

37/3-96GG 7307 Takoma Avenue
(Takoma Park Historic District)



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: September 11, 1996

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

TAX ACCOUNT # 414-70-0243 DAYTIME TELEPHONE NO. (202) 298-6700
 NAME OF PROPERTY OWNER Jeffrey Luker DAYTIME TELEPHONE NO. (202) 298-6700
 ADDRESS 7307 Takoma Ave Takoma Park MD 20912
CITY STATE ZIP CODE
 CONTRACTOR Not yet selected TELEPHONE NO. ()
 CONTRACTOR REGISTRATION NUMBER _____
 AGENT FOR OWNER Jeffrey Luker DAYTIME TELEPHONE NO. ()

LOCATION OF BUILDING/PREMISE
 HOUSE NUMBER 7307 STREET Takoma Avenue
 TOWN/CITY Takoma Park NEAREST CROSS STREET Baltimore
 LOT 11 BLOCK 7B SUBDIVISION Takoma Park
 LIBER _____ FOLIO _____ PARCEL _____

RECEIVED

PART ONE: TYPE OF PERMIT ACTION AND USE

AUG 02 1996

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: PERMITS Slab Room Addition
 DDCR/DEF
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____
 1B. CONSTRUCTION COST ESTIMATE \$ 10,000
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 () WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Jeffrey Luker Signature of owner or authorized agent 29 July 1996 Date

APPROVED For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature [Signature] Date 6-12-96

APPLICATION/PERMIT NO: 9128050004 DATE FILED: _____ DATE ISSUED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

RECEIVED

AUG 02 1996

HISTORIC AREA WORK PERMIT APPLICATION

DESCRIPTION

PERMITS
DDSR/DEP

Existing Conditions

First constructed in 1904, 7307 Takoma Ave is a 2 story wood frame house with a an attic and a basement. From examination of the footings and subtle changes in the interior wood trim, it appears that the original house was a L shaped in plan with two gable roofs. Masonry post footings which still exist suggest that a narrow, approximately five foot wide, porch existed at the street front and wrapped around the North side leading to a entry at the intersection at the center of the L. Redwood German lap siding is currently covered over with a layer of felt insulation and oversize cement shingles.

Shortly after being built, a two story crenelated tower was added which in-fills the L. This tower was originally finished with redwood German lap siding similar to that found on the rear of the house. The tower was constructed over top of the porch's north leg, and it appears that the front porch was first extended to it's current eight foot depth at this time. The existing porch floor and brick columns are relatively new. In the 1980's the floor and framing were replaced with unfinished pressure treated 2x4 pine, and the masonry columns were rebuilt.

The northwest corner of the house rests upon a single brick masonry pier footing. Prior to purchase by the current owners, water and termites had deteriorated the North West corner of the house resulting in a structurally unstable condition including over three inches of settlement. Concurrent with purchase in November 1994, the new owners replaced framing below the tower was and had the floor raised to level.

Further repair at the North West corner is required to complete the work begun in 1994. Additional failed framing at the corner of the house must be replaced, and the existing finish envelope must be repaired to stop water and air infiltration. The existing, circa 1960's front door has been structurally damaged. Freeze-thaw and tree root growth have caused movement of the masonry column at the north west corner of the porch. Finally, existing porch roof is leaking, and the North facing end beam is completely rotted through.

Proposed Work:

As described in the attached drawings and project specification, the proposed work includes the following:

Base Bid

1. Provide temporary support of existing porch ceiling, demolish existing masonry columns and floor framing, and adjacent concrete steps.
2. Remove cement shingle siding at the front crenelated tower to expose the existing redwood siding, provide trim at transition to cement shingle siding.

Montgomery County
Historic Preservation Commission
Patricia K. Kishel 6/12/96

July 1996

LUKER RESIDENCE:

Front Porch Repair

Page 2

HISTORIC AREA WORK PERMIT APPLICATION

3. Construct new pier footing at NW corner of the house, construct new trench footing for front porch.
4. Rebuild existing front porch. Provide new wood floor framing, and wood columns. Provide steps to grade. Replace rotted beam at north end. Repair existing roof framing and provide a new asphalt shingle roof.
5. Replace existing front door complete.

Add Alternate

1. Delete steps to grade in base bid. Provide "wrap-around" porch complete: pier footings, new framing, deck, columns, expanded porch ceiling, and asphalt shingle roof.

APPROVED
Montgomery County
Historic Preservation Commis:

Perry Kephart 6-12-96

Confronting - Not Applicable (City owned park)

Adjacent - North

7309 Takoma Ave
Takoma Park, MD 20912

Adjacent South

7305 Takoma Ave
Takoma Park MD 20912

Adjacent - Rear

7305 Baltimore Ave
Takoma Park, MD 20912

RECEIVED

AUG 02 1996

PERMITS
DDSR/DEP

SPECIFICATION

DIVISION 1 - GENERAL REQUIREMENTS

1. Summary of the Work:

Base Bid

- a) Provide temporary support of existing porch ceiling, demolish existing masonry columns and floor framing, and adjacent concrete steps.
- a) Remove cement shingle siding at the front crenelated tower to expose the existing redwood siding, provide trim at transition to cement shingle siding.
- b) Construct new pier footing at NW corner of the house, construct new trench footing for front porch.
- c) Rebuild existing front porch. Provide new floor framing, and columns. Provide steps to grade. Replace rotted beam at north end. Repair existing roof framing and provide a new asphalt shingle roof.
- d) Replace existing front door complete.

Add Alternate

- e) Delete steps to grade in base bid. Provide "wrap-around" porch complete: pier footings, new framing, deck, columns, expanded porch ceiling, and asphalt shingle roof.
2. The house and site shall be inspected by the Contractor before bidding the Work. If any deficiencies or concerns relevant to accomplishment of the project are noted, the Contractor shall report them to the Owner prior to presentation of the bid.
 3. All areas adjacent to the Work shall be protected during construction and if damaged during construction shall be replaced or restored to the original condition.
 4. The Contractor shall field verify all dimensions prior to ordering and/or installing materials and equipment.
 5. Site shall be kept in an orderly manner at all times. Materials shall be stored properly. All debris, etc. shall be removed from the site and disposed of legally.
 6. The Contractor shall protect the structural integrity of existing building and adjacent structure during construction.
 7. All equipment and materials shall be installed in accordance with the manufacturers recommendations.

APPROVED
Montgomery County
Historic Preservation Commission

Robert [Signature] 6/27/96

SPECIFICATION

8. The Owner shall obtain and pay for all permits and deliver same to the Contractor at the beginning of the project.
9. The Contractor, and all construction is to comply with all applicable building codes and ordinances; including but not limited to the requirements dictated by the City of Takoma Park, Montgomery County, and the State of Maryland.
10. The Contractor shall guarantee construction details and workmanship for a period of two years subsequent to substantial completion of the project.

DIVISION 2 - SITE WORK & DEMOLITION

1. The Contractor shall complete demolition as described above, and shown on the drawings. All debris is to be disposed of legally.
2. The Contractor shall excavate for pier footings to undisturbed soil and to a depth of not less than 2.5 feet below grade. The Contractor shall confirm with the owner that the soil bearing capacity below the footing at the corner of the House is equal to or greater than 1500 psi.
3. Existing trees shall be protected during construction period. The Contractor shall coordinate Vehicle access with the Owner. Lawn and damaged areas shall be repaired to present condition with finish grading and re-seeding at the end of the construction period.
4. The Contractor shall provide finish grading around the Work area with positive drainage directed away from perimeter of the house.

DIVISIONS 3 & 4 - CONCRETE & MASONRY

1. Foundations:

House: Steel reinforced 8 inch diameter by 2.5 foot deep concrete pier supported by a 4 square foot spread footing: 1 foot deep with steel reinforcing.

Front Porch: Steel reinforced 1 foot wide by 3 foot deep concrete trench footing with anchor bolts set in concrete located at 2' on center.

Wrap Porch: Steel reinforced 8 " diameter pier by 2.5 foot deep footings.

DIVISION 6 - WOOD

1. Rough Carpentry:

APPROVED
Montgomery County
Historic Preservation Commission
Cheryl [Signature] 6/12/96

SPECIFICATION

- a) See STRUCTURAL NOTES.
 - b) Maximum allowable moisture content of all lumber to be 19%.
 - c) Provide pressure treated Southern Yellow Pine #2 or better for all concealed framing.
 - d) Provide stainless steel bolts, nails and other fasteners. Provide and galvanized joist hangers.
2. Finish Carpentry
- a) For floor deck, provide clear cedar for stain finish
 - b) For trim boards and balustrade, provide redwood for painted finish.
 - c) For posts, see attached cut sheet.
 - d) For front door, provide mahogany for clear finish.
 - d) Install finish carpentry plumb, level true and straight with no distortions. Shim as required using concealed shims. Scribe and cut finish carpentry items to fit adjoining work. Anchor finish carpentry work securely to supports and substrates using concealed fasteners and blind nailing where possible. Use fine finishing nails for exposed nailing except as indicated, countersunk and filled flush with finished surface.
 - e) Install standing and running trim with minimum number of joints possible, using full-length pieces from maximum length of lumber available. Cope at returns, miter at corners to produce tight fitting joints. Use scarf joints for end to end joints.

DIVISION 7 - WATERPROOFING AND INSULATION

1. Space below wood decks:

2" gravel, set over heavy duty nylon or polyethylene weed proof mesh set over cut and compacted soil (remove all topsoil).
2. Roof Construction:

Asphalt shingles certified appropriate for low slope application, roofing cement at the free tabs, set over 1 layer of Grace Ice and Water Shield, set on 1/2" plywood sheathing, set on 2x8 rough framing at 16" on center, vented construction.

APPROVED
Montgomery County
Historic Preservation Commission
Sara Vedant 6/12/96

SPECIFICATION

DIVISION 8 - DOORS AND WINDOWS

1. New entry door to be clear finish solid mahogany wood stile and rail door, with guaranteed double glazed glass panel. Construction to meet AWI Custom Woodwork Standards.

DIVISION 9 - FINISHES

1. All paint and primer to be manufactured by Benjamin Moore. Paint to be applied per manufacturers' specification.
2. Painting - Interior:
 - a) Interior walls and ceilings to be repaired and painted by the owner.
 - b) Interior woodwork and trim including windows and doors to receive one coat alkyd primer. Finish painting to be provided by the owner.
6. Painting - Exterior:
 - a) Exterior trim to receive 1 coat of primer and 2 coats alkyd high gloss finish paint.
 - b) Exterior exposed wood walls to receive 1 coat of primer and 2 coats of alkyd semi-gloss finish.
 - c) Contractor is responsible to paint only the porch, newly installed work, and the exposed wood at the crenelated tower. Trim to be painted white, field color to be custom, selected by the Owner.
 - d) Porch floor to receive one coat of Cabots, oil based stain/sealer.

DIVISION 16 - ELECTRICAL

1. Assist owner in finding concealed wire pathways to extend existing overhead light circuit. Wiring and installation of a new GFI outlet, a second overhead light, and a two spot lights to be provided by the Owner.

STRUCTURAL NOTES

1. All structural lumber shall have the following minimum properties:
 - Bending stress "Fb" - 1250 psi for single member use.
 - Bending stress "Fb" - 1450 psi for repetitive member use.
 - Horizontal shear "fv" - 95 psi.

APPROVED
Montgomery County
Historic Preservation Commission

[Handwritten Signature]
6/12/96

SPECIFICATION

- Compression perpendicular to grain "Fc1" - 385 psi.
- Compression parallel to grain "Fc1" - 1050 psi.
- Modulus of elasticity - "g" - 1,700,000 psi.

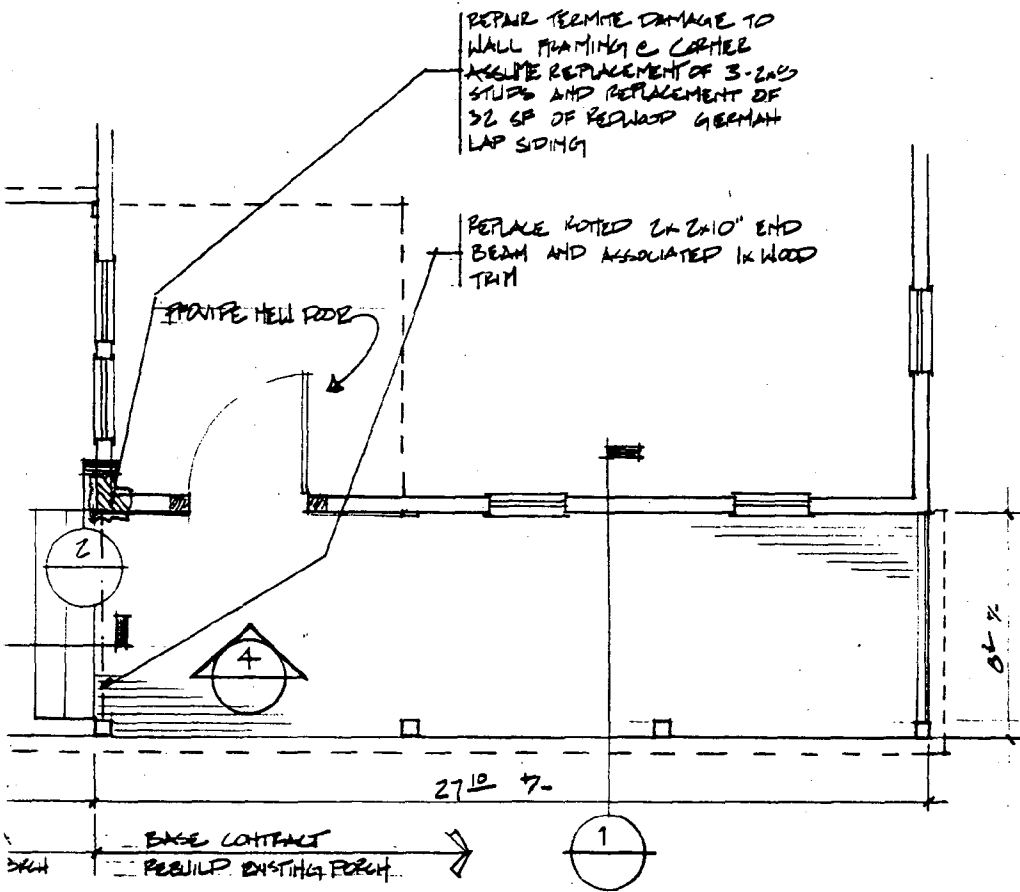
Timber construction shall be in accordance with the national design specifications for wood construction. Latest edition, published by the National Forest Products Assoc.

