

47/4-00JJ 59 Walnut Avenue  
(Takoma Park Historic District)

11-6

9/18

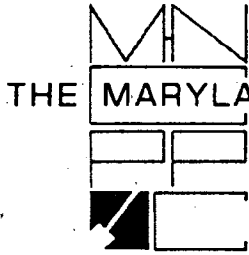
11:30

Perry - (301-270-5876)

Call Jane Casley re:

her neighbor at 59 Walnut  
(# 3713-0055) on Aug 16 HPC.

They have put up a 3-  
storey frame when their  
HAPP was for a patio +  
landscaping




THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

August 16, 2000

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation 

SUBJECT: Historic Area Work Permit

HPC Case No. 37/3-00JJ

DPS # 224976

---

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit.

**\*\*\*HPC Staff must review and stamp the construction drawings prior to application for a building permit with Department of Permitting Services.\*\*\***

This application was:

  xx   APPROVED

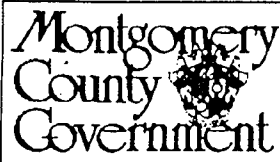
           APPROVED WITH CONDITIONS:

Please note that the building permit for this project will be issued conditional upon adherence to the approved Historic Area Work Permit (HAWP) to:

Applicant: **Larry Zarker**

Address: **59 Walnut Avenue, Takoma Park**

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: Department of Environmental Protection  
 Division of Development Services and Regulation  
 250 Hungerford Drive, Rockville, Maryland 20850  
 (301) 217-6370

**Historic Preservation Commission**  
 (301) 495-4570

**APPLICATION FOR  
 HISTORIC AREA WORK PERMIT**

CONTACT PERSON HOLT JORDAN  
 DAYTIME TELEPHONE NO. (202) 737 0451  
 TAX ACCOUNT # \_\_\_\_\_  
 NAME OF PROPERTY OWNER LARRY ZARKEZ DAYTIME TELEPHONE NO. (301) 270-4767  
 ADDRESS 59 WALNUT AVE. TAKOMA PARK MD 20912  
CITY STATE ZIP CODE  
 CONTRACTOR \_\_\_\_\_ TELEPHONE NO. ( ) \_\_\_\_\_  
 CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_  
 AGENT FOR OWNER HOLT JORDAN DAYTIME TELEPHONE NO. (202) 737 0451

LOCATION OF BUILDING/PREMISE  
 HOUSE NUMBER 59 STREET WALNUT AVE.  
 TOWN/CITY TAKOMA PARK NEAREST CROSS STREET W. MORELAND  
 LOT 21 BLOCK 17 SUBDIVISION PINECREST  
 LIBER \_\_\_\_\_ FOUO \_\_\_\_\_ PARCEL \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CIRCLE ALL APPLICABLE: Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove  
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other LANDSCAPING  
 1B. CONSTRUCTION COST ESTIMATE \$ 15,000  
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. TYPE OF SEWAGE DISPOSAL 01 ( ) WSSC 02 ( ) SEPTIC 03 ( ) OTHER \_\_\_\_\_  
 2B. TYPE OF WATER SUPPLY 01 ( ) WSSC 02 ( ) WELL 03 ( ) OTHER \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

[Signature] \_\_\_\_\_ 7/24/00  
Signature of owner or authorized agent Date

APPROVED X \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature [Signature] Date 8/16/00

APPLICATION/PERMIT NO: 224976 DATE FILED: \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_

37/3-00JJ

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS  
MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED LETTER

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED LETTER

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

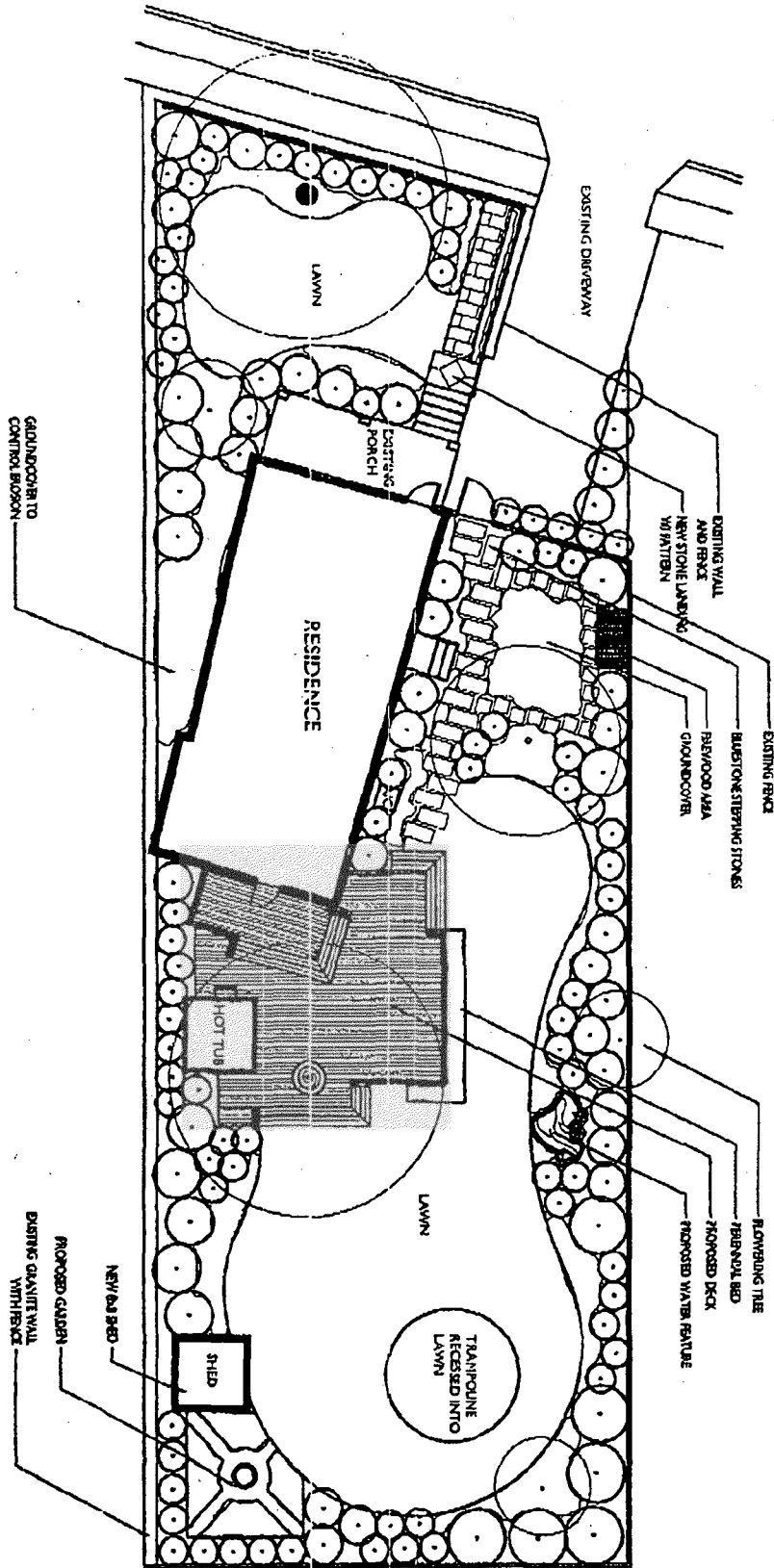
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.

5



APPROVED  
 Historic Preservation Commission  
 8/16/00

Master Plan

Zarker/Braden Residence

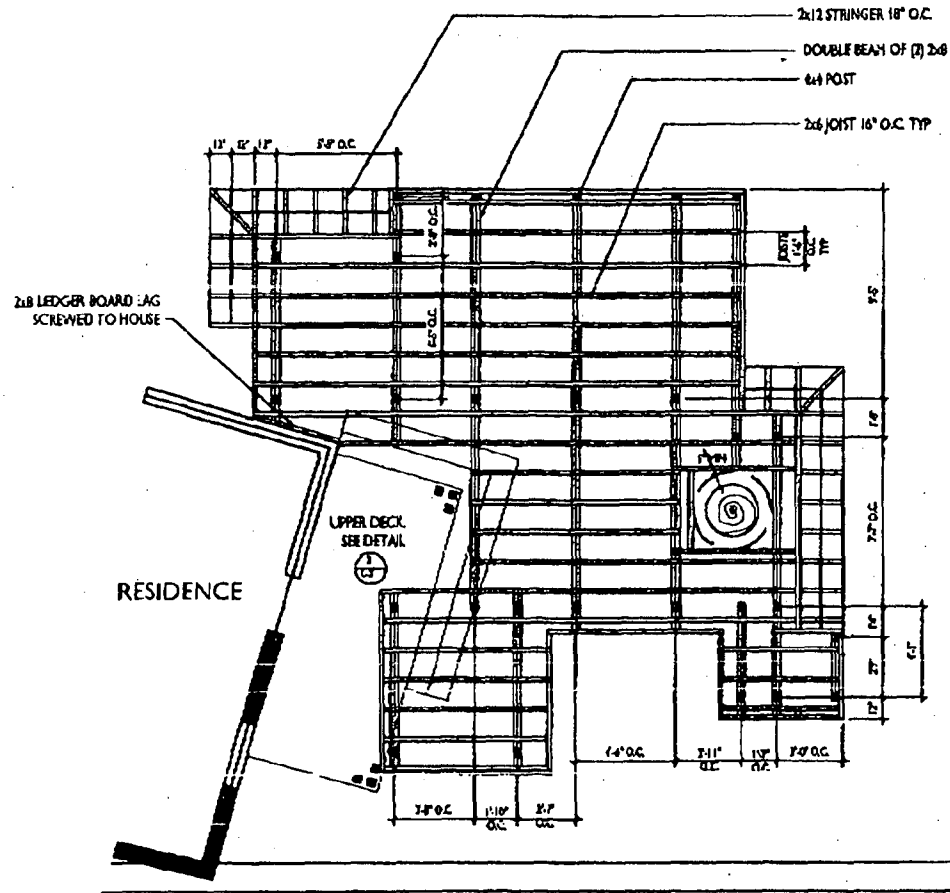
59 WALNUT AVENUE  
TAKOMA PARK, MD

Scale: 1/8" = 1'-0" NTS  
Date: 7.22.00  
Revisions:

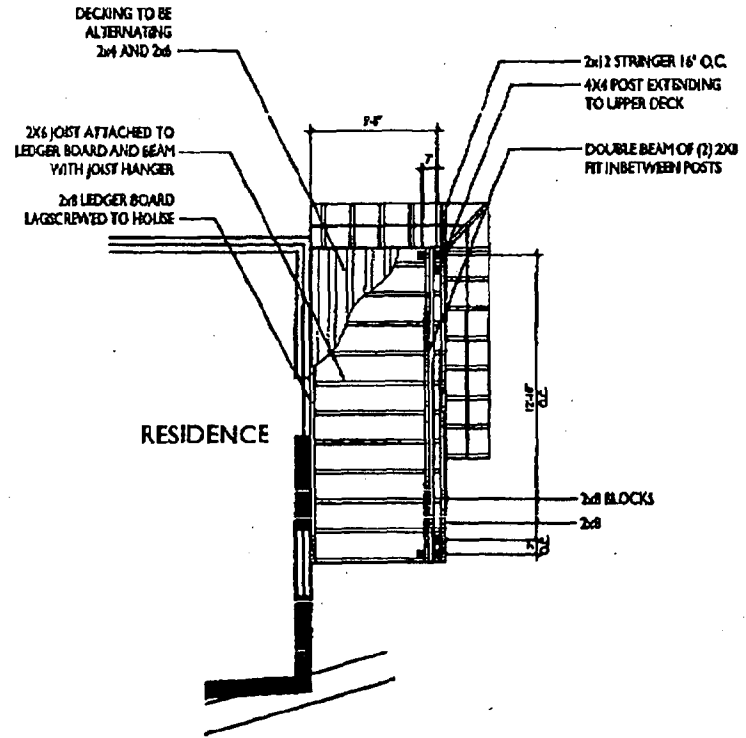


Jordan Honeyman  
LAND ARCHITECTURE  
1000 17th Street NW  
Washington, DC 20036  
202-737-0452  
www.jordanhoneyman.com

