

37/3-00P 7307 Takoma Avenue <sup>m</sup>  
(Takoma Park Historic District)

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 5/10/00

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

         Approved

X Approved with Conditions. ① THE WINDOW ON THE MAIN BLOCK TO BE REMOVED, BE REPLACED WITH A SMALLER 1/1 WOOD WINDOW. ② THE HISTORIC WINDOW TO BE REMOVED BE STORED ON SITE.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: JEFFERY LUKER

Address: 7307 TAKOMA AVE, TAKOMA PARK

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Jeffrey Luker  
Daytime Phone No.: (202) 298-6700

Tax Account No.: 01059658  
Name of Property Owner: Jeffrey C. Luker Daytime Phone No.: (202) 298-6700  
Address: 7307 Takoma Ave, Takoma Park MD 20912  
Street Number City State Zip Code  
Contractor: W. B. Dorman Const. Inc. Phone No.: (301) 587 7947  
Contractor Registration No.: MD 18982  
Agent for Owner: Jeffrey C. Luker Daytime Phone No.: (202) 298-6700

**LOCATION OF BUILDING/PREMISE**

House Number: 7307 Street: Takoma Avenue  
Town/City: Takoma Park Nearest Cross Street: Piney Branch  
Lots 1 & 2 Block: 78 Subdivision: Takoma Park  
Liber: 4826 Folio: 715 Parcel:

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 40,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches N/A  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jeffrey Luker Signature of owner or authorized agent 10 April 2000 Date

Approved: X W/CONDITIONS For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 5/10/00  
Application/Permit No.: 210373 Date Filed: 4/13/00 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**WRITTEN DESCRIPTION OF PROJECT**

Description of existing structure(s) and environmental setting, including their historical features and significance:

See drawings and specifications & photos.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The work repairs a failing porch at the rear of the house.

**SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

7301 TAKOMA

ADJACENT + CONFRONTING OWNERS.

MR. + MRS. FEINSTEIN

7309 TAKOMA AVE

TAKOMA PARK, MD 20912

MR. + MRS. JOHN PENNIFIELD

7305 TAKOMA AVE

NANCY COHEN

7305 BALTIMORE AVE



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 5/10/00

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

II-H

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b> 7307 Takoma Ave., Takoma Park	<b>Meeting Date:</b> 05/10/00
<b>Resource:</b> Contributing Resource Takoma Park Historic District	<b>Report Date:</b> 05/03/00
<b>Review:</b> HAWP	<b>Public Notice:</b> 04/26/00
<b>Case Number:</b> 37/03-2000P	<b>Tax Credit:</b> No
<b>Applicant:</b> Jeffery Luker	<b>Staff:</b> Michele Naru
<b>PROPOSAL:</b> Removal and construction of new rear addition	<b>RECOMMEND:</b> Approval w/ cond.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource in Takoma Park Historic District.  
**STYLE:** Vernacular  
**DATE:** c.1904

This two story, three-bay dwelling is located in the Takoma Park Historic District. The house is covered with a cross gable roof ornamented with a two-story crenelated tower-like addition. The walls are clad in cement shingles and clapboard siding. The roof is sheathed in asphalt. A one-story porch with turned posts extends across the front elevation of the house.

**PROPOSAL**

The applicant proposes to dis-assemble the existing rear frame addition and rebuild the addition to include a front gable roof structure, the addition of a shed roof entry portico and stair well.

This project will accommodate a renovation of the existing kitchen and the expansion of living space on the first floor. The cladding on the new addition will be 1x6 wood German lap siding or pre-primed cement/hardboard siding with a German lap profile (All exterior trim will be wood). The windows on the new addition will be 1/1 vinyl clad Anderson windows.

The only modification to the original block of the house is the removal and replacement of a historic window on the side elevation with a smaller window (in-length) to accommodate the kitchen renovation plans.

①

**STAFF DISCUSSION**

The proposed alterations are, for the most part, in-keeping with the character of the house and are within the guidelines of the historic district. The rear addition is suitably scaled to the site, and will be barely visible from the public right-of-way. The changes will not significantly alter original materials on the structure and is clearly discernible as being of a different period from the historic structure.

The window on the west elevation to be removed to accommodate the new kitchen renovation plans is problematic. The *Takoma Park Guidelines for Contributing Resources* state that "original size and shape of window and door openings should be maintained, where feasible." Staff would encourage the applicant to retain the original window opening on the main block when installing the smaller height window and building up the original sash. Staff also recommends that the replacement window be wood and encourages the applicant to store the historic window on site.

**STAFF RECOMMENDATION**

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #9 and #10:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spacial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in a such manner that , if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and with the conditions:

1. The window on the main block to be remove be replaced with a smaller 1/1 wood window.
2. The historic window to be removed be stored on site.

with the general condition that **the applicant shall present the 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits**, and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6210 prior to commencement of work and not more than two weeks following completion of work.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
256 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

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 Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 40,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jeffrey Luker Signature of owner or authorized agent 10 April 2000 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 210373 Date Filed: 4/13/00 Date Issued: \_\_\_\_\_

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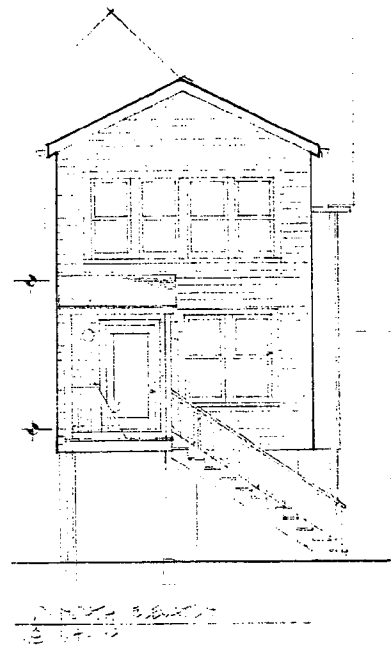
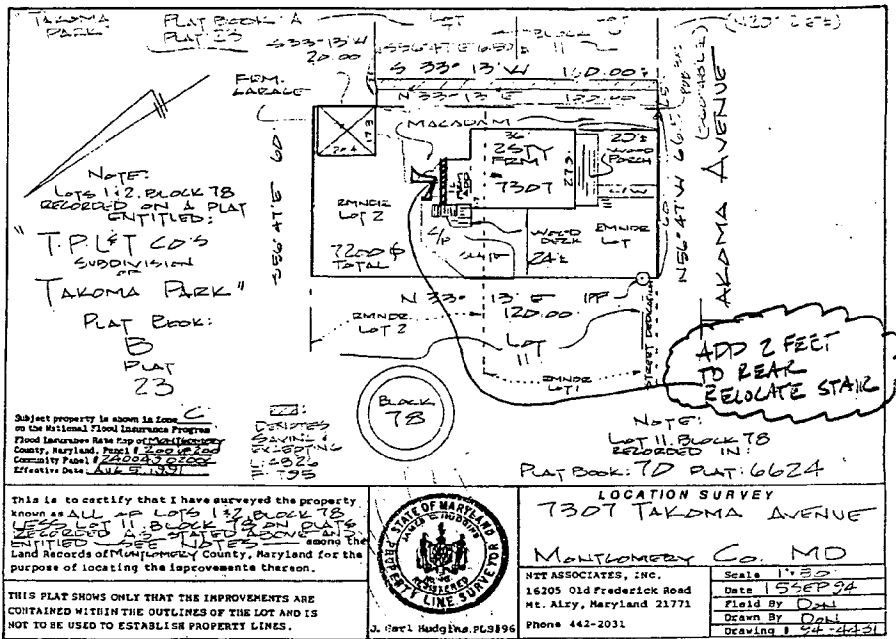
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5



