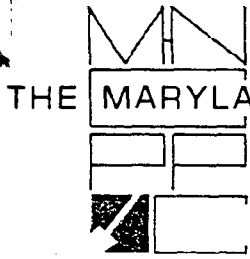


37/3-00X 500 Tulip Avenue Rev. R  
(Takoma Park Historic District)

FAT -  
Go see site for  
materials,  
tree, <sup>new tree</sup> location?  
fence.  
topography

sent letter on good examples, showing  
materials...

Plastic  
Fence



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 12/6/00

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

~~\_\_\_\_\_~~ Approved

\_\_\_\_\_ Approved with Conditions: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: James De Arman

Address: 500 Tulip Avenue, Takoma Park MD 20912

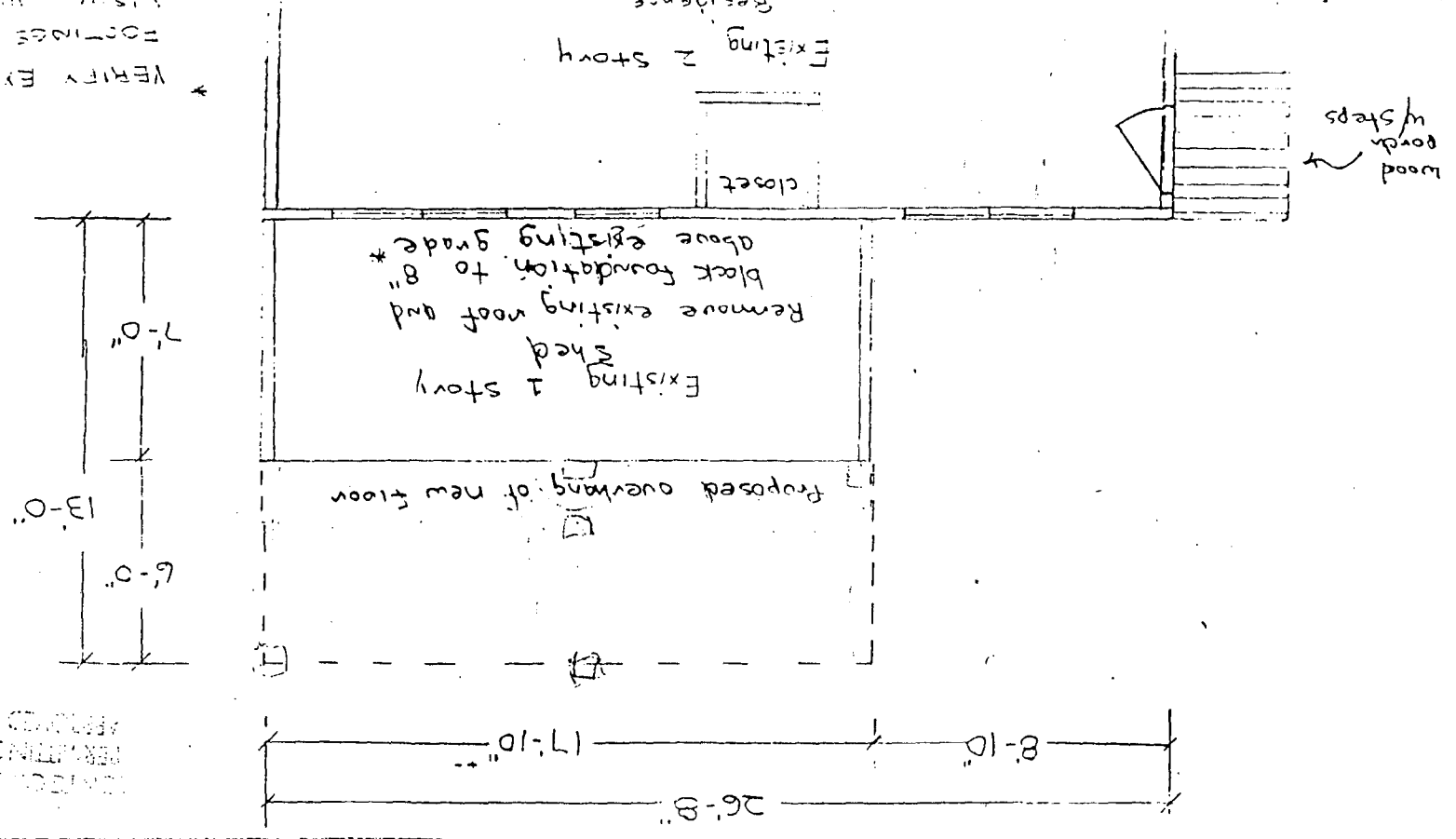
and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.

5

12/6/02  
BDZ

APPROVED  
Montgomery County  
Historic Preservation Commission

\* VERIFY EXISTING  
FOOTINGS WITH  
1.504 - 11.11.02



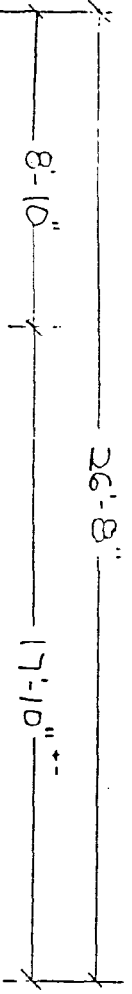
APPROVED  
RECORDING  
MONTGOMERY COUNTY

EXISTING STRUCTURE

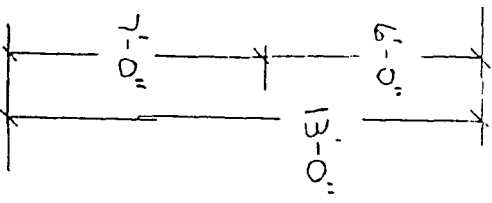
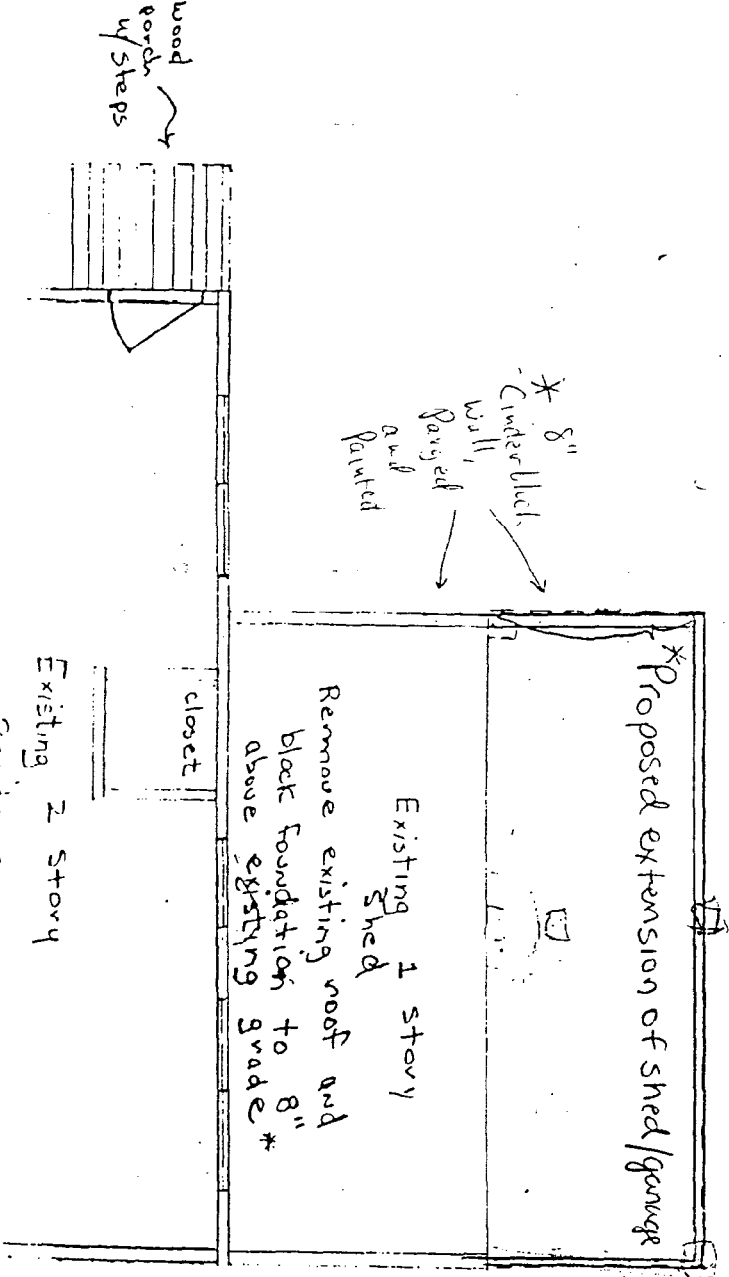
Existing  
Plan

Changed Plan  
\* ← indicates change

EXISTING STRUCTURE



MONTEGOMERY COUNTY  
PERMITTING SERVICE  
APPROVED AS SHOWN



\* VERIFY EXISTING FOOTINGS WITH...

APPROVED  
Montgomery County  
Historic Preservation Commission

202  
12/10/88

6



\*Proposed  
Change:  
Painted  
Hardi plank  
Siding  
w/5" lap

MONTGOMERY COUNTY  
PLANNING DEPARTMENT

APPROVED  
Montgomery County  
Historic Preservation Commission

3/0" MIN. RAIL  
W/ SPACES LESS  
THAN 4"

PDZ  
4/15/00

APPROVED  
Montgomery County  
Historic Preservation Commission

PDZ  
12/6/00

7

MONTGOMERY COUNTY  
PLANNING SERVICE  
APPROVED ARCHITECT

APPROVED  
Montgomery County  
Historic Preservation Commission

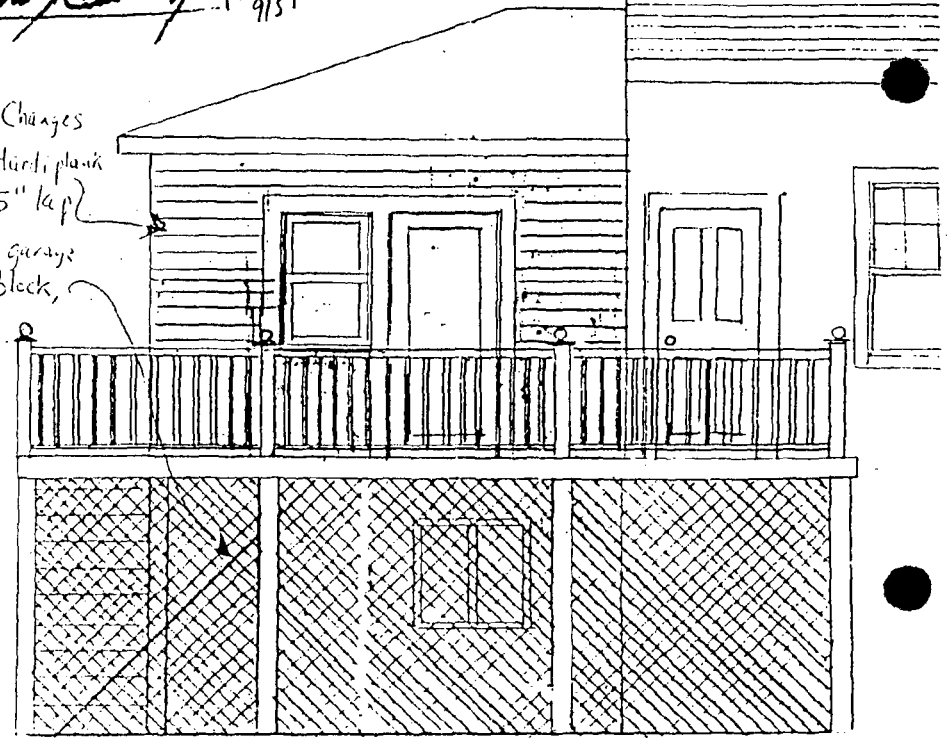
*[Signature]*  
10/3  
9/5/00

\* Proposed Changes

- 1. Painted Hardi-plank Siding 45" lap
- 2. Extend garage wall: 8' block, parged, and painted



WEST ELEVATION



EAST ELEVATION

1/4" = 1'-0"

8

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*  
12/6/00

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address:	500 Tulip Avenue	Meeting Date:	12/6/00
Applicant:	James DeArmon	Report Date:	11/29/00
Resource:	Takoma Park Historic District	Public Notice:	11/22/00
Review:	HAWP	Tax Credit:	No
Case Number:	37/3-00X REV	Staff:	Robin Ziek

**PROPOSAL:** Change approved siding for new addition from stucco to wood clapboard substitute material (hardiplank); extend garage wall under approved deck to edge of deck; garage to be built of painted concrete block.

**RECOMMEND:** Approval

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource in the Takoma Park Historic District  
**STYLE:** Four Square-Craftsman  
**DATE:** 1920

This corner property has a 2-story frame dwelling, sided with a combination of stucco on the first floor and narrow wood clapboard on the 2<sup>nd</sup> story. The house has heavy brackets, and a shallow hipped roof. The house retains a high level of integrity in terms of materials and design, despite internal divisions to accommodate several apartments. The rear portion of the house has been previously modified/enclosed – it might have been a two-story porch.

The applicant came before the HPC on 7/26/00 and was approved for a 1-story rear addition, with a new deck and exterior stairs. The rear addition was approved with a stucco finish, matching the first floor of the original structure.

In the approved HAWP, the applicant built the deck over the existing garage, leaving space under the proposed deck as storage space enclosed by the lattice under the porch.

**PROPOSAL**

The applicant proposes to extend the garage to the full extent under the approved deck, moving the existing garage doors to the edge of the deck for interior access. The foundation of the new deck would then be upon a painted concrete foundation wall instead of the open lattice previously proposed.

(1)



In addition, the applicant proposes to side the new addition with a clapboard-like material, hardiplank, instead of stucco. This material is a concrete-based substitute material with a smooth finish which is nailed up like wood siding with a 5" lap, and will be painted.

### STAFF DISCUSSION

The proposed new addition will be readily visible from the public right-of-way. The *Takoma Park Guidelines* (page 15) direct that "this design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns..." They also note (page 16) that the alterations "should be generally consistent with the predominant architectural style and period of the resource..." The proposed use of the wood clapboard substitute material on a new addition has been approved previously in the Takoma Park Historic District, as a compatible new material. Staff believes that this proposal supports the use of texture as an important element here, and is compatible with the district.

Staff notes that the extension of the garage under the deck is a logical adaptation for additional space. The additional foundation wall, while readily apparent, will be painted to match the foundation of the house. There may be some changes to details to accommodate the change to interior space under the deck, but these elements would not be apparent to the general view. The applicant will still use a substantial trim piece under the deck to cap the garage walls.

### STAFF RECOMMENDATION

Staff recommends that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and with the Secretary of the Interior Guidelines #9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

and subject to the general condition that **the applicant shall present the 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits (1 extra set for HPC file copy)** and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

11/3/00

Robin -

Here are proposed changes

1. Garage wall extended
2. Garage exterior as painted, parged block
3. New room exterior as painted Hardiplank w/5" lap

Feel free to call w/ questions.

Thanks,

Jim DeArmon  
703-883-6051 (work)

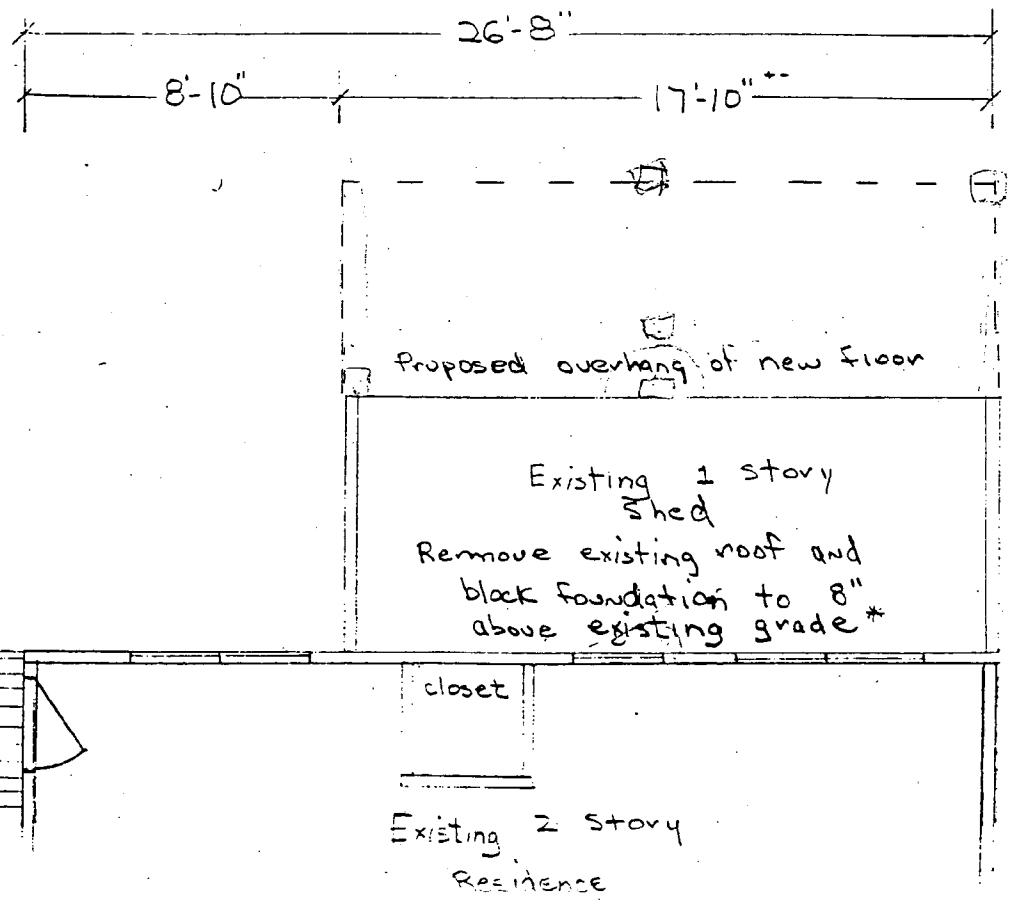
Item #7  
Addresses of Adj +  
Confronting Prop. Own.  
DeArmon, 500 Tulip

Adjacent/confronting property address	Owner name, address
408 Tulip Ave	James and Linda Rettberg 408 Tulip Ave Takoma Park, MD 20912
502 Tulip Ave	Elinor H. Landstreet 502 Tulip Ave Takoma Park MD 20912
7205 Spruce Ave.	Frederick Brandt 2212 Hermitage Ave. Wheaton, MD 20902
7204 Spruce Ave.	Colin and Ann Norman 7204 Spruce Ave. Takoma Park MD 20912