2. Soil bearing value at the bottom of all footings is assumed to be 1500 psi.
3. All concrete to have a minimum compressive strength - 3000 psi in 28 days.
4. All reinforcing steel to be new billet ASTM-A-615-78-Grade 60. Placing plans and shop fabrication details shall be in accordance with the "Manual of Standard Practice for Detailing Reinforced Concrete Structures". All reinforcing steel to be covered by more than 1 inch of concrete.
5. Footings shall bear on original undisturbed earth. Bottom of all exterior footings shall be a minimum of 30 inches (2.5 feet) below finished exterior grade.
6. Provide solid bridging between floor, roof and ceiling joists at maximum 8'-0" o.c., and minimum 1 row.

END OF SPECIFICATION

APPROVED
Montgomery County
Historic Preservation Commission

[Handwritten Signature] 6/12/91



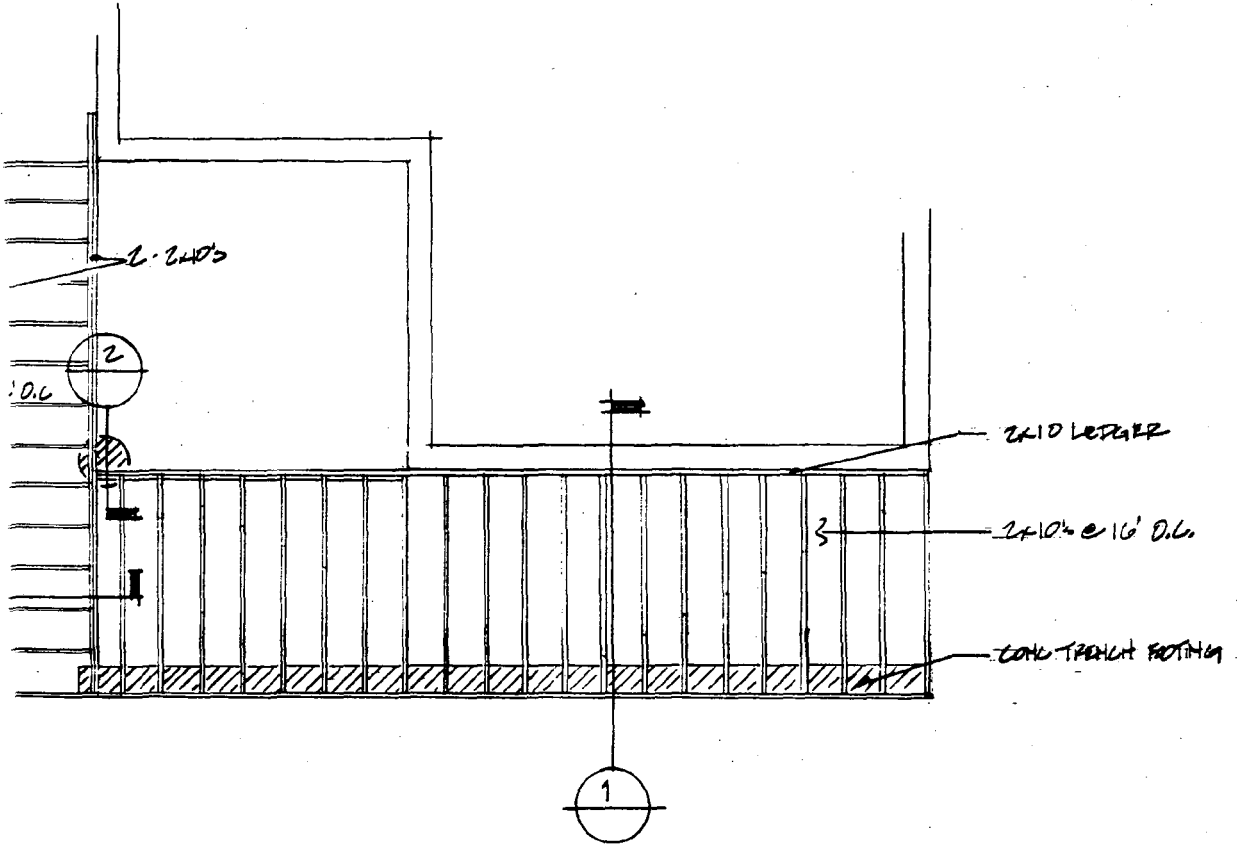
APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
 6/2/96

LUKER RESIDENCE:
Front Porch Repair
 Takoma Park, MD

Sheet 1 of 2

Prepared by:
 Jeffrey Luker : Architect
 7307 Takoma Ave
 Takoma Park, MD 20912
 (301) 585-3958

PLAN
 1/4" = 1'-0"



APPROVED
 Montgomery County
 Historic Preservation Commission
Completed 6/12/98

LUKER RESIDENCE:
 Front Porch Repair
 Takoma Park, MD

Sheet 2 of 8

Prepared by:
 Jeffrey Luker : Architect
 7307 Takoma Ave
 Takoma Park, MD 20912
 (301) 565-3958

FRAMING PLAN
 1/4" = 1'-0"



- REMOVE EXISTING CEMENT SHINGLES TO EXPOSE REDWOOD SIDING
- PROVIDE NEW REPAIRED TRIM & JOINT BETWEEN EXPOSED SIDING & CEMENT SHINGLES
- REPAIR & REUSE EXISTING ROOF FRAMING PROVIDE NEW SHEATHING & ASPHALT SHINGLE ROOF. REPLACE FLASHING COMPLETE
- REMOVE EXISTING FRONT DOOR & SIDELITE PROVIDE NEW 36 x 78 FRONT DOOR COMPLETE WITH NEW TRIM INT& EXT.
- PROVIDE NEW ORNAMENTAL TRIM & COLUMN TOP-TYPICAL & ALL COLUMNS

APPROVED
 Montgomery County
 Historic Preservation Commission
Robert Deane 6/12/96

LUKER RESIDENCE:
 Front Porch Repair
 Takoma Park, MD

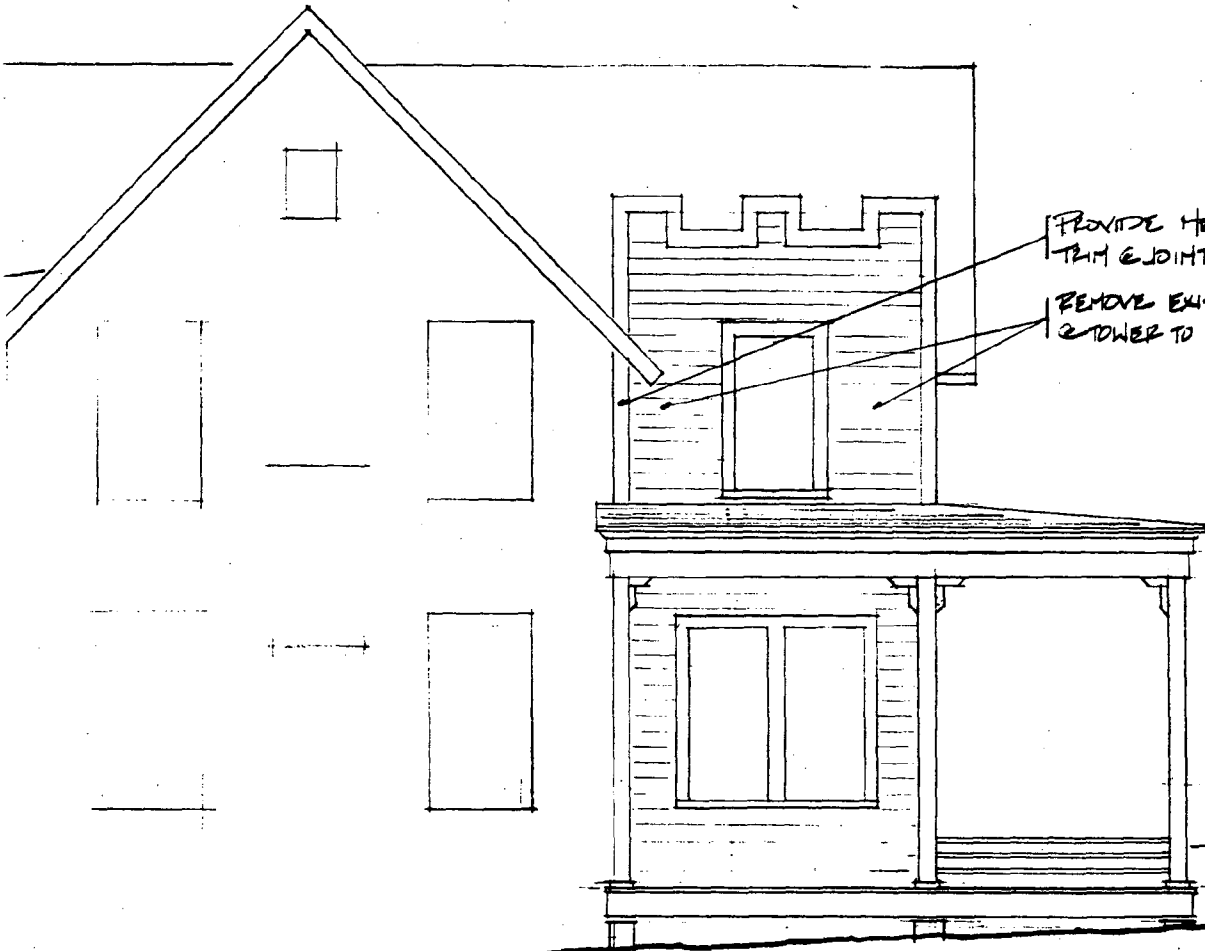
Sheet 3 of 8

Prepared by:
 Jeffrey Luker : Architect
 7307 Takoma Ave
 Takoma Park, MD 20912
 (301) 565-3958

A
 REL BASE CONTRACT
 REBUILD EXISTING PORCH



WEST ELEVATION
 1/4" = 1'-0"



PROVIDE NEW REDWOOD TRIM JOINT TO CEMENT SHINGLES
REMOVE EXISTING CEMENT SHINGLES & DOWER TO EXPOSE REDWOOD SIDING

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 1/14/16

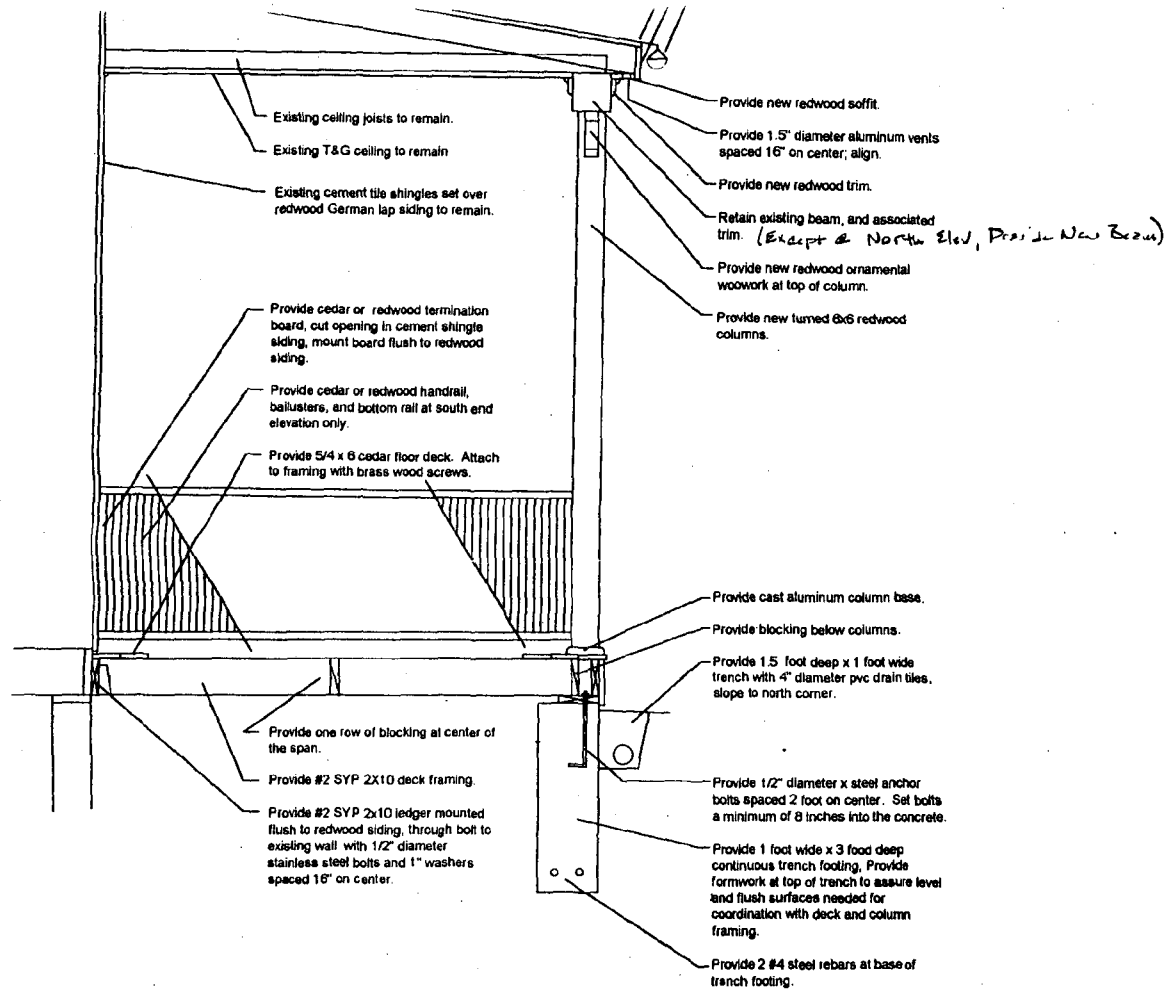
LUKER RESIDENCE:
Front Porch Repair

Takoma Park, MD

Sheet 4 of 8

Prepared by:
Jeffrey Luker : Architect
7307 Takoma Ave
Takoma Park, MD 20912
(301) 565-3958

NORTH ELEVATION
1/4" = 1'-0"