Prepared By  
Jeffrey C. Luker AIA  
7307 Takoma Ave  
Takoma Park MD  
20912

Architect's License #: 9100

REAR  
REHABILITATION  
LUKER RESIDENCE  
7307 TAKOMA  
AVENUE  
Takoma Park, MD

Title:  
COVER

Version:  
1/16/2000 PERMITS 312

Sheet Number: 1  
Of: 9 Sheets

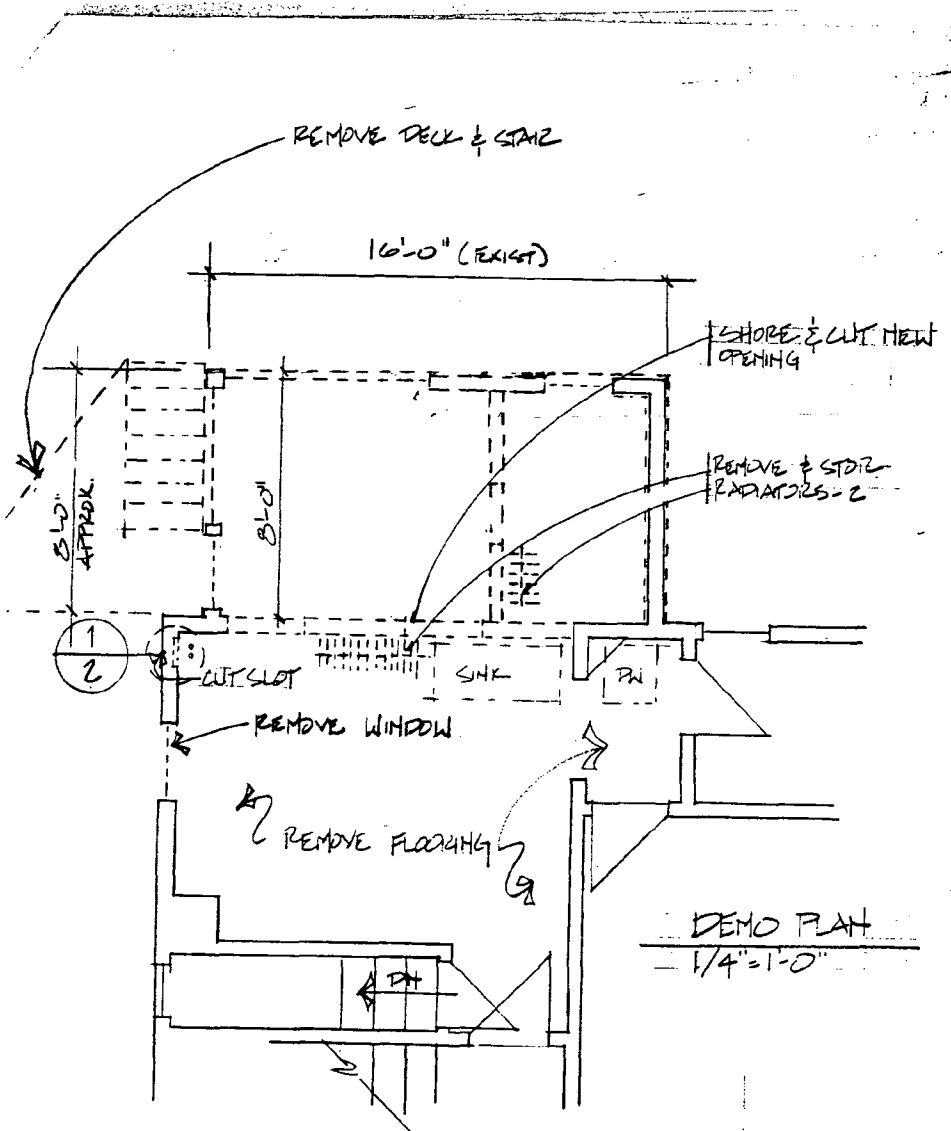
Index of Drawings:

#	Title	Date
1	Cover	1/16/2000
2	Demolition Plan	1/16/2000
3	First Floor Plan	1/16/2000
4	Second Floor Plan	1/16/2000
5	Exterior Elevations	1/16/2000
6	Framing Plan	1/16/2000
7	Kitchen Plan	1/16/2000
8	Interior Elevations	1/16/2000
9	Interior Elevations	1/16/2000
10	Details	(not inc.)



EXISTING REAR ADDITION

5



**DEMOLITION PLAN**

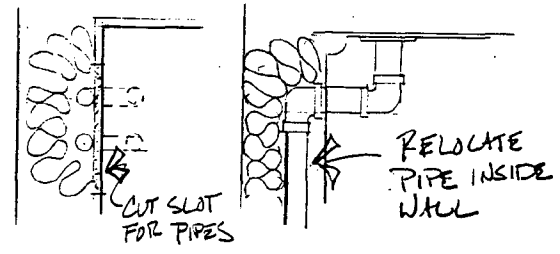
1/4 inch = 1 foot

Rear Extension

- Remove and store existing radiator, temporarily cap hot water supply pipes. The existing pipes will be extended, and the existing radiator shall be re-used in the new work.
- Remove existing rear addition and triangular deck complete except for the three brick piers. These piers shall be retained to support the new work.
- Provide shoring to support end wall, install header beam for new work.

Existing Interior

- Remove existing dishwasher. Store in garage, the Owner intends to donate dishwasher to another home.
- Remove existing sink and associated cabinets.
- Remove and store existing radiator, temporarily cap hot water supply pipes. The existing pipes will be extended, and the existing radiator shall be re-used in the new work.
- Cut 12 inch wide slot in outside wall in order to facilitate relocation of existing hot water heat pipes into wall. See detail this page.
- Remove existing window sash and trim. A new shorter window will be installed in the new work.
- Remove existing sheet vinyl flooring, a new engineered wood floor shall be provided over the existing masonite sub-floor.



PLAN SECTION  
 1 2  
 1  
 2  
 NO SCALE

Prepared By  
 Jeffrey C. Luker AIA  
 7307 Takoma Ave  
 Takoma Park MD  
 20912  
 Architect's License #:  
 9100

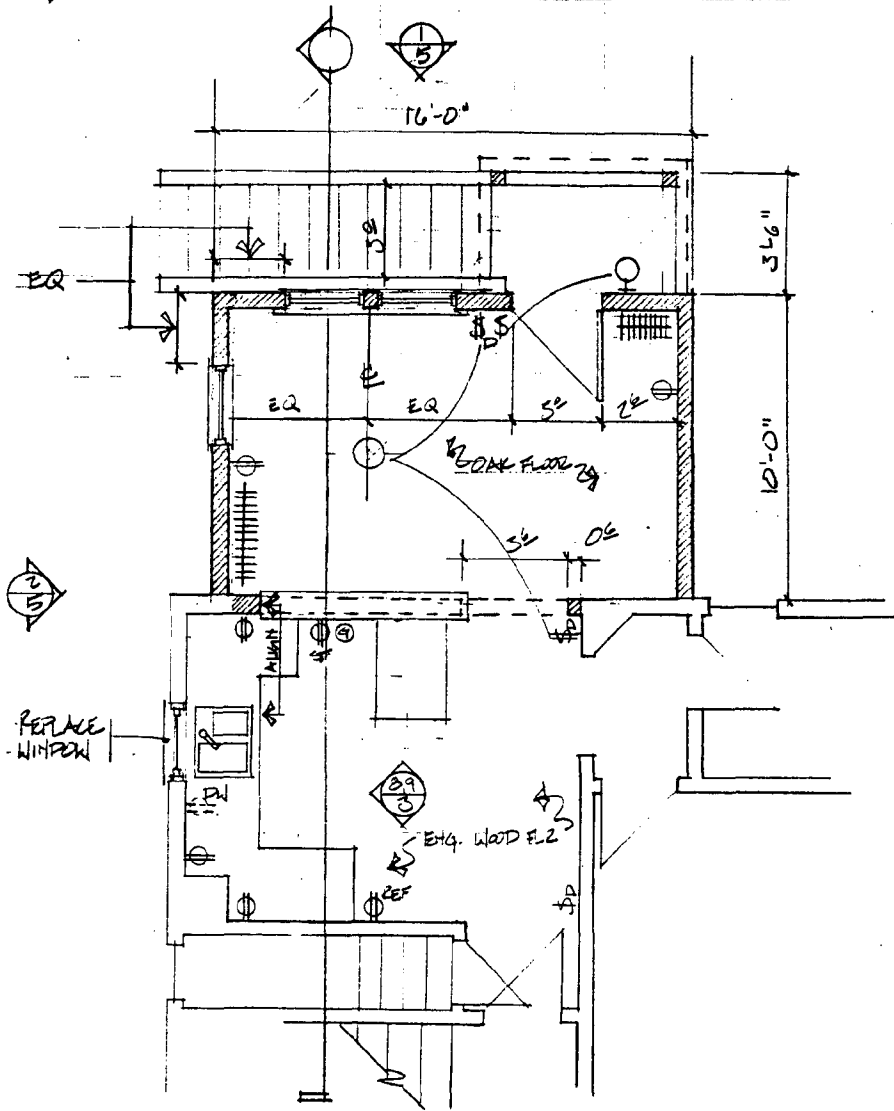
**REAR REHABILITATION**  
**LUKER RESIDENCE**  
**7307 TAKOMA AVENUE**  
**Takoma Park, MD**

Title:  
DEMOLITION PLAN

Version:  
1/16 PERMIT & BID

Sheet Number: 2  
 Of: 9 Sheets

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### FIRST FLOOR PLAN

1/4 inch = 1 foot

#### Rear Extension

- Provide a new exterior entrance stair with a shed roof over the landing as indicated. Lumber for the stair shall be pressure treated Southern Yellow Pine, #2 or better.
- Provide a wood framed rear addition as indicated. Provide 2x10 floor framing, 3/4 inch sub-floor, and 2 x 4 wall framing. Provide batt insulation and poly vapor barrier.
- Provide 3 Anderson, Double Hung windows. Provide Morgan Exterior Door w/ insulated glass panel. Owner will provide door latch and lock.
- Relocate 2 existing radiators as indicated.
- Provide 3 electric outlets and one ceiling light fixture as indicated. Owner will provide the light fixture.
- Provide 1/2 thick gypsum wall board, and painted wood trim. Trim to match existing trim throughout the house (Smoot 3/4 x 4-1/2 Capitol Hill Casing with Smoot 7/8 x 4 1/4 x 4 1/4 Rosettes, 8" tall base trim).
- Provide primer and 2 coats of finish paint at all new work. Provide primer and 1 coat of finish paint at existing painted surfaces.