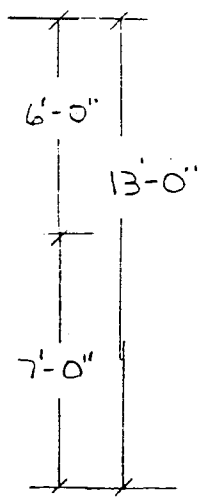
~~6~~ 4

Existing  
Plan

EXISTING STRUCTURE



MONTGOMERY COUNTY  
PERMITTING DEPT.  
APPROVED AS NOTED



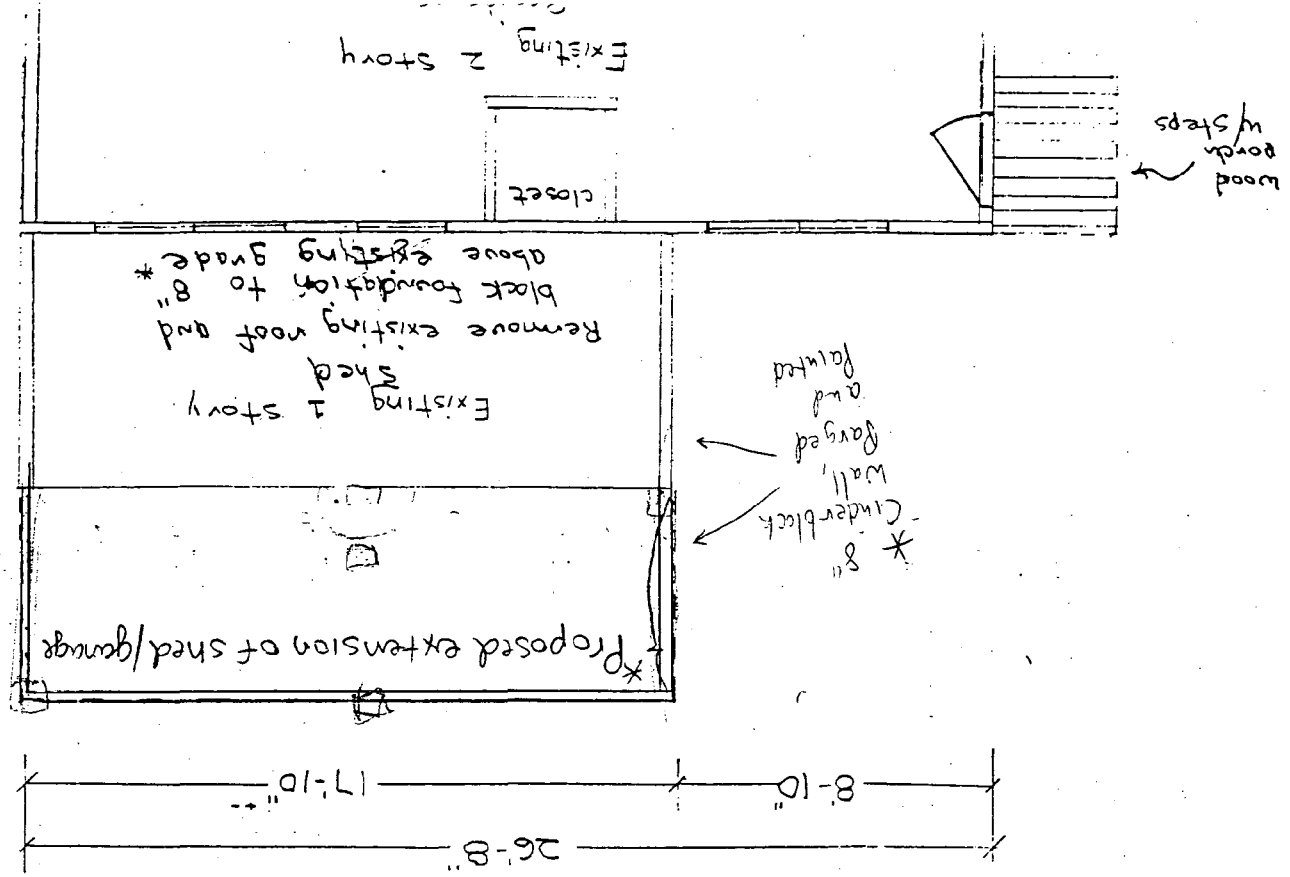
Wood porch  
w/ steps

closet  
Existing 2 story  
Residence

Existing 1 story  
shed  
Remove existing roof and  
block foundation to 8"  
above existing grade\*

\* VERIFY EXISTING  
FOOTINGS WITH  
VISUAL SURVEY

5



\* VERIFY EXISTING FOOTINGS WITH

7'-0"  
13'-0"  
6'-0"

26'-8"  
8'-10"  
17'-10"

EXISTING STRUCTURE

MONTGOMERY COUNTY PERMITTING SERVICES APPROVED AS NOTED

Changed Plan  
\* ← indicates change



MONTGOMERY COUNTY  
PERMITTING SERVICE  
APPROVED AS NOTED

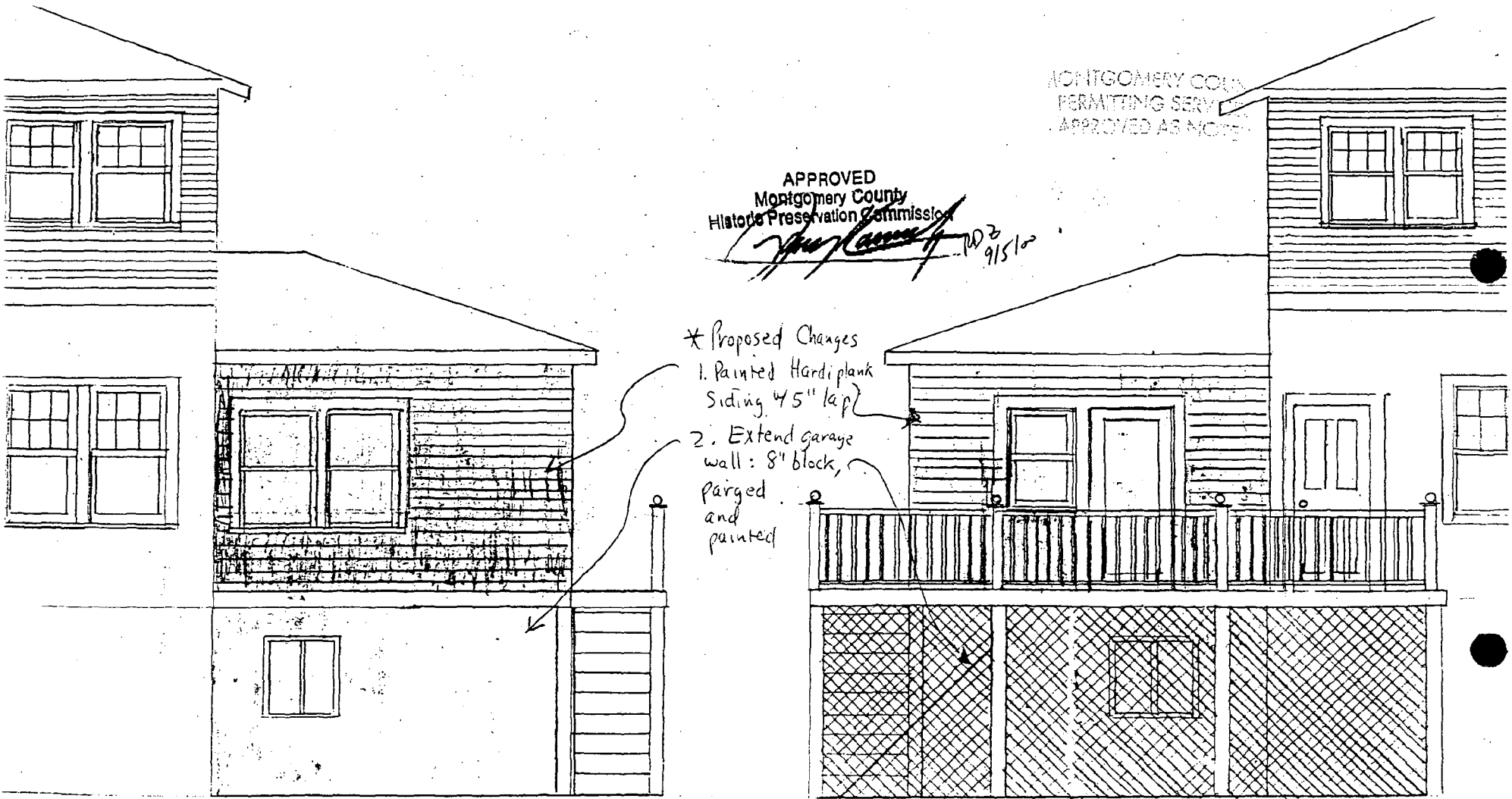
APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*

PDZ  
9/15/00

\*Proposed  
Change:  
Painted  
Hardi plank  
Siding  
w/5" lap

3/8" MIN. RAIL  
w/ SPACES LESS  
THAN 4"

7



MONTGOMERY COUNTY  
PERMITTING SERVICE  
APPROVED AS NOTED

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]* PD 3 9/5/02

\* Proposed Changes

- 1. Painted Hardiplank Siding, 45" lap
- 2. Extend garage wall: 8" block, parge and painted

WEST ELEVATION

1/4" = 1'-0"

EAST ELEVATION

8

11/3/00

Robin -

Here are proposed changes

1. Garage wall extended
2. Garage exterior as painted, parged block
3. New room exterior as painted Hardiplank w/5" lap

Feel free to call w/ questions.

Thanks,

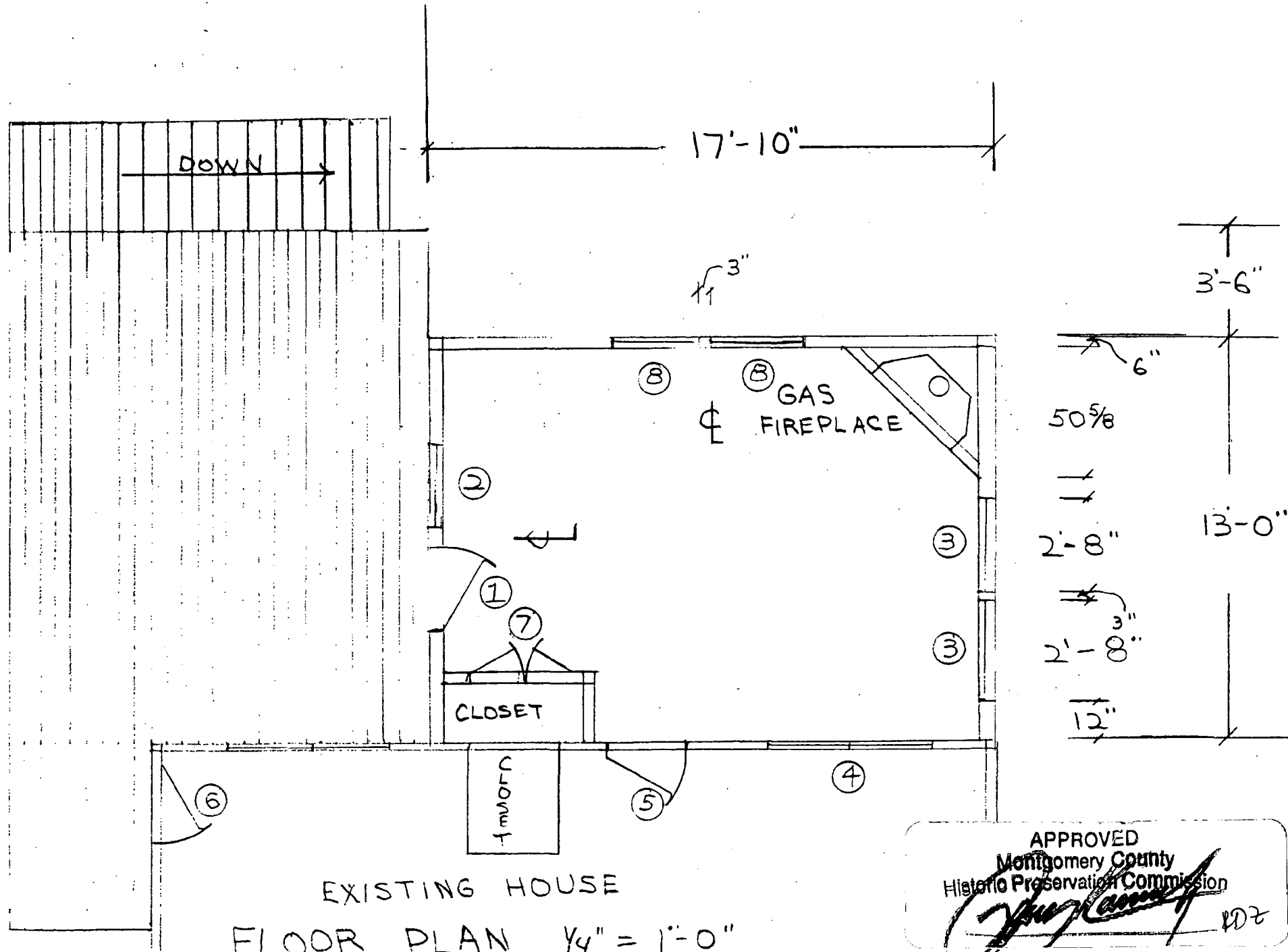
Jim DeArmon  
703-883-6051 (work)



WINDOW AND DOOR SCHEDULE

- ① 3-0x6-8 Full VIEW DOOR
- ② ANDERSEN 2832 DOUBLE HUNG RO. 2-10<sup>1</sup>/<sub>8</sub> x 4'-1<sup>1</sup>/<sub>4</sub>" 3'-6"
- ③ ANDERSEN 2842 DOUBLE HUNG RO. 2-10<sup>1</sup>/<sub>8</sub> x 4'-5<sup>1</sup>/<sub>4</sub>"
- ④ EXISTING WINDOW-INFILL WITH SHELVES
- ⑤ EXISTING WINDOW
- ⑥ EXISTING DOOR
- ⑦ 3-0x6-8 PAIR
- ⑧ ANDERSEN 2856 DOUBLE HUNG RO. 2-10<sup>1</sup>/<sub>8</sub> x 5'-1<sup>1</sup>/<sub>4</sub>" 4'-5<sup>1</sup>/<sub>4</sub>" 16'-6"

RDZ  
9/15/00



EXISTING HOUSE  
FLOOR PLAN 1/4" = 1'-0"

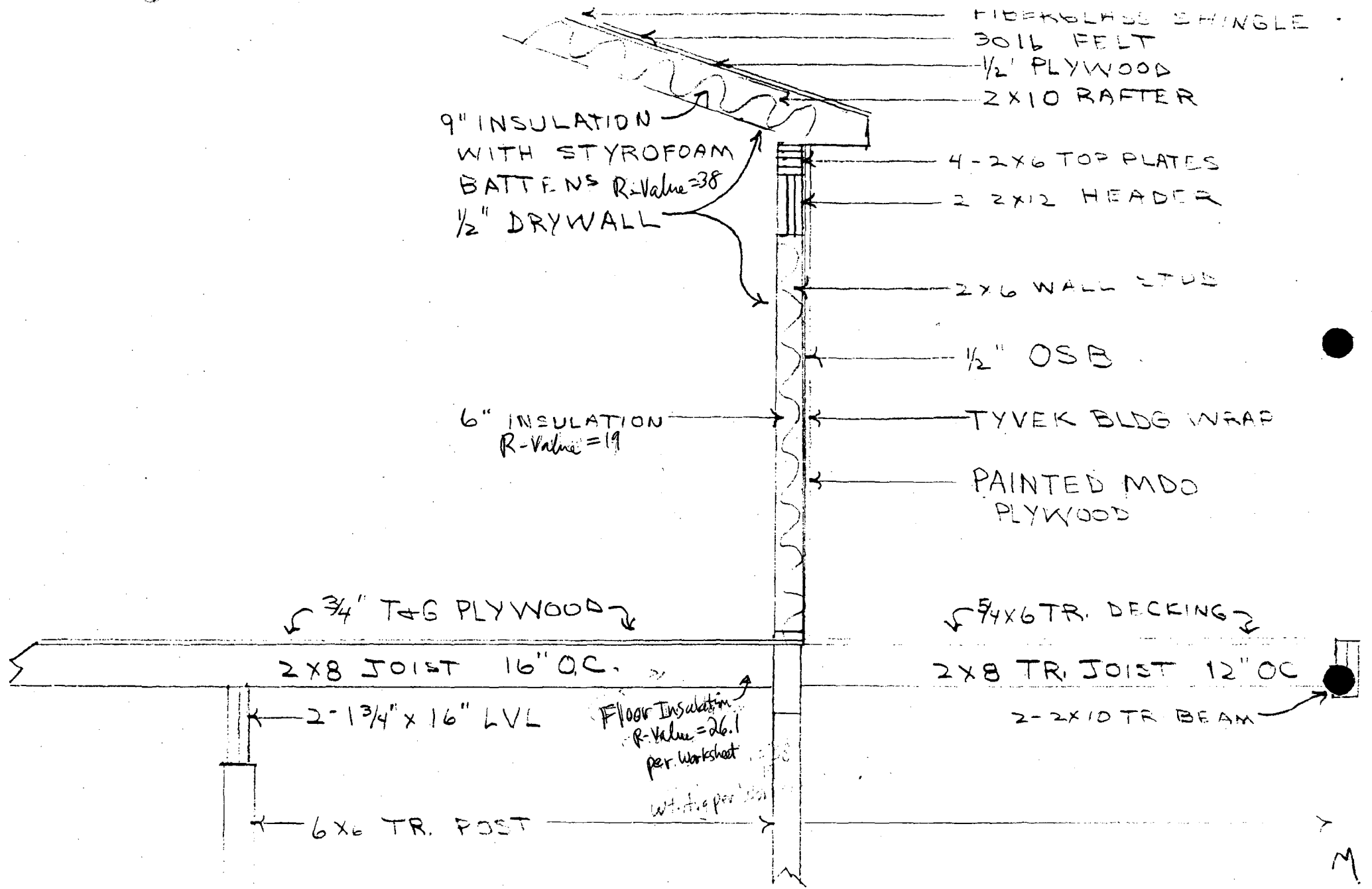
APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
RDZ 9/15/00



APPROVED  
Montgomery County  
Historic Preservation Commission

*[Handwritten Signature]*

RDZ  
9/5/00



FIBERGLASS SHINGLE  
 30 LB FELT  
 1/2" PLYWOOD  
 2X10 RAFTER

9" INSULATION  
 WITH STYROFOAM  
 BATTENS R-Value = 38  
 1/2" DRYWALL

4-2X6 TOP PLATES  
 2 2X12 HEADER

2X6 WALL STUD

1/2" OSB

6" INSULATION  
 R-Value = 19

TYVEK BLDG WRAP

PAINTED MDO  
 PLYWOOD

3/4" T&G PLYWOOD

5/4x6 TR. DECKING

2X8 JOIST 16" O.C.

2X8 TR. JOIST 12" O.C.

2-1 3/4" x 16" LVL

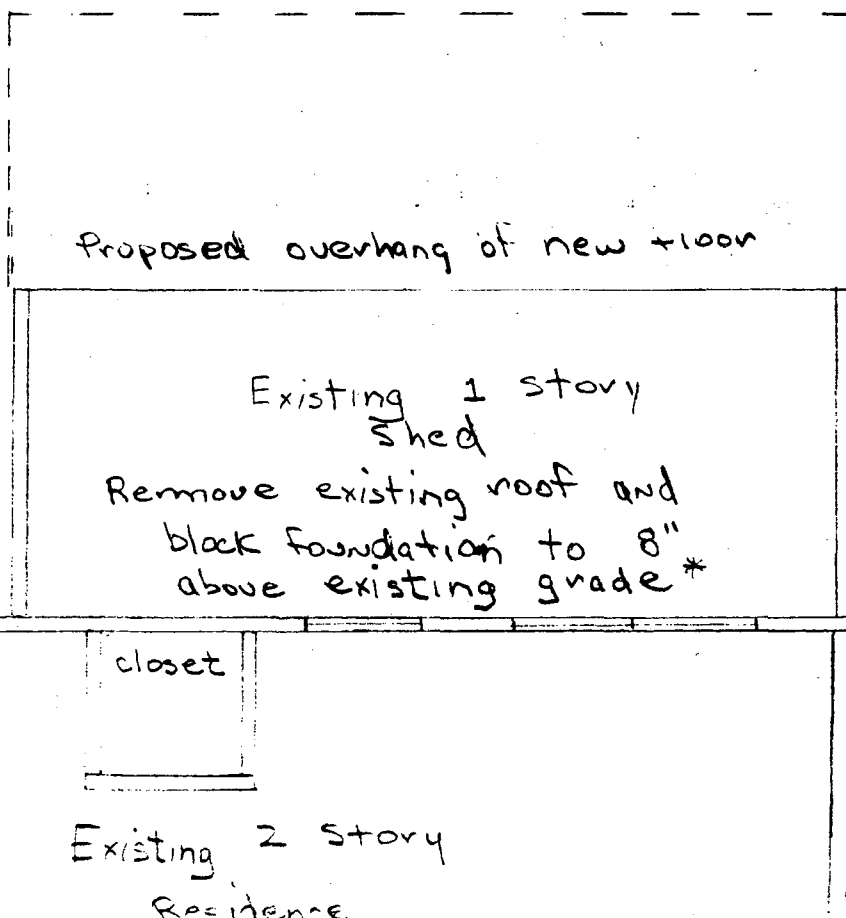
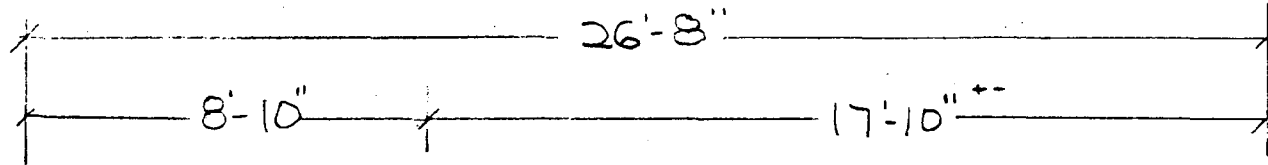
Floor Insulation  
 R-Value = 26.1  
 per worksheet  
 wt. 4.0 per sq ft

2-2X10 TR. BEAM

6X6 TR. POST

SECTION AT ENTRY 1/2" = 1'-0"