1 SECTION @ FRONT PORCH
SCALE: 1/8" = 1'-0"

**LUKER RESIDENCE:
Front Porch Repair**

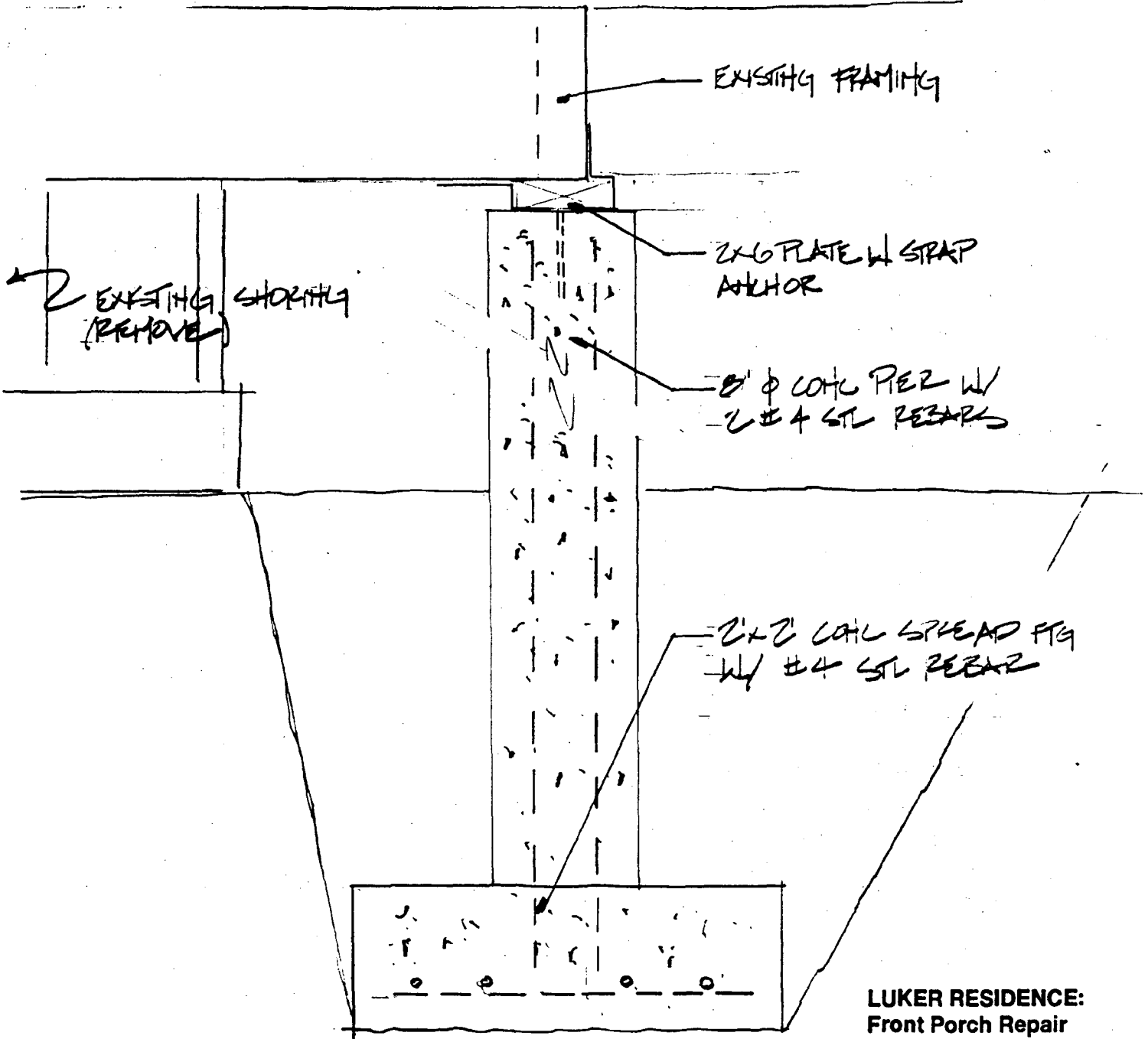
Takoma Park, MD

Sheet 5 of 8

Prepared by:

Jeffrey Luker : Architect
7307 Takoma Ave
Takoma Park, MD 20912
(301) 565-3958

APPROVED
Montgomery County
Historic Preservation Commission
6/1/19



**LUKER RESIDENCE:
Front Porch Repair**

Takoma Park, MD

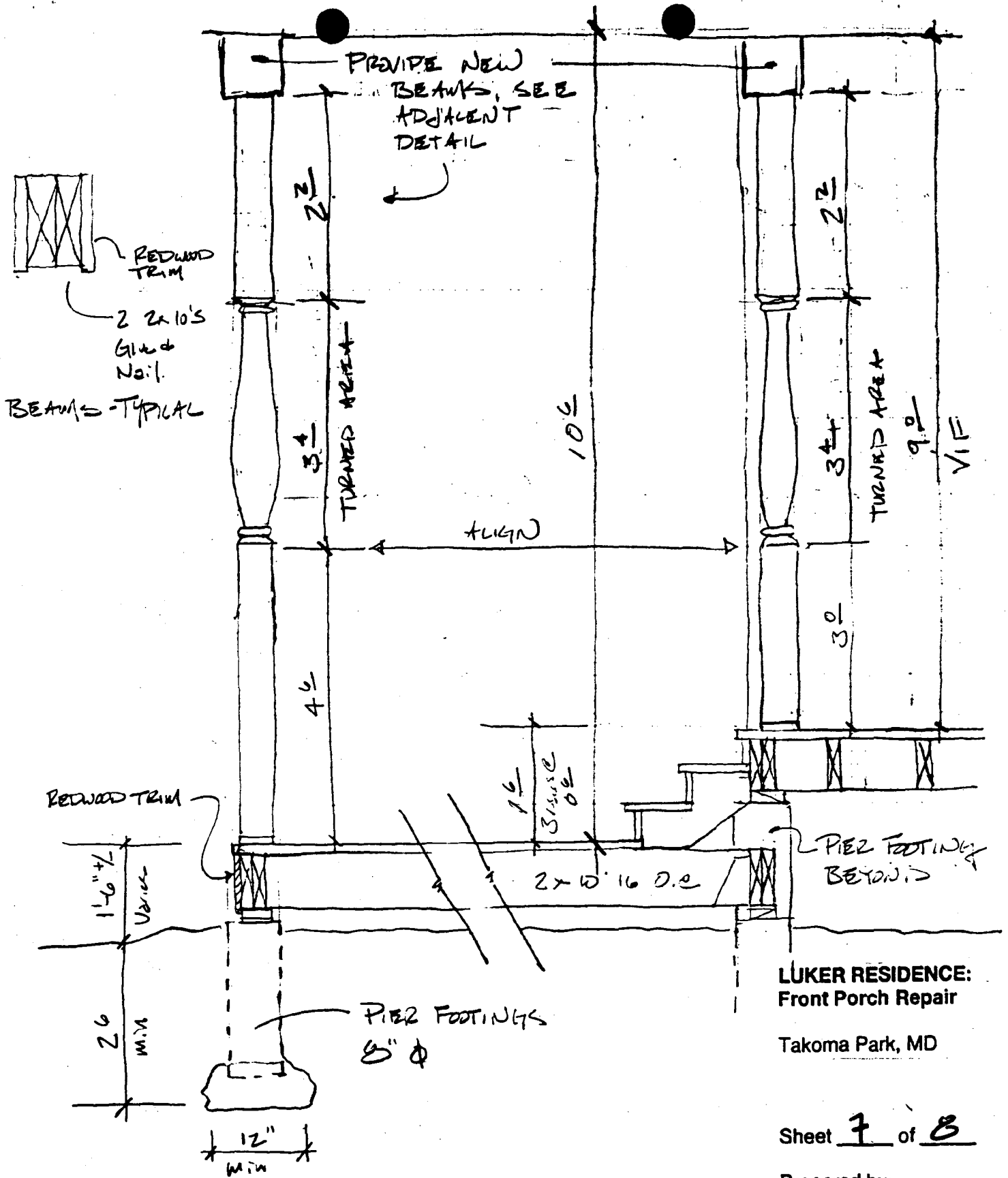
2 DETAIL @ PIER FOOTING
1/2" = 1'-0"

Sheet 6 of 8

Prepared by:

Jeffrey Luker : Architect
7307 Takoma Ave
Takoma Park, MD 20912
(301) 565-3958

APPROVED
Montgomery County
Historic Preservation Commission
Barry Keenan 6/12/96



LUKER RESIDENCE:
Front Porch Repair

Takoma Park, MD

Sheet 7 of 8

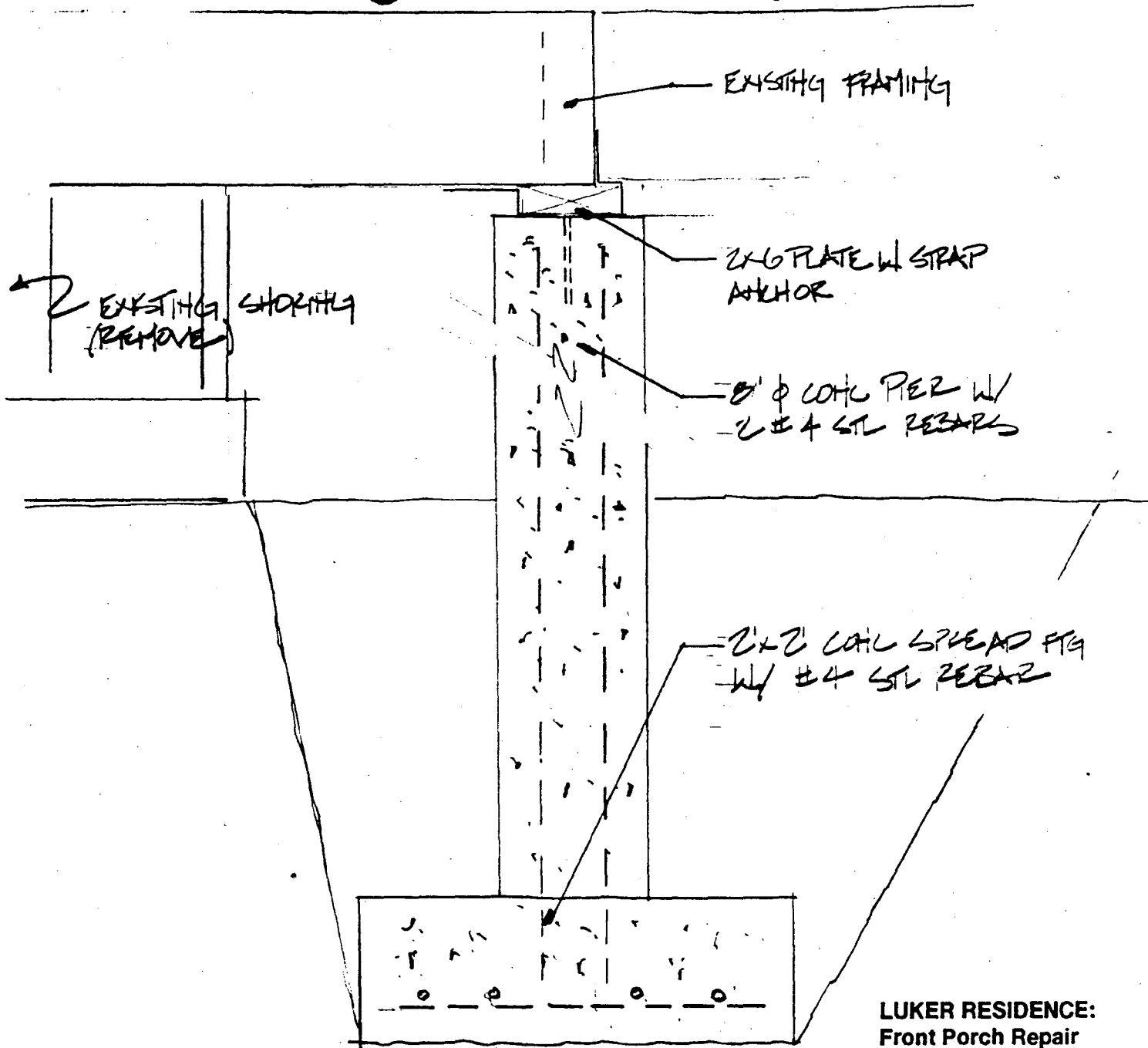
Prepared by:

Jeffrey Luker : Architect
7307 Takoma Ave
Takoma Park, MD 20912
(301) 565-3958

3 SECTION C ALTERNATE A WRAP AROUND PORCH
1/2" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

Thomas V. ... 11/2/96



**LUKER RESIDENCE:
Front Porch Repair**

Takoma Park, MD

2. DETAIL @ PIER FOOTING
 1/2" = 1'-0"

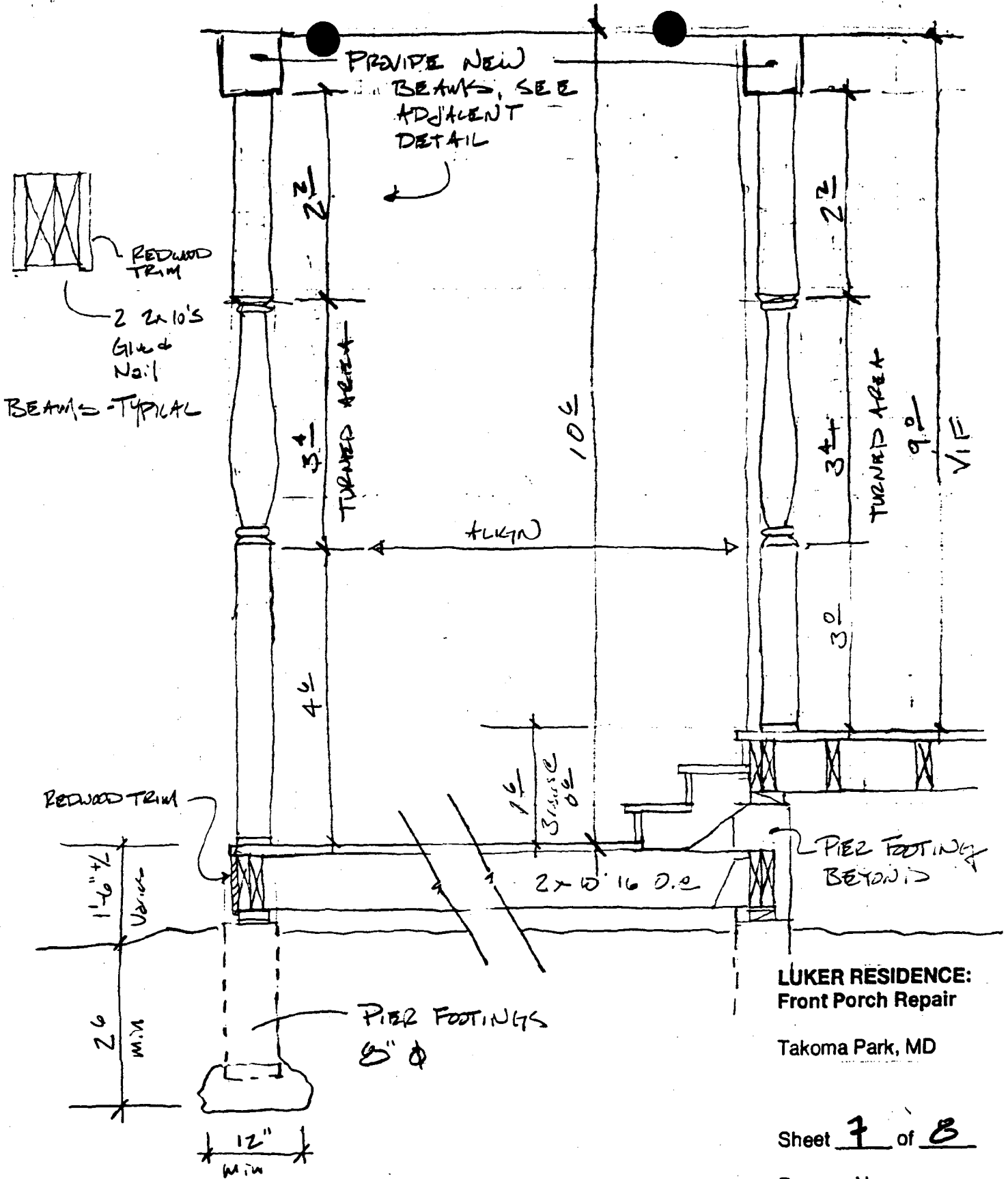
Sheet 6 of 8

Prepared by:

Jeffrey Luker : Architect
 7307 Takoma Ave
 Takoma Park, MD 20912
 (301) 565-3958

APPROVED
 Montgomery County
 Historic Preservation Commission

Harry Keenan 6/12/96



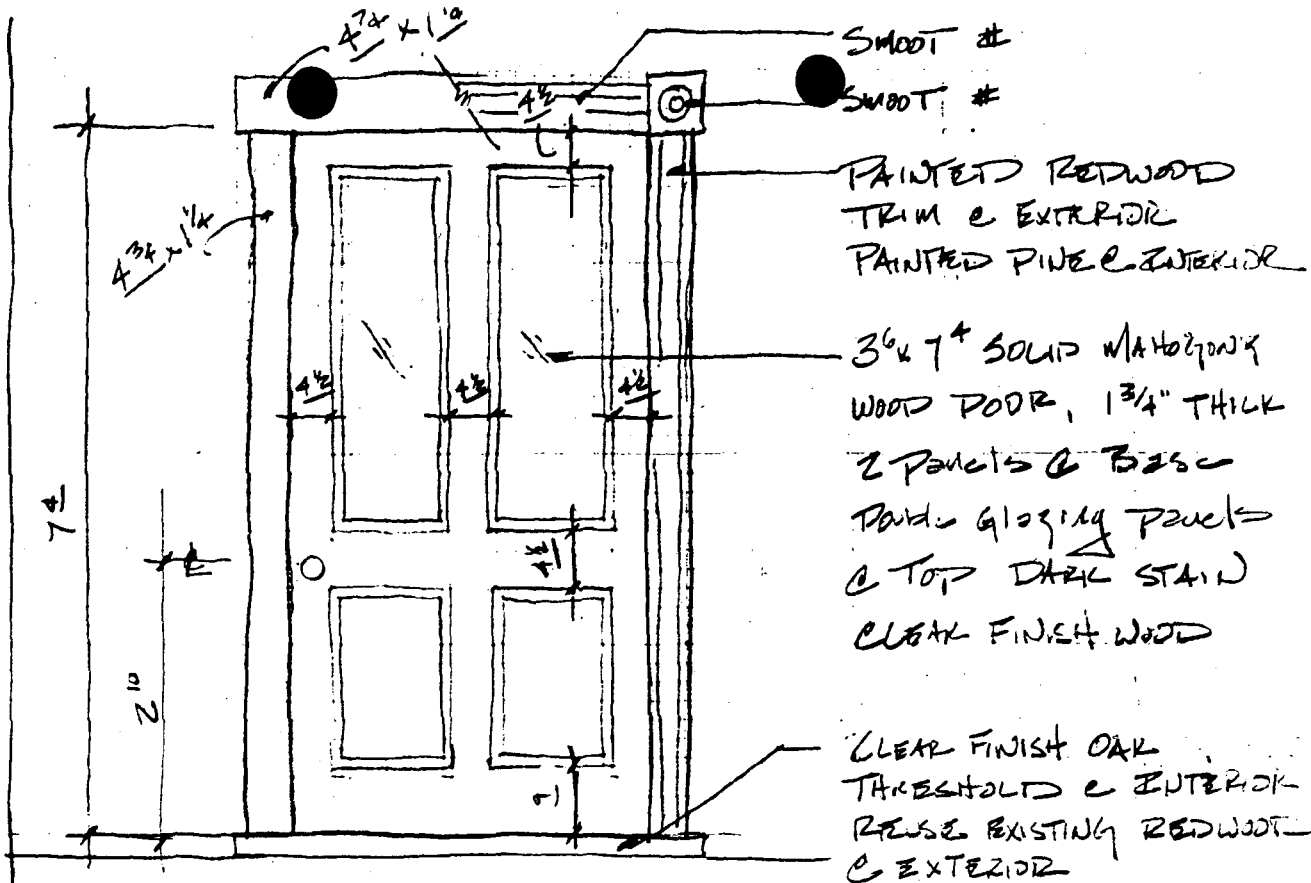
LUKER RESIDENCE:
 Front Porch Repair
 Takoma Park, MD

Sheet 7 of 8

Prepared by:
 Jeffrey Luker : Architect
 7307 Takoma Ave
 Takoma Park, MD 20912
 (301) 565-3958

3 SECTION C ALTERNATE A WRAP AROUND PORET
 1/2" = 1'-0"

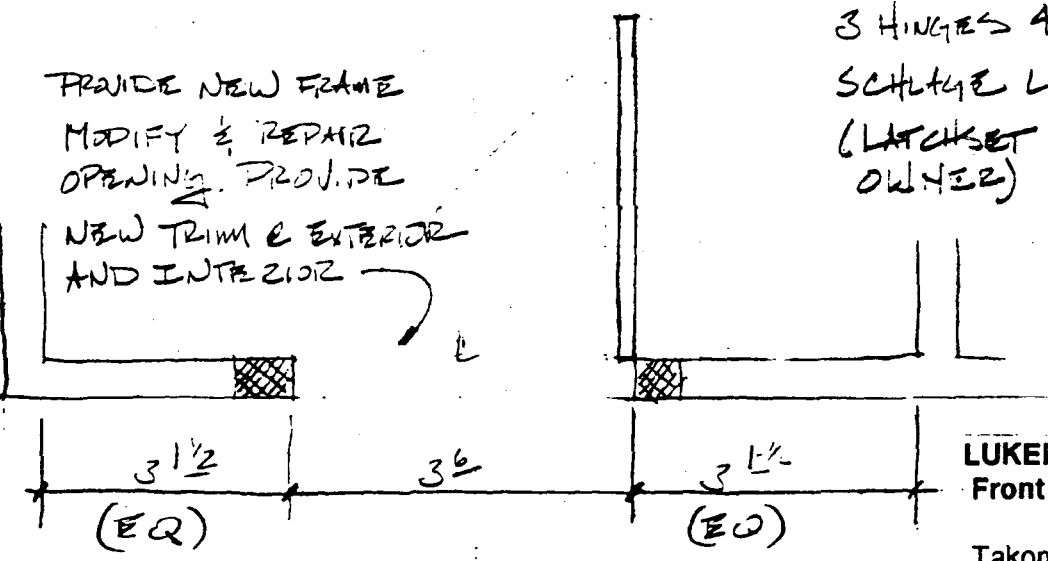
APPROVED
 Montgomery County
 Historic Preservation Commission
Boon Kuhn 10/12/06



EXTERIOR ELEVATION

- SMOOT #
- SMOOT #
- PAINTED REDWOOD TRIM & EXTERIOR
- PAINTED PINE & EXTERIOR
- 3/4" SOLID MAHOGANY WOOD DOOR, 1 3/4" THICK
- 2 Panels @ Base
- Provide glazing panels & TOP DARK STAIN
- CLEAR FINISH WOOD
- CLEAR FINISH OAK THRESHOLD & INTERIOR
- REUSE EXISTING REDWOOD & EXTERIOR

- HARDWARE:
- 3 HINGERS 4 1/2 x 4 1/2 SOLID BIRCH
 - SCHLAGE LATCHSET -
 - (LATCHSET PROVIDED BY OWNER)



PLAN

LUKER RESIDENCE:
Front Porch Repair
Takoma Park, MD

4 PLAN & ELEVATION @ FRONT DOOR
1/2" = 1'-0"

Sheet 8 of 8

Prepared by:

Jeffrey Luker : Architect
7307 Takoma Ave
Takoma Park, MD 20912
(301) 565-3958

APPROVED
Montgomery County
Historic Preservation Commission
Boony Kepland 6/12/90

POSTS

APPROVED
Montgomery County
Historic Preservation Commission

Carolyne Kephner 1/6/12/06

Colonial - Prices include packaging and handling.

Size	Base Height	Weight Lbs.	Price Each	Optional Aluminum Plinth
4" x 8'	30"	15	\$ 51	3/4"
4" x 8'	42"	15	51	3/4"
5" x 8'	30"	23	80	4/4"
5" x 8'	42"	23	80	4/4"
6" x 8'	30"	25	104	5/4"
6" x 8'	42"	25	104	5/4"
4" x 9'	42"	19	69	3/4"
5" x 9'	42"	29	108	4/4"
6" x 9'	42"	31	141	5/4"
5" x 10'	48"	33	134	5/4"
6" x 10'	48"	35	171	5/4"

New Orleans - Prices include packaging and handling.

Size	Base Height	Weight Lbs.	Price Each	Optional Aluminum Plinth
4" x 8'	30"	15	\$ 51	3/4"
4" x 8'	42"	15	51	3/4"
5" x 8'	30"	23	80	4/4"
5" x 8'	42"	23	80	4/4"
6" x 8'	30"	25	104	5/4"
6" x 8'	42"	25	104	5/4"
4" x 9'	42"	19	69	3/4"
5" x 9'	42"	29	108	4/4"
6" x 9'	42"	31	141	5/4"
5" x 10'	48"	33	134	4/4"
6" x 10'	48"	35	171	5/4"

Contemporary - Prices include packaging and handling.

Size	Weight Lbs.	Price Each	Optional Aluminum Plinth
4" x 8'	20	\$ 49	3/4"
5" x 8'	30	76	4/4"
6" x 8'	35	99	5/4"
4" x 9'	21	66	3/4"
5" x 9'	31	102	4/4"
6" x 9'	33	134	5/4"
5" x 10'	35	127	4/4"
6" x 10'	37	162	5/4"



Colonial



New Orleans



Contemporary

Western softwood posts are laminated under pressure using Type I waterproof glue and are treated with a wood preservative.

Our wooden posts are available 8, 9 and 10 feet with turned area of 40 inches. The turned area is placed 30 or 42 inches from the bottom on 8 foot posts, 42 inches from the bottom on 9 foot posts and 48 inches from the bottom on 10 foot posts. Custom placement can be provided.

1.800.COLUMNS
1.800.265.8667

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7307 Takoma Avenue, Takoma Park

Meeting Date: 9/11/96

Resource: Takoma Park Historic District

Review: HAWP

Case Number: 37/3-96GG

Tax Credit: Partial

Public Notice: 8/28/96

Report Date: 9/04/96

Applicant: Jeffrey Luker

Staff: Perry Kephart

PROPOSAL: Tower siding restoration, restore and enlarge porch. RECOMMEND: Approve

DATE OF CONSTRUCTION: 1904

SIGNIFICANCE: Contributing Resource in Takoma Park Historic District.

ARCHITECTURAL DESCRIPTION: Two story frame vernacular L house with front gable and a two story crenellated tower built into the angle of the ell. Front porch with masonry supports and wood railing across the full width of the front facade. The house is covered with asbestos/cement shingle siding and roofed with asphalt shingles.

PROPOSAL:

1. Remove asbestos/cement siding on the crenellated tower to reveal existing redwood siding underneath. Restore the redwood siding. Add redwood trim at jointure with the wall asbestos/cement shingle siding on the front and side facades.
2. Replace out-of-period brick porch supports with wood columns and brackets. At the same time repair and re-use existing porch roof framing and add new asphalt shingle porch roof and metal flashing. Also construct new pier footing at NW corner of house and construct new trench footing for front porch. Replace rotted porch flooring.
3. Replace front concrete steps with wooden steps on north side.
4. Add wraparound porch to extend around north side of house.
5. Replace out-of-period door and sidelight with new 3'6" x 7'4" front door and trim.

STAFF DISCUSSION:

Staff supports the proposed exposure and restoration of the siding on the crenellated tower. The work would bring back original materials which is an important aspect of effective restoration. Applicant indicated to staff that he may in the future remove the asbestos siding

from the rest of the house, but has no plans to do so at the present time. For now, the proposed use of different siding materials from the main house and the use of trim between the tower and the main block will serve to differentiate between the original house and the tower, which applicant has found evidence to demonstrate was built at a slightly later date.

Staff also supports the porch repair and replacement of the concrete steps and masonry columns. The columns were installed in the 1980's and are not sufficiently historic to justify retaining them rather than replacing them with a style of wood column which is commensurate with the period of the house.

The demolition of the 1980's concrete front steps is also appropriate to the restoration goals for this property. The proposed addition of wooden front steps on the side of the front porch is a design decision with which staff is comfortable.

