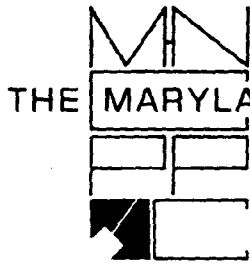


37/3-97A 7111 Sycamore Avenue
(Takoma Park Historic District)

P



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 6-25-97

MEMORANDUM

TO: Robert Hubbard, Acting Director
Department of Permitting Services

FROM: Gwen Wright, Historic Preservation Coordinator
Montgomery County Department of Park and Planning

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied
 Approved with Conditions: _____

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Anne Mahr & Peter Franchot
Address: 7111 Sycamore Ave Takoma Park

THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING THE DEPARTMENT OF PERMITTING SERVICES AT 217-6240 FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7111 Sycamore Avenue
Resource: Takoma Park Historic District
Case Number: 37/3-97A (REVISION)
Public Notice: 06/11/97
Applicant: Anne Mahr & Peter Franchot
(Rich Markus for Travis Price Architects)
PROPOSAL: Demolish existing rear enclosed porch, frame addition.
Construct two story rear addition, rear flagstone deck.

Meeting Date: 06/25/97
HAWP: Alteration
Tax Credit: No
Report Date: 06/18/97
Staff: Perry Kephart
RECOMMEND: Approve

DATE OF CONSTRUCTION: ca. 1880-1900

SIGNIFICANCE: Contributing Resource in Takoma Park Historic District.

ARCHITECTURAL DESCRIPTION

Two story Greek Revival 3 bay frame house with a 1 bay two-story side gabled block on the right side and with an enclosed rear porch and a one-story frame addition at the rear. House has metal lap siding and wood frame 2/2 windows. There is a one story hipped roof porch across the front facade.

BACKGROUND

An application to demolish the rear porch and frame addition and construct a new two-story rear addition was approved on January 8, 1997 with the following conditions (that differ slightly from those on the staff report):

1. All new windows and doors shall be made of wood with applied muntins with shadow bars in between glass panels.
2. All new trim shall be painted wood, with dimensions and profiles to match the existing house.
3. New wood railings shall be painted and have a top and bottom rail with inset pickets. Spacing of the balusters shall match spacing of balusters on the existing porch rail.
4. All tree and shrub specimens immediate to the area of new construction shall have temporary fencing installed around the drip line during the construction period. The fencing shall be maintained throughout construction.
5. All skylights shall be flat with low curb.
6. Applicants shall donate historic fabric, including windows and doors to Old House Parts for reuse in other Montgomery County historic properties.
7. Plans submitted to DPS for approval shall be processed by HPC staff and stamped for HAWP approval.

①

PROPOSAL

For budgetary reasons, the applicant proposes revising the approved Historic Area Work Permit to:

1. Modify the design of the right side of the rear addition from two-story to one story with a door placed immediately below the Gothic window in the rear gable leading to a railed deck.
2. Eliminate the second story deck roof and railing over the rear entrance.
3. Place a parapet railing around the flat roofed center section of the rear addition.
4. Place the ocular window approved for the right rear wall in the side wall of the reduced rear addition.

STAFF DISCUSSION

The simplification of the design of the rear addition is, in staff's opinion, an improvement on the original design. The use of the parapet railing, as was noted in the previous staff report, continues to be overly decorative for a house with the classical, clean design of this historic resource, but staff would concur with its use to soften the abrupt look of the flat roof on the middle section of the rear addition.

STAFF RECOMMENDATION

Staff recommends that the Commission approve the Historic Area Work Permit as being consistent with Chapter 24A-8(b)2:

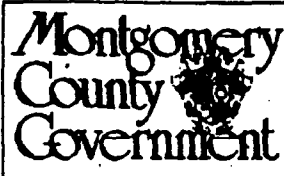
The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

495-1307



RETURN TO: Department of Environmental Protection
Division of Development Services and Regulation
250 Hungerford Drive, Rockville, Maryland 20850
(301) 217-8370

Historic Preservation Commission
(301) 495-4570

APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON RICH MARKUS
 DAYTIME TELEPHONE NO. (301) 270 9222
 TAX ACCOUNT # 008-40-4943
 NAME OF PROPERTY OWNER ANNE MAHR, PETER FRANCHOT DAYTIME TELEPHONE NO. (202) 326 2987
 ADDRESS 7111 SYCAMORE AVE TAKOMA PARK MD 20912
CITY STATE ZIP CODE
 CONTRACTOR NOT SELECTED TELEPHONE NO. ()
 CONTRACTOR REGISTRATION NUMBER _____
 AGENT FOR OWNER RICH MARKUS @ TRAVIS PRICE ARCHITECTS DAYTIME TELEPHONE NO. (301) 270 9222

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 7111 STREET SYCAMORE AVE
 TOWN/CITY TAKOMA PARK NEAREST CROSS STREET ETHAN ALLEN AVE
 LOT 10/11 BLOCK 22 SUBDIVISION B.F. GILBERT'S ADDITION TO TAKOMA PARK
 LIBER J.A.No3 FOLIO 479 PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____
 1B. CONSTRUCTION COST ESTIMATE \$ \$ 140,000
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Travis Price, Architect 12/10/16
 Signature of owner or authorized agent Date

APPROVED _____ For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO. 9612 FOUUC1 DATE FILED: _____ DATE ISSUED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

3

INTERIOR DESIGN | MASTER PLANNING | ARCHITECTURE | 7050 Carroll Avenue Takoma Park, MD 20912 | 301 270 9222 | FAX 301 270 4209

MEMORANDUM

DATE: 4 June 1997
 TO: Robin Ziek
 Historic Preservation Planner
 Department of Parks and Planning
 1109 Spring Street, 8th Floor
 Silver Spring, MD 20910
 301-495-4570
 301-495-1307 fax
 FROM: Rich Markus
 RE: **HAWP REVISION** to Franchot/Maher Residence, 7111 Sycamore Avenue,
 Takoma Park (HPC Case No. 37/3-97A, Takoma Park Historic District)
 CONTENTS: Cover letter & 2 copies of revised drawings

Robin;

Included are drawings of the proposed revision of the Franchot/Maher Residence on 7111 Sycamore Avenue in Takoma Park. The original scheme is on file as HPC Case No. 37/3-97A, and was approved at the HPC meeting of January 8, 1997. We are submitting this proposed revision by June 4 to get on the docket for the HPC meeting of Wednesday, June 25.

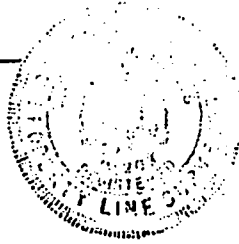
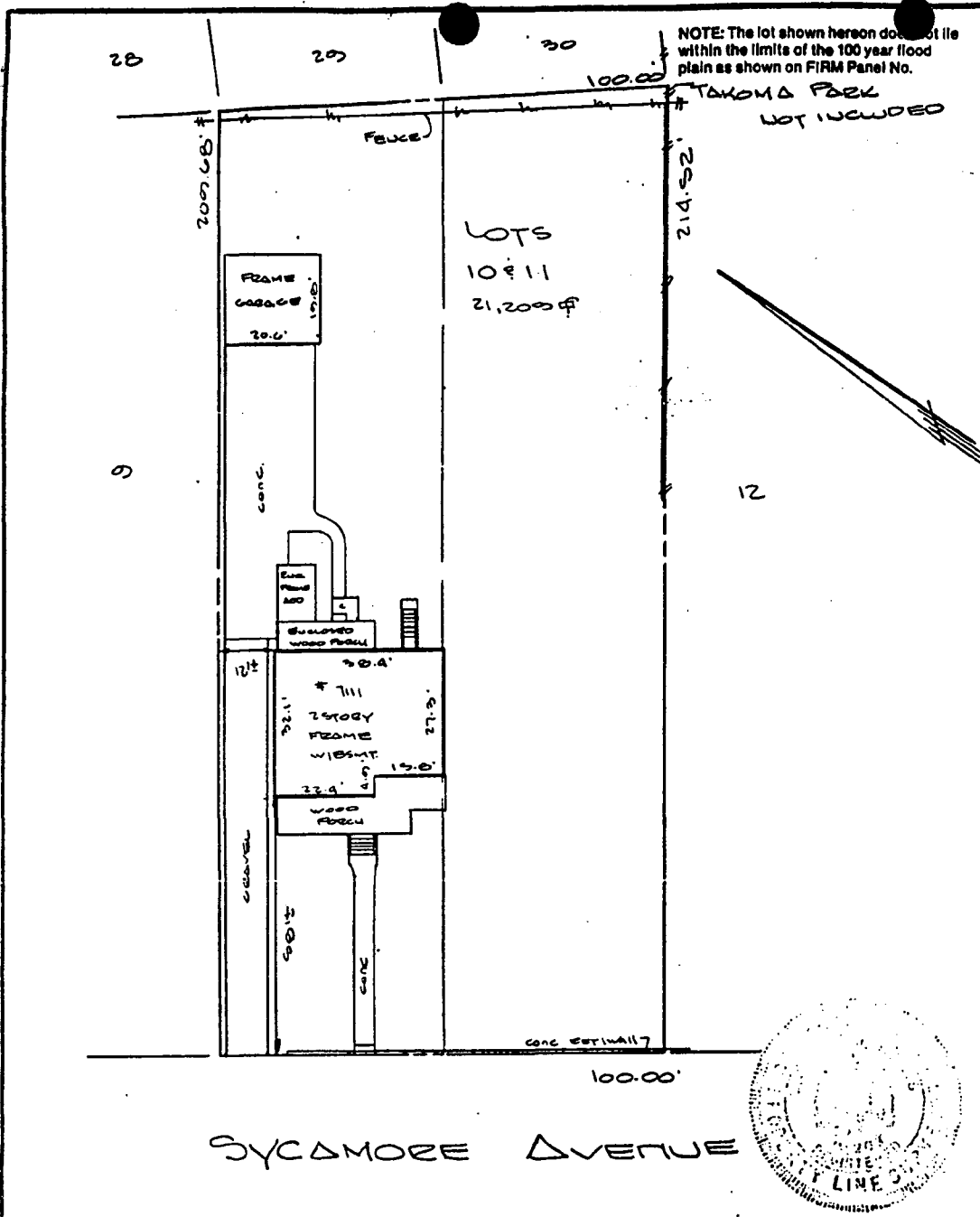
The revision includes changes that have come about because of budgetary concerns. We have removed approximately 80 square feet of the second floor addition and have also removed the roof which covered the small deck over the entry.

After struggling with various ideas on reducing the budget, we feel that this revision is a very good solution and retains a respectful spirit to the original house. It also helps to differentiate the new construction from the existing and break up the mass of the addition.

The included drawings document the changes proposed with this revision. The existing drawings and photographs are included in the original submission. Please call if you require any additional drawings.

Thank you and we look forward to seeing you at the June 25 meeting.





IMPROVEMENT LOCATION SURVEY SURVEYOR'S CERTIFICATE

LOTS 10 & 11 BLOCK 22
B.F. GILBERTS ADDITION TO
TAKOMA PARK
BEING PART OF CARROLL FARM
MONTGOMERY COUNTY, MD.

I hereby certify that the position of all existing improvements on the above described property has been carefully established by a transit-tape survey; and that, unless otherwise shown, there are no encroachments. Unless otherwise shown, corners have not been set with this survey. This survey is not to be used to determine property lines.

Michael J. Bazis
Michael J. Bazis PLS#283

THIS SURVEY IS FOR TITLE PURPOSES ONLY

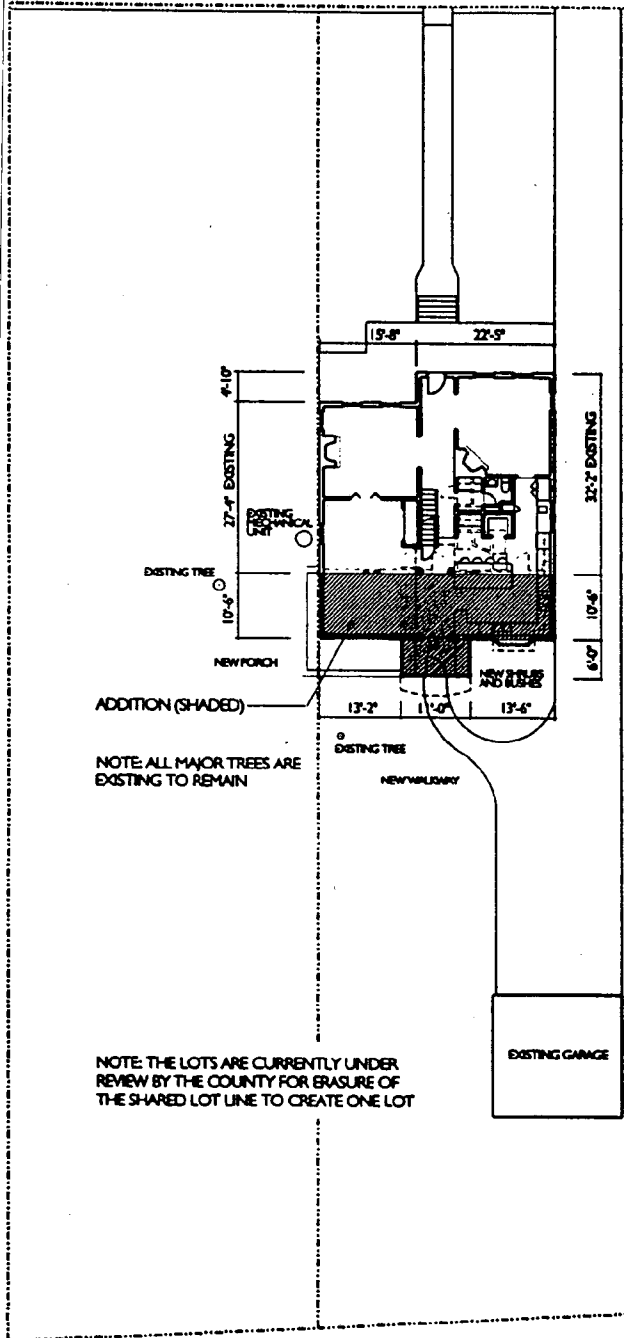
JOB # 90.24994	DATE 8.31.90
FIELD J.B.B	DRAFT K.G.H.D
RECEIVED 10-16-92	P.B. Δ P# 2
	SCALE: 1" = 30'

R.C. KELLY & ASSOCIATES, INC.
LAND SURVEYORS
10111 COLESVILLE ROAD
SUITE 123
SILVER SPRING, MD 20901
583-8005

ORIGINAL
PLAT

SHOWING EXISTING
ONLY (5)

SYCAMORE AVENUE



NOTE: ALL MAJOR TREES ARE EXISTING TO REMAIN

NOTE: THE LOTS ARE CURRENTLY UNDER REVIEW BY THE COUNTY FOR ERASURE OF THE SHARED LOT LINE TO CREATE ONE LOT

EXISTING GARAGE

6

AI
DRAWING NUMBER

11 DEC 94
1 30' = 1"

REVISIONS

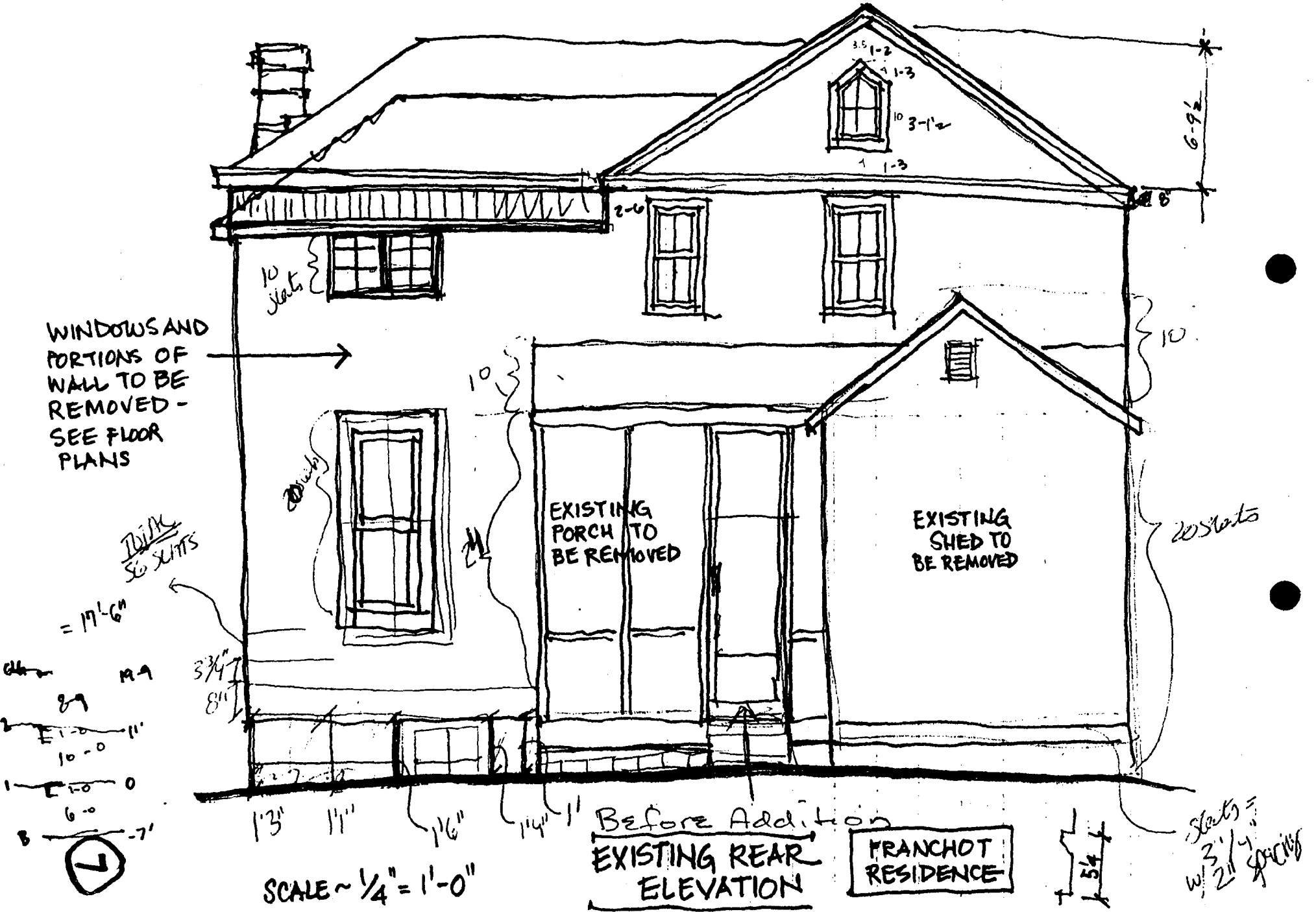
SITE PLAN

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

TROVIS PRICE architects
7000 Carroll Avenue Takoma Park, Maryland 20912 | 304-270-9222 | fax 304-270-0209

BACK ELEVATION

FRANCHOT
10/3/96



WINDOWS AND PORTIONS OF WALL TO BE REMOVED - SEE FLOOR PLANS

Dormer
SEE SLATS

= 17'-6"

89

10'-0"

6'-0"

7

SCALE ~ 1/4" = 1'-0"

Before Addition
EXISTING REAR ELEVATION

FRANCHOT RESIDENCE

7'-4 1/2"

slats = w/ 3 1/4" spacing

10 slats

EXISTING PORCH TO BE REMOVED

EXISTING SHED TO BE REMOVED

20 slats

6-9 1/2

10

13' 11"

16"

14' 11"

3-5 1-2

1-3

10 3-1/2

1-3

2-6

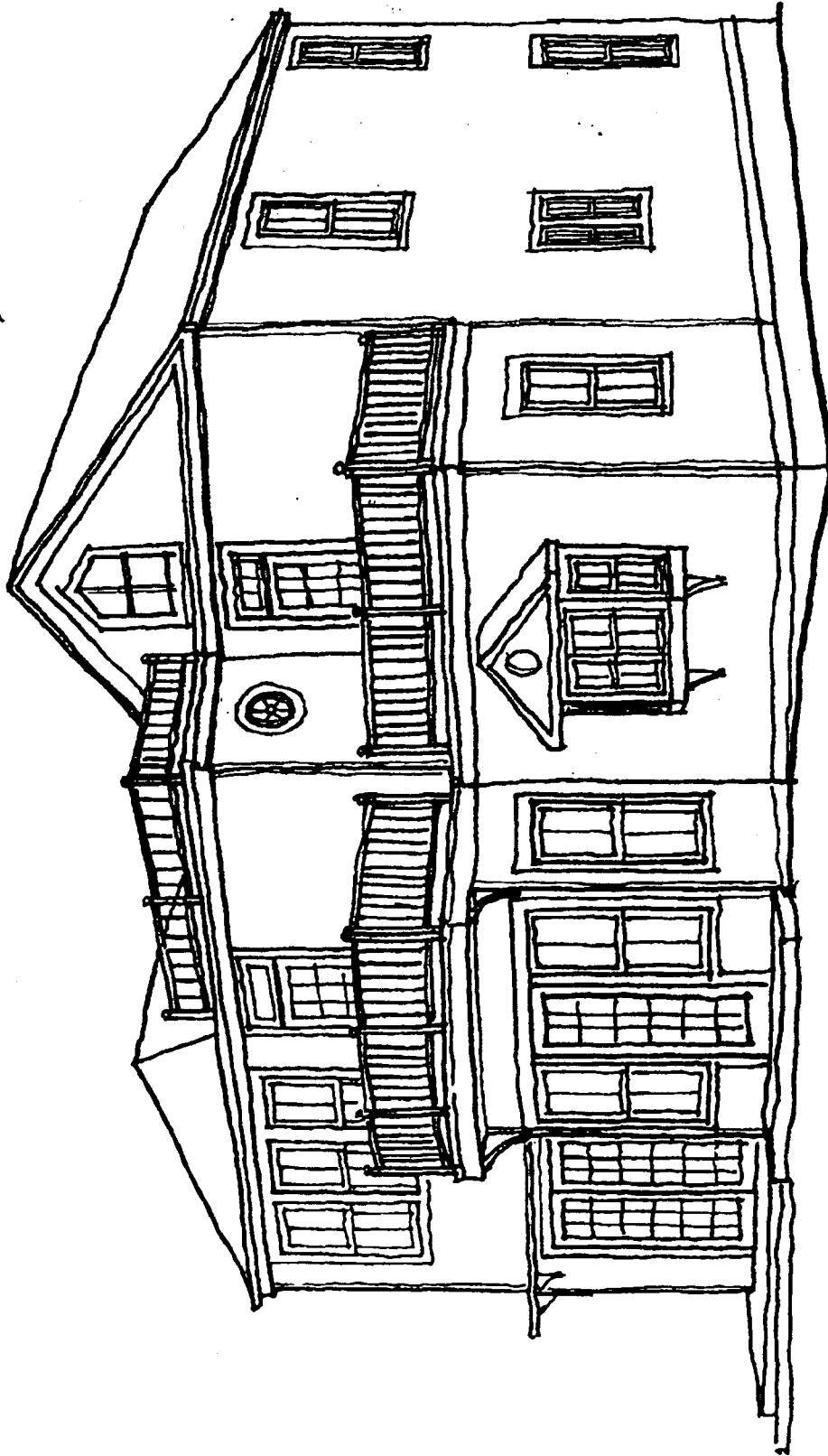
10



FRANCHOT RESIDENCE 1-8-97

Rear Elevation Proposal
As Approved 1-8-97





FRANCHOT REVISION
5-15-97

*Rear Elevation
 Proposed
 Revision*

151 UHT 19-00-0001



EXISTING HOUSE BEYOND

NEW SIDING TO MATCH
EXISTING IN COLOR
AND STYLE TYPICAL

NEW WINDOWS AND TRIM
TO MATCH EXISTING IN
COLOR AND STYLE TYP.

10

TROVIS PRICE architects
1020 Capital Avenue, Takoma Park, Maryland 20913 | 301-270-7222 | fax: 301-270-0209

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

1-28-97
REAR ELEVATION



1/8" = 1'-0"

11 DEC 96

A5

11



TRAVIS PRICE ARCHITECTS
 1800 Canal Avenue, Takoma Park, Maryland 20911 | Tel: 301-271-0222 | Fax: 301-271-0228

FRANCHOT RESIDENCE
 7111 STAMFORD AVE
 TAKOMA PARK, MD

Proposed Revision
 6-25-97
 REAR ELEVATION



3/16" = 1'-0"

2 JUN 97

A15

12

TRAVIS PRICE ARCHITECTS
709 Canal Avenue, Takoma Park, Maryland 20912 (301) 270-0222 Fax: 301-270-0209

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

1-2-97
RIGHT SIDE ELEVATION



1/8" = 1'-0"

11 DEC 96

A6



EXISTING HOUSE BEYOND

NEW SLOPED ROOF WITH SHINGLES TO MATCH EXISTING IN COLOR AND TYPE

NEW HANDRAIL AND PARAPET RAIL TO MATCH EXISTING IN COLOR AND STYLE TYPICAL

NEW WINDOWS AND TRIM TO MATCH EXISTING IN COLOR AND STYLE TYP.