EXISTING STRUCTURE



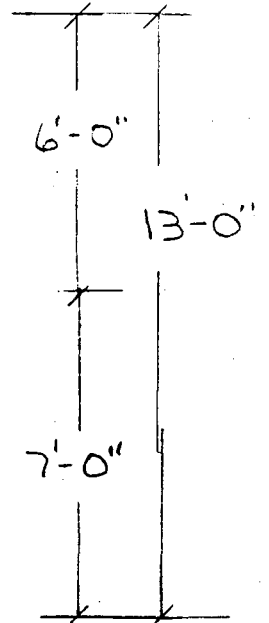
Proposed overhang of new +1000

Existing 1 story  
Shed

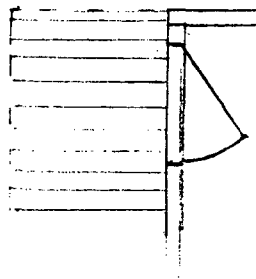
Remove existing roof and  
block foundation to 8"  
above existing grade\*

closet

Existing 2 story  
Residence



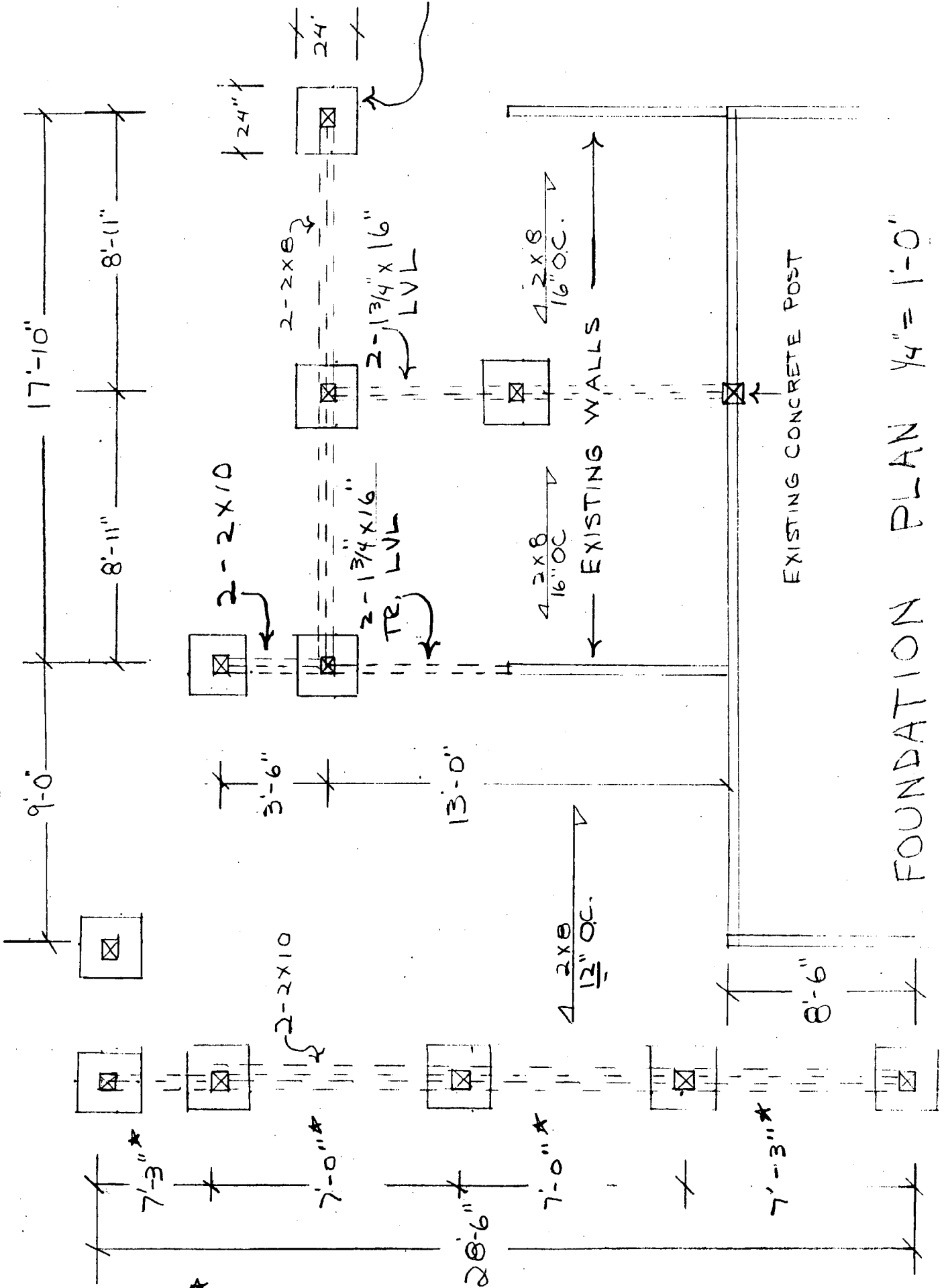
wood  
porch  
w/ steps



DEMOLITION PLAN

\* VERIFY EXISTING  
FOOTINGS WITH  
VISUAL INSPECTION

6X6 WOOD COLUMN  
ON 24" X 24" X 12"  
CONCRETE FOOTER  
30" BELOW GRADE  
TYPICAL




★ NOTE

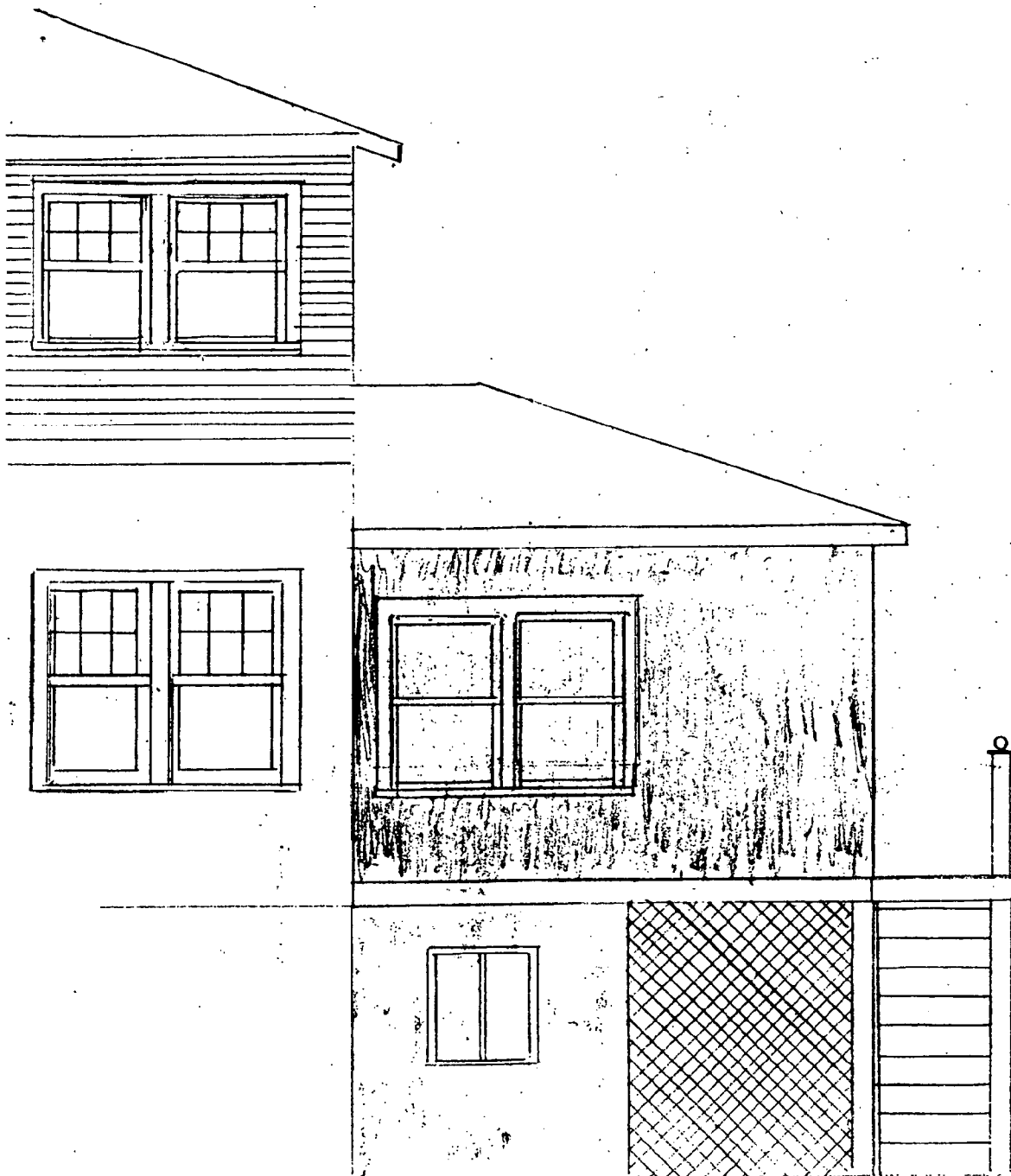
THIS END IS NOT TO SCALE  
THE LENGTH IS DIVIDED EQUALLY

FOUNDATION PLAN 1/4" = 1'-0"

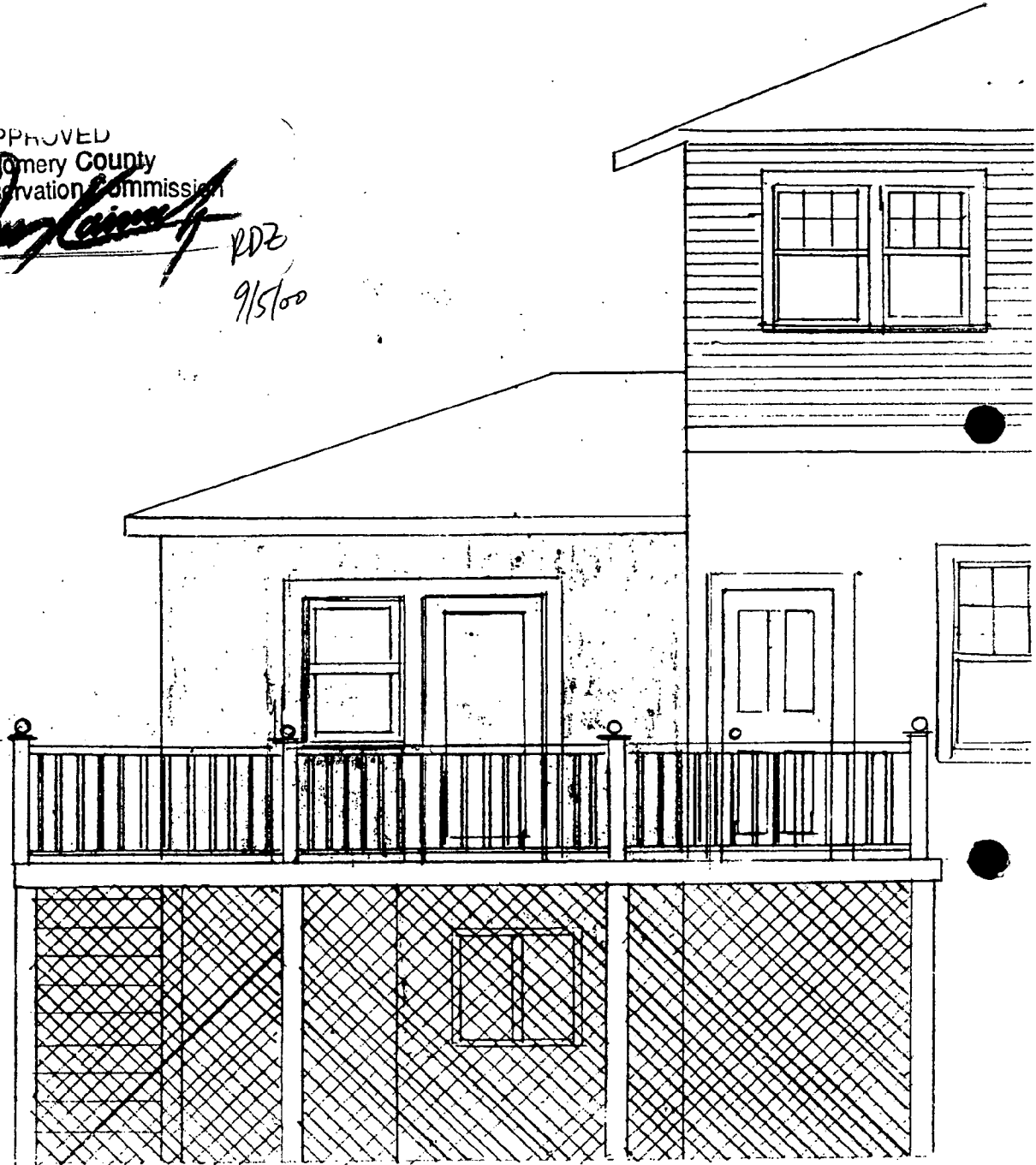
APPROVED  
Montgomery County  
Historic Preservation Commission



RDB  
9/5/00



WEST ELEVATION



EAST ELEVATION

1/4" = 1'-0"



<b>FOR OFFICE USE ONLY ZONING</b>	
Classification:	_____
Sheet Number:	_____
Board of Appeals:	_____
Checked By:	_____

Special Conditions: \_\_\_\_\_

# Building Permit Application

DPS - #3

## PART ONE

### 1A. WORK TYPE (Action):

- Construct     Extend/Add  
 Repair         Alter/Renovate

### 1B. ACTIVITY: (Check as many as apply)

- Finished Basement     Room/Addition     Pool     Hot Tub  
 Spa     Porch     Deck     Fireplace  
 Woodburning Stove     Fence/Wall (Complete Part 3)     Shed     Slab  
 Other: \_\_\_\_\_

1C. 6 9'59' Footers = 54 Square Footage of Land Disturbance

1D. 13' x 18' = 234 Square Footage of Floor Area Created or Affected by This Action

1E. Declared Construction Cost Estimate \$ 13,000

1F. The primary structure on this lot is a:  Single Family Home     Townhouse     Duplex     Modular Home     Trailer     Multi-Unit

1G. If this is a revision or is in the approved "Model Plan Program", give Permit Number: \_\_\_\_\_

## PART TWO

Contact Person: Jim DeArmon Daytime Phone No.: 703.1883-6051

Name of Applicant: Jim DeArmon Daytime Phone No.: 1

Address: 500 Tulip Ave City: Takoma Park State: MD Zip: 20912

Contractor: NONE Contractor License No.: \_\_\_\_\_

Contractor Address: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Plans Prepared By: P. Palavecchio ← Structural Engineer Registration No.: 20477 Telephone No.: 301 1 802-7292

Location of Building Premise: C. Kilduff ← all other plans 410, 992-9458

House Number 500 Street Tulip Ave

Town/City Takoma Park Zip 20912

Lot Parts of Lots 6+7 Block 7

## PART THREE COMPLETE ONLY FOR FENCE / RETAINING WALL

3A. Height: \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Type of Fence/Retaining Wall: \_\_\_\_\_

3C. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

1. On Lot Line (complete 3D)     Yes     No  
2. Entirely on Land of Owner:     Yes     No  
3. On Public Right-of-Way/Easement:     Yes     No  
(Revocable Letter Required)

3D. I/We agree to the erection of this retaining wall or fence on the lot line and to all terms and conditions of this application.

Adjoining Property Owner(s) Signature	Lot	Block
Adjoining Property Owner(s) Signature	Lot	Block
Adjoining Property Owner(s) Signature	Lot	Block

## TO BE READ BY APPLICANT

Any information that the applicant has set forth in this application that is false or misleading may result in the rejection of his application. A condition for the issuance of this permit is that the proposed construction will comply at all times with the plans as approved by all applicable government agencies. I hereby declare and affirm, under the penalty of perjury, that all matters and facts set forth in this building permit application are true and correct to the best of my knowledge, information and belief.

8/21/00  
Date

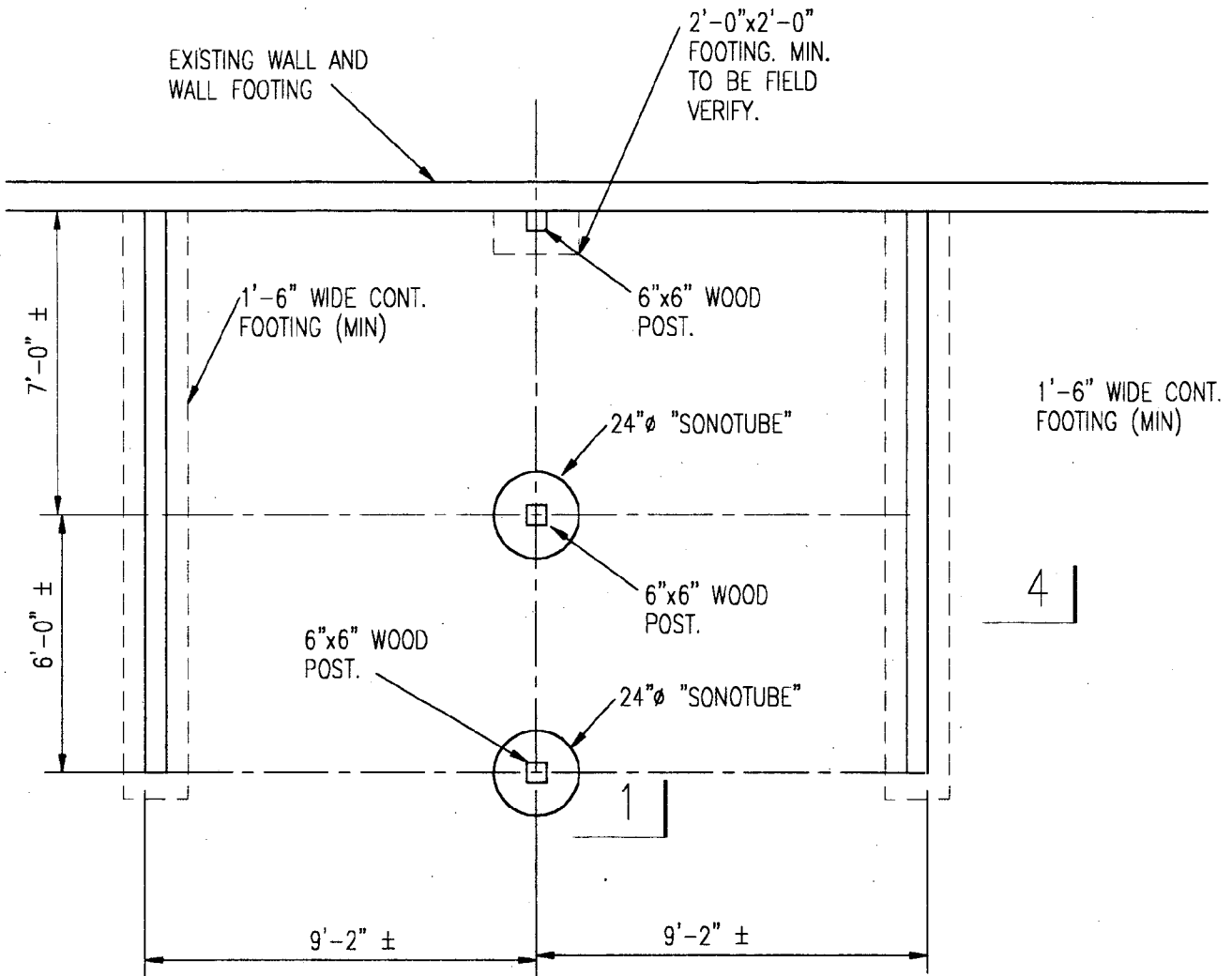
James S. DeArmon  
Signature of Applicant

(If applicant is other than owner, agent must complete authorized agent affidavit on back)

James S. DeArmon  
Name (Print)

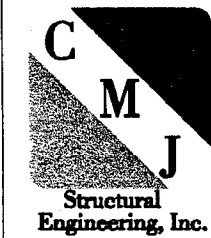
Approved     Disapproved    Signature \_\_\_\_\_ For Chief, Permitting Services    Date \_\_\_\_\_

A/P No. \_\_\_\_\_ Filing Fee: \$ \_\_\_\_\_ Trans. No.: \_\_\_\_\_  
Date Filed: \_\_\_\_\_ Permit Fee: \$ \_\_\_\_\_  
Date Issued: \_\_\_\_\_ Balance: \$ \_\_\_\_\_  
A/P No. \_\_\_\_\_ Trans. No.: \_\_\_\_\_ Fee Waived: \_\_\_\_\_  
A/P No. \_\_\_\_\_



ADDITION FOUNDATION PLAN

1/4=1'-0"