Staff feels that the proposed extension of the front porch to wrap around the side of the tower addition would be a departure from the square line of the house in its current configuration, but as the house originally had a wraparound porch which was modified when the tower was added, staff would support the proposal. Applicant in his investigation of the foundations has found evidence of masonry post footings which suggest that a narrow, approximately five foot wide, porch wrapped around the north side of the front ell. Staff would point out that the extended horizontal line of the porch would soften the heaviness of the tower's rather imposing bulk.

Finally, staff commends the applicant on the extensive repair work which is included in the proposal, including the replacement of the damaged front door with a mahogany and glass door, although leaded and /or stained glass should not be used.

STAFF RECOMMENDATION

Staff recommends **approval** of this HAWP as it is consistent with the goals and purposes of the Historic Preservation Ordinance. Staff recommends that the HPC should find, as stated in Criteria 24A-8(b)2:

... the proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

In addition staff recommends that the HPC should find this application consistent with the Secretary of the Interior's Standard #6, #9, & #10:

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

And with the condition that no leaded or stained glass be used in the front door panels.

And also with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON Jeffrey Luker
 DAYTIME TELEPHONE NO. (202) 298-6700
 TAX ACCOUNT # 474-70-0243
 NAME OF PROPERTY OWNER Jeffrey Luker DAYTIME TELEPHONE NO. (202) 298-6700
 ADDRESS 7307 Takoma Ave Takoma Park MD 20912
 CITY STATE ZIP CODE
 CONTRACTOR Not yet selected TELEPHONE NO. ()
 CONTRACTOR REGISTRATION NUMBER _____
 AGENT FOR OWNER Jeffrey Luker DAYTIME TELEPHONE NO. ()

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 7307 STREET Takoma Avenue
 TOWN/CITY Takoma Park NEAREST CROSS STREET Baltimore
 LOT 11 BLOCK 7B SUBDIVISION Takoma Park
 LIBER _____ FOLIO _____ PARCEL _____

RECEIVED

AUG 02 1996

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: PERMITS ^{A/C} Slab Room Addition
 DSDR/DEP
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____
 1B. CONSTRUCTION COST ESTIMATE \$ 10,000
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 () WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Jeffrey Luker Signature of owner or authorized agent 29 July 1996 Date

APPROVED _____ For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature _____ Date _____

(4)

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See attached DESCRIPTION

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached DESCRIPTION

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

RECEIVED

AUG 02 1996

HISTORIC AREA WORK PERMIT APPLICATION

DESCRIPTION

PERMITS
DDSR/DEP

Existing Conditions

First constructed in 1904, 7307 Takoma Ave is a 2 story wood frame house with a an attic and a basement. From examination of the footings and subtle changes in the interior wood trim, it appears that the original house was a L shaped in plan with two gable roofs. Masonry post footings which still exist suggest that a narrow, approximately five foot wide, porch existed at the street front and wrapped around the North side leading to a entry at the intersection at the center of the L. Redwood German lap siding is currently covered over with a layer of felt insulation and oversize cement shingles.

Shortly after being built, a two story crenelated tower was added which in-fills the L. This tower was originally finished with redwood German lap siding similar to that found on the rear of the house. The tower was constructed over top of the porch's north leg, and it appears that the front porch was first extended to it's current eight foot depth at this time. The existing porch floor and brick columns are relatively new. In the 1980's the floor and framing were replaced with unfinished pressure treated 2x4 pine, and the masonry columns were rebuilt.

The northwest corner of the house rests upon a single brick masonry pier footing. Prior to purchase by the current owners, water and termites had deteriorated the North West corner of the house resulting in a structurally unstable condition including over three inches of settlement. Concurrent with purchase in November 1994, the new owners replaced framing below the tower was and had the floor raised to level.

Further repair at the North West corner is required to complete the work begun in 1994. Additional failed framing at the corner of the house must be replaced, and the existing finish envelope must be repaired to stop water and air infiltration. The existing, circa 1960's front door has been structurally damaged. Freeze-thaw and tree root growth have caused movement of the masonry column at the north west corner of the porch. Finally, existing porch roof is leaking, and the North facing end beam is completely rotted through.

Proposed Work:

As described in the attached drawings and project specification, the proposed work includes the following:

Base Bid

1. Provide temporary support of existing porch ceiling, demolish existing masonry columns and floor framing, and adjacent concrete steps.
2. Remove cement shingle siding at the front crenelated tower to expose the existing redwood siding, provide trim at transition to cement shingle siding.

6

HISTORIC AREA WORK PERMIT APPLICATION

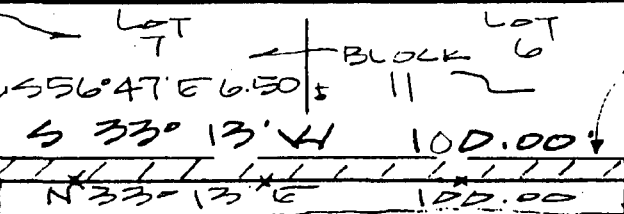
3. Construct new pier footing at NW corner of the house, construct new trench footing for front porch.
4. Rebuild existing front porch. Provide new wood floor framing, and wood columns. Provide steps to grade. Replace rotted beam at north end. Repair existing roof framing and provide a new asphalt shingle roof.
5. Replace existing front door complete.

Add Alternate

1. Delete steps to grade in base bid. Provide "wrap-around" porch complete: pier footings, new framing, deck, columns, expanded porch ceiling, and asphalt shingle roof.

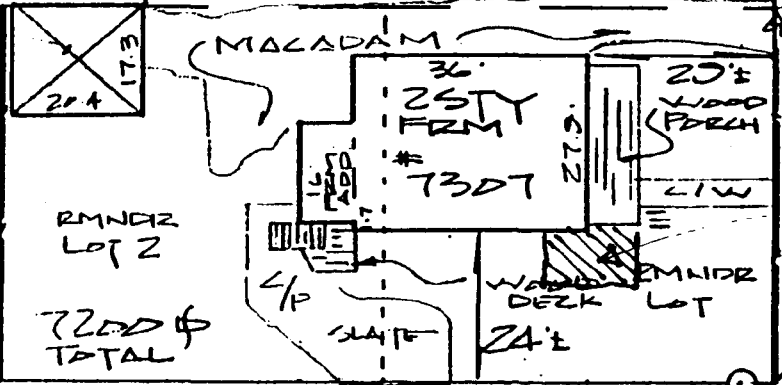
"TAKOMA PARK"

PLAT BOOK: A
 (PLAT: 23)
 S 33° 13' W 20.00
 S 56° 47' E 66.50



(N 25° 12' E ±)

FEM. GARAGE



TAKOMA AVENUE
 (S 60° 48' E ±)
 N 56° 47' W 66.50
 PPD 7.5

Alternate
 Wrap around
 porch

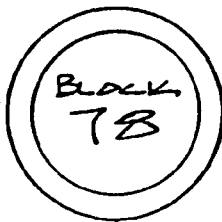
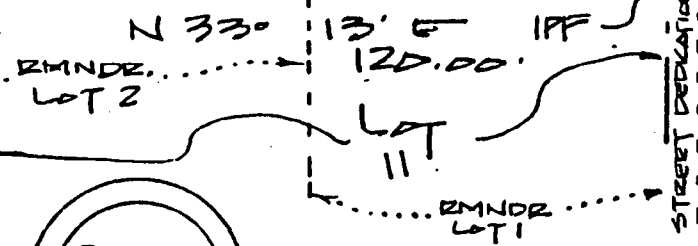
NOTE:

LOTS 1 & 2, BLOCK 78
 RECORDED ON A PLAT
 ENTITLED:

"T.P.L & T CO'S
 SUBDIVISION
 OF
 TAKOMA PARK"

PLAT BOOK:
 B
 PLAT
 23

S 56° 47' E 60.00



Subject property is shown in Zone C
 on the National Flood Insurance Program
 Flood Insurance Rate Map of Montgomery
 County, Maryland. Panel # 2000P200
 Community Panel # 240043 0200
 Effective Date: AUG 5, 1991

▨:
 DENOTES
 SAVING &
 EXCEPTING
 L: 4826
 F: 795

NOTE:
 LOT 11, BLOCK 78
 RECORDED IN:

PLAT BOOK: 7D PLAT: 6624

This is to certify that I have surveyed the property known as ALL OF LOTS 1 & 2, BLOCK 78 LESS LOT 11, BLOCK 78 ON PLAT RECORDED AS STATED ABOVE AND ENTITLED SEE NOTES among the Land Records of Montgomery County, Maryland for the purpose of locating the improvements thereon.



J. Carl Higgins PLS#96

LOCATION SURVEY
 7307 TAKOMA AVENUE

MONTGOMERY Co. MD

NTT ASSOCIATES, INC.
 16205 Old Frederick Road
 Mt. Airy, Maryland 21771
 Phone 442-2031

Scale	1" = 30'
Date	15 SEP 94
Field By	DWH
Drawn By	DWH
Drawing #	94-4431

THIS PLAT SHOWS ONLY THAT THE IMPROVEMENTS ARE CONTAINED WITHIN THE OUTLINES OF THE LOT AND IS NOT TO BE USED TO ESTABLISH PROPERTY LINES.

8

Confronting - Not Applicable (City owned park)

Adjacent - North

7309 Takoma Ave
Takoma Park, MD 20912

Adjacent South

7305 Takoma Ave
Takoma Park MD 20912

Adjacent - Rear

7305 Baltimore Ave
Takoma Park, MD 20912

RECEIVED

AUG 02 1996

PERMITS
DDSR/DEP



7307 TAKOMA AVENUE



10



HOUSES IN NEIGHBORHOOD OF 7307 TAKOMA AVE.



SPECIFICATION

DIVISION 1 - GENERAL REQUIREMENTS

1. Summary of the Work:

Base Bid

- a) Provide temporary support of existing porch ceiling, demolish existing masonry columns and floor framing, and adjacent concrete steps.
- a) Remove cement shingle siding at the front crenelated tower to expose the existing redwood siding, provide trim at transition to cement shingle siding.
- b) Construct new pier footing at NW corner of the house, construct new trench footing for front porch.
- c) Rebuild existing front porch. Provide new floor framing, and columns. Provide steps to grade. Replace rotted beam at north end. Repair existing roof framing and provide a new asphalt shingle roof.
- d) Replace existing front door complete.

Add Alternate

- e) Delete steps to grade in base bid. Provide "wrap-around" porch complete: pier footings, new framing, deck, columns, expanded porch ceiling, and asphalt shingle roof.
2. The house and site shall be inspected by the Contractor before bidding the Work. If any deficiencies or concerns relevant to accomplishment of the project are noted, the Contractor shall report them to the Owner prior to presentation of the bid.
 3. All areas adjacent to the Work shall be protected during construction and if damaged during construction shall be replaced or restored to the original condition.
 4. The Contractor shall field verify all dimensions prior to ordering and/or installing materials and equipment.
 5. Site shall be kept in an orderly manner at all times. Materials shall be stored properly. All debris, etc. shall be removed from the site and disposed of legally.
 6. The Contractor shall protect the structural integrity of existing building and adjacent structure during construction.
 7. All equipment and materials shall be installed in accordance with the manufacturers recommendations.

SPECIFICATION

8. The Owner shall obtain and pay for all permits and deliver same to the Contractor at the beginning of the project.
9. The Contractor, and all construction is to comply with all applicable building codes and ordinances; including but not limited to the requirements dictated by the City of Takoma Park, Montgomery County, and the State of Maryland.
10. The Contractor shall guarantee construction details and workmanship for a period of two years subsequent to substantial completion of the project.

DIVISION 2 - SITE WORK & DEMOLITION

1. The Contractor shall complete demolition as described above, and shown on the drawings. All debris is to be disposed of legally.
2. The Contractor shall excavate for pier footings to undisturbed soil and to a depth of not less than 2.5 feet below grade. The Contractor shall confirm with the owner that the soil bearing capacity below the footing at the corner of the House is equal to or greater than 1500 psi.
3. Existing trees shall be protected during construction period. The Contractor shall coordinate Vehicle access with the Owner. Lawn and damaged areas shall be repaired to present condition with finish grading and re-seeding at the end of the construction period.
4. The Contractor shall provide finish grading around the Work area with positive drainage directed away from perimeter of the house.

DIVISIONS 3 & 4 - CONCRETE & MASONRY

1. Foundations:

House: Steel reinforced 8 inch diameter by 2.5 foot deep concrete pier supported by a 4 square foot spread footing: 1 foot deep with steel reinforcing.

Front Porch: Steel reinforced 1 foot wide by 3 foot deep concrete trench footing with anchor bolts set in concrete located at 2' on center.

Wrap Porch: Steel reinforced 8 " diameter pier by 2.5 foot deep footings.

DIVISION 6 - WOOD

1. Rough Carpentry:

SPECIFICATION

- a) See STRUCTURAL NOTES.
- b) Maximum allowable moisture content of all lumber to be 19%.
- c) Provide pressure treated Southern Yellow Pine #2 or better for all concealed framing.
- d) Provide stainless steel bolts, nails and other fasteners. Provide and galvanized joist hangers.

2. Finish Carpentry

- a) For floor deck, provide clear cedar for stain finish
- b) For trim boards and balustrade, provide redwood for painted finish.
- c) For posts, see attached cut sheet.
- d) For front door, provide mahogany for clear finish.
- d) Install finish carpentry plumb, level true and straight with no distortions. Shim as required using concealed shims. Scribe and cut finish carpentry items to fit adjoining work. Anchor finish carpentry work securely to supports and substrates using concealed fasteners and blind nailing where possible. Use fine finishing nails for exposed nailing except as indicated, countersunk and filled flush with finished surface.
- e) Install standing and running trim with minimum number of joints possible, using full-length pieces from maximum length of lumber available. Cope at returns, miter at comers to produce tight fitting joints. Use scarf joints for end to end joints.

DIVISION 7 - WATERPROOFING AND INSULATION

1. Space below wood decks:

2" gravel, set over heavy duty nylon or polyethylene weed proof mesh set over cut and compacted soil (remove all topsoil).

2. Roof Construction:

Asphalt shingles certified appropriate for low slope application, roofing cement at the free tabs, set over 1 layer of Grace Ice and Water Shield, set on 1/2" plywood sheathing, set on 2x8 rough framing at 16" on center, vented construction.

SPECIFICATION

DIVISION 8 - DOORS AND WINDOWS

1. New entry door to be clear finish solid mahogany wood stile and rail door, with guaranteed double glazed glass panel. Construction to meet AWI Custom Woodwork Standards.