NEW SIDING TO MATCH EXISTING IN COLOR AND STYLE TYPICAL

EXISTING BASEMENT

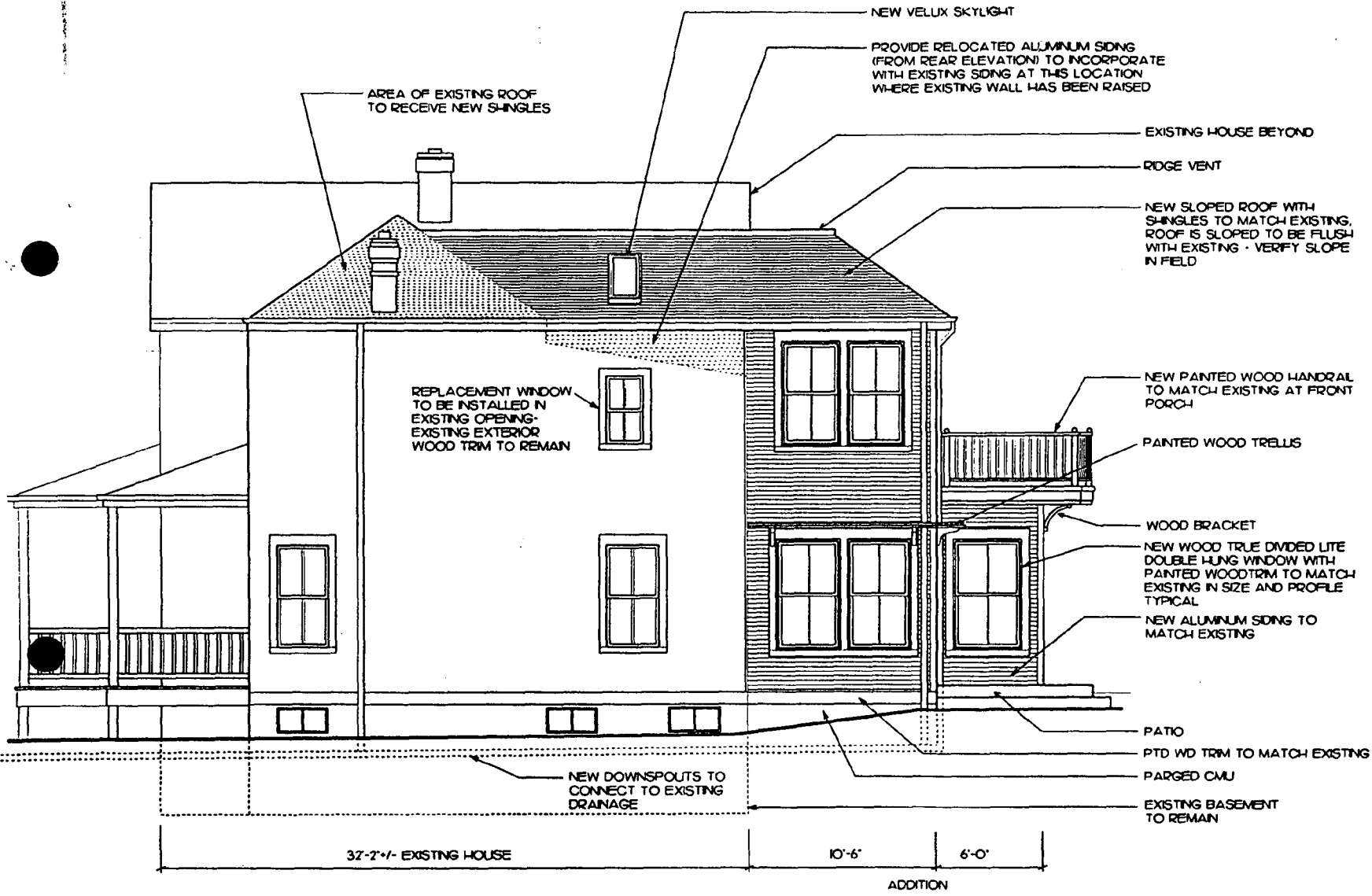
32'-2" +/- EXISTING HOUSE

10'-6"

6'-0"

ADDITION

13



TRAVIS PRICE Architects
7000 Central Avenue, Takoma Park, Maryland 20912 | 301-270-7222 | fax 301-270-4249

FRANCHOT RESIDENCE
7111 STYCAMORE AVE
TAKOMA PARK, MD

Proposed (Revision)
6.25.97
RIGHT SIDE ELEVATION



3/16" = 1'-0"

2 JUN 97

A14

14

TROVIS PRICE architects
7030 Grand Avenue, Takoma Park, Maryland 20912, (301) 270-4222 Fax: (301) 270-0209

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

1-28-97
LEFT SIDE ELEVATION



1/8" = 1'-0"

11 DEC 96

A4

Drawings by T.P.

EXISTING HOUSE BEYOND

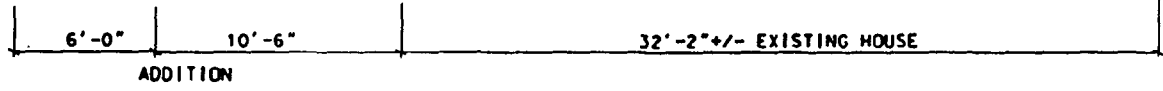
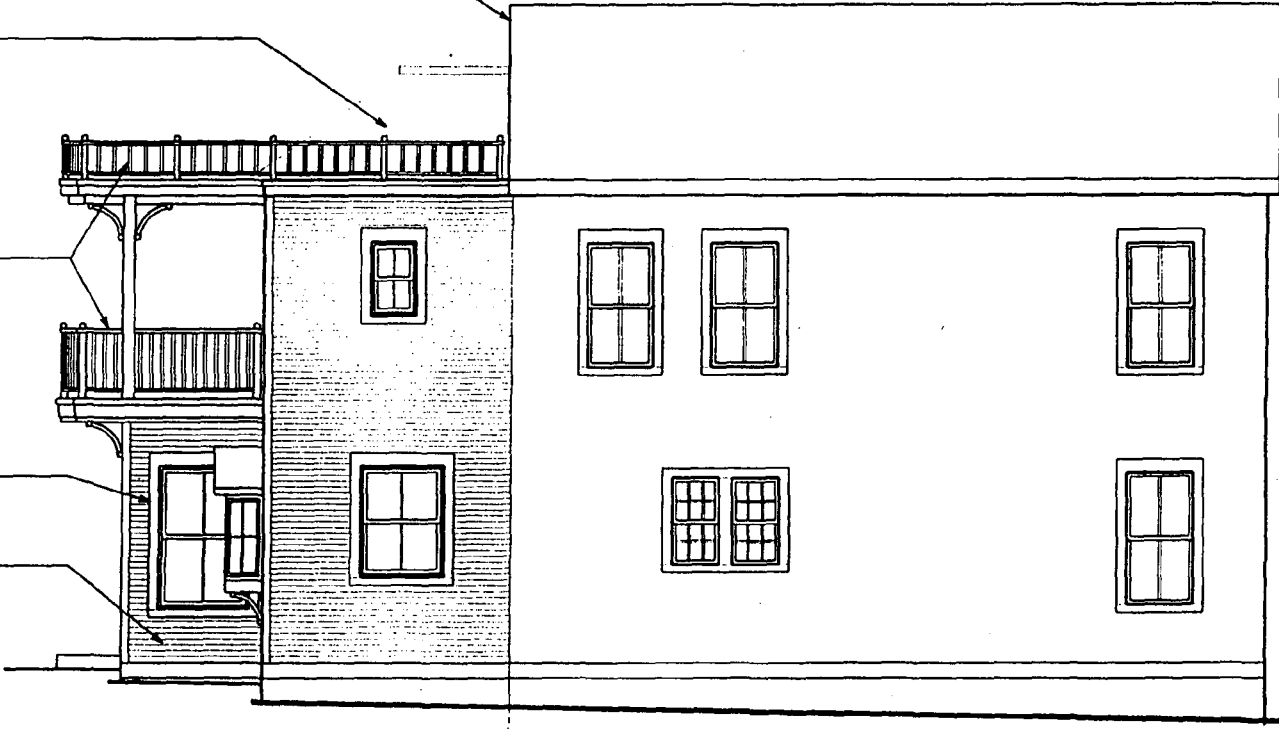
NEW SLOPED ROOF WITH SHINGLES TO MATCH EXISTING IN COLOR AND TYPE

NEW HANDRAIL AND PARAPET RAIL TO MATCH EXISTING IN COLOR AND STYLE TYPICAL

NEW WINDOWS AND TRIM TO MATCH EXISTING IN COLOR AND STYLE TYP.

NEW SIDING TO MATCH EXISTING IN COLOR AND STYLE TYPICAL

EXISTING BASEMENT



ADDITION

32'-2" +/- EXISTING HOUSE

15

TRAVIS PRICE Architects
1800 Grand Avenue • Takoma Park, Maryland 20912 • (301) 251-0222 Fax: (301) 251-0299

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

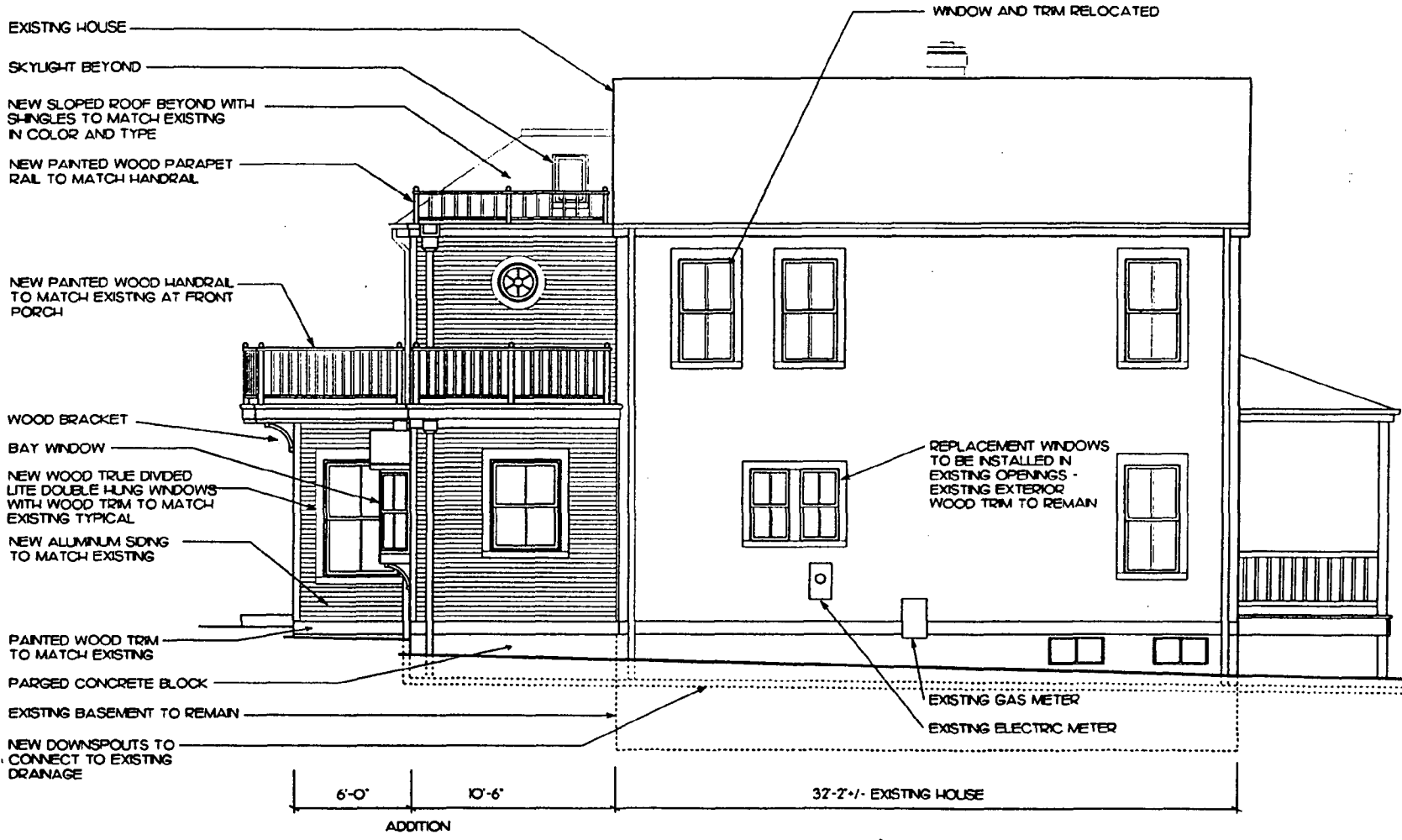
Proposed Revision
6-25-97
LEFT SIDE ELEVATION

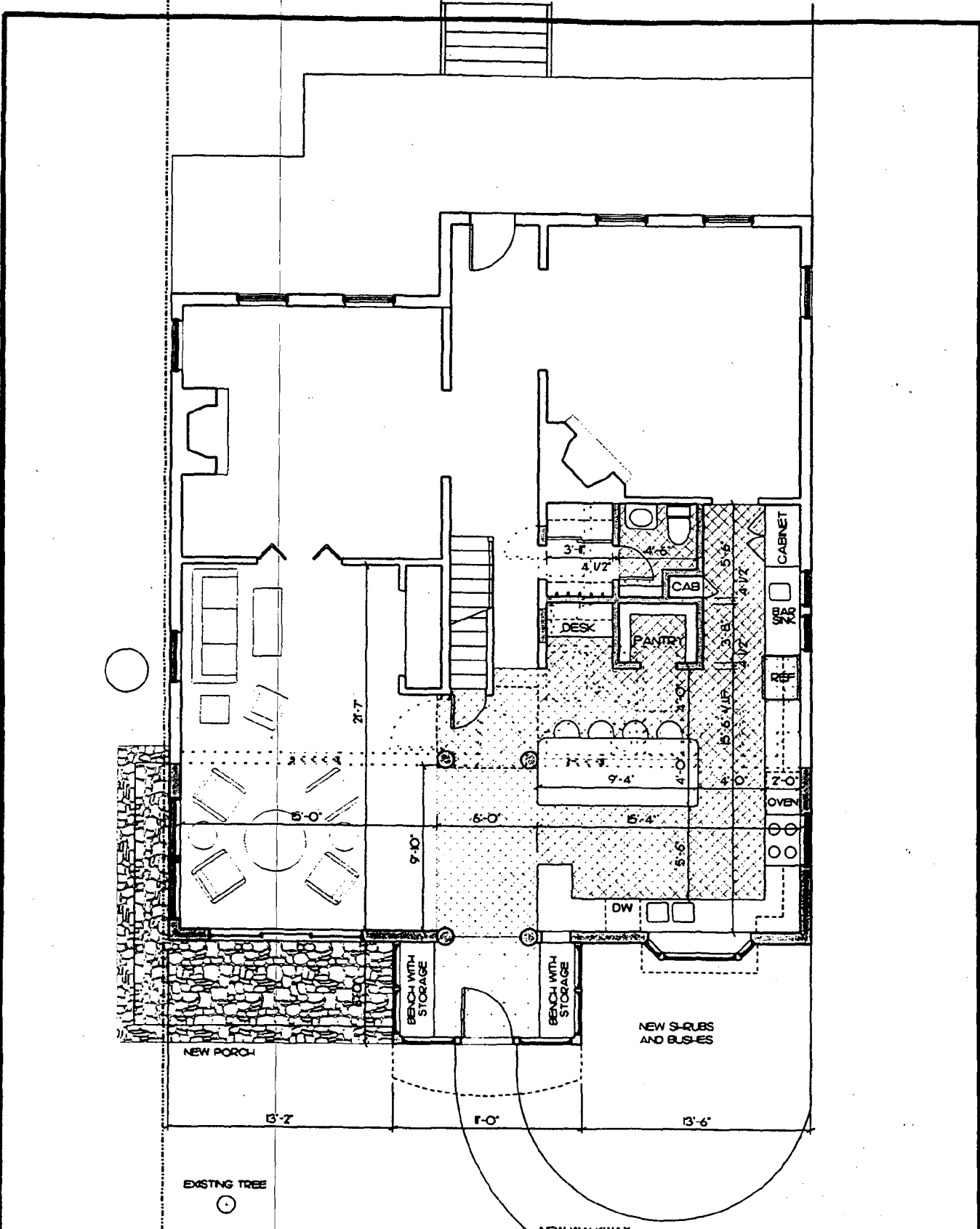


3/16" = 1'-0"

2 JUN 97

A16





NOTE: DOTTED WALLS ARE EXISTING TO REMAIN, HATCHED WALLS ARE NEW

16

A2
DRAWING NUMBER

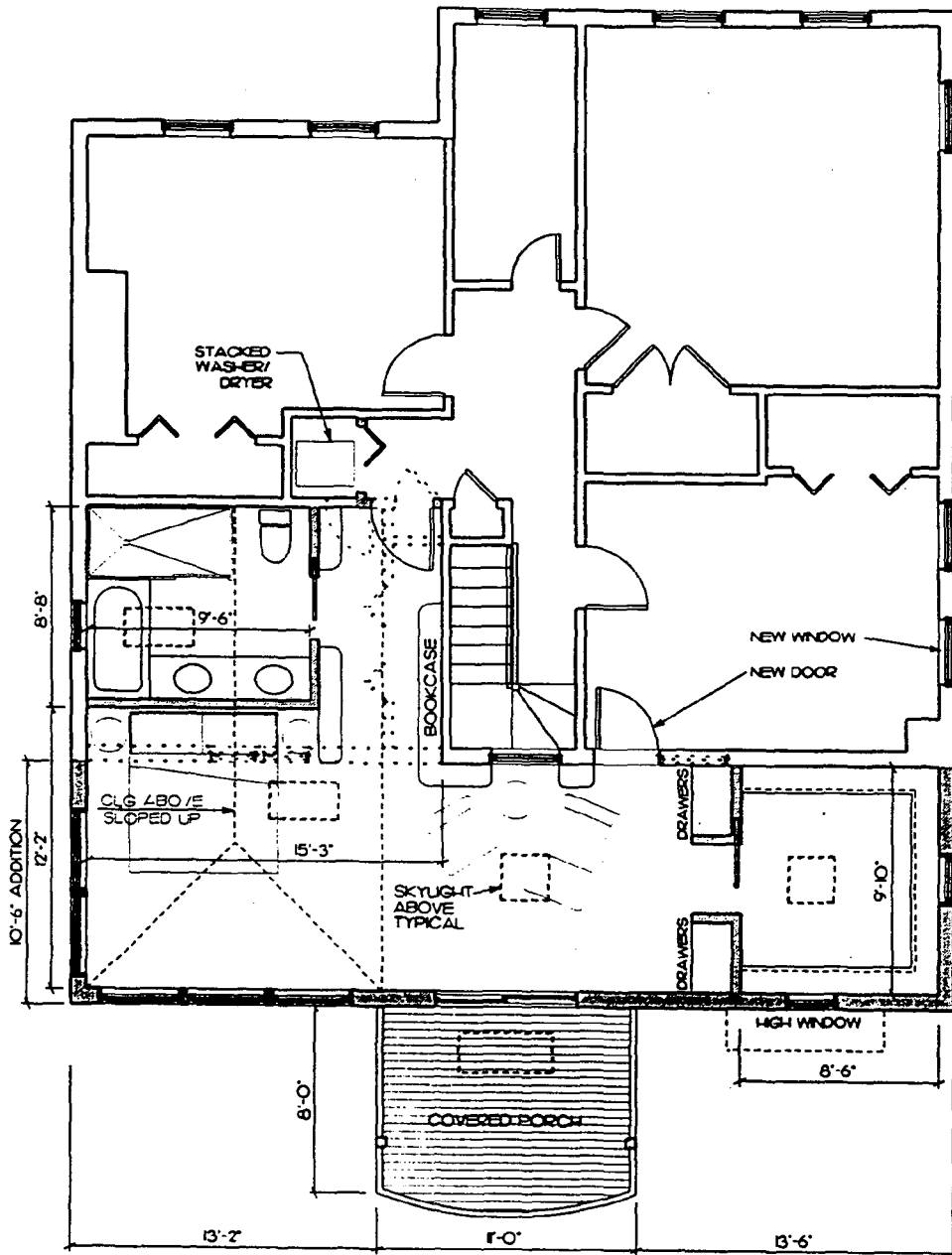
12 DEC 94
DATE

1/8" = 1'-0"
SCALE

FIRST FLOOR PLAN
1-8-94

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

TRAVIS PRICE architects
7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | Fax 301-270-0297