#### Interior

- Provide painted wood trim at framed opening, style to match framed opening in entry foyer.
- Provide 1 Anderson Double Hung Window fit into existing opening, provide infill panel at exterior to account for shorter window.
- Provide gas pipe connection for stove. Note that existing gas service is available in the basement directly below the proposed location. Existing stove to be re-used.
- Provide electric outlet for stove and refrigerator, sink disposal and dishwasher. Provide electric connection for heater to be installed under the sink cabinet. Provide 3 above counter convenience outlets. Relocated ceiling light switch as indicated.
- Install base cabinets, sink, and dishwasher as indicated. Note that drain pipe is roughed in directly below the proposed location. Owner to purchase cabinets.
- Provide new engineered wood floor throughout.
- Provide primer and 2 coats of finish paint at all new work. Provide primer and 1 coat of finish paint at existing painted surfaces.

Prepared By

Jeffrey C. Luker AIA  
7307 Takoma Ave  
Takoma Park MD  
20912

Architect's License #: 9100

REAR  
REHABILITATION

LUKER RESIDENCE  
7307 TAKOMA  
AVENUE

Takoma Park, MD

Title:

FIRST FLOOR

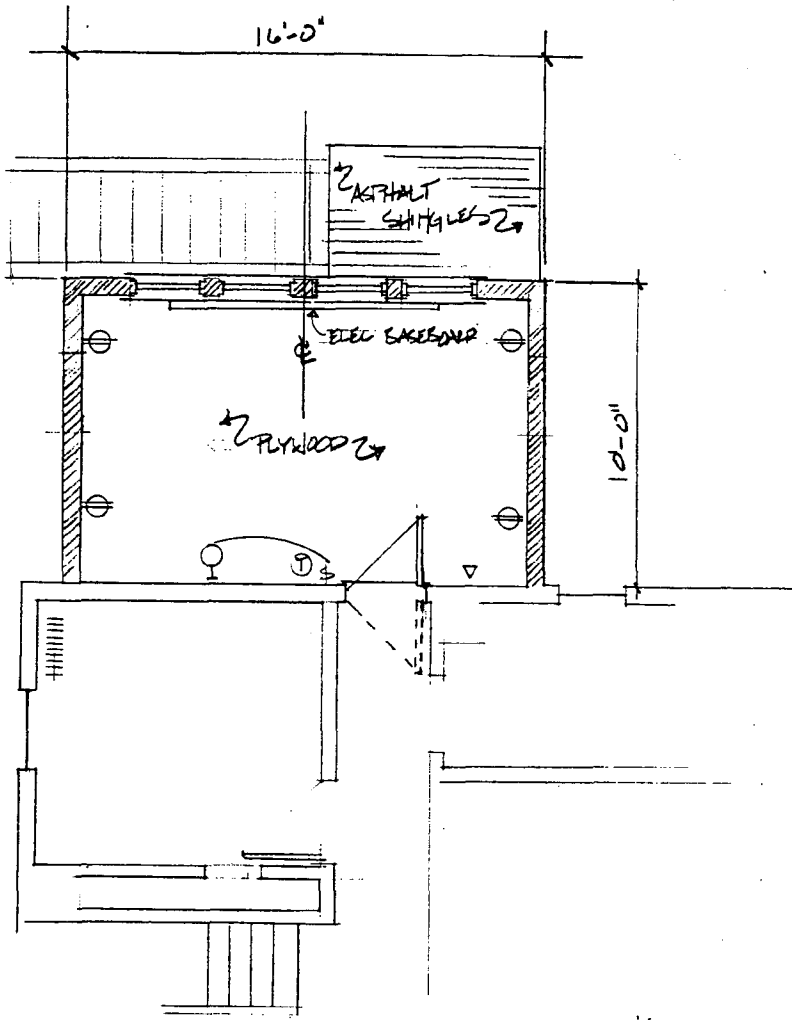
PLAN

Version:

1/16/00 PERMIT & BID

Sheet Number: 3

Of: 9 Sheets



**SECOND FLOOR PLAN**

1/4 inch = 1 foot

**Rear Extension**

- Provide a wood framed rear addition as indicated, Provide 2x10 floor framing, 3/4 inch thick sub-floor, and 2 x 4 wall framing. Provide batt insulation and poly vapor barrier.
- Provide 4 Anderson, Double Hung windows.
- Provide 4 electric outlets and one wall sconce light fixture as indicated. Owner will provide the light fixture. Provide electric connection for baseboard heater
- Provide gypsum wall board, and painted wood trim. Trim to match existing trim throughout the house (Smoot 3/4 x 4-1/2 Capitol Hill Casing with Smoot 7/8 x 4 3/4 x 1/4 Rosettes, 8" tall base trim).
- Provide primer and 2 coats of finish paint at all new work. Provide primer and 1 coat of finish paint at existing painted surfaces.

**Interior**

- Re-hang existing door to swing into the new room as indicated.

Prepared By

Jeffrey C. Luker AIA  
7307 Takoma Ave  
Takoma Park MD  
20912

Architect's License #:  
9100

**REAR  
REHABILITATION**

**LUKER RESIDENCE  
7307 TAKOMA  
AVENUE**

**Takoma Park, MD**

Title:

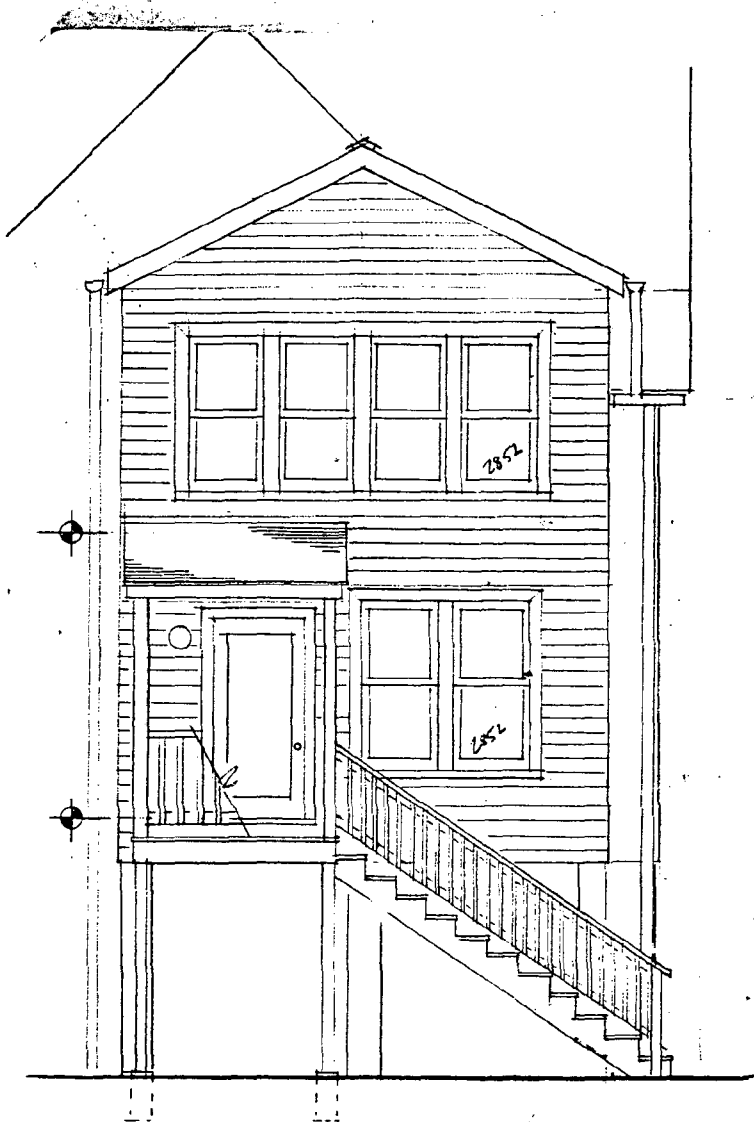
SECOND FLOOR  
PLAN

Version:

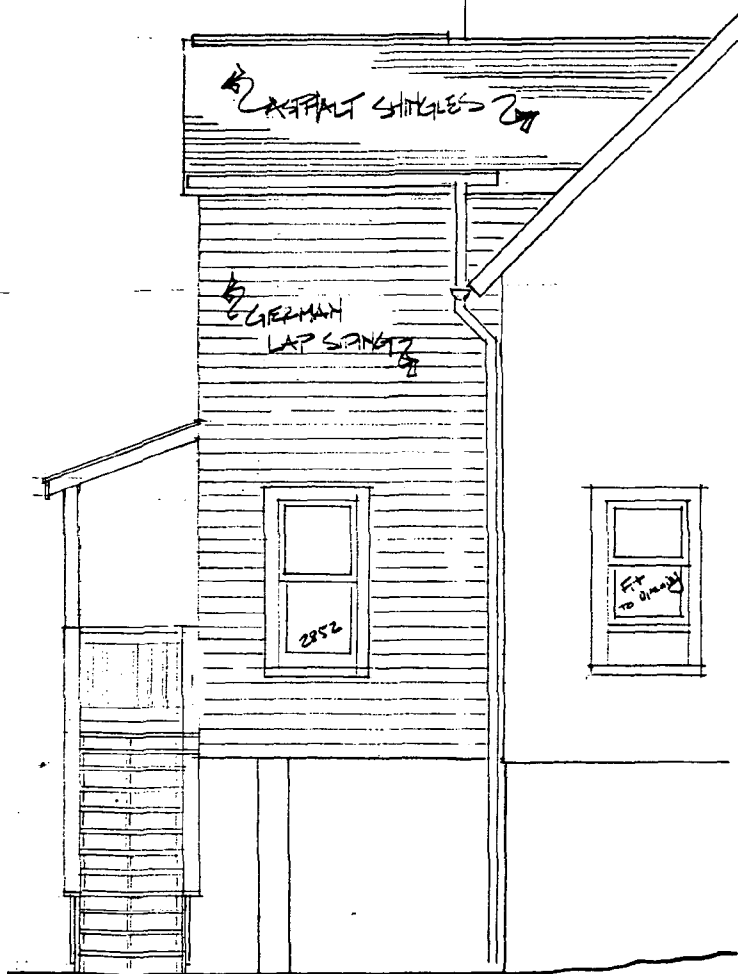
1/16/00 PERMIT & BID

Sheet Number: 4

Of: 9 Sheets



① NORTH ELEVATION  
③ 1/4" = 1'-0"



② WEST ELEVATION\*  
③ 1/4" = 1'-0"

\* EAST ELEV IS SIMILAR  
EXCEPT NO WINDOWS  
NOT SHOWN

Prepared By

Jeffrey C. Luker AIA  
7307 Takoma Ave  
Takoma Park MD  
20912

Architect's License #:  
9100

REAR  
REHABILITATION

LUKER RESIDENCE  
7307 TAKOMA  
AVENUE

Takoma Park, MD

Title:

ELEVATIONS

Version:

1/16/00 PERMIT & BID

Sheet Number: 5

Of: 9 Sheets

SPECIFICATION

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DIVISION 1 - GENERAL REQUIREMENTS

Summary

1. Briefly stated, the work includes but is not limited to the following:
  - Dis-assemble the existing rear frame addition and rebuild the addition envelope and the rear entry stair, landing and shed roof.
  - Renovate the existing kitchen complete.
  - Finish the First Floor addition interior complete.

Requirements

2. The Contractor shall inspect the house and site before bidding the Work. If any deficiencies or concerns relevant to accomplishment of the project are noted, the Contractor shall report them to the Owner prior to presentation of the bid.
3. All areas adjacent to the Work shall be protected during construction and if damaged during construction shall be replaced or restored to the original condition.
4. The Contractor shall field verify all dimensions prior to ordering and/or installing materials and equipment.
5. Site shall be kept in an orderly manner at all times. Materials shall be stored properly. All debris, etc. shall be removed from the site and disposed of legally.
6. The Contractor shall protect the structural integrity and maintain a water-tight building envelope throughout the Project.
7. All equipment and materials shall be installed in accordance with the manufacturer recommendations.
8. The Owner shall obtain and pay for all permits and deliver them to the Contractor at the beginning of the project.
9. The Contractor, and all construction is to comply with all applicable building codes and ordinances; including but not limited to the requirements dictated by the City of Takoma Park, Montgomery County, and the State of Maryland.
10. The Contractor shall guarantee construction details and workmanship for a period of two years subsequent to substantial completion of the project.



SPECIFICATION

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DIVISION 2 - SITE WORK & DEMOLITION

1. The Contractor shall complete demolition as shown on the drawings.
2. The Contractor shall coordinate Vehicle access and dumpster placement with the Owner.

DIVISIONS 3, 4 & 5 - CONCRETE, MASONRY, METALS

1. Disassemble top of existing brick pier to provide anchor and base for new beam. Provide non-shrink grout, and mortar cap to assure positive drainage.

DIVISIONS 6 & 7 WOOD & THERMAL MOISTURE PROTECTION

1. Rough Carpentry:
  - a) Maximum allowable moisture content of all lumber to be 19%.
  - b) Provide Structural Grade or better lumber for all concealed framing.
2. Finish Carpentry
  - a) Review with owner 1'-0" long sample of milled stock for each configuration, species, and grade shown or specified.
  - b) For exterior trim, provide surfaced clear redwood unless otherwise noted. For siding provide primed clear redwood 1x6 german lap siding to match Smoot profile WP-105. All trim, siding, and other finish wood to be finished with primer - all sides front, back and ends.
  - c) Alternate: Provide pre-primed cement or hard-board siding with german lap profile to match the above described Smoot siding.
  - d) Install finish carpentry plumb, level true and straight with no distortions. Shim as required using concealed shims. Scribe and cut finish carpentry items to fit adjoining work. Anchor finish carpentry work securely to supports and substrates using concealed fasteners and blind nailing where possible. Use fine finishing nails for exposed nailing except as indicated, countersunk and filled flush with finished surface.
  - e) Install standing and running trim with minimum number of joints possible, using full-length pieces from maximum length of lumber available. Cope at returns, miter at corners to produce tight fitting joints. Use scarf joints for end to end joints.

SPECIFICATION

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3. First Floor Construction:

3/4" T & G "Sturdi-Floor" Exterior Grade, Exposure 1 plywood rated for joists 16" O.C., set on 4 mil polyethylene film vapor barrier set on 2x10 structural grade wood framing, Fill Between Joists with 8" thick fiberglass batt insulation, paper side up; finish underside of porch with exterior grade plywood, scribed to simulate a beaded board ceiling. Provide wood finish strips at joints between sheets of plywood.

4. Second Floor Construction:

3/4" T & G "Sturdi-Floor" Exterior Grade, Exposure 1 plywood rated for joists 16" O.C., set on 2x10 2x18 structural grade wood framing. Interior finishes and interior trim to be provided by the Owner.

5. Exterior Wall Construction:

Prime painted wood siding (see above), set over 15 lb felt building paper, set on 1/2" thick Exterior grade Exposure 1 plywood sheathing, set on 2 x 4 rough framing at 16" on center.

6. Addition Roof Construction:

Premium Fiberglass Reinforced Asphalt shingles, color to match existing roof, certified appropriate for low slope application, roofing cement at the free tabs, set on 1 layer of Grace Ice and Water Shield membrane roofing, set on 1/2" plywood sheathing, set on 2x8 rough framing at 16" on center. Provide fiberglass batt insulation, vented construction, and finished with, 4 mil polyethylene film vapor barrier and 5/8" gypsum wallboard ceiling.

9. Flashing & Accessories

- a) Provide white aluminum drip edge at eaves and rake.
- b) Provide new 5" diameter 1/2 round gutters and 4" diameter downspouts. Use center mounted hangers. Review gutter installation details with owner prior to beginning work.
- c) Replace all masonry and wall flashing with new stepped 16-ounce copper flashing.
- d) Provide mock-ups of selected details if requested.

## SPECIFICATION

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### DIVISION 8 - DOORS AND WINDOWS

1. Window Units to be Anderson Narroline PermaClad or approved equal, verify fit and coordination of the Anderson model numbers indicated on the elevations. Install units in accordance with the manufacturer's recommendations.
2. New entry door to be 3'-0" wide x 6'8" tall painted solid wood stile and rail door with full double glazed glass panel, and matching solid wood storm door. Door to be provided by Morgan or approved equal. Provide three 4-1/2" solid brass hinges. Review door selection with owner for final approval. Install lock and latchset provided by Owner.

### DIVISION 9 - FINISHES

1. All paint and primer to is be manufactured by Benjamin Moore. Paint to be applied per manufacturers' specification.
2. Painting - Interior:
  - a) Interior woodwork and trim including windows and doors are to receive one coat alkyd (oil) based primer, and 2 coats of alkyd (oil) based finish paint.
  - b) Interior GWB and plaster are to receive 1 coat of latex based primer, and 1 coat of latex based finish paint.
3. Painting - Exterior:
  - a) Exterior trim to receive 1 coat of (oil) alkyd based primer, and 1 coat of (oil) alkyd based high gloss finish paint.
  - b) Exterior siding to receive 1 coat of (oil) based primer, and 2 coats of latex based finish paint.