DIVISION 9 - FINISHES

1. All paint and primer to be manufactured by Benjamin Moore. Paint to be applied per manufacturers' specification.
2. Painting - Interior:
 - a) Interior walls and ceilings to be repaired and painted by the owner.
 - b) Interior woodwork and trim including windows and doors to receive one coat alkyd primer. Finish painting to be provided by the owner.
6. Painting - Exterior:
 - a) Exterior trim to receive 1 coat of primer and 2 coats alkyd high gloss finish paint.
 - b) Exterior exposed wood walls to receive 1 coat of primer and 2 coats of alkyd semi-gloss finish.
 - c) Contractor is responsible to paint only the porch, newly installed work, and the exposed wood at the crenelated tower. Trim to be painted white, field color to be custom, selected by the Owner.
 - d) Porch floor to receive one coat of Cabots, oil based stain/sealer.

DIVISION 16 - ELECTRICAL

1. Assist owner in finding concealed wire pathways to extend existing overhead light circuit. Wiring and installation of a new GFI outlet, a second overhead light, and a two spot lights to be provided by the Owner.

STRUCTURAL NOTES

1. All structural lumber shall have the following minimum properties:
 - Bending stress "Fb" - 1250 psi for single member use.
 - Bending stress "Fb" - 1450 psi for repetitive member use.
 - Horizontal shear "fv" - 95 psi.

SPECIFICATION

- Compression perpendicular to grain "Fc1" - 385 psi.
- Compression parallel to grain "Fc1" - 1050 psi.
- Modulus of elasticity - "E" - 1,700,000 psi.

Timber construction shall be in accordance with the national design specifications for wood construction. Latest edition, published by the National Forest Products Assoc.

2. Soil bearing value at the bottom of all footings is assumed to be 1500 psi.
3. All concrete to have a minimum compressive strength - 3000 psi in 28 days.
4. All reinforcing steel to be new billet ASTM-A-615-78-Grade 60. Placing plans and shop fabrication details shall be in accordance with the "Manual of Standard Practice for Detailing Reinforced Concrete Structures". All reinforcing steel to be covered by more than 1 inch of concrete.
5. Footings shall bear on original undisturbed earth. Bottom of all exterior footings shall be a minimum of 30 inches (2.5 feet) below finished exterior grade.
6. Provide solid bridging between floor, roof and ceiling joists at maximum 8'-0" o.c., and minimum 1 row.

END OF SPECIFICATION

POSTS

Colonial - Prices include packaging and handling.

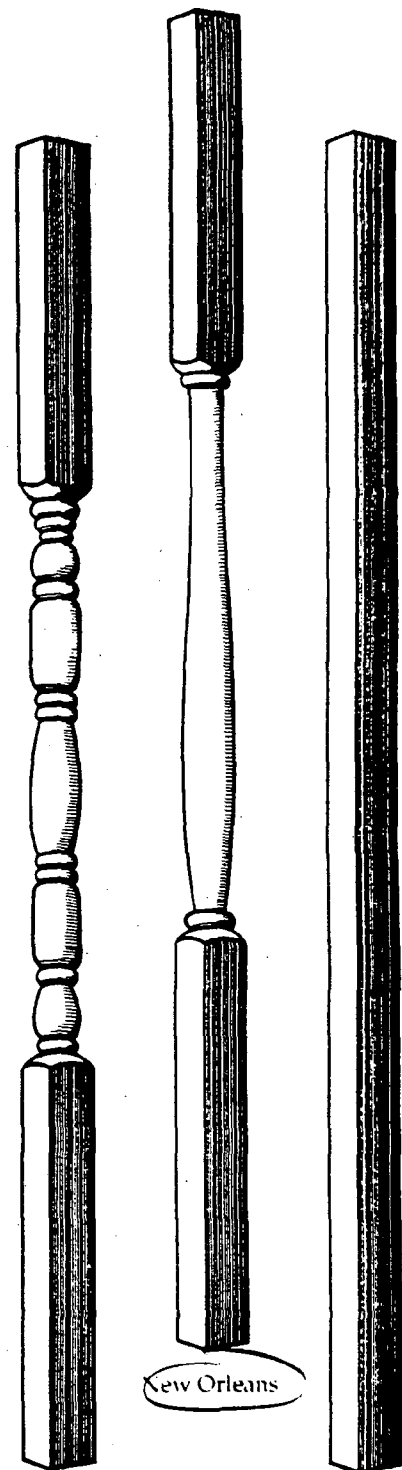
Size	Base Height	Weight Lbs.	Price Each	Optional Aluminum Plinth
4" x 8'	30"	15	\$ 51	3/4"
4" x 8'	42"	15	51	3/4"
5" x 8'	30"	23	80	4/4"
5" x 8'	42"	23	80	4/4"
6" x 8'	30"	25	104	5/4"
6" x 8'	42"	25	104	5/4"
4" x 9'	42"	19	69	3/4"
5" x 9'	42"	29	108	4/4"
6" x 9'	42"	31	141	5/4"
5" x 10'	48"	33	134	5/4"
6" x 10'	48"	35	171	5/4"

New Orleans - Prices include packaging and handling.

Size	Base Height	Weight Lbs.	Price Each	Optional Aluminum Plinth
4" x 8'	30"	15	\$ 51	3/4"
4" x 8'	42"	15	51	3/4"
5" x 8'	30"	23	80	4/4"
5" x 8'	42"	23	80	4/4"
6" x 8'	30"	25	104	5/4"
6" x 8'	42"	25	104	5/4"
4" x 9'	42"	19	69	3/4"
5" x 9'	42"	29	108	4/4"
6" x 9'	42"	31	141	5/4"
5" x 10'	48"	33	134	4/4"
6" x 10'	48"	35	171	5/4"

Contemporary - Prices include packaging and handling.

Size	Weight Lbs.	Price Each	Optional Aluminum Plinth
4" x 8'	20	\$ 49	3/4"
5" x 8'	30	76	4/4"
6" x 8'	35	99	5/4"
4" x 9'	21	66	3/4"
5" x 9'	31	102	4/4"
6" x 9'	33	134	5/4"
5" x 10'	35	127	4/4"
6" x 10'	37	162	5/4"



Colonial

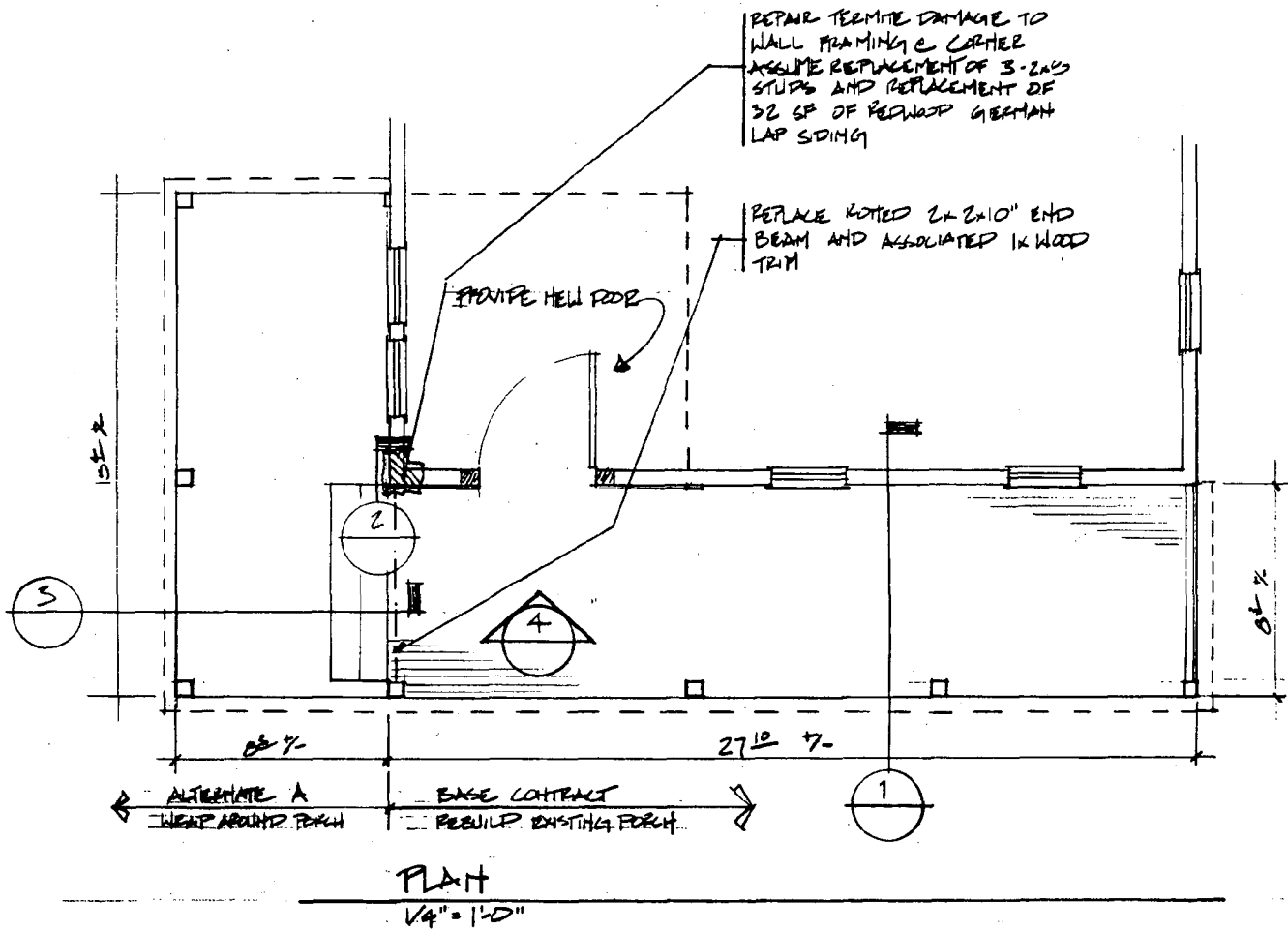
Contemporary

Western softwood posts are laminated under pressure using Type I waterproof glue and are treated with a wood preservative.

Our wooden posts are available 8, 9 and 10 feet with turned area of 40 inches. The turned area is placed 30 or 42 inches from the bottom on 8 foot posts, 42 inches from the bottom on 9 foot posts and 48 inches from the bottom on 10 foot posts. Custom placement can be provided.

1.800.COLUMNS
1.800.265.8667

17



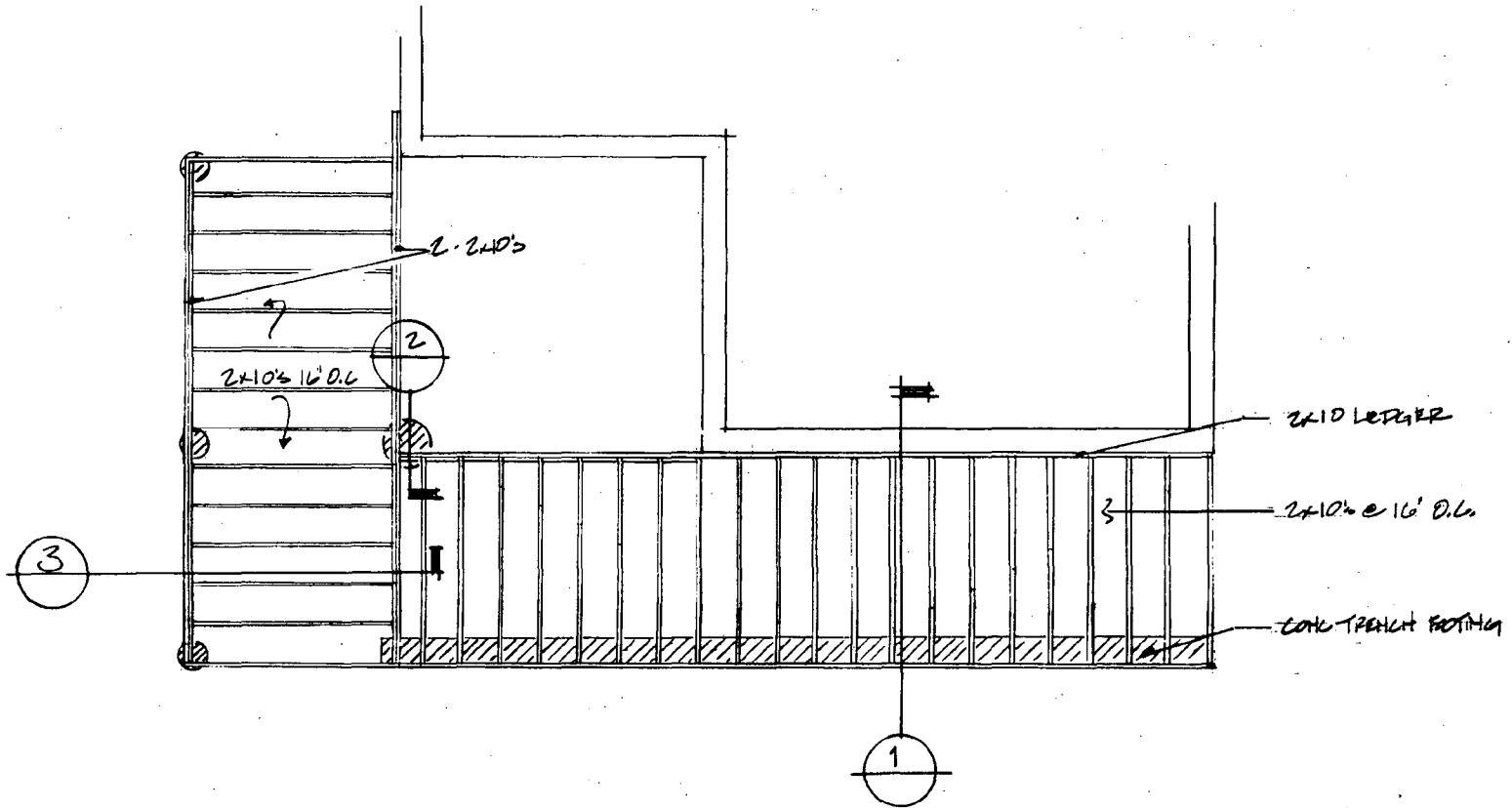
LUKER RESIDENCE:
Front Porch Repair
Takoma Park, MD

Sheet 1 of 2

Prepared by:

Jeffrey Luker : Architect
7307 Takoma Ave
Takoma Park, MD 20912
(301) 565-3958

18



FRAMING PLAN
 1/4" = 1'-0"