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
 8/16/00



1 LOWER DECK LAYOUT PLAN

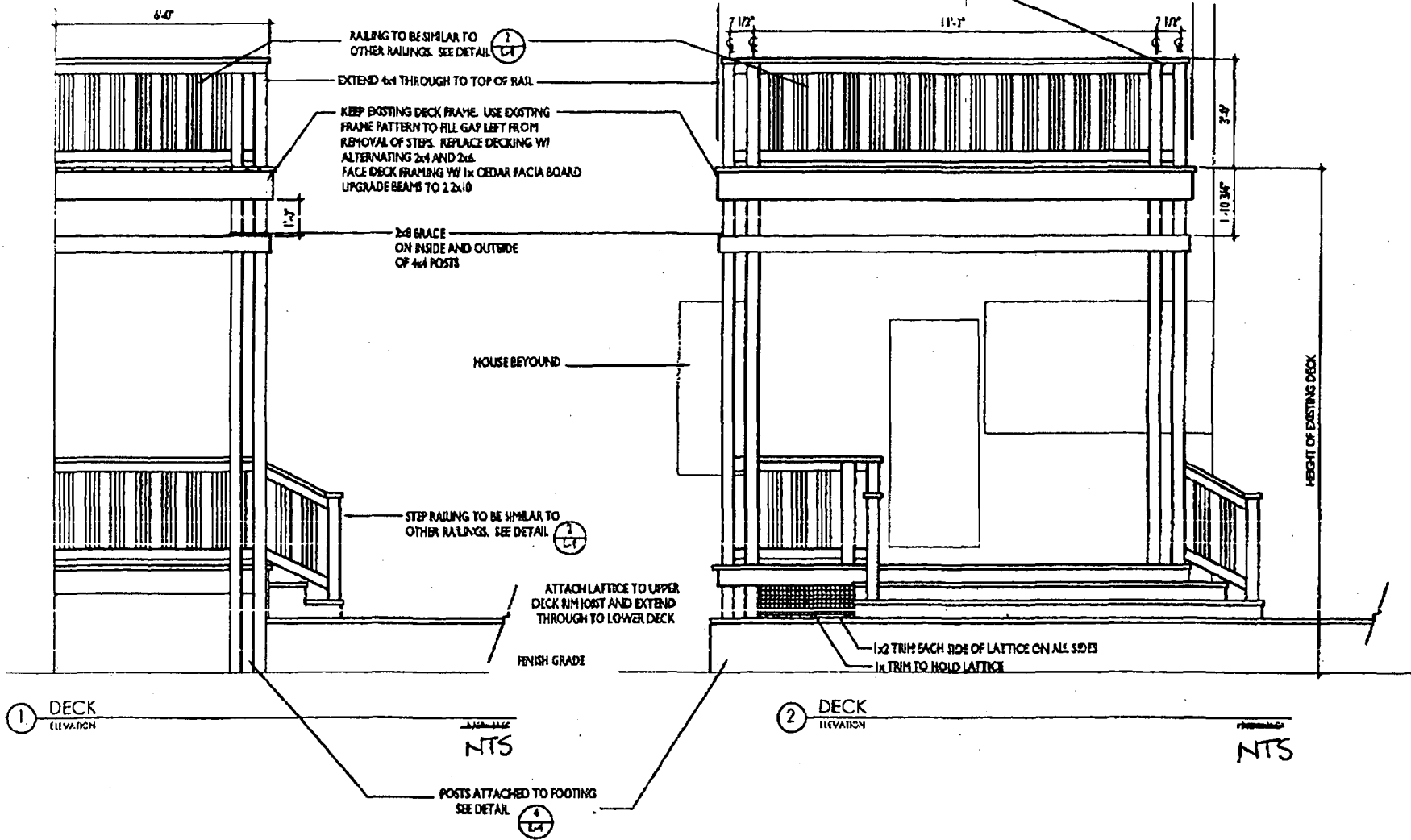


2 UPPER DECK FRAMING & LAYOUT PLAN

NOT TO SCALE

6

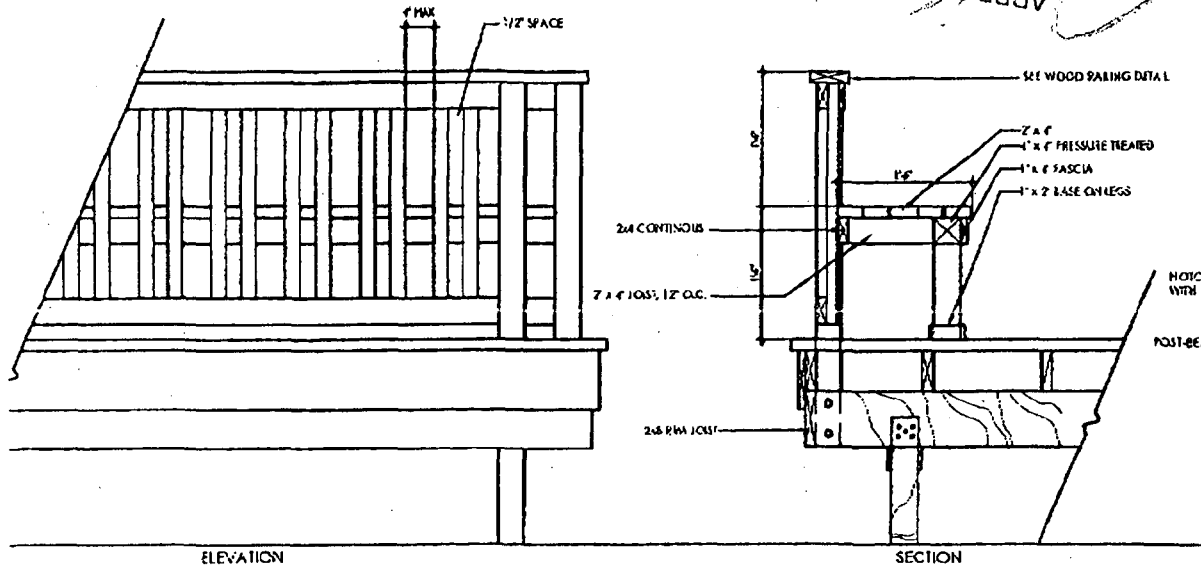
APPROVED  
HIGHLAND PROBATION COMMISSION  
Highland Probation Commission



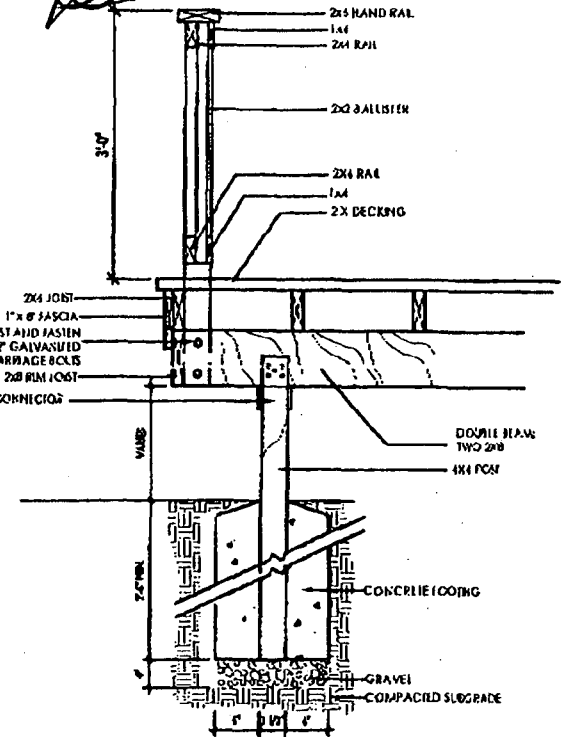
7



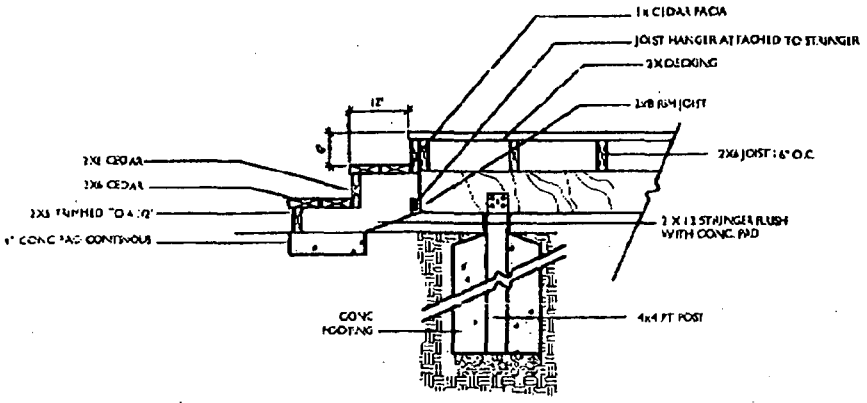
APPROVED  
Montgomery County  
Historic Preservation Commission



1 WOOD BENCH  
ELEVATION AND SECTION

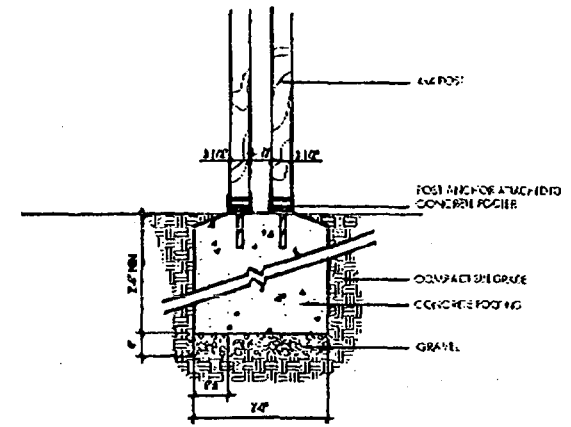


2 WOOD RAILING, POST, AND FOOTING  
SECTION



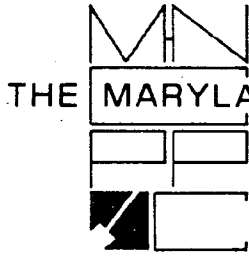
3 DECK STEPS  
SECTION

NOT TO SCALE



4 DECK POST FOOTER  
SECTION

8




THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

August 16, 2000

**MEMORANDUM**

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section 

SUBJECT: Historic Area Work Permit Application  
Approval of Application /Release of Other Required Permits

HPC Case No. 37/3-00JJ

DPS # 224979

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) for approval.

You may now apply for a county building permit at Department of Permitting Services (DPS) at 255 Rockville Pike, 2<sup>nd</sup> Floor, Rockville. **Before applying, please be sure that any permit sets of construction drawings have been reviewed and stamped by HPC Staff.** We are located at 1109 Spring Street, Suite 801, Silver Spring.