6601 Ammendale Road  
Beltsville, Maryland 20705  
Voice (301) 931 9033

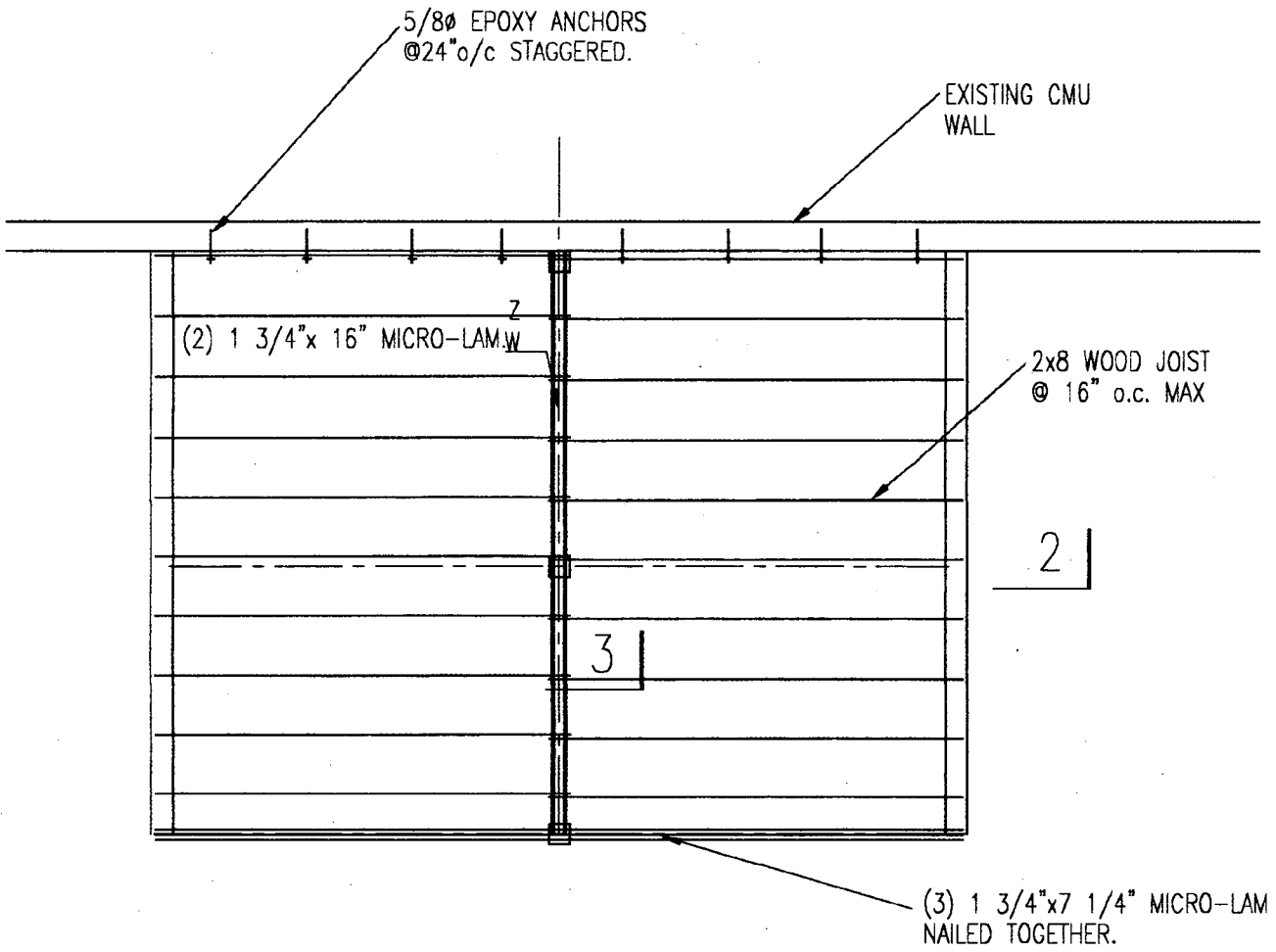
20016 Octavia Court  
Voice (301) 802 7292  
Fax (301) 926 3978

MR. JAMES DeARMON RESIDENCE.  
500 TULIP AVE.  
TAKOMA PARK, MARYLAND 20912

MAR-27-00

S-1



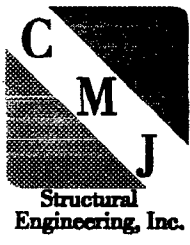


ADDITION SECOND LEVEL FRAMING PLAN

1/4=1'-0"

NOTES:

- 1.- FINISH FLOOR ELEVATION TO MATCH EXISTING.
- 2.- MICRO=LAM LVL ALLOWABLE DESIGN STRESSES:  
 FLEXURAL STRESS  $F_b = 2925$  PSI  
 COMPRESSION PERPENDICULAR TO GRAIN  $F_c = 750$  PSI  
 COMPRESSION PARALLEL TO GRAIN  $F_c = 2725$  PSI  
 MODULUS OF ELASTICITY  $E = 2000000$  PSI.



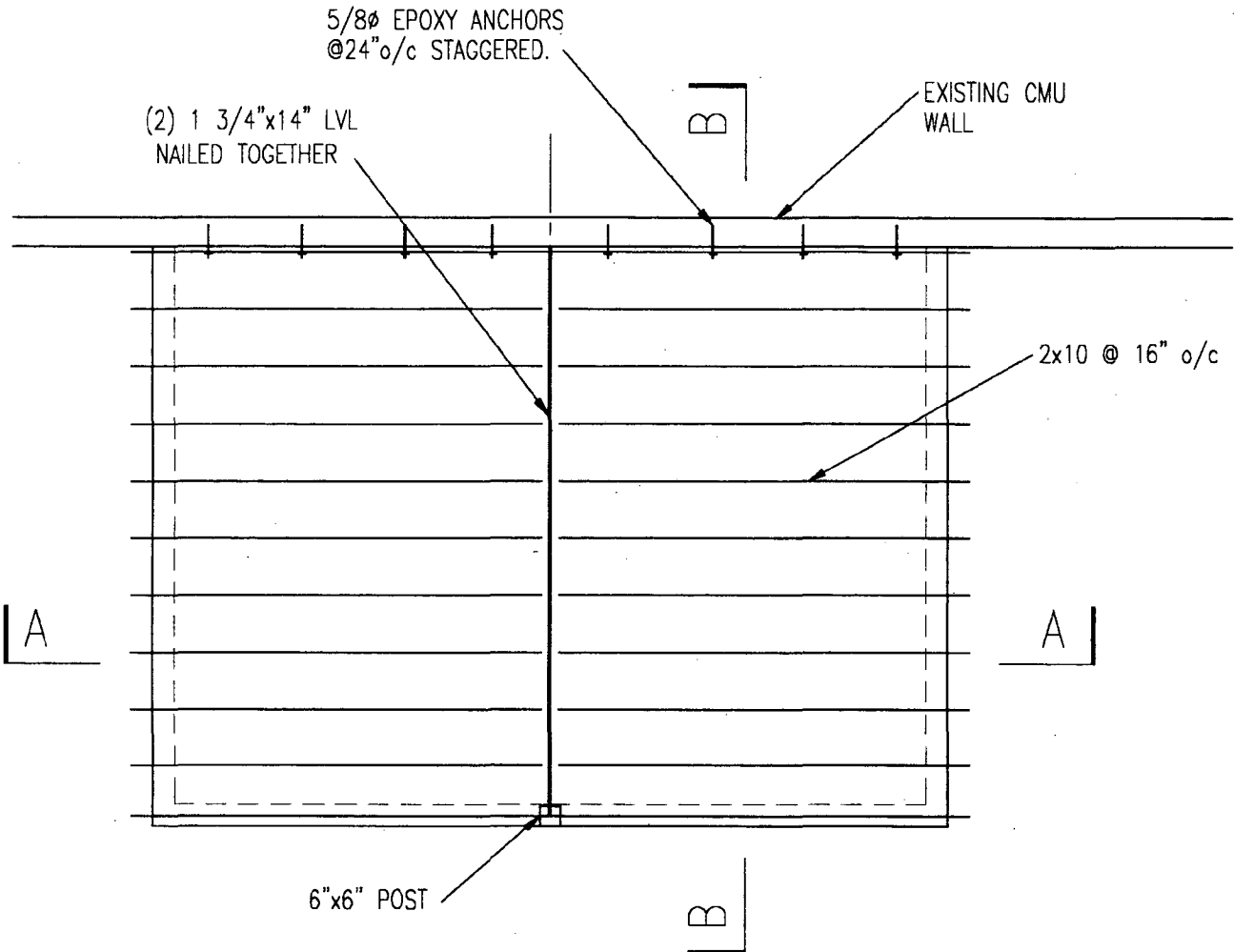
6601 Ammendale Road  
 Beltsville, Maryland 20705  
 Voice (301) 931 9033

20016 Octavia Court  
 Voice (301) 802 7292  
 Fax (301) 926 3978

MR. JAMES DeARMON RESIDENCE.  
 500 TULIP AVE.  
 TAKOMA PARK, MARYLAND 20912

MAR-27-00

S-2



ADDITION ROOF FRAMING PLAN

1/4"=1'-0"



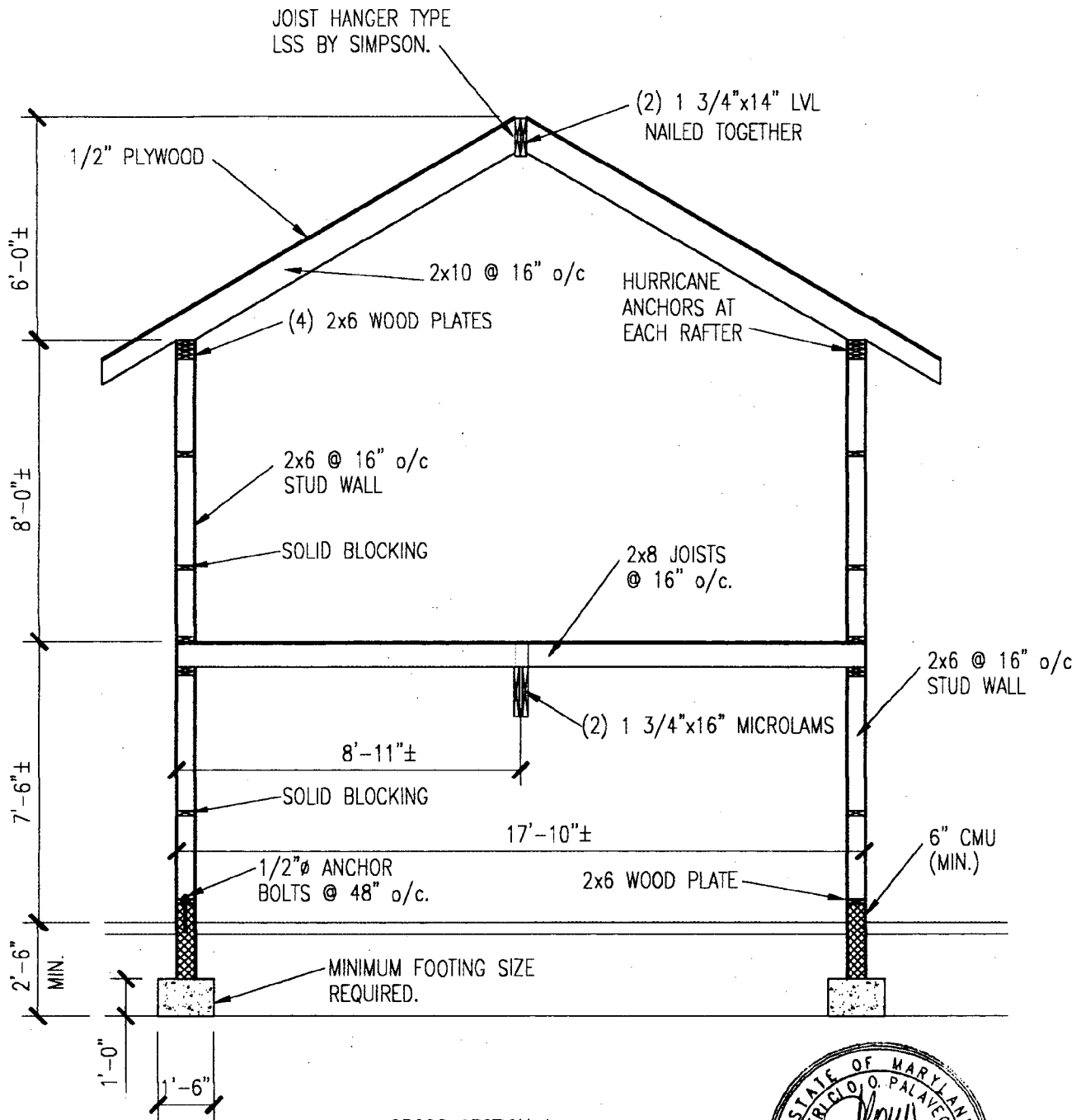
6601 Ammendale Road  
 Beltsville, Maryland 20705  
 Voice (301) 931 9033

20016 Octavia Court  
 Voice (301) 802 7292  
 Fax (301) 926 3978

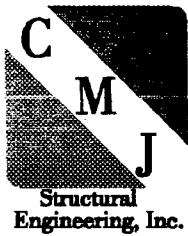
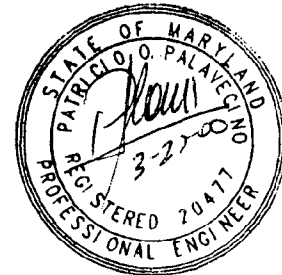
MR. JAMES DeARMON RESIDENCE.  
 500 TULIP AVE.  
 TAKOMA PARK, MARYLAND 20912

MAR-27-00

S-3



CROSS SECTION A



6601 Ammendale Road  
Beltsville, Maryland 20705  
Voice (301) 931 9033

20016 Octavia Court

Voice (301) 802 7292  
Fax (301) 926 3978

MR. JAMES DeARMON RESIDENCE.  
500 TULIP AVE.  
TAKOMA PARK, MARYLAND 20912

MAR-27-00

S-4

ANCHOR 2x10 TO  
EXISTING WALL W/  
5/8"Ø EPOXY ANCHORS  
@ 24" o/c. STAGGERED

HU414 HANGER  
BY SIMPSON

EXISTING WALL

(2) 2x10 LINTEL

(3) 1 3/4"x7 1/4" MICRO-LAM  
NAILED TOGETHER.

2x8 JOISTS  
@ 16" o/c.

(2) 1 3/4"x16" LVL  
NAILED TOGETHER

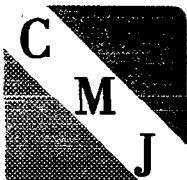
6"x6" POST

6"x6" POST

6"x6" POST

ANCHOR 2x8 TO  
EXISTING WALL W/  
5/8"Ø EPOXY ANCHORS  
@ 24" o/c. STAGGERED

CROSS SECTION B



Structural  
Engineering, Inc.

6601 Ammendale Road  
Beltsville, Maryland 20705  
Voice (301) 931 9033

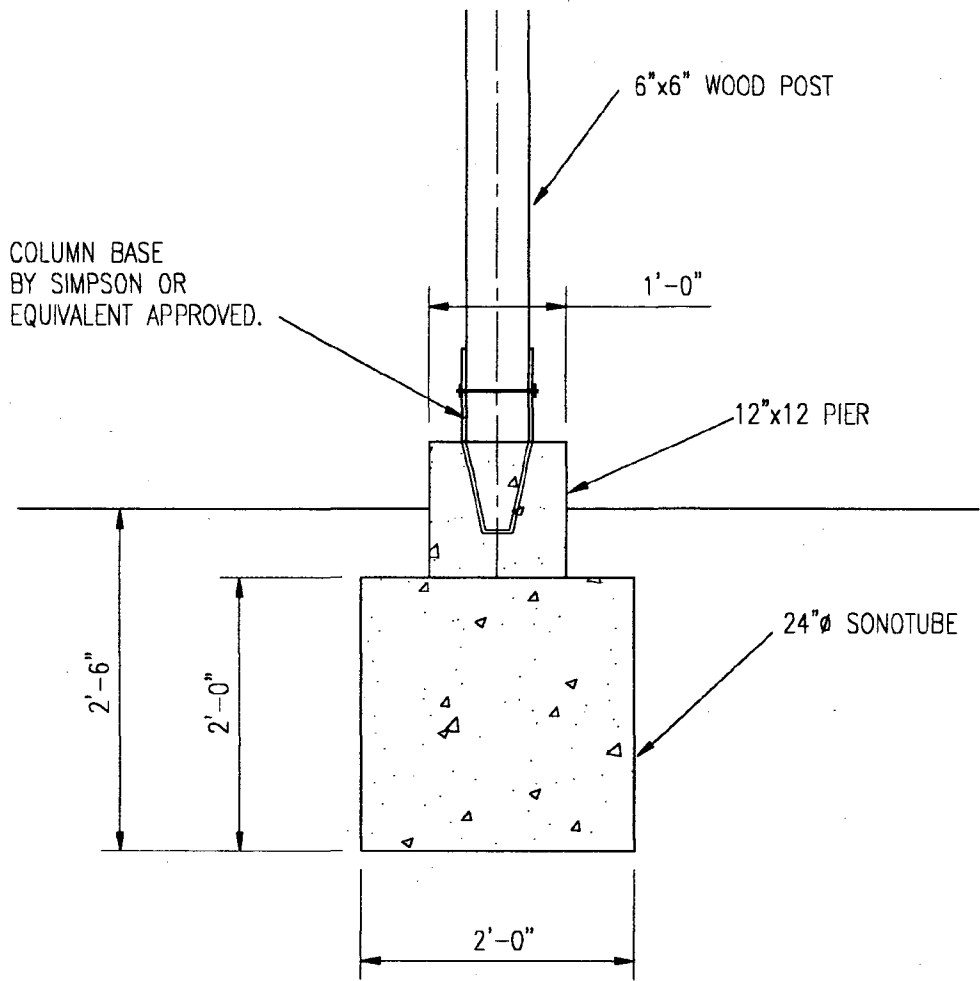
20016 Octavia Court

Voice (301) 802 7292  
Fax (301) 926 3978

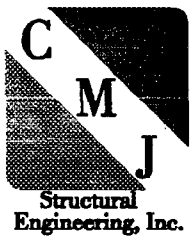
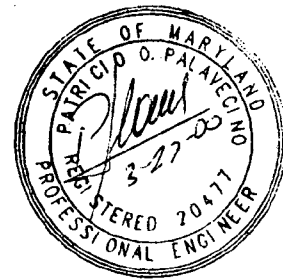
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SECTION 1  
3/4=1'-0"



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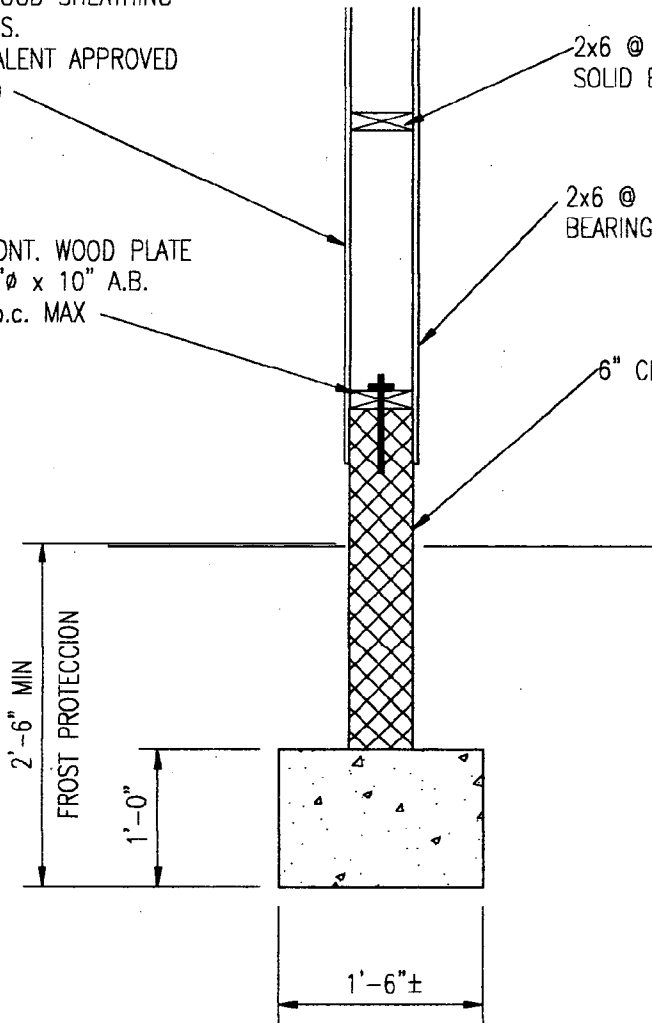
1/2" PLYWOOD SHEATHING  
BOTH FACES.  
(OR EQUIVALENT APPROVED  
SHEATHING)

2"x6" CONT. WOOD PLATE  
W/ 1/2"Ø x 10" A.B.  
@ 48" o.c. MAX

2x6 @ 48" o.c. MAX  
SOLID BLOCKING.