NOTE: DOTTED WALLS ARE EXISTING TO BE REMOVED
 HATCHED WALLS ARE NEW

A3
 DRAWING NUMBER

1/2" = 1'-0"
 SCALE

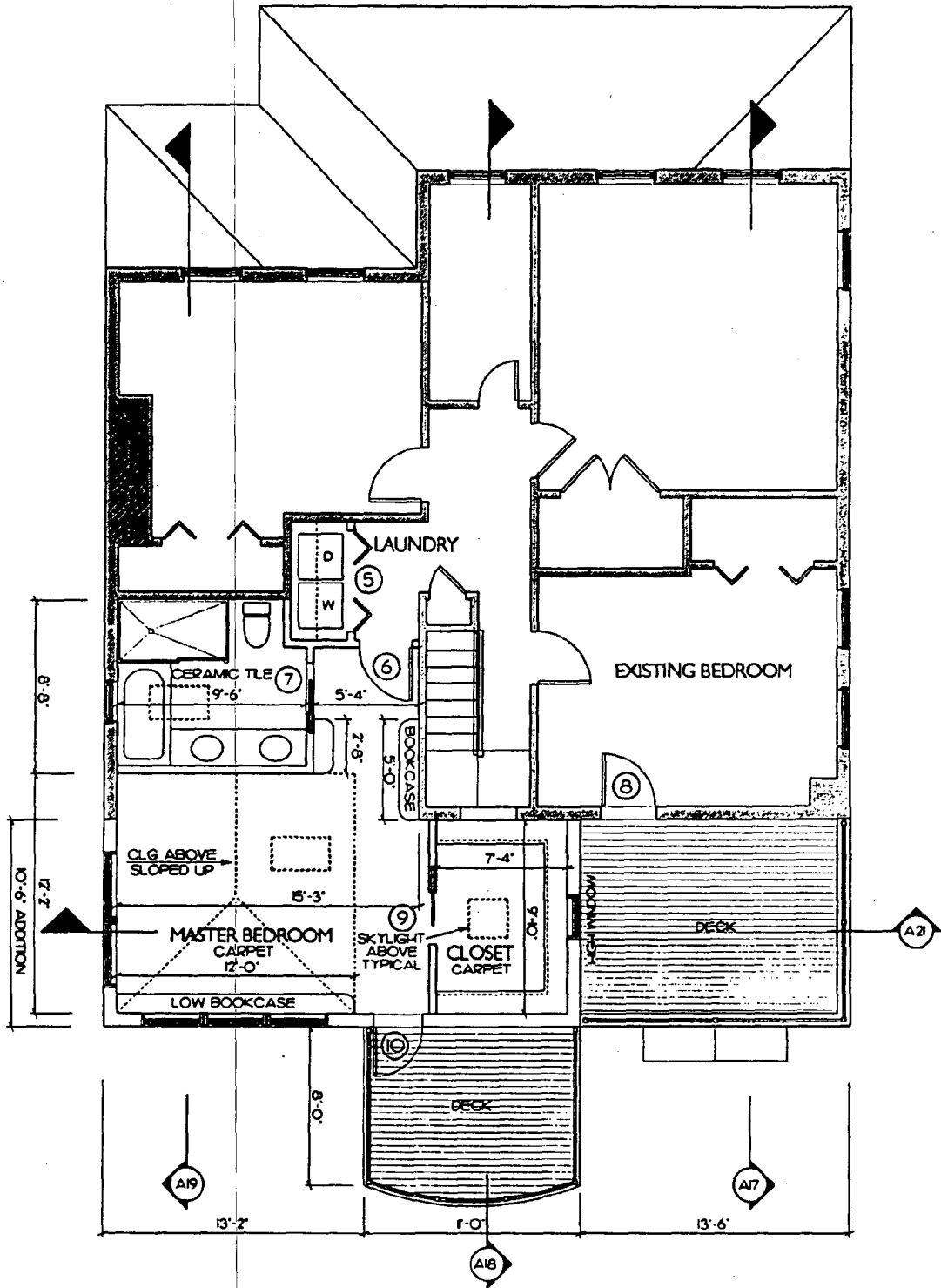
17 DEC 96
 DATE

1-8-97
 SECOND FLOOR PLAN

FRANCHOT RESIDENCE
 7111 SYCAMORE AVE
 TAKOMA PARK, MD

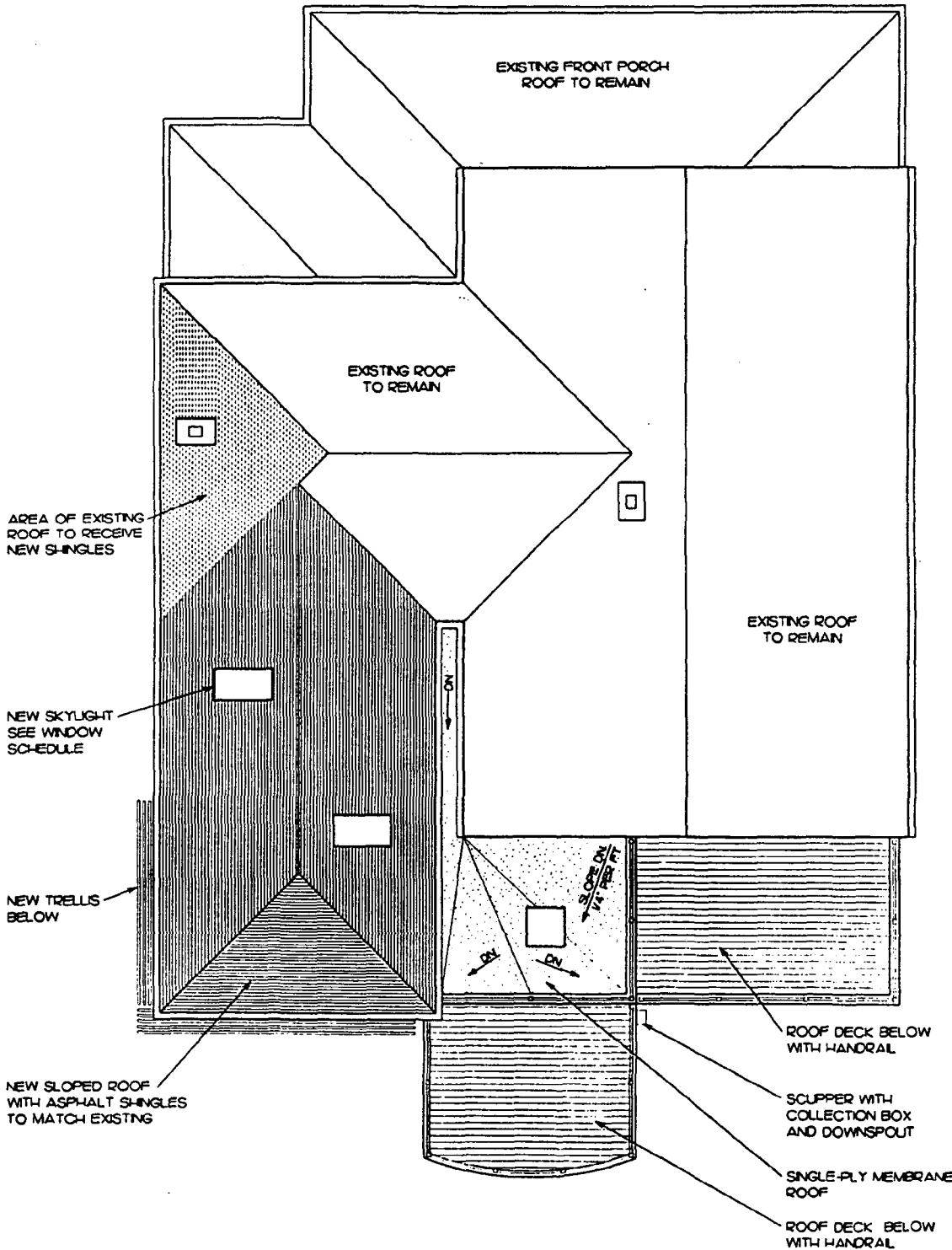
TROVIS PRICE architects
 7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-4209

17



A12	2 JAN 97	3/16 - 1/4"	6-25-97 REVISED SECOND FLOOR PLAN	FRANCHOT RESIDENCE 7111 SYCAMORE AVE TAKOMA PARK, MD	TRAVIS PRICE architects <small>7880 Clarendon Avenue Takoma Park, Maryland 20911 301-276-4222/301-276-4227</small>
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18



Proposed

A13

2 JAN 97

3/8" = 1'-0"

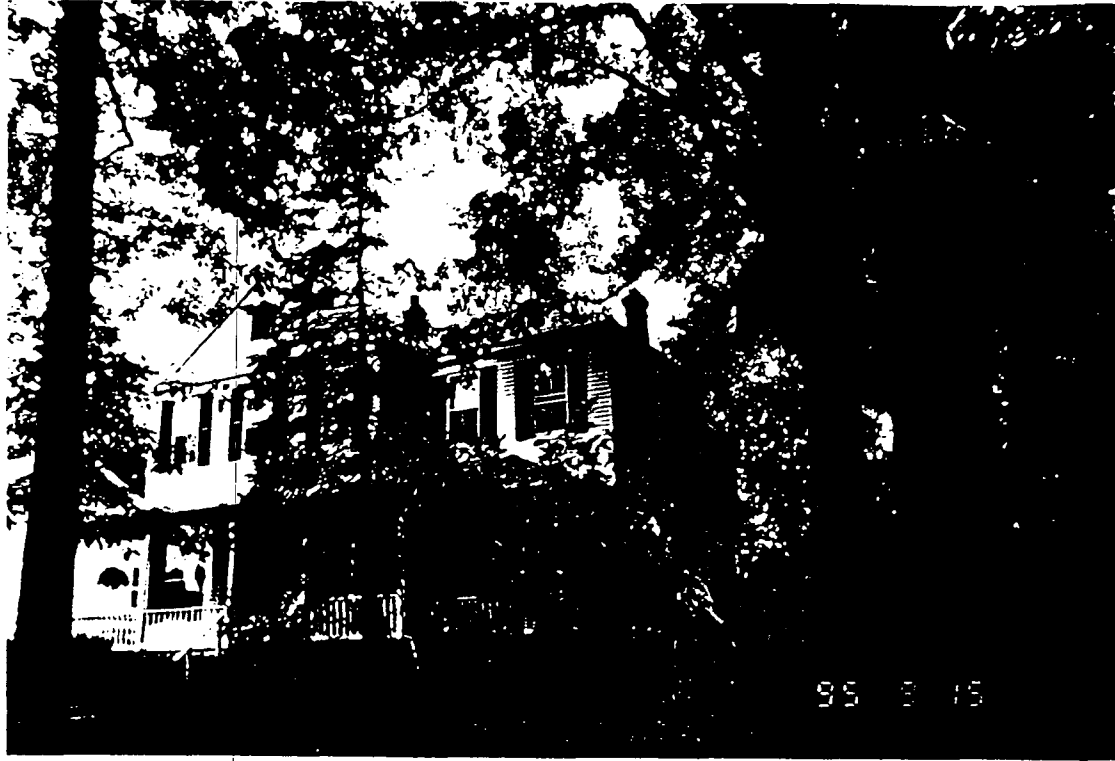


6.25.97
ROOF PLAN

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

TRAVIS PRICE architects
7829 Carroll Avenue Takoma Park, Maryland 20913 | 301-270-1022 | Fax 301-270-0289

19



95 8 15

VIEW FROM SYCAMORE AVENUE



FRONT VIEW //

A7
DRAWING NUMBER

11 DEC 96

NONE

REVISIONS

STREET PHOTOGRAPHS

FRANCOIS RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

FRANCOIS PRICE architects
101-270-9222 (in 301-270-0209)

20



REAR VIEW



REAR VIEW DETAIL

A8

11 DEC 94

NOV 8

REAR PHOTOGRAPHS

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

TRAVIS PRICE architects

21

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

LIESEL HUFFER
7110 SYCAMORE AVE
TAKOMA PARK MD
20912

PAUL WAPNER
7107 SYCAMORE AVE
TAKOMA PARK MD
20912

BILL ECKERT
7106 WOODLAND AVE
TAKOMA PARK MD
20912

FRAN BURWELL
7113 SYCAMORE AVE
TAKOMA PARK MD
20912

Rich Markus
Travis Price Architects
7050 Carroll Avenue
Takoma Park MD
20912

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7111 Sycamore Avenue

Meeting Date: 1/8/97

Resource: Takoma Park Historic District

HAWP: Alterations

Case Number: 37/3-97A

Tax Credit: None

Public Notice: 12/24/96

Report Date: 12/31/96

Applicant: Anne Mahr & Peter Franchot

Staff: Patricia Parker

PROPOSAL: Demolish existing rear enclosed porch, frame addition; RECOMMEND: Approve
Construct new rear 2-story addition & flagstone deck w/conditions

DATE OF CONSTRUCTION: ca. 1880-1900

SIGNIFICANCE: Contributing Resource in Takoma Park Historic District.

ARCHITECTURAL DESCRIPTION:

Two story Colonial Revival frame house with an enclosed rear porch and a one-story frame addition on the rear.

This proposal involves demolition of an existing enclosed porch, a one-story frame addition at the rear of a Colonial Revival frame house (c1880-1900), a contributing resource, in the Takoma Park Historic District and the closing of at grade cellar doors. Adjacent to this property is a Craftsman style bungalow, also a contributing resource, built in the early 20th century. Other bungalows, ca. 1910-1925 confront this property. No tree removal is involved in this proposal.

PROPOSAL:

The applicants propose to demolish two rear elements: (1) a one-story screen enclosed frame porch (approximately 16' wide x 6' deep) and (2) a one story gable roof frame addition (approximately 7'6" x 10') which appears on the rear facade of the screened-in porch. On the first floor of the structure, one door and three windows would be removed. On the second level, two windows in one oversized opening and one window in two single openings would be removed. An opening at the ground level which provides access to the basement would also be altered.

The applicant proposes to construct a larger two-story rear addition (tee-shaped in plan) in place of the elements at the rear of the house now proposed for removal. As proposed, the new addition would be 10'-6" deep x 37'-8" wide with an enclosed 6'0" deep x 11'0" wide entrance porch. This addition would encompass the entire width of the house and add approximately 396 square feet of living space on each of two floors to an existing footprint of 1152 square feet.

The new addition would be totally contained in the rear yard and its roof line would be constructed below the existing roof. On the first floor of the rear elevation, an oversize opening containing three french doors would provide access to a new ell-shaped flagstone terrace 6'0" deep and 16'0" wide (approximate) at the rear with a more narrow return on the left side - approximately 3'0" wide x 9'0" long. Opposite of a new enclosed porch and on the same level a canted bay window would be constructed.

The enclosed porch would provide a principal entrance having a single door opening to the rear of the house and the porch would be constructed mostly of glass. At the second level the porch would become open with a new handrail and parapet rail at the roof level. This open porch, accessible via a new opening with configured french doors and transom above, would service a new master bedroom suite with separate built closets. The roof of the porch would also contain a skylight.

The new second-story roof would be pitched at one side (facing the rear on the left side of the house) and would have one skylight. On the flat portion of the roof another skylight would be constructed within this portion of the roof. All new materials, i.e. roof shingles, handrail and parapet rails, new windows and siding would match existing materials.

Also, at the second level two new openings at either side of the open porch would be constructed. On the left side of the rear facade the applicant proposes to construct an oversize opening containing three full-size windows. On the right side of the new porch, the applicant proposes to construct an ocular opening with configuration.

On the east elevation, the applicant would construct two new window openings - one smaller window at the second floor within a new built-in closet room and one slightly larger window to appear over the range within the kitchen. All windows would be configured as 2/2.

On the west elevation, the applicant would construct two oversize openings with two windows in each opening. Both windows would have 2/2 configuration. Above the windows on the first floor additional gingerbread detailing appears and wraps onto the rear elevation.

As proposed, access to the basement would be achieved internally. And new landscaping would be planted at the rear. No removal of trees would be involved in this proposal.

DISCUSSION:

Staff finds that the proposal is generally compatible with the historic resource in regard to size, massing, scale, location and architectural features and is consistent with historic preservation standards and guidelines and with the Takoma Park Historic District Guidelines. The proposal would alter a contributing resource but it would be totally contained in the rear yard, and it would have a lower roof line.

However, staff does feel that the new addition should be differentiated from the existing block through indentation at each side and all materials should be of wood. Staff would suggest that the applicant consider some simplification of detailing, i.e. elimination of bracketing above the windows and the parapet rail.

Staff feels that the architect has successfully worked within the guidelines of the Takoma Park Historic District, especially in confining the proposed changes to the rear of the property and below the existing roofline. The proposal is consistent with the Takoma Park Guidelines because the alterations would not be readily perceived from the public street. And the property is sizable - having a double lot of over 21,000 square feet - and the proposal would be substantially removed from other residential property at the rear of the subject property.

ISSUES:

1) **Removal of existing additions.** Staff feels that the removal of recent alterations at the rear of this contributing resource would be an acceptable alteration. Staff recommends approval.

2) **Removal of cellar doors/entrance.** Staff feels that although The Secretary of the Interior's Standards for Rehabilitation discourage the removal of historic materials or alteration of features and spaces that characterize a property, greater weight should be given to the continued good use of a resource. Staff recommends approval.

3) **Proposal of a seamless addition.** Staff feels that the addition, as proposed, should be differentiated from existing structure. Staff would recommend that an indentation of 6" min. occur at each side. Staff recognizes that although the addition would be confined to the rear of the house, a seamless addition would be inconsistent with The Secretary of the Interior's Standards for Rehabilitation. Specifically,

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

4) **Use of an ocular window on the second floor and a modern canted bay window form.**

Staff feels that these forms are inconsistent with the style of the resource. Staff feels that the ocular form becomes purely decorative due to its positioning and the flat roof form above. The architect has also chosen to utilize a canted bay window, which if of different sizing and elimination of decoration in the pediment could possibly be successful.

But these forms appear at the rear of the house. And the Takoma Park Guidelines states that contributing resources should receive a more lenient level of design review than those structures that have been classified as outstanding... This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing.

And the Guidelines do state that "...contributing resources should respect the predominant architectural style of the resource. The HPC may want to discuss these features with the applicant.

5) **Simplification of ornamentation.**

Staff feels that generally the proposal is good. But staff is concerned about the abundant use of heavy detailing. Staff feels that such details as the parapet rail and bracketing above windows and french doors continuous on two elevations is unnecessary. Staff feels that the use of this ornamentation is incompatible with the style of the house.

Staff also feels that all new windows and doors and siding should be made of wood. All new openings should be framed of wood and wood windows and doors should be made using true divided lites.

Staff feels that this proposal is generally consistent with the Takoma Park Historic District Guidelines. When reviewing HAWP's on contributing resources, the Guidelines state:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predomi-

25

nant architectural features of the resource; exact replications of existing details and features is, however, not required; and

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discourages but not automatically prohibited; and

While additions should be compatible, they are not required to be replicative of earlier architectural styles;
and

Original size and shape of windows and door openings should be maintained, where feasible; and

Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.

STAFF RECOMMENDATION

With the following conditions, staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A-8(b)1:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and with the Secretary of the Interior's Standards for Rehabilitation #1, #2 and #9:

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment; and

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided; and

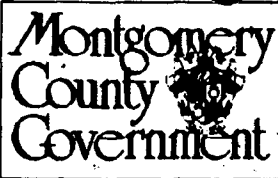
New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

and with the following conditions:

Conditions:

- 1) The new addition shall be indented from existing sidewalls 6" min. on each side.
- 2) All new windows and doors shall be wood with true divided lites and set in wood framing.
- 3) All new trim shall be painted wood, with dimensions and profiles to match the existing house.
- 4) New wood railings shall be painted and have a top and bottom rail with inset pickets. Spacing of the balusters shall match spacing of balusters on the existing porch rail.

495-1307



RETURN TO: Department of Environmental Protection
Division of Development Services and Regulation
250 Hungerford Drive, Rockville, Maryland 20850
(301) 217-6370

Historic Preservation Commission
(301) 495-4570

APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON RICH MARKUS
 DAYTIME TELEPHONE NO. (301) 270 9222
 TAX ACCOUNT # 008-40-4943
 NAME OF PROPERTY OWNER ANNE MAHR, PETER FRANCHOT DAYTIME TELEPHONE NO. (202) 326 2987
 ADDRESS 7111 SYCAMORE AVE TAKOMA PARK MD 20912
CITY STATE ZIP CODE
 CONTRACTOR NOT SELECTED TELEPHONE NO. ()
 CONTRACTOR REGISTRATION NUMBER _____
 AGENT FOR OWNER RICH MARKUS @ TRAVIS PRICE ARCHITECTS DAYTIME TELEPHONE NO. (301) 270 9222

LOCATION OF BUILDING/PREMISE
 HOUSE NUMBER 7111 STREET SYCAMORE AVE
 TOWN/CITY TAKOMA PARK NEAREST CROSS STREET ETHAN ALLEN AVE
 LOT 10/11 BLOCK 22 SUBDIVISION B.F. GILBERT'S ADDITION TO TAKOMA PARK
 LIBER J.A. No 3 FOLIO 479 PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____
 1B. CONSTRUCTION COST ESTIMATE \$ \$ 140,000
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NA

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Travis Price, Architect 12/10/96
Signature of owner or authorized agent Date

APPROVED _____ For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature [Signature] Date 6/25/97

APPLICATION/PERMIT NO: 9612200001 DATE FILED: _____ DATE ISSUED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING FORMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*Remove rear shed porch, add extended
kitchen, family room & master bed room -
all at rear, not seen by public way*

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*Negligible impact, not visible to public
improved addition is new in style keeping
original vocabulary*

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.


6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.


THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 6-25-97

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator *gm*
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

LIESEL HUFFER
7110 SYCAMORE AVE
TAKOMA PARK MD
20912

PAUL WAPNER
7107 SYCAMORE AVE
TAKOMA PARK MD
20912

BILL ECKERT
7106 WOODLAND AVE
TAKOMA PARK MD
20912

FRAN BURWELL
7113 SYCAMORE AVE
TAKOMA PARK MD
20912

Rich Markus
Travis Price Architects
7050 Carroll Avenue
Takoma Park MD
20912

MEMORANDUM

DATE: 4 June 1997
 TO: Robin Ziek
 Historic Preservation Planner
 Department of Parks and Planning
 1109 Spring Street, 8th Floor
 Silver Spring, MD 20910
 301-495-4570
 301-495-1307 fax
 FROM: Rich Markus
 RE: **HAWP REVISION** to Franchot/Maher Residence, 7111 Sycamore Avenue,
 Takoma Park (**HPC Case No. 37/3-97A**, Takoma Park Historic District)
 CONTENTS: Cover letter & 2 copies of revised drawings

Robin;

Included are drawings of the proposed revision of the Franchot/Maher Residence on 7111 Sycamore Avenue in Takoma Park. The original scheme is on file as HPC Case No. 37/3-97A, and was approved at the HPC meeting of January 8, 1997. We are submitting this proposed revision by June 4 to get on the docket for the HPC meeting of Wednesday, June 25.

The revision includes changes that have come about because of budgetary concerns. We have removed approximately 80 square feet of the second floor addition and have also removed the roof which covered the small deck over the entry.

After struggling with various ideas on reducing the budget, we feel that this revision is a very good solution and retains a respectful spirit to the original house. It also helps to differentiate the new construction from the existing and break up the mass of the addition.

The included drawings document the changes proposed with this revision. The existing drawings and photographs are included in the original submission. Please call if you require any additional drawings.

Thank you and we look forward to seeing you at the June 25 meeting.

Rich Markus

APPROVED
 Montgomery County
 Historic Preservation Commission

Raymond G. ... 6/25/97

4

DRAWING NUMBER
A1

DATE
11 DEC 96

SCALE
1" = 30'-0"

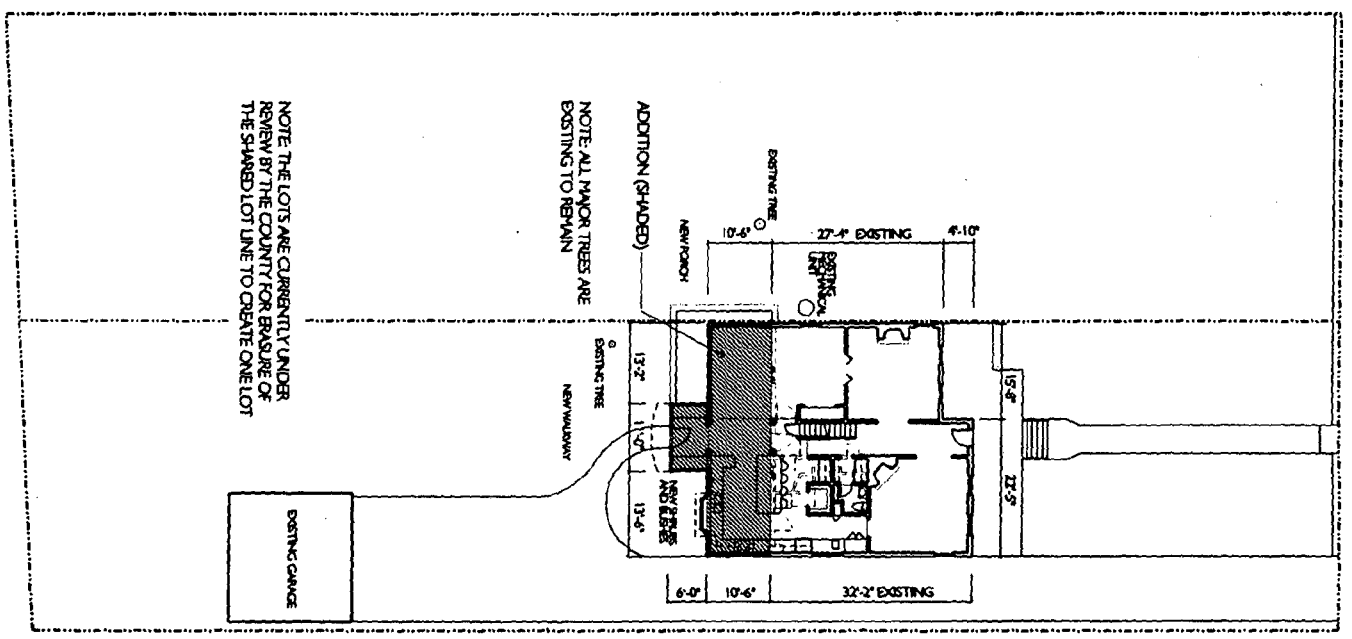
REVISIONS

SITE PLAN

FRANCHOT RESIDENCE
7111 STAMORE AVE
TAKOMA PARK, MD

TROVIS PRICE
architects
709 Cord Avenue Takoma Park, Maryland 20912 (301) 261-9221 fax (301) 261-0209

6



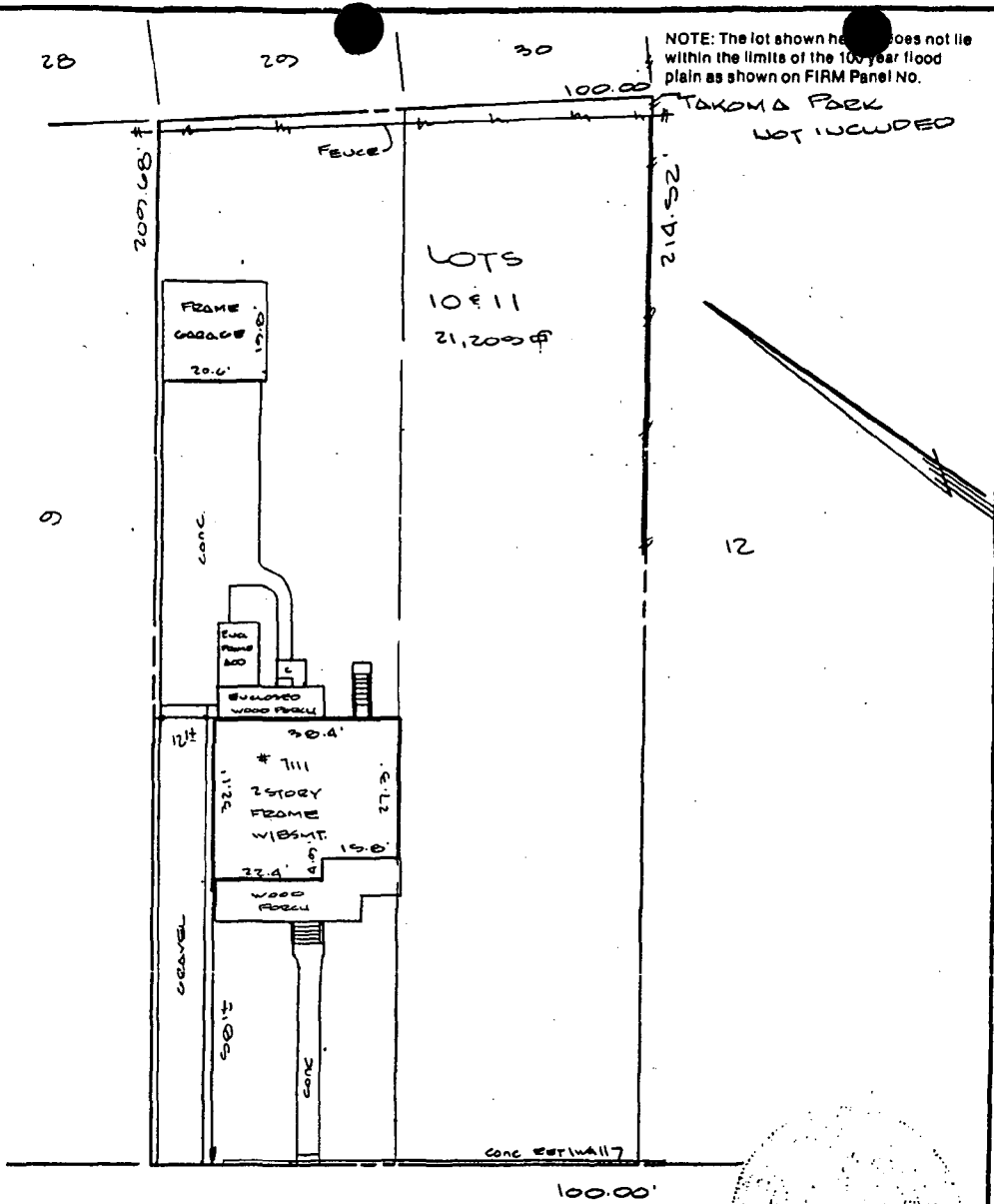
NOTE: THE LOTS ARE CURRENTLY UNDER REVIEW BY THE COUNTY FOR BRASHE OF THE SHARED LOT LINE TO CREATE ONE LOT

NOTE: ALL MAJOR TREES ARE EXISTING TO REMAIN

ADDITION (SHADED)

STAMORE AVENUE

APPROVED
Montgomery County
Historic Preservation Commission
Erin J. Gophant 6/25/07



NOTE: The lot shown here does not lie within the limits of the 100 year flood plain as shown on FIRM Panel No.