When you file for your building permit with DPS, you must take with you: 1) the enclosed forms, 2) the stamped sets of construction drawings, and 3) the Historic Area Work Permit if one was mailed directly to you from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience – and good luck with your project!



RETURN TO: Department of Environmental Protection  
 Division of Development Services and Regulation  
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 (301) 217-6370

**Historic Preservation Commission**  
 (301) 495-4570

**APPLICATION FOR  
 HISTORIC AREA WORK PERMIT**

CONTACT PERSON HOLT JORDAN  
 DAYTIME TELEPHONE NO. (202) 737 0451

TAX ACCOUNT # \_\_\_\_\_  
 NAME OF PROPERTY OWNER LARRY ZACKER DAYTIME TELEPHONE NO. (301) 270-4767

ADDRESS 59 WALNUT AVE. TAKOMA PARK MD 20912  
CITY STATE ZIP CODE

CONTRACTOR \_\_\_\_\_ TELEPHONE NO. ( ) \_\_\_\_\_  
 CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_

AGENT FOR OWNER HOLT JORDAN DAYTIME TELEPHONE NO. (202) 737 0451

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 59 STREET WALNUT AVE.  
 TOWN/CITY TAKOMA PARK NEAREST CROSS STREET W. MORELAND  
 LDT 21 BLOCK 17 SUBDIVISION PINECREST  
 LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition  
 Construct Extend Alter/Renovate Repair Move Porch  Deck  Fireplace  Shed Solar Woodburning Stove  
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other LANDSCAPING

1B. CONSTRUCTION COST ESTIMATE \$ 15,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

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[Signature] Signature of owner or authorized agent 7/24/00 Date

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

APPLICATION/PERMIT NO: 234916 DATE FILED: \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

9

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10

Historic Preservation Commission  
Montgomery County, MD  
Braden / Zarker Residence  
July 24, 2000

LIST OF PHOTOGRAPHS

1. Perspective front image of 59 Walnut Avenue.
2. Perspective rear image of 59 Walnut Avenue.
3. Photo of rear steps to be removed and replaced with new deck

LIST OF CONFRONTING & ADJACENT PROPERTY OWNERS

Anne-Mari Gemmill & Mitchell Ratner  
6814 Westmoreland Avenue  
Takoma Park, MD 20912

Steve Morse & Jamie Casey  
57 Walnut Ave  
Takoma Park, MD 20912

Resident  
61 Walnut Ave.  
Takoma Park, MD 20912

Sean Marrett & Lisa Thitch  
64 Walnut Avenue  
Takoma Park, MD 20912

CONTRIBUTING RESOURCE

July 24, 2000

Historic Preservation Commission  
Montgomery County, MD  
250 Hungerford Drive  
Rockville MD 20850

**JORDAN  
HONEYMAN**  
Landscape Architecture

1003 K Street NW  
Suite 840  
Washington DC 20001  
202.737.0451  
202.737.0452 FAX

Re: Susan Braden & Larry Zarker Residence  
59 Walnut Street  
Takoma Park, MD 20912

Dear Commissioners & Staff:

Below is the project description for the Braden / Zarker Residence in Takoma Park Historic District. It is as follows:

Front yard

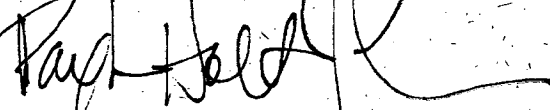
1. Remove and replace existing concrete walk and replace with flagstone
2. Install new plantings.

Side yard and Back garden

1. Build new deck adjacent to house and around existing elm tree.
2. Remove exiting deck steps and rail. Install new rails, support posts & decking
3. Plant new plantings
4. Install new stepping stones
5. Provide new Utility Shed

Thank you for your consideration. Please call if you have any questions and I look forward to seeing you August 16th.

Sincerely,  
Jordan Honeyman  
Landscape Architecture



Paxton Holt Jordan, ASLA  
Partner

enclosure:

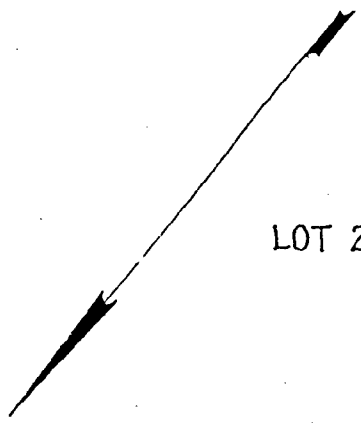
11

Zurkev/Briden

LOT 2

N 45° 00' 00" E ~ 50.00'

NOTE:  
PROPERTY PREDATES  
MODERN DAY ZONING.



LOT 22

LOT 21

NEW 8x8 SHED

LOT 20

NEW DECK W/ HOTTUB

WOOD STOOP

BLDG. CORNER ON R

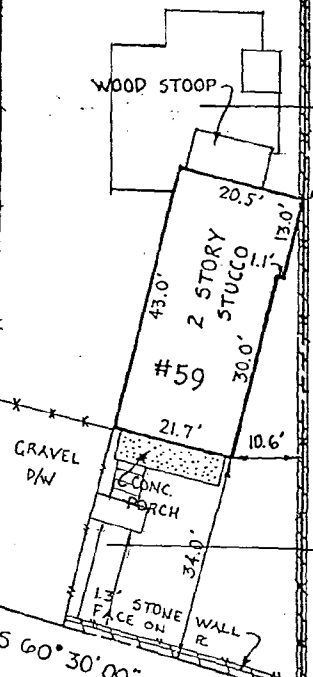
139.40'

N 45° 00' 00" W

R 15' E  
1.3' STONE WALL

153.70'

S 45° 00' 00" E



NEW WALK

5 60° 30' 00" ~ 52.00'  
WALNUT AVENUE

LOT 21 BLOCK 17  
PART OF PINECREST SUBDIVISION

Surveyor's Certification

I hereby certify that the survey shown hereon is correct and that the location of the improvements shown hereon is correct and that there are no visible encroachments unless noted otherwise. Fence lines (if shown) are approximate locations. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Do not attempt to use this survey for the purpose of constructing improvements. This property does not lie within a 100 year flood plain according to HUD-FIA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

2-16-93  
Date

*Stephen J. Wenthold*  
Stephen J. Wenthold  
Maryland RLS Reg. No. 10767

NO TITLE REPORT FURNISHED

Scale: 1" = 30'  
Plat Book: 2  
Plat No.: 145  
Work Order: 93-0401

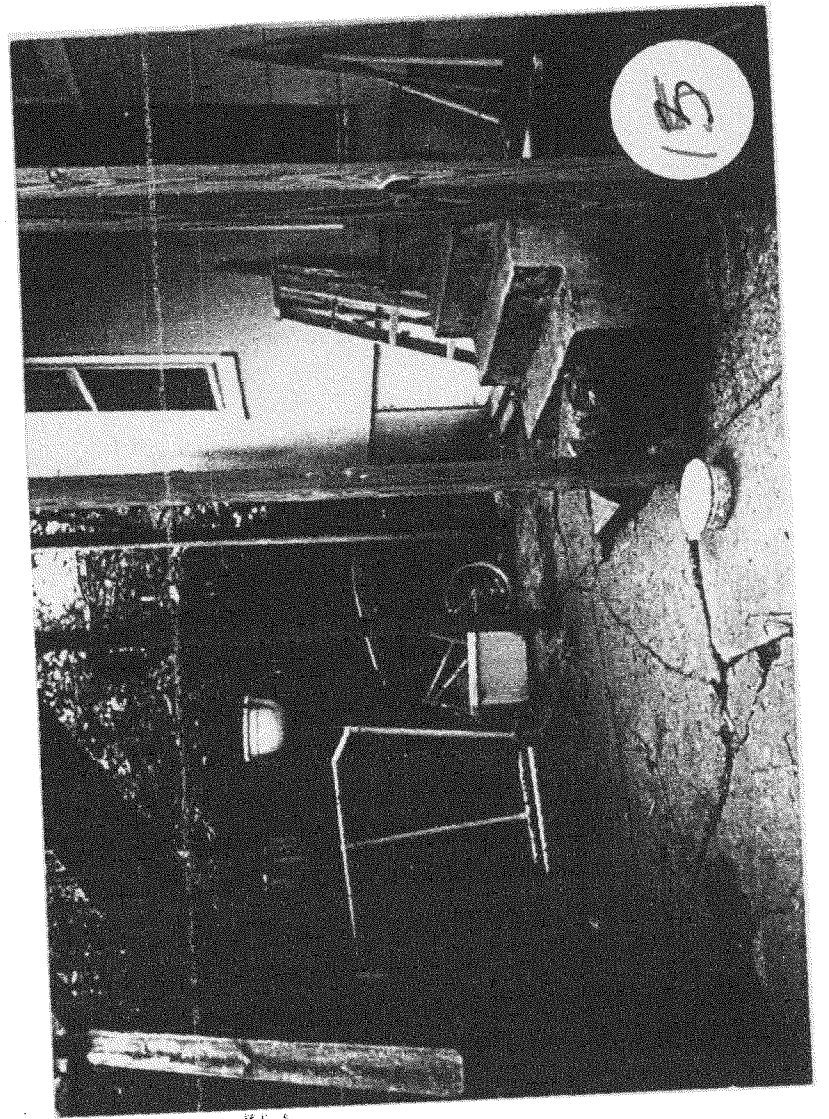
Property: 59 WALNUT AVENUE  
Address:  
Election District # 13  
Jurisdiction: MONTGOMERY COUNTY, MARYLAND

MS  
12  
Meridian Surveys,  
2401 Research Boulevard  
Suite 380  
Rockville MD, 20850  
(301) 840-0025



14





↑ (3)

***EXPEDITED***  
**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	59 Walnut Avenue, Takoma Park	<b>Meeting Date:</b>	08/16/00
<b>Applicant:</b>	Larry Zarker	<b>Report Date:</b>	08/09/00
<b>Resource:</b>	Takoma Park Historic District	<b>Public Notice:</b>	08/02/00
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	37/3-00JJ	<b>Staff:</b>	Perry Kephart

**PROPOSAL:** Shed, deck, landscape modifications

**RECOMMENDATION:** Approve.

---

**DATE OF CONSTRUCTION:** 1910s

**SIGNIFICANCE:**

- Individual Master Plan Site  
 Within a Master Plan Historic District  
 Primary Resource  
 Contributing Resource  
 Non-contributing/Out-of-Period Resource

**ARCHITECTURAL DESCRIPTION:** Two-story, front-gabled, three-bay, stucco-clad Colonial Revival Residence with full-width front porch. There is an existing 2<sup>nd</sup>-story rear deck and stairway down to grade, both made of unpainted pressure-treated lumber. Below is a small wooden stoop with steps leading from the back door down to grade.

**PROPOSAL:** The applicant proposes to:

1. Repave the existing concrete front walk with flagstones.
2. Remove the stairs leading from the second floor deck.
3. Install a railing at the opening and modify the old deck and railing with new rails, support posts and new decking.
4. Build a new ground level deck at the rear of the house.
5. Install stepping stones from the new deck to the front yard.
6. Install an 8x8 utility shed at the right rear of the property - the design and materials to be approved by staff.