### STRUCTURAL NOTES

1. All structural lumber shall have the following minimum properties:
  - Bending stress "Fb" - 1250 psi for single member use.
  - Bending stress "Fb" - 1450 psi for repetitive member use.
  - Horizontal shear "fv" - 95 psi.
  - Compression perpendicular to grain "Fc1" - 385 psi.
  - Compression parallel to grain ""Fc1" - 1050 psi.
  - Modulus of elasticity - "g" - 1,700,000 psi.

Timber construction shall be in accordance with the national design specifications for wood construction. Latest edition, published by the National Forest Products Assoc.

SPECIFICATION

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2. Provide solid bridging between floor, roof and ceiling joists at maximum 8'-0" o.c., and minimum 1 row.
3. The First Floor support BEAM is to be (to be determined).
4. The First Floor HEADER BEAM is to be (to be determined).

END OF SPECIFICATION

### Table of Basic Sizes Scale 1/4" = 1'-0" (1:48)

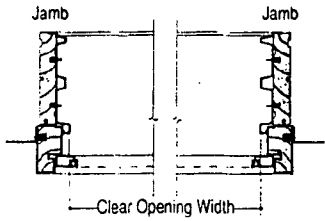
UNIT DIM.	1'-9 1/8" (549)	2'-1 1/8" (651)	2'-5 1/8" (752)	2'-9 1/8" (854)	3'-1 1/8" (956)	3'-5 1/8" (1057)	3'-9 1/8" (1159)
RGH. OPG.	1'-10 1/8" (562)	2'-2 1/8" (664)	2'-6 1/8" (765)	2'-10 1/8" (867)	3'-2 1/8" (968)	3'-6 1/8" (1070)	3'-10 1/8" (1172)
GLASS*	16 7/16" (418)	20 1/16" (519)	24 1/16" (621)	28 1/16" (722)	32 1/16" (824)	36 1/16" (926)	40 1/16" (1027)
	1852	2052	2452	2852	3052	3452	3852
	1856	2056	2456	2856	3056	3456	3856
	1862	2062	2462	2862	3062	3462	3862

*Both 1st & 2nd Floors*

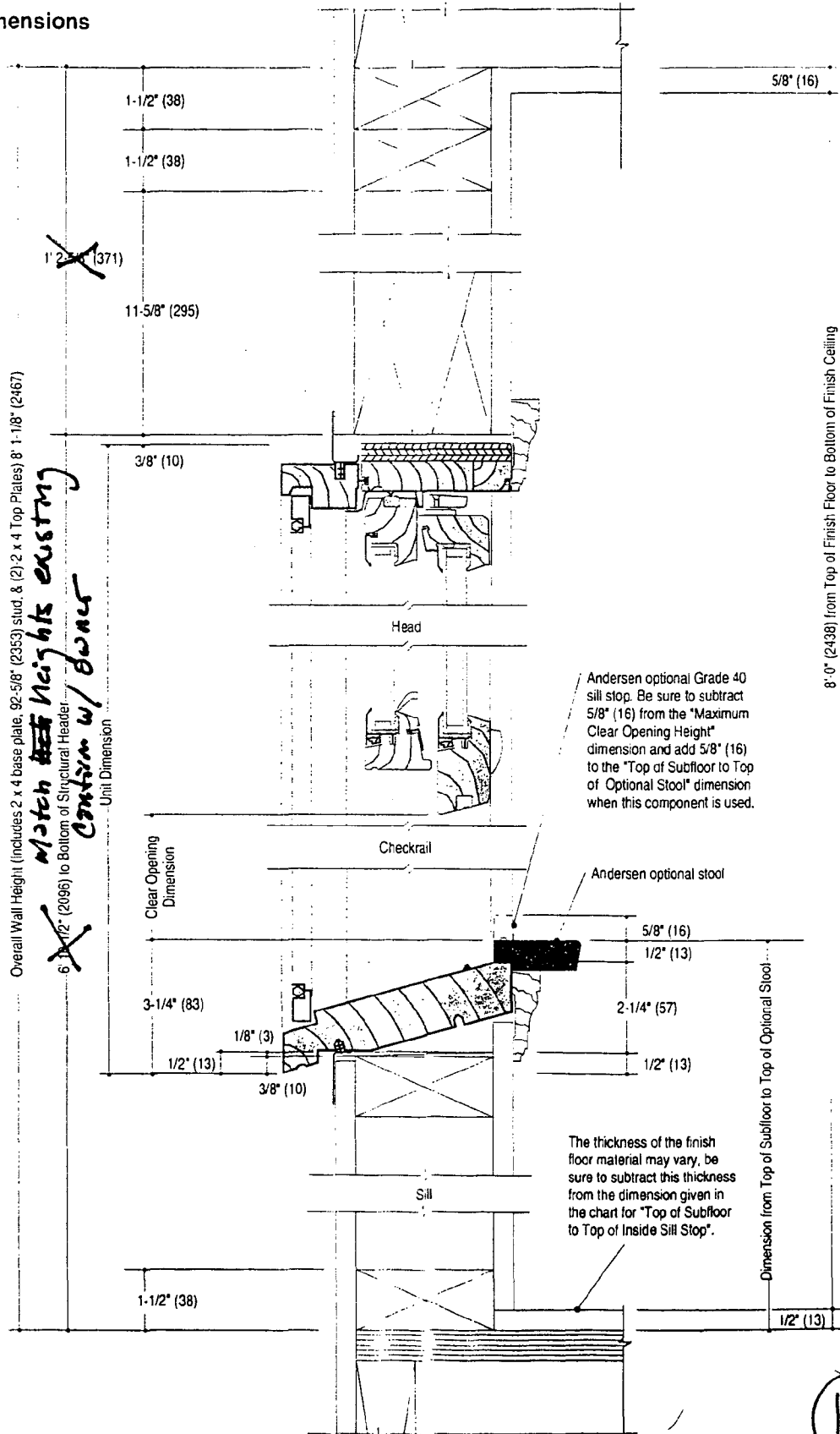
\* Unobstructed glass sizes shown in inches (and millimeters).

### Narrolline® Clear Opening Details and Opening Specifications

#### Sectional Details Identification of Clear Opening Dimensions



**Horizontal**  
Scale 1-1/2" = 1'-0" (1:8)



Dimensions in parentheses throughout this book are metric equivalents, shown in millimeters unless otherwise noted.