SYCAMORE AVENUE

APPROVED
 Montgomery County
 Historic Preservation Commission
Wendy Kephart 6/25/97

IMPROVEMENT LOCATION SURVEY SURVEYOR'S CERTIFICATE

LOTS 10 & 11 BLOCK 22
 B.F. GILBERTS ADDITION TO
 TAKOMA PARK
 BEING PART OF CARROW FARM
 MONTGOMERY COUNTY, MD.

I hereby certify that the position of all existing improvements on the above described property has been carefully established by a transit-tape survey; and that, unless otherwise shown, there are no encroachments. Unless otherwise shown, corners have not been set with this survey. This survey is not to be used to determine property lines.

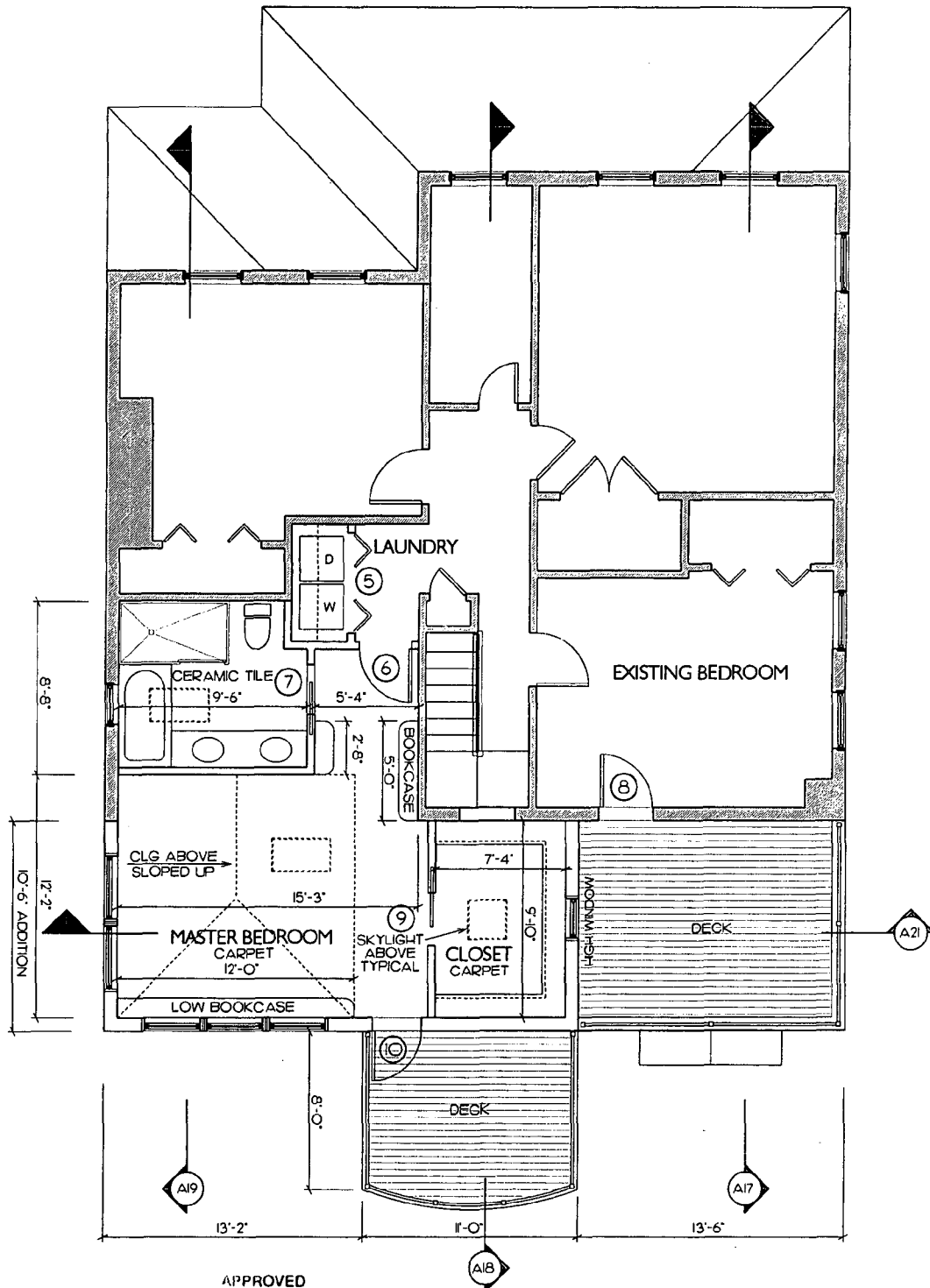
Michael J. Bazis
 Michael J. Bazis PLS#283

THIS SURVEY IS FOR TITLE PURPOSES ONLY

JOB # 90.24994	DATE 8.31.90	R.C. KELLY & ASSOCIATES, INC. LAND SURVEYORS 10111 COLESVILLE ROAD SUITE 123 SILVER SPRING, MD 20901 593-8005
FIELD J.B.B	DRAFT K.A.H.D	
RESUBMITTED 10.16.92	P.B. & P# 2	
	SCALE: 1" = 30'	

ORIGINAL
 PLAT

SHOWING EXISTING
 ONLY (5)



APPROVED
 Montgomery County
 Historic Preservation Commission

A12
 DRAWING NUMBER

2 JUN 97
 ISSUE

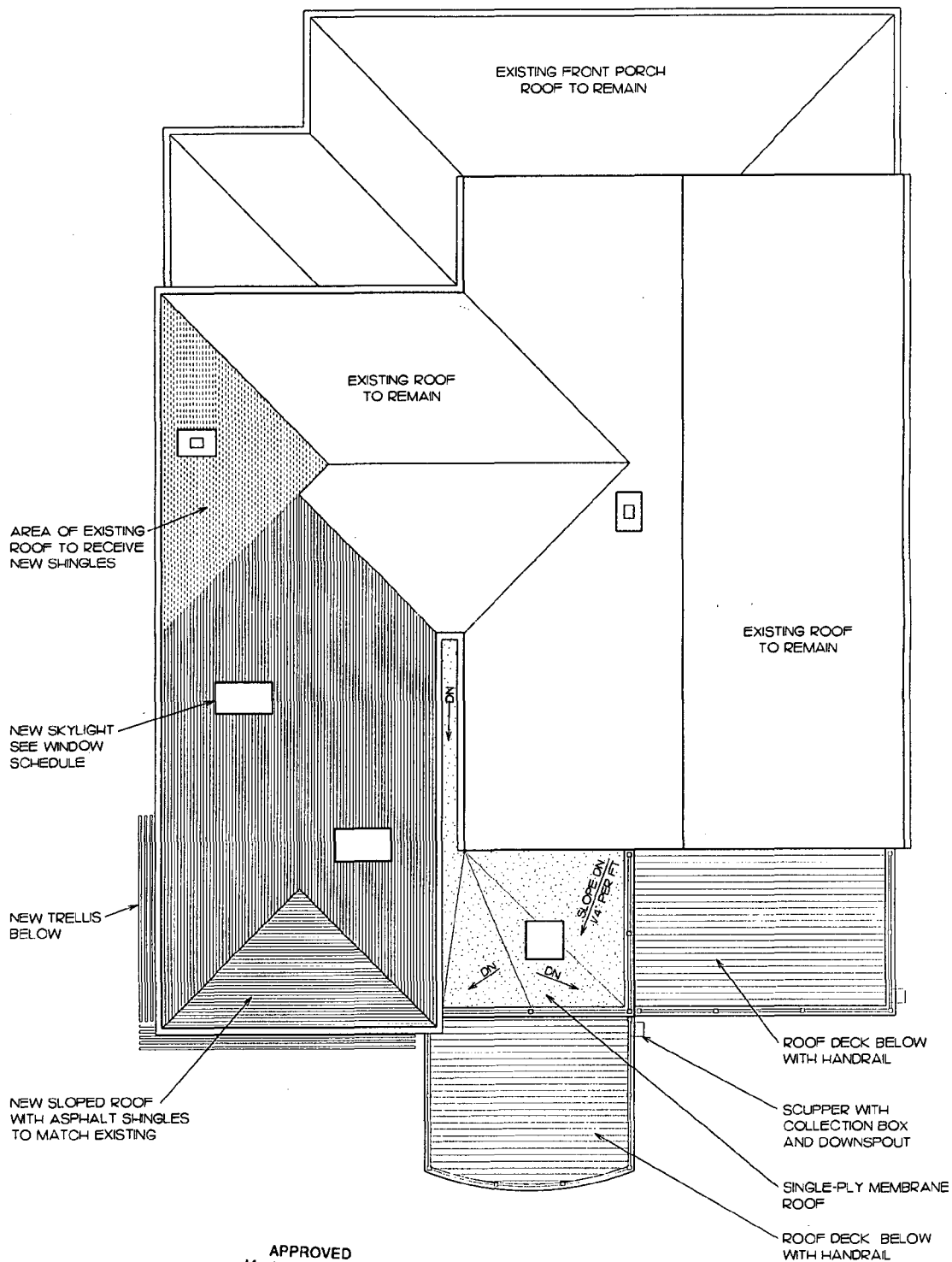
3/16" = 1'-0"
 SCALE

REVISIONS

REVISED
 SECOND FLOOR PLAN

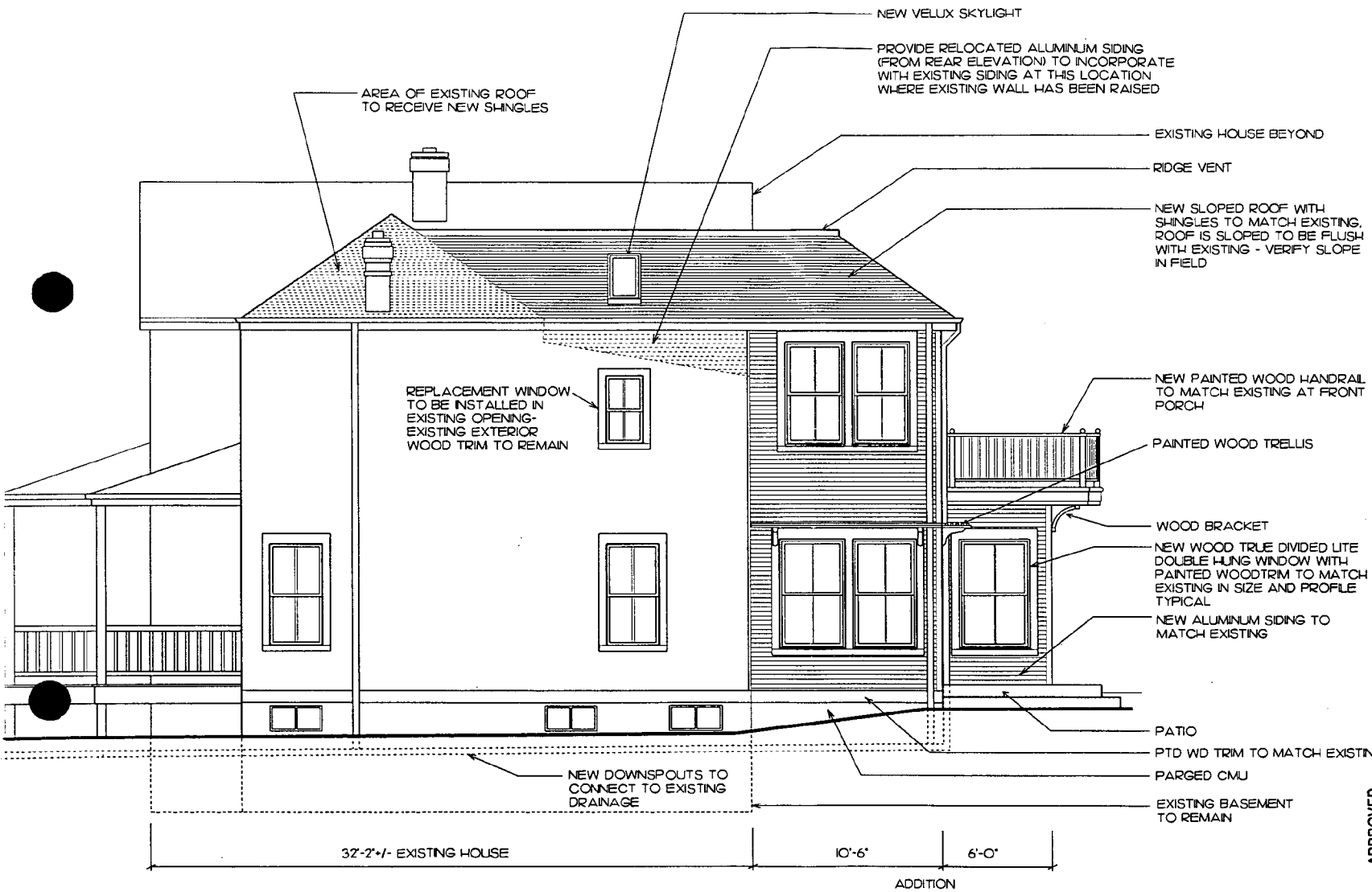
FRANCHOT RESIDENCE
 7111 SYCAMORE AVE
 TAKOMA PARK, MD

TRAVIS PRICE architects
 7050 Carroll Avenue, Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-4209



APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 6/26/97

A13 <small>DRAWING NUMBER</small>	<small>ISSUE</small> 2 JUN 97	<small>SCALE</small> 3/16" = 1'-0"	<small>REVISIONS</small> <table border="1"> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table>						ROOF PLAN	FRANCHOT RESIDENCE 7111 SYCAMORE AVE TAKOMA PARK, MD	TRAVIS PRICE architects <small>7650 Carroll Avenue Takoma Park, Maryland 20912 301-270-9222 fax 301-270-4209</small>
<small>DATE PLOTTED: 06/26/97 10:58 AM</small>											



T R A V I S P R I C E Architects
 7000 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-4299

FRANCHOT RESIDENCE
 7111 SYCAMORE AVE
 TAKOMA PARK, MD

RIGHT SIDE ELEVATION

REVISIONS

3/16" = 1'-0" SCALE

2 JUN 97 SCALE

A14 DRAWING NUMBER

APPROVED
 Montgomery County
 Historic Preservation Commission
 300 Capitol Building
 6/26/97



APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

TRAVIS PRICE
 architect
 7850 Carroll Avenue Takoma Park, Maryland 20912 (301) 270-9222 fax (301) 270-4229

FRANCHOT RESIDENCE
 7111 SYCAMORE AVE
 TAKOMA PARK, MD

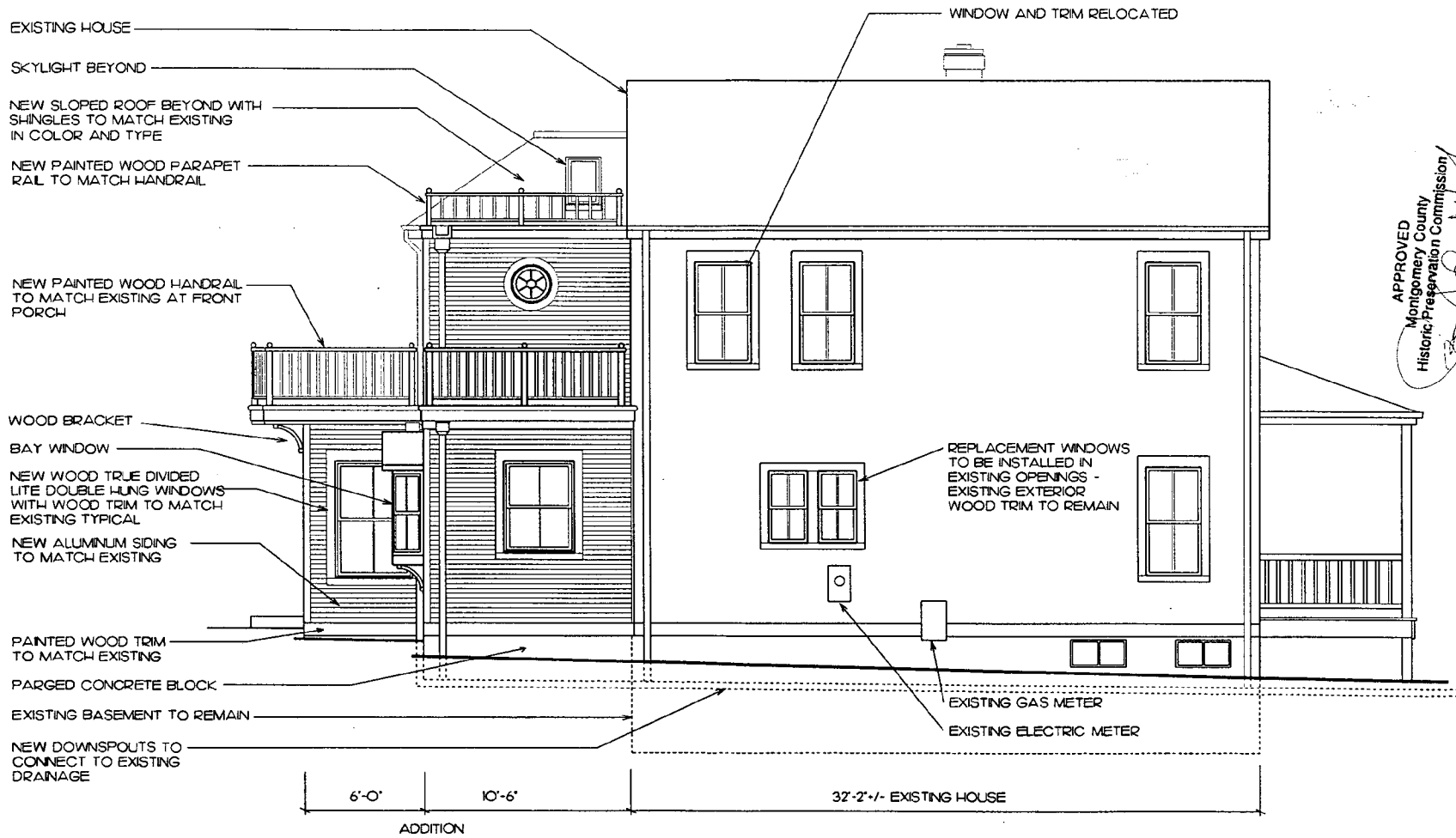
REAR ELEVATION

REVISIONS

3/16" = 1'-0" SCALE

2 JUN 97 ISSUE

A15
 DRAWING NUMBER



APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

TRAVIS PRICE architects
 7050 Canal Avenue Takoma Park, Maryland 20912 | 301-270-9722 | fax 301-270-4209

FRANCHOT RESIDENCE
 7111 SYCAMORE AVE
 TAKOMA PARK, MD

LEFT SIDE ELEVATION

REVISED

3/16" = 1'-0" SCALE

2 JUN 97

A16
 DRAWING NUMBER

Perry K:

2/20/97

I spoke with Rich Markus / Travis Price Architects this date and the firm will not finish in time for me to complete HAWP processing before I leave.

Therefore, I thought you would need a list of the conditions the APC placed on approval of this HAWP. They are as follows: -

- 1.) All new windows and doors shall ~~be~~ ~~made~~ be made of wood with applied muntins and set in wood framing. ~~The~~ ~~with~~ with shadow bar in between glass panels
- 2.) All new trim shall be painted wood, with dimensions and profiles to match the existing house.
- 3.) New wood railings shall be painted and have a top and bottom rail with inset pickets. Spacing of the balusters shall match spacing of balusters on the existing porch rail.
- 4.) All tree and shrub specimens immediate to the area of new construction shall have temporary fencing installed around the drip line during the construction period. The fencing shall be maintained throughout construction.
- 5.) All skylights shall be flat with low curbs.

5) All tree and shrub specimens immediate to the area of new construction shall have temporary fencing installed around the drip line during the construction period. The fencing shall be maintained throughout construction.

6) All skylights shall be flat with low curb.

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

- 7.) Applicants shall donate historic fabric - including windows & doors to Montgomery County House Parts for reuse in other Montgomery County historic properties.
- 8.) ~~Staff review~~ Plans submitted to DEP for approval shall be processed by staff and stamped for ^{HAWP} approval.

7) Applicants shall donate historic fabric - including windows & doors to Montgomery County House Parts for reuse in other Montgomery County historic properties.

8) Plans submitted to DEP for approval shall be processed by staff and stamped for HAWP approval.



