitation. Staff would contend that the appearance of the structure with *new additions still in place* should also be taken into account. Exterior alterations that add out-of-period distractions to the appearance of the overall structure from the public right-of-way should, in staff’s opinion, be discouraged.
5. Could be replaced with interior lighting in order to have stairwell illumination. Staff would recommend that if a solution more in keeping with good preservation practices is available, it should be pursued.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application revision to install a skylight at 7312 Willow Avenue, Takoma Park. Staff’s recommendation is consistent with **Chapter 24A-8(b)2:**

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the **Secretary of the Interior Guidelines #9:**

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and

proportion, and massing to protect the integrity of the property and its environments.

with the general condition applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.



HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: BRIAN HUNT
Daytime Phone No.: 202.986.2809

Tax Account No.: _____
CONTRACT PURCHASER: TIM RAHN / NANCY HUGHES
Name of Property Owner: TIM RAHN / NANCY HUGHES Daytime Phone No.: 777.703.516.1046
Address: 2339 17TH ST., NW WASHINGTON, DC 20009
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: BRIAN HUNT Daytime Phone No.: 202.986.2809

LOCATION OF BUILDING/PREMISE

House Number: 7312 Street: WILLOW AVENUE
Town/City: TAKOMA PARK Nearest Cross Street: _____
Lot: 16 Block: 9 Subdivision: TAKOMA PARK
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 60,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Brian Hunt 6/23/99
Signature of owner or authorized agent Date

Approved: X w/Conditions For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 7/19/99
Application/Permit No.: 990624008 Date Filed: 6/23/99 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING HOUSE IS A 1920'S VINTAGE CLAPBOARD
BUNGALOW IN A NEIGHBORHOOD OF HOUSE MOSTLY FROM
THE SAME PERIOD. THE HOUSE IS A WELL PRESERVED
EXAMPLE OF THE WOOD-FRAME BUNGALOWS FOUND IN THE
WASHINGTON AREA, WITH LOW-SLUNG ROOF, DEEP ROOF OVERHANG,
ROOF BRACKETS, LARGE FRONT PORCH, CLAPBOARD SIDING AND
DECORATIVE 3-OVER-1 DOUBLE-HUNG WINDOWS.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROPOSED FIRST FLOOR ADDITION AND SECOND FLOOR
DORMER ARE IN KEEPING WITH THE MASSING, SCALE,
MATERIALS AND DETAILS OF THE EXISTING HOUSE. THE
NEW WORK WILL NOT BE NOTICEABLE FROM THE STREET, AND
AS VIEWED FROM THE ADJOINING PROPERTIES, IT WILL BLEND
IN UNOBTUSIVELY.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

5

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: July 19, 1999

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Amended by the applicant to use wood siding only on the new addition, deleting the use of brick on the first floor.

Approved Denied **Approved with Conditions:**

1) That portion of the new roof which will protrude above the ridgeline of the existing roof, and facing Willow Avenue, will be roofed with [old] roofing shingles to match the existing shingles to assure visual blending of the old and new roof.

and subject to the general conditions that 1) HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and 2) after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Tim Rahn/Nancy Hughes

Address: 7312 Willow Avenue, Takoma Park, MD 20912

(6)

MARCY CAMPOS
7309 MAPLE AVE.
TAKOMA PARK, MD 20912

NANCY C. SCHALLHORN
7311 MAPLE AVE.
TAKOMA PARK, MD 20912-4317

DORIS G. DOVE
7313 MAPLE AVE.
TAKOMA PARK, MD 20912

MICHAEL RICHMAN
7310 WILLOW AVE.
TAKOMA PARK, MD 20912

NANCY M. MOORE
7314 WILLOW AVE.
TAKOMA PARK, MD 20912

ROBERT E. GULDIN/
SUSAN STRASSER
7309 WILLOW AVE.
TAKOMA PARK, MD 20912

NANCY BOOCKER
7311 WILLOW AVE.
TAKOMA PARK, MD 20912

LAWRENCE S. LEMPERT/
PATRIZIA RICCI
7313 WILLOW AVE.
TAKOMA PARK, MD 20912

7

HUNT ARCHITECTS

4025 BRANDYWINE STREET, N.W.
WASHINGTON, D.C. 20016
202.244.9840 Voice / 202.244.9841 Fax
BRIANRHUNT@AOL.COM

FAX TRANSMITTAL**DATE:** October 31, 2000**PROJECT:** HUGHES / RAHN

TO: Perry Kephart
Montgomery County Department of Park and Planning
Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

FAX#: 301-563-3412**VOICE:** _____ **# PAGES INCLUDING COVER SHEET** 9**RE:** Application #: 9906240084; (Original file date: 6/23/99)

Applicant: Tim Rahn / Nancy Hughes
(Brian R. Hunt, Architect)

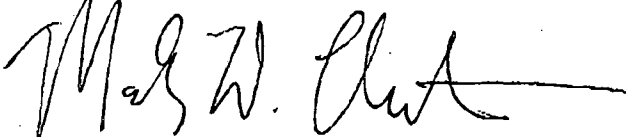
7312 Willow Avenue
Takoma Park, MD

Here are the revisions to our original submittal as requested. Included are all relevant sheets that reference the proposed skylight. Skylight measures 20" x 30". Please find attached the following:

- (1) Cut sheet showing "VELUX" skylight
- (2) Full sheet of second floor plan (1/8" = 1'-0")
- (3) Full sheet of east elevation (1/8" = 1'-0")
- (4) Full sheet of roof plan (1/8" = 1'-0")
- (5) Full sheet of building section (NOT TO SCALE)
- (6) Partial views of floor plan, roof plan and elevation full scale (1/4" = 1'-0")

Let me know if you need anything else.

Thanks!



69

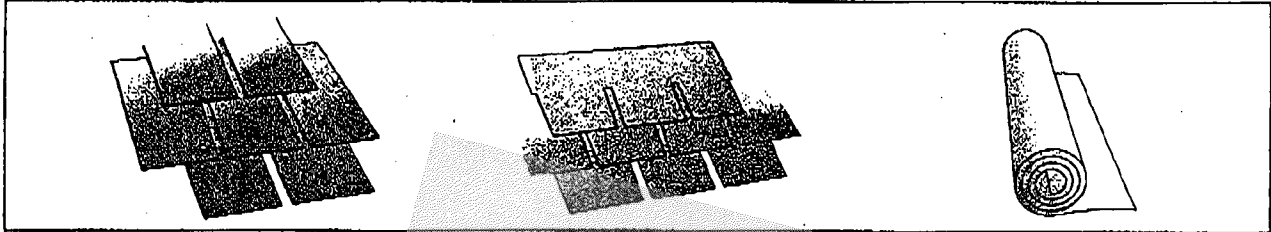
English: Installation instructions for flashing of skylights

Español: Instrucciones de instalación para los cercos tapajuntas de tragaluces

Français: Feuille d'instructions pour l'installation du solin pour puits de lumière



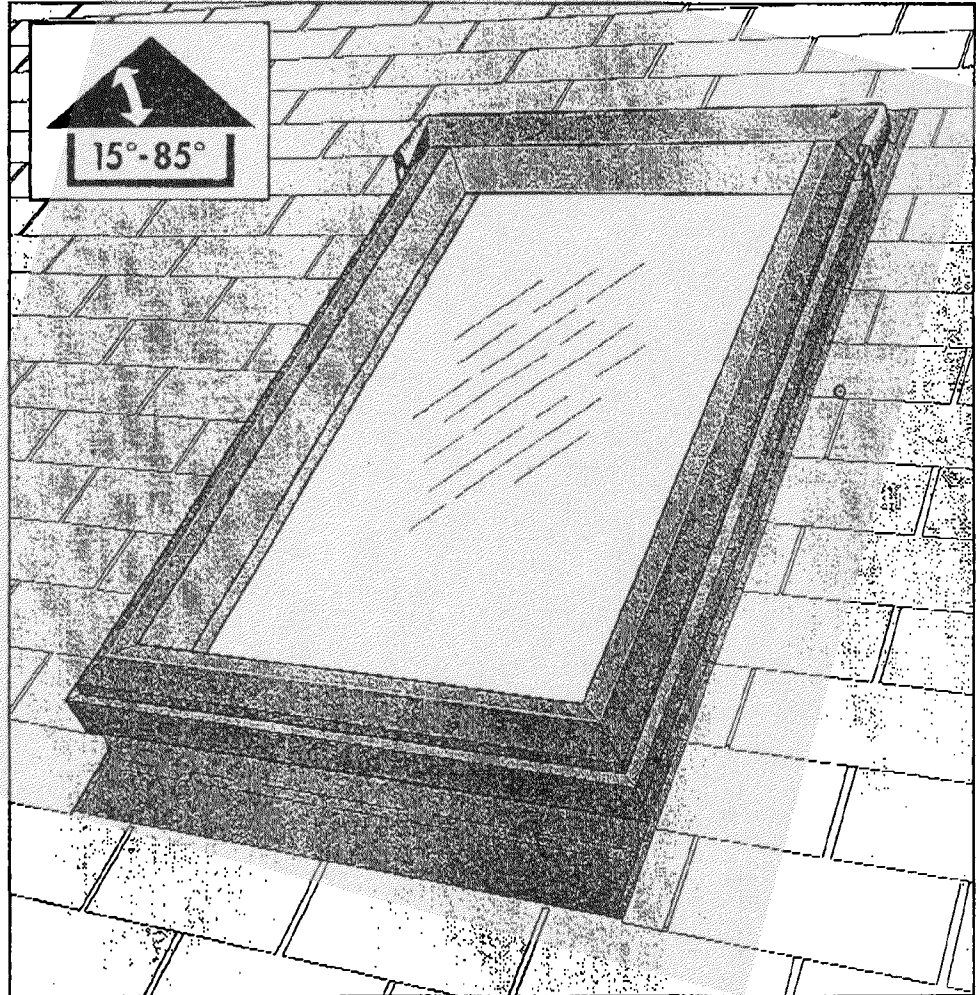
EDL + VS/VSC



English: Index:
 P. 2: Preparing skylight
 P. 3: Planning
 P. 4: Installing underlayment
 P. 5-11: Installation procedure

Español: Índice:
 Pág. 2: Preparación del tragaluz
 Pág. 3: Replanteo
 Pág. 4: Instalación de la barrera de vapor
 Págs. 5-11: Método de instalación

Français: Index:
 p. 2: Préparation du puits de lumière
 p. 3: Planification
 p. 4: Installation de la sous-couche
 p. 5-11: Instructions d'installation



English: EDL is designed for roof pitches 15-85 degrees.
 Note: Other types of VELUX flashings are available for roofing materials not shown above.
 Contact VELUX for grouping/combi installation of skylights.

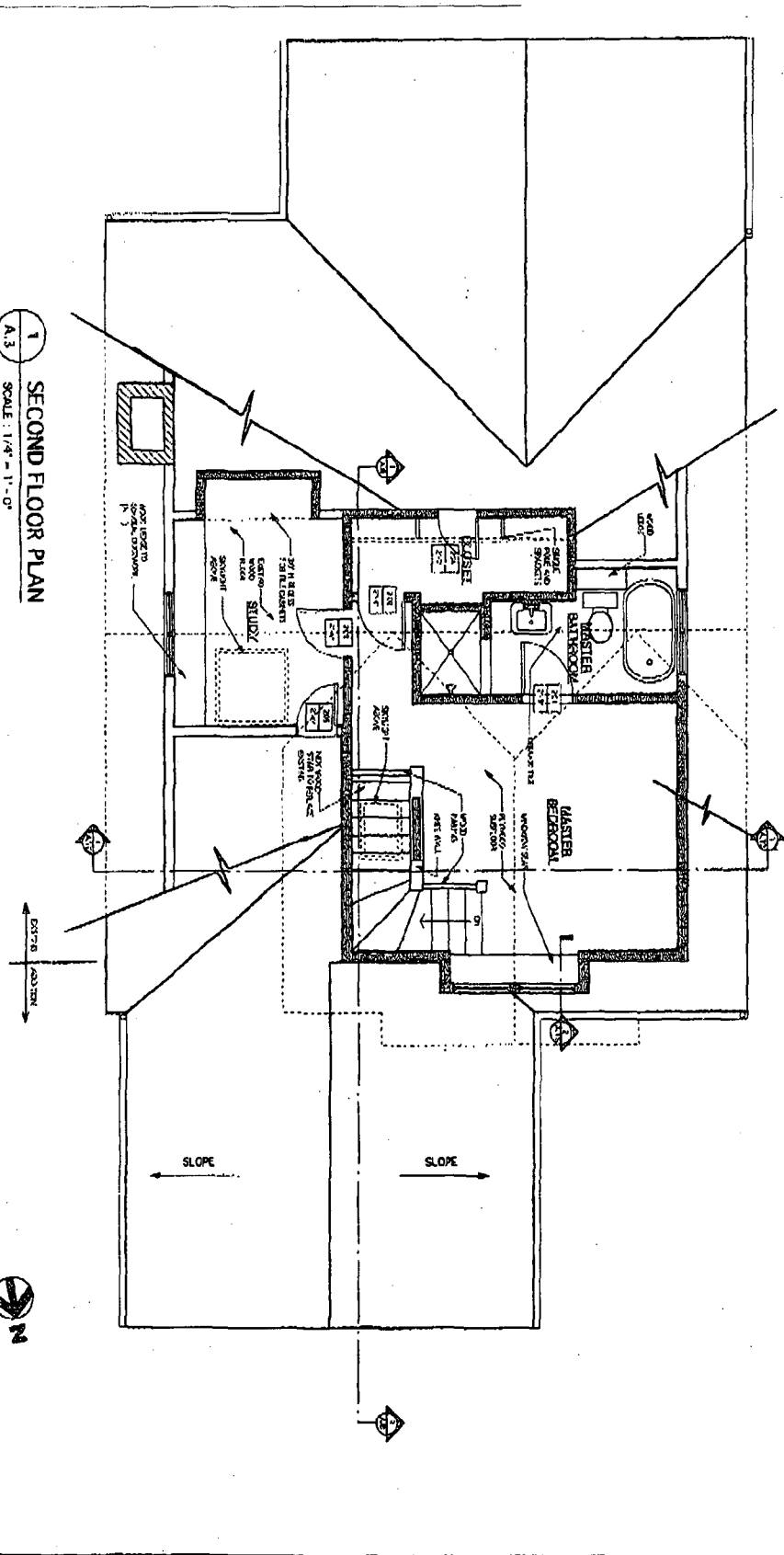
Español: EDL está diseñado para los techos con una inclinación desde 15 hasta 85 grados.
 Nota: Hay otros tipos de cercos tapajuntas VELUX para materiales de cubierta distintos de los que se muestran aquí.
 Comuníquese con VELUX para la instalación de tragaluces adosados (combi).

Français: Le type EDL est conçu pour une pente de toit de 15 à 85 degrés.
 Remarque: D'autres types de solins VELUX sont disponibles pour des matériaux de couverture autres que ceux présentés ci-dessus.
 Communiquez avec un représentant de VELUX pour l'installation de puits de lumière groupés.

9

10

1 SECOND FLOOR PLAN
A.3 SCALE: 1/4" = 1'-0"



A.3

DATE: 10/15/00

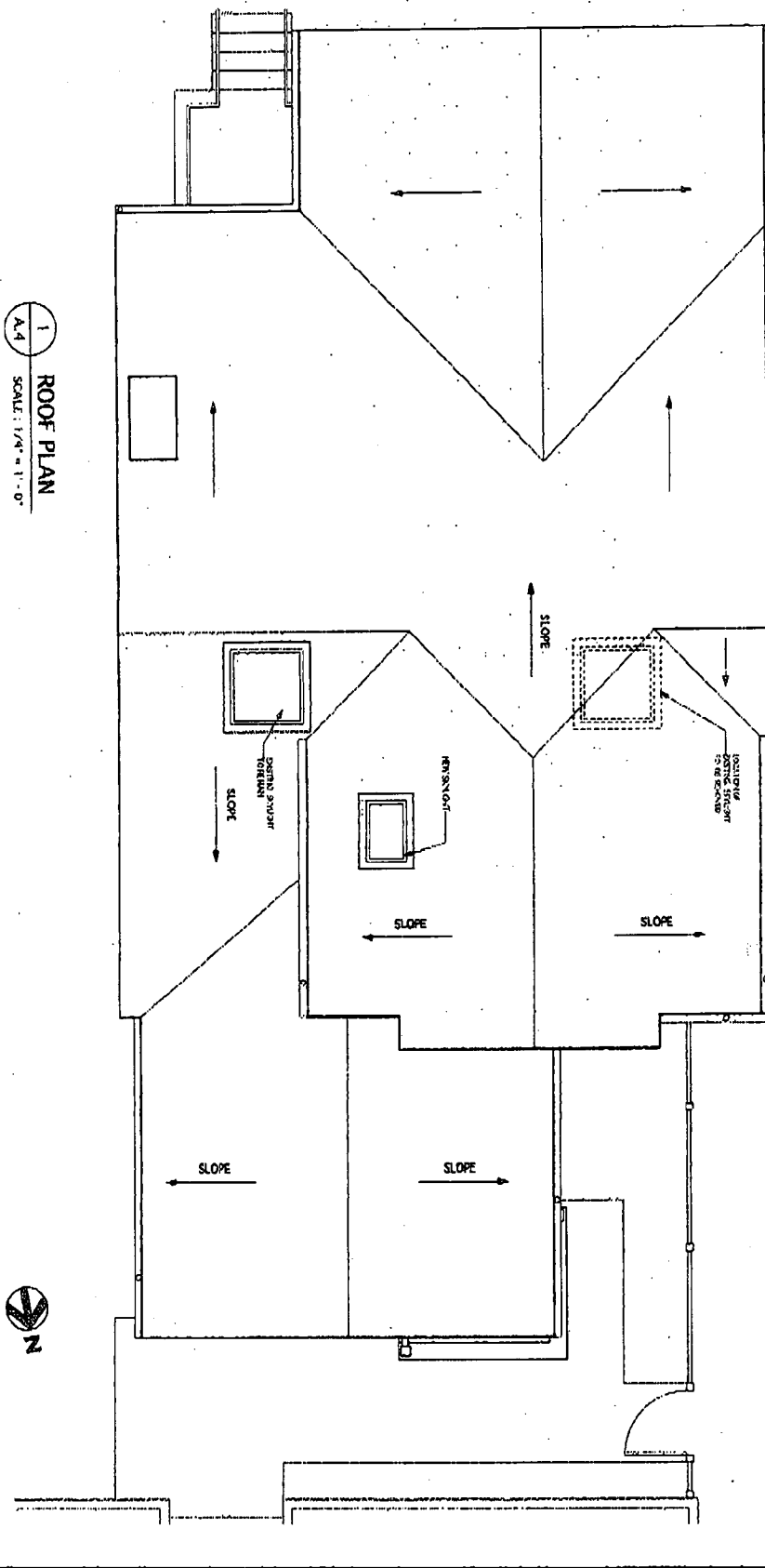
HUGHES/RAHN RESIDENCE ADDITION
 7312 WILLOW AVENUE
 TAKOMA PARK, MD.