2x6 @ 16" O.C. MAX  
BEARING WALL

6" CMU (MIN)



SECTION 4  
3/4=1'-0"



6601 Ammendale Road  
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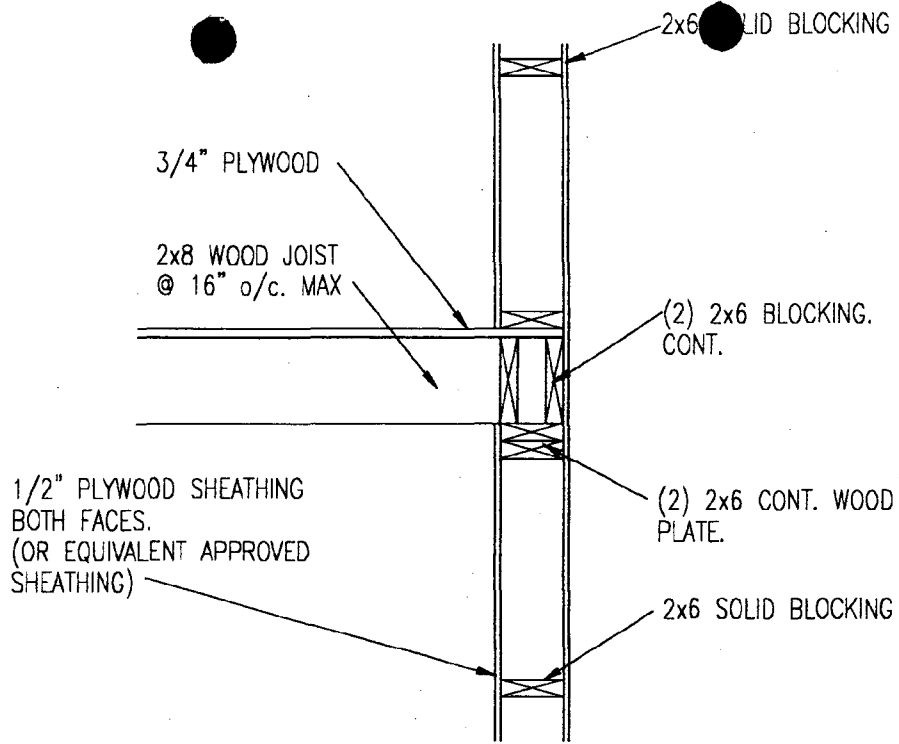
20016 Octavia Court

Voice (301) 802 7292  
Fax (301) 926 3978

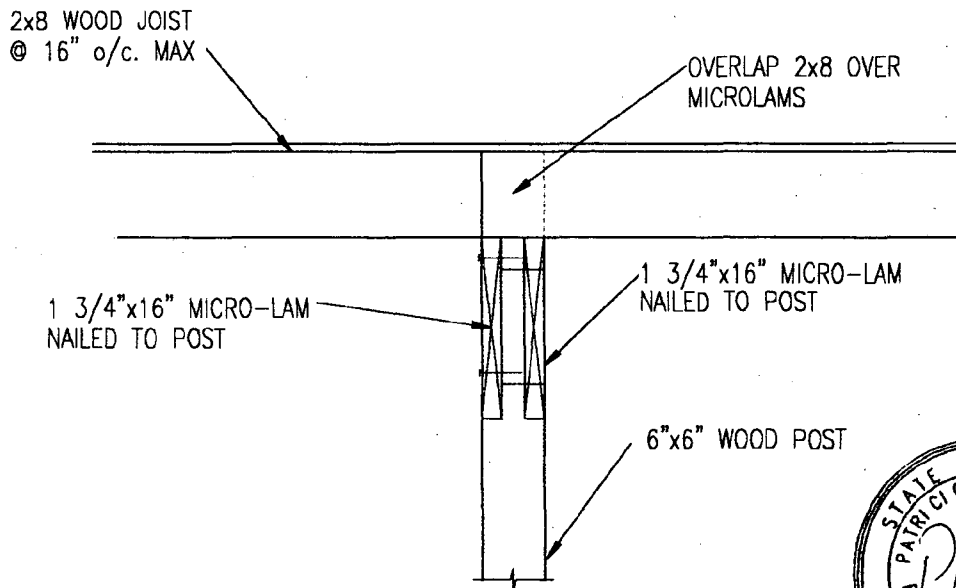
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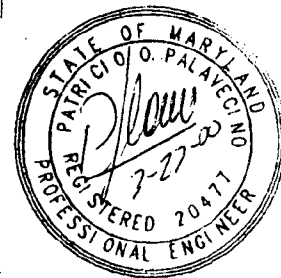
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SECTION 2  
3/4=1'-0"



SECTION 3  
3/4=1'-0"



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FOOTINGS ARE DESIGNED FOR AN ASSUMED BEARING CAPACITY OF PSF. FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL, 1'-0" BELOW ORIGINAL GRADE OR ON STRUCTURALLY COMPACTED FILL AND BOTTOM OF EXTERIOR FOOTINGS SHALL BE 2'-6" BELOW FINISHED GRADE. CONTRACTOR SHALL VERIFY SOIL PRESSURE IN THE FIELD. IF FOUND TO BE LESS THAN PSF, THE FOOTINGS WILL HAVE TO BE REDESIGNED.

CONCRETE:

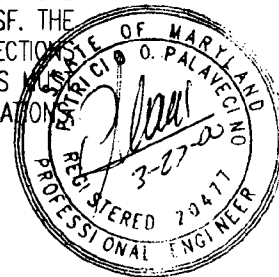
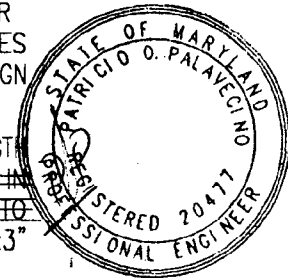
- 1.) ALL CONCRETE, EXCEPT AS NOTED, SHALL BE  $f'_c=3000$  psi NORMAL WEIGHT CONCRETE AT 28 DAYS. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE  $f'_c=4500$  psi NORMAL WEIGHT CONCRETE AND SHALL BE AIR ENTRAINED PER ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (LATEST LOCAL APPROVED EDITION) FOR SEVERE EXPOSURE.

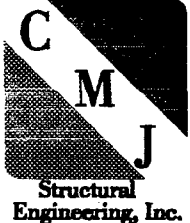
MASONRY:

- 1.) CONCRETE MASONRY SHALL CONFORM TO THE LATEST EDITION OF ASTM SPECIFICATION C90. CONCRETE MASONRY TO BE USED SHALL BE SAMPLED AND TESTED BY THE MASONRY SUPPLIER ACCORDING TO ASTM C140. ALL CONCRETE MASONRY CONSTRUCTION SHALL CONFORM ACI 530/ASCE 5, "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES", (LATEST LOCAL APPROVED EDITION) AND ACI 530.1/ASCE 6, "SPECIFICATIONS FOR MASONRY STRUCTURES", (LATEST LOCAL APPROVED EDITION).

WOOD:

- 1.) STRUCTURAL WOOD JOISTS, BEAMS AND COLUMNS SHALL BE HEM-FIR NUMBER TWO. ALL FABRICATION, ERECTION, OTHER PROCEDURES AND MINIMUM UNIT STRESSES SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (LATEST LOCAL APPROVED EDITION).
- 2.) PROVIDE DOUBLE JOIST AT PARALLEL PARTITIONS WHERE PARTITION LENGTH EXCEEDS 1/3 JOIST SPAN. ~~PROVIDE "TEE" ANCHORS AT 4'-0" o.c. IN MASONRY BEARING WALLS. PROVIDE ANCHORS IN WALLS PARALLEL TO JOISTS (ANCHORS SHALL ENGAGE AT LEAST 3 JOISTS). PROVIDE 1"x3" CROSS BRIDGING AT 8'-0" o.c.~~
- 3.) WOOD TRUSS AND TRUSS JOIST DESIGNS SHALL BE SIGNED AND SEALED BY AN ENGINEER REGISTERED IN THE LOCAL JURISDICTION. THE MINIMUM ROOF LIVE LOAD IS 30 PSF, AND THIS MUST BE INCREASED AS REQUIRED BY THE LOCAL BUILDING CODE. THE MINIMUM TOP CHORD DEAD LOAD IS 10 PSF. THE MINIMUM BOTTOM CHORD DEAD LOAD IS 5 PSF. THE WIND LOAD IS AS REQUIRED BY LOCAL BUILDING CODE. ALL CONNECTIONS AND ATTACHMENTS TO GIRDER TRUSSES, BEARING WALLS AND BEAMS SHALL BE DESIGNED FOR THE APPROPRIATE LIVE AND DEAD LOAD COMBINATION PLUS EFFECTS FROM WIND (INCLUDING UPLIFT).



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ALL WORK SPECIFIED HEREIN SHALL BE INSPECTED IN ACCORDANCE WITH THE BUILDING CODE AND ALL LOCAL ORDINANCES. THE OWNER OR CONTRACTOR SHALL HIRE AN EXPERIENCED, QUALIFIED INSPECTOR TO PERFORM ALL THE REQUIRED INSPECTION WORK. THE ENGINEER WILL NOT PERFORM THE REQUIRED INSPECTION AS A PART OF HIS DESIGN SERVICE. THE ENGINEER MAY VISIT THE SITE TO ASCERTAIN GENERAL CONFORMANCE TO THE CONTRACT DOCUMENTS AND SUCH VISITS ARE NOT TO BE CONSTRUED AS MEETING INSPECTION REQUIREMENTS UNLESS THE ENGINEER SPECIFICALLY SO STATES IN WRITING.

THE CONTRACTOR SHALL REVIEW THE ELECTRICAL DRAWINGS FOR LOCATION AND DIMENSION OF CHASES, INSERTS, OPENINGS, SLEEVES, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS WHICH IMPACT THE STRUCTURAL COMPONENTS.

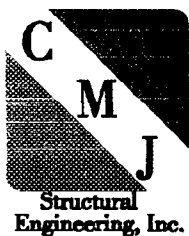
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THE CONTRACT DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION. ALL DISCREPANCIES AND OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

SCALES SHOWN ON THE STRUCTURAL CONTRACT DRAWINGS ARE FOR GENERAL INFORMATION ONLY. DIMENSIONAL INFORMATION SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.

4. EXISTING STRUCTURE

ALL EXISTING PLANS, DETAILS, DIMENSIONS, AND ELEVATIONS INDICATE EXISTING CONDITIONS AS KNOWN. THE EXISTING INFORMATION SHOWN IS NOT INTENDED TO BE "AS BUILT" AND THE ACTUAL CONSTRUCTION MAY DIFFER FROM THAT SHOWN. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING DIMENSIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION. MINOR VARIATIONS CAN BE EXPECTED AND ANY REQUIRED DEVIATION FROM THE CONTRACT DOCUMENTS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

THE CONTRACTOR SHALL LOCATE ALL UTILITIES IN THE AREA OF CONSTRUCTION AND PREVENT DAMAGE TO THEM.



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THE CONTRACTOR SHALL MONITOR THE EXISTING STRUCTURE DURING CONSTRUCTION. IMMEDIATELY NOTIFY THE ENGINEER OF AREAS EXHIBITING DISTRESS OR FAILURE.

THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND CONDITION OF ALL EXISTING FRAMING. SHOULD THE SIZE OR CONDITION OF THE EXISTING FRAMING DIFFER FROM THAT SHOWN ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.

LIVE LOADS:

1.) ROOF LOAD

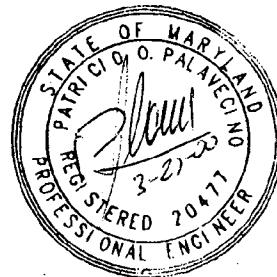
- 1. MINIMUM DESIGN LOAD = 30 PSF OR SNOW DRIFT
- 2. GROUND SNOW LOAD (Pg) ..... 20
- 3. EXPOSURE FACTOR ..... 0.7
- 4. IMPORTANCE FACTOR ..... 1.0

FLOOR LIVE LOAD

- 1. FLOORS ..... 40 PSF

WIND LOAD

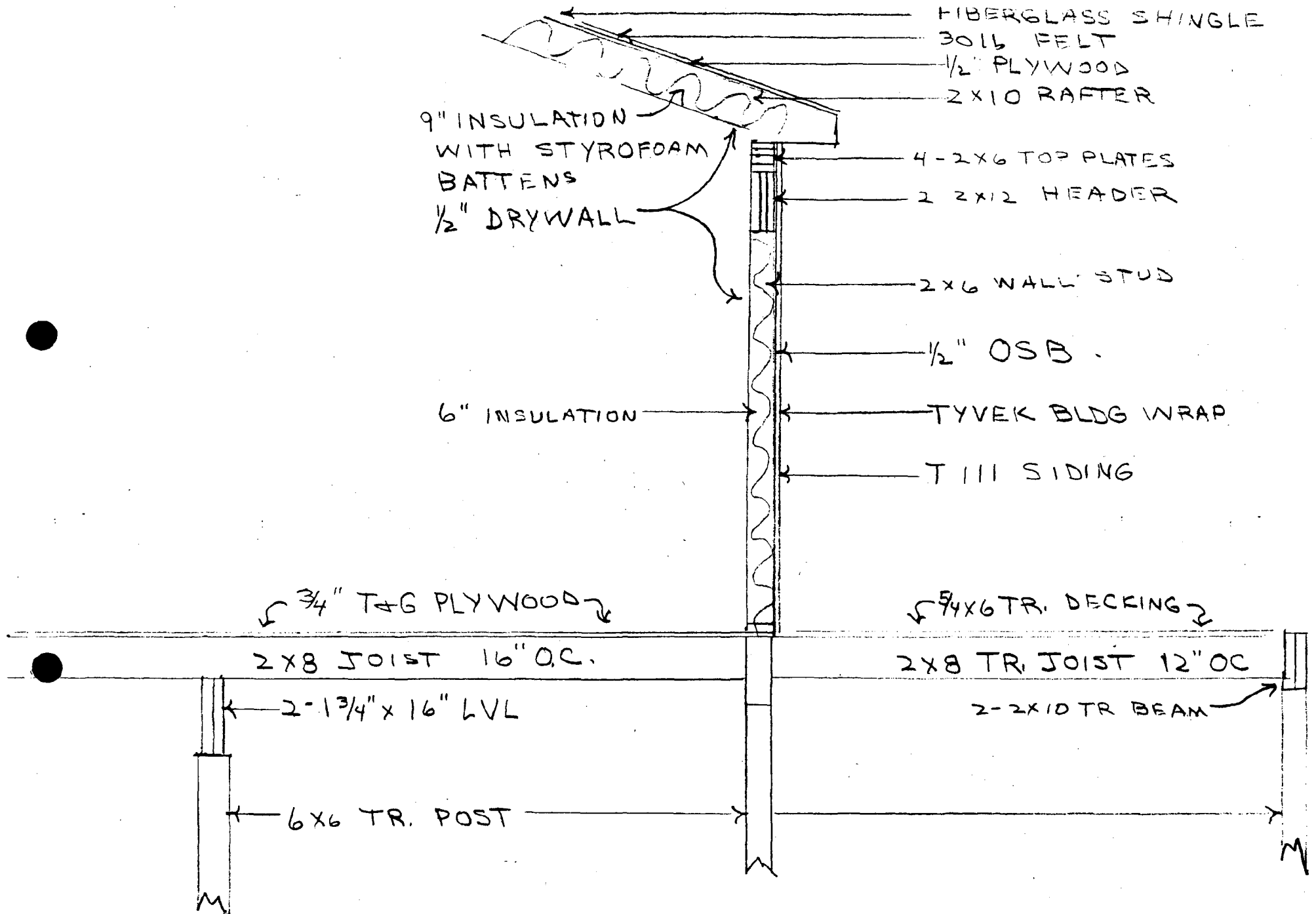
- 1. BASIC WIND SPEED ..... 70 MPH
- 2. IMPORTANCE FACTOR ..... 1.0
- 3. EXPOSURE ..... C
- 4. DESIGN PRESSURE ON MAIN RESISTING ELEMENTS FROM: 0 TO 15 FEET ..... 19.0 PSF



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SECTION AT SLIDER 1/2" = 1'-0"

# Montgomery County Energy Worksheet

1995 CABO Model Energy Code

Application Number : \_\_\_\_\_ Date 8/21/00

Lot Part of Lots 6+7 Block 7 Subdivision Lipscomb + Earnest

Submitted By Jim DeArmon Phone Number 803-883-6051

Prescriptive Package (from table) 1 (for single family buildings)

PROPOSED	REQUIRED VALUES (from Table)
----------	------------------------------

**Glazing Area**

$$100 \times \frac{13711 \text{ Sq}''}{269568 \text{ Sq}''} = 5.8\%$$

Glazing Area
Gross Wall Area
Proposed Glazing Area

12 %  
Glazing Area

**R-Value**

Description	Comments	Proposed R-Value
Ceiling		R- 38
Exterior Wall		R- 19
Floor (Over Unconditioned Space)		R- 19
Floor (Over Outside Air)		R- 38
Basement Wall		R- 9
Slab Floor		R- 7

Minimum R-Value
R- 38
R- 19
R- 19
R- 38
R- 9
R- 7

**U-Value**

Description	Comments	Proposed U-Value
Glazing		U- 0.65
Opaque Door		U- 0.35

Maximum U-Value
U- 0.65
U- 0.35

**Equipment**

All Equipment must meet National Appliance Conservation Act (NAECA) minimums

Windows shall be labeled and certified by manufacturer or U-Value default table shall be used.

High  Normal  
(check one)

**Statement of Compliance**

This dwelling meets the requirements of the CABO Model Energy Code - 1995 Edition

Applicant's Signature \_\_\_\_\_ Date \_\_\_\_\_

#### FOOTNOTES:

- 1 Glazing area is the ratio of the area of the glazing assemblies (including sliding-glass doors, skylights, and basement windows but excluding opaque doors) to the gross wall area, expressed as a percentage. Up to 1% of the total glazing area may be excluded from the U-value requirement. For example, 3 ft<sup>2</sup> of decorative glass may be excluded from a building design with 300 ft<sup>2</sup> of glazing area.
- 2 Glazing U-values must be tested and documented by the manufacturer in accordance with the National Fenestration Rating Council (NFRC) test procedure or taken from the glazing U-value table in Appendix B. Center-of-glass U-values cannot be used.
- 3 The ceiling R-values do not assume a raised or oversized truss construction. If the insulation achieves the full insulation thickness over the exterior walls, R-30 insulation may be substituted for R-38 insulation and R-38 insulation may be substituted for R-49 insulation. Ceiling R-values represent the sum of cavity insulation plus insulating sheathing (if used). For ventilated ceilings, insulating sheathing must be placed between the conditioned space and the ventilated portion of the roof.
- 4 Wall R-values represent the sum of the wall cavity insulation plus insulating sheathing (if used). Do not include exterior siding, structural sheathing, and interior drywall. For example, an R-19 requirement could be met *EITHER* by R-19 cavity insulation *OR* R-13 cavity insulation plus R-6 insulating sheathing. Wall requirements apply to wood-frame or mass (concrete, masonry, log) wall constructions, but do not apply to metal-frame construction. Metal-frame wall equivalent R-values can be found in Appendix C.
- 5 The floor requirements apply to floors over unconditioned spaces (such as unconditioned crawlspaces, basements, or garages). Floors over outside air must meet the ceiling requirements.
- 6 Walls of conditioned basements below uninsulated floors must be insulated from the top of the basement wall to a depth of 10 ft below ground level or to the level of the basement floor, whichever is less. The entire opaque portion of any individual basement wall with an average depth less than 50% below grade must meet the same R-value requirement as above-grade walls. Windows and sliding glass doors of conditioned basements must be included with the other glazing. Basement doors must meet the door U-value requirement described in Note b.
- 7 The R-value requirements are for unheated slabs. Add an additional R-2 for heated slabs, except in Zone 1 which does not require slab insulation. For packages with a slab insulation requirement, the insulation must extend a total linear distance of at least 24 in. in Zones 2-12 and 48 in. in Zones 13-17. The insulation must extend 1) down from the top of the slab, or 2) down from the top of the slab to the bottom of the slab and then horizontally underneath the slab, or 3) down from the top of the slab to the bottom of the slab and then horizontally away from the slab, with pavement or at least 10 in. of soil covering the horizontal insulation.
- 8 The crawl space wall R-value requirements are for walls of unventilated crawl spaces. The crawl space wall insulation must extend from the top of the wall (including the sill plate) to at least 12 in. below the outside finished grade. If the distance from the outside finished grade to the top of the footing is less than 12 in., the insulation must extend a total vertical plus horizontal distance of 24 in. from the outside finished grade.
- 9 *High Heating* means a furnace AFUE of 90% or more, or a heat pump HSPF of 7.8 or more. *High Cooling* means a SEER of 12 or more. *High Heat/Cool* means both heating and cooling equipment must meet these minimum efficiencies. If you plan to install more than one piece of heating equipment or more than one piece of cooling equipment, the equipment with the lowest efficiency must meet or exceed the efficiency required by the selected package. The following California counties do not qualify for the cooling equipment credit: Alameda, Contra Costa, Los Angeles, Marin, Monterey, Napa, Orange, San Benito, San Diego, San Francisco, San Luis Obispo, San Mateo, Santa Barbara, Santa Clara, Santa Cruz, Solano, Sonoma, and Ventura.