Division of Development Services and Regulation
250 Hungerford Drive, Rockville, Maryland 20850
(301) 217-6370

Historic Preservation Commission (301) 495-4570

APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON RICH MARKUS
 DAYTIME TELEPHONE NO. (301) 270 9222
 TAX ACCOUNT # 008-40-4943
 NAME OF PROPERTY OWNER ANNE MAHR, PETER FRANCHOT DAYTIME TELEPHONE NO. (202) 326 2987
 ADDRESS 7111 SYCAMORE AVE TAKOMA PARK MD 20912
CITY STATE ZIP CODE
 CONTRACTOR NOT SELECTED TELEPHONE NO. ()
 CONTRACTOR REGISTRATION NUMBER _____
 AGENT FOR OWNER RICH MARKUS @ TRAVIS PRICE ARCHITECTS DAYTIME TELEPHONE NO. (301) 270 9222

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 7111 STREET SYCAMORE AVE
 TOWN/CITY TAKOMA PARK NEAREST CROSS STREET ETHAN ALLEN AVE
 LOT 10/11 BLOCK 22 SUBDIVISION B.F. GILBERT'S ADDITION TO TAKOMA PARK
 LIBER J.A.No 3 FOLIO 479 PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: Construct Extend Alter/Renovate Repair Move Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____

CIRCLE ALL APPLICABLE: A/C Slab Room Addition Porch Deck Fireplace Shed Solar Woodburning Stove

1B. CONSTRUCTION COST ESTIMATE \$ \$ 140,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

TRAVIS PRICE, ARCHITECT 12/10/16
Signature of owner or authorized agent Date

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature Date

3713-97A (Revision)



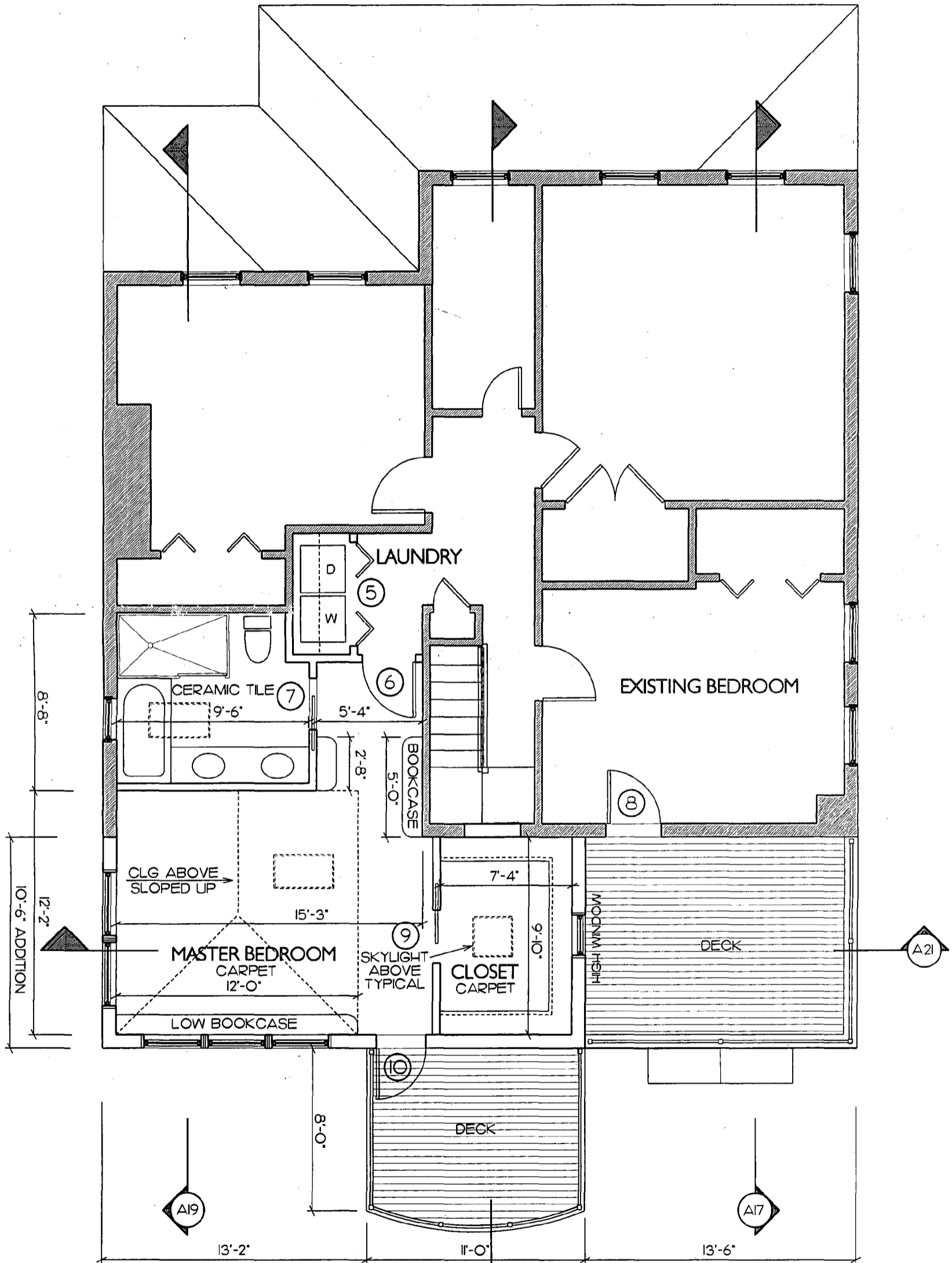
95 8 15

VIEW FROM SYCAMORE AVENUE



FRONT VIEW

A7 DRAWING NUMBER	11 DEC 96 ISSUE	NONE SCALE	<table border="1"><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr></table> REVISONS						STREET PHOTOGRAPHS	FRANCHOT RESIDENCE 7111 SYCAMORE AVE TAKOMA PARK, MD	TRAVIS PRICE architects 7050 Carroll Avenue Takoma Park, Maryland 20912 301-270-9222 fax 301-270-4209



APPROVED
 Montgomery County
 Historic Preservation Commission

A12
 DRAWING NUMBER

2 JUN 97
 ISSUE

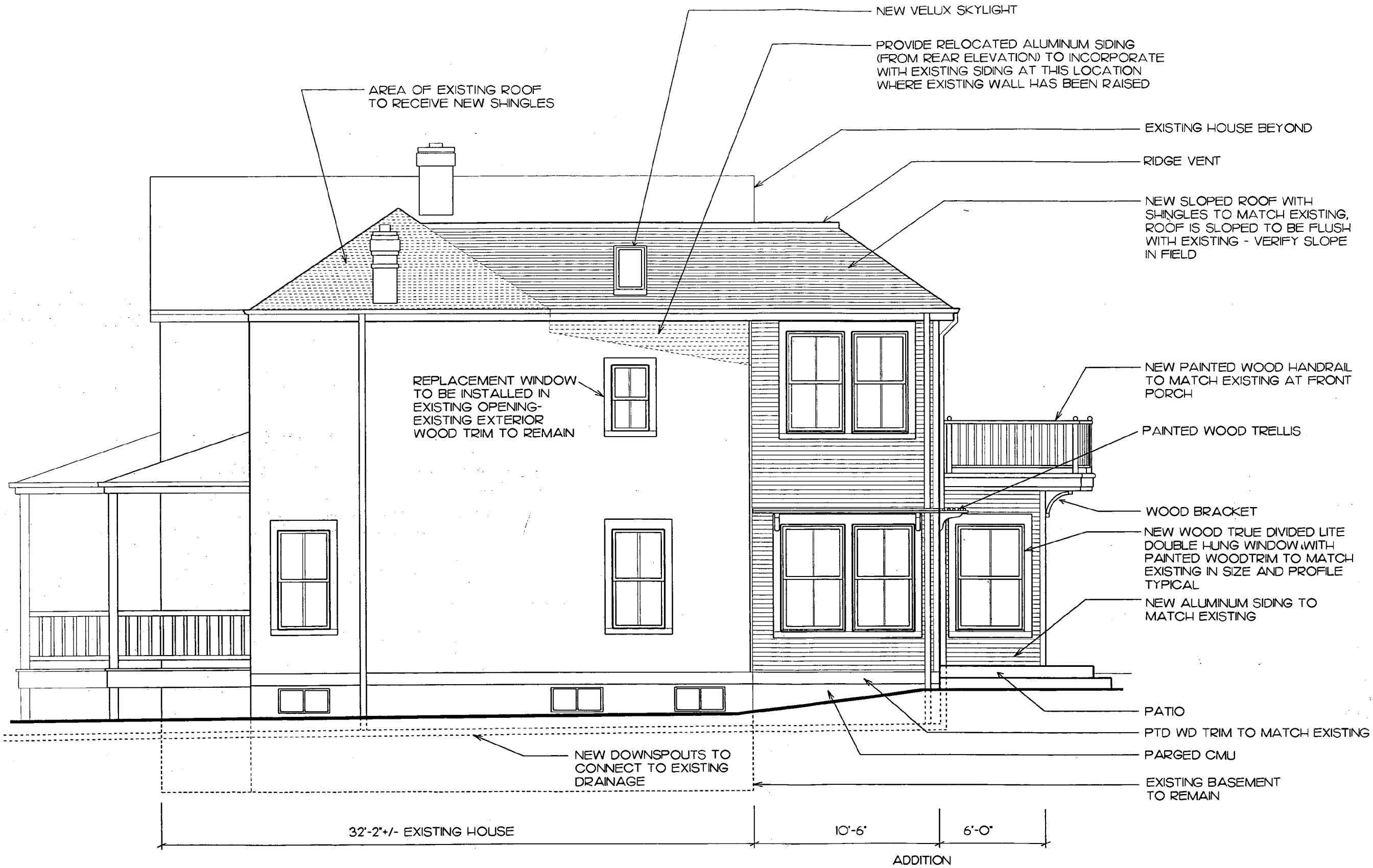
3/16" = 1'-0"
 SCALE

REVISIONS

REVISED
 SECOND FLOOR PLAN

FRANCHOT RESIDENCE
 7111 SYCAMORE AVE
 TAKOMA PARK, MD

TRAVIS PRICE architects
 7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-4209



APPROVED
 Montgomery County
 Historic Preservation Commission

T R A V I S P R I C E architects
 7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-4209

FRANCHOT RESIDENCE
 7111 SYCAMORE AVE
 TAKOMA PARK, MD

RIGHT SIDE ELEVATION

REVISIONS

3/16" = 1'-0" SCALE

2 JUN 97 ISSUE

A14 DRAWING NUMBER



TROVIS PRICE architects
 7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-4209

FRANCHOT RESIDENCE
 7111 SYCAMORE AVE
 TAKOMA PARK, MD

REAR ELEVATION

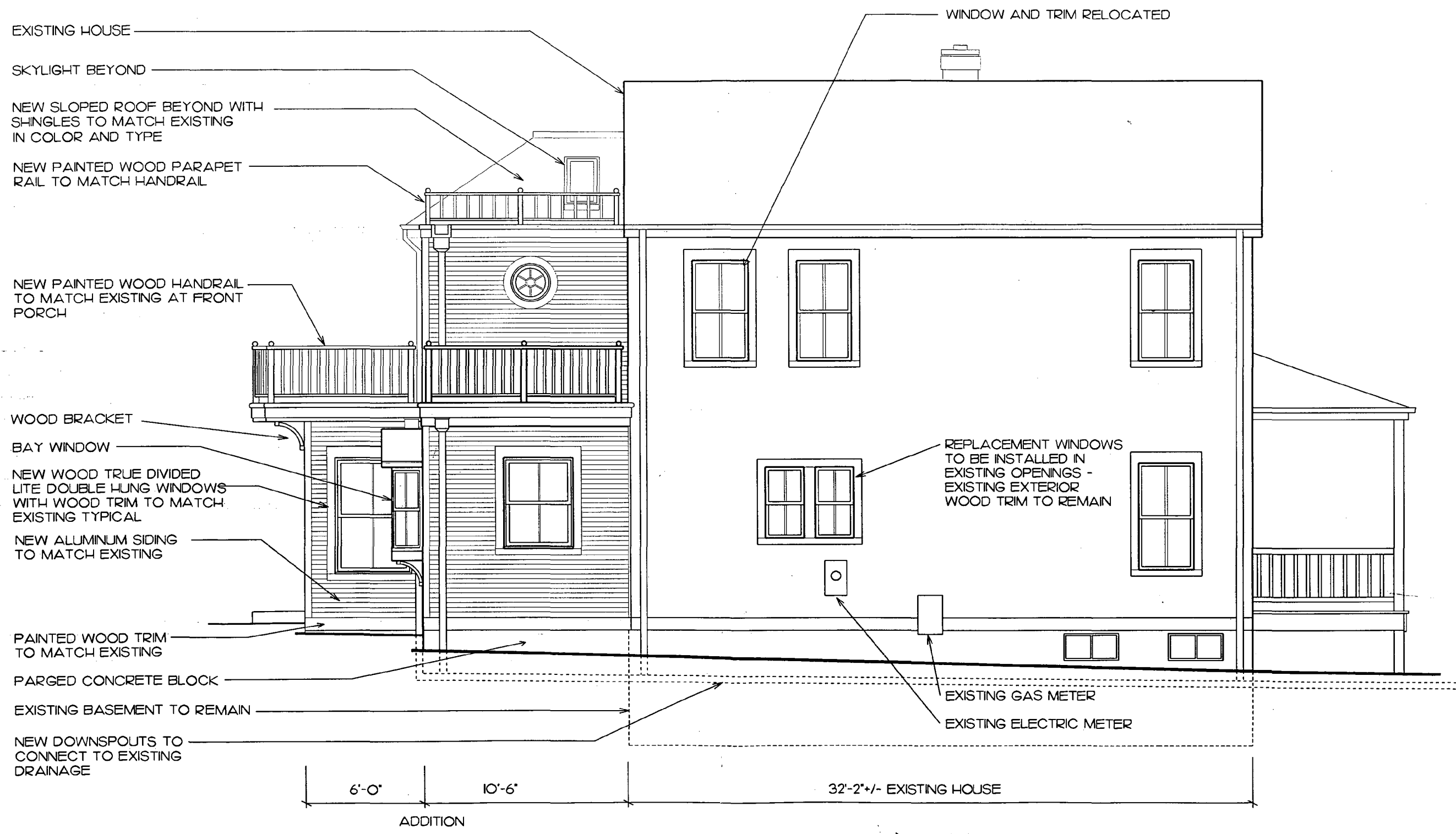
NO.	REVISIONS

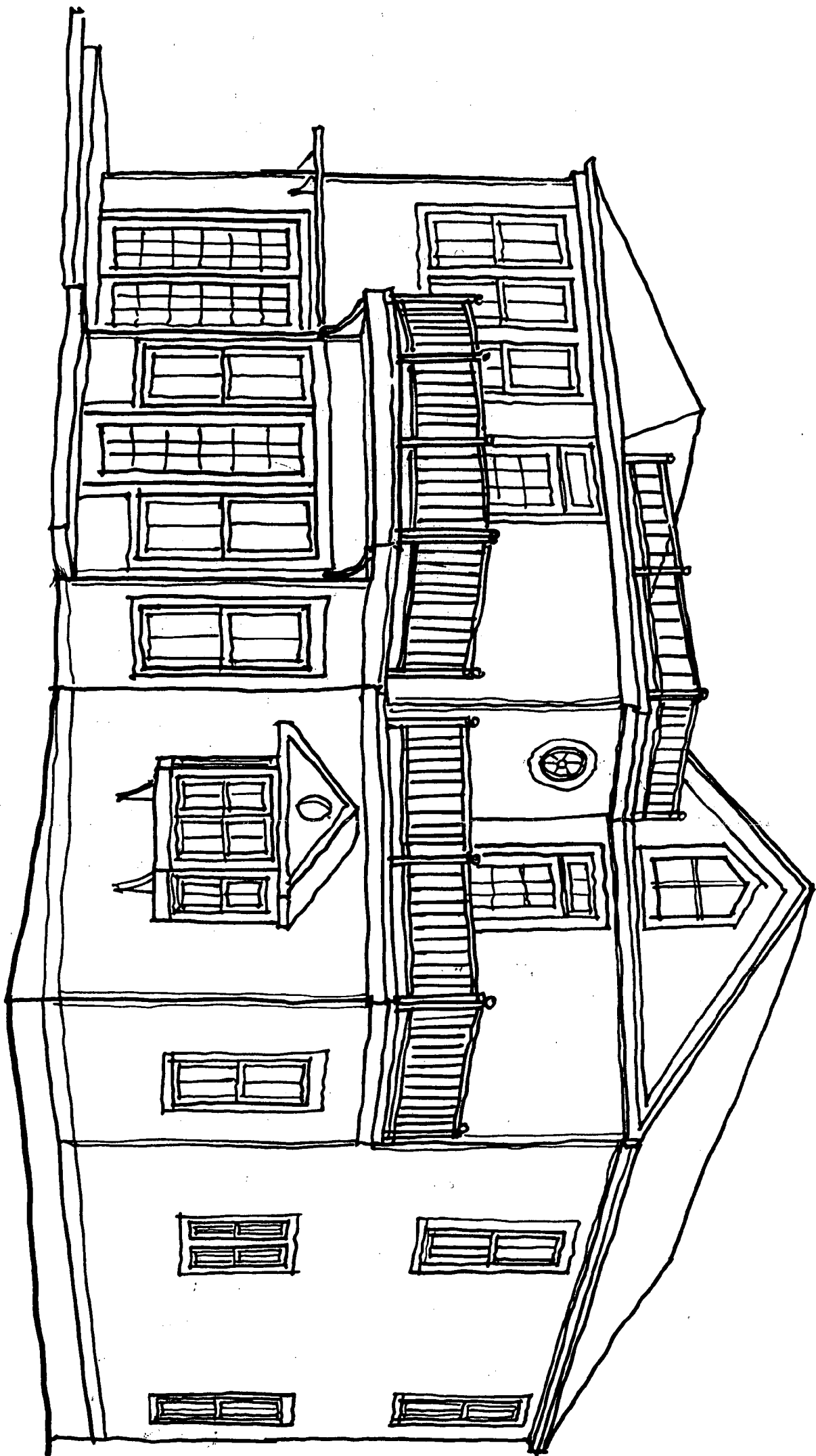
3/16" = 1'-0" SCALE

2 JUN 97 ISSUE

A15

DRAWING NUMBER





A17
DRAWING NUMBER

2 JUN 97
ISSUE

NONE
SCALE

REVISIONS

REVISED PERSPECTIVE

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

TRAVIS PRICE architects
7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax: 301-270-4209

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7111 Sycamore Avenue
Meeting Date: 06/25/97
Resource: Takoma Park Historic District
HAWP: Alteration
Case Number: 37/3-97A (REVISION)
Tax Credit: No
Public Notice: 06/11/97
Report Date: 06/18/97
Applicant: Anne Mahr & Peter Franchot
(Rich Markus for Travis Price Architects)
Staff: Perry Kephart
PROPOSAL: Demolish existing rear enclosed porch, frame addition.
Construct two story rear addition, rear flagstone deck.
RECOMMEND: Approve

DATE OF CONSTRUCTION: ca. 1880-1900

SIGNIFICANCE: Contributing Resource in Takoma Park Historic District.

ARCHITECTURAL DESCRIPTION

Two story Greek Revival 3 bay frame house with a 1 bay two-story side gabled block on the right side and with an enclosed rear porch and a one-story frame addition at the rear. House has metal lap siding and wood frame 2/2 windows. There is a one story hipped roof porch across the front facade.

BACKGROUND

An application to demolish the rear porch and frame addition and construct a new two-story rear addition was approved on January 8, 1997 with the following conditions (that differ slightly from those on the staff report):

1. All new windows and doors shall be made of wood with applied muntins with shadow bars in between glass panels.
2. All new trim shall be painted wood, with dimensions and profiles to match the existing house.
3. New wood railings shall be painted and have a top and bottom rail with inset pickets. Spacing of the balusters shall match spacing of balusters on the existing porch rail.
4. All tree and shrub specimens immediate to the area of new construction shall have temporary fencing installed around the drip line during the construction period. The fencing shall be maintained throughout construction.
5. All skylights shall be flat with low curb.
6. Applicants shall donate historic fabric, including windows and doors to Old House Parts for reuse in other Montgomery County historic properties.
7. Plans submitted to DPS for approval shall be processed by HPC staff and stamped for HAWP approval.

①

PROPOSAL

For budgetary reasons, the applicant proposes revising the approved Historic Area Work Permit to:

1. Modify the design of the right side of the rear addition from two-story to one story with a door placed immediately below the Gothic window in the rear gable leading to a railed deck.
2. Eliminate the second story deck roof and railing over the rear entrance.
3. Place a parapet railing around the flat roofed center section of the rear addition.
4. Place the ocular window approved for the right rear wall in the side wall of the reduced rear addition.

STAFF DISCUSSION

The simplification of the design of the rear addition is, in staff's opinion, an improvement on the original design. The use of the parapet railing, as was noted in the previous staff report, continues to be overly decorative for a house with the classical, clean design of this historic resource, but staff would concur with its use to soften the abrupt look of the flat roof on the middle section of the rear addition.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the Historic Area Work Permit as being consistent with Chapter 24A-8(b)2:

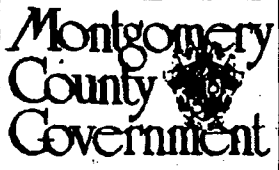
The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services⁰ (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

495-1307



RETURN TO: Department of Environmental Protection
Division of Development Services and Regulation
250 Hungerford Drive, Rockville, Maryland 20850
(301) 217-6370

Historic Preservation Commission
(301) 495-4570

APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON RICH MARKUS
 DAYTIME TELEPHONE NO. (301) 270 9222
 TAX ACCOUNT # 008-40-4943
 NAME OF PROPERTY OWNER ANNE MAHR, PETER FRANCHOT DAYTIME TELEPHONE NO. (202) 326 2987
 ADDRESS 7111 SYCAMORE AVE TAKOMA PARK MD 20912
CITY STATE ZIP CODE
 CONTRACTOR NOT SELECTED TELEPHONE NO. ()
 CONTRACTOR REGISTRATION NUMBER _____
 AGENT FOR OWNER RICH MARKUS @ TRAVIS PRKE ARCHITECTS DAYTIME TELEPHONE NO. (301) 270 9222

LOCATION OF BUILDING/PREMISE
 HOUSE NUMBER 7111 STREET SYCAMORE AVE
 TOWN/CITY TAKOMA PARK NEAREST CROSS STREET ETHAN ALLEN AVE
 LOT 10/11 BLOCK 22 SUBDIVISION B.F. GILBERT'S ADDITION TO TAKOMA PARK
 LIBER J.A.No3 FOLIO 479 PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____
 1B. CONSTRUCTION COST ESTIMATE \$ 140,000
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Travis Price, Architect 12/10/16
 Signature of owner or authorized agent Date

APPROVED _____ For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: 961270001 DATE FILED: _____ DATE ISSUED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

3

MEMORANDUM

DATE: 4 June 1997
 TO: Robin Ziek
 Historic Preservation Planner
 Department of Parks and Planning
 1109 Spring Street, 8th Floor
 Silver Spring, MD 20910
 301-495-4570
 301-495-1307 fax
 FROM: Rich Markus
 RE: **HAWP REVISION** to Franchot/Maher Residence, 7111 Sycamore Avenue,
 Takoma Park (**HPC Case No. 37/3-97A**, Takoma Park Historic District)
 CONTENTS: Cover letter & 2 copies of revised drawings

Robin;

Included are drawings of the proposed revision of the Franchot/Maher Residence on 7111 Sycamore Avenue in Takoma Park. The original scheme is on file as HPC Case No. 37/3-97A, and was approved at the HPC meeting of January 8, 1997. We are submitting this proposed revision by June 4 to get on the docket for the HPC meeting of Wednesday, June 25.

The revision includes changes that have come about because of budgetary concerns. We have removed approximately 80 square feet of the second floor addition and have also removed the roof which covered the small deck over the entry.

After struggling with various ideas on reducing the budget, we feel that this revision is a very good solution and retains a respectful spirit to the original house. It also helps to differentiate the new construction from the existing and break up the mass of the addition.

The included drawings document the changes proposed with this revision. The existing drawings and photographs are included in the original submission. Please call if you require any additional drawings.

Thank you and we look forward to seeing you at the June 25 meeting.