**RECOMMENDATION:**

①

Approval  
 Approval with conditions:

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

### Policy On Use of Expedited Staff Reports for Simple HAWP Cases

This policy is developed with the understanding that:

- I. The HPC's policy regarding in-kind replacements has not changed, that is, all replacements of exterior features with exactly matching materials may be done without a HAWP.
- II. Staff will continue to notify Local Advisory Panel (LAP), and adjacent and confronting owners of all HAWP applications and, if a neighbor or the LAP is known to object to a proposal, the Expedited Staff Report will not be used.
- III. If, because of the specifics of the case, staff is uncertain whether the Expedited Staff Report format is appropriate, or if an applicant requests it, the Standard Staff Report will be used.
- IV. The Expedited Staff Report format may be used on the following type of cases:
  1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.
  2. Modifications to a property which do not significantly alter its visual character. These include, but are not limited to:
    - A. Repair or replacement of masonry foundations with new materials that match the original closely.
    - B. Installation of vents, venting pipes, and exterior grills.
    - C. New installation of gutters.
  4. Removal of asbestos, asphalt, or other artificial siding when the original siding is to be repaired, and, where necessary, replaced in kind.
  5. Removal of accessory building that are not original to the site or otherwise historically significant.
  6. Replacement of missing architectural details, provided that at least one example of the detail to be replaced exists on the house, and/or physical or documentary evidence exists that illustrates or describes the missing detail or details.
  7. Signs that are in conformance with all other County sign regulations.

8. Construction of wooden decks that are at the rear of a structure and are not readily visible from a public right-of-way. This applies to all categories of resources: Outstanding, Contributing, Individually Designated Sites, or Non-contributing.
9. Replacement of roofs on non-contributing or out-of-period building, as well as new installation of historically appropriate roofing materials on outstanding and contributing buildings..
10. Installation of exterior storm windows or doors that are compatible with the historic site or district in terms of material or design.
11. Construction of fences that are compatible with historic site or district in terms of material, height, location, and design. Requests for fences higher than 48" to be located in the front yard of a property will not be reviewed using an Expedited Staff Report.
12. Construction or replacement of walkways, parking areas, patios, driveways or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.
13. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.
14. Construction or replacement of storage and small accessory buildings that are not readily visible from a public right-of-way.
15. Landscaping, or the removal or modification of existing planting, that is compatible with the visual character of the historic site or district.









# Solar-Powered Homes on Display in 11th Annual Tour

ENERGY, From H1

dows not only help bring sun into the house for warmth, but also allow in so much light that electric lights are almost never needed during the daytime. Ginny Stevak even installed a glass-block window between an interior bathroom and an adjoining room to let in light.

"It's a modern house, that's what people see," she said. "But just by looking at it from the outside, they don't know it's a passive solar home."

Even other solar energy advocates may not recognize the form of heating in Steve Gorman's McLean home. Aluminum cans filled with wax line the inside of the master bedroom's cement walls. As the sun warms the wax, it gets hot and melts. The warmth is trapped into walls and radiated into the home.

"I'm probably the only one in the world who heats like this," said Gorman, who is a statistician with the Education Department. "During that ice storm a couple years ago, our house stayed at 70 degrees even without electricity."

Heat is also drawn into the house from an attached greenhouse. Gorman controls access between the two areas with a garage door opener.

After Gorman's third child was born eight years ago, he put the solar-heated



BY PAUL CORBIT BROWN FOR THE WASHINGTON POST

**Mike Tidwell reads to 4-year-old Sasha as his wife, Catherine Varchaver, relaxes in their solar-powered, corn-heated home.**

master-bedroom addition onto the house.

"I've approached this more in terms of environmental worries than in terms of cutting my bills. I wanted to leave a legacy for

our kids. I wanted to do my part so that the we're not digging up the Arctic for oil," he said.

In January, after a United Nations-spon-

sored Intergovernmental Panel on Climate Change predicted planetary warming of as much as 10.4 degrees by 2100, he decided to cut his home's carbon dioxide emissions.

Tidwell estimated that between using solar electricity and hot water and replacing his furnace with a new stove that burns shelled corn, the house reduced by 90 percent the greenhouse gases it generates in Takoma Park and, indirectly, at the power plant by 90 percent.

Before he started retrofitting his house, he worked to significantly cut electricity use with such measures as buying a highly efficient refrigerator and replacing his conventional light bulbs with compact fluorescent, which use far less power.

"We are ferocious about turning off lights when we leave a room. But we're not living in the dark ages. We have a computer, we have cordless phones. This is painless," he said.

And although converting homes to solar power may appear prohibitively expensive at first glance, Tidwell said his bargain-basement renovation cost him just 46 cents a day, paid for with a home equity loan.

Tidwell bought a used solar water heating system for \$1,000. He cut the cost of buying the photovoltaic panels by more than half through grants from the federal Energy Department and the state of Maryland, plus a state tax deduction of 15 per-

cent for the purchase of the solar-energy system. He installed the panels himself.

Tidwell figured that between his solar energy generation and the corn stove he'll save \$878 a year in utility bills, offsetting his \$87 in monthly loan payments with \$73 in energy savings.

He believes that if the federal government would cut its subsidies to oil and gas companies and put that money into incentives for renewable energy, it would be within the reach of many households.

"When it really hit me what costs we're going to bear from global warming, I went through a transformation in my thinking of my responsibility to my son, to my community and to the planet," Tidwell said. "I realized changing the energy we use is key to the survival of our species."

*The solar home tour will take place from 11 a.m. to 5 p.m. Oct. 13. Cost: \$15 a couple, \$10 for singles, \$5 for college students, and free for those younger than 18. Those who buy tickets receive a brochure with a map of the homes throughout the District, Maryland and Virginia. Tickets are available at area stores, including Olssons Books and Records in Bethesda and REI in Bailey's Crossroads and College Park. For information, call 202-564-1088; Web site: [www.prsea.org](http://www.prsea.org)*

# Hey Kids! Join Us for the 2nd Marine Corps Marathon™

Saturday,  
October 27  
10:00 a.m.

The Washington Post  
Marine Corps Marathon

Start/Finish Line  
Iwo Jima  
Monument  
Grounds

## Healthy Kids Fun Run



If you're between the ages of 7 and 12 and like to exercise or jog, come out and run in the Marine Corps Marathon Health Kids Fun Run\*, a one-mile fun run, and help the U.S. Marine Corps Reserve collect toys for this year's Toys for Tots Program\*\*. Space is limited. Applicants will be accepted on a first-come, first-served basis\*\*\*.

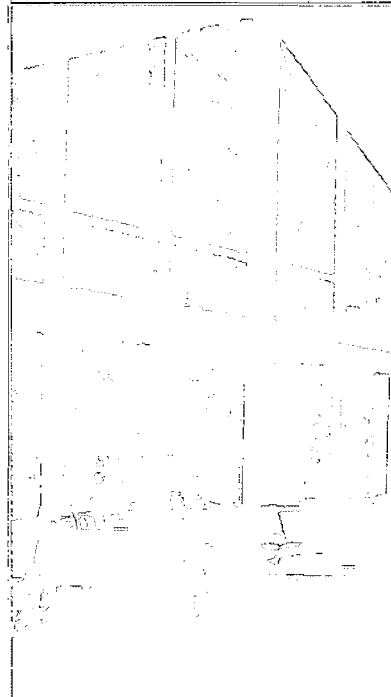
For additional information call  
(703) 784-2225/6, extension 299

The Washington Post



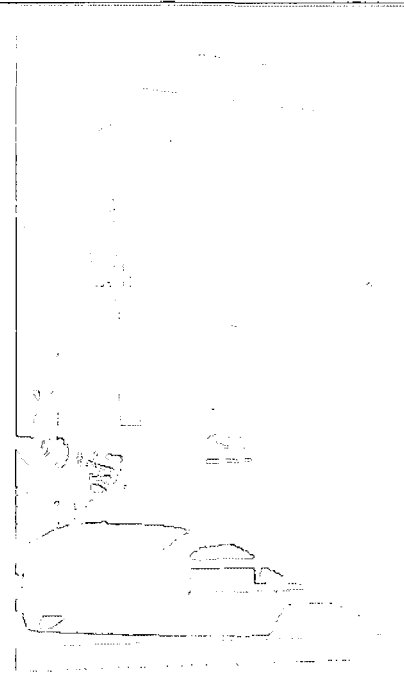
\* Neither Federal nor Marine Corps endorsement of sponsors is implied.  
\*\* The U.S. Marine Corps Toys for Tots Program annually collects new, unwrapped toys to distribute during the holidays to the needy children in our community.  
\*\*\* All applications must have a parent or guardian's signature before they can be accepted.

### DECK HOUSE



1705 Smugglers Run, Annapolis, MD. Directions: From Rt. 50 in Maryland take exit 23 Rt. 450 to Rt. 178 (Parole). Turn onto Rt. 450W/178N. Continue straight on Rt. 178N toward Crownsville for about 2 miles. Turn right onto Old General's Hwy. Turn right onto Sherwood Forrest Rd. Turn right onto Coachway. Turn right onto Smugglers Run. Deck House model is on the right.

### ACORN



3513 Victoria Lane, Davidsonville, MD. Directions: From Capitol Beltway in Maryland, take Route 50 East. From Route 50 exit onto Route 424/Davidsonville Road. Proceed South for approximately 3 miles. Turn right onto Route 214 Central Avenue. Follow Central Avenue for approximately 1/4 mile. Turn left into Cottage Farm Estates on Cottage Farm Way. Turn right onto Victoria Lane. The office is in the Acorn Model Home at the end of the cul-de-sac on the left.

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# REAL ESTATE

**H**  
Mailbag

SATURDAY, OCTOBER 6, 2001

7125 Walnut Ave  
TP.

M6 PG



PHOTOS BY PAUL CORBIT BROWN FOR THE WASHINGTON POST

**Mike Tidwell installed the solar panels on the roof of his house himself. He says solar power greatly reduces his electricity needs.**

## Owners Relying On Alternative Power Systems

By BARBARA RUBEN  
Special to The Washington Post

On a recent Saturday morning, Mike Tidwell's washing machine churned and his cordless phone recharged while his wife, Catherine Varchaver, checked her e-mail. Unlike thousands of other Washington area families doing their weekend chores, the couple paid virtually nothing to Pepco to power their 84-year-old Takoma Park house.

Sunlight streamed onto the 36 black photovoltaic panels on their south-facing roof and was converted into electricity. Sun-warmed water was piped from the roof to an insulated water tank in the basement. And when the chores were done and few appliances were running, the electricity meter whirred backward, sending excess power that was generated to Pepco.

Tidwell and Varchaver's house will be one of 18 showcased in a tour of local solar-powered homes next Saturday. Across the country, hundreds of energy-efficient homes will be on display that day.

The tour is sponsored locally by the Sierra Club, the Potomac Region Solar Energy Association and the Virginia Solar Council. This is the 11th year for the tour, in which some of the owners of solar-powered homes open their doors to demonstrate how they have integrated renewable energy into their lives.

"We want to show people how to design their homes with energy use in mind," said Suzanne Parmelee, who organized the tour and is on the board of the Potomac Region Solar Energy Association. "No two houses on the tour use the same combination of technologies to capture and use the power of the sun."

Ginny Stevak, like Tidwell, heats water with solar energy, but she also uses it to help heat her Friendship Heights house.

Brown foot-square quarry tiles, which resemble the tiles used to pave Metrorail platforms, cover Stevak's open floor-plan kitchen/great room/dining room. As sunlight pours through her windows and sliding glass doors, the tiles absorb its warmth. After the sun sets, the tiles continue to radiate heat.

Stevak and her husband, Mike, built their modern-style, cypress wood home in the late 1970s, when cars waited in long lines at gas stations and President Jimmy Carter extolled the virtue of turning down the thermostat. Her interest in renewable energy began earlier, however. "I've been interested in it since I was in college in the early '60s," Stevak said.