#### NOTES:

- a) Glazing areas and U-values are maximum acceptable levels. Insulation R-values are minimum acceptable levels. R-value requirements are for insulation only and do not include structural components.
- b) Opaque doors in the building envelope must have a U-value no greater than 0.35. Door U-values must be tested and documented by the manufacturer in accordance with the NFRC test procedure or taken from the door U-value table in Appendix B. If a door contains glass and an aggregate U-value rating for that door is not available, include the glass area of the door with your windows and use the opaque door U-value to determine compliance of the door. One door may be excluded from this requirement (i.e., may have a U-value greater than 0.35).
- c) If a ceiling, wall, floor, basement wall, slab-edge, or crawl space wall component includes two or more areas with different insulation levels, the component complies if the area-weighted average R-value is greater than or equal to the R-value requirement for that component. Glazing or door components comply if the area-weighted average U-value of all windows or doors is less than or equal to the U-value requirement (0.35 for doors). Use the *R-Value/U-Value Weighted Average Worksheet* for these computations.

# Prescriptive Packages - Table

1995 Model Energy Code for Single Family Buildings

Package	MAXIMUM		MINIMUM						Heating/Cooling Equipment Efficiency <sup>9</sup>
	Glazing Area Percent <sup>1</sup>	Glazing U-Value <sup>2</sup>	Ceiling R-Value <sup>3</sup>	Wall R-Value <sup>4</sup>	Floor R-Value <sup>5</sup>	Basement Wall R-Value <sup>6</sup>	Slab Perimeter R-Value <sup>7</sup>	Crawl Space Wall R-Value <sup>8</sup>	
1	12%	0.65	R-38	R-19	R-19	R-9	R-7	R-17	Normal
2	12%	0.45	R-30	R-13	R-19	R-9	R-6	R-17	Normal
3	15%	0.55	R-38	R-19	R-21	R-10	--	R-22	Normal
4	15%	0.40	R-38	R-13	R-19	R-9	R-5	R-16	Normal
5	18%	0.45	R-38	R-19	R-19	R-9	R-7	R-17	Normal
6	18%	0.35	R-38	R-13	R-19	R-9	R-6	R-17	Normal
7	22%	0.40	R-49	R-21	R-19	R-9	R-6	R-17	Normal
8	12%	0.75	R-38	R-11	R-19	R-8	R-2	R-17	High Heating
9	12%	0.65	R-38	R-13	R-11	R-6	R-0	R-8	High Heating
10	15%	0.65	R-30	R-13	R-19	R-9	R-2	R-22	High Heating
11	15%	0.50	R-30	R-13	R-11	R-6	R-0	R-8	High Heating
12	18%	0.55	R-30	R-13	R-19	R-9	R-2	R-22	High Heating
13	18%	0.45	R-38	R-13	R-11	R-5	R-0	R-8	High Heating
14	22%	0.55	R-38	R-17	R-19	R-9	R-2	R-22	High Heating
15	22%	0.40	R-30	R-13	R-13	R-6	R-2	R-10	High Heating
16	12%	0.75	R-30	R-13	R-15	R-7	R-2	R-14	High Heat/Cool
17	12%	0.65	R-26	R-13	R-13	R-6	R-0	R-10	High Heat/Cool
18	15%	0.70	R-30	R-15	R-19	R-9	R-2	R-22	High Heat/Cool
19	15%	0.55	R-26	R-13	R-13	R-6	R-2	R-10	High Heat/Cool
20	18%	0.65	R-38	R-19	R-15	R-7	R-2	R-14	High Heat/Cool
21	18%	0.50	R-38	R-13	R-13	R-6	R-0	R-10	High Heat/Cool
22	22%	0.60	R-38	R-17	R-26	R-11	R-8	--	High Heat/Cool
23	22%	0.45	R-38	R-13	R-15	R-7	R-2	R-12	High Heat/Cool

-- Hyphens (-) indicate that the package which contains the hyphens cannot be used with the indicated foundation type (slab or crawl space).

# R-Value/U-Value Weighted Average Worksheet

1995 CABO Model Energy Code

Assembly:

Component Description	R-Value	U-Value (1/R-Value)	Area	U-Value x Area (UA)
6' x 18' Floor Over Unconditioned Space	19	0.053	108 sq'	5.684
7' x 18' Floor Over Outside Air	38	0.026	126 sq'	3.276
			Total Area = 234	Total UA = 8.96

$$\frac{234 \text{ sq}'}{\text{Total Area}} \cdot \frac{8.96}{\text{Total UA}} = \frac{26.11}{\text{Weighted Average R-Value}}$$

$$\frac{8.96}{\text{Total UA}} \cdot \frac{234 \text{ sq}'}{\text{Total Area}} = \frac{0.038}{\text{Weighted Average U-Value}}$$

Assembly:

Component Description	R-Value	U-Value (1/R-Value)	Area	U-Value x Area (UA)
			Total Area =	Total UA =

$$\frac{\text{Total Area}}{\text{Total Area}} \cdot \frac{\text{Total UA}}{\text{Total UA}} = \text{Weighted Average R-Value}$$

$$\frac{\text{Total Area}}{\text{Total Area}} \cdot \frac{\text{Total Area}}{\text{Total Area}} = \text{Weighted Average U-Value}$$

## Prescriptive Packages - Table

1995 Model Energy Code for Townhouses

Package	MAXIMUM		MINIMUM						Heating/Cooling Equipment Efficiency <sup>9</sup>
	Glazing Area Percent <sup>1</sup>	Glazing U-Value <sup>2</sup>	Ceiling R-Value <sup>3</sup>	Wall R-Value <sup>4</sup>	Floor R-Value <sup>5</sup>	Basement Wall R-Value <sup>6</sup>	Slab Perimeter R-Value <sup>7</sup>	Crawl Space Wall R-Value <sup>8</sup>	
1	15%	0.70	R-38	R-13	R-11	R-5	R-0	R-6	Normal
2	15%	0.60	R-26	R-11	R-11	R-5	R-0	R-5	Normal
3	20%	0.60	R-26	R-13	R-19	R-9	R-4	R-15	Normal
4	20%	0.50	R-26	R-11	R-13	R-6	R-0	R-7	Normal
5	25%	0.50	R-38	R-13	R-15	R-7	R-2	R-10	Normal
6	25%	0.45	R-38	R-13	R-11	R-5	R-0	R-6	Normal
7	30%	0.40	R-49	R-13	R-11	R-5	R-0	R-6	Normal
8	15%	0.90	R-19	R-11	R-11	R-5	R-0	R-6	High Heating
9	20%	0.75	R-26	R-11	R-11	R-5	R-0	R-7	High Heating
10	25%	0.70	R-30	R-13	R-15	R-7	R-2	R-13	High Heating
11	25%	0.65	R-30	R-13	R-11	R-5	R-0	R-7	High Heating
12	30%	0.60	R-30	R-13	R-15	R-7	R-2	R-14	High Heating
13	30%	0.55	R-26	R-13	R-11	R-5	R-0	R-8	High Heating
14	15%	0.90	R-19	R-11	R-11	R-4	R-0	R-5	High Heat/Cool
15	20%	0.75	R-26	R-11	R-11	R-5	R-0	R-6	High Heat/Cool
16	25%	0.65	R-30	R-11	R-11	R-5	R-0	R-7	High Heat/Cool
17	25%	0.60	R-19	R-11	R-11	R-5	R-0	R-7	High Heat/Cool
18	30%	0.60	R-26	R-11	R-19	R-8	R-2	R-19	High Heat/Cool
19	30%	0.55	R-19	R-13	R-13	R-6	R-0	R-10	High Heat/Cool



#### FOOTNOTES:

- 1 Glazing area is the ratio of the area of the glazing assemblies (including sliding-glass doors, skylights, and basement windows but excluding opaque doors) to the gross wall area, expressed as a percentage. Up to 1% of the total glazing area may be excluded from the U-value requirement. For example, 3 ft<sup>2</sup> of decorative glass may be excluded from a building design with 300 ft<sup>2</sup> of glazing area.
- 2 Glazing U-values must be tested and documented by the manufacturer in accordance with the National Fenestration Rating Council (NFRC) test procedure or taken from the glazing U-value table in Appendix B. Center-of-glass U-values cannot be used.
- 3 The ceiling R-values do not assume a raised or oversized truss construction. If the insulation achieves the full insulation thickness over the exterior walls, R-30 insulation may be substituted for R-38 insulation and R-38 insulation may be substituted for R-49 insulation. Ceiling R-values represent the sum of cavity insulation plus insulating sheathing (if used). For ventilated ceilings, insulating sheathing must be placed between the conditioned space and the ventilated portion of the roof.
- 4 Wall R-values represent the sum of the wall cavity insulation plus insulating sheathing (if used). Do not include exterior siding, structural sheathing, and interior drywall. For example, an R-19 requirement could be met *EITHER* by R-19 cavity insulation *OR* R-13 cavity insulation plus R-6 insulating sheathing. Wall requirements apply to wood-frame or mass (concrete, masonry, log) wall constructions, but do not apply to metal-frame construction. Metal-frame wall equivalent R-values can be found in Appendix C.
- 5 The floor requirements apply to floors over unconditioned spaces (such as unconditioned crawlspaces, basements, or garages). Floors over outside air must meet the ceiling requirements.
- 6 Walls of conditioned basements below uninsulated floors must be insulated from the top of the basement wall to a depth of 10 ft below ground level or to the level of the basement floor, whichever is less. The entire opaque portion of any individual basement wall with an average depth less than 50% below grade must meet the same R-value requirement as above-grade walls. Windows and sliding glass doors of conditioned basements must be included with the other glazing. Basement doors must meet the door U-value requirement described in Note b.
- 7 The R-value requirements are for unheated slabs. Add an additional R-2 for heated slabs, except in Zone 1 which does not require slab insulation. For packages with a slab insulation requirement, the insulation must extend a total linear distance of at least 24 in. in Zones 2-12 and 48 in. in Zones 13-17. The insulation must extend 1) down from the top of the slab, or 2) down from the top of the slab to the bottom of the slab and then horizontally underneath the slab, or 3) down from the top of the slab to the bottom of the slab and then horizontally away from the slab, with pavement or at least 10 in. of soil covering the horizontal insulation.
- 8 The crawl space wall R-value requirements are for walls of unventilated crawl spaces. The crawl space wall insulation must extend from the top of the wall (including the sill plate) to at least 12 in. below the outside finished grade. If the distance from the outside finished grade to the top of the footing is less than 12 in., the insulation must extend a total vertical plus horizontal distance of 24 in. from the outside finished grade.
- 9 *High Heating* means a furnace AFUE of 90% or more, or a heat pump HSPF of 7.8 or more. *High Cooling* means a SEER of 12 or more. *High Heat/Cool* means both heating and cooling equipment must meet these minimum efficiencies. If you plan to install more than one piece of heating equipment or more than one piece of cooling equipment, the equipment with the lowest efficiency must meet or exceed the efficiency required by the selected package. The following California counties do not qualify for the cooling equipment credit: Alameda, Contra Costa, Los Angeles, Marin, Monterey, Napa, Orange, San Benito, San Diego, San Francisco, San Luis Obispo, San Mateo, Santa Barbara, Santa Clara, Santa Cruz, Solano, Sonoma, and Ventura.

#### NOTES:

- a) Glazing areas and U-values are maximum acceptable levels. Insulation R-values are minimum acceptable levels. R-value requirements are for insulation only and do not include structural components.
- b) Opaque doors in the building envelope must have a U-value no greater than 0.35. Door U-values must be tested and documented by the manufacturer in accordance with the NFRC test procedure or taken from the door U-value table in Appendix B. If a door contains glass and an aggregate U-value rating for that door is not available, include the glass area of the door with your windows and use the opaque door U-value to determine compliance of the door. One door may be excluded from this requirement (i.e., may have a U-value greater than 0.35).
- c) If a ceiling, wall, floor, basement wall, slab-edge, or crawl space wall component includes two or more areas with different insulation levels, the component complies if the area-weighted average R-value is greater than or equal to the R-value requirement for that component. Glazing or door components comply if the area-weighted average U-value of all windows or doors is less than or equal to the U-value requirement (0.35 for doors). Use the *R-Value/U-Value Weighted Average Worksheet* for these computations.



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

HISTORIC AREA WORK  
PERMIT

IssueDate: 8/2/2000

Permit No: 219456  
Expires:  
X Ref:  
Rev. No:

THIS IS TO CERTIFY THAT:

JAMES DEARMON  
500 TULIP AVENUE  
TAKOMA PARK MD 20912

HAS PERMISSION TO: ALTER

PERMIT CONDITIONS: ROOM ADDITION

PREMISE ADDRESS 500 TULIP AVE  
TAKOMA PARK MD

LOT P6 BLOCK 7  
LIBER ELECTION DISTRICT  
FOLIO SUBDIVISION  
PERMIT FEE: \$0.00 TAX ACCOUNT NO.:

PARCEL ZONE R-60  
PLATE GRID

HISTORIC MASTER:  
HISTORIC ATLAS: Y

Director, Department of Permitting Services



DEPARTMENT OF PERMITTING SERVICES

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**HISTORIC APPROVAL ONLY  
BUILDING PERMIT REQUIRED**

PREMISE ADDRESS 500 TULIP AVE  
TAKOMA PARK MD

LOT P6  
LIBER  
FOLIO  
PERMIT FEE: \$0.00

BLOCK 7  
ELECTION DISTRICT  
SUBDIVISION  
TAX ACCOUNT NO.:

PARCEL PLATE ZONE R-60  
GRID

HISTORIC MASTER:  
HISTORIC ATLAS: Y

**MUST BE POSTED  
ON JOB SITE**

Director, Department of Permitting Services



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 7/26/00

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

- Approved
- Approved with Conditions:
- (1) New addition will have a Stucco finish
  - (2) New deck railing will be painted or stained

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: James DeArman

Address: 500 Talip Avenue, Takoma Park, MD 20912

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.

c:\dps.frm.wpd

~~I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.~~

James S DeArman  
Signature of owner or authorized agent

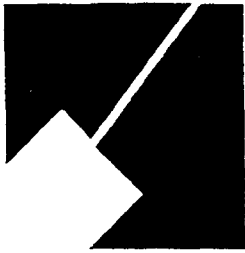
5/19/00  
Date

Approved: X w/conditions

Disapproved: \_\_\_\_\_ Signature: [Signature] For Commission, Historic Preservation Commission Date: 7/26/00

Application/Permit No.: 219450 Date Filed: 5/19/00 Date Issued: \_\_\_\_\_

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
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RECEIVED TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: James DeArmon  
Daytime Phone No.: 703-883-6051

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: James DeArmon Daytime Phone No.: 703-883-6051 (work)  
Address: 500 Tulip Ave, Takoma Park, MD 20912  
Street Number City Street Zip Code  
Contractor: owner Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

LOCATION OF BUILDING/PREMISE

House Number: 500 Tulip Ave Street: Tulip Avenue  
Town/City: Takoma Park Nearest Cross Street: Spruce Avenue  
Lot: Parts of lots 67 Block: 7 Subdivision: Lipscomb and Earnest  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 13,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

James S DeArmon Signature of owner or authorized agent Date: 5/10/00

Approved: X W/Conditions APPROVED For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: Historic Preservation Commission Date: 7/26/00  
Application/Permit No.: 219450 Date Filed: 5/19/00 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing structure is a 1920 stucco and frame building, at the corner of Tulip and Spruce Avenues. It is designated as "Contributing" in the historic register.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

We propose to add a family room and deck on the rear (opposite Tulip the main entrance) of structure.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

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**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address:	500 Tulip Avenue	Meeting Date:	7/26/00
Applicant:	James DeArmon	Report Date:	7/19/00
Resource:	Takoma Park Historic District	Public Notice:	7/12/00
Review:	HAWP	Tax Credit:	No
Case Number:	37/3-00X	Staff:	Robin Ziek

**PROPOSAL:** Rear addition and deck; front yard fence

**RECOMMEND:** Approval with Conditions:

- 1) The new deck railing will be painted or stained.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource in the Takoma Park Historic District  
**STYLE:** Four Square-Craftsman  
**DATE:** 1920

This corner property has a 2-story frame dwelling, sided with a combination of stucco on the first floor and narrow wood clapboard on the 2<sup>nd</sup> story. The house has heavy brackets, and a shallow hipped roof. The house has been divided into several apartments, and the applicant (owner) lives in the first floor apartment. The house retains a high level of integrity in terms of materials and design, despite the internal divisions. The rear portion of the house has been previously modified (and might have been a two-story porch) but in a manner and materials consistent with the original structure. A vinyl fence has been installed, without permits, at the front of the property, but its removal is part of this application.

**PROPOSAL**

The applicant proposes to add a small family room at the rear of the house, with a side deck and new steps leading down to the driveway on the north side of the deck. The existing steps which lead up to the side (kitchen) door will be removed. The applicant will use a stucco finish, and a hipped roof to conform with the house. An 8" white oak is proposed to be removed because it would be at the edge of the new addition/deck.

As the basement is fully exposed at this back portion of the house, the deck sits high above grade and lattice is proposed under the deck. The porch railing will utilize in-set pickets and a cap rail, with decorative knobs on the posts. The new door and 1/1 double-hung windows



are proposed as Andersen products. The Andersen doors and windows are thermally glazed and have a wood substrate, but have vinyl cladding on the exterior.

The applicant also proposes to remove the existing vinyl fence and install a wood picket fence (see Circle 7 ) along the front of the house (facing Tulip Avenue). The fence will turn the corner onto Spruce Avenue, but only for 3-4'. The picket fence is scalloped, varying from 42" to 35" in height. There will be a painted wood arbor at the front sidewalk.

At the NE corner of the property, the applicant proposes to plant 8 leyland cypress shrubs for privacy. They would also like to re-install the vinyl fencing at this NE corner, just in front of the cypress shrubs (see Circle 7 ).

### STAFF DISCUSSION

The proposed new addition will be readily visible from the public right-of-way. The *Takoma Park Guidelines* (page 15) direct that "this design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns..." They also note (page 16) that the alterations "should be generally consistent with the predominant architectural style and period of the resource..." This proposal achieves these goals and would not be intrusive in the district. Staff feels that notable design elements include following existing door and window design and proportions, and working with existing siding materials (stucco), and roof design. The proposed tree is young and there are other trees in the immediate vicinity to moderate the removal of this one.

The proposed wood fence is appropriate to the district, and would be compatible. The proposed re-use of the vinyl fence is somewhat troubling in that the material and the look of the fence is not appropriate to the district. The proposed location, however, is 60' back from the public street, in a private corner of the property. Staff feels that such fencing would not be permissible along the sidewalk's edge as it would be an intrusive and incompatible element in the district. Perhaps, however, there is flexibility in this back corner, considering the limited amount of fencing and the sense that it is being installed more as a "decorative" than functional element.