NO. 10

HUNT ARCHITECTS
 4025 BRANTWING STREET, N.W.
 WASHINGTON, DISTRICT OF COLUMBIA 20010
 202.244.5840 FAX 202.244.5842

12

1
A.4
ROOF PLAN
SCALE: 1/4" = 1'-0"



A.4

011.00 PAPER NO.

**HUGHES/RAHN RESIDENCE
ADDITION**

7312 WILLOW AVENUE
TAKOMA PARK, MD.

HUNT ARCHITECTS

4025 BROADWAY STREET, N.W.
WASHINGTON, DISTRICT OF COLUMBIA 20018
202.244.9840 FAX 202.244.9842

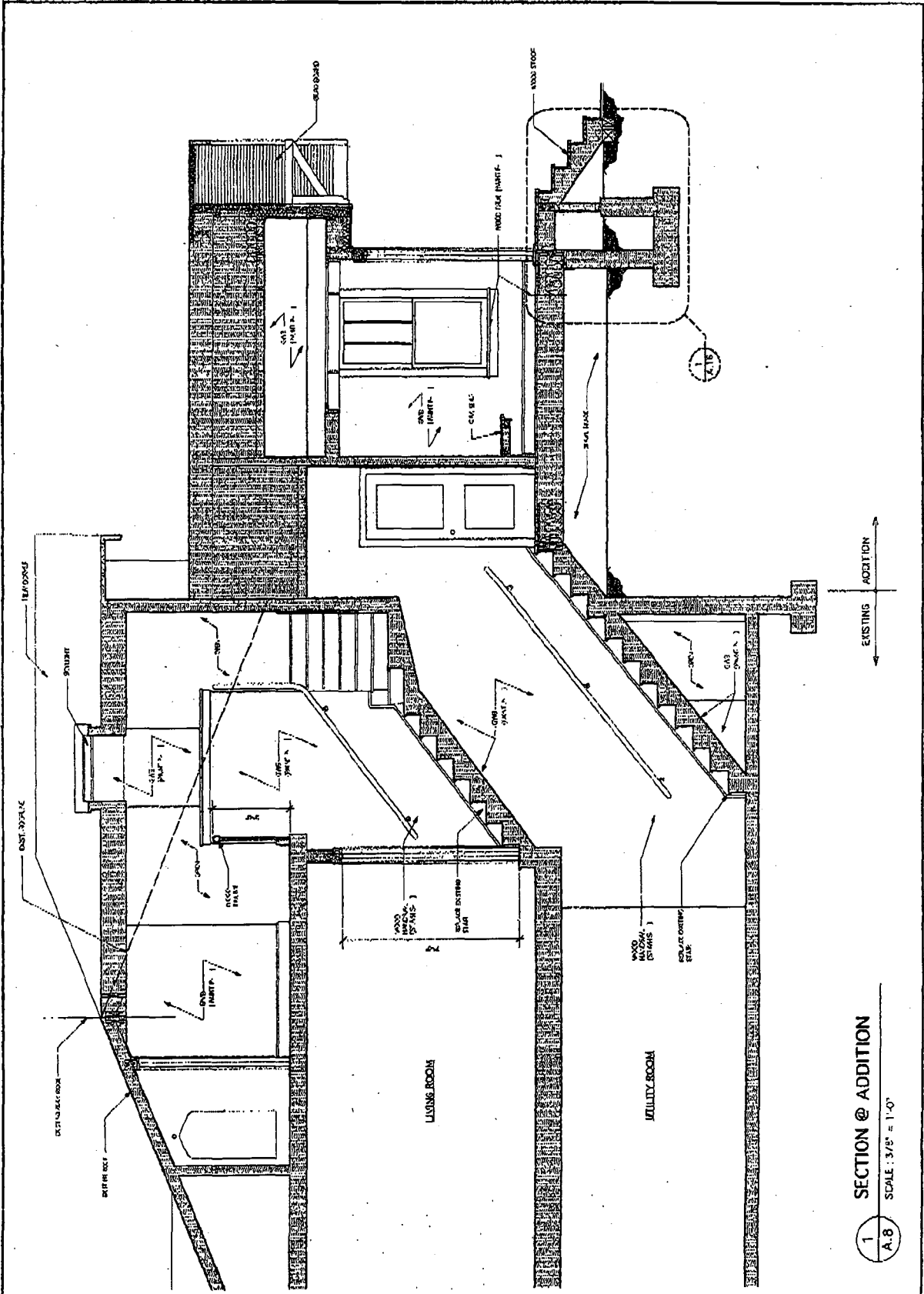
HUNT ARCHITECTS
 4023 BALDWIN STREET, N.W.
 WASHINGTON, DISTRICT OF COLUMBIA, 20018
 202.244.9840
 FAX 202.244.9842

7312 WILLOW AVENUE
 TAKOMA PARK, MD.

HUGHES/RAHN RESIDENCE
 ADDITION

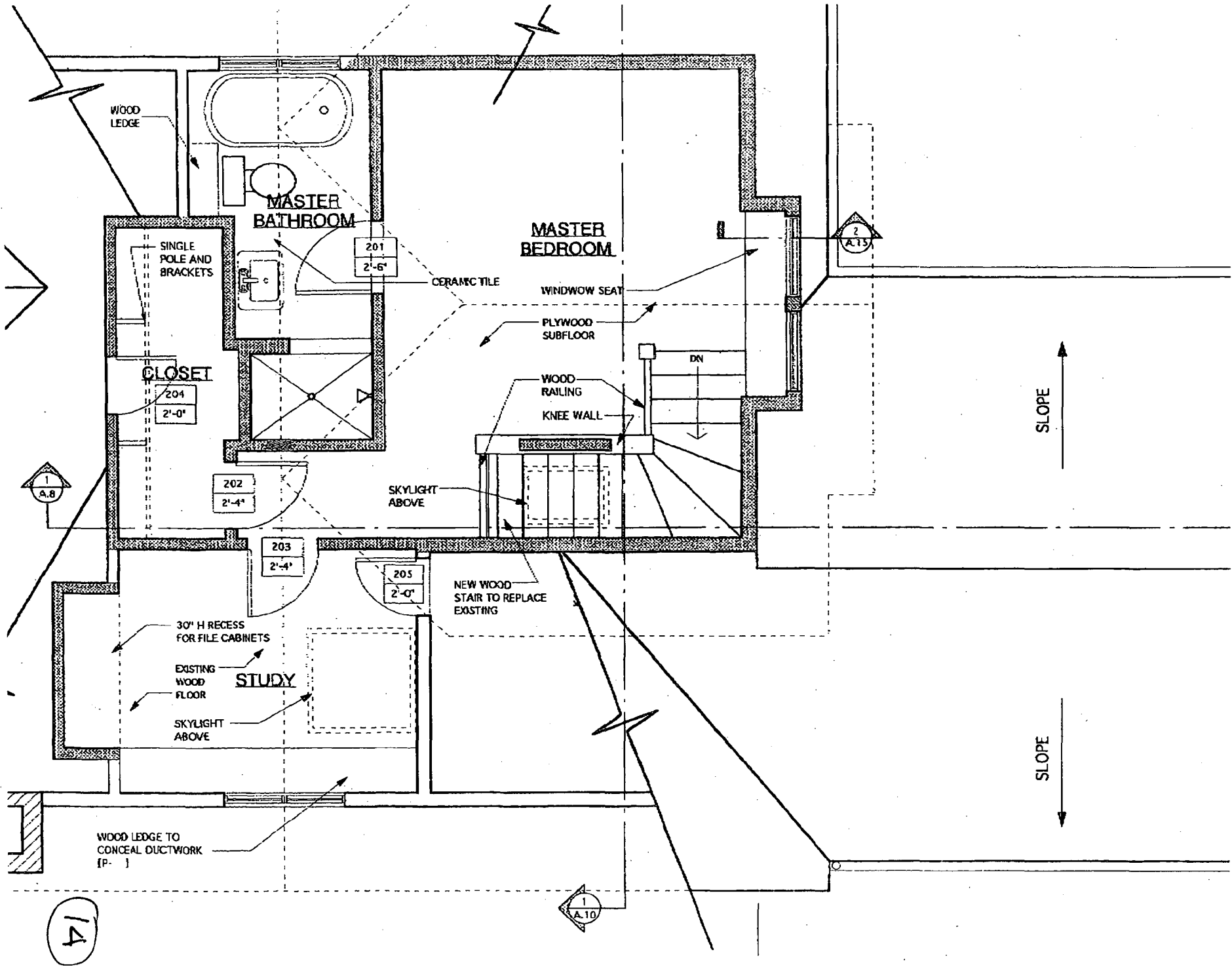
Sheet 13A

A.8

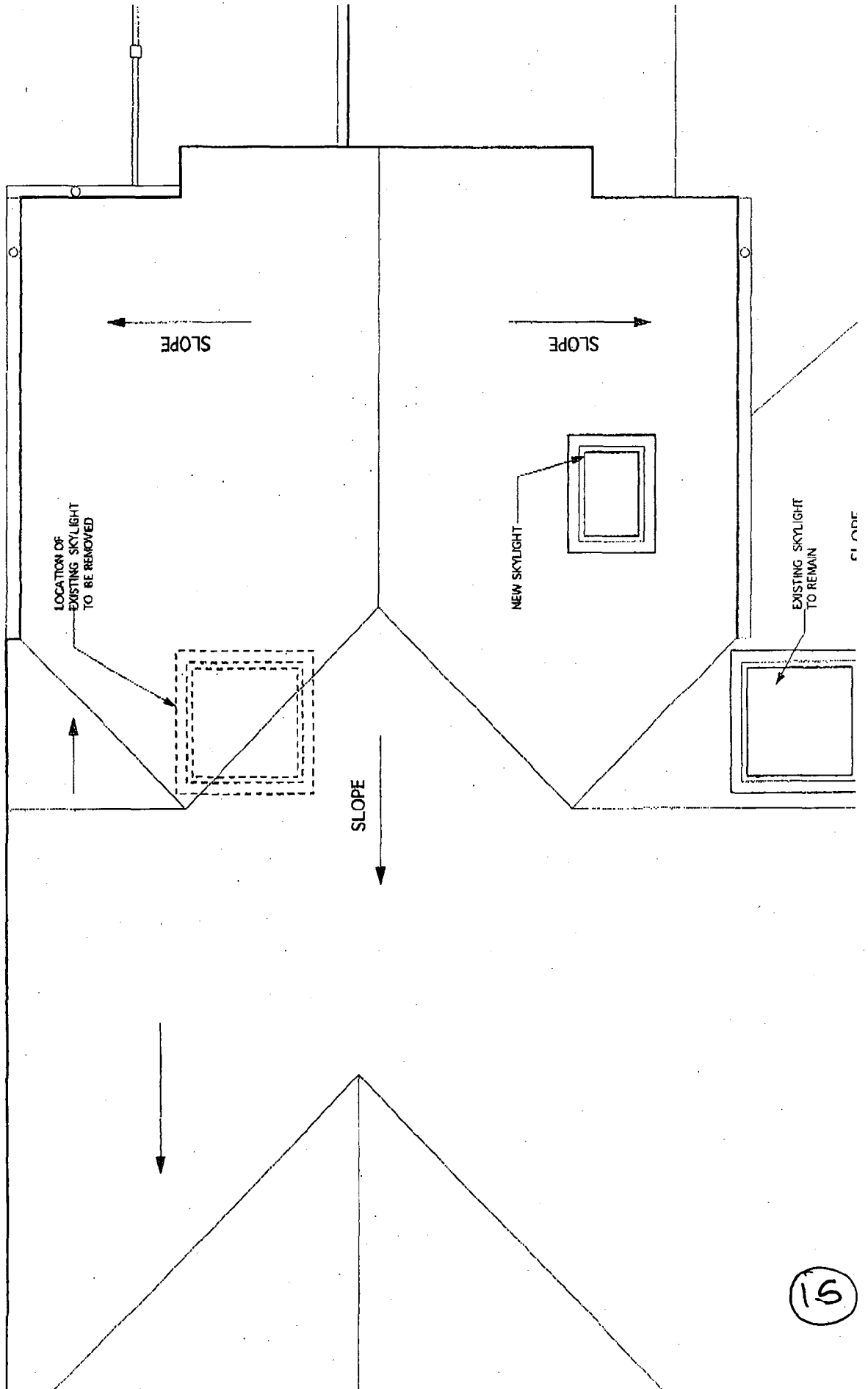


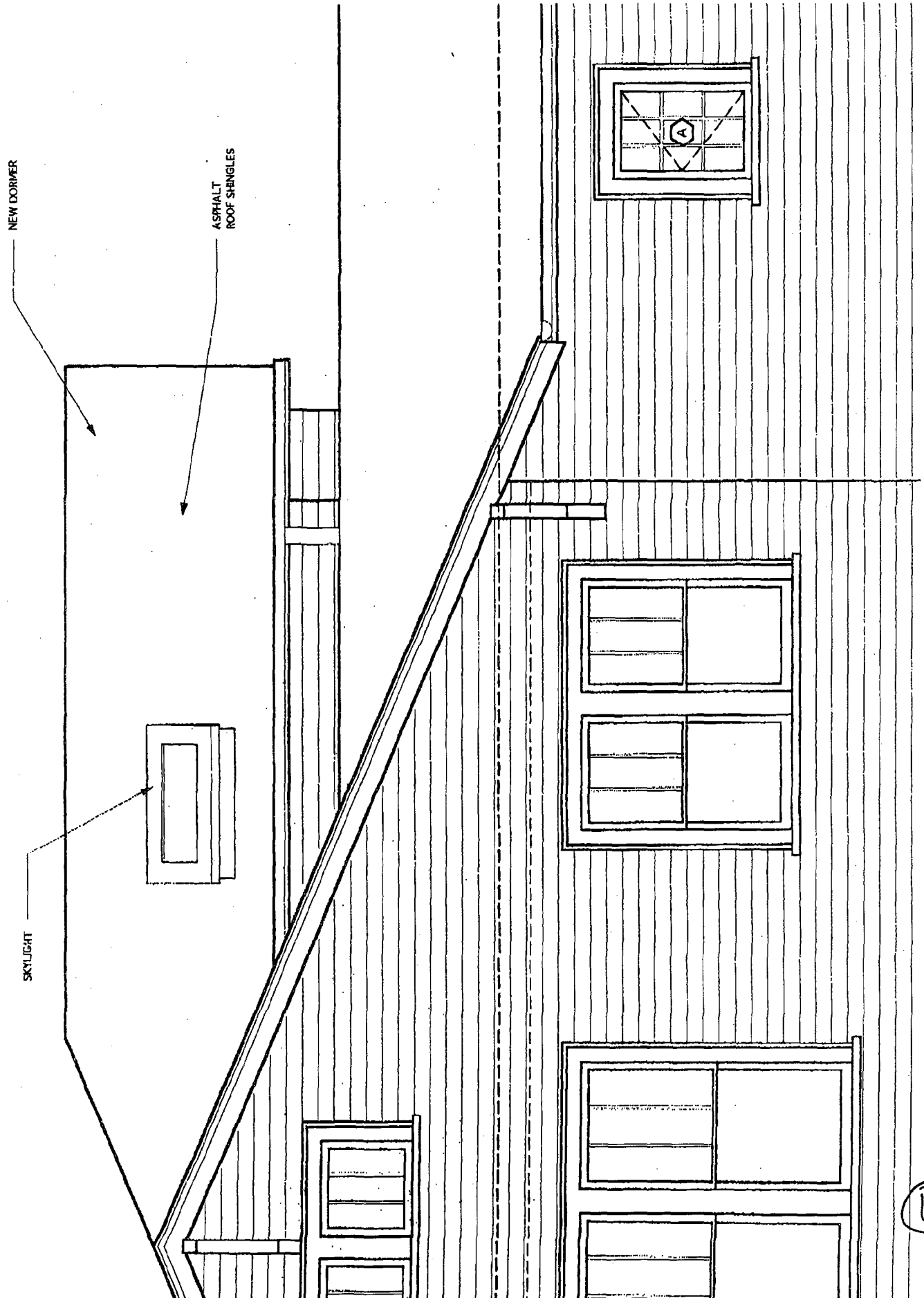
SECTION @ ADDITION
 SCALE: 3/8" = 1'-0"