Energy efficiency planning began before the first floorboard was laid. The Stevaks oriented their house to the south so they could capture as much solar energy as possible. They made sure they left tall trees on the house's west side to block the strong afternoon sun in the summer. When the trees shed their leaves in the fall, sun again warms that side of the house.

The Stevaks also paid close attention to window placement. The three sliding glass doors, seven skylights and numerous win-



**A corn-burning stove heats the first floor of the Tidwell home.**

# Free G.E. appliances



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**SALEM FIELDS TOWNHOMES IN SPOTSYLVANIA COUNTY**  
**3-Level Garage and Non-Garage, 3-Bedroom Townhomes in a Beautifully Wooded Community!**

3-bedroom townhomes with community amenities. Take I-66 S. to Exit 130 B (Rte. 3 W). Go approx. 3 mi. to left on Rte. 627 (Cordor Rd.). Continue approx. 2 mi. to community entrance. Make a left onto Salem Fields Blvd. Continue to right on Rappahannock Dr. Make a right onto New Market Ct. Model on left. 1-(800) 876-5652. MRIS# SP3184451.

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**STAFFORD LAKES IN STAFFORD COUNTY**  
**Single-Family Homes with Wooded Homesites Available.**

Spacious homes with 3 or 4 bedrooms and 2 1/2 baths in a spectacular planned community. Homes from 145. Take I-66 S. to Rte. 17 N./Warrenton exit (Exit 133B). Go 3 mi. (1/2 mi. past GoCo) and turn left into the Stafford Lakes community on Village Pkwy. Turn left on Aurelle Dr. Model on right. (540) 752-9711. MRIS# ST2415226.

**\$184,990**

**BRAEMAR TOWNHOMES IN GAINESVILLE**  
**Innovatively Designed 3-Level Townhomes in a Gorgeous Planned Community.**

33 bedroom townhomes. Take I-66 W. to Exit 43 A (Rte. 29 S.). Left on New Linton Hall Rd. Approx. 5 mi. take a right into community on Braemar Pkwy. Approx. 1 mi. take a right on Birchhead Dr. Left on Carm Mountain Way. Left on Selkirk Circle. Model on the right. (703) 551-2354. MRIS# FW5230535.



**\$184,990**

**SOMERSET IN GAINESVILLE**  
**Luxury 22' Garage and Non-Garage Townhomes in Exciting Planned Community.**  
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Spacious, 3-level townhomes with 2 1/2 baths in amenity-filled setting. Take I-66 W. to Exit 43 A Gainesville/Rte. 29 S. Follow Rte. 29 approx. 1 1/4 mi. to a right into Somerset. Follow to Sales Center on left. (703) 551-2071. MRIS# FW3467914.



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**BRAEMAR TOWNHOMES IN GAINESVILLE**  
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**PRE-CONSTRUCTION PRICING!**

Spacious 3-bedroom, 2 1/2 bath townhomes with 3 finished levels and sunroom and morning room as options. Take I-66 W. to Exit 43 A (Rte. 29 S.). Left on New Linton Hall Rd. Go approx. 5 mi. and take a right into community on Braemar Pkwy. Go approx. 1 mi. and make a right on Birchhead Dr. Go left on Carm Mountain Way. Take a left on Selkirk Circle. (703) 551-2354. MRIS# FW471085.



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**Single-Family Homes Near Historic Warrenton.**  
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Affordable homes on 1/4-acre homesites in convenient location. 3-bedroom and 2 1/2 baths. For more information, visit us at our Reserve at Brookside community. From I-66 take Exit 43 A (Rte. 29 S./Gainesville). Follow 5 1/2 mi. to a left onto Ruby Rd. Follow 2 1/2 mi. to a right into the Reserve at Brookside. (540) 439-2000.



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**THE GLEN IN PRINCE WILLIAM COUNTY**  
**3-Level Luxury Garage Townhomes with**

**\$199,990**

**ASHBURN VILLAGE**  
**3-Finished-Level Townhomes with Pool, Tennis, and NEW SECTION NOW AVAILABLE!**

Spacious townhomes with 3 1/2 bedrooms and 2 1/2 baths. Take I-66 N. to Exit 28 N. to a left onto Wax. community entrance. Proceed (nearby) (703) 580-1579 or (703) 580-1579.



**\$204,990**

**RIVERSIDE**  
**Secluded Potomac 1 AND 2**

3-level townhomes with 3 bedrooms and 2 1/2 baths. Located toward Rippon Landing through light into Dawson. Ryan Holmes Sales Center.

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**Single-Family Homes**  
**Handsome single-family homes with 2 1/2 baths and full kitchen. Warrenton Exit (Exit 133B) Information Center on right.**



**\$216,990**

**GRAND CENTRAL**  
**ASHBURN VILLAGE**  
**GRAND CENTRAL**  
**Sing**  
**Home**

Luxury single-family homes with 2 1/2 baths and 2 car garage. Take I-66 S. for 18 mi. left on Rte. 28 N. to a left onto Wax. 1.7/10 mi. to left on Wax.



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**WELLESLEY**  
**3-Level Townhomes**  
**1 MINUTE TO WASHINGTON METRO**

Take I-66 W. to Exit 211 Warrenton. Take a left on Walker Dr. (703) 551-2354. MRIS# FQ3351844.

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**WELLESLEY**  
**3-Level Townhomes**  
**1 MINUTE TO WASHINGTON METRO**  
**3 finished levels, 2 car garage, the Chantilly/McNair Farms Dr.**



**\$249,990**

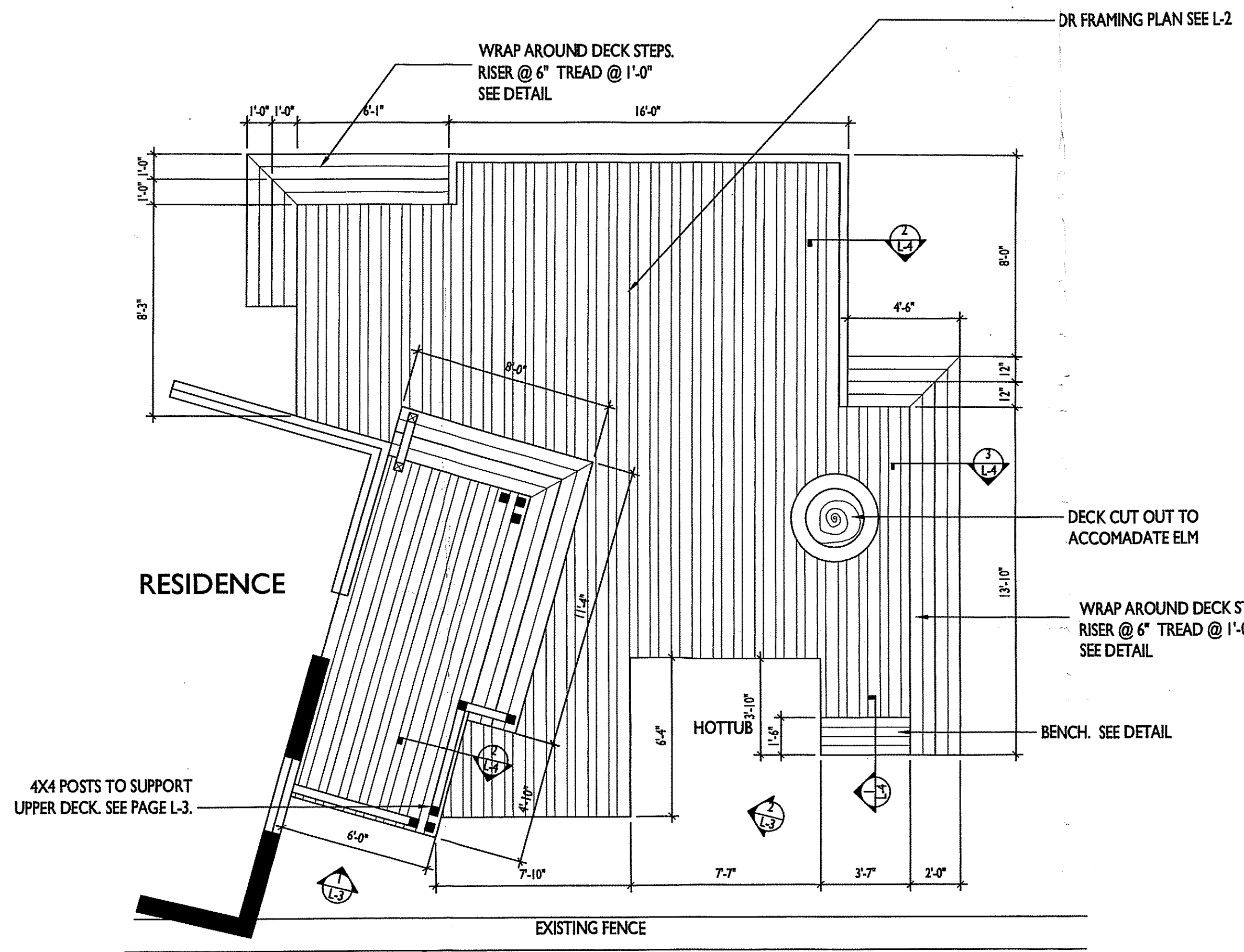


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Revisions:

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59 WALNUT AVENUE  
TAKOMA PARK, MD