**Vertical Scale 3" = 1'-0" (1:4)**

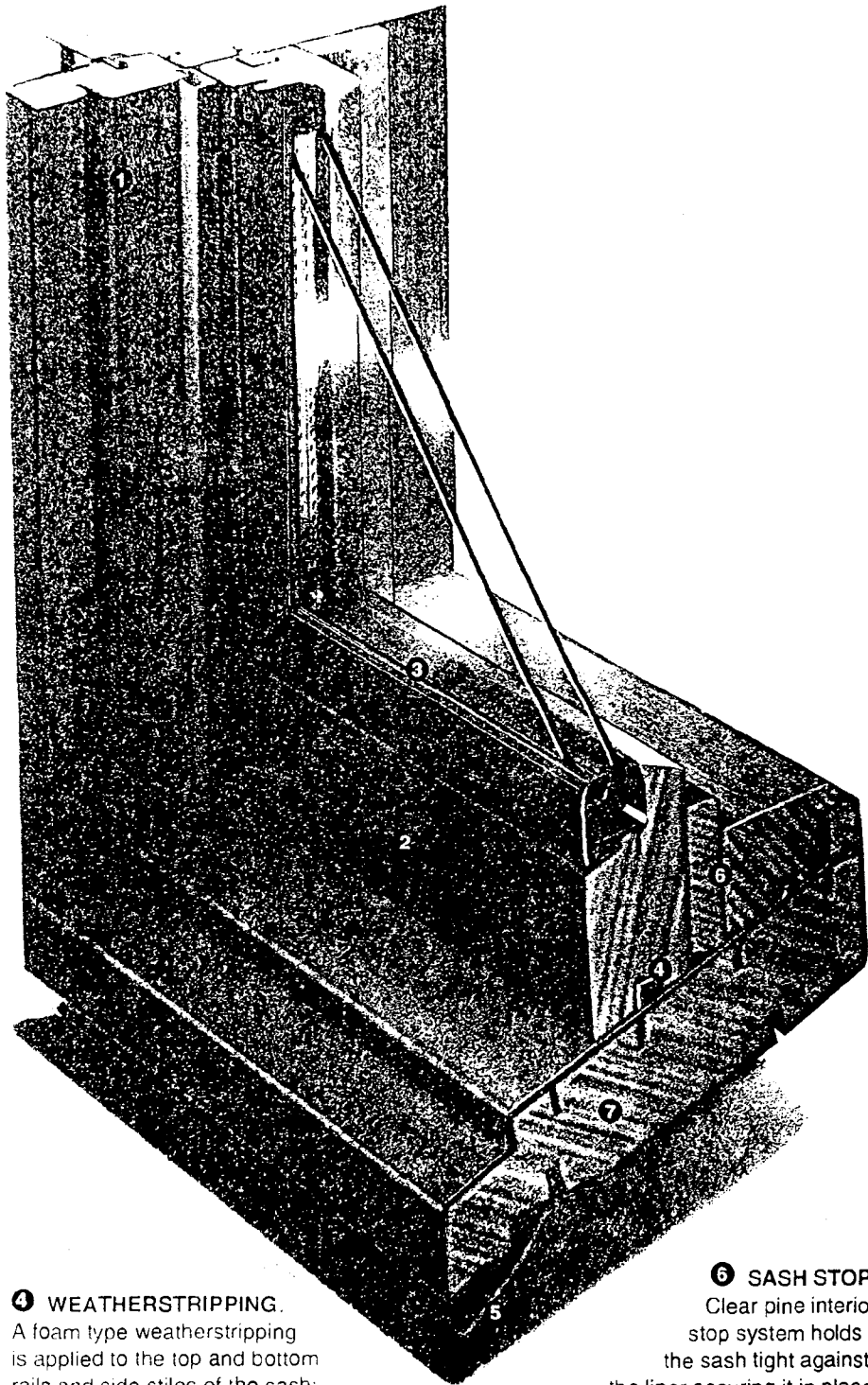


## Standard Features of a Andersen® Narroline® Transom Window

Andersen® Narroline® transom windows combine the low-maintenance qualities of Perma-Shield® with the traditional appearance of the Andersen® Narroline®. The cutaway section on this page illustrates the quality features standard on all Andersen® Narroline® transom windows. The features that contribute to the unit's easy installation, energy efficiency, and low-maintenance are described below. Please use them as points of comparison when selecting windows. The Andersen® Narroline® transom is available only as a stationary unit.

### BASE UNIT FEATURES:

- ❶ **FRAME.** The wood members are treated with a water repellent preservative and covered with a rigid vinyl (PVC) sheath in white, Sandtone or Terratone® color. The sill ends are prefinished with polyurea in white and polyester urethane in Terratone and Flexacron in Sandtone.
- ❷ **SASH.** Exterior sash surfaces are protected with a long-lasting patented polyurea finish for white and polyester urethane coat for Terratone® and Flexicron in Sandtone. Interior sash surfaces are unfinished clear pine.
- ❸ **GLAZING BEAD.** Rigid vinyl profile secured by a barbed leg engaging a curb in the face of the sash.
- ❹ **WEATHERSTRIPPING.** A foam type weatherstripping is applied to the top and bottom rails and side stiles of the sash; the sash also engages a flexible bulb extruded on the head and side jamb liners (similar to picture window).
- ❺ **ANCHORING FLANGE & WINDBREAK.** Factory applied rigid vinyl flanges at the head and sides of the outer frame members act as anchoring flanges. A flexible vinyl flange factory applied at the sill acts as a windbreak.

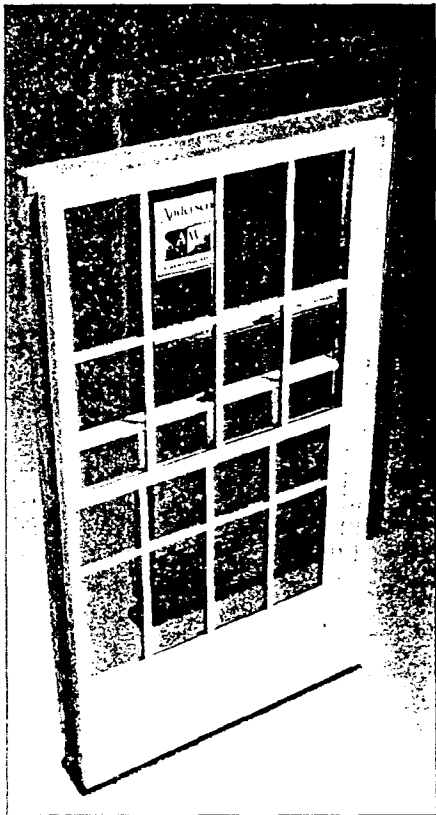


- ❻ **SASH STOP.** Clear pine interior stop system holds the sash tight against the liner securing it in place.
- ❼ **SILL.** Wood core treated with a water repellent preservative, covered with rigid vinyl (PVC) for units in white, Sandtone or Terratone® color.
- **JAMB LINER.** White rigid vinyl (PVC) for unit in white and complementary color rigid vinyl (PVC) for units in Sandtone or Terratone® color.



## Architect Specified Options

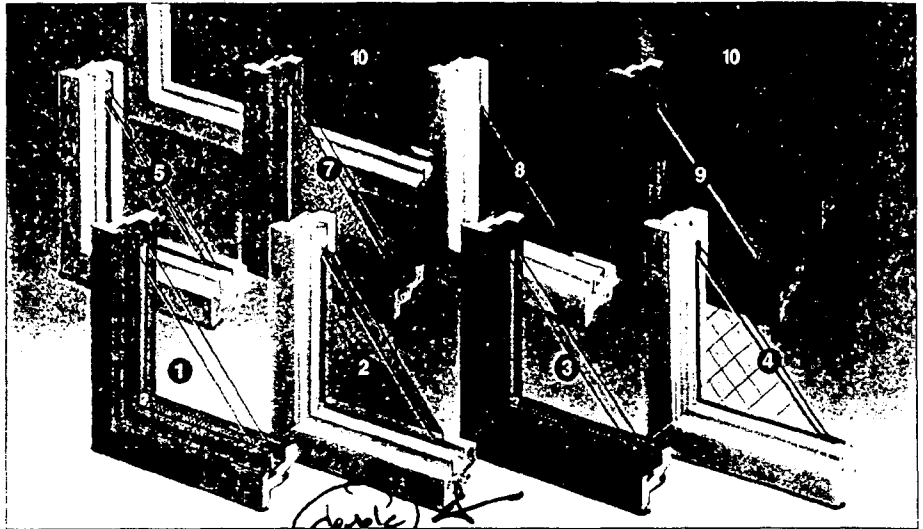
A wide variety of options are available for Andersen windows. The most common selections the architect should make when specifying an Andersen<sup>®</sup> Narroline<sup>®</sup> Double Hung Window are shown on this page. See pages NL6 and NL7 for additional Narroline<sup>®</sup> window optional accessories.



**COLOR (COLOR)\*** Andersen<sup>®</sup> Narroline<sup>®</sup> Double Hung Windows are available in white, Sandtone and Terratone<sup>®</sup>. White is a soft white that won't fade or yellow even after extended exposure to the sun and elements. Sandtone is a beige color midway between white and Terratone. Terratone is an earth-hued color unique to Andersen. For information on painting Perma-Shield<sup>®</sup> vinyl, contact your Andersen supplier.

**PREFINISHED INTERIOR** Andersen<sup>®</sup> Narroline<sup>®</sup> sash can be prefinished in either white, Sandtone or Terratone. The same long-life polyurea and polyester urethane finishes used on the sash exterior can be specified to be applied to the interior as well.

\* NOTE: Abbreviations, shown in parentheses, refer to the Andersen CAOD-1<sup>®</sup> computer aided design program.



**GLAZING (GLASS)** Standard glazing selections include High-Performance (HP) and High-Performance Sun (HPSun). High-Performance and High-Performance Sun are low emissivity glazings with an argon-filled air space that are created by applying a transparent, microscopically-thin, metallic coating to the number two surface sealed within the desiccated, argon gas-filled space of the insulating unit. The coating and the argon gas work to retard the flow of heat through the glass area. Glass types used in HP and HPSun insulating units are a heat strengthened interior light and annealed exterior light. Additional information about the over 100 glazing options available for Andersen<sup>®</sup> Narroline<sup>®</sup> Windows can be obtained from your Andersen supplier.

### OPTIONAL GLAZING REFERENCE CHART

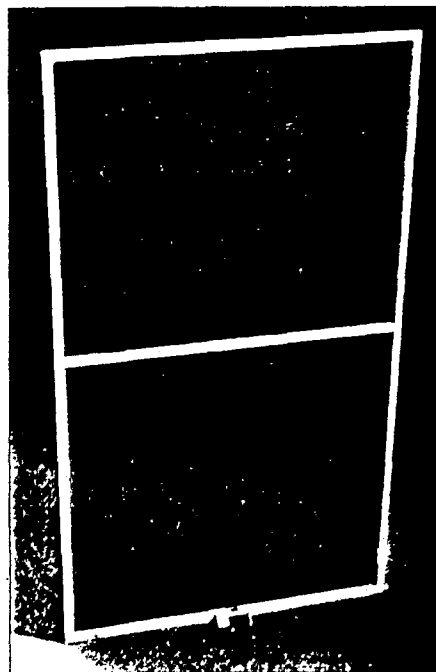
Standard Glazings	1 High-Performance
	2 HPSun
Safety Glazing Options	3 Tempered Glass <sup>a,b</sup>
	4 Wire Glass <sup>a,b</sup>
	5 Laminated Glass <sup>c</sup>
	6 Lexan <sup>®</sup> or Plexiglass <sup>®</sup>
Non-transparent Glazings	7 Obscure Glass <sup>a,c</sup>
	8 AllianceWall <sup>®</sup>
	9 Krinkieglass <sup>®</sup>
	10 CeramLite <sup>®</sup>
Sound Control	11 Safetee Silentus <sup>®</sup>

a) These glazings can have the same low-emissivity coating found on High-Performance and High-Performance Sun insulating glass.  
 b) Some restrictions apply, consult your Andersen supplier regarding availability.  
 c) Not pictured.