13



14





7312 WILLOW AVENUE

TAKOMA PARK, MD



PHOTO NO. 1

FRONT ELEVATION VIEWED FROM WILLOW AVENUE



PHOTO NO. 2

FRONT AND SIDE ELEVATION

17

7312 WILLOW AVENUE

TAKOMA PARK, MD

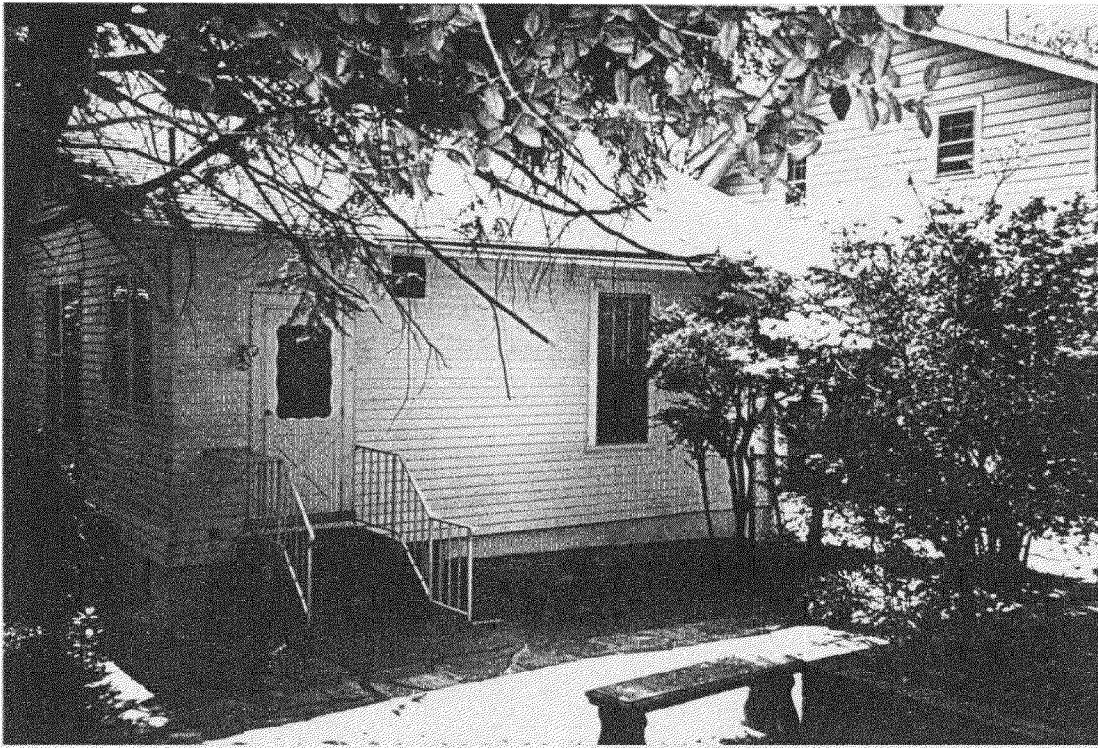


PHOTO NO. 3

REAR AND SIDE ELEVATIONS

HUNT ARCHITECTS

4025 BRANDYWINE STREET, N.W.
WASHINGTON, D.C. 20016
202.244.9840 Voice / 202.244.9841 Fax
BRIANRHUNT@AOL.COM

DATE: November 21, 2000

PROJECT: HUGHES / RAHN

TO: **Perry Kephart**
Montgomery County Department of Park and Planning
Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

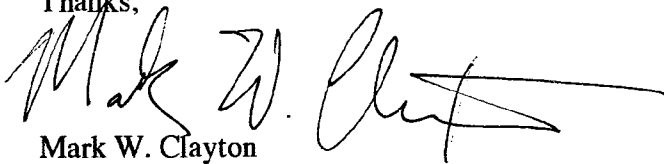
RE: Application #: 9906240084; (Original file date: 6/23/99)

Applicant: Tim Rahn / Nancy Hughes
(Brian R. Hunt, Architect)

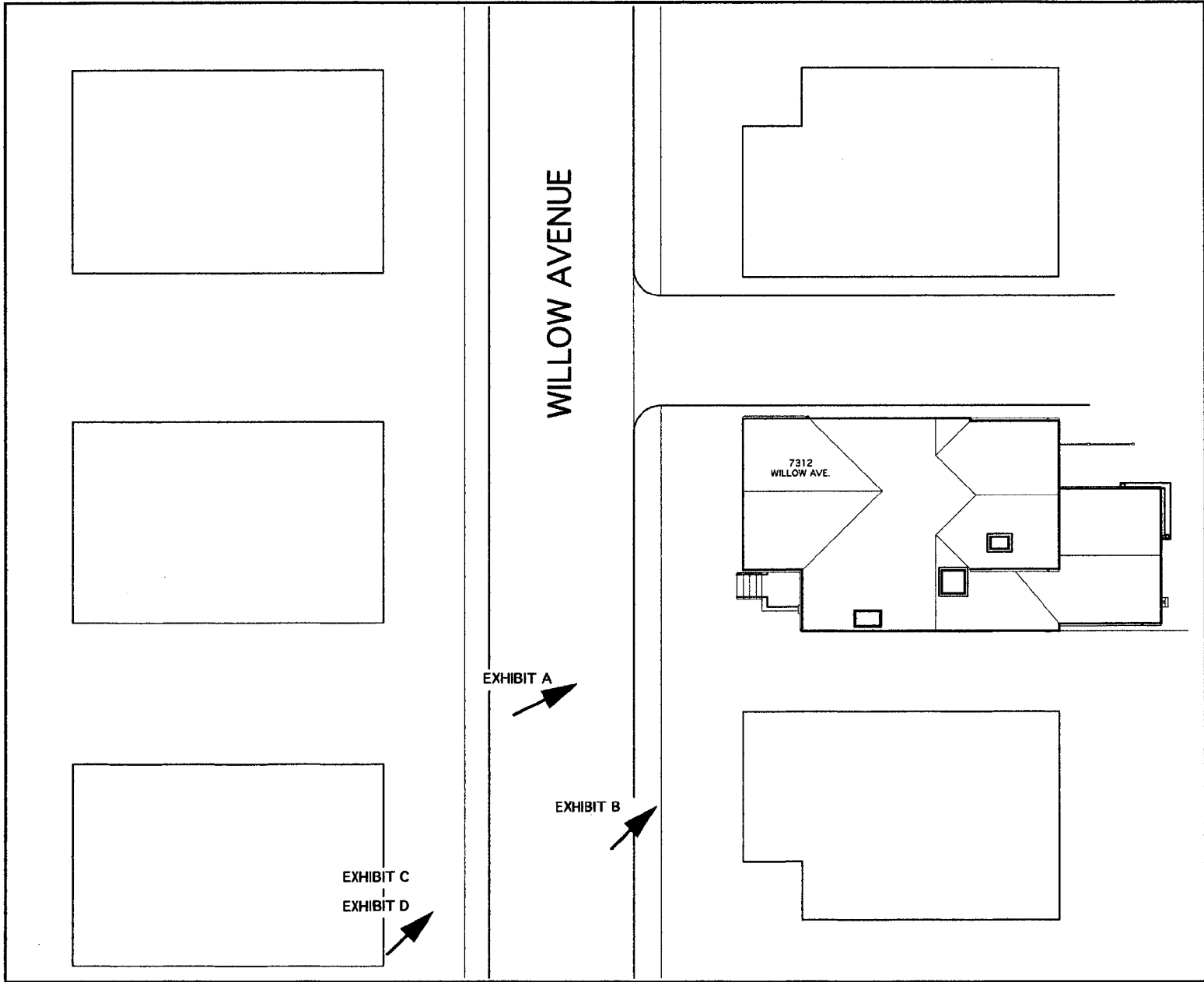
7312 Willow Avenue
Takoma Park, MD

Please find contained additional supplementation in support of our request for inclusion of a skylight to the Hughes / Rahn residence. Our contention is that the proposed skylight will not be visible from the public street. The skylight is positioned so that the existing roof will conceal it from public view. *(See photographic exhibits. Exhibit "D" is a sketch overlay of Exhibit "C" indicating the relative locations of the new and existing roof ridgelines. See also Photo Key for view locations.)*

Thanks,


Mark W. Clayton

20



PHOTOGRAPH LOCATION KEY



REQUEST FOR SKYLIGHT APPROVAL
7312 WILLOW AVE.
TAKOMA PARK, MD

21

EXHIBIT A



22

REQUEST FOR SKYLIGHT APPROVAL
7312 WILLOW AVE.
TAKOMA PARK, MD

EXHIBIT B



23

REQUEST FOR SKYLIGHT APPROVAL
7312 WILLOW AVE.
TAKOMA PARK, MD

EXHIBIT C



24

REQUEST FOR SKYLIGHT APPROVAL
7312 WILLOW AVE.
TAKOMA PARK, MD

EXHIBIT D



21

REQUEST FOR SKYLIGHT APPROVAL
7312 WILLOW AVE.
TAKOMA PARK, MD

EXHIBIT A



22

REQUEST FOR SKYLIGHT APPROVAL
7312 WILLOW AVE.
TAKOMA PARK, MD

EXHIBIT B



23

REQUEST FOR SKYLIGHT APPROVAL
7312 WILLOW AVE.
TAKOMA PARK, MD

EXHIBIT C



24

REQUEST FOR SKYLIGHT APPROVAL
7312 WILLOW AVE.
TAKOMA PARK, MD

EXHIBIT D

Robin – I told Mark Clayton that if the skylight was denied it could not be resubmitted. He agreed to postpone the revision until Dec 6 when I suggested that he send more supporting documentation – line of sight ex trees from the street, and more design detail – suggested that it be flat to at least physically be unobtrusive. Asked him to show us how it would not call attention away from the front bungalow and back to the big rear addition. He said the night view was going to be a problem.

Anyway, he will be sending info to you or to me for Dec 6 meeting. I put it on the agenda. Either one of us can handle it. I said we saw no reason to recommend approval, but was up to HPC.

HUNT ARCHITECTS

4025 BRANDYWINE STREET, N.W.
WASHINGTON, D.C. 20016
202.244.9840 Voice / 202.244.9841 Fax
BRIANRHUNT@AOL.COM

Attention:

Perry Kephart

Montgomery County Department of Park and Planning

Historic Preservation Commission

8787 Georgia Avenue

Silver Spring, Maryland 20910-3760

RE: Application #: 9906240084; (Original file date: 6/23/99)

Applicant: Tim Rahn / Nancy Hughes

(Brian R. Hunt, Architect)

7312 Willow Avenue

Takoma Park, MD

October 25, 2000

Please review previously filed documentation and drawings for inclusion of one (1) skylight to the new addition as indicated on the drawings. Contact architect for further clarifications.

Contact owner / architect for day and date of committee review meetings.

Yours truly,



Mark W. Clayton

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

October 11, 2000

Mr. Reggie Jetter
Department of Permitting Services
255 Rockville Pike - 2nd Floor
Rockville, MD 20850

Dear Mr. Jetter:

Mr. Rahn & Ms. Hughes have applied for a HAWP (#230634) to remove four diseased trees on their property at 7312 Willow Avenue in the historic district in Takoma Park. As the condition of the trees has been confirmed by a certified arborist, the property owners do not need a HAWP, but this can be approved at HPC staff level (see attached letter). Please nullify their HAWP application from your system, as this particular application does not have to go before the Historic Preservation Commission.

If you have any further questions, I can be reached at (301) 563-3400.

Sincerely yours,

Robin D. Ziek
Historic Preservation Planner



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Timothy Rahn
Daytime Phone No.: 717-765-5333

Tax Account No.:
Name of Property Owner: Nancy Hughes & Timothy Rahn Daytime Phone No.: 717-765-5333
Address: 7312 Willow Avenue Takoma Park MD 20912-4321
Contractor: Phone No.:
Contractor Registration No.:
Agent for Owner: Brian Hunt (Architect for construction) Daytime Phone No.: 202-240-9840

LOCATION OF BUILDING/PREMISE

House Number: 7312 Street: Willow Avenue
Town/City: Takoma Park Nearest Cross Street: Tulip Avenue
Lot: 16 Block: 9 Subdivision: Takoma Park
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
Revision Repair Revocable Fence/Wall (complete Section 4) Other: Tree removal and replacement
1B. Construction cost estimate: \$
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:
2B. Type of water supply: 01 WSSC 02 Well 03 Other:

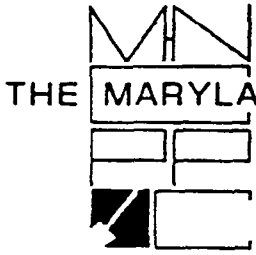
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Timothy W Rahn September 20, 2000
Signature of owner or authorized agent Date

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: 230634 Date Filed: 9/25/00 Date Issued:



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

September 19, 2000

Mr. Timothy Rahn
Ms. Nancy Hughes
7312 Willow Avenue
Takoma Park, MD 20912

Re: 12" dbh Hemlock
9" dbh Hemlock
9" dbh Hemlock
7" dbh Hemlock

Dear Mr. Rahn & Ms. Hughes:

Thank you for contacting the Montgomery County Historic Preservation Commission (HPC) with a request to remove four diseased Hemlock trees in the back yard of your property at 7312 Willow Avenue in Takoma Park in preparation for a construction project.

Steve Cary, M-NCPPC arborist, in cooperation with Todd Nelson, arborist for the City of Takoma Park, has agreed that these trees should be removed. This letter serves as your permission for removal.

If you have further questions, please do not hesitate to call me at 301-563-3400.

Sincerely,

Perry Kephart
Historic Preservation Planner

PK:sb

Project Description to Remove and Replace Trees At 7312 Willow Avenue, Takoma Park

a. Description of Existing Environmental Setting

The lot for 7312 Willow Avenue is typical in size and in plantings of many of the lots found in this section of Takoma Park. Native trees found on the lot include a Tulip Poplar, Wild Black Cherry, and several older specimens of Flowering Dogwood. The lot also contains a large Camellia and numerous flowering Azaleas.

The house sits closer to the front or east property line. This gives the lot a relatively large backyard. Previous owners terraced the sloped backyard into three sections. A flagstone patio occupies the lowest of these sections. The middle section contains borders with a variety of plantings. The top section contains three beds used for culinary herbs and vegetables. A unique feature of the lot is the significant direct sunlight it receives in the middle and top terrace.

We plan to build a one-room addition on the rear of our home. This addition will take up most of the space now occupied by the patio. The addition falls under the drip line of four urban forest trees, all of which are Eastern Hemlock. All of the hemlocks are infected by the Hemlock Woolly Adelgid and are in various stages of distress. The hemlocks are planted with four smaller hemlocks of less than 6 in. in diameter. (See attached drawing, "Site Plan," and detail A, "Tree Survey.")

b. Description of Planned Environmental Setting

We plan to replace the Eastern Hemlock, which is not considered to be native to this region of Maryland, with a variety of native trees, more suitable to this part of the country and the landscape in our yard. Any new trees would be placed appropriately on our property to avoid the crowding that has occurred with the hemlocks. (See attached drawing, "Tree Replacement Plan.")

Our goals for the replacement trees are as follows:

- establish more plantings of native trees and shrubs;
- attract wildlife, especially birds, to the yard;
- provide food sources for birds, mammals, and insects;
- create a natural environment that does not require chemicals to maintain.

We plan to complete the landscaping in two stages: Plan 1 and Plan 2. The object of Plan 1 will be to plant the replacement trees required by the City of Takoma Park. The object of Plan 2 will be to complete the major plantings we believe necessary to establish the desired environment to attract wildlife.

We realize the importance of maintaining the treescape of Takoma Park and are committed to preserving this unique feature of our city and Montgomery County.

In conclusion, we ask for your approval to remove the trees and to replace them as we have indicated.

Notes

1. We have applied for and received a Historic Area Work Permit for the addition to our house. (See attached copy of permit no. 9906240084.)
2. We have applied for and received a building permit from Montgomery County for the addition to our house. (See attached copy of permit no. 222114.)
3. We have applied for and received preliminary approval from the City of Takoma Park for a permit to remove the trees. (See attached letter.)

MONTGOMERY COUNTY, MARYLAND

Department of Permitting Services

255 Rockville Pike, 2nd Floor

Rockville, MD 20850

BUILDING PERMIT

PERMIT NO 9906240084

AUGUST 04, 1999

EXPIRES: 08/04/00

THIS IS TO CERTIFY THAT:

TIM RAHN/NANCY HUGHES

2339 17TH

ST NW

WASHINGTON

DC 20009

(202)986-2809

HAS PERMISSION TO: ADD TO

0000 HISTORIC SITE

REGARDLESS OF SET BACK SHOWN,
THIS BUILDING MUST NOT EXTEND BEYOND ESTABLISHED BUILDING LINE.

**HISTORIC APPROVAL ONLY
BUILDING PERMIT REQUIRED**

PREMISE ADDRESS 07312 WILLOW AVE TAKOMA PARK

LOT 16 BLOCK 9 ZONE SUBDIVISION TAKOMA PARK
LIBER FOLIO PARCEL PLATE GRID
ELECTION DISTRICT 12 TAX ACCOUNT NO 00000000

PERMIT FEE: \$ 00,000.01

IMPACT FEE: \$ 0,000,000

ESTIMATED COST: \$00,060,000



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan
County Executive

Robert C. Hubbard
Director

BUILDING
PERMIT

Issue Date: 8/4/2000

Permit No: 222114
Expires: 8/5/2001
X Ref.
Rev. No:
ID: AC555856

THIS IS TO CERTIFY THAT: TIM & NANCY RAHN-HUGHES
7312 WILLOW AVE
TAKOMA PARK MD 20912

HAS PERMISSION TO: ADD SINGLE FAMILY DWELLING

PERMIT CONDITIONS:

PREMISE ADDRESS: 7312 WILLOW AVE
TAKOMA PARK MD 20912-

NOTICE
THIS APPROVAL DOES NOT INCLUDE PLUMBING, GAS
PIPING OR ELECTRICAL OR CONSTRUCTION IN ANY
DEDICATED RIGHT-OF-WAY.

LOT BLOCK ZONE GRID
LIBER ELECTION DISTRICT PLATE PARCEL
FOLIO TAX ACCOUNT NO.: SUBDIVISION PS NUMBER 0
PERMIT FEE: \$137.50

NOTE

THIS PERMIT DOES NOT INCLUDE
APPROVAL FOR ANY ELECTRICAL WORK.
YOU MUST HAVE A SEPARATE ELECTRICAL
PERMIT TO DO ANY ELECTRICAL WORK.

Signature of Robert C. Hubbard
Director, Department of Permitting Services

City of Takoma Park, Maryland

OFFICE OF THE DIRECTOR
PUBLIC WORKS DEPARTMENT
TEL: (301) 585-8333



MUNICIPAL BUILDING
7500 MAPLE AVENUE
TAKOMA PARK, MD 20912

August 25, 2000

Mr. Timothy Rahn
7312 Willow Ave.
Takoma Park, MD 20912

Dear Mr. Rahn:

This letter is to inform you that the City of Takoma Park has granted preliminary approval for the removal of three (3) Eastern hemlock trees located at the side-right of your property. Preliminary approval means the City will now post your property for a 15 day posting period beginning Friday, August 25, 2000 and ending on Wednesday, September 9, 2000 for public comment. If no objections are filed by the community, you will be granted a permit to remove the tree pending your signed agreement to the City's replanting/replacement agreement requirement amounting to a total cost of \$771.00.

There is also a 7 inch diameter at breast height Eastern hemlock located at the side-right as well, however, this tree is not an urban forest tree is not protected by the City of Takoma Park Tree Ordinance. Therefore, a Tree Permit is not necessary for its removal.

Please call me if there are any questions.