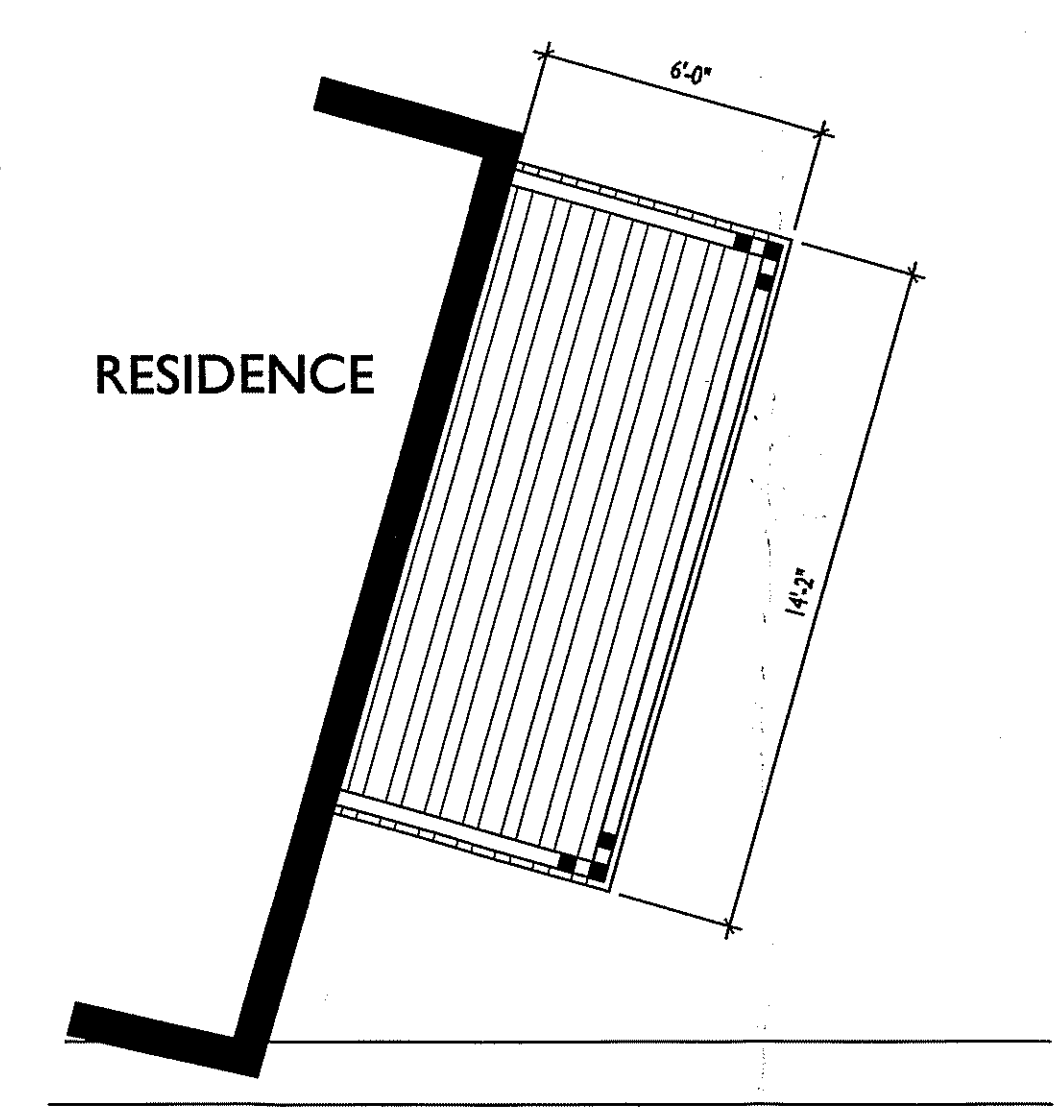
Deck Plan

L-1



1 DECK LAYOUT  
PLAN VIEW

1/4" = 1'-0"



2 SECOND FLOOR DECK LAYOUT  
PLAN

1/4" = 1'-0"

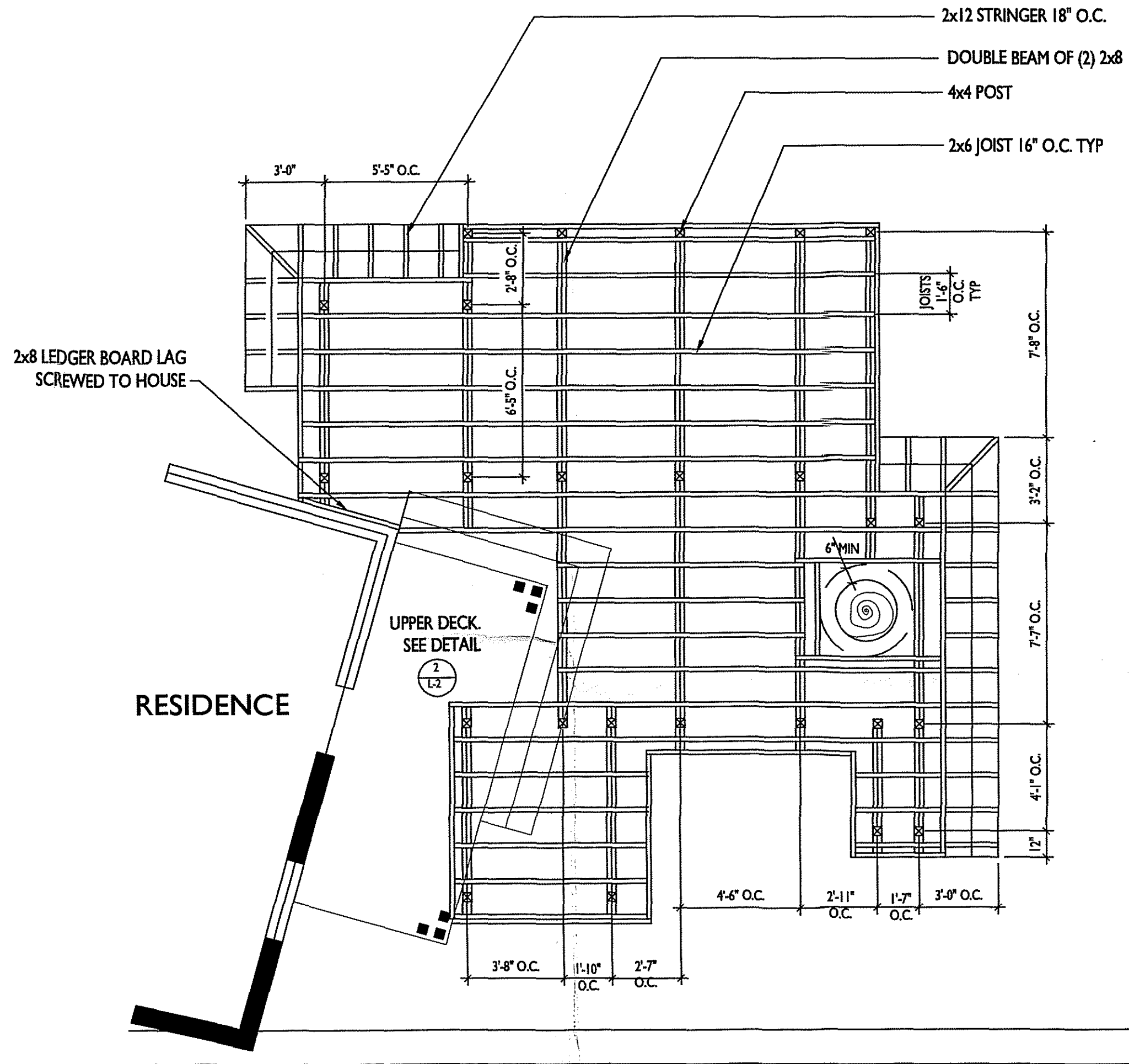
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**DEMOLITION NOTES:**

1. REMOVE EXISTING CONCRETE STEPS FROM REAR ENTRANCE OF RESIDENCE.
2. REMOVE EXISTING WOOD STEPS TO 2ND FLOOR DECK.
3. REMOVE EXISTING CONCRETE PAVING AS NEEDED TO INSTALL POSTS AND FOOTINGS.

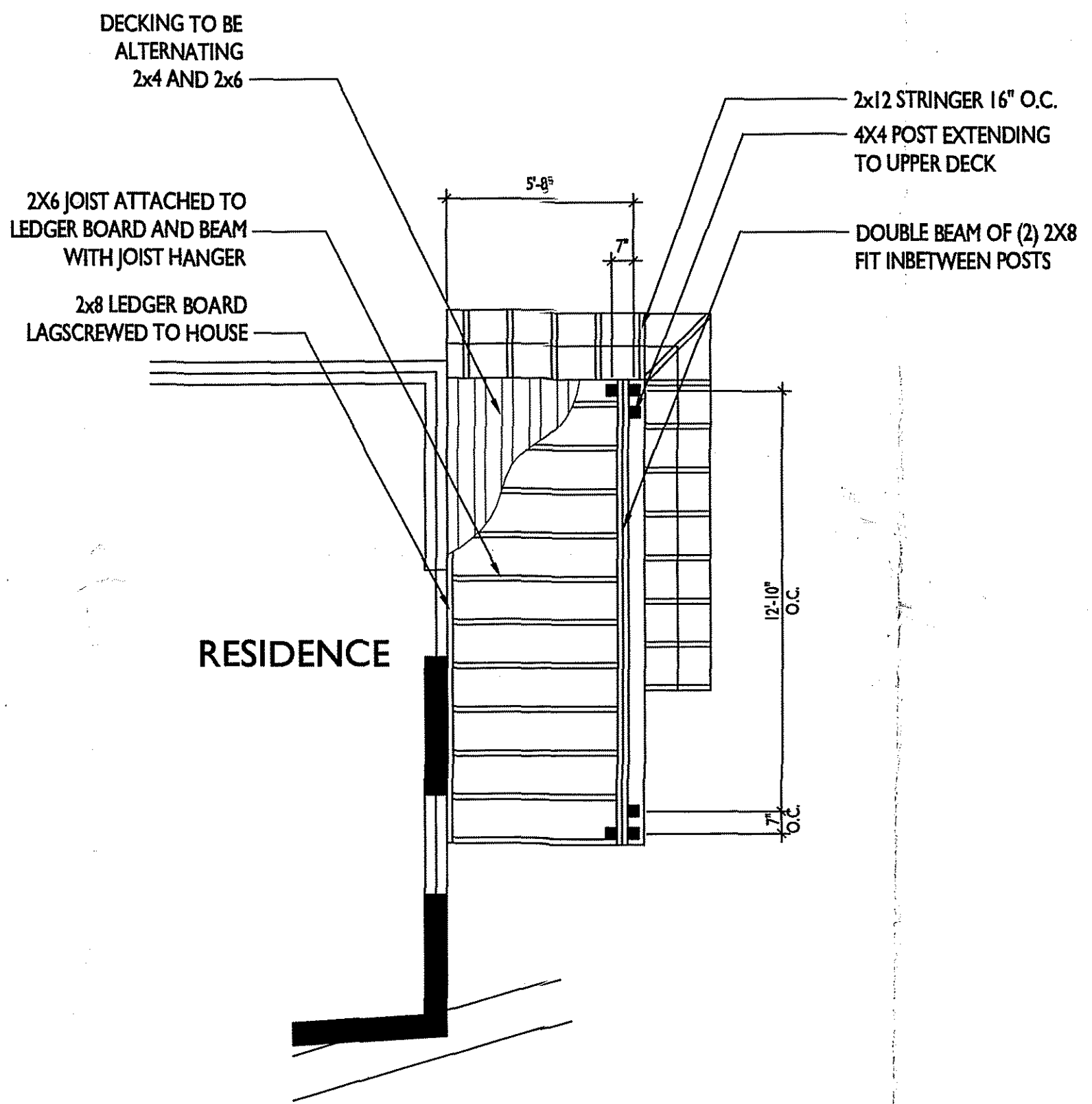
**NOTE:**

1. ALL DECKING, STEPS, AND RAILING TO BE GRADE STK OR BETER CEDAR. ALL DECK FRAMING, POSTS, AND STRUCUTAL ELEMENTS TO BE PRESSURE TREATED SOUTHERN PINE. ALL WOOD BELOW GRADE TO BE TREATED FOR GROUND CONTACT. ALL HARDWARE TO BE GALVANIZED.
2. AVOID EXCESSIVE COMPACTION OF SOIL AND GRADING AROUND CRITICAL ROOT ZONE OF AMERICAN ELM.



1 LOWER DECK LAYOUT  
PLAN

1/4" = 1'-0"



2 UPPER DECK FRAMING & LAYOUT  
PLAN

1/4" = 1'-0"

NOTE: ALL DECKING STEPS AND RAILING TO BE GRADE STK OR BETTER CEDAR. ALL DECK FRAMING AND POSTS TO BE PRESSUE TREATED SOUTHERN PINE. ALL WOOD BELOW GRADE TO BE TREATED FOR GROUND CONTACT. ALL HARDWARE TO BE GALVANIZED.