### FULL INSECT SCREEN (SCREEN)

(pictured at left)  
 New full insect screen features improved rigidity and security. Aluminum screen cloth. Comes in white, Sandtone or Terratone<sup>®</sup> color. Warning label alerts consumers to potential falls from windows.

All windows

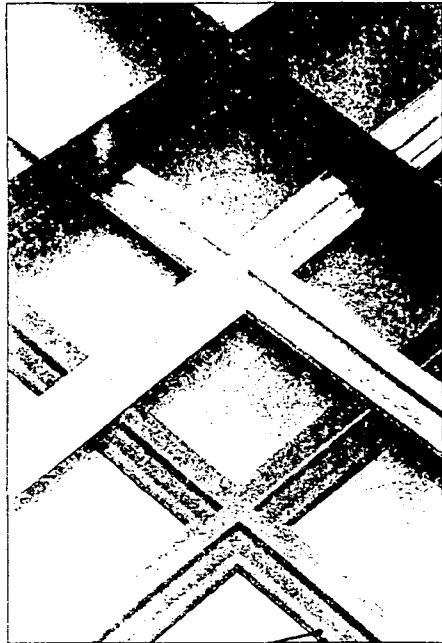


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### Optional Accessories for Andersen™ Narroline™ Double Hung Windows

The accessories described here should allow you to completely specify an Andersen™ Narroline™ Window (see page NL5 for basic options). If more specific information is required please contact your local Andersen supplier.

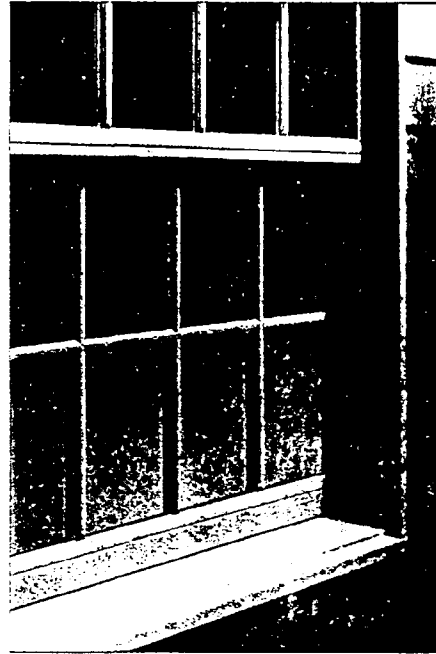


#### INTERIOR GRILLES (GRLTYPE)

Divided light grilles give the appearance of true divided lights without the traditional bother and shortcomings of true divided light sash. They fit tightly against the inside glass surface and are easily removed for glass cleaning. Available in white, Sandtone or Terratone™ color to match Andersen® windows. Or they are available with an interior Tycote™ finish – a factory applied polymer that allows the grille to be stained (high quality gel or heavy-bodied oil base stains only) or painted to match interior window finishes.

#### CUSTOM INTERIOR GRILLES

Interior custom unfinished maple hardwood grilles are available on special order.



#### EXTERIOR GRILLES (GRLTYPE)

Profiles simulate true divided light muntin bars. Used in combination with our interior grille. High-Performance glass energy savings not compromised. (Not possible with small pane units with multiple "edge effects.") Grilles are chlorinated poly-vinyl chloride coated with white, Terratone™ or Sandtone capping material. Can be painted. Permanently applied.

#### INTERIOR TRIM

Prefinished sill stops and clear pine stools are available for all sizes of Narroline™ units.

#### PICTURE WINDOW ACCESSORY STOP (OPTSTOP)

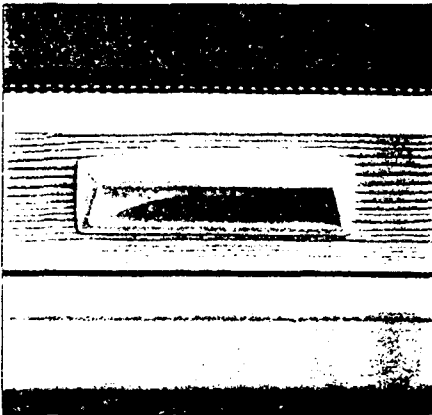
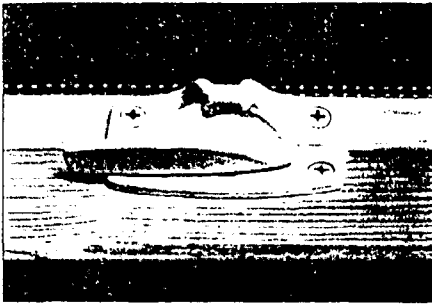
Accessory stops that cover the interior sash profile are available for all sizes of Narroline™ picture windows. Made of western clear pine, and can be finished to match interior decor.



#### COMBINATION UNITS (COMBO)

A complete unit for triple glazing, consisting of a prefinished aluminum frame, storm panels and an insect screen. They are finished in either white, Sandtone or Terratone™.

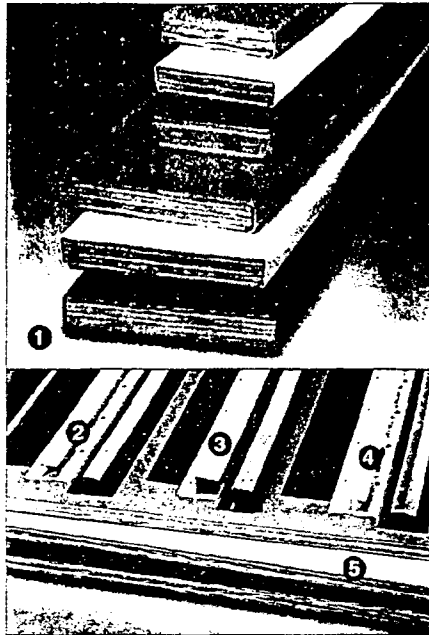
\* NOTE: Abbreviations, shown in parentheses, refer to the Andersen CADD-1™ computer aided design program.



**WHITE HARDWARE (HARDWARE)**

The Narroline sash lock and keeper in white coated zinc die cast material and a white polycarbonate lift handle are now available. Must be purchased and applied locally. Contact your Andersen supplier for availability.

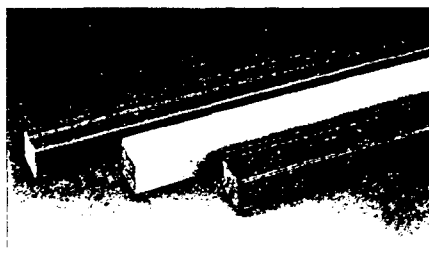
\* NOTE: Abbreviations, shown in parentheses, refer to the Andersen CADD-1<sup>®</sup> computer aided design program.



**INSTALLATION ACCESSORIES**

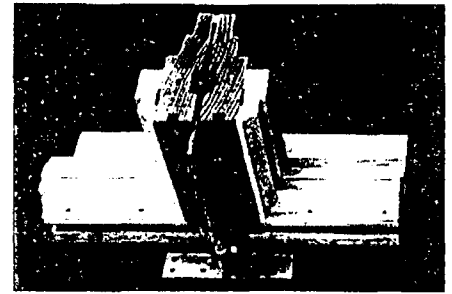
Perma-Shield<sup>®</sup> casing, "J", "h", "H" channel and vinyl laminated board are available in white, Terratone<sup>®</sup>, and Sandtone.

	Length	Thickness	Width
1 Perma-Shield <sup>®</sup> Casing	150"	3/4"	3 1/2", 5 1/2"
2 Rigid Vinyl "J" Channel	150"	1/2"	
3 Rigid Vinyl "h" Channel	84", 150"	3/4"	
4 Rigid Vinyl "H" Channel	150"	1/2"	
5 Vinyl Laminated Board	96"	1/2"	24"

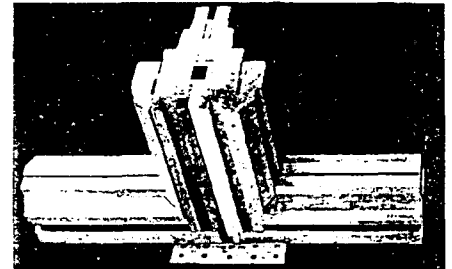


**PERMA-SHIELD<sup>®</sup> AUXILIARY CASING**

A treated wood core encased in a seamless vinyl extrusion. Available in white, Terratone<sup>®</sup> or Sandtone color, used to simulate exterior casing. 1-3/16" x 1-3/16" in 150" lengths.