Sincerely,

Todd Nelson
City Arborist
City of Takoma Park Maryland
31 Oswego Ave.
Silver Spring, MD 20910
301-585-8333 x.312

Enclosure

MARCY CAMPOS
7309 MAPLE AVE.
TAKOMA PARK, MD 20912

NANCY C. SCHALLHORN
7311 MAPLE AVE.
TAKOMA PARK, MD 20912-4317

DORIS G. DOVE
7313 MAPLE AVE.
TAKOMA PARK, MD 20912

MICHAEL RICHMAN
7310 WILLOW AVE.
TAKOMA PARK, MD 20912

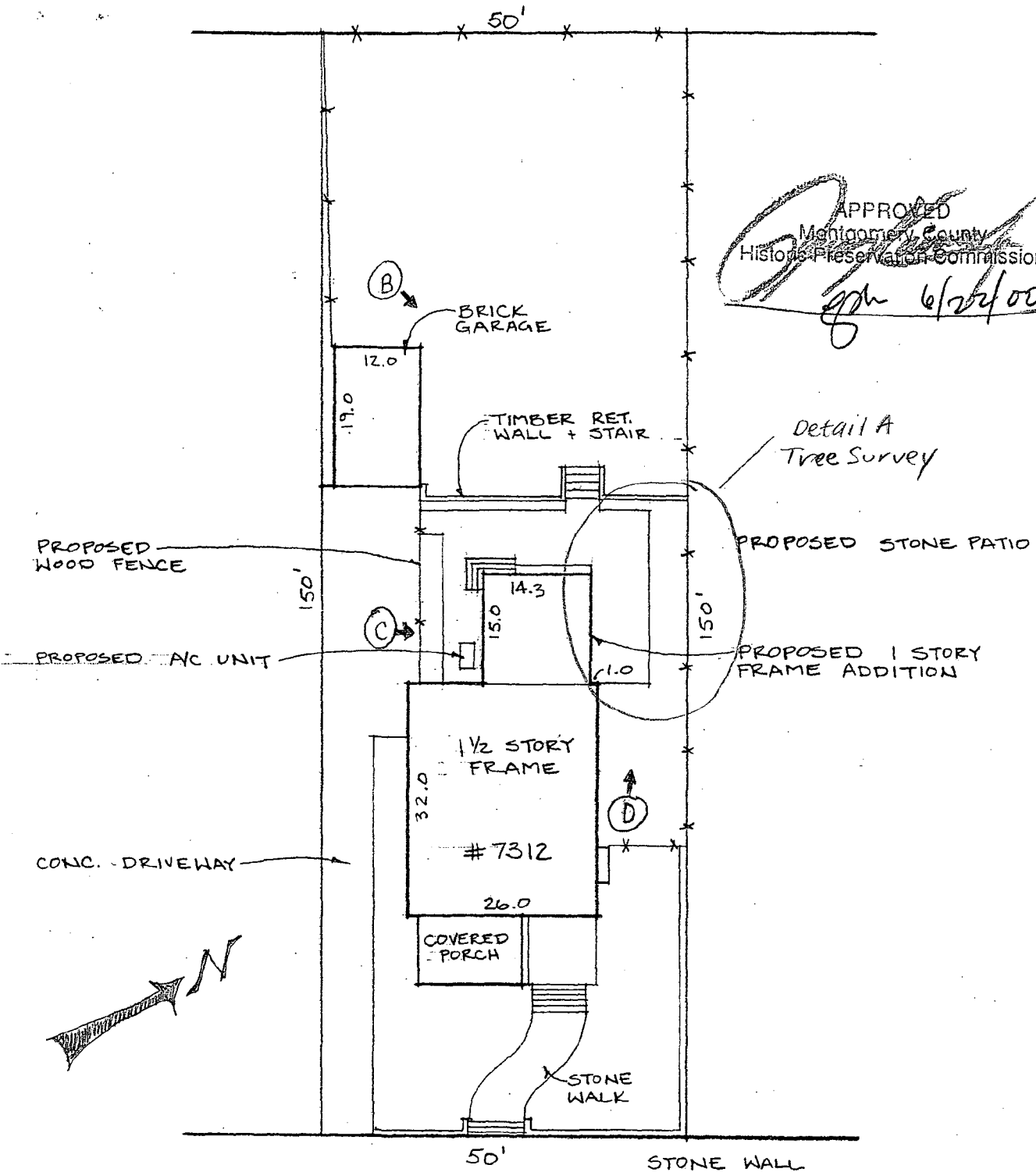
NANCY M. MOORE
7314 WILLOW AVE.
TAKOMA PARK, MD 20912

ROBERT E. GULDIN/
SUSAN STRASSER
7309 WILLOW AVE.
TAKOMA PARK, MD 20912

NANCY BOOCKER
7311 WILLOW AVE.
TAKOMA PARK, MD 20912

LAWRENCE S. LEMPert/
PATRIZIA RICCI
7313 WILLOW AVE.
TAKOMA PARK, MD 20912

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
6/22/00



WILLOW AVENUE



7312 WILLOW AVENUE - SITE PLAN
SCALE: 1" = 20' 6.6.00

Hughes - Rahn
Tree Survey
Detail A From
Site Plan
Scale: 3/8 in. = 1 ft

TWR 9/19/00

Eastern Hemlock

Eastern Hemlock
Urban Forest
Tree

Existing Patio

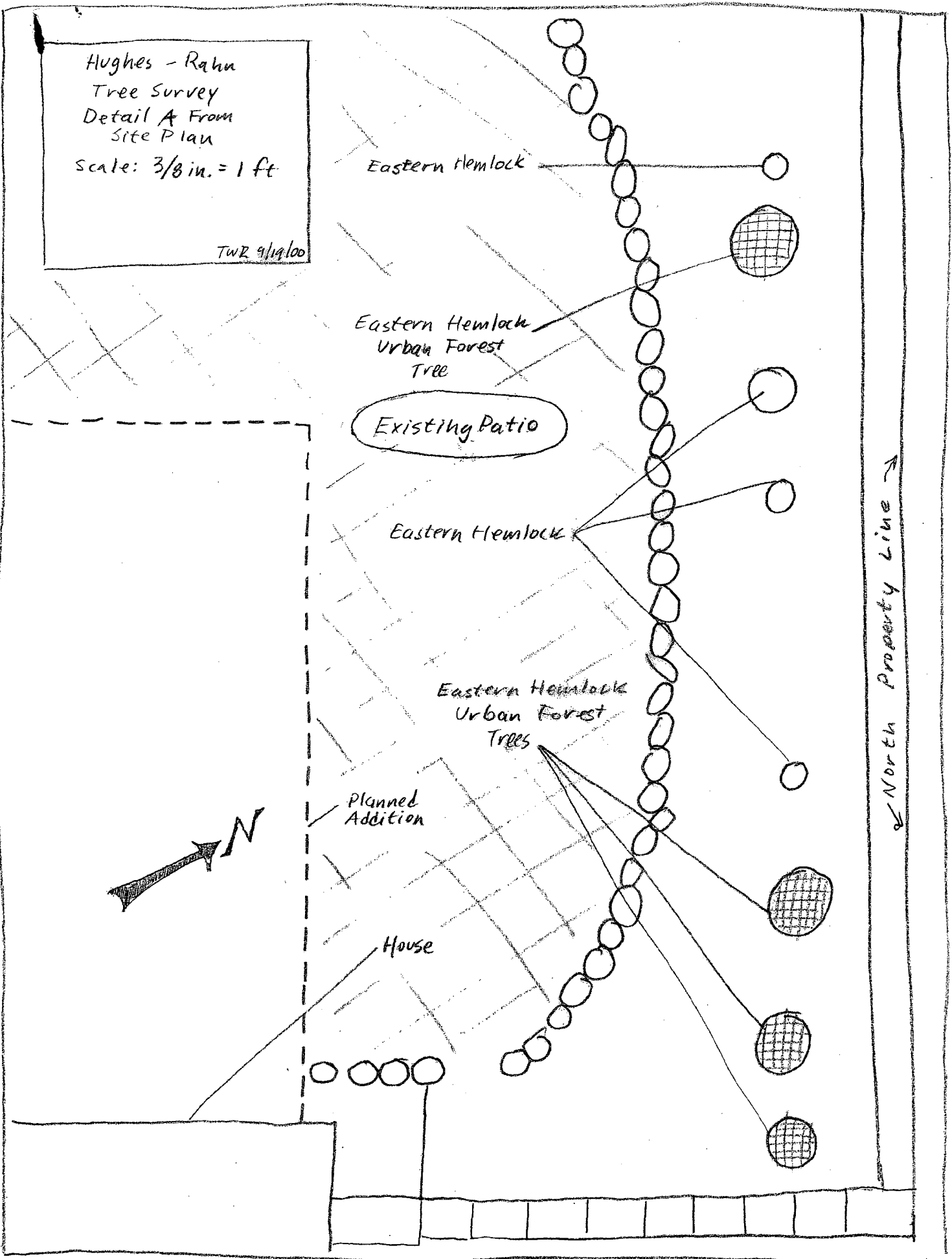
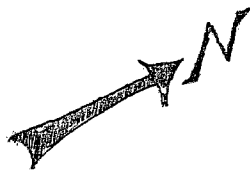
Eastern Hemlock

Eastern Hemlock
Urban Forest
Trees

Planned
Addition

House

North Property Line



Red Osier Dogwood
Cornus Serica
(Plan 2)

wild Black Cherry
Prunus Serotina
(Existing - keep)

Blue Spruce
(Existing - Remove)

Japanese Rhododendron
(Existing - keep)

American Holly
Ilex opaca
(Plan 1 - ♂
Plan 2 - ♀)

Eastern Redbud
Cercis canadensis
(Replace existing - Plan 2)

American Hornbeam
Carpinus Caroliniana
(Plant)

Tulip Poplar
Liriodendron Tulipifera
(Existing - keep)



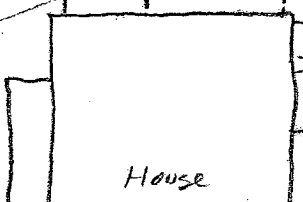
Remove Eastern Hemlocks
From this bed.

Camellia
(Existing - keep)

Serviceberry
Ananachier canadensis
(Plan 1)

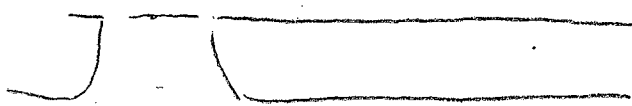
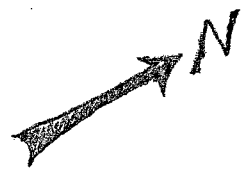
Planned Addition

Eastern Redbud
Cercis Canadensis
(Plan 2)



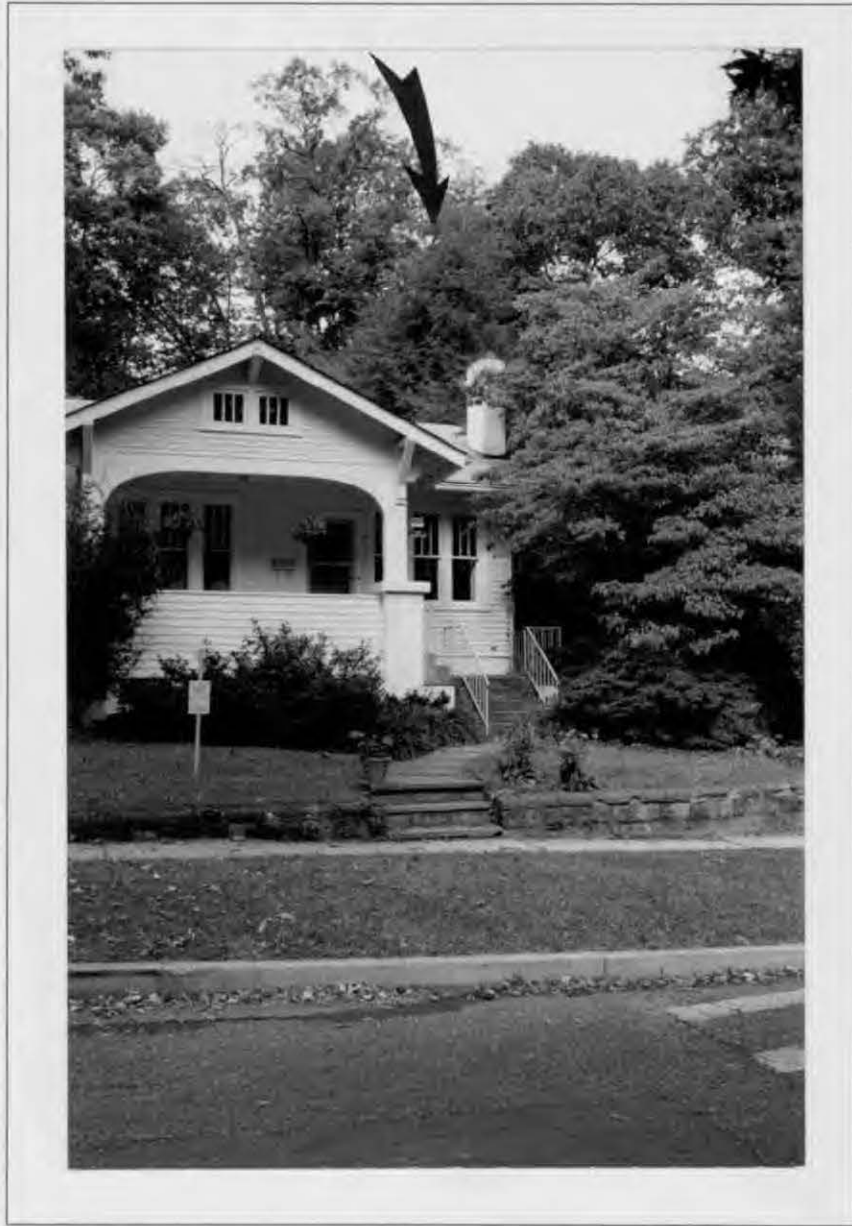
Porch

Flowering Dogwood
Cornus Florida
(Existing - keep)



Willow Avenue

Hughes - Rahn
Tree Replacement Plan
For 7312 Willow Avenue
Takoma Park, MD
Scale: 1 in. = 20 ft
Showing "Materials
Specifications" as trees.
TWRahn 9/19/20



Front View of 7312 Willow Avenue

Arrow points to Eastern Hemlocks.
(View from A on Site Plan)



Rear View of 7312 Willow Avenue
Showing location of Eastern Hemlocks in
relation to back door.
(View from B on Site Plan)



View from Rear Gate of 7312 Willow Avenue

Eastern Hemlocks located in bed on north edge of patio. Addition to house will occupy approximately 60% of existing patio.
(View from C on Site Plan)

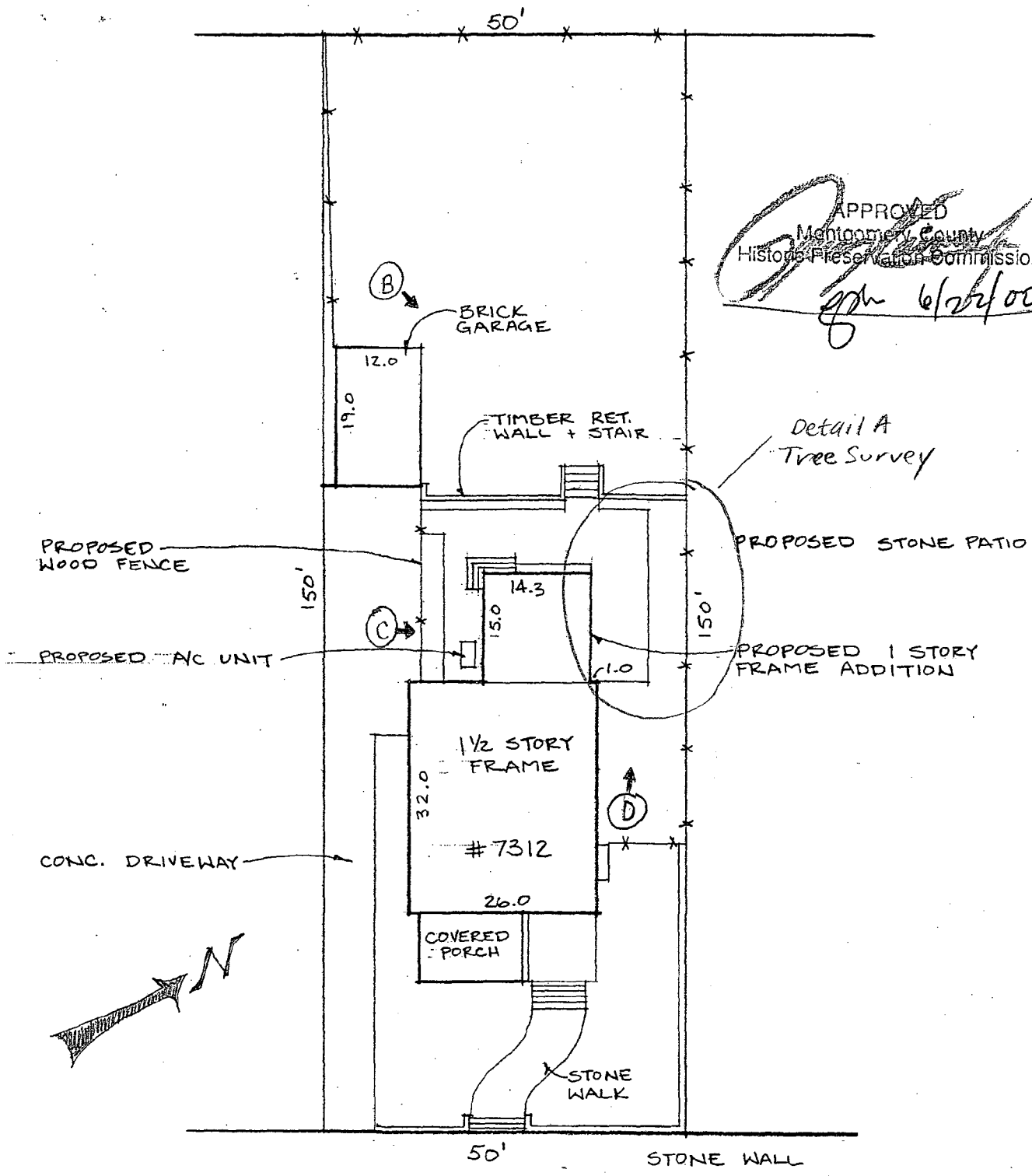
Photographs for Hughes Rahn
Tree Removal Historic Area Work Permit