LUKER RESIDENCE:
 Front Porch Repair

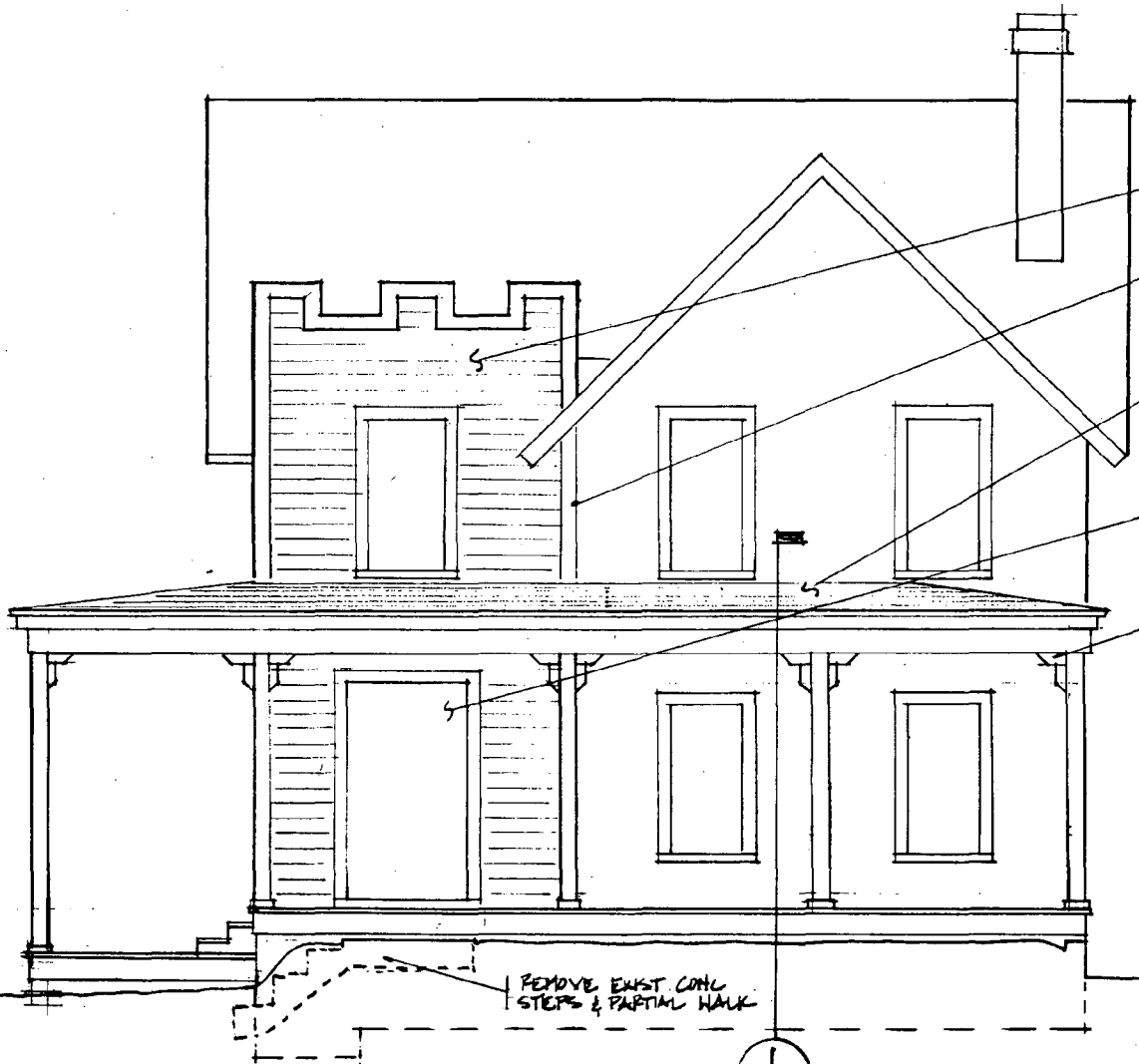
Takoma Park, MD

Sheet 2 of 8

Prepared by:

Jeffrey Luker : Architect
 7307 Takoma Ave
 Takoma Park, MD 20912
 (301) 565-3958

19



- REMOVE EXISTING CEMENT SHINGLES TO EXPOSE REDWOOD SIDING
- PROVIDE NEW REDWOOD TRIM & JOINT BETWEEN EXPOSED SIDING & CEMENT SHINGLES
- REPAIR & REUSE EXISTING ROOF FRAMING. PROVIDE NEW SHEATHING & ASPHALT SHINGLE ROOF. REPLACE FLASHING COMPLETE
- REMOVE EXISTING FRONT DOOR & SIDELITE. PROVIDE NEW 36 x 76 FRONT DOOR COMPLETE WITH NEW TRIM INT & EXT.
- PROVIDE NEW ORNAMENTAL TRIM & COLUMN TOP - TYPICAL & ALL COLUMNS

LUKER RESIDENCE:
Front Porch Repair

Takoma Park, MD

Sheet 3 of 8

Prepared by:

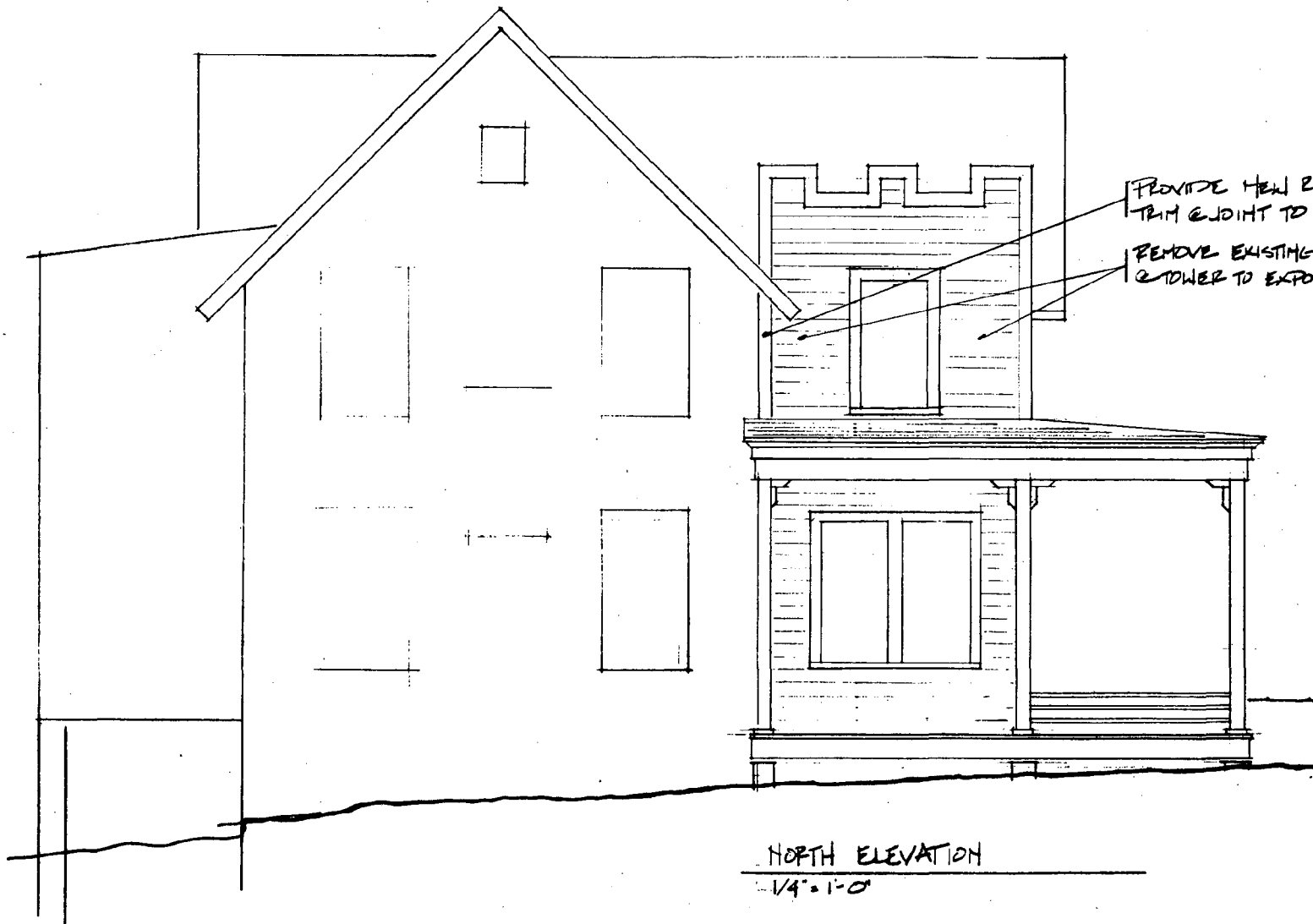
Jeffrey Luker : Architect
7307 Takoma Ave
Takoma Park, MD 20912
(301) 565-3958

← ALTERNATE A
WRAP AROUND PORCH

BASE CONTRACT
REBUILD EXISTING PORCH →

WEST ELEVATION
1/4" = 1'-0"

20



PROVIDE NEW REDWOOD
TRIM & JOINT TO CEMENT SHINGLES
REMOVE EXISTING CEMENT SHINGLES
& TOWER TO EXPOSE REDWOOD SINGLES

LUKER RESIDENCE:
Front Porch Repair

Takoma Park, MD

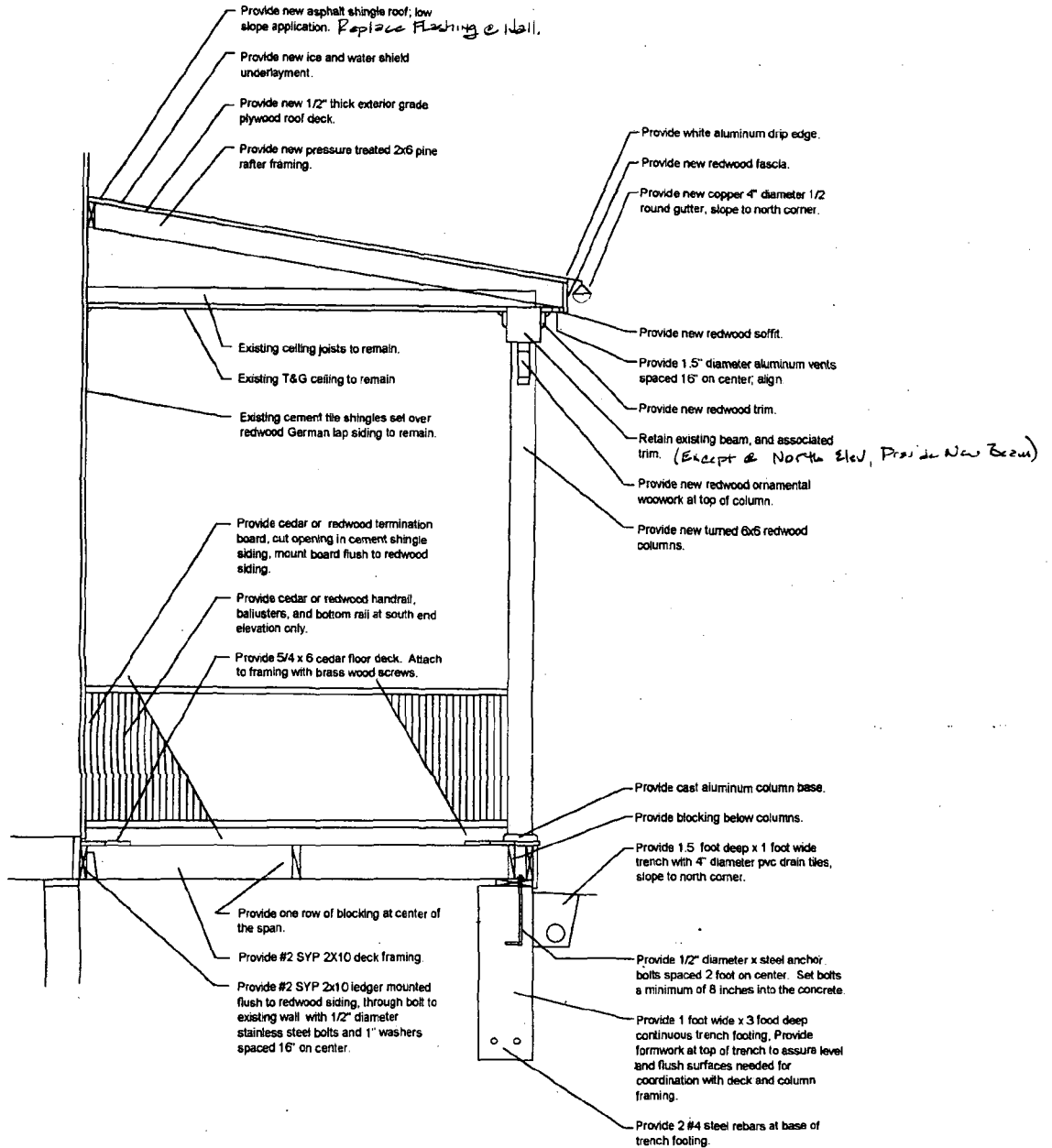
Sheet 4 of 8

Prepared by:

Jeffrey Luker : Architect
7307 Takoma Ave
Takoma Park, MD 20912
(301) 585-3958

NORTH ELEVATION
1/4" = 1'-0"

21



① SECTION @ FRONT PORCH
SCALE: 1/2" = 1'-0"