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Framing Plan

L-2

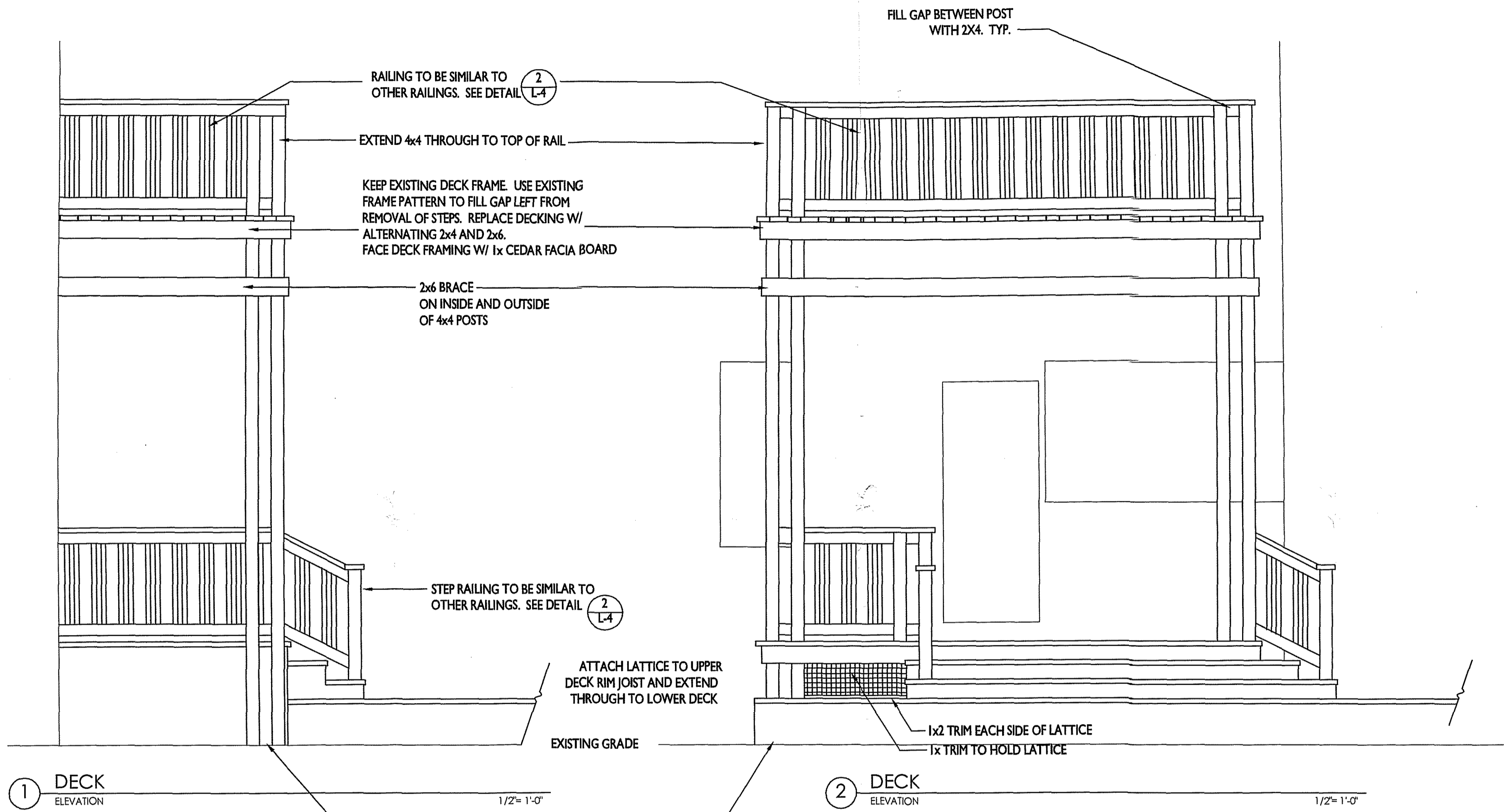


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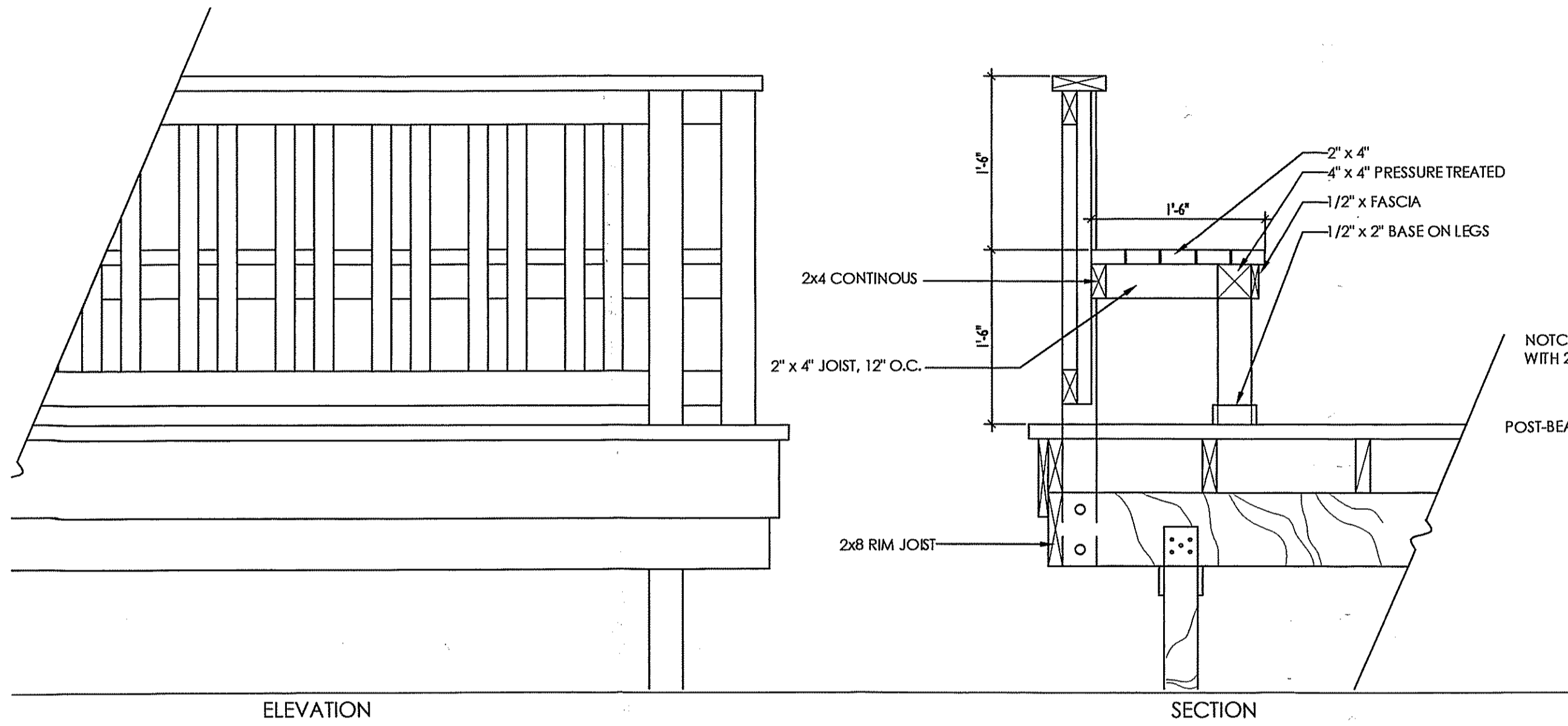
Deck Details

L-3



NOTE: ALL DECKING STEPS AND RAILING TO BE GRADE STK OR BETTER CEDAR. ALL DECK FRAMING AND POSTS TO BE PRESSUE TREATED SOUTHERN PINE. ALL WOOD BELOW GRADE TO BE TREATED FOR GROUND CONTACT. ALL HARDWARE TO BE GALVANIZED.

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ELEVATION

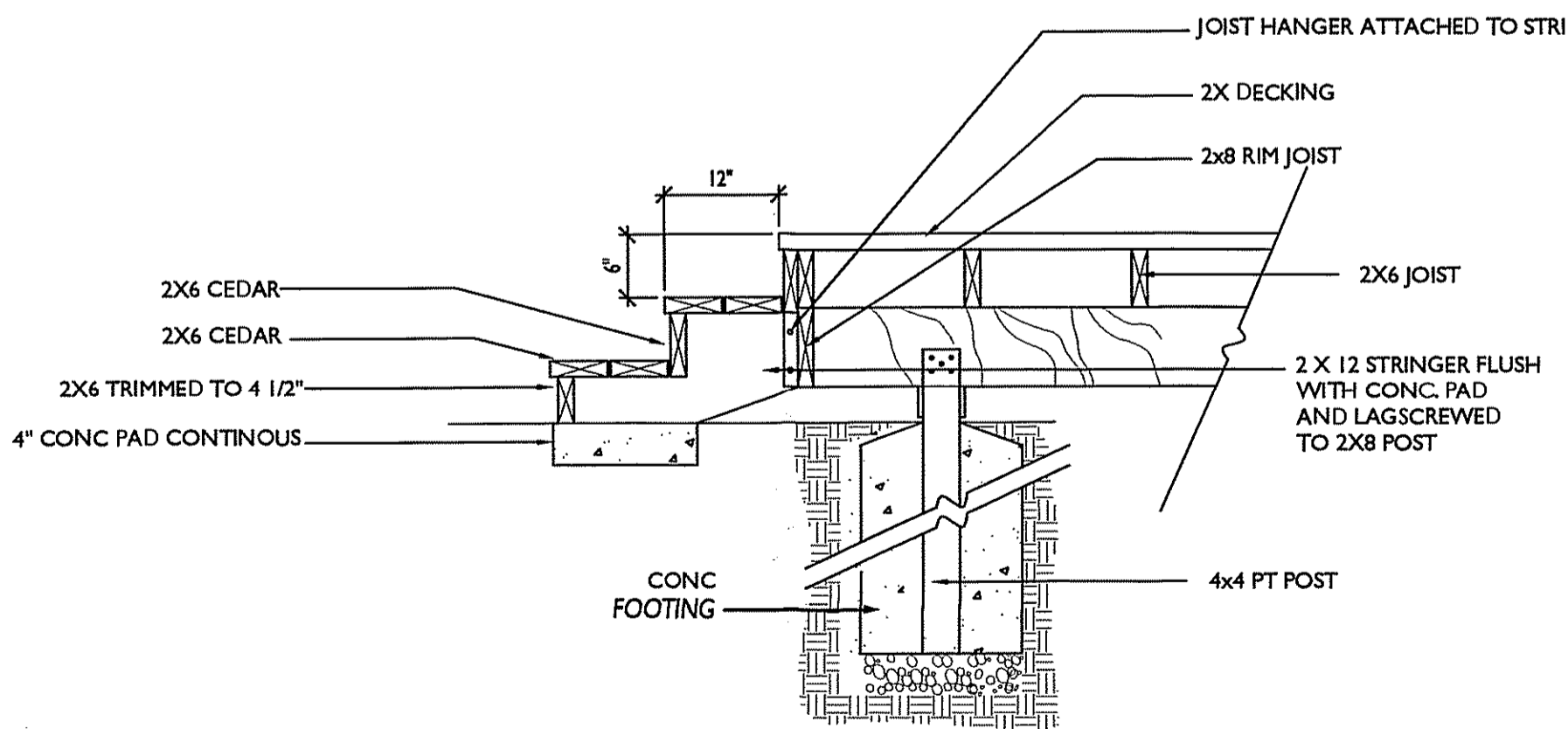
SECTION

**1 WOOD BENCH**  
ELEVATION AND SECTION

1" = 1'-0"