View of Section of North Property Line
at 7312 Willow Avenue

Lower trunks of Eastern Hemlocks shown.
(View from D on Site Plan)

Second set
of drawings



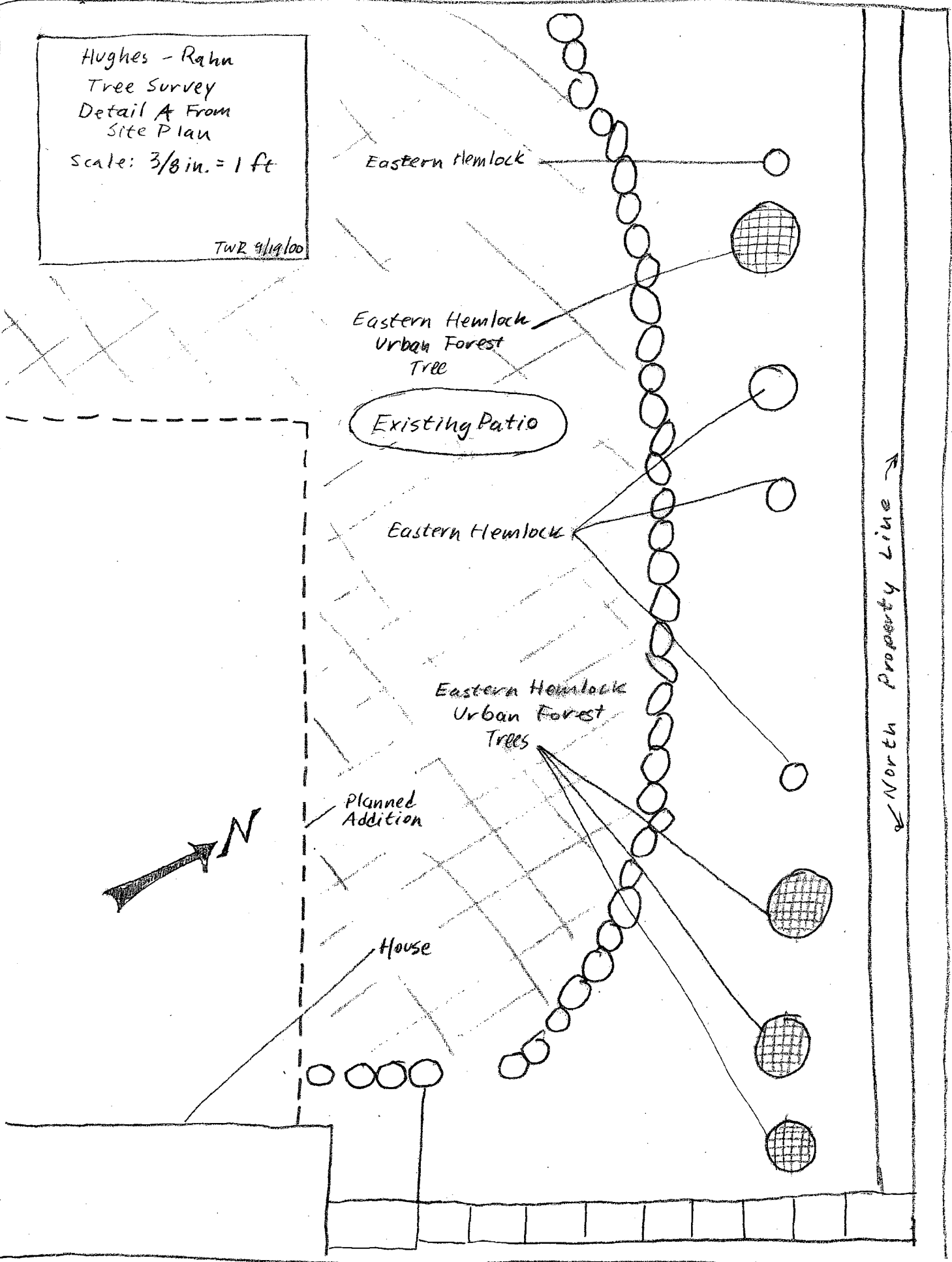
APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
 6/24/00

WILLOW AVENUE



7312 WILLOW AVENUE - SITE PLAN
 SCALE: 1" = 20' 6.6.00

Hughes - Rahn
Tree Survey
Detail A From
Site Plan
Scale: 3/8 in. = 1 ft
TWR 9/19/00



Red Osier Dogwood
Cornus Serica
(Plan 2)

wild Black Cherry
Prunus Serotina
(Existing - keep)

Blue Spruce
(Existing - Remove)

Japanese Rhododendron
(Existing - keep)

American Holly
Ilex opaca
(Plan 1 - ♂
Plan 2 - ♀)

Eastern Redbud
Cercis canadensis
(Replace existing - Plan 2)
American Hornbeam
Carpinus caroliniana
(Plan 1)



Tulip Poplar
Liriodendron Tulipifera
(Existing - keep)

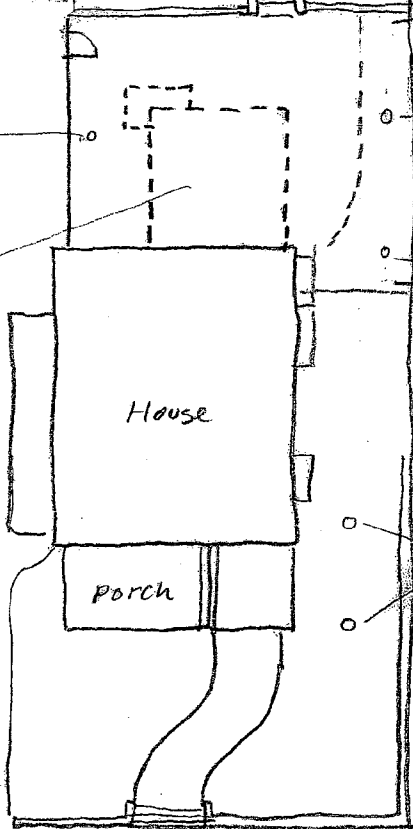
Remove Eastern Hemlocks
From this bed.

Camellia
(Existing - keep)

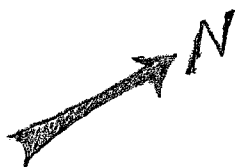
Serviceberry
Ananchar canadensis
(Plan 1)

Planned Addition

Eastern Redbud
Cercis canadensis
(Plan 2)



Flowering Dogwood
Cornus Florida
(Existing - keep)



Willow Avenue

Hughes - Rahn
Tree Replacement Plan
For 7312 Willow Avenue
Takoma Park, MD
Scale: 1 in. = 20 ft
Showing "Materials
Specifications" as trees.
TW Rahn 9/19/10

DH-LW 6-6

high front of dormer use old roofing tiles

II-L

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7312 Willow Avenue	Meeting Date:	7/14/99
Applicant:	Tim Rahn/Nancy Hughes (Brian Hunt, Architect)	Report Date:	7/7/99
Resource:	Takoma Park Historic District	Public Notice:	6/30/99
Review:	HAWP	Tax Credit:	No
Case Number:	37/3-99Q	Staff:	Robin D. Ziek
PROPOSAL:	Rear Addition	RECOMMENDATIONS:	Approval

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource in the Takoma Park Historic District
STYLE: Cottage-Bungalow
DATE: c1910s

The subject property is a 1-1/2-story wood frame structure, with a strong front porch. The house is otherwise very simple, and provides living space on the first floor with storage on the second floor. At this point, the headroom at the ridge in the attic is approximately 6'.

PROPOSAL

The applicant proposes to add a 1-story addition at the rear to expand the kitchen and provide for a dining room. In addition, they would like to add a rear dormer at the attic level, to increase the headroom upstairs and provide space for an additional bedroom, bath and study.

The materials would match the existing materials, with wood siding, wood windows, and asphalt roofing shingles. The design of the new windows would also match the original windows, except for the casement windows at the rear. The rear door would be wood with a full light.

In terms of sitework, the applicant proposes to install about 20' of wood picket fencing at the rear of the house, along the driveway and the rear patio (see Circle 6). The design is "scalloped", and would vary in height from 4' - 5'. The existing stone patio would also be expanded. An exterior A/C unit would be placed at the rear NW corner of the house.

STAFF DISCUSSION

The proposed alterations are modest in scale, and compatible in design with the existing resource. The house itself is small and fairly simple, and the design approach has been to match the character and feel of the original house.

This approach is appropriate considering the scale of the project and the limited impact on the resource (both the house and the district). The Takoma Park *Guidelines* recognize the need

①

for people to expand the small 1 and 1-1/2 story homes in the city, and support compatible additions that include expanded roof height. There are many ways this can be accomplished, and the current proposal is a modest one.

STAFF RECOMMENDATION

Staff recommends the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with *Secretary of the Interior's Standards for Rehabilitation #2*:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: July 19, 1999

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Amended by the applicant to use wood siding only on the new addition, deleting the use of brick on the first floor.

Approved Denied **Approved with Conditions:**

1) That portion of the new roof which will protrude above the ridgeline of the existing roof, and facing Willow Avenue, will be roofed with [old] roofing shingles to match the existing shingles to assure visual blending of the old and new roof.

and subject to the general conditions that 1) HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and 2) after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Tim Rahn/Nancy Hughes

Address: 7312 Willow Avenue, Takoma Park, MD 20912



DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6376

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: BRIAN HUNT
Daytime Phone No.: 202.986.2809

Tax Account No.: _____
CONTRACT PURCHASER Name of Property Owner: TIM RAHN / NANCY HUGHES Daytime Phone No.: 717.703.516.1046
Address: 2339 17TH ST., NW WASHINGTON, DC 20009
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: BRIAN HUNT Daytime Phone No.: 202.986.2809

LOCATION OF BUILDING/PREMISE

House Number: 7312 Street: WILLOW AVENUE
Town/City: TAKOMA PARK Nearest Cross Street: _____
Lot: 16 Block: 9 Subdivision: TAKOMA PARK
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 60,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Brian Hunt 6/23/99
Signature of owner or authorized agent Date

Approved: X w/Conditions For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 7/19/99
Application/Permit No.: 9906240082 Date Filed: 6/23/99 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING HOUSE IS A 1920'S VINTAGE CLAPBOARD
BUNGALOW IN A NEIGHBORHOOD OF HOUSE MOSTLY FROM
THE SAME PERIOD. THE HOUSE IS A WELL PRESERVED
EXAMPLE OF THE WOOD-FRAME BUNGALOWS FOUND IN THE
WASHINGTON AREA, WITH LOW-SLUNG ROOF, DEEP ROOF OVERHANG,
ROOF BRACKETS, LARGE FRONT PORCH, CLAPBOARD SIDING AND
DECORATIVE 3-OVER-1 DOUBLE-HUNG WINDOWS.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROPOSED FIRST FLOOR ADDITION AND SECOND FLOOR
DORMER ARE IN KEEPING WITH THE MASSING, SCALE,
MATERIALS AND DETAILS OF THE EXISTING HOUSE. THE
NEW WORK WILL NOT BE NOTICEABLE FROM THE STREET, AND
AS VIEWED FROM THE ADJOINING PROPERTIES, IT WILL BLEND
IN UNOBTUSIVELY.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Condition: use old roofing shingles on
front - visible extension on new portion
to match existing roof. II-L

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7312 Willow Avenue Meeting Date: 7/14/99
Applicant: Tim Rahn/Nancy Hughes Report Date: 7/7/99
(Brian Hunt, Architect)
Resource: Takoma Park Historic District Public Notice: 6/30/99
Review: HAWP Tax Credit: No
Case Number: 37/3-99Q Staff: Robin D. Ziek
PROPOSAL: Rear Addition **RECOMMENDATIONS:** Approval

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource in the Takoma Park Historic District
STYLE: Cottage-Bungalow
DATE: c1910s

The subject property is a 1-1/2-story wood frame structure, with a strong front porch. The house is otherwise very simple, and provides living space on the first floor with storage on the second floor. At this point, the headroom at the ridge in the attic is approximately 6'.

PROPOSAL

The applicant proposes to add a 1-story addition at the rear to expand the kitchen and provide for a dining room. In addition, they would like to add a rear dormer at the attic level, to increase the headroom upstairs and provide space for an additional bedroom, bath and study.

The materials would match the existing materials, with wood siding, wood windows, and asphalt roofing shingles. The design of the new windows would also match the original windows, except for the casement windows at the rear. The rear door would be wood with a full light.

In terms of sitework, the applicant proposes to install about 20' of wood picket fencing at the rear of the house, along the driveway and the rear patio (see Circle 6). The design is "scaloped", and would vary in height from 4' - 5'. The existing stone patio would also be expanded. An exterior A/C unit would be placed at the rear NW corner of the house.

STAFF DISCUSSION

The proposed alterations are modest in scale, and compatible in design with the existing resource. The house itself is small and fairly simple, and the design approach has been to match the character and feel of the original house.

This approach is appropriate considering the scale of the project and the limited impact on the resource (both the house and the district). The Takoma Park *Guidelines* recognize the need

(1)

for people to expand the small 1 and 1-1/2 story homes in the city, and support compatible additions that include expanded roof height. There are many ways this can be accomplished, and the current proposal is a modest one.

STAFF RECOMMENDATION

Staff recommends the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with *Secretary of the Interior's Standards for Rehabilitation #2*:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



HISTORIC PRESERVATION COMMISSION

301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: BRIAN HUNT

Daytime Phone No.: 202.986.2809

Tax Account No.:

CONTRACT PURCHASER Name of Property Owner: TIM RAHN / NANCY HUGHES Daytime Phone No.: 717.703.516.1046

Address: 2339 17th St, NW WASHINGTON, DC 20009

Contractor: Phone No.:

Contractor Registration No.:

Agent for Owner: BRIAN HUNT Daytime Phone No.: 202.986.2809

LOCATION OF BUILDING/PREMISE

House Number: 7312 Street: WILLOW AVENUE

Town/City: TAKOMA PARK Nearest Cross Street:

Lot: 16 Block: 9 Subdivision: TAKOMA PARK

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable

CHECK ALL APPLICABLE:

- A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other

1B. Construction cost estimate: \$ 60,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other

2B. Type of water supply: 01 WSSC, 02 Well, 03 Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Brian Hunt

Signature of owner or authorized agent

6/23/99

Date

3

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING HOUSE IS A 1920'S VINTAGE CLAPBOARD BUNGALOW IN A NEIGHBORHOOD OF HOUSE MOSTLY FROM THE SAME PERIOD. THE HOUSE IS A WELL PRESERVED EXAMPLE OF THE WOOD-FRAME BUNGALOWS FOUND IN THE WASHINGTON AREA, WITH LOW-SLUNG ROOF, DEEP ROOF OVERHANG, ROOF BRACKETS, LARGE FRONT PORCH, CLAPBOARD SIDING AND DECORATIVE 3-OVER-1 DOUBLE-HUNG WINDOWS.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROPOSED FIRST FLOOR ADDITION AND SECOND FLOOR DORMER ARE IN KEEPING WITH THE MASSING, SCALE, MATERIALS AND DETAILS OF THE EXISTING HOUSE. THE NEW WORK WILL NOT BE NOTICEABLE FROM THE STREET, AND AS VIEWED FROM THE ADJOINING PROPERTIES, IT WILL BLEND IN UNOBTRUSIVELY.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

4

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

MARCY CAMPOS
7309 MAPLE AVE.
TAKOMA PARK, MD 20912

NANCY C. SCHALLHORN
7311 MAPLE AVE.
TAKOMA PARK, MD 20912-4317

DORIS G. DOVE
7313 MAPLE AVE.
TAKOMA PARK, MD 20912

MICHAEL RICHMAN
7310 WILLOW AVE.
TAKOMA PARK, MD 20912

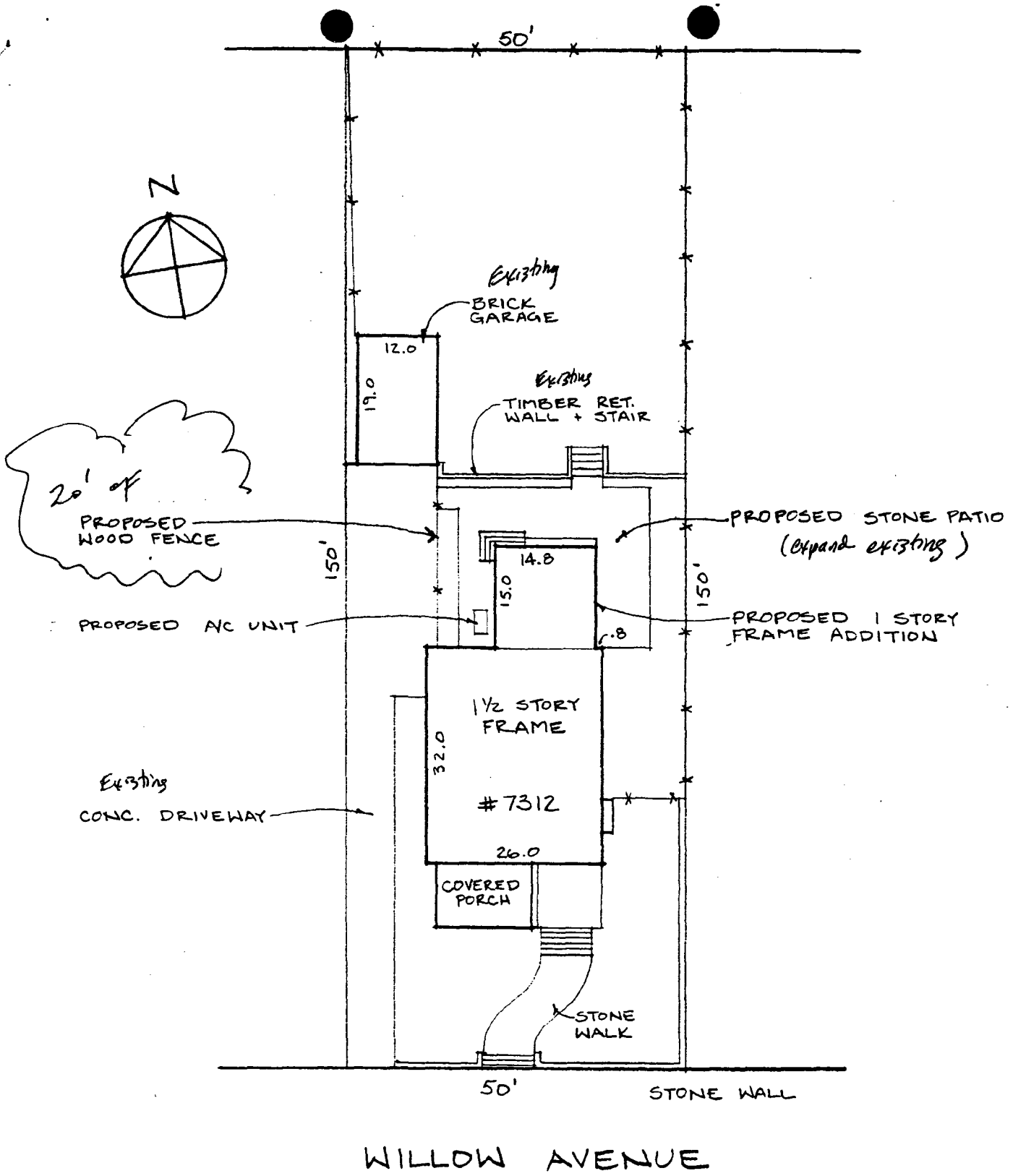
NANCY M. MOORE
7314 WILLOW AVE.
TAKOMA PARK, MD 20912