LUKER RESIDENCE:
Front Porch Repair

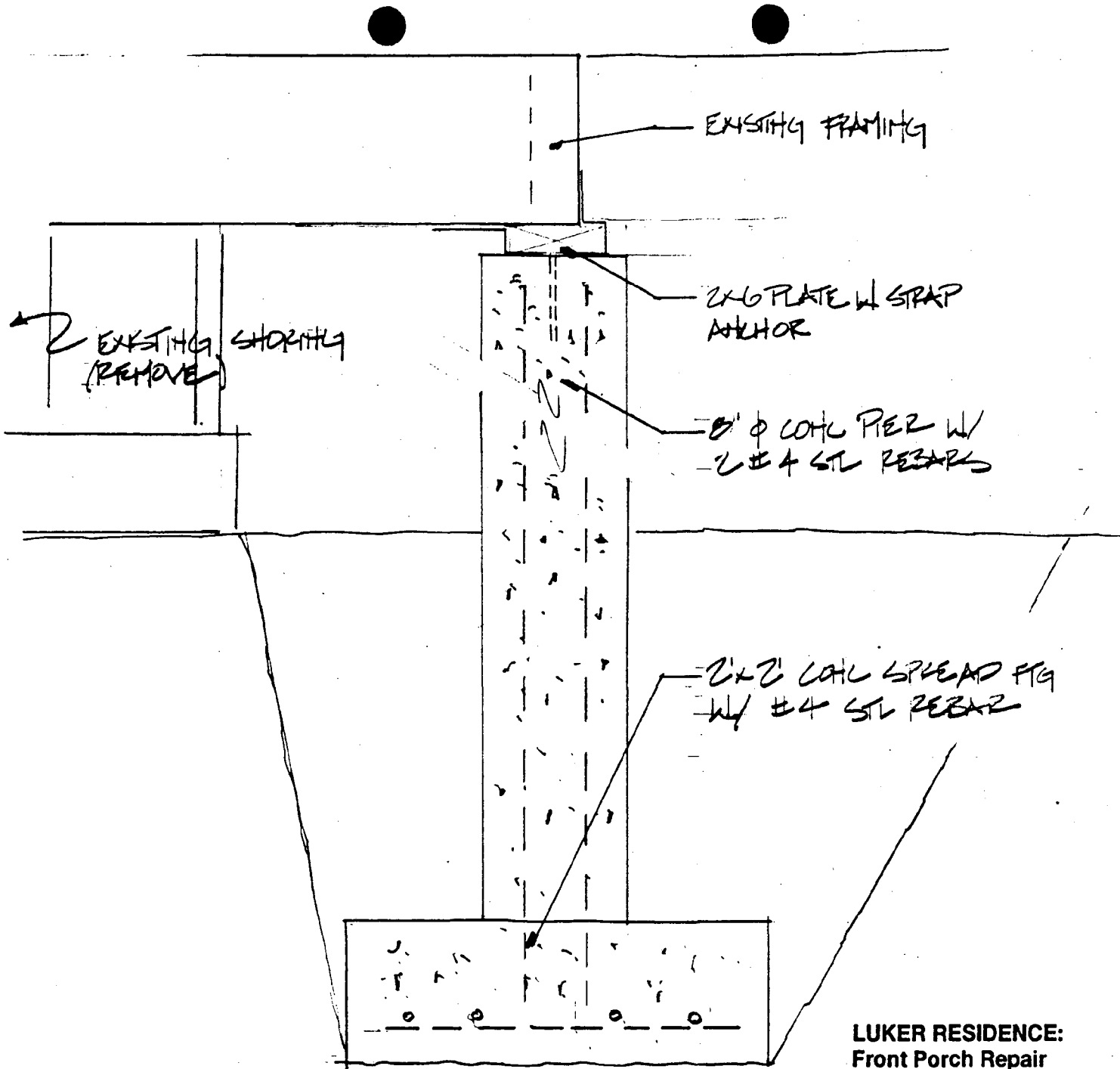
Takoma Park, MD

Sheet 5 of 8

Prepared by:

Jeffrey Luker : Architect
7307 Takoma Ave
Takoma Park, MD 20912
(301) 565-3958

22



**LUKER RESIDENCE:
Front Porch Repair**

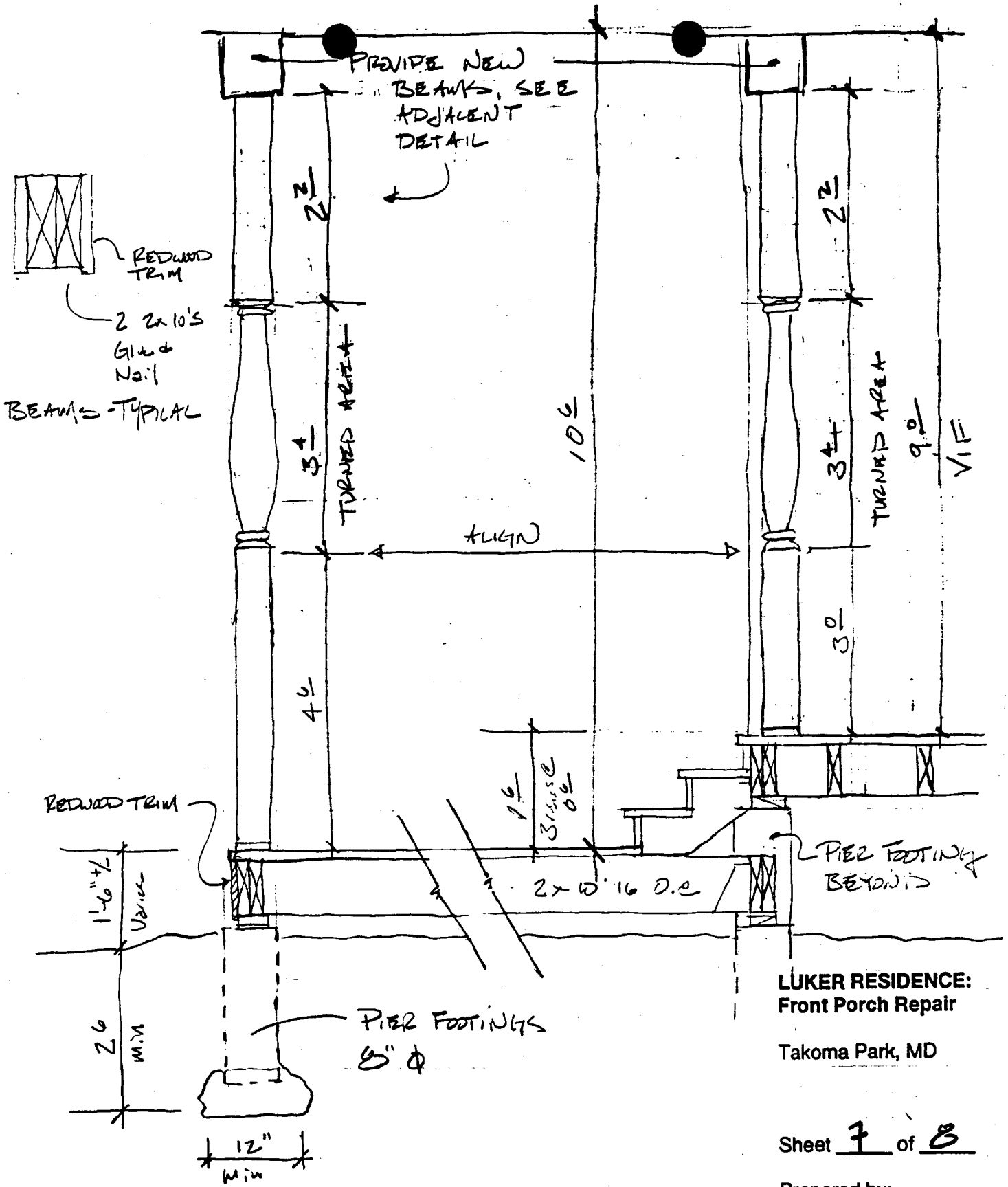
Takoma Park, MD

2 DETAIL @ PIER FOOTING
1/2" = 1'-0"

Sheet 6 of 8

Prepared by:

Jeffrey Luker : Architect
7307 Takoma Ave
Takoma Park, MD 20912
(301) 565-3958



3 SECTION C ALTERNATE A WRAP AROUND PORCH
 1/2" = 1'-0"

LUKER RESIDENCE:
 Front Porch Repair

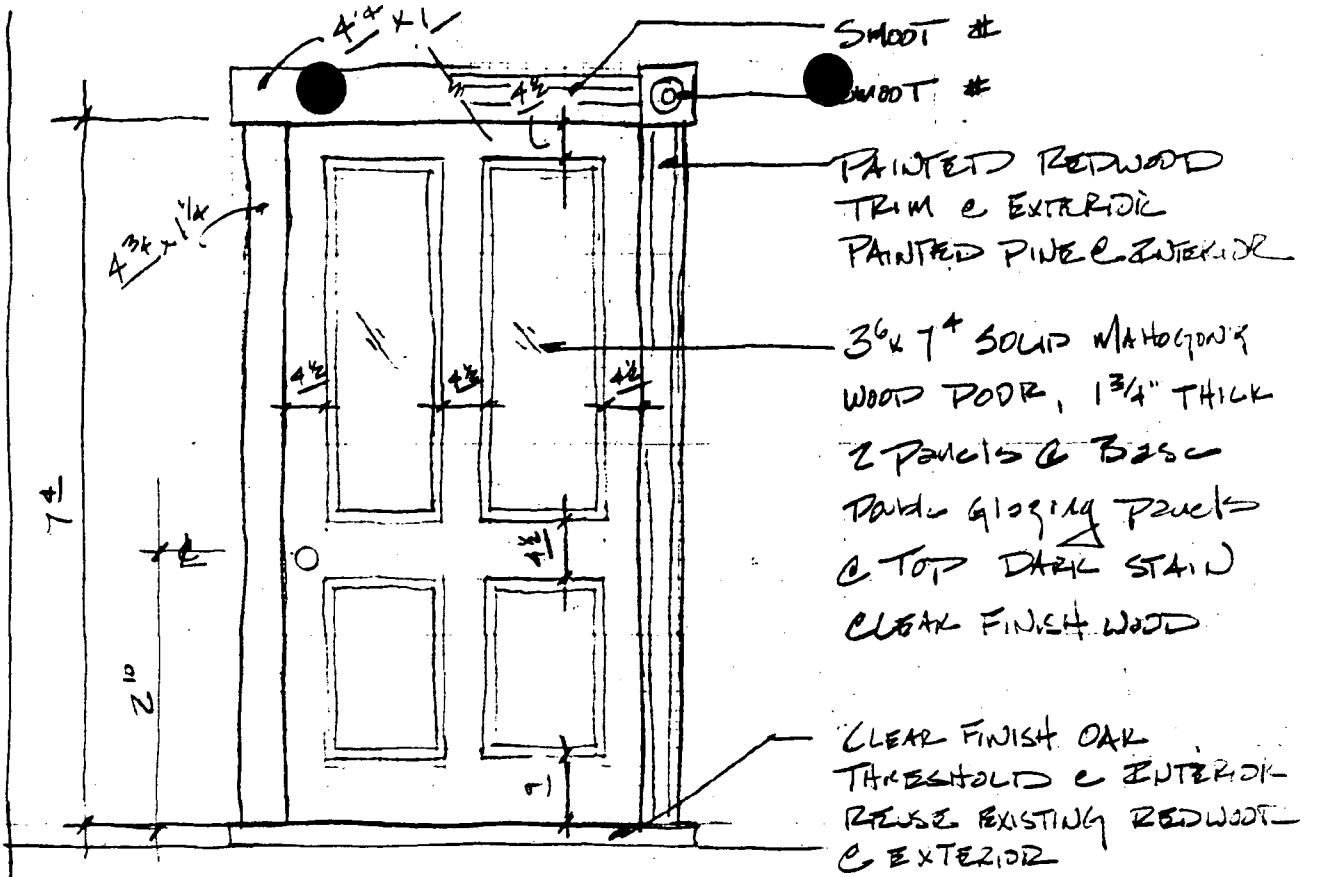
Takoma Park, MD

Sheet 7 of 8

Prepared by:

Jeffrey Luker : Architect
 7307 Takoma Ave
 Takoma Park, MD 20912
 (301) 565-3958

24



EXTERIOR ELEVATION

SMOOT #
SMOOT #

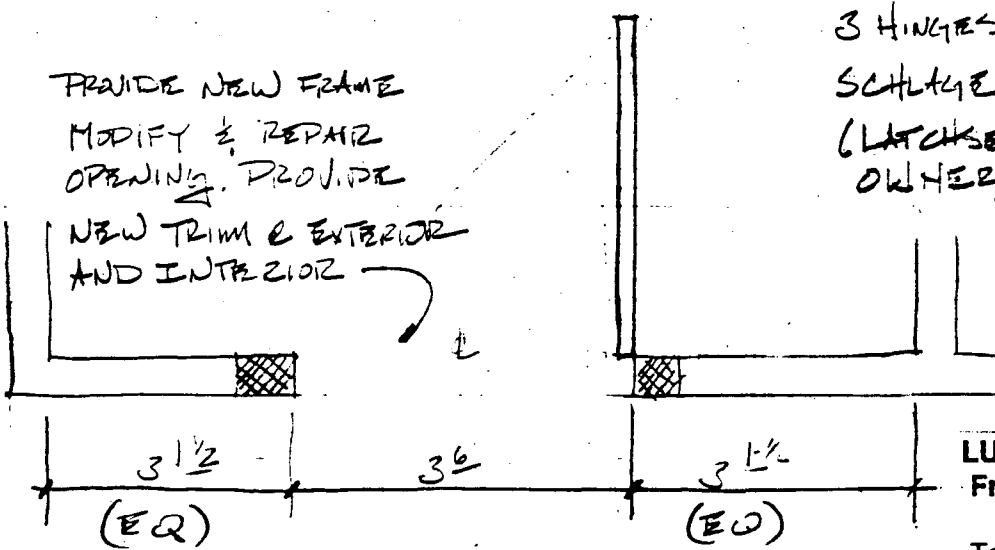
PAINTED REDWOOD TRIM & EXTERIOR
PAINTED PINE & INTERIOR

3 1/2" x 7" SOLID MAHOGANY WOOD DOOR, 1 3/4" THICK
2 PANELS & BASIC PANELED GLAZING PANES & TOP DARK STAIN
CLEAR FINISH WOOD

CLEAR FINISH OAK THRESHOLD & INTERIOR
REUSE EXISTING REDWOOD & EXTERIOR

HARDWARE:

3 HINGES 4 1/2" x 4 1/2" SOLID BRASS
SCHLAGE LATCHSET -
(LATCHSET PROVIDED BY OWNER)



PLAN

PROVIDE NEW FRAME
MODIFY & REPAIR
OPENING. PROVIDE
NEW TRIM & EXTERIOR
AND INTERIOR

LUKER RESIDENCE:
Front Porch Repair

Takoma Park, MD

Sheet 8 of 8

Prepared by:

Jeffrey Luker : Architect
7307 Takoma Ave
Takoma Park, MD 20912
(301) 565-3958

4 PLAN & ELEVATION @ FRONT DOOR
1/2" = 1'-0"