BACK ELEVATION

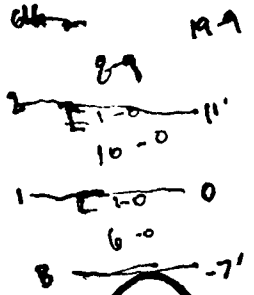
FRANCHO
10/3/96



WINDOWS AND PORTIONS OF WALL TO BE REMOVED - SEE FLOOR PLANS

TRICK 56 SLATS

= 17'-6"



1'-3" 11" 1'-6" 1'-4" 11"

SCALE ~ 1/4" = 1'-0"

Before Addition
EXISTING REAR ELEVATION

FRANCHO RESIDENCE

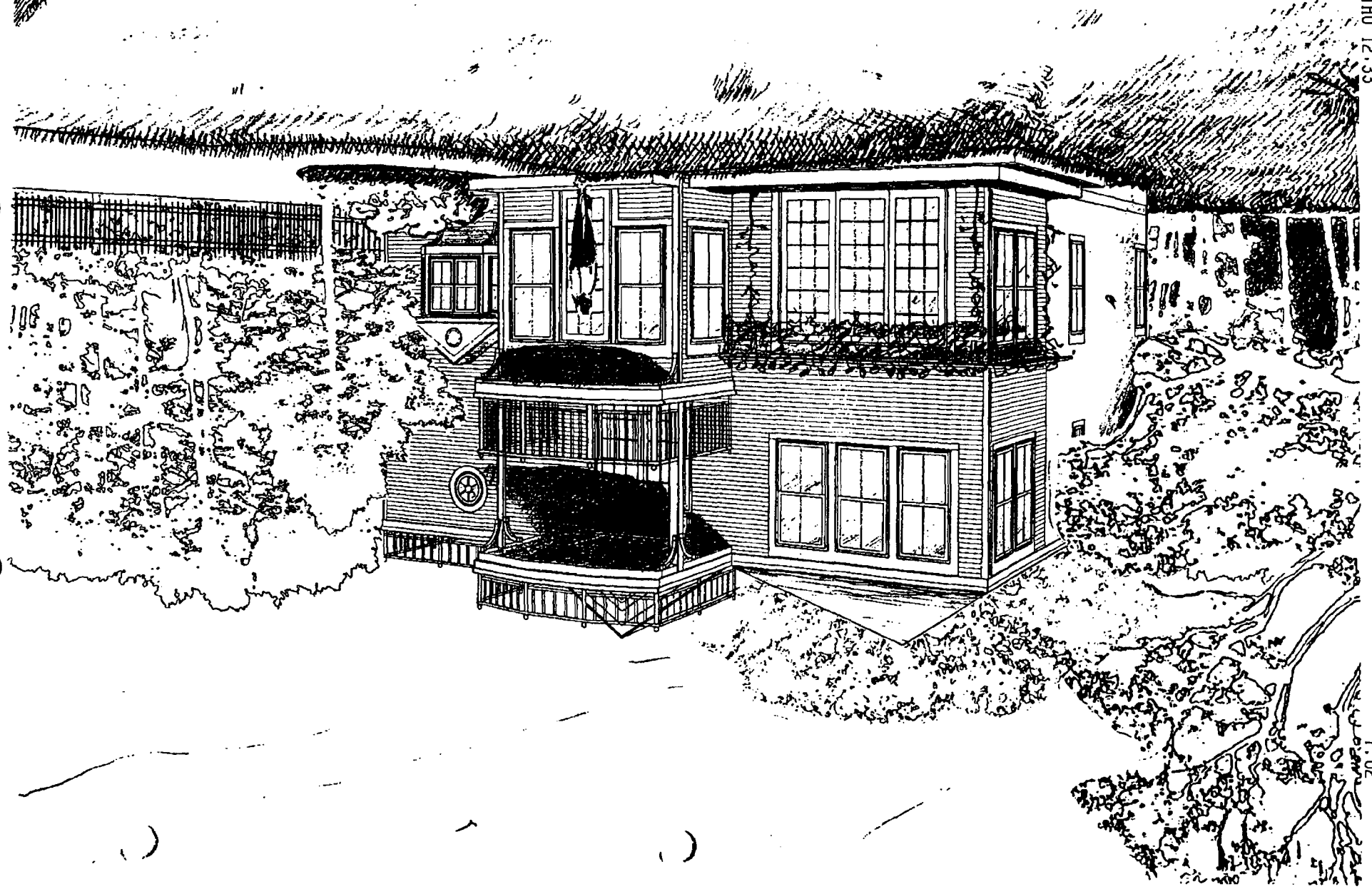


Slats = w/ 3 1/4" spacing

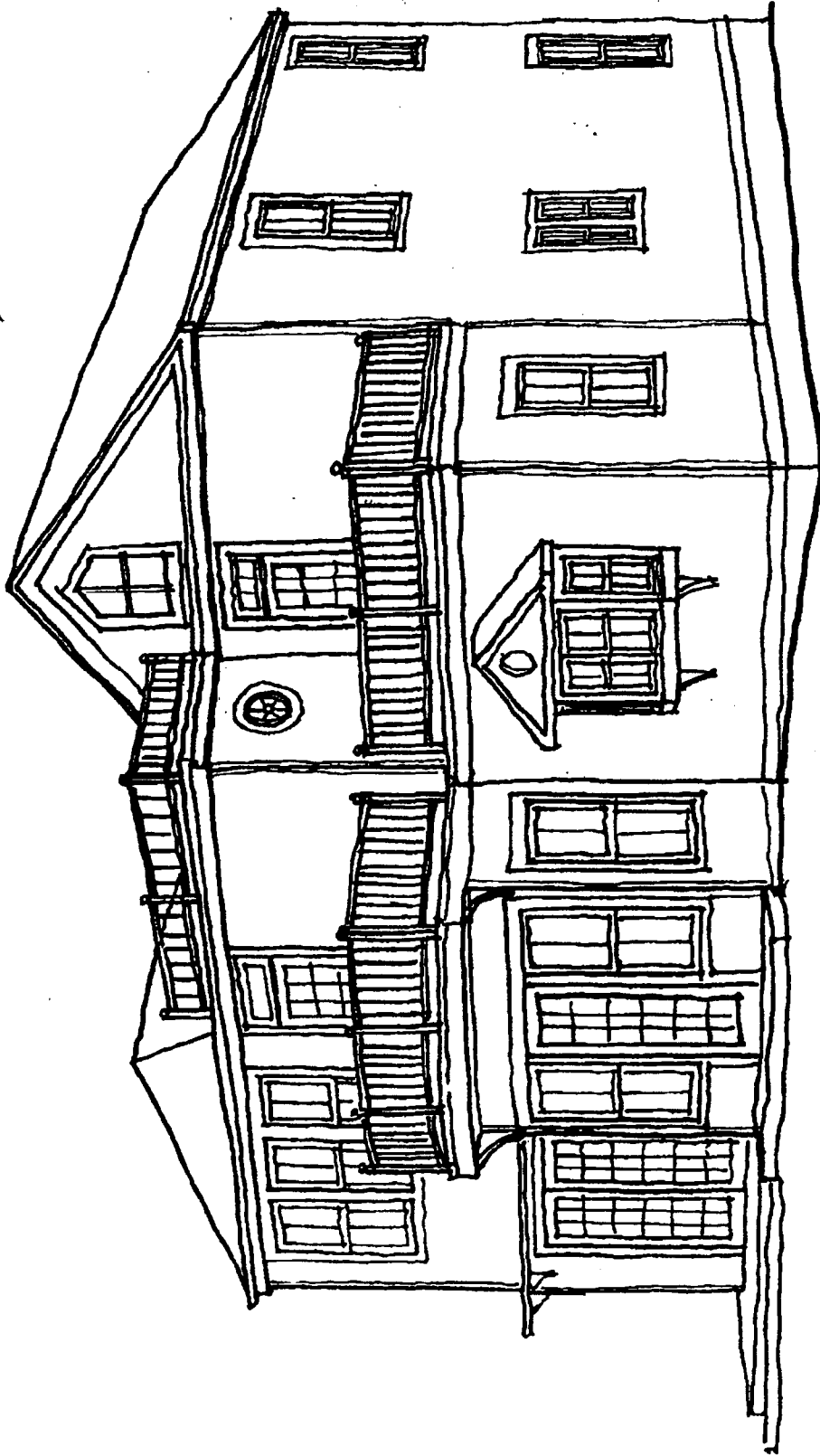
FRANCHOT RESIDENCE 1-8-97
Rear Elevation Proposal
As Approved 1-8-97

8

MAY-29-97 THU 12:33



P. 02



FRANCHOT REVISION
5-15-97

Rear Elevation
 Proposed
 Revision

10

TROVIS PRICE Architects
2050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-4079

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

1-28-97
REAR ELEVATION



EXISTING HOUSE BEYOND

NEW SIDING TO MATCH
EXISTING IN COLOR
AND STYLE TYPICAL

NEW WINDOWS AND TRIM
TO MATCH EXISTING IN
COLOR AND STYLE TYP.



1/8" = 1'-0"

11 DEC 96

A5

DRAWING NUMBER

11



TRAVIS PRICE architects
 7800 Grand Avenue Takoma Park, Maryland 20911 Tel: 301-270-4099

FRANCHOT RESIDENCE
 7111 SYCAMORE AVE
 TAKOMA PARK, MD

Proposed Revision
 6-25-97
 REAR ELEVATION



3/16" = 1'-0"

2 JUN 97

A15

12

TRAVIS PRICE architects
7650 Carroll Avenue Takoma Park, Maryland 20912 | 301-279-7222 | fax 301-279-0279

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

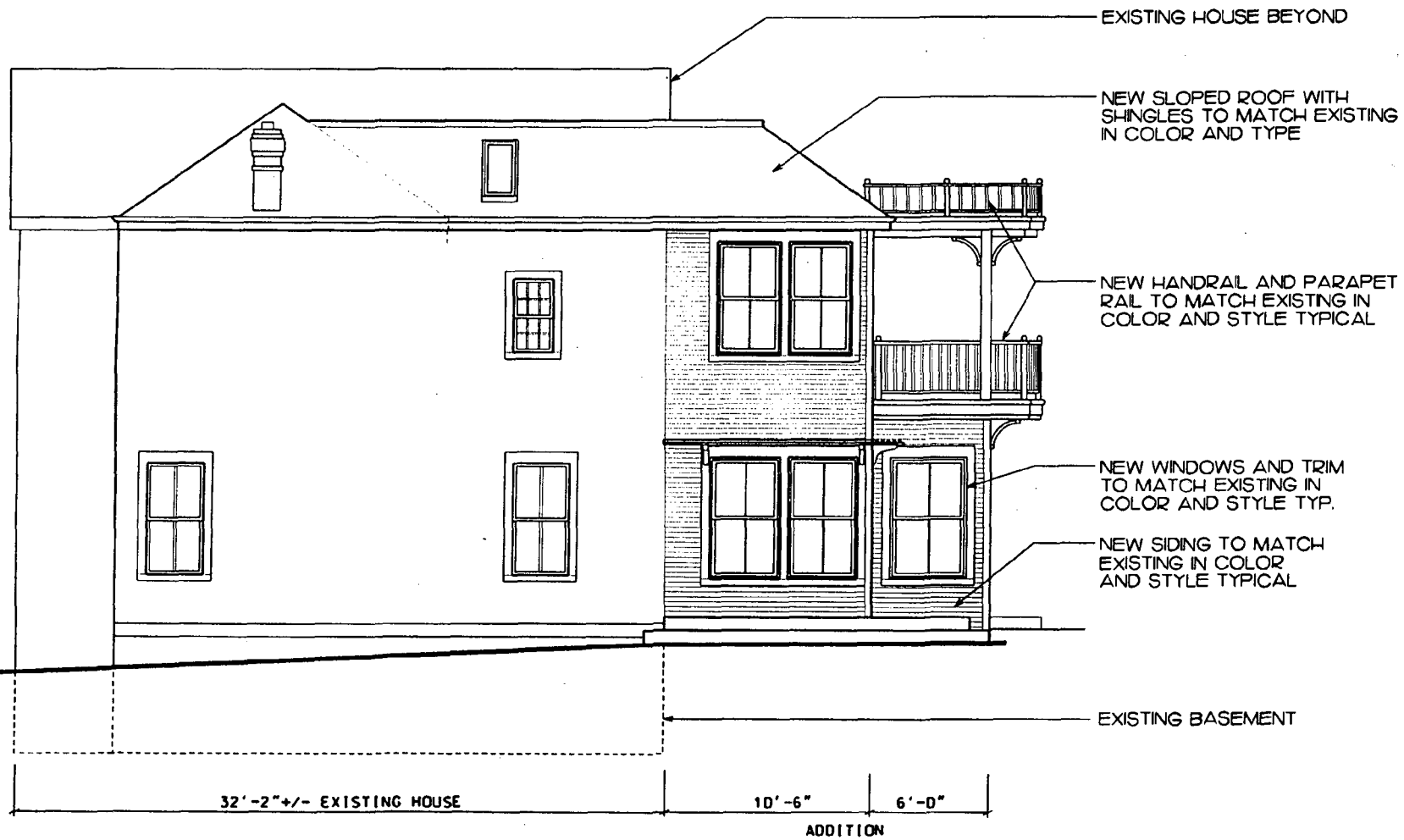
1-0-97
RIGHT SIDE ELEVATION

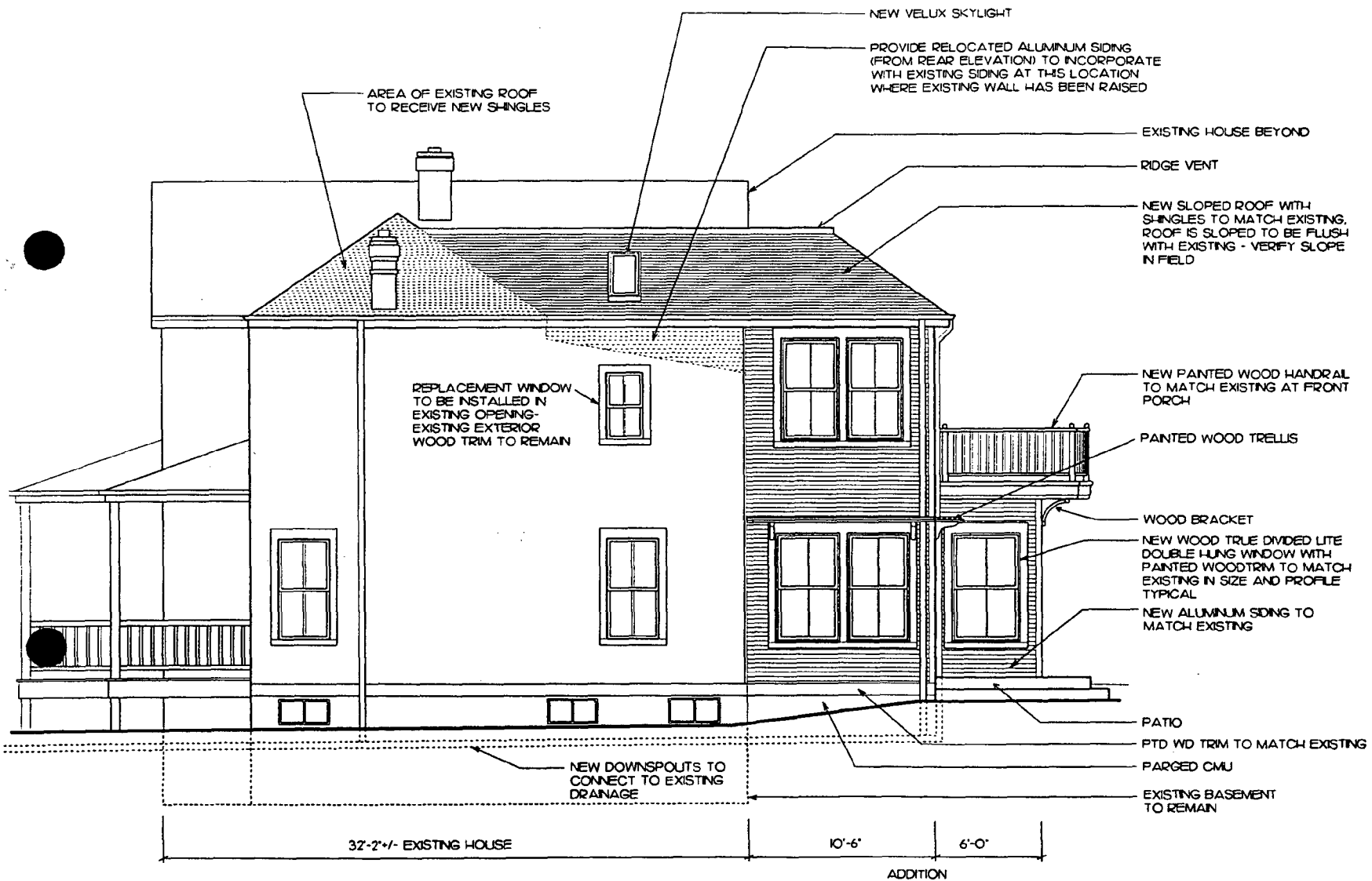
REVISION

1/8" = 1'-0" SCALE

11 DEC 96

A6
DRAWING NUMBER





13

TROVIS PRICE architects
7979-Cent Avenue Takoma Park, Maryland 20913 (301) 270-7222 fax (301) 270-7297

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

Proposed (Revision)

6-25-97
RIGHT SIDE ELEVATION



3/16" = 1'-0"

2 JUN 97

A14

14

TRAVIS PRICE architects
7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-0279

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

1-28-97
LEFT SIDE ELEVATION



1/8" = 1'-0"

11 DEC 96

A4
DRAWING NUMBER

EXISTING HOUSE BEYOND

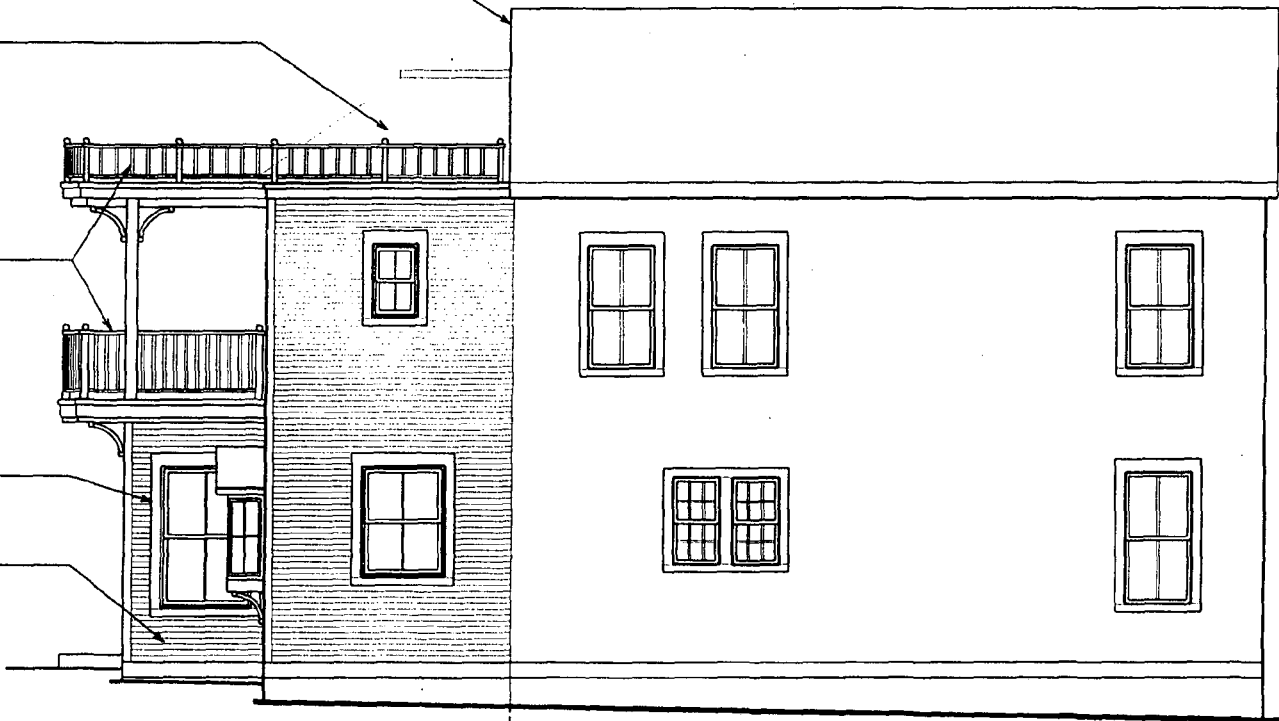
NEW SLOPED ROOF WITH SHINGLES TO MATCH EXISTING IN COLOR AND TYPE

NEW HANDRAIL AND PARAPET RAIL TO MATCH EXISTING IN COLOR AND STYLE TYPICAL

NEW WINDOWS AND TRIM TO MATCH EXISTING IN COLOR AND STYLE TYP.

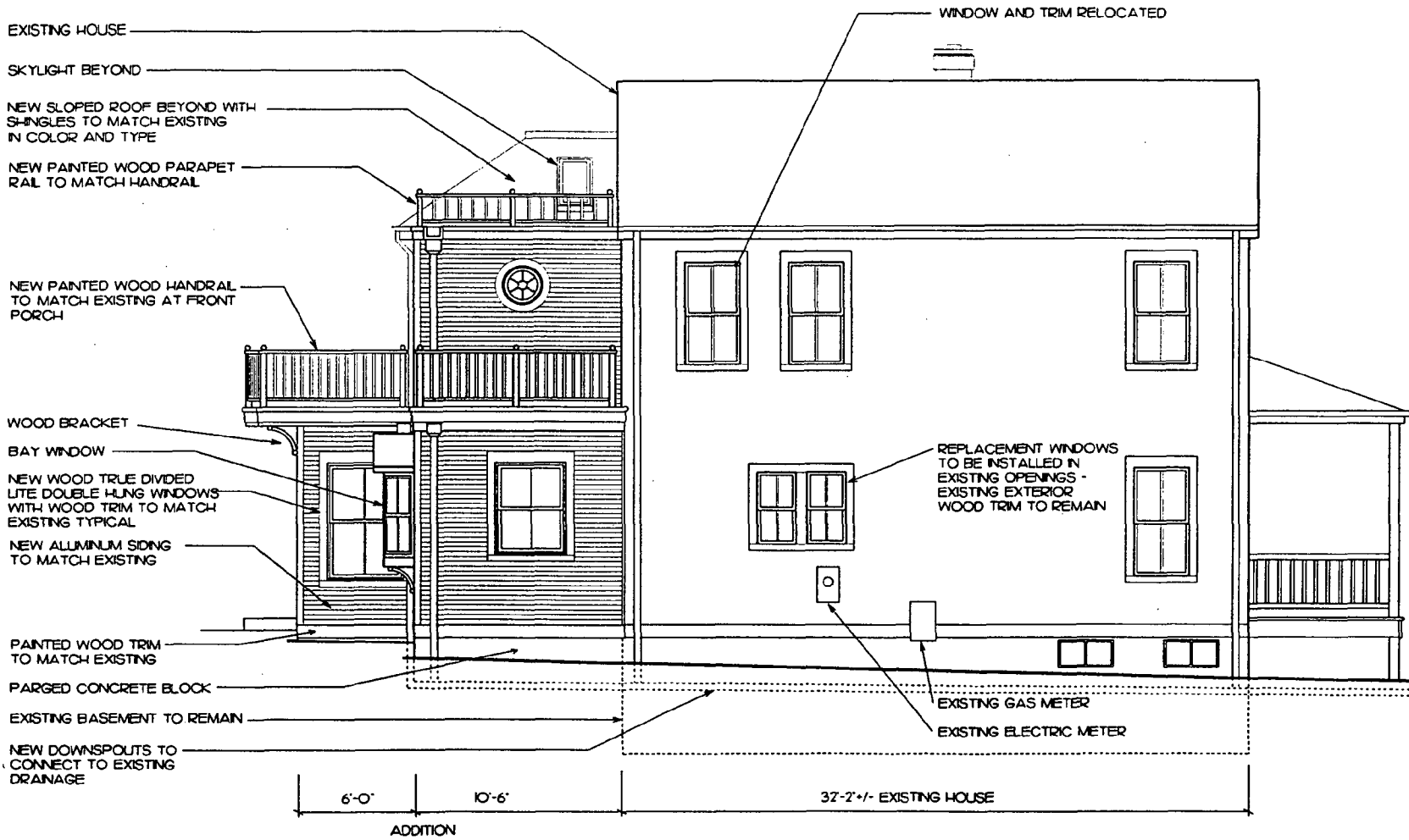
NEW SIDING TO MATCH EXISTING IN COLOR AND STYLE TYPICAL

EXISTING BASEMENT



6'-0" 10'-6" 32'-2" +/- EXISTING HOUSE
ADDITION

15



TRAVIS PRICE architects
7820 Card Avenue Takoma Park, Maryland 20912 (301) 270-9222 Fax: 301-270-0379

FRANCHOT RESIDENCE
7111 ST CAMORE AVE
TAKOMA PARK, MD

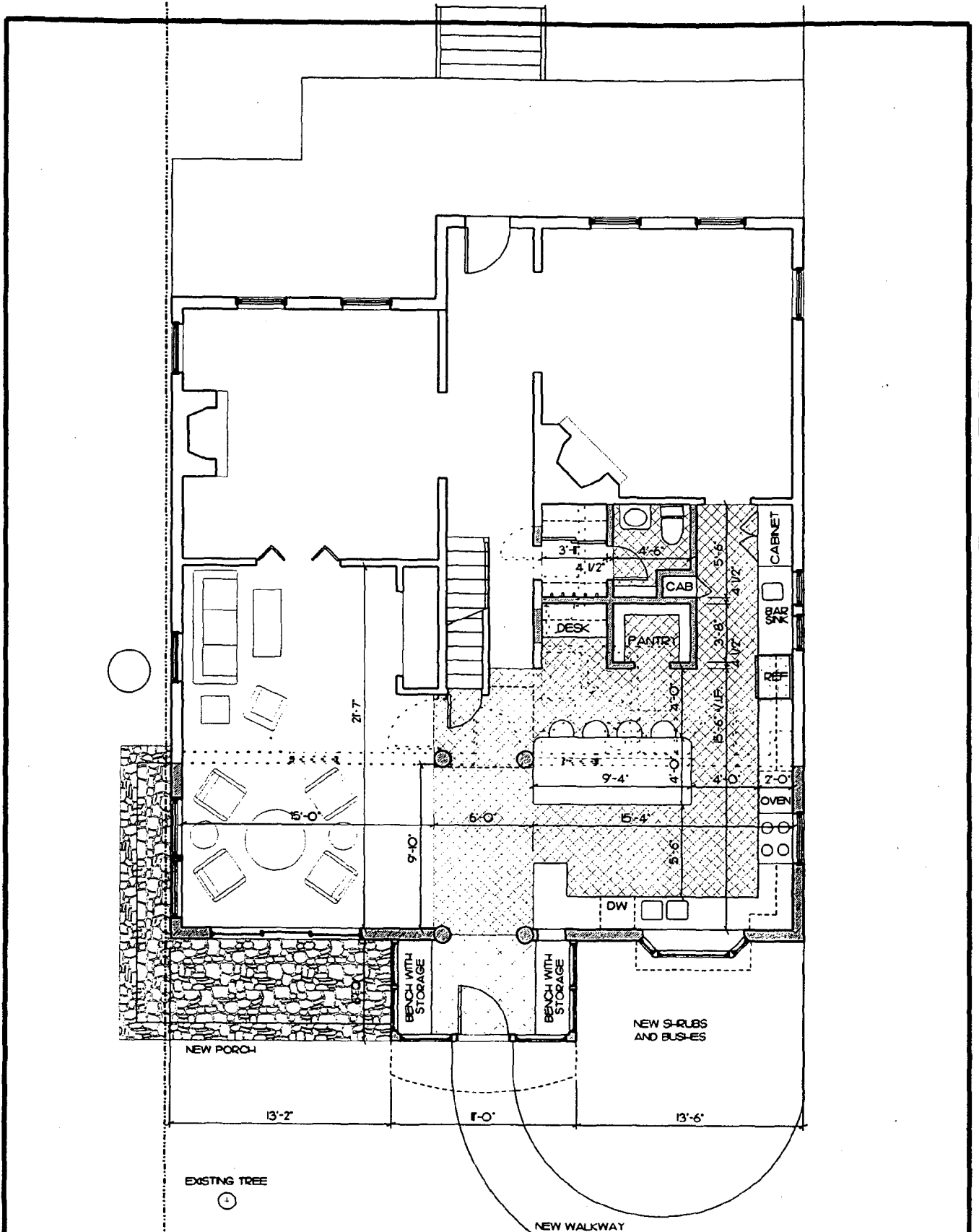
Proposed Revision
6-25-97
LEFT SIDE ELEVATION