ROBERT E. GULDIN/
SUSAN STRASSER
7309 WILLOW AVE.
TAKOMA PARK, MD 20912

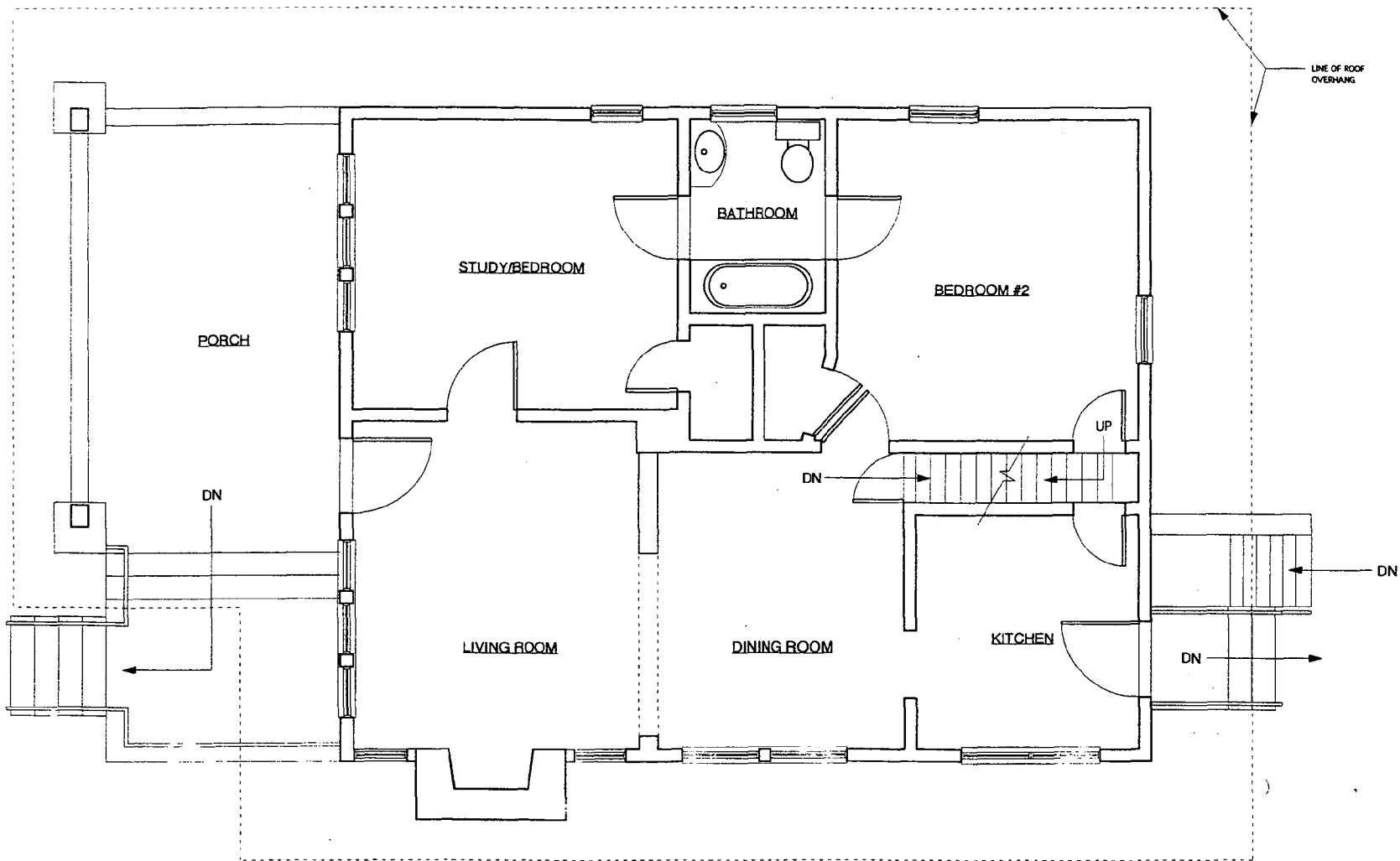
NANCY BOOCKER
7311 WILLOW AVE.
TAKOMA PARK, MD 20912

LAWRENCE S. LEMPert/
PATRIZIA RICCI
7313 WILLOW AVE.
TAKOMA PARK, MD 20912

5



7312 WILLOW AVENUE - SITE PLAN
 SCALE: 1" = 20' 6.23.99

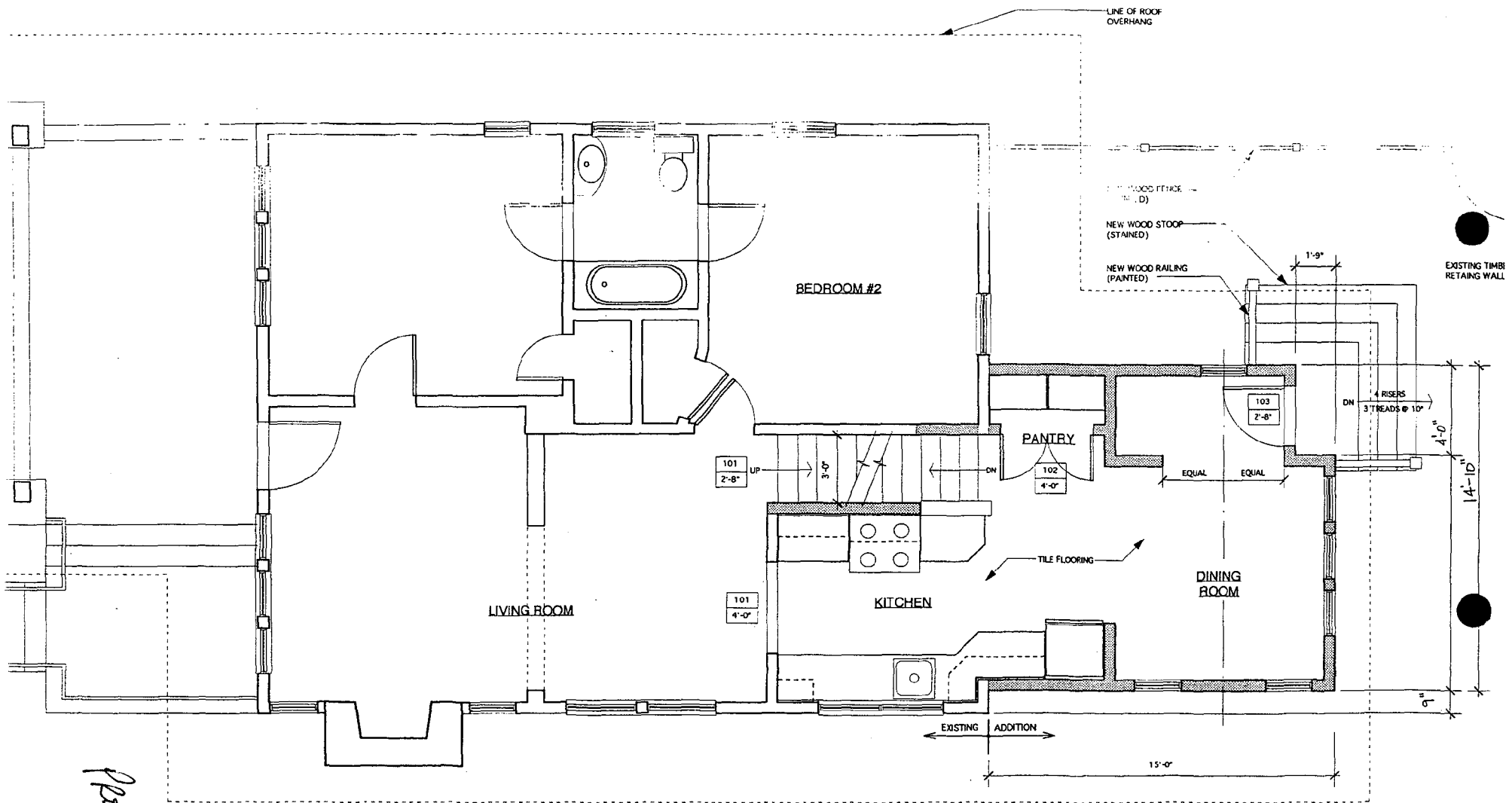


7312 WILLOW AVENUE
 FIRST FLOOR PLAN (EXISTING)

SCALE : 1/4" = 1' - 0"

JULY 6, 1999

7



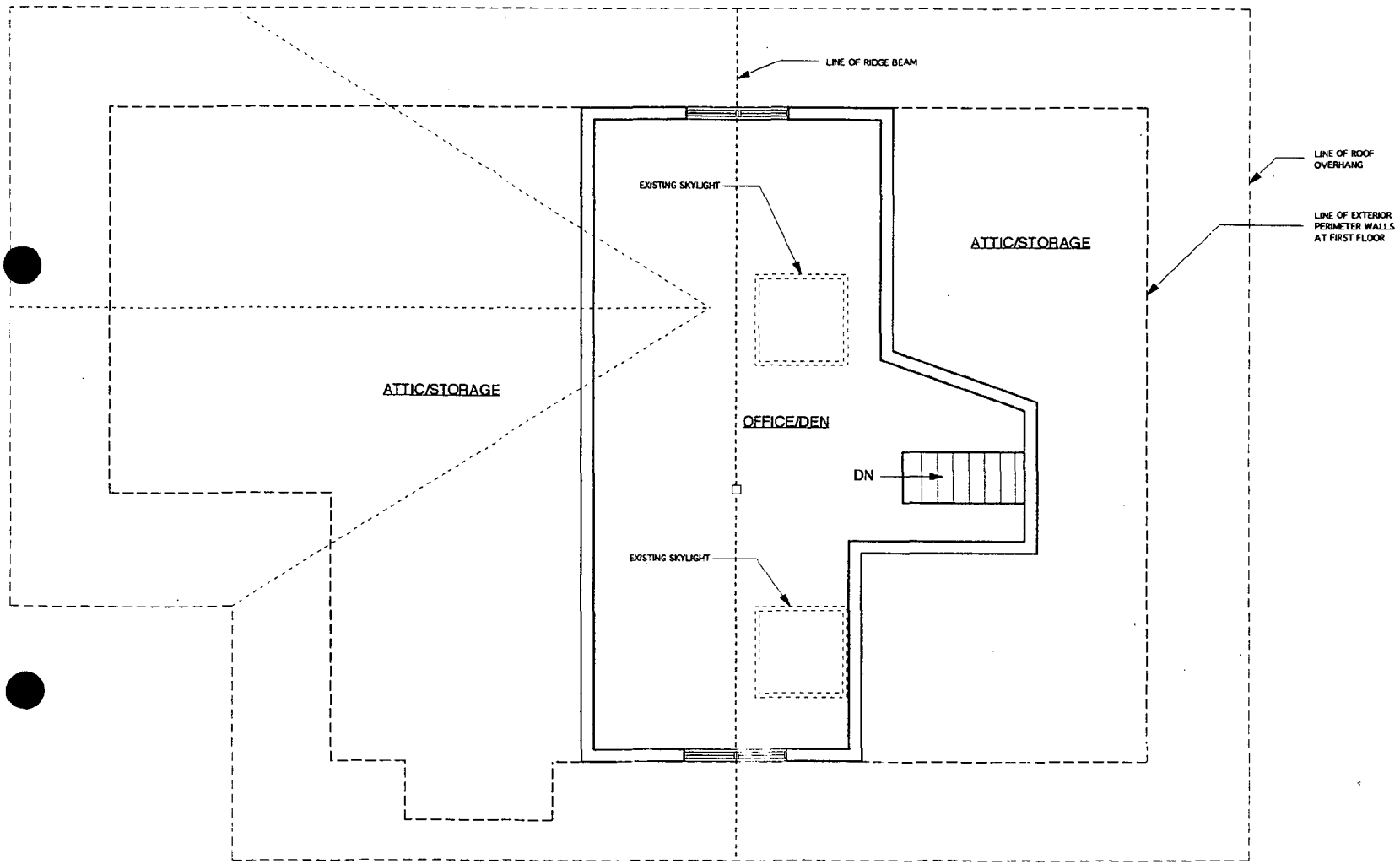
PROPOSED

7312 WILLOW AVENUE
FIRST FLOOR PLAN

1
 A.1

SCALE: 1/4" = 1' - 0"

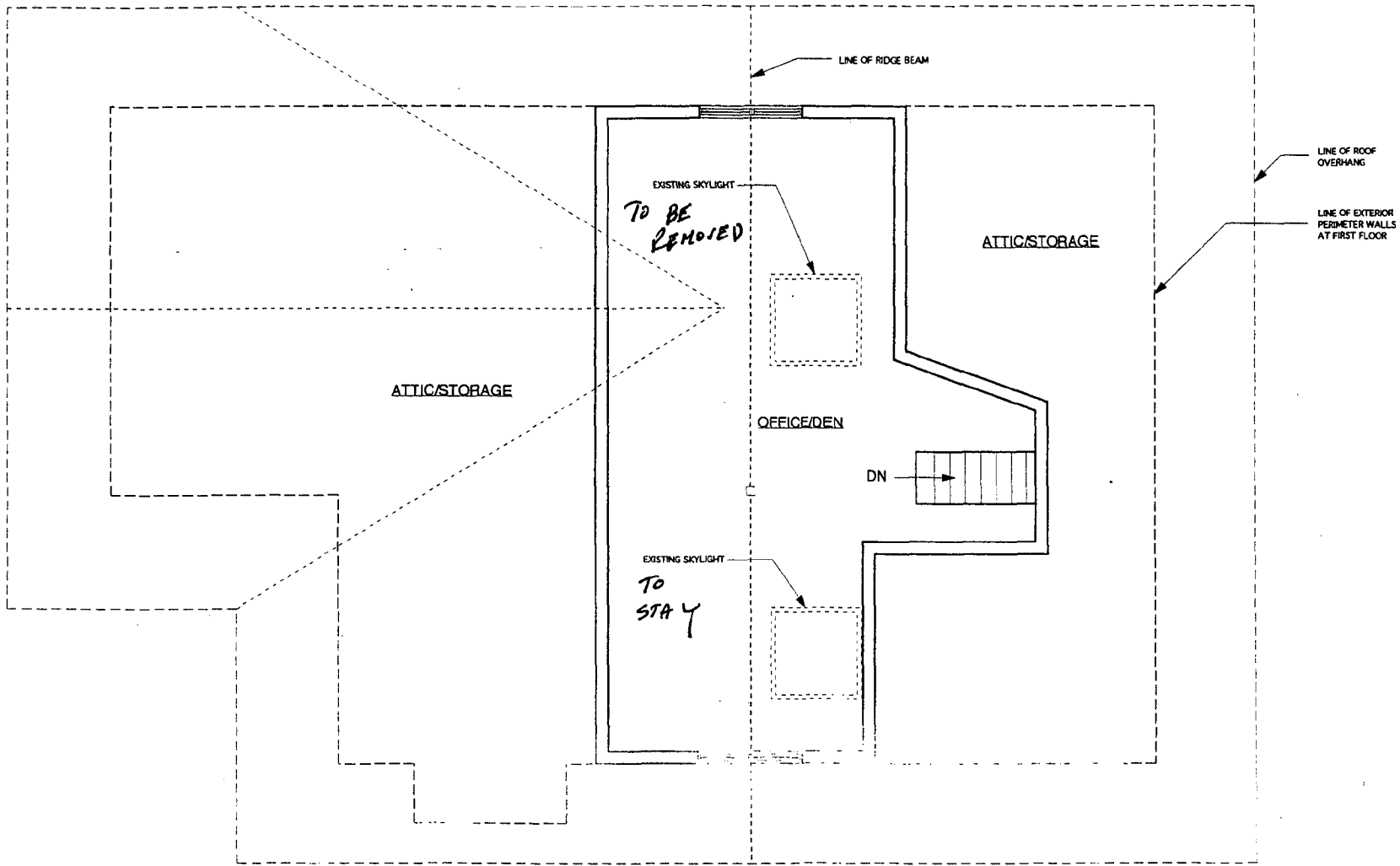
8



7312 WILLOW AVENUE
SECOND FLOOR PLAN (EXISTING)

SCALE : 1/4" = 1' - 0"