### STAFF RECOMMENDATION

Staff recommends, **with the following conditions**, that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and with the Secretary of the Interior Guidelines #9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

**CONDITIONS:**

- 1) The new deck railing will be painted or stained.

and subject to the general condition that **the applicant shall present the 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits (1 extra set for HPC file copy)** and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
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DPS - #8

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301/563-3400

APPLICATION FOR  
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Contact Person: James DeArmon  
Daytime Phone No.: 703-883-6051

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: James DeArmon Daytime Phone No.: 703-883-6051 (work)  
Address: 500 Tulip Ave, Takoma Park, MD 20912  
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House Number: 500 Tulip Ave Street: Tulip Avenue  
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Lot: Parts of lots 6+7 Block: 7 Subdivision: Lipscomb and Earnest  
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PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
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 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

James S DeArmon 5/19/00  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 219450 Date Filed: 5/19/00 Date Issued: \_\_\_\_\_

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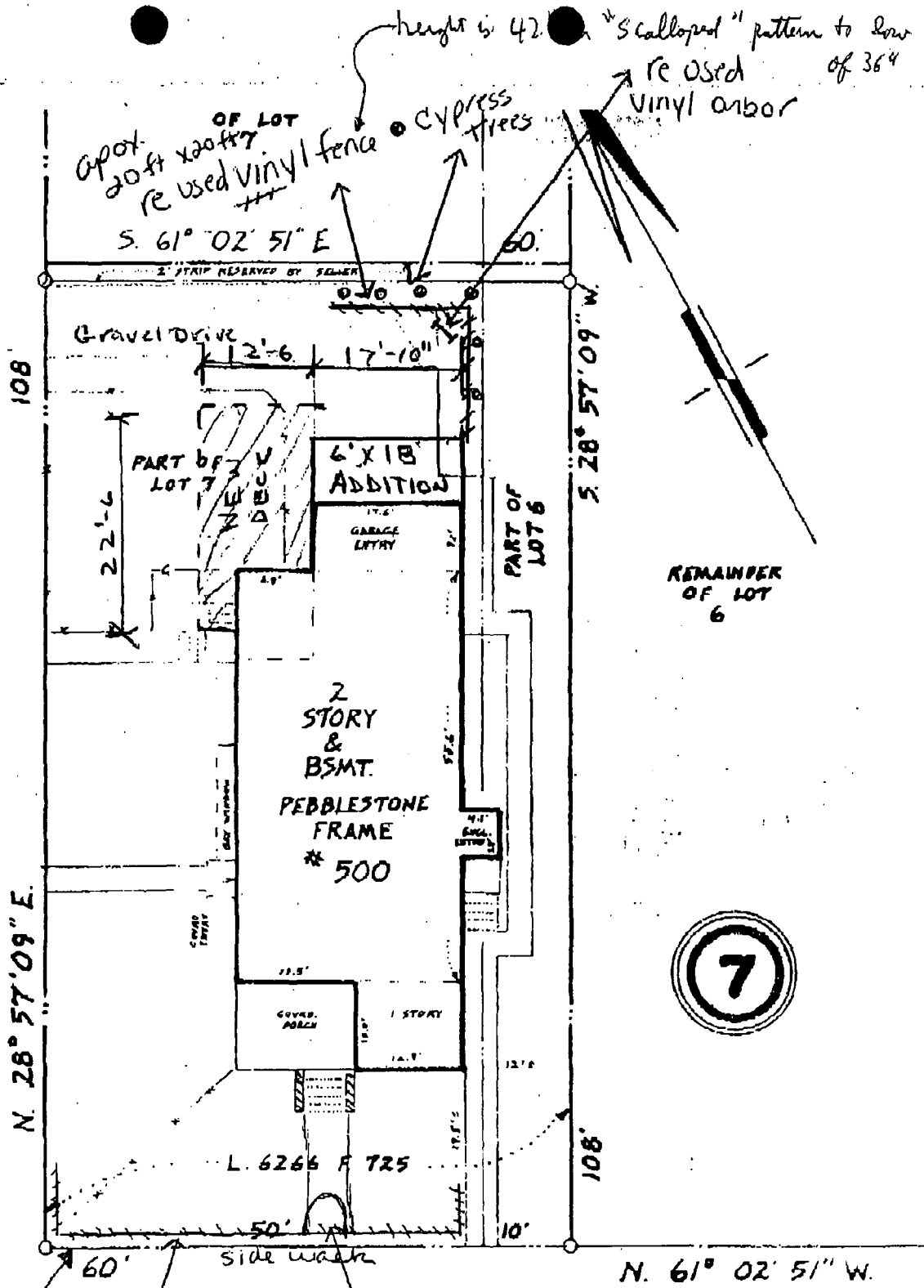
5

Item #7  
Addresses of Adj +  
Confronting Prop. Own  
DeArman, 500 Tulip

Adjacent/confronting property address	Owner name, address
408 Tulip Ave	James and Linda Rettberg 408 Tulip Ave Takoma Park, MD 20912
502 Tulip Ave	Elinor H. Landstreet 502 Tulip Ave Takoma Park MD 20912
7205 Spruce Ave.	Frederick Brandt 2212 Hermitage Ave. Wheaton, MD 20902
7204 Spruce Ave.	Colin and Ann Norman 7204 Spruce Ave. Takoma Park MD 20912

Post-it® Fax Note	7671	Date	# of pages
To	Robin Zick	From	Jim DeArmon
Company	Herz's fences	Co.	
Phone #		Phone #	
Fax #		Fax #	

**SPRUCE**



PROPERTY DOES  
 WITHIN THE LIMITS  
 OF A FLOOD HAZARD  
 ZONE AS DELINEATED ON  
 MAPS OF THE NATIONAL  
 FLOOD INSURANCE PROGRAM

height is 42"  
 in "scalloped" pattern  
 to low of 36"

new wooded  
 painted fence  
 (rectangular flat picket)

500

new wooden  
 painted arbor

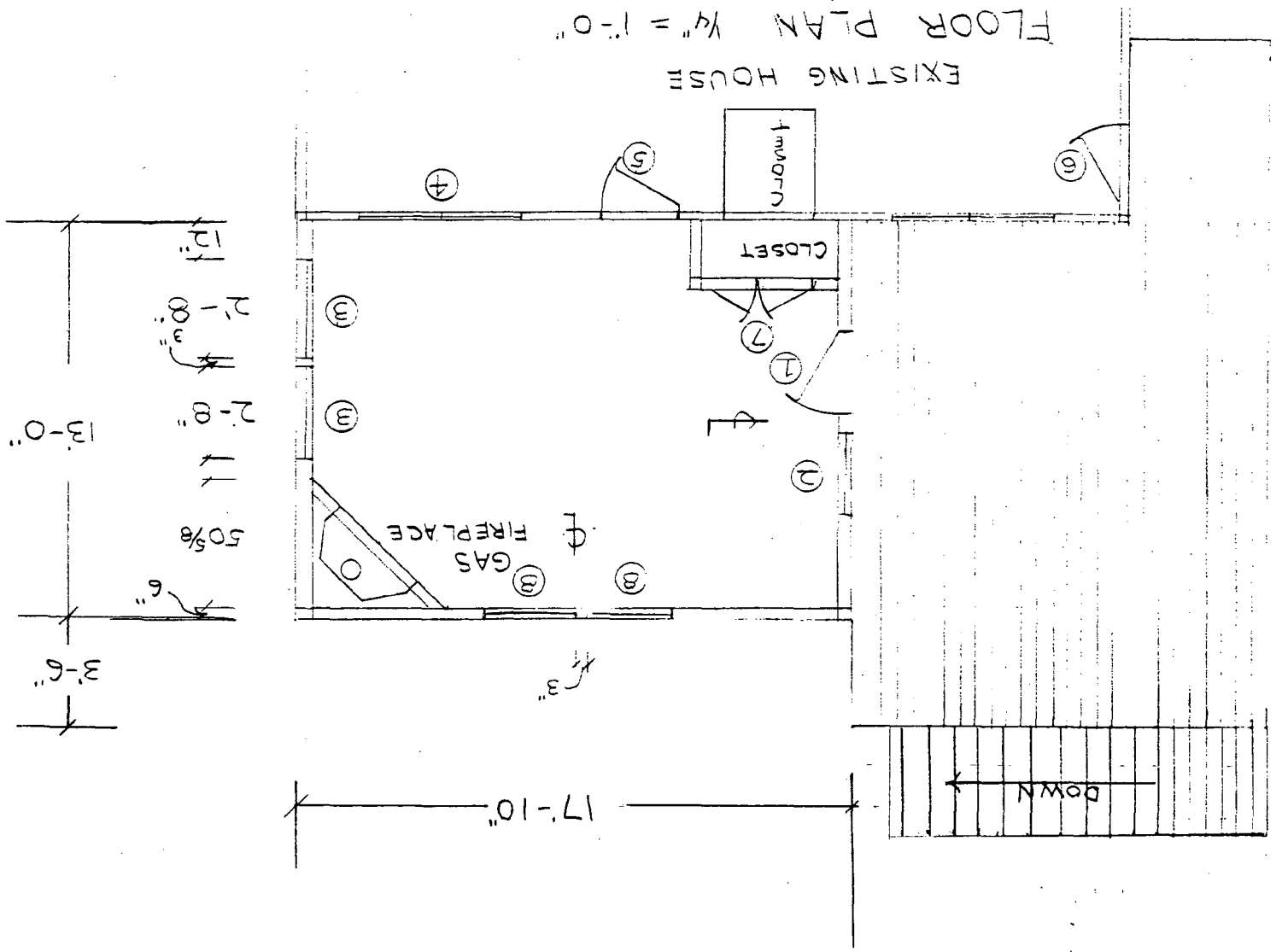
**TULIP AVENUE**

DeArmons



2

FLOOR PLAN 1/4" = 1'-0"  
EXISTING HOUSE



WINDOW AND DOOR SCHEDULE

- ① 3-0x6-8 FULL VIEW DOOR
- ② ANDERSEN 2832 DOUBLE HUNG 3'-6"
- ③ ANDERSEN 2842 DOUBLE HUNG RD. 2-10<sup>1</sup>/<sub>8</sub>x4-1<sup>1</sup>/<sub>4</sub>"
- ④ EXISTING WIN- INFILL RD 2-10<sup>1</sup>/<sub>8</sub>x4-5<sup>1</sup>/<sub>4</sub>"
- ⑤ EXISTING WINDOW WITH SHELVES
- ⑥ EXISTING DOOR
- ⑦ 3-0x6-8 PAIR
- ⑧ ANDERSEN 16'-6" 2856 DOUBLE HUNG RD 2-10<sup>1</sup>/<sub>8</sub>x5-9<sup>1</sup>/<sub>4</sub>"

6

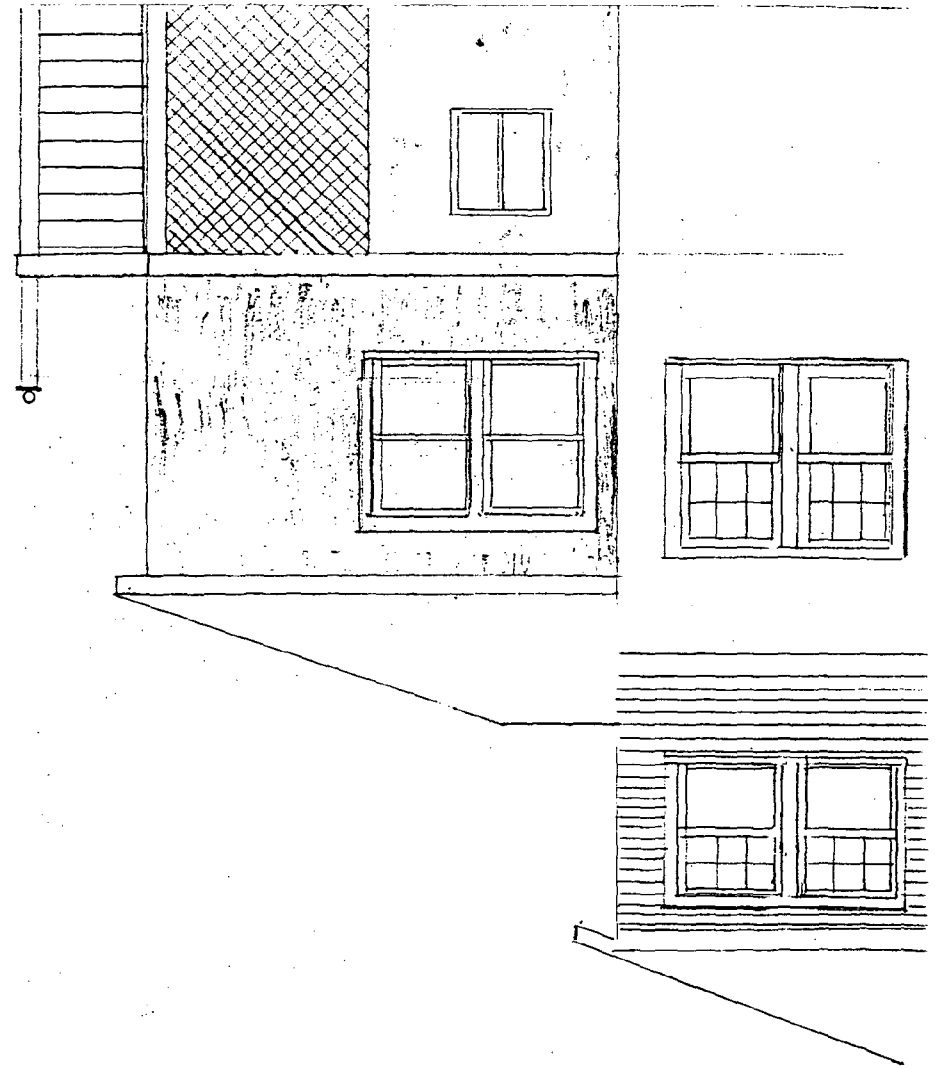
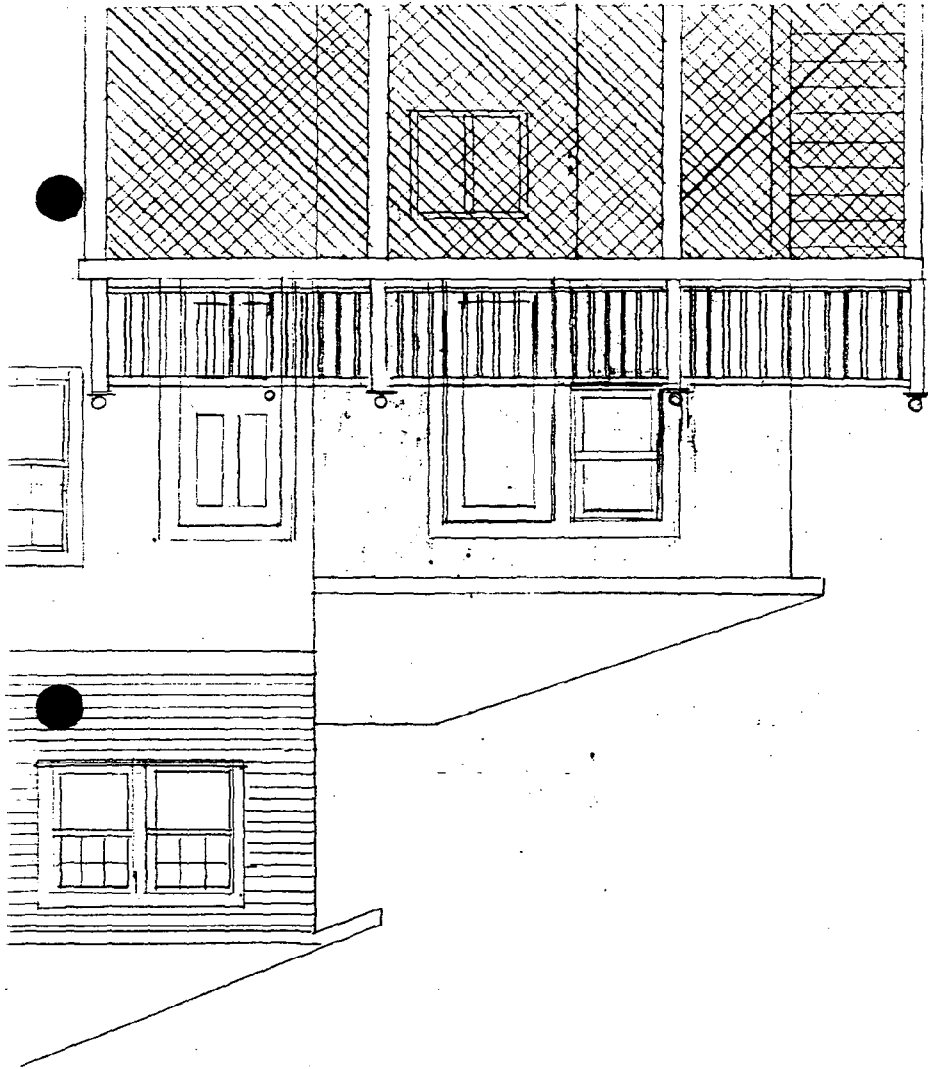




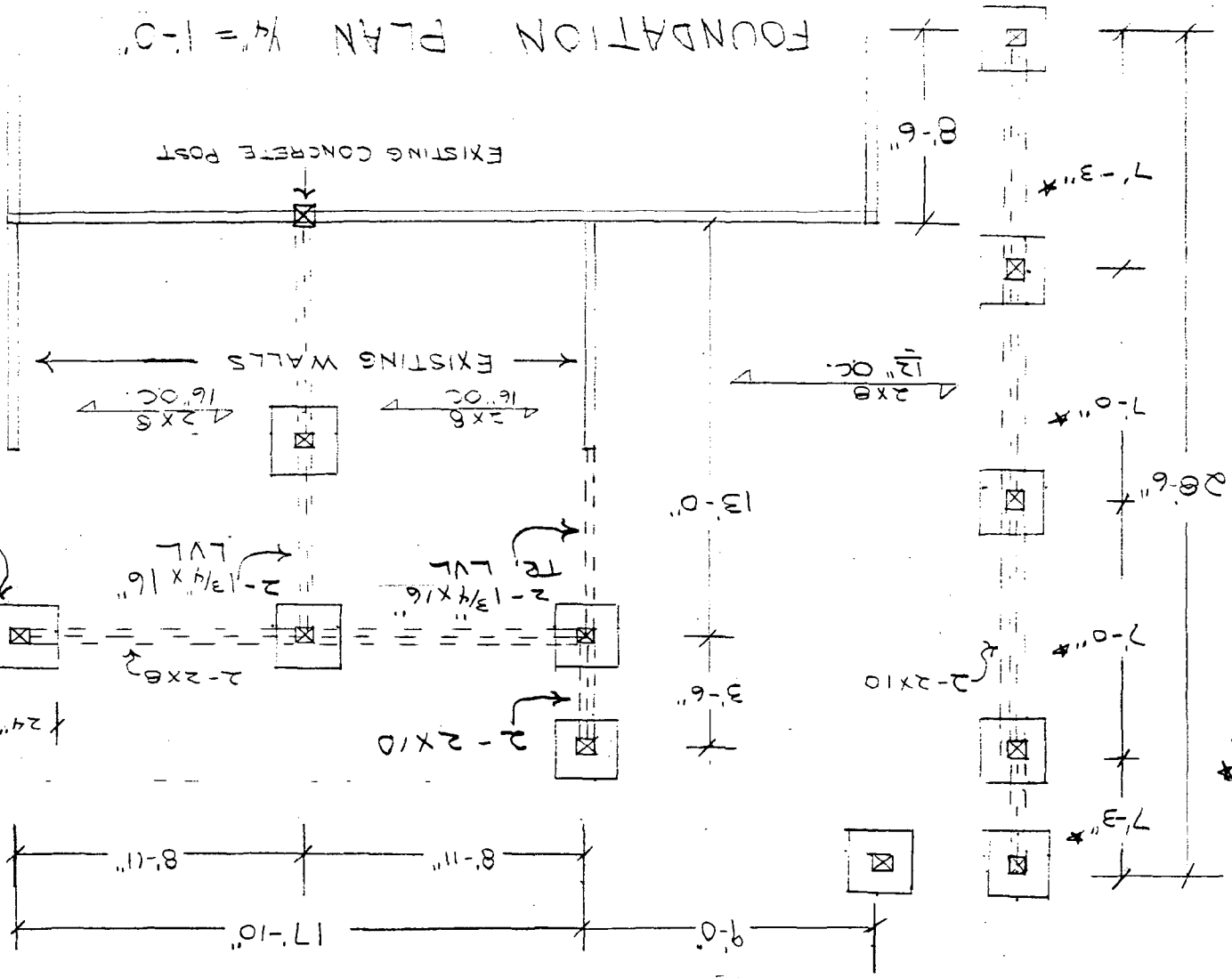
EAST ELEVATION

1/4" = 1'-0"