6-25-97
LEFT SIDE ELEVATION

3/16" = 1'-0"

2 JUN 97

A16
DRAWING NUMBER



NOTE: DOTTED WALLS ARE EXISTING TO REMAIN. HATCHED WALLS ARE NEW

16

A2
DRAWING NUMBER

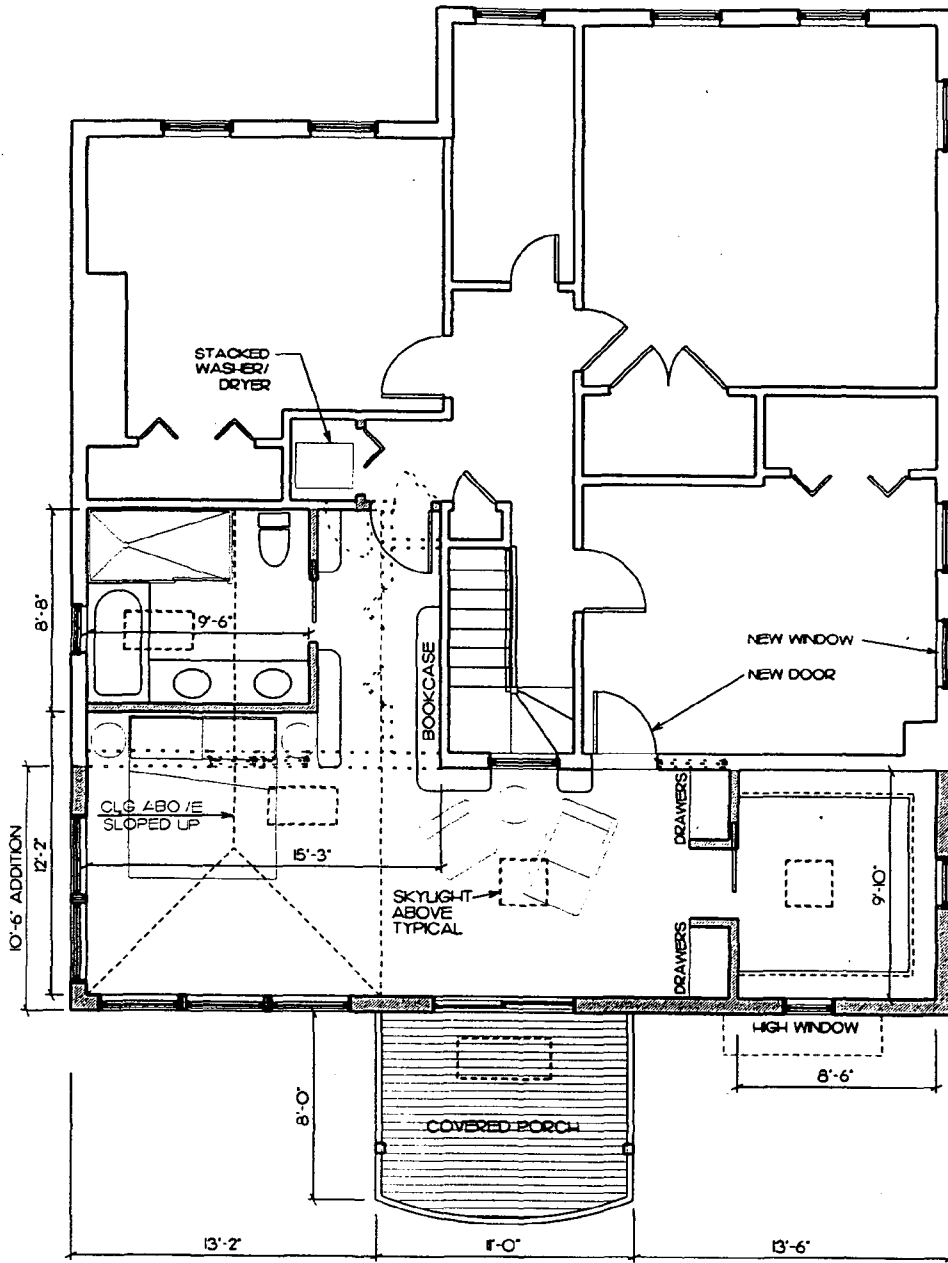
12 DEC 96
SCALE
1/8" = 1'-0"

REVISIONS

FIRST FLOOR PLAN
1-B-9

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

TRAVIS PRICE architects
7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-6509



NOTE: DOTTED WALLS ARE EXISTING TO BE REMOVED
 HATCHED WALLS ARE NEW

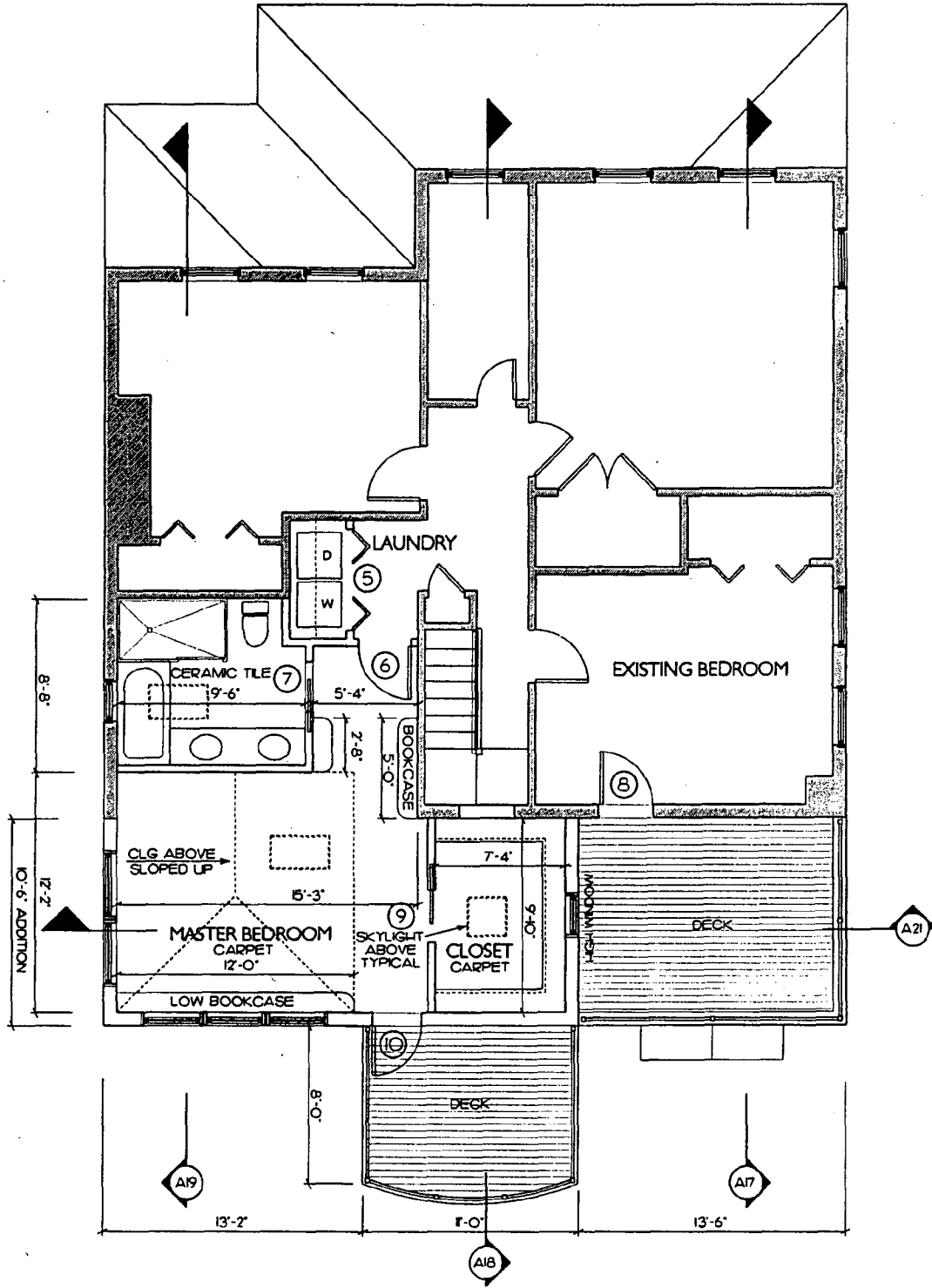
A3	12 DEC 96	1/8" = 1'-0"	REVISIONS
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1-8-97
 SECOND FLOOR PLAN

FRANCHOT RESIDENCE
 7111 SYCAMORE AVE
 TAKOMA PARK, MD

TROVIS PRICE architects
7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-8222 | fax 301-270-4209

17



A12
CHANGING PLAN SHEET

2 JAN 97
DATE

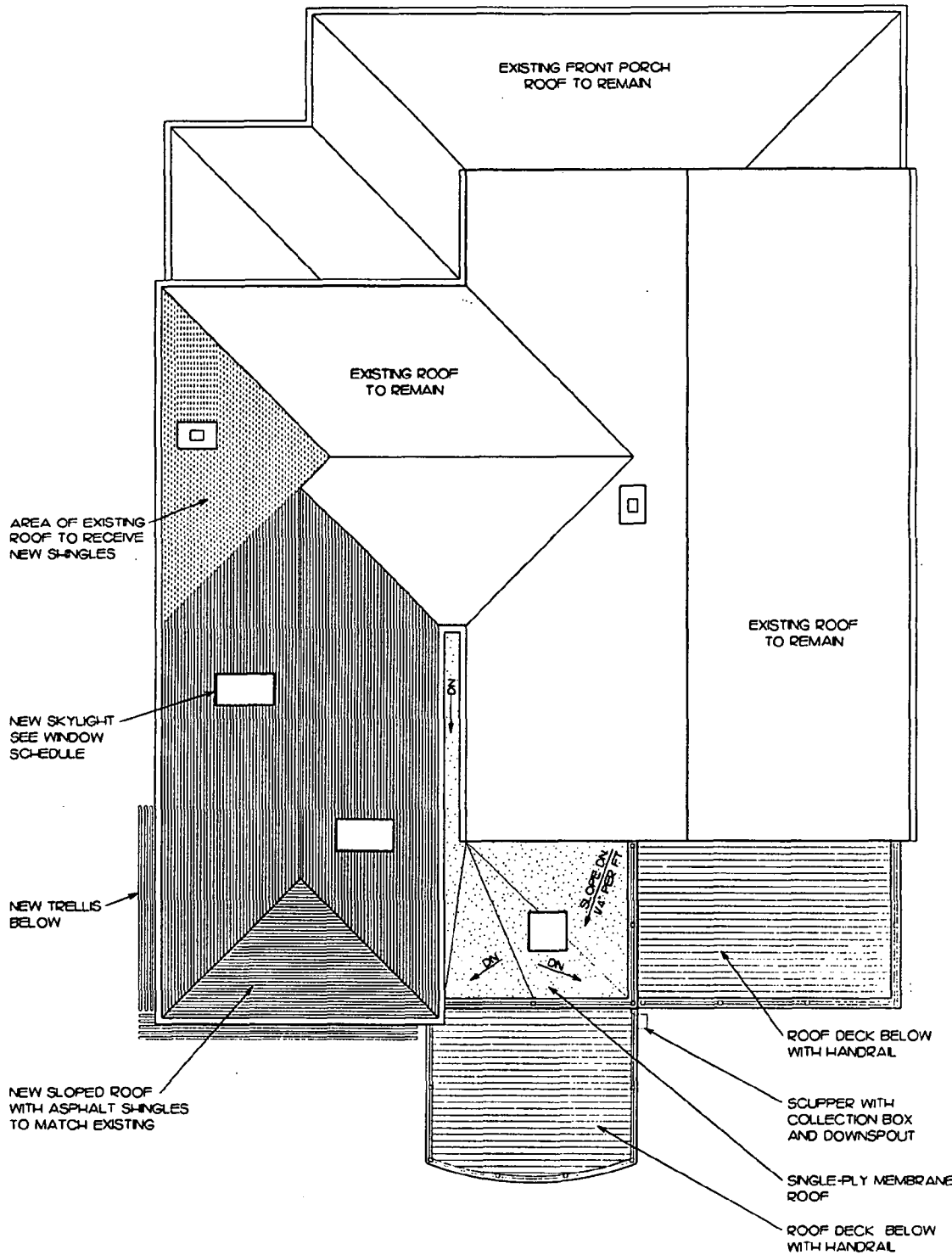
3/16" = 1'-0"
SCALE

6.25-97
 REVISED
 SECOND FLOOR PLAN

FRANCHOT RESIDENCE
 7111 SYCAMORE AVE
 TAKOMA PARK, MD

TRAVIS PRICE architects
7030 Carroll Avenue Takoma Park, Maryland 20913 | 301-270-9222 | fax 301-270-0209

18



Proposed

A13

2 JUN 97

3/16-1/4"



6.25.97
ROOF PLAN

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

TROVIS PRICE architects
2020 Cord Avenue Takoma Park, Maryland 20912 | 301-270-9222 | Fax: 301-270-0277

19



VIEW FROM SYCAMORE AVENUE



FRONT VIEW

A7
DRAWING NUMBER

11 DEC 96
DATE

NONE
SCALE

STREET PHOTOGRAPHS

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

TRAVIS PRICE architects
1950 Carroll Avenue, Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-4209

20



REAR VIEW



REAR VIEW DETAIL

A8	11 DEC 96	NONE	
DRAWING NUMBER	ISSUE	SCALE	REVISIONS

REAR PHOTOGRAPHS

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

TRAVIS PRICE architects
7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-4209

21

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

LIESEL HUFFER
7110 SYCAMORE AVE
TAKOMA PARK MD
20912

PALL WAPNER
7107 SYCAMORE AVE
TAKOMA PARK MD
20912

BILL ECKERT
7106 WOODLAND AVE
TAKOMA PARK MD
20912

FRAN BURWELL
7113 SYCAMORE AVE
TAKOMA PARK MD
20912

Rich Markus
Travis Price Architects
7050 Carroll Avenue
Takoma Park MD
20912

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7111 Sycamore Avenue

Meeting Date: 1/8/97

Resource: Takoma Park Historic District

HAWP: Alterations

Case Number: 37/3-97A

Tax Credit: None

Public Notice: 12/24/96

Report Date: 12/31/96

Applicant: Anne Mahr & Peter Franchot

Staff: Patricia Parker

PROPOSAL: Demolish existing rear enclosed porch, frame addition; RECOMMEND: Approve
Construct new rear 2-story addition & flagstone deck w/conditions

DATE OF CONSTRUCTION: ca. 1880-1900

SIGNIFICANCE: Contributing Resource in Takoma Park Historic District.

ARCHITECTURAL DESCRIPTION:

Two story Colonial Revival frame house with an enclosed rear porch and a one-story frame addition on the rear.

This proposal involves demolition of an existing enclosed porch, a one-story frame addition at the rear of a Colonial Revival frame house (c1880-1900), a contributing resource, in the Takoma Park Historic District and the closing of at grade cellar doors. Adjacent to this property is a Craftsman style bungalow, also a contributing resource, built in the early 20th century. Other bungalows, ca. 1910-1925 confront this property. No tree removal is involved in this proposal.

PROPOSAL:

The applicants propose to demolish two rear elements: (1) a one-story screen enclosed frame porch (approximately 16' wide x 6' deep) and (2) a one story gable roof frame addition (approximately 7'6" x 10') which appears on the rear facade of the screened-in porch. On the first floor of the structure, one door and three windows would be removed. On the second level, two windows in one oversized opening and one window in two single openings would be removed. An opening at the ground level which provides access to the basement would also be altered.

The applicant proposes to construct a larger two-story rear addition (tee-shaped in plan) in place of the elements at the rear of the house now proposed for removal. As proposed, the new addition would be 10'-6" deep x 37'-8" wide with an enclosed 6'0" deep x 11'0" wide entrance porch. This addition would encompass the entire width of the house and add approximately 396 square feet of living space on each of two floors to an existing footprint of 1152 square feet.

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The new addition would be totally contained in the rear yard and its roof line would be constructed below the existing roof. On the first floor of the rear elevation, an oversized opening containing three french doors would provide access to a new ell-shaped flagstone terrace 6'0" deep and 16'0" wide (approximate) at the rear with a more narrow return on the left side - approximately 3'0" wide x 9'0" long. Opposite of a new enclosed porch and on the same level a canted bay window would be constructed.

The enclosed porch would provide a principal entrance having a single door opening to the rear of the house and the porch would be constructed mostly of glass. At the second level the porch would become open with a new handrail and parapet rail at the roof level. This open porch, accessible via a new opening with configured french doors and transom above, would service a new master bedroom suite with separate built closets. The roof of the porch would also contain a skylight.

The new second-story roof would be pitched at one side (facing the rear on the left side of the house) and would have one skylight. On the flat portion of the roof another skylight would be constructed within this portion of the roof. All new materials, i.e. roof shingles, handrail and parapet rails, new windows and siding would match existing materials.

Also, at the second level two new openings at either side of the open porch would be constructed. On the left side of the rear facade the applicant proposes to construct an oversized opening containing three full-size windows. On the right side of the new porch, the applicant proposes to construct an ocular opening with configuration.

On the east elevation, the applicant would construct two new window openings - one smaller window at the second floor within a new built-in closet room and one slightly larger window to appear over the range within the kitchen. All windows would be configured as 2/2.

On the west elevation, the applicant would construct two oversized openings with two windows in each opening. Both windows would have 2/2 configuration. Above the windows on the first floor additional gingerbread detailing appears and wraps onto the rear elevation.

As proposed, access to the basement would be achieved internally. And new landscaping would be planted at the rear. No removal of trees would be involved in this proposal.

DISCUSSION:

Staff finds that the proposal is generally compatible with the historic resource in regard to size, massing, scale, location and architectural features and is consistent with historic preservation standards and guidelines and with the Takoma Park Historic District Guidelines. The proposal would alter a contributing resource but it would be totally contained in the rear yard, and it would have a lower roof line.

However, staff does feel that the new addition should be differentiated from the existing block through indentation at each side and all materials should be of wood. Staff would suggest that the applicant consider some simplification of detailing, i.e. elimination of bracketing above the windows and the parapet rail.

Staff feels that the architect has successfully worked within the guidelines of the Takoma Park Historic District, especially in confining the proposed changes to the rear of the property and below the existing roofline. The proposal is consistent with the Takoma Park Guidelines because the alterations would not be readily perceived from the public street. And the property is sizable - having a double lot of over 21,000 square feet - and the proposal would be substantially removed from other residential property at the rear of the subject property.

ISSUES:

1) **Removal of existing additions.** Staff feels that the removal of recent alterations at the rear of this contributing resource would be an acceptable alteration. Staff recommends approval.

2) **Removal of cellar doors/entrance.** Staff feels that although The Secretary of the Interior's Standards for Rehabilitation discourage the removal of historic materials or alteration of features and spaces that characterize a property, greater weight should be given to the continued good use of a resource. Staff recommends approval.

3) **Proposal of a seamless addition.** Staff feels that the addition, as proposed, should be differentiated from existing structure. Staff would recommend that an indentation of 6" min. occur at each side. Staff recognizes that although the addition would be confined to the rear of the house, a seamless addition would be inconsistent with The Secretary of the Interior's Standards for Rehabilitation. Specifically,

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

4) **Use of an ocular window on the second floor and a modern canted bay window form.**

Staff feels that these forms are inconsistent with the style of the resource. Staff feels that the ocular form becomes purely decorative due to its positioning and the flat roof form above. The architect has also chosen to utilize a canted bay window, which if of different sizing and elimination of decoration in the pediment could possibly be successful.

But these forms appear at the rear of the house. And the Takoma Park Guidelines states that contributing resources should receive a more lenient level of design review than those structures that have been classified as outstanding.... This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing.

And the Guidelines do state that "...contributing resources should respect the predominant architectural style of the resource. The HPC may want to discuss these features with the applicant.

5) **Simplification of ornamentation.**

Staff feels that generally the proposal is good. But staff is concerned about the abundant use of heavy detailing. Staff feels that such details as the parapet rail and bracketing above windows and french doors continuous on two elevations is unnecessary. Staff feels that the use of this ornamentation is incompatible with the style of the house.

Staff also feels that all new windows and doors and siding should be made of wood. All new openings should be framed of wood and wood windows and doors should be made using true divided lites.

Staff feels that this proposal is generally consistent with the Takoma Park Historic District Guidelines. When reviewing HAWP's on contributing resources, the Guidelines state:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predomi-

nant architectural features of the resource; exact replications of existing details and features is, however, not required; and

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited; and

While additions should be compatible, they are not required to be replicative of earlier architectural styles;
and

Original size and shape of windows and door openings should be maintained, where feasible; and

Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.

STAFF RECOMMENDATION

With the following conditions, staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A-8(b)1:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and with the Secretary of the Interior's Standards for Rehabilitation #1, #2 and #9:

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment; and

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided; and

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

and with the following conditions:

Conditions:

- 1) The new addition shall be indented from existing sidewalls 6" min. on each side.
- 2) All new windows and doors shall be wood with true divided lites and set in wood framing.
- 3) All new trim shall be painted wood, with dimensions and profiles to match the existing house.
- 4) New wood railings shall be painted and have a top and bottom rail with inset pickets. Spacing of the balusters shall match spacing of balusters on the existing porch rail.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7111 Sycamore Avenue

Meeting Date: 1/8/97

Resource: Takoma Park Historic District

HAWP: Alterations

Case Number: 37/3-97A

Tax Credit: None

Public Notice: 12/24/96

Report Date: 12/31/96

Applicant: Anne Mahr & Peter Franchot

Staff: Patricia Parker

PROPOSAL: Demolish existing rear enclosed porch, frame addition; RECOMMEND: Approve
Construct new rear 2-story addition & flagstone deck w/conditions

DATE OF CONSTRUCTION: ca.1880-1900

SIGNIFICANCE: Contributing Resource in Takoma Park Historic District.

ARCHITECTURAL DESCRIPTION:

Two story Colonial Revival frame house with an enclosed rear porch and a one-story frame addition on the rear.

This proposal involves demolition of an existing enclosed porch, a one-story frame addition at the rear of a Colonial Revival frame house (c1880-1900), a contributing resource, in the Takoma Park Historic District and the closing of at grade cellar doors. Adjacent to this property is a Craftsman style bungalow, also a contributing resource, built in the early 20th century. Other bungalows, ca.1910-1925 confront this property. No tree removal is involved in this proposal.

PROPOSAL:

The applicants propose to demolish two rear elements:(1) a one-story screen enclosed frame porch (approximately 16' wide x 6' deep) and (2) a one story gable roof frame addition (approximately 7'6" x 10') which appears on the rear facade of the screened-in porch. On the first floor of the structure, one door and three windows would be removed. On the second level, two windows in one oversized opening and one window in two single openings would be removed. An opening at the ground level which provides access to the basement would also be altered.

The applicant proposes to construct a larger two-story rear addition (tee-shaped in plan) in place of the elements at the rear of the house now proposed for removal. As proposed, the new addition would be 10'-6" deep x 37'-8" wide with an enclosed 6'0" deep x 11'0" wide entrance porch. This addition would encompass the entire width of the house and add approximately 396 square feet of living space on each of two floors to an existing footprint of 1152 square feet.

The new addition would be totally contained in the rear yard and its roof line would be constructed below the existing roof. On the first floor of the rear elevation, an oversize opening containing three french doors would provide access to a new ell-shaped flagstone terrace 6'0" deep and 16'0" wide (approximate) at the rear with a more narrow return on the left side - approximately 3'0" wide x 9'0" long. Opposite of a new enclosed porch and on the same level a canted bay window would be constructed.

The enclosed porch would provide a principal entrance having a single door opening to the rear of the house and the porch would be constructed mostly of glass. At the second level the porch would become open with a new handrail and parapet rail at the roof level. This open porch, accessible via a new opening with configured french doors and transom above, would service a new master bedroom suite with separate built closets. The roof of the porch would also contain a skylight.