JULY 6, 1999



7312 WILLOW AVENUE
 SECOND FLOOR PLAN (EXISTING)

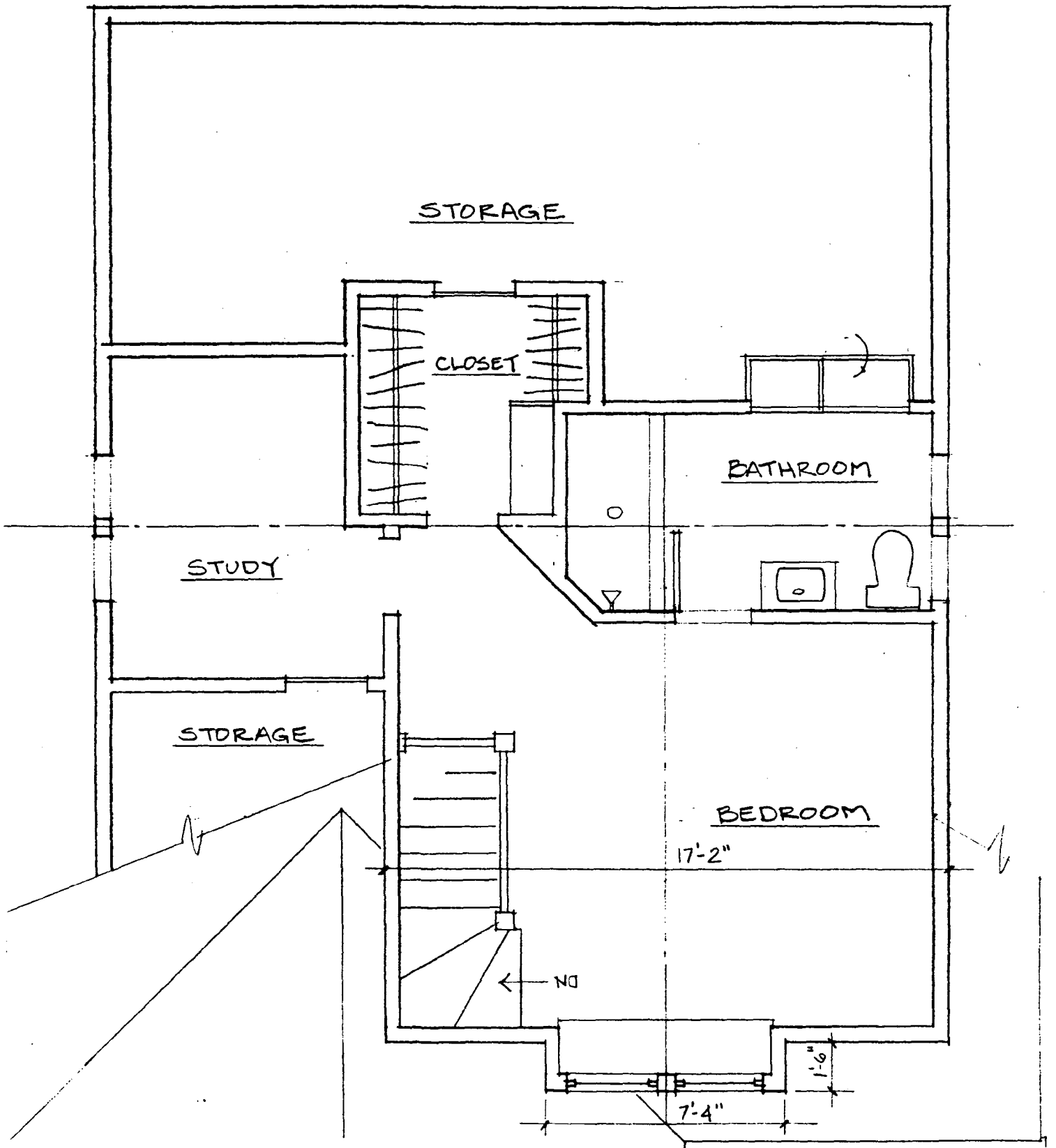
SCALE: 1/4" = 1' - 0"

JULY 6, 1999

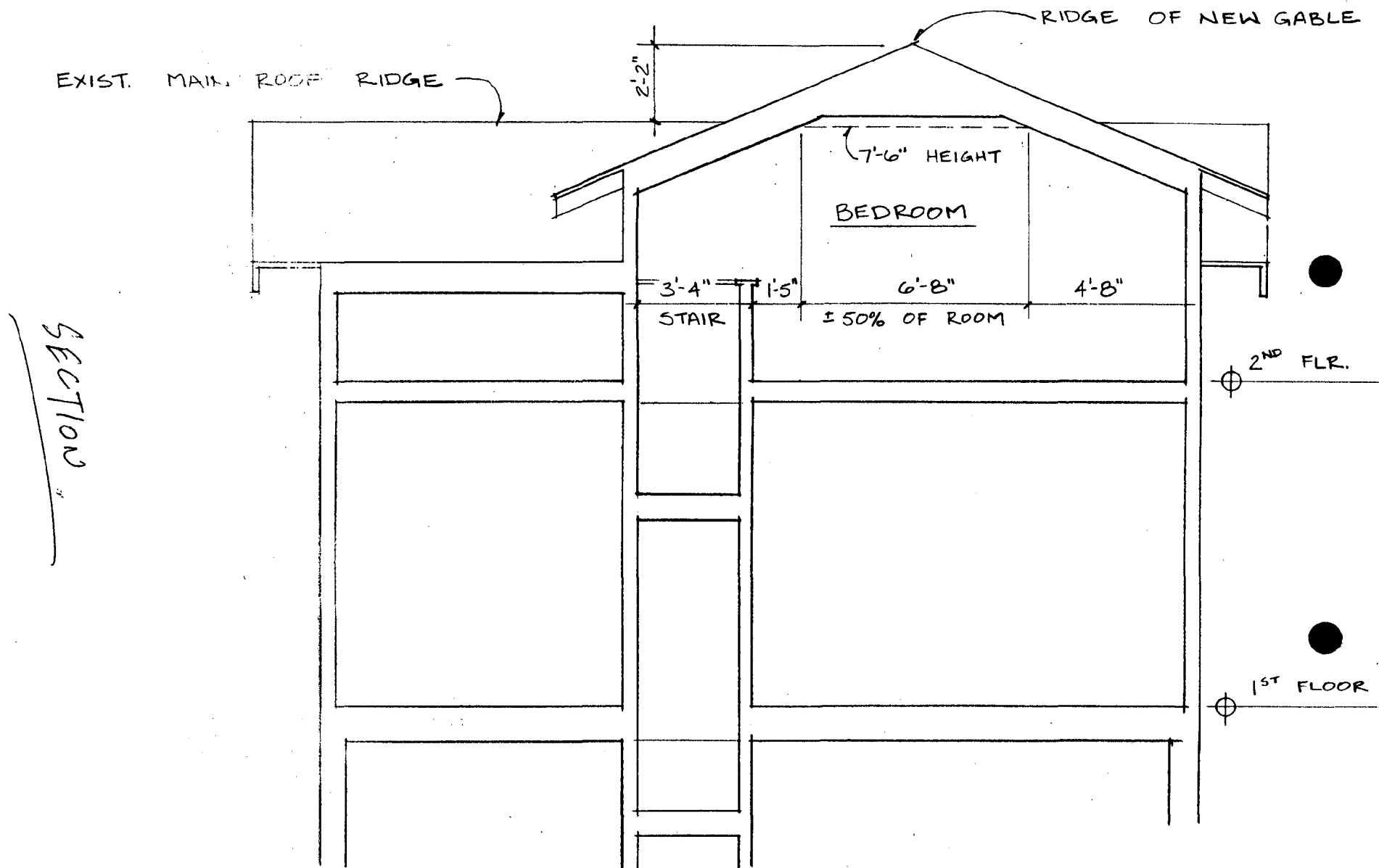
6

67

FRONT ELEVATION

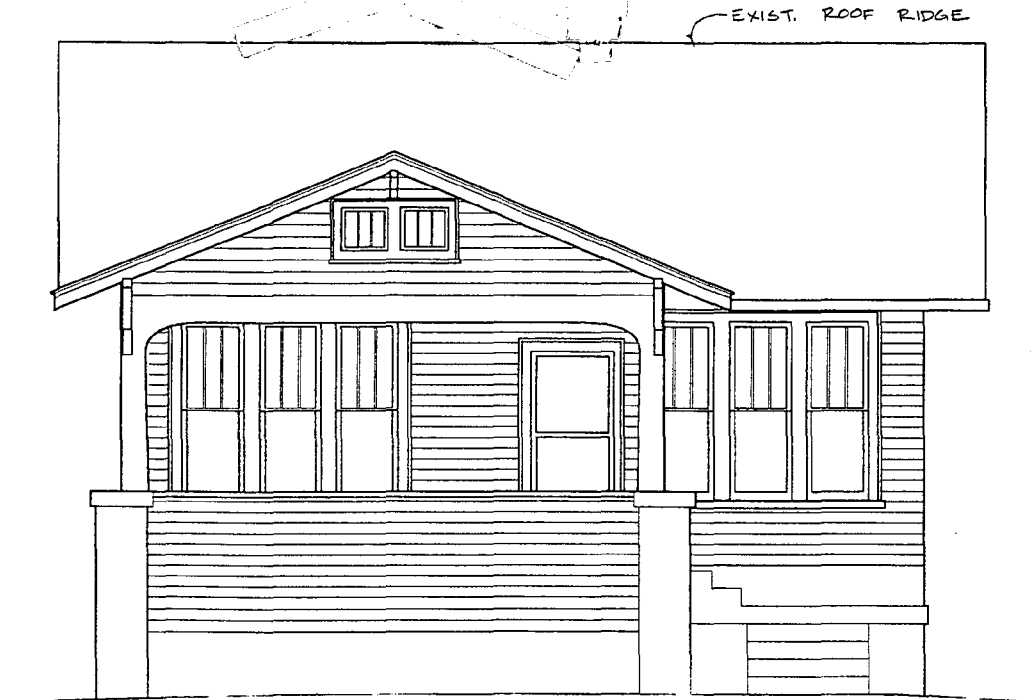


7312 WILLOW AVENUE
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" 6.14.99



7312 WILLOW AVENUE
 SECTION @ NEW GABLE
 SCALE: 1/4" = 1'-0" 7.6.99

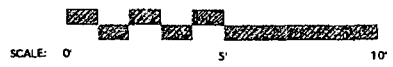
11



EXIST. ROOF RIDGE

EXISTING

○ SOUTH ELEVATION

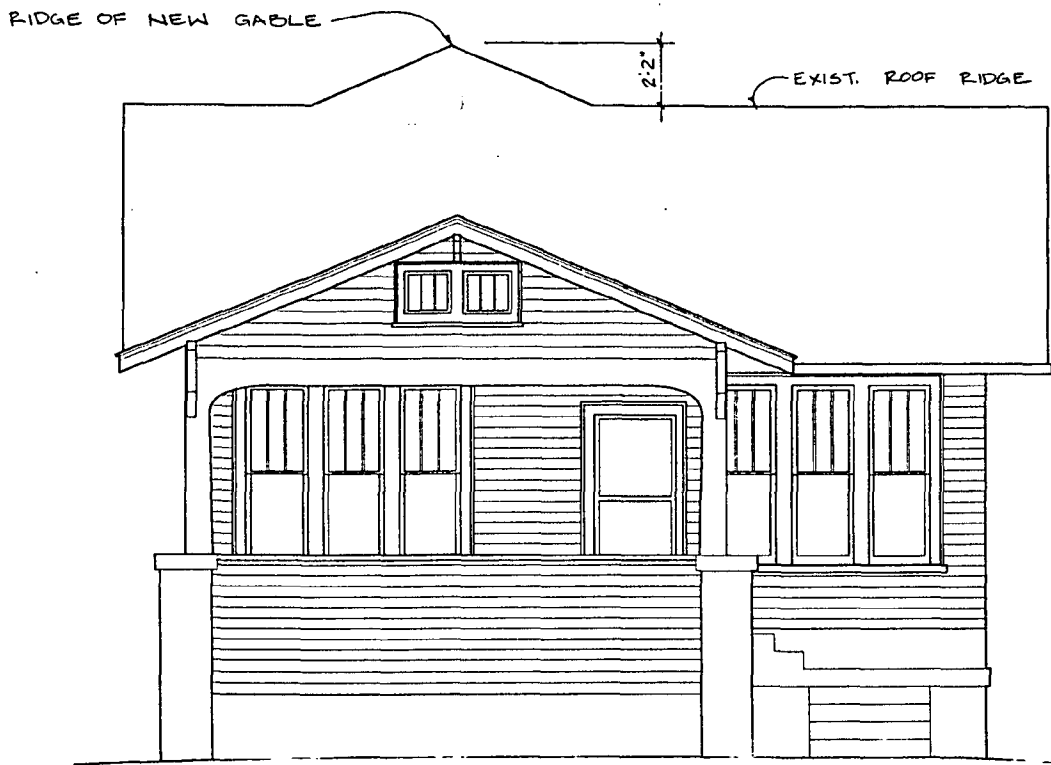


7312 WILLOW AVENUE
 HUGHES/RAIN RESIDENCE
 ELEVATIONS
 6 JULY 1999

BRIAN ROGERS HUNT, R.A.
ARCHITECTURE

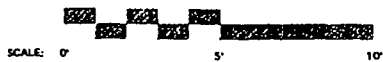
2647 CONNECTICUT AVENUE, N. W. SUITE 200
 WASHINGTON, DISTRICT OF COLUMBIA 20008
 202.986.2809 FAX 202.986.2729

12



PROPOSED

○ SOUTH ELEVATION

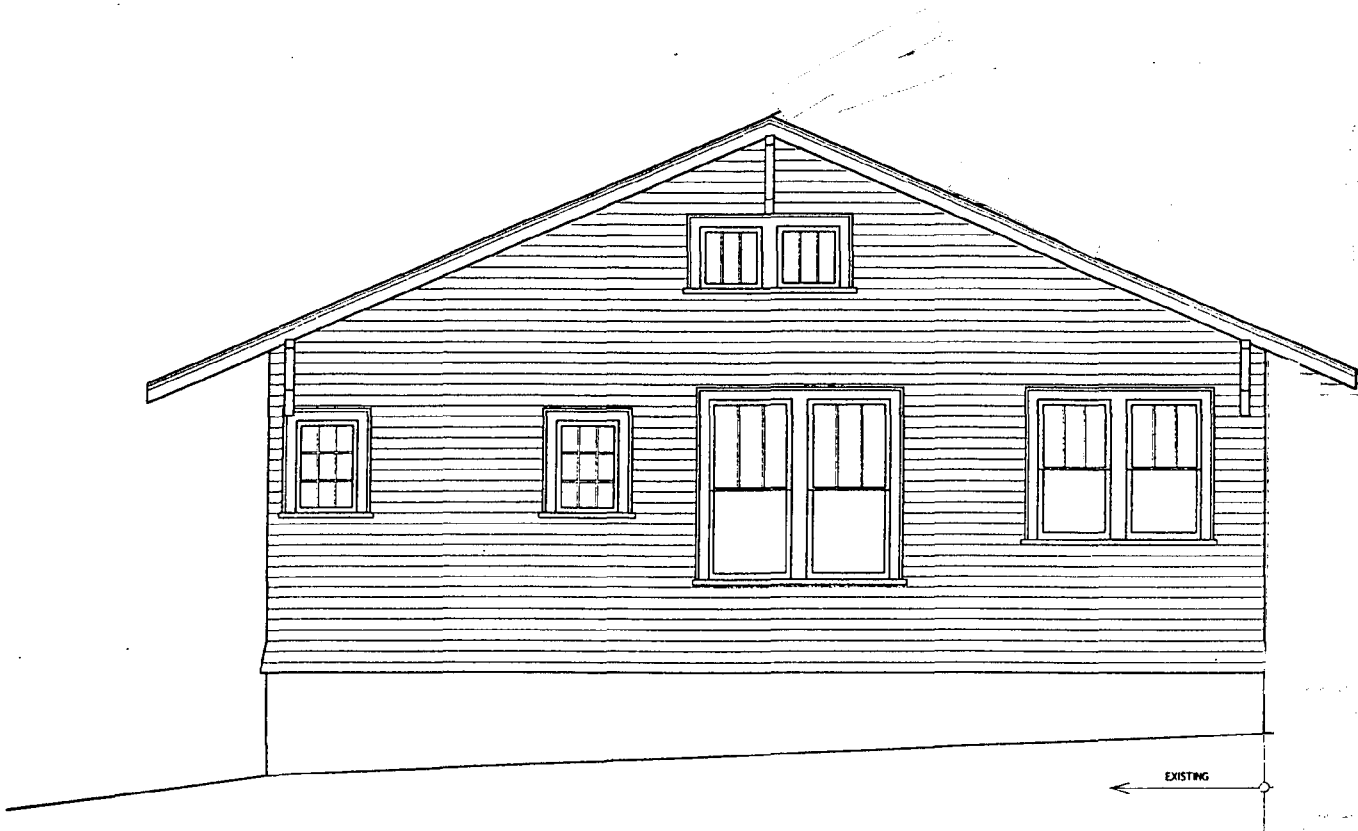


7312 WILLOW AVENUE
 HUGHES/RAIN RESIDENCE
 ELEVATIONS
 6 JULY 1999

BRIAN ROGERS HUNT, R.A.
ARCHITECTURE

2647 CONNECTICUT AVENUE, N. W. SUITE 200
 WASHINGTON, DISTRICT OF COLUMBIA 20008
 202.986.2809 FAX 202.986.2729

13



○ EAST ELEVATION



SCALE: 0' 5' 10'

EXISTING



14

7312 WILLOW AVENUE
HUGHES/RAHN RESIDENCE
ELEVATIONS
14 JUNE 1999

BRIAN ROGERS HUNT, RA
ARCHITECTURE

2647 CONNECTICUT AVENUE, N. W. SUITE 200
WASHINGTON, DISTRICT OF COLUMBIA 20008
202.986.2809 FAX 202.986.2729



 EAST ELEVATION

 SCALE: 0' 5' 10'