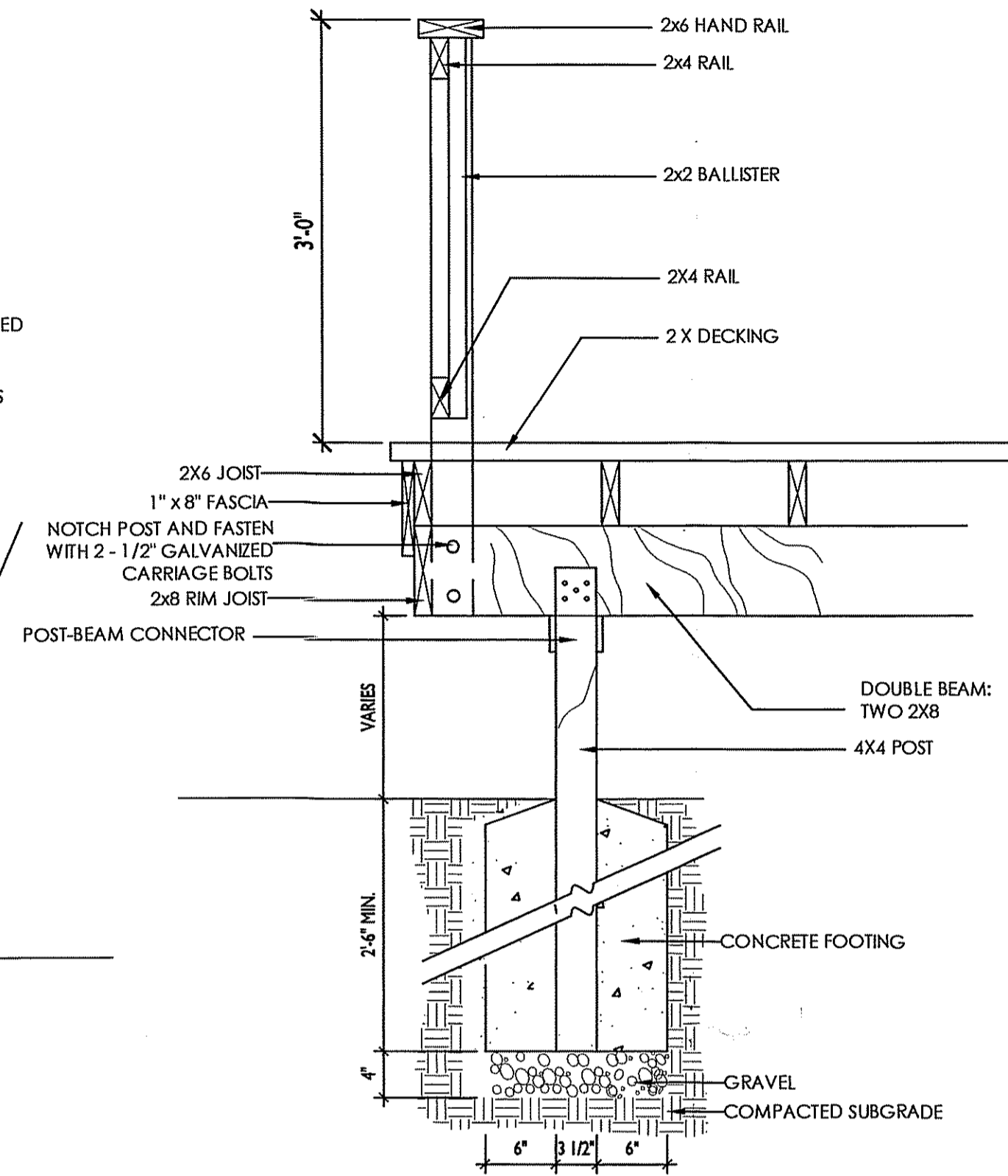
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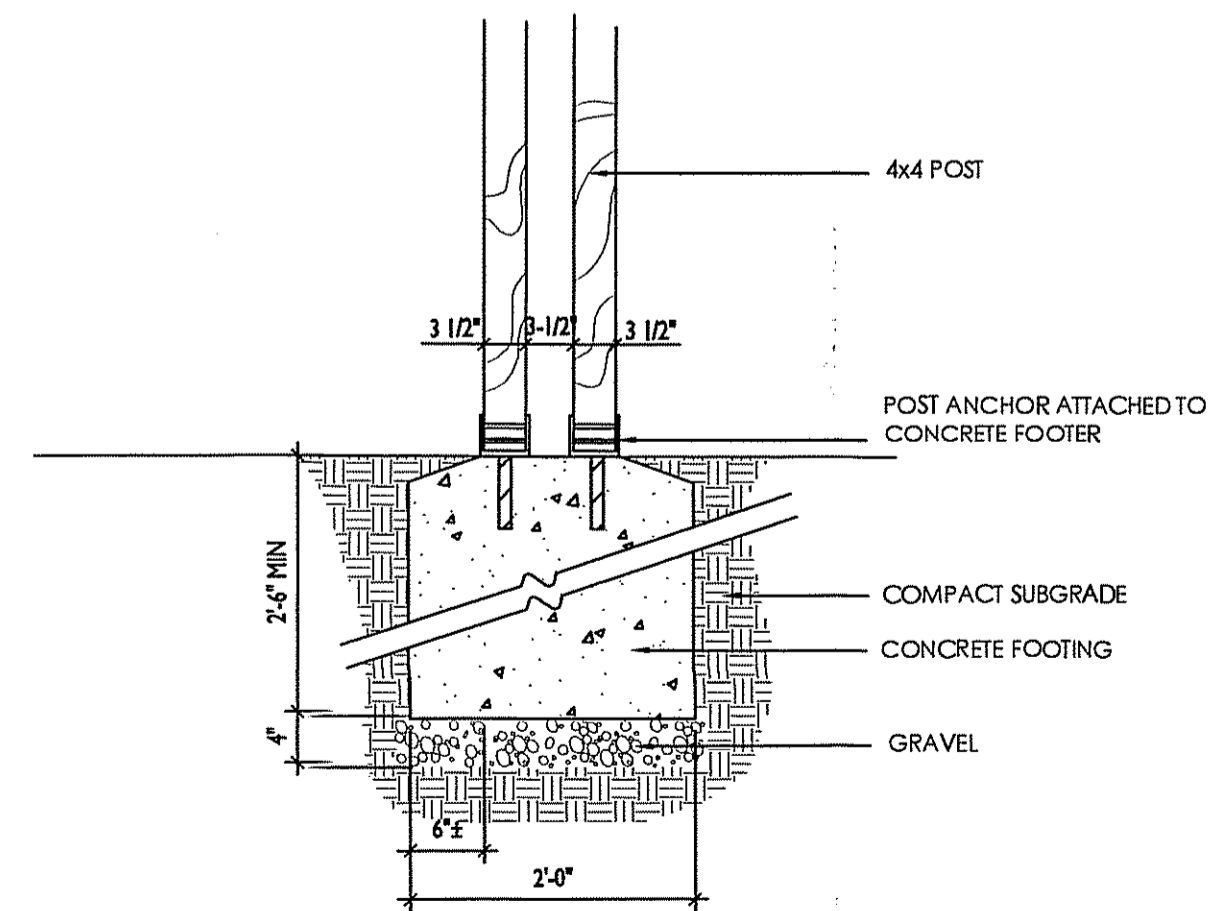
**3 DECK STEPS**  
SECTION

SCALE: 3/4"=1'-0"



**2 WOOD RAILING, POST, AND FOOTING**  
SECTION

1" = 1'-0"



**4 DECK POST FOOTER**  
SECTION

SCALE: 3/4"=1'-0"



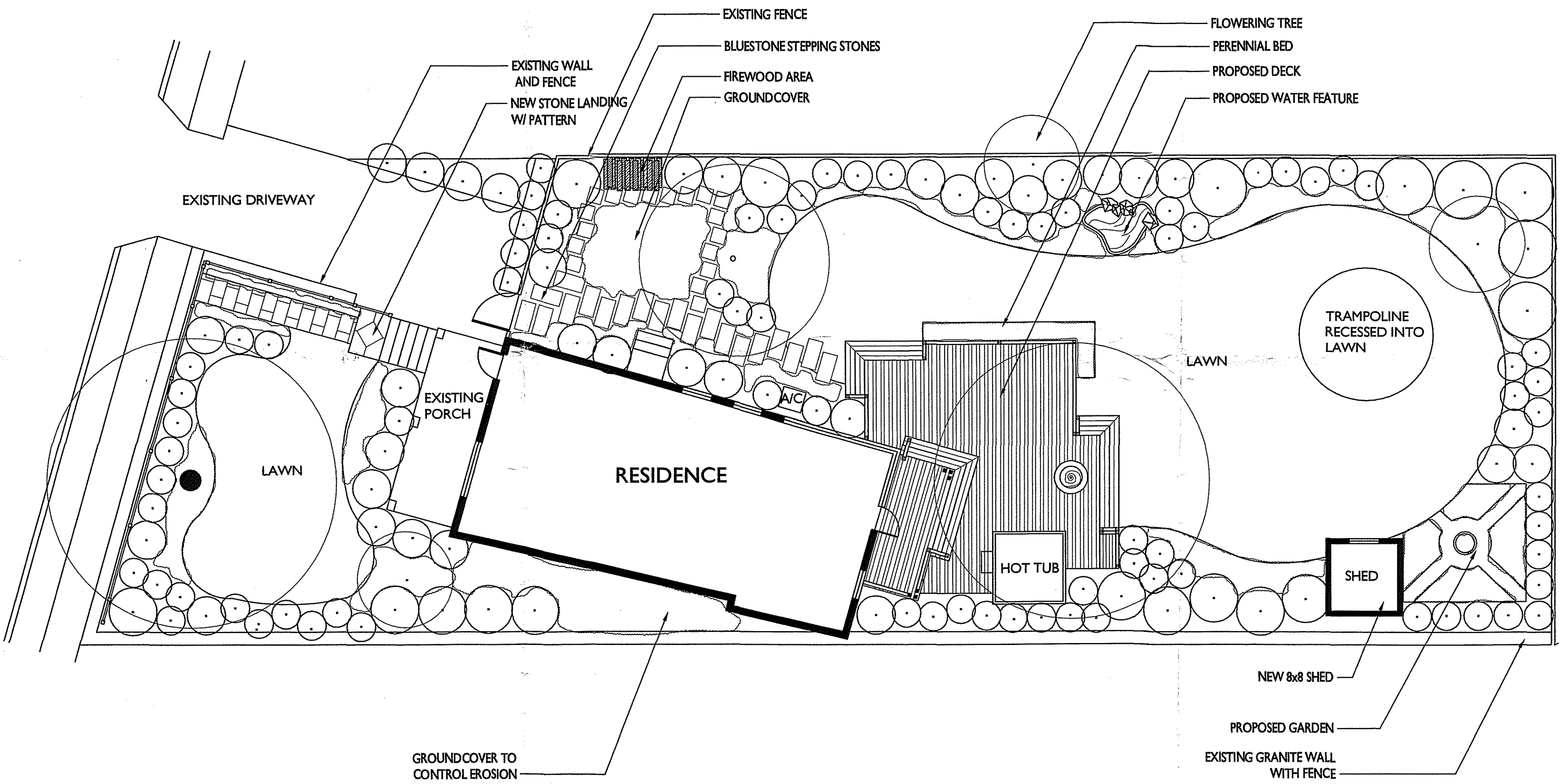
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TAKOMA PARK, MD

Deck Details





JORDAN HONEYMAN  
Landscape Architecture  
1003 K Street NW  
Suite 840  
Washington, DC 20001  
202.737.0451  
202.737.0452 FAX



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Master Plan