The new second-story roof would be pitched at one side (facing the rear on the left side of the house) and would have one skylight. On the flat portion of the roof another skylight would be constructed within this portion of the roof. All new materials, i.e. roof shingles, handrail and parapet rails, new windows and siding would match existing materials.

Also, at the second level two new openings at either side of the open porch would be constructed. On the left side of the rear facade the applicant proposes to construct an oversize opening containing three full-size windows. On the right side of the new porch, the applicant proposes to construct an ocular opening with configuration.

On the east elevation, the applicant would construct two new window openings - one smaller window at the second floor within a new built-in closet room and one slightly larger window to appear over the range within the kitchen. All windows would be configured as 2/2.

On the west elevation, the applicant would construct two oversize openings with two windows in each opening. Both windows would have 2/2 configuration. Above the windows on the first floor additional gingerbread detailing appears and wraps onto the rear elevation.

As proposed, access to the basement would be achieved internally. And new landscaping would be planted at the rear. No removal of trees would be involved in this proposal.

DISCUSSION:

Staff finds that the proposal is generally compatible with the historic resource in regard to size, massing, scale, location and architectural features and is consistent with historic preservation standards and guidelines and with the Takoma Park Historic District Guidelines. The proposal would alter a contributing resource but it would be totally contained in the rear yard, and it would have a lower roof line.

However, staff does feel that the new addition should be differentiated from the existing block through indentation at each side and all materials should be of wood. Staff would suggest that the applicant consider some simplification of detailing, i.e. elimination of bracketing above the windows and the parapet rail.

Staff feels that the architect has successfully worked within the guidelines of the Takoma Park Historic District, especially in confining the proposed changes to the rear of the property and below the existing roofline. The proposal is consistent with the Takoma Park Guidelines because the alterations would not be readily perceived from the public street. And the property is sizable - having a double lot of over 21,000 square feet - and the proposal would be substantially removed from other residential property at the rear of the subject property.

ISSUES:

1) **Removal of existing additions.** Staff feels that the removal of recent alterations at the rear of this contributing resource would be an acceptable alteration. Staff recommends approval.

2) **Removal of cellar doors/entrance.** Staff feels that although The Secretary of the Interior's Standards for Rehabilitation discourage the removal of historic materials or alteration of features and spaces that characterize a property, greater weight should be given to the continued good use of a resource. Staff recommends approval.

3) **Proposal of a seamless addition.** Staff feels that the addition, as proposed, should be differentiated from existing structure. Staff would recommend that an indentation of 6" min. occur at each side. Staff recognizes that although the addition would be confined to the rear of the house, a seamless addition would be inconsistent with The Secretary of the Interior's Standards for Rehabilitation. Specifically,

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

4) **Use of an ocular window on the second floor and a modern canted bay window form.**

Staff feels that these forms are inconsistent with the style of the resource. Staff feels that the ocular form becomes purely decorative due to its positioning and the flat roof form above. The architect has also chosen to utilize a canted bay window, which if of different sizing and elimination of decoration in the pediment could possibly be successful.

But these forms appear at the rear of the house. And the Takoma Park Guidelines states that contributing resources should receive a more lenient level of design review than those structures that have been classified as outstanding.... This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing.

And the Guidelines do state that "...contributing resources should respect the predominant architectural style of the resource. The HPC may want to discuss these features with the applicant.

5) **Simplification of ornamentation.**

Staff feels that generally the proposal is good. But staff is concerned about the abundant use of heavy detailing. Staff feels that such details as the parapet rail and bracketing above windows and french doors continuous on two elevations is unnecessary. Staff feels that the use of this ornamentation is incompatible with the style of the house.

Staff also feels that all new windows and doors and siding should be made of wood. All new openings should be framed of wood and wood windows and doors should be made using true divided lites.

Staff feels that this proposal is generally consistent with the Takoma Park Historic District Guidelines. When reviewing HAWP's on contributing resources, the Guidelines state:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predomi-

nant architectural features of the resource; exact replications of existing details and features is, however, not required; and

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited; and

While additions should be compatible, they are not required to be replicative of earlier architectural styles; and

Original size and shape of windows and door openings should be maintained, where feasible; and

Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.

STAFF RECOMMENDATION

With the following conditions, staff recommends that the Commission find the proposal **consistent** with the purposes of Chapter 24A-8(b)1:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and with the Secretary of the Interior's Standards for Rehabilitation #1, #2 and #9:

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment; and

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided; and

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

and with the following conditions:

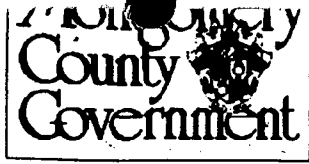
Conditions:

- 1) The new addition shall be indented from existing sidewalls 6" min. on each side.
- 2) All new windows and doors shall be wood with true divided lites and set in wood framing.
- 3) All new trim shall be painted wood, with dimensions and profiles to match the existing house.
- 4) New wood railings shall be painted and have a top and bottom rail with inset pickets. Spacing of the balusters shall match spacing of balusters on the existing porch rail.

5) All tree and shrub specimens immediate to the area of new construction shall have temporary fencing installed around the drip line during the construction period. The fencing shall be maintained throughout construction.

6) All skylights shall be flat with low curb.

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.



Division of Development Services and Regulation
250 Hungerford Drive, Rockville, Maryland 20850
(301) 217-6370

Historic Preservation Commission

(301) 495-4570

APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON RICH MARKUS
 DAYTIME TELEPHONE NO. (301) 270 9222
 TAX ACCOUNT # 008-40-4943
 NAME OF PROPERTY OWNER ANNE MAHR, PETER FRANCHOT DAYTIME TELEPHONE NO. (202) 326 2987
 ADDRESS 7111 SYCAMORE AVE TAKOMA PARK MD 20912
CITY STATE ZIP CODE
 CONTRACTOR NOT SELECTED TELEPHONE NO. ()
 CONTRACTOR REGISTRATION NUMBER _____
 AGENT FOR OWNER RICH MARKUS @ TRAVIS PRICE ARCHITECTS DAYTIME TELEPHONE NO. (301) 270 9222

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 7111 STREET SYCAMORE AVE
 TOWN/CITY TAKOMA PARK NEAREST CROSS STREET ETHAN ALLEN AVE
 LOT 10/11 BLOCK 22 SUBDIVISION B.F. GILBERT'S ADDITION TO TAKOMA PARK
 LIBER J.A.No.3 FOLIO 479 PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____
 1B. CONSTRUCTION COST ESTIMATE \$ \$ 140,000
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Travis Price, Architect 12/18/96
Signature of owner or authorized agent Date

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

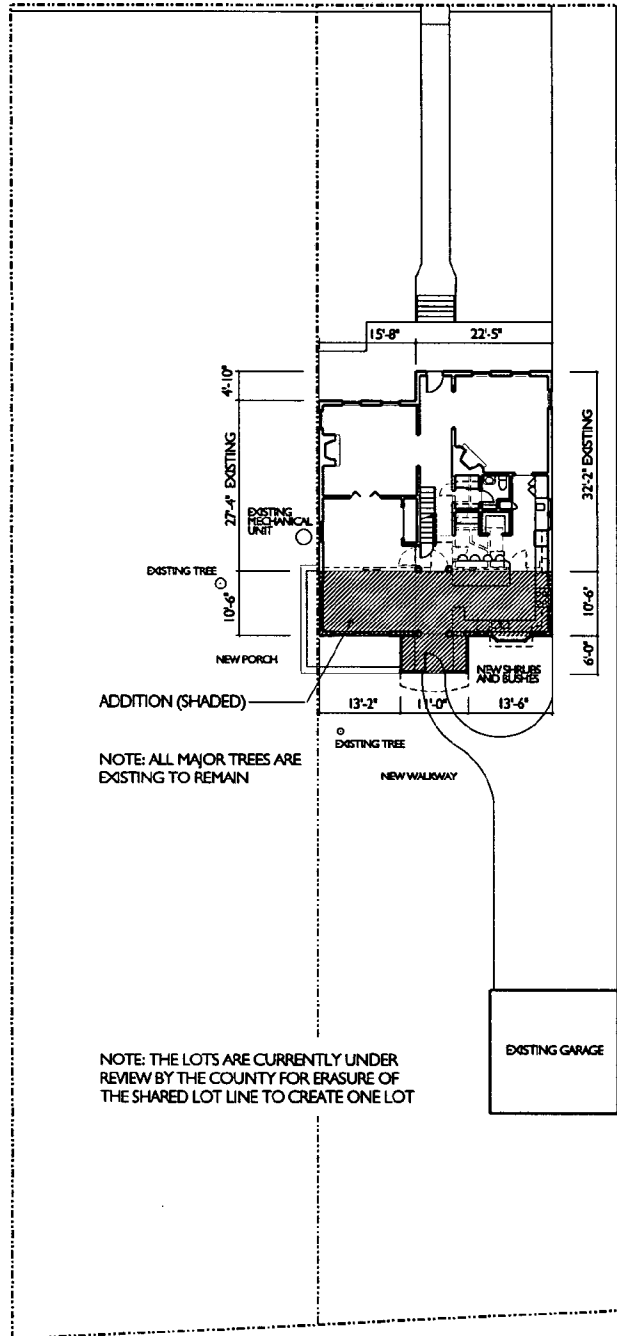
LIESEL HUFFER
7110 SYCAMORE AVE
TAKOMA PARK MD
20912

PAUL WAPNER
7107 SYCAMORE AVE
TAKOMA PARK MD
20912

BILL ECKERT
7106 WOODLAND AVE
TAKOMA PARK MD
20912

FRAN BURWELL
7113 SYCAMORE AVE
TAKOMA PARK MD
20912

SYCAMORE AVENUE



NOTE: ALL MAJOR TREES ARE EXISTING TO REMAIN

NOTE: THE LOTS ARE CURRENTLY UNDER REVIEW BY THE COUNTY FOR ERASURE OF THE SHARED LOT LINE TO CREATE ONE LOT

AI
DRAWING NUMBER

11 DEC 96
ISSUE

1" = 30'-0"
SCALE

REVISIONS

SITE PLAN

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

TRAVIS PRICE architects
7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-4209



TROVIS PRICE architects
 7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax: 301-270-4209

7

FRANCHOT RESIDENCE
 7111 SYCAMORE AVE
 TAKOMA PARK, MD

REAR ELEVATION

NO.	REVISIONS

1/8" = 1'-0" SCALE

11 DEC 96

A5

DRAWING NUMBER

TRAVIS PRICE architects
7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-4099

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

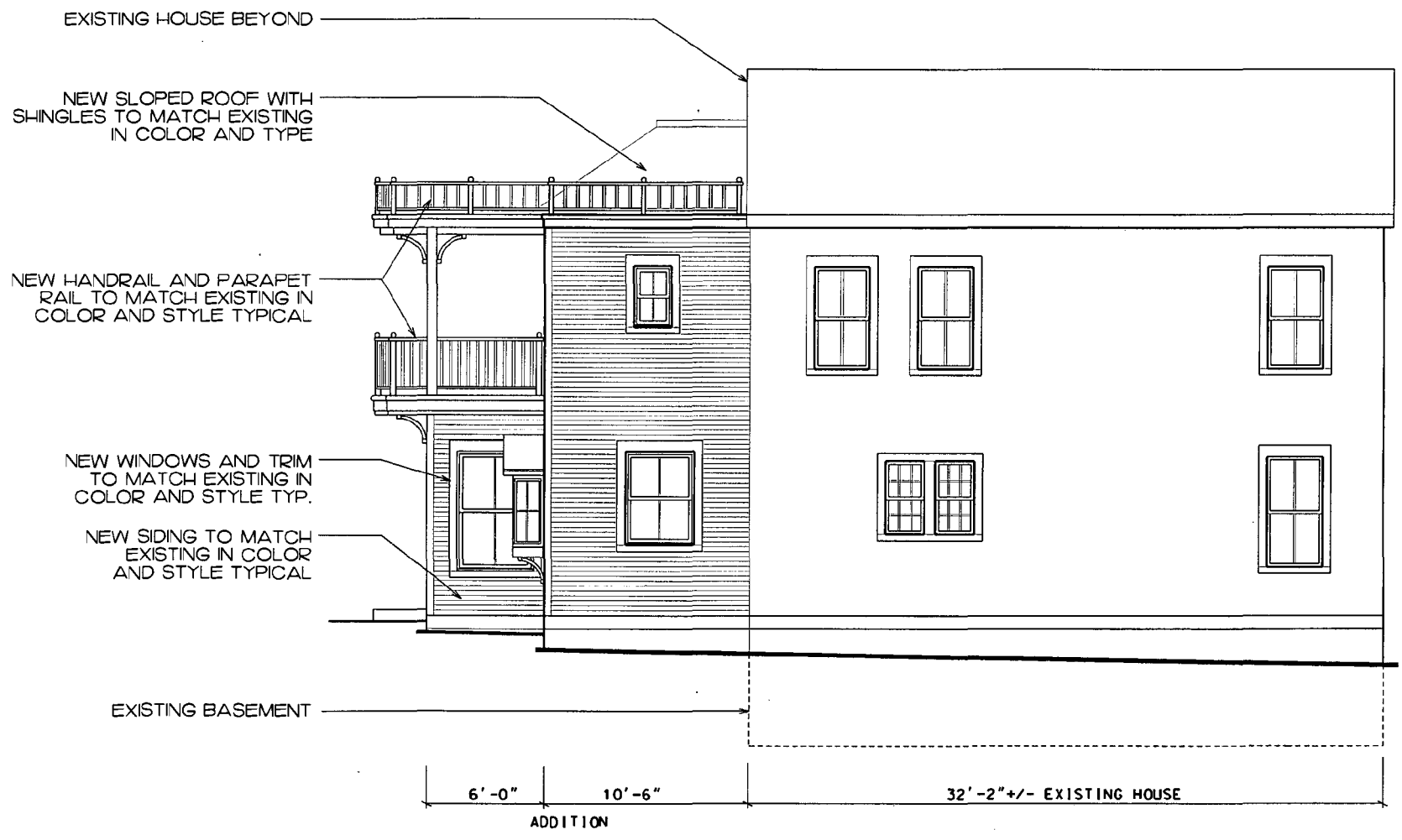
LEFT SIDE ELEVATION

RAYMOND

1/8" = 1'-0" SCALE

11 DEC 96

A4
DRAWING NUMBER



EXISTING HOUSE BEYOND

NEW SLOPED ROOF WITH SHINGLES TO MATCH EXISTING IN COLOR AND TYPE

NEW HANDRAIL AND PARAPET RAIL TO MATCH EXISTING IN COLOR AND STYLE TYPICAL

NEW WINDOWS AND TRIM TO MATCH EXISTING IN COLOR AND STYLE TYP.

NEW SIDING TO MATCH EXISTING IN COLOR AND STYLE TYPICAL

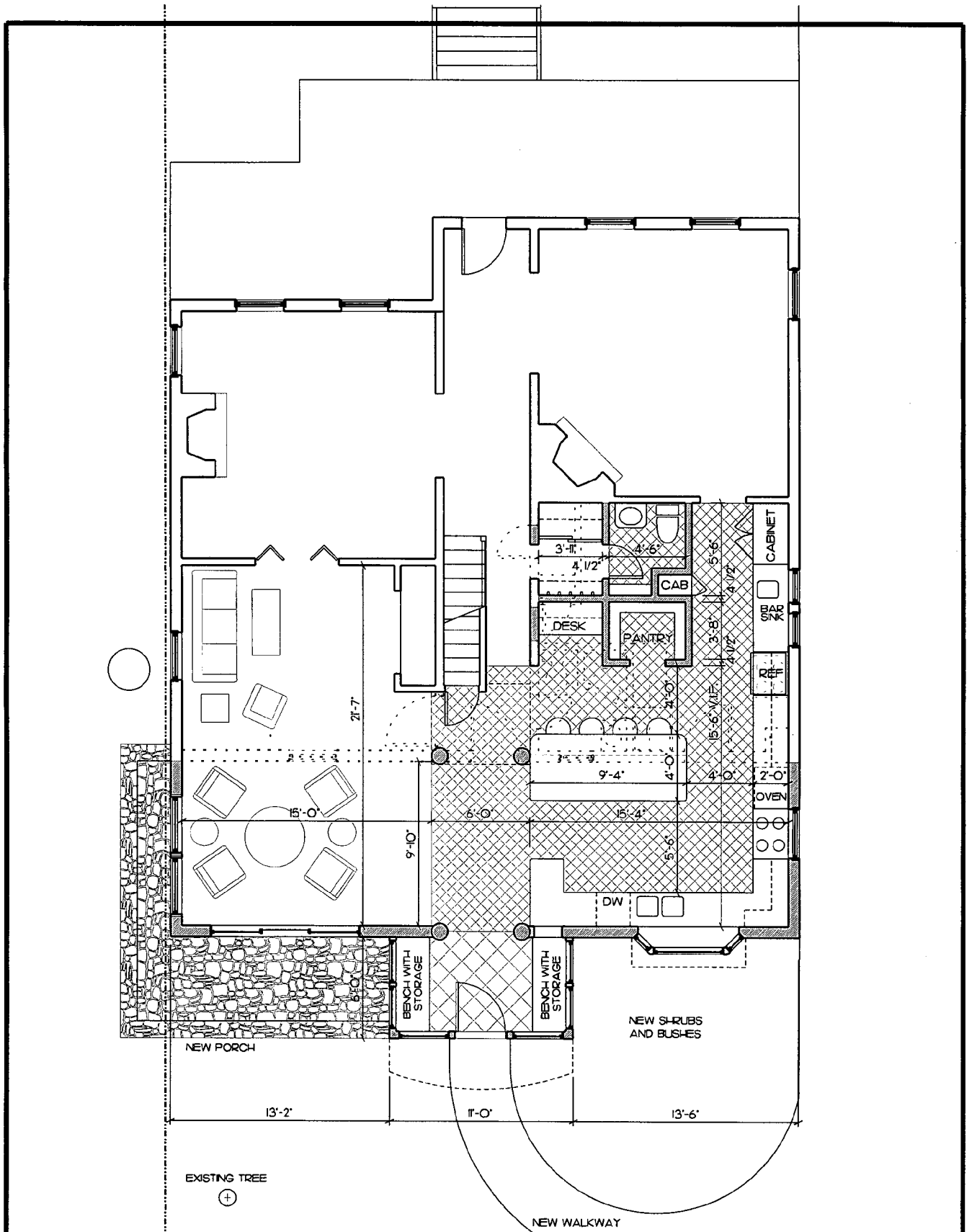
EXISTING BASEMENT

6'-0"

10'-6"

ADDITION

32'-2" +/- EXISTING HOUSE



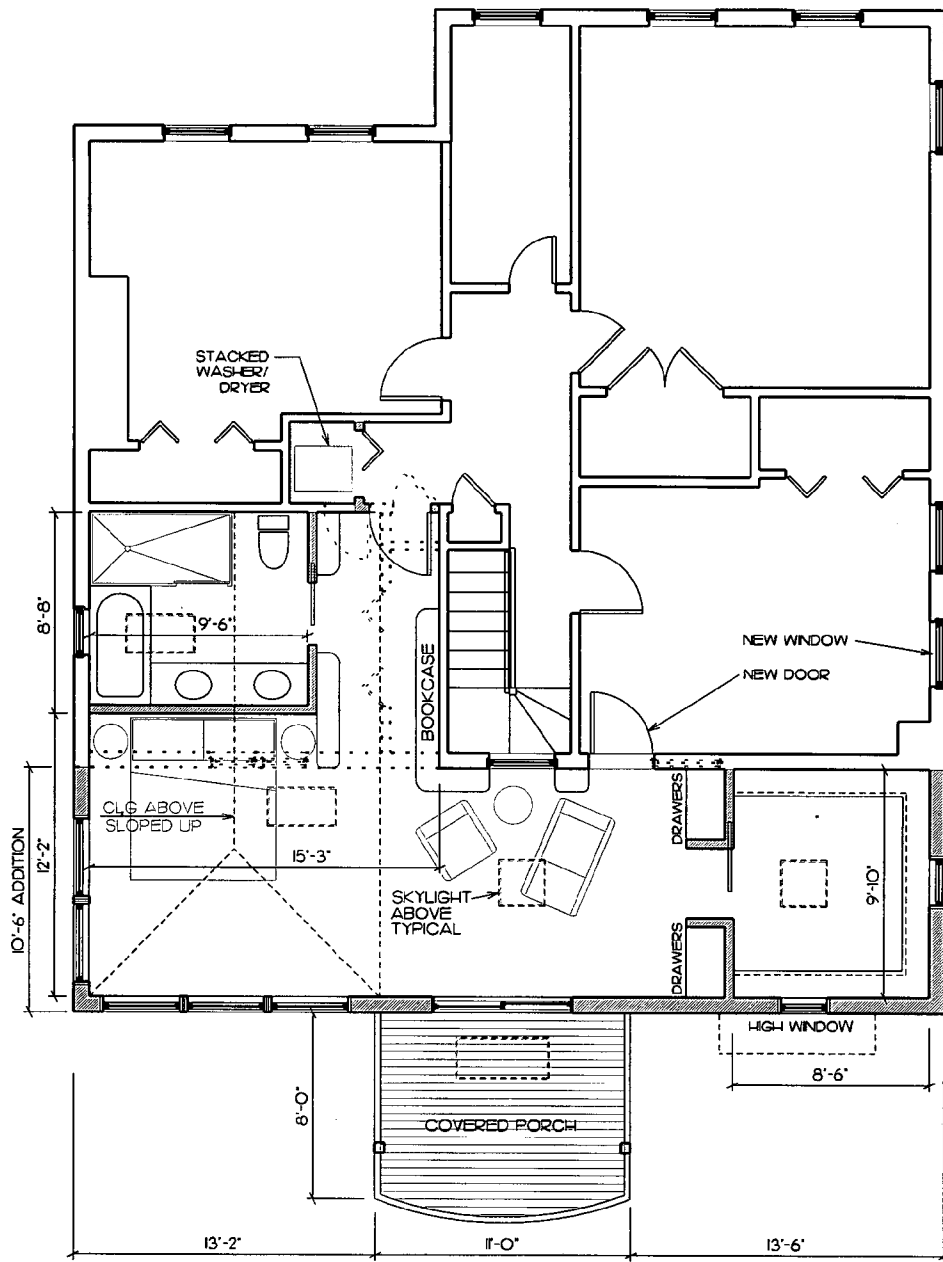
NOTE: DOTTED WALLS ARE EXISTING TO REMAIN, HATCHED WALLS ARE NEW

A2	12 DEC 96	1/8" = 1'-0"	REVISIONS
DRAWING NUMBER	ISSUE	SCALE	REVISIONS

FIRST FLOOR PLAN

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

TRAVIS PRICE architects
7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-4209



NOTE: DOTTED WALLS ARE EXISTING TO BE REMOVED
 HATCHED WALLS ARE NEW

A3
 DRAWING NUMBER

12 DEC 96
 ISSUE

1/8" = 1'-0"
 SCALE

REVISIONS

SECOND FLOOR PLAN

FRANCHOT RESIDENCE
 7111 SYCAMORE AVE
 TAKOMA PARK, MD

TRAVIS PRICE architects
 7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-4209



BACK ELEVATION

FRANCHOT
10/3/96

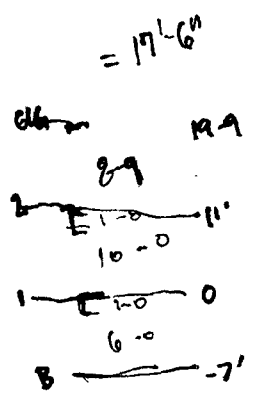


WINDOWS AND
PORTION OF
WALL TO BE
REMOVED -
SEE FLOOR
PLANS

TRIAL
56 SLATS

EXISTING
PORCH
TO BE
REMOVED

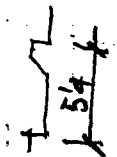
EXISTING
SHED
TO BE
REMOVED



SCALE ~ 1/4" = 1'-0"

EXISTING REAR
ELEVATION

FRANCHOT
RESIDENCE



slats =
3 1/4"
w/ 2 1/2" spacing

(12)



VIEW FROM SYCAMORE AVENUE



FRONT VIEW

A7	11 DEC 96	NONE	
DRAWING NUMBER	ISSUE	SCALE	REVISIONS

STREET PHOTOGRAPHS

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

TRAVIS PRICE architects
7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-4209



REAR VIEW



REAR VIEW DETAIL

A8	11 DEC 96	NONE	
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REAR PHOTOGRAPHS

FRANCHOT RESIDENCE
7111 SYCAMORE AVE
TAKOMA PARK, MD

TRAVIS PRICE architects

7050 Carroll Avenue Takoma Park, Maryland 20912 | 301-270-9222 | fax 301-270-0059