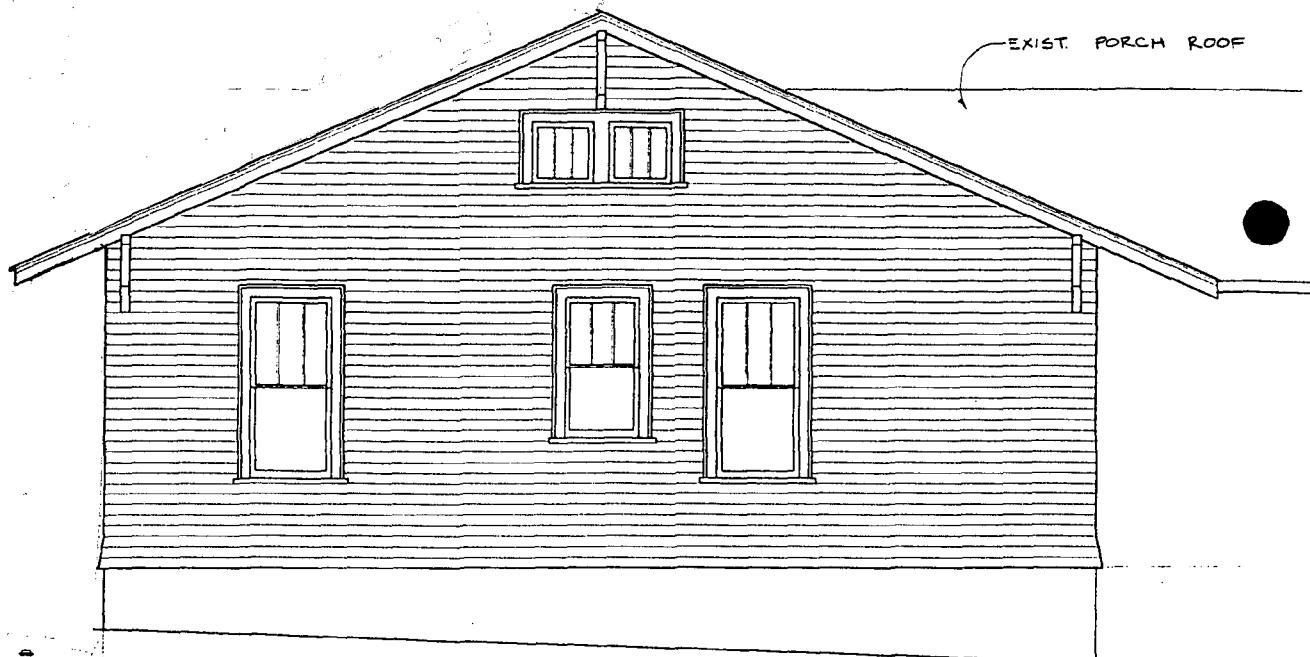
PROPOSED

15

7312 WILLOW AVENUE
 HUGHES/RAHN RESIDENCE
 ELEVATIONS
 14 JUNE 1999

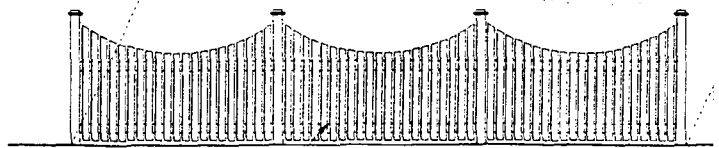
BRIAN ROGERS HUNT, RA
ARCHITECTURE

 2647 CONNECTICUT AVENUE, N. W. SUITE 200
 WASHINGTON, DISTRICT OF COLUMBIA 20008
 202.986.2809 FAX 202.986.2729

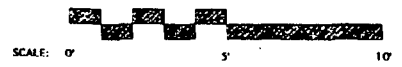


WEST ELEVATION

EXISTING →



WOOD FENCE (PAINTED)



SCALE: 0' 5' 10'

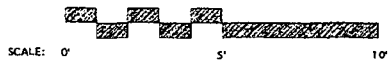
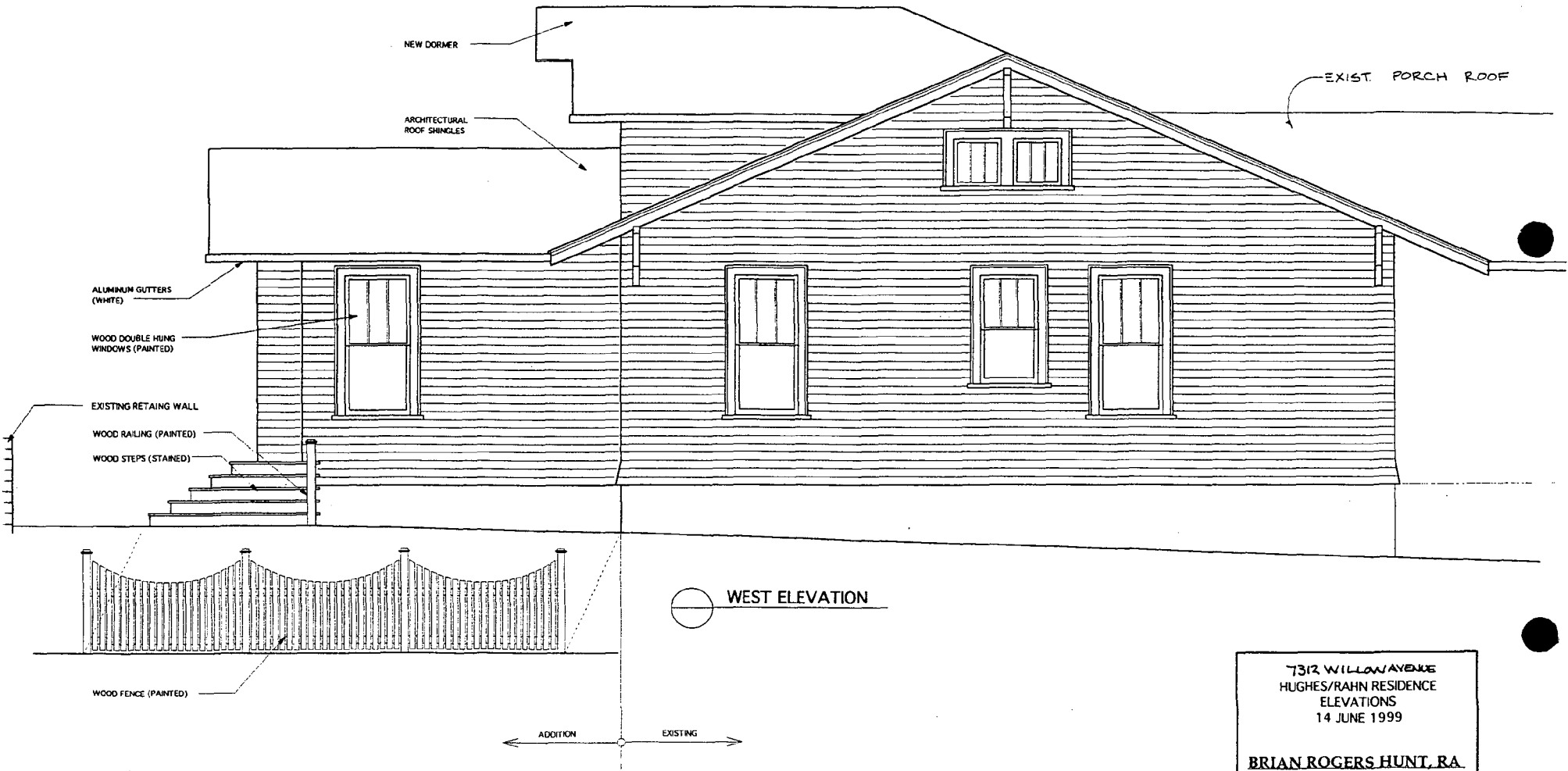
EXISTING

7312 WILLOW AVENUE
HUGHES/RAHN RESIDENCE
ELEVATIONS
14 JUNE 1999

**BRIAN ROGERS HUNT, RA.
ARCHITECTURE**

2647 CONNECTICUT AVENUE, N. W. SUITE 200
WASHINGTON, DISTRICT OF COLUMBIA 20008
202.986.2809 FAX 202.986.2729

16



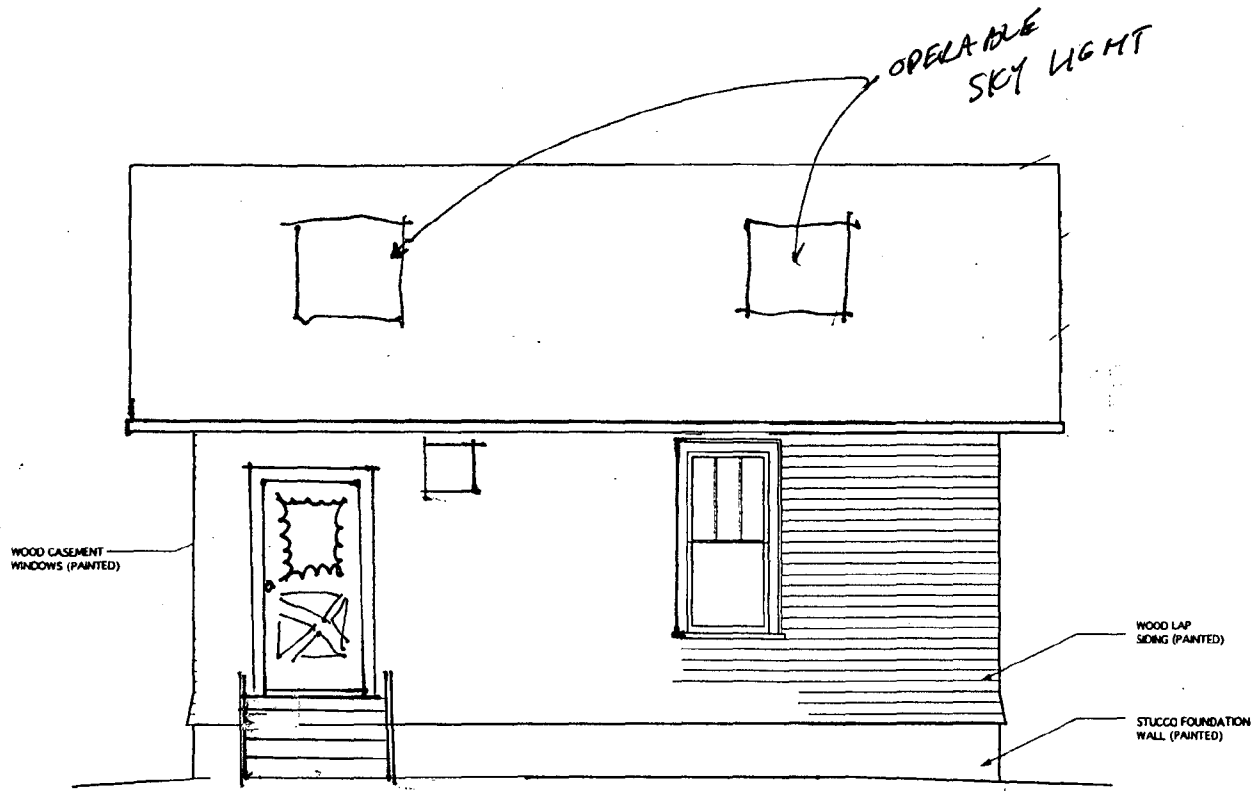
Proposed

7312 WILLOWAYENUE
 HUGHES/RAHN RESIDENCE
 ELEVATIONS
 14 JUNE 1999

BRIAN ROGERS HUNT, R.A.
ARCHITECTURE

2647 CONNECTICUT AVENUE, N. W. SUITE 200
 WASHINGTON, DISTRICT OF COLUMBIA 20008
 202.986.2809 FAX 202.986.2729

14




 NORTH ELEVATION



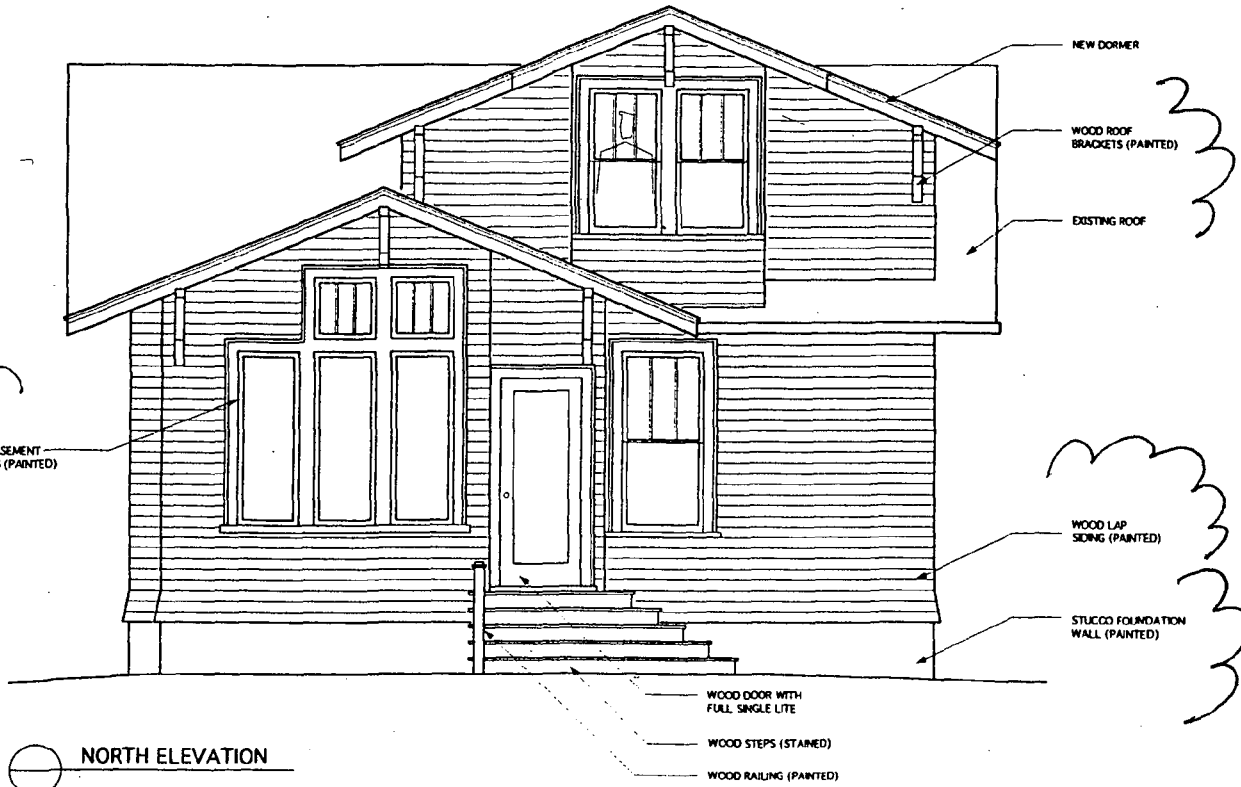
EXISTING REAR
 ELEVATION

7512 WILLOW AVENUE
 HUGHES/RAHN RESIDENCE
 ELEVATIONS
 14 JUNE 1999

BRIAN ROGERS HUNT, R.A.
ARCHITECTURE

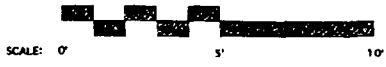
2647 CONNECTICUT AVENUE, N. W. SUITE 200
 WASHINGTON, DISTRICT OF COLUMBIA 20008
 202.986.2809 FAX 202.986.2729

18



materials

NORTH ELEVATION



7312 WILLOW AVENUE
 HUGHES/RAHN RESIDENCE
 ELEVATIONS
 14 JUNE 1999

BRIAN ROGERS HUNT, R.A.
ARCHITECTURE

2647 CONNECTICUT AVENUE, N. W. SUITE 200
 WASHINGTON, DISTRICT OF COLUMBIA 20008
 202.986.2809 FAX 202.986.2729

61

7312 WILLOW AVENUE

TAKOMA PARK, MD



PHOTO NO. 1

FRONT ELEVATION VIEWED FROM WILLOW AVENUE

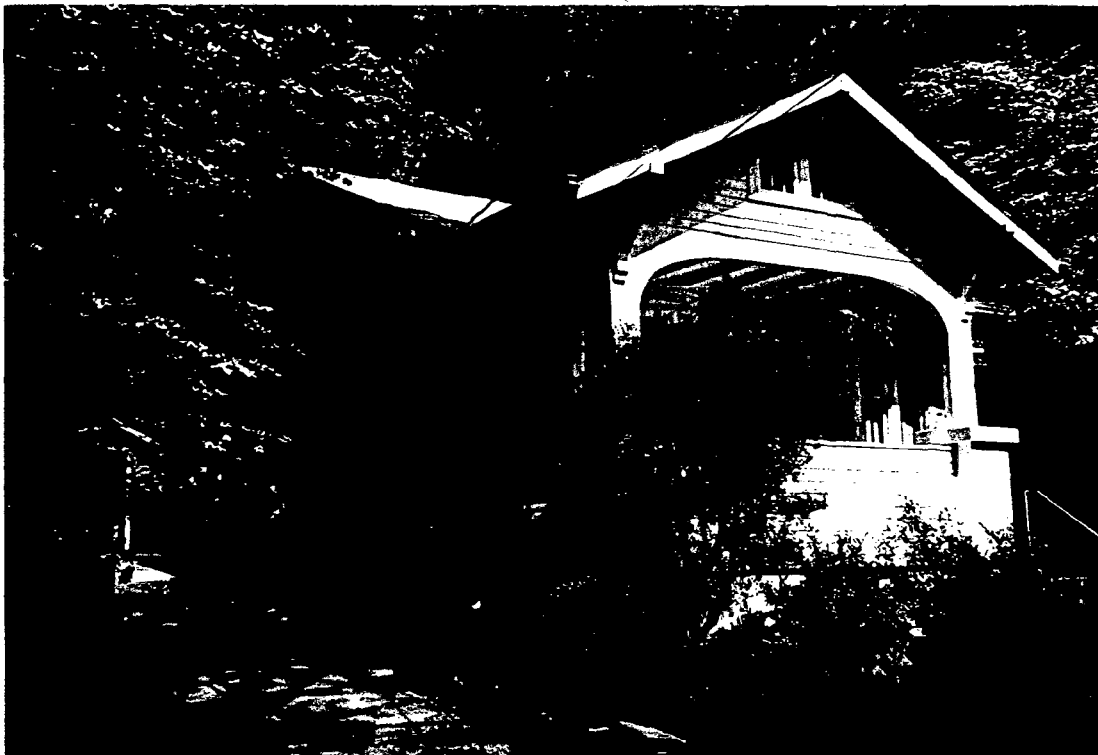


PHOTO NO. 2

FRONT AND SIDE ELEVATION

20

7312 WILLOW AVENUE

TAKOMA PARK, MD



PHOTO NO. 3

REAR AND SIDE ELEVATIONS

7312 WILLOW AVENUE

TAKOMA PARK, MD



PHOTO NO. 1

FRONT ELEVATION VIEWED FROM WILLOW AVENUE



PHOTO NO. 2

FRONT AND SIDE ELEVATION

7312 WILLOW AVENUE

TAKOMA PARK, MD



PHOTO NO. 3

REAR AND SIDE ELEVATIONS

BRIAN ROGERS HUNT, R.A.
A R C H I T E C T U R E

2647 CONNECTICUT AVENUE, N.W. SUITE 200
WASHINGTON, DISTRICT OF COLUMBIA 20008
202.986.2809 FAX 202.986.2729

1 side
013

Mark Clayton from
B Hunt's office brought
plans by to be stamped
included new skylight
-I deleted it, said to
ask for revision -
He will be sending
you a letter -
Perry 909.298