WEST ELEVATION

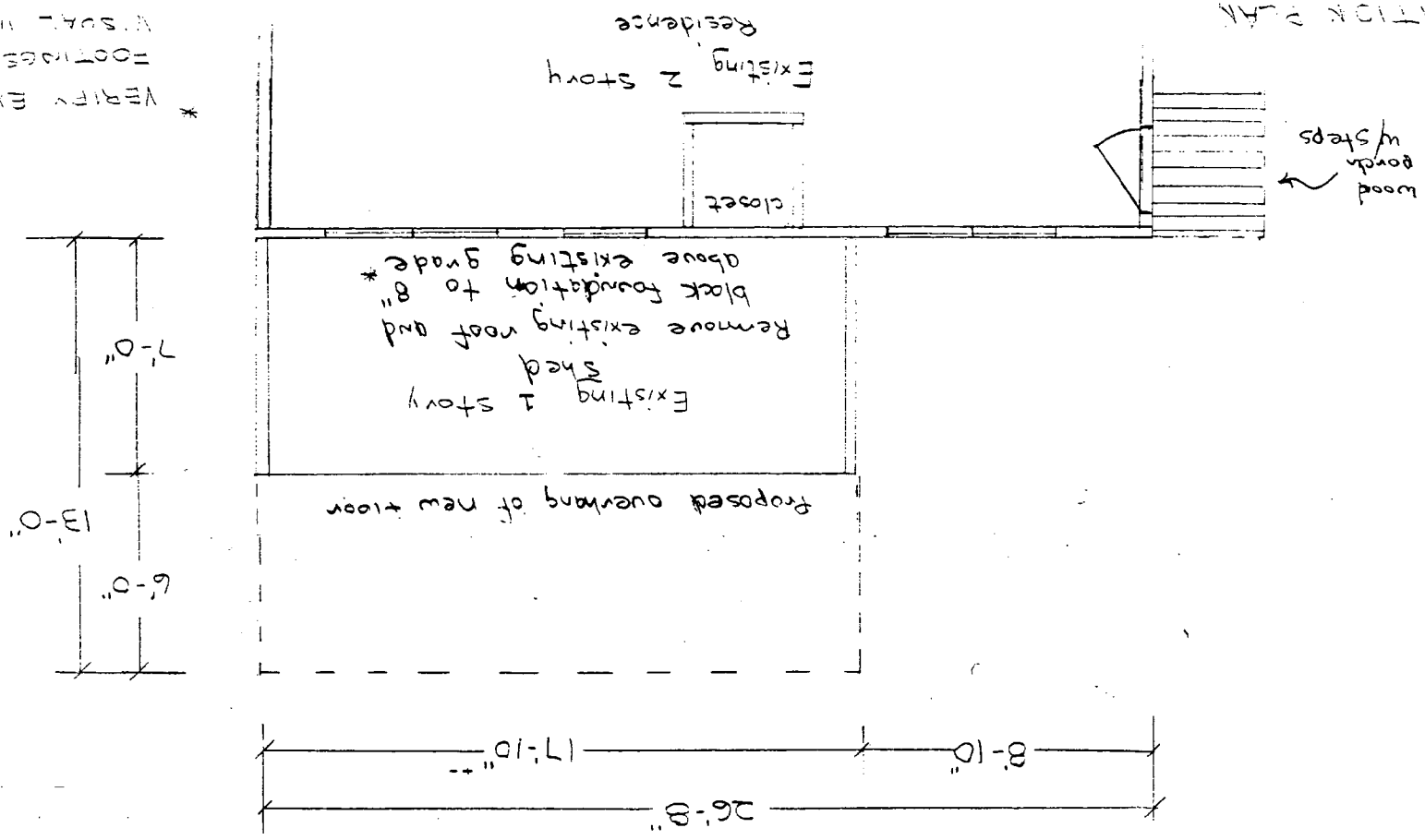


FOUNDATION PLAN  $\frac{1}{4}'' = 1'-0''$



6X6 WOOD COLUMN  
ON 24" X 24" X 12"  
CONCRETE FOOTER  
30' BELOW GRADE  
TYPICAL

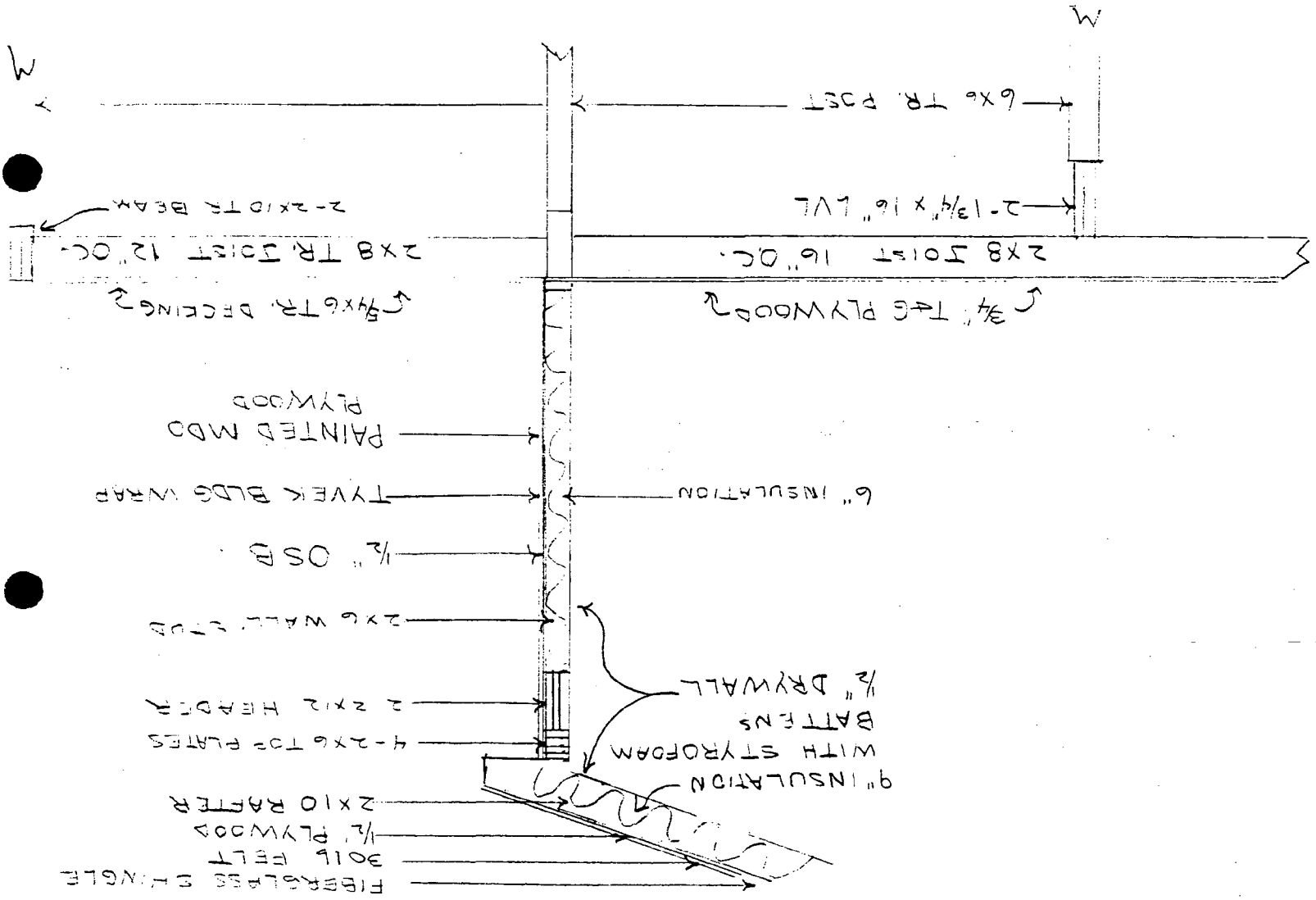
DEMOLITION PLAN



\* VERIFY EXISTING FOOTINGS WITH SCALE INSPECTOR

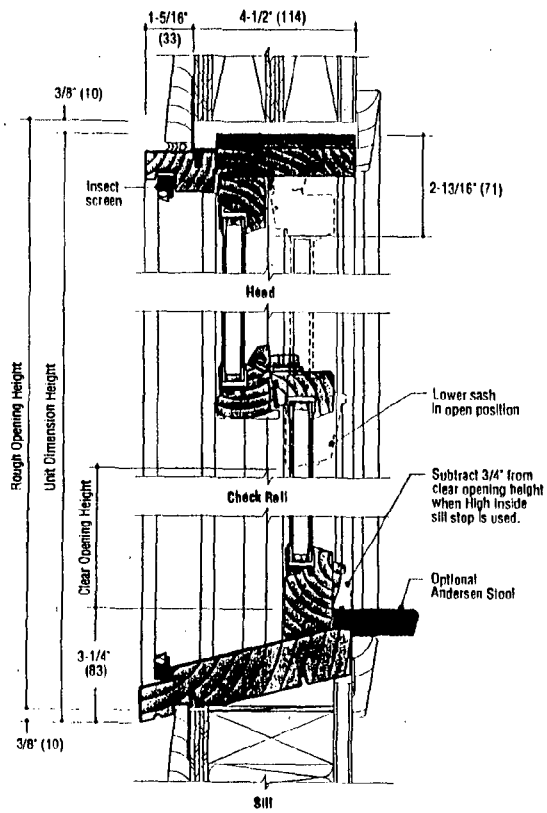
EXISTING STRUCTURE

SECTION AT ENTRY 1/2" = 1'-0"

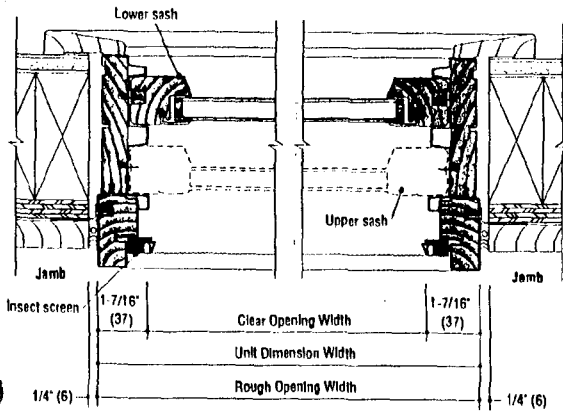


# NARROLINE® DOUBLE-HUNG

Basic Unit and Rough Opening Dimensions Scale 3" = 1'-0" (1:4)



Vertical Section



Horizontal Section

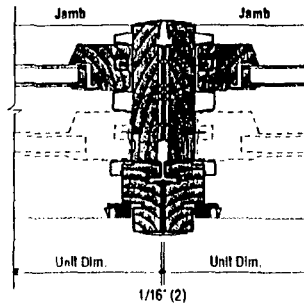
# A N D E R S E N®

Rough Opening Width Multiple Openings

1' 0 1/4" (549)	6' 5 1/4" (1664)	5' 9 1/4" (1762)
2' 1 1/4" (651)	6' 5 1/4" (1969)	6' 9 1/4" (2067)
2' 5 1/4" (752)	7' 5 1/4" (2273)	7' 9 1/4" (2372)
2' 9 1/4" (854)	8' 5 1/4" (2576)	8' 9 1/4" (2677)
3' 1 1/4" (956)	9' 5 1/4" (2883)	9' 9 1/4" (2981)
3' 5 1/4" (1057)	10' 5 1/4" (3188)	10' 9 1/4" (3286)

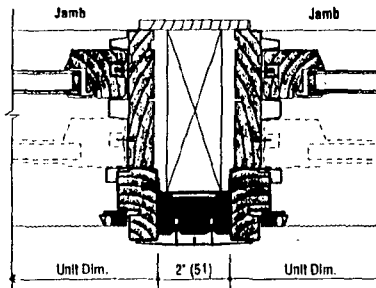
Overall Unit Dimension Widths are 1/2" (13) less than Overall Rough Opening Widths.

## Joining Details Scale 3" = 1'-0" (1:4)



### Narroline Narrow Mullion

Joining basic Narroline units to form multiple units or picture window combinations without vertical support between units. Adequate headers must be provided. Joining parts are furnished when specified.



### Narroline Support Mullion

Joining basic Narroline units using a vertical support between units. Exterior filler and vinyl trim are furnished when specified.



Front View of 500 Tulip Ave

500 Tulip Ave. Jim + Deb DeArmon

Item #5  
Photographs



← Side view  
of house from  
Spruce Ave



← Back view  
of house from  
driveway.  
\* note: existing  
8 inch diameter  
white oak.  
\* note: existing  
garage doors  
will be reused.

**MITRE****F045****FAX****FAX Number 703-883-1226****Verification Number: 703-883-6118****Pages to Follow:** 1**Date:** 8/30/00**To:** Robin Ziek**FAX Number:** 301-563-3412**From:** Jim DeArmon

**Message** Here's proposed change in plans - Window #8 to become less tall. I didn't change elevation (although I can if necessary) - at scale, window changes by less than  $< 1/4$ " in drawing. We decided not to change garage.

The MITRE Corporation  
Center for Advanced Aviation System Development  
1820 Dolley Madison Blvd.  
McLean, VA 22102

NO HPC revision review required. - RZ 9/5/00



**Sender: James DeArmon <jdearmon@mitre.org>**

Great. Let's go with the stucco. Can this email serve as notification that that's

what we want? You could emend the copy of the drawing that you have, and we can do

the same with our copy.

Thx, Jim

ziek@mncppc.state.md.us wrote:

> Jim, Glad you "called." I hadn't picked up a plain MDO finish for the addition.

> We had talked about stucco and that is how I reported it in my report. The MDO

> plywood needs dressing up and is appropriate below a window level, with a band

> to "cap" it, even though applied. The plain MDO plywood would leave you with a

> simple wooden box on the back, which would not be appropriate at your house, > with so much texture. I think the stucco option is appropriate, and leaves you

> options in terms of finish. The smooth stucco finish would be fine, but so > would a pebble-dashed one to match your home.

>

> Robin

**Sender:** James DeArmon <jdearmon@mitre.org>

---

Ms. Ziek-

Per on conversation today regarding the need to re-do some of the plans on the proposed addition to 500 Tulip Ave, kindly remove our names from the agenda of the 6/14/00 meeting.

I look forward to meeting you sometime soon to discuss specifics of this project.

Thanks, Jim DeArmon

**Sender:** James DeArmon <jdearmon@mitre.org>

---

Robin-

I received FAX of property addresses. I will survey these properties, and look forward to seeing you next Wednesday, 6/21, at noon at my house.

Thx, Jim

**Sender:** James DeArmon <jdearmon@mitre.org>

---

Robin-

My email address is: jdearmon@mitre.org

Thx, Jim

6/13/00

Additions in Takoma Park for Jim DeArmon to look at re: materials, design  
+ Forest Glen

5 Valley View Avenue - rear addition uses MDO plywood (see cornice for roof cut-out with window), and compatible roof lines, window shapes, materials.

2411 Holman Avenue (Forest Glen District) - Good rear addition, matches materials

7711 Takoma Avenue - Uses MDO plywood at rear elevation; matches roof forms. Also uses flat stucco finish. Beautiful rear addition. Note side screened porch is new, but compatible.

7705 Takoma Avenue - Matches original siding; compatible roof lines.

7805 Takoma Avenue - Use of flat stucco finish as compatible match to original; matches roof lines.

310 Tulip Avenue - Rear addition matches materials, forms, details. (Also a corner lot)

7201 Willow Avenue - example of incompatible addition. Use of different materials, different window shapes, different finish from original. (Also a corner lot; old addition)

MDO Plywood

Beaded board below window sill level

Hardiplank cement clapboard (may be too wide)

Wood siding and lots of windows

Note: window form should match original for verticality, pairing, etc.

Deck door should be wood, french - multi paned, or single width with windows

windows should be 1/1 or true-divided light

Post-it™ Fax Note	7671	Date	6/13/00	# of pages	1
To	Jim DeArmon	From	Robin Zick		
Co./Dept.		Co.	M-NCPPC		
Phone #	703-883-6051	Phone #	301-563-3408		
Fax #	703-883-1226	Fax #	301-563-3412		

Additions in Takoma Park for Jim DeArmon to look at:  
re: materials, design

5 Valley View - good read addition -  
use of MDO plywood in corner blocking  
matching roof forms

7216 Spruce Avenue (Alan Abrams)

~~7329 Piney Branch (Abrams)~~

7218 Spruce (Abrams)

Fence removed +  
= Was wall removed at  
7805 Tak. Ave?  
stone work  
construction?

6803 Westmoreland Avenue (Darryl's house)

Valley View Avenue (Treseder)

7391 Buffalo Avenue - new construction (Treseder)

2411 Holman Avenue (Forest Glen District) - matched siding

7711 Takoma Avenue (Treseder)

7805 ~~7800 block of~~ Takoma Avenue (Treseder) - note use of flat "stucco" finish. - Matching Roof forms

~~7310 Takoma Avenue - still under way~~

7705 Takoma Avenue (Treseder) - Matched orig siding, roof lines compatible - gorgeous!

check out porch project: 7401 Baltimore Avenue

7707 Tak. Ave. - Use of MDO plywood @ Rear. (Painted, flat surface).

MDO Plywood

Beaded board below window sill level

Hardiplank cement clapboard (may be too wide)

Wood siding and lots of windows

also use of flat stucco finish. Beautiful job w/ rear addition.

Note: window form should match original for verticality, pairing, etc.

Deck door should be french, multi paned, or single width with windows

310 Tulip - Rear addition - Matching materials, forms, details & Corner house good

→ 3200 Subsbury - Victorian (ALL MALCOLM)

lot to west is now open -

7201 Brillant - Bad (old) rear addition. House is clapbd + addition is plywood/stucco - Corner wood board

7116 ~~7116~~ Sycamore

8/2  
~~7/26~~/95 publ  
Primary Resource  
Colonial Revival

500 Tulip Ave. Jim + Deb DeArmon

Item 5 Photographs  
DeArmon, 500 Tulip



← Side view  
of house from  
Spruce Ave



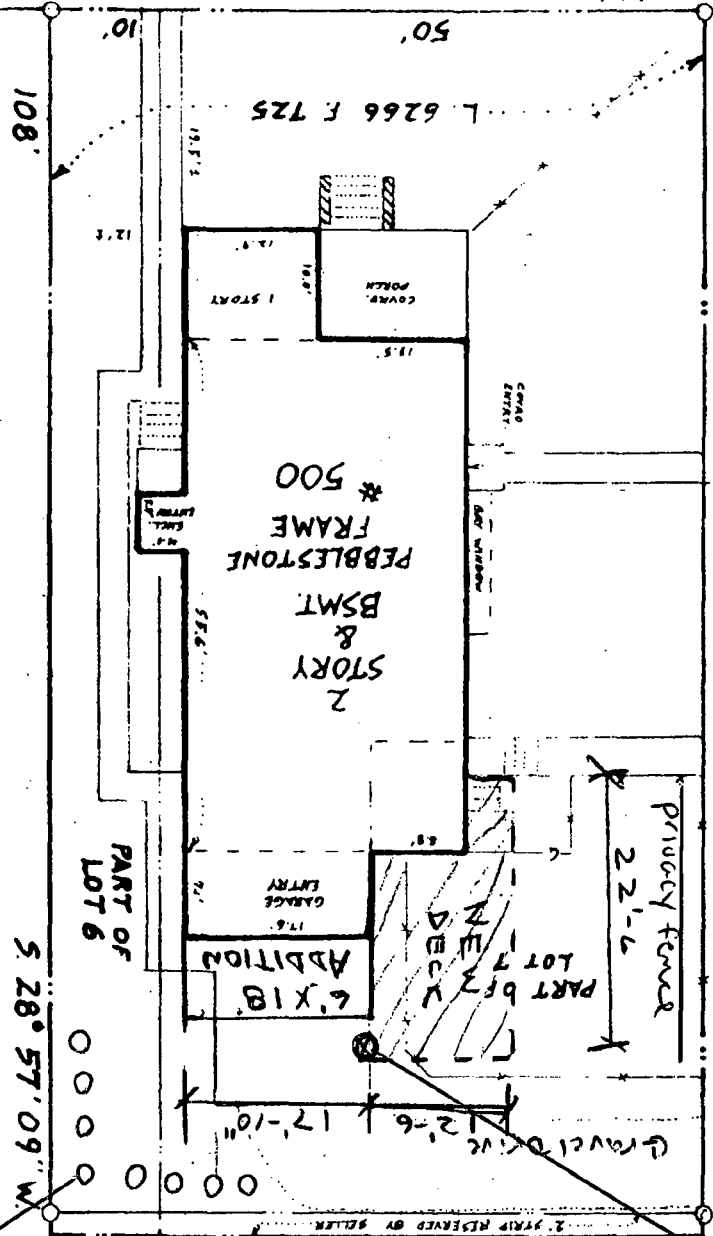
← Back view  
of house from  
driveway.  
\* note: existing  
8 inch diameter  
white oak.  
\* note: existing  
garage doors  
will be re-used.

IT LIE WITHIN THE LIMITS  
OF HIS PROPERTY DOES

# SPRUCE AVENUE

N 28° 57' 09" E

108'



REMAINDER  
OF LOT  
6

S 28° 57' 09" W

PART OF  
LOT 6

60'

S 61° 02' 51" E

OF LOT  
7

privacy fence  
22'-6"

PART OF  
LOT 7  
DECK

Gravel Drive

2 STRIP RESERVED BY ALLIUM

8 and existing  
white oak to be  
removed pending  
approval.

Item 6 Tree Survey  
De Aron 500 Tupelo  
8 Leyland  
Cypress to  
be planted