Steel Reinforced Joining



Aluminum Reinforced Joining

**REINFORCED MULLION/TRANSOM (JOINING)**

Reinforced mullions should be used when individual window units in a mullied combination are not fastened through opposite sides (head and sill or side jambs) into framing material and thus need increased support to conform to design and building codes.

Andersen<sup>®</sup> aluminum and steel reinforced narrow mullions have been designed and tested to meet NWWDA structural requirements under various wind loads. They are identical in final installed appearance but have different sizes offered and different methods for attaching frame and windows.

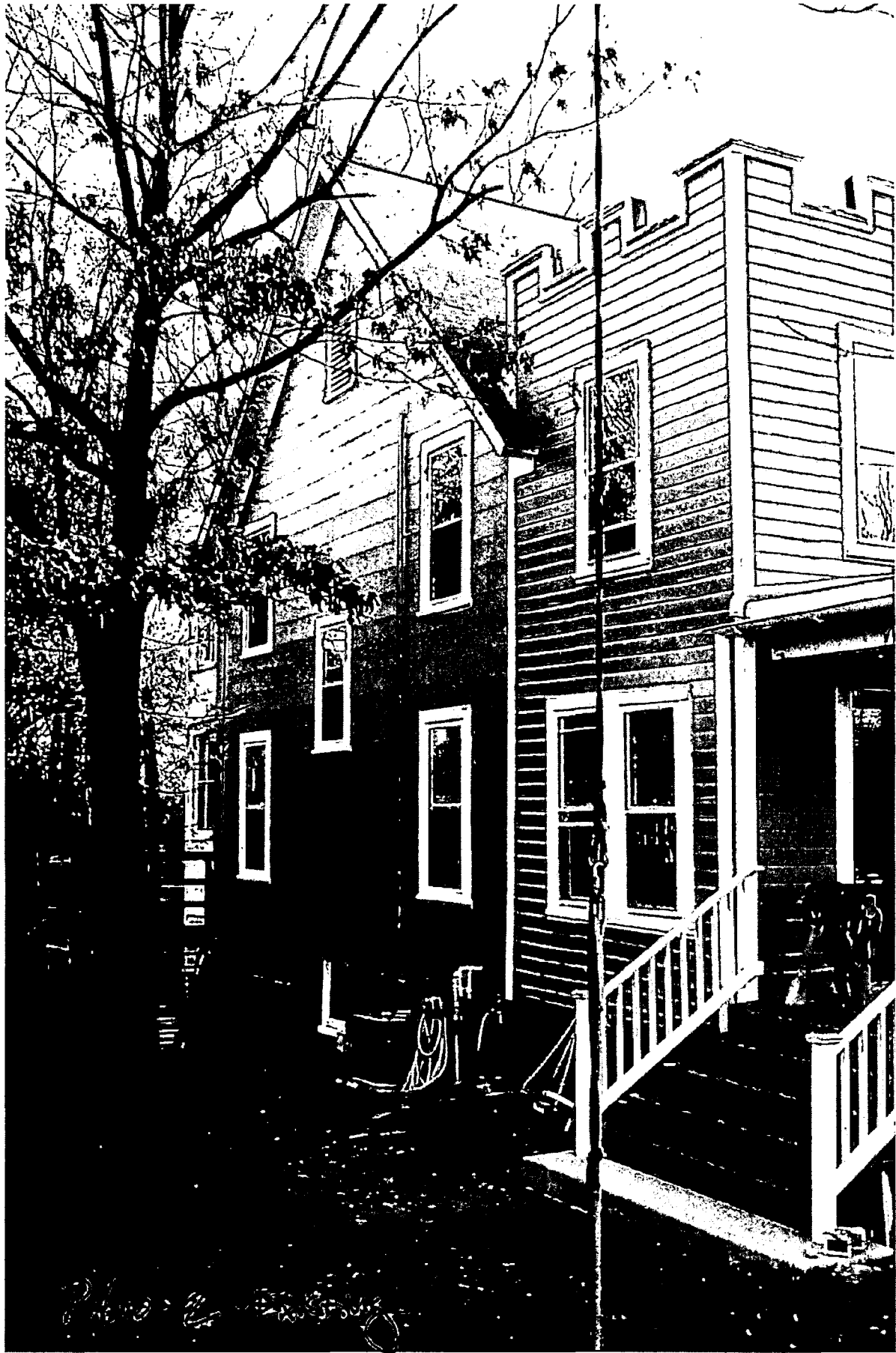
For more information see the Andersen Joining Materials section in the Feature Windows section of this book.



**SIDE JAMB CLIP**

1-1/2" x 3" Galvanized sheet metal clip (available from Andersen distributors) is first secured to back of side jamb through pre-punched holes. Clip can be bent to secure unit in opening. Cut vinyl flange as required. See page NL24 for performance limitations.

(21)  
NL 7



SIDE ELEVATION (WEST) 7307 Takoma Avenue

(22)

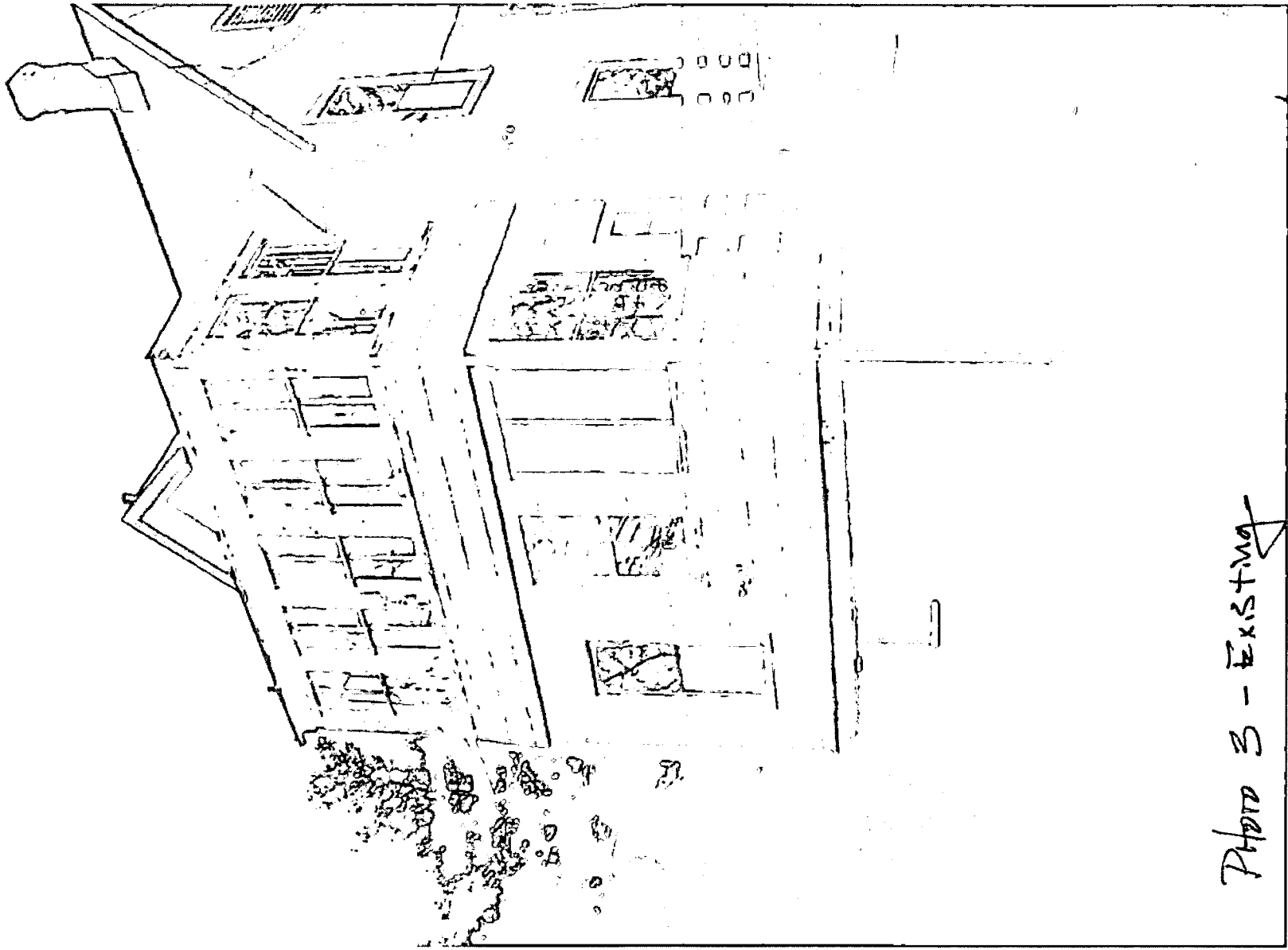


PHOTO 3 - EXISTING

~~SITE~~ ELEVATION (North) 7307 Teloma Avenue  
CLEAR



Photo 1 - Existing

7301 Takoma Ave  
FRONT ELEVATION (SOUTH)

(24)