

37/3-97W 7126 Sycamore Avenue
(Takoma Park Historic District)

P

7126 Sycamore Avenue

check w) Owen

on:

1) peak parallel
or L to choose?

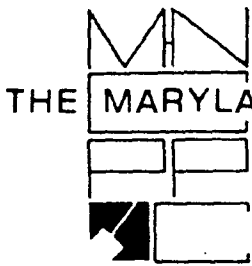
2) if parallel -
Bldg is 32' long

3) are side doors
stream? no.

- ²- skylights - on ea side - around mid
- ~~table~~ - facing Colombia
- larger w. on rear.
- 2 car.

lot
- 70% of ~~space~~ being used ->
2 5,999 9
one or 2 car garage?

- on street corner
(no rear)
- is house only 1 sided?
how sited down where



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 7/9/97

MEMORANDUM

TO: Robert Hubbard, Chief
Division of Development Services and Regulation
Department of Environmental Protection (DEP)

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied

Approved with Conditions: _____

- 1) Garage to be same dimension but for 2 car
- 2) Garage to have 2 single doors.
- 3) Final plan to be approved by staff

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

Applicant: Daniel M. Treadwell

Address: 7126 Sycamore Avenue Takoma Park

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 1075396

NAME OF PROPERTY OWNER DANIEL M. TREADWELL TELEPHONE NO. 301 270-0690
(Contract/Purchaser) (Include Area Code)

ADDRESS 7126 SYCAMORE AVE TAKOMA PARK MD 20912
CITY STATE ZIP

CONTRACTOR _____ TELEPHONE NO. _____

PLANS PREPARED BY _____ CONTRACTOR REGISTRATION NUMBER _____

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 7126 Street SYCAMORE AVE

Town/City TAKOMA PARK Election District 13

Nearest Cross Street COLUMBIA

Lot 4 Block 21 Subdivision B.F. GILBERTS (25)

Liber 7858 Folio 082 Parcel _____

IA. TYPE OF PERMIT ACTION: (circle one)

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend/Add	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> Repair	Circle One: <input type="checkbox"/> A/C	<input type="checkbox"/> Slab	<input type="checkbox"/> Room Addition
<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Revocable	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Fireplace
			<input type="checkbox"/> Revision	<input type="checkbox"/> Shed	<input type="checkbox"/> Solar	<input type="checkbox"/> Woodburning Stove
				Fence/Wall (complete Section 4) Other <u>GARAGE</u>		

IB. CONSTRUCTION COSTS ESTIMATE \$ TSD

IC. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NO

ID. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

IE. IS THIS PROPERTY A HISTORICAL SITE? NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Septic
03 <input type="checkbox"/> Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Well
03 <input type="checkbox"/> Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Daniel M. Treadwell 04 JUN 1997
Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED [Signature] For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature [Signature] Date July 9, 1997

APPLICATION/PERMIT NO: 9706160064 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

37/6 - 71

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

Historic Preservation Commission

DESCRIPTION OF PROPOSED WORKS (including composition, color and texture of materials to be used.)

Refer to Supplemental Application for Historic Area Work Permit (attached)

HISTORIC AREA WORK PERMIT APPLICATION FOR

Form fields for Name of Property Owner, Address, Telephone No., and other contact information.

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE HISTORIC PRESERVATION COMMISSION, 100 MARYLAND AVENUE, ROCKVILLE, MARYLAND 20850

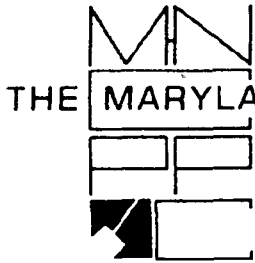
Form fields for Type of Work, Estimated Cost, and other project details.

Form fields for Height, Location, and other site-specific information.

It is the responsibility of the applicant to make the necessary arrangements for the proposed work, and that the construction will comply with all applicable laws, codes, and regulations.

Form fields for Date, Signature, and other administrative information.

SEE REVERSE SIDE FOR INSTRUCTIONS



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 7.9.97

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator *gmh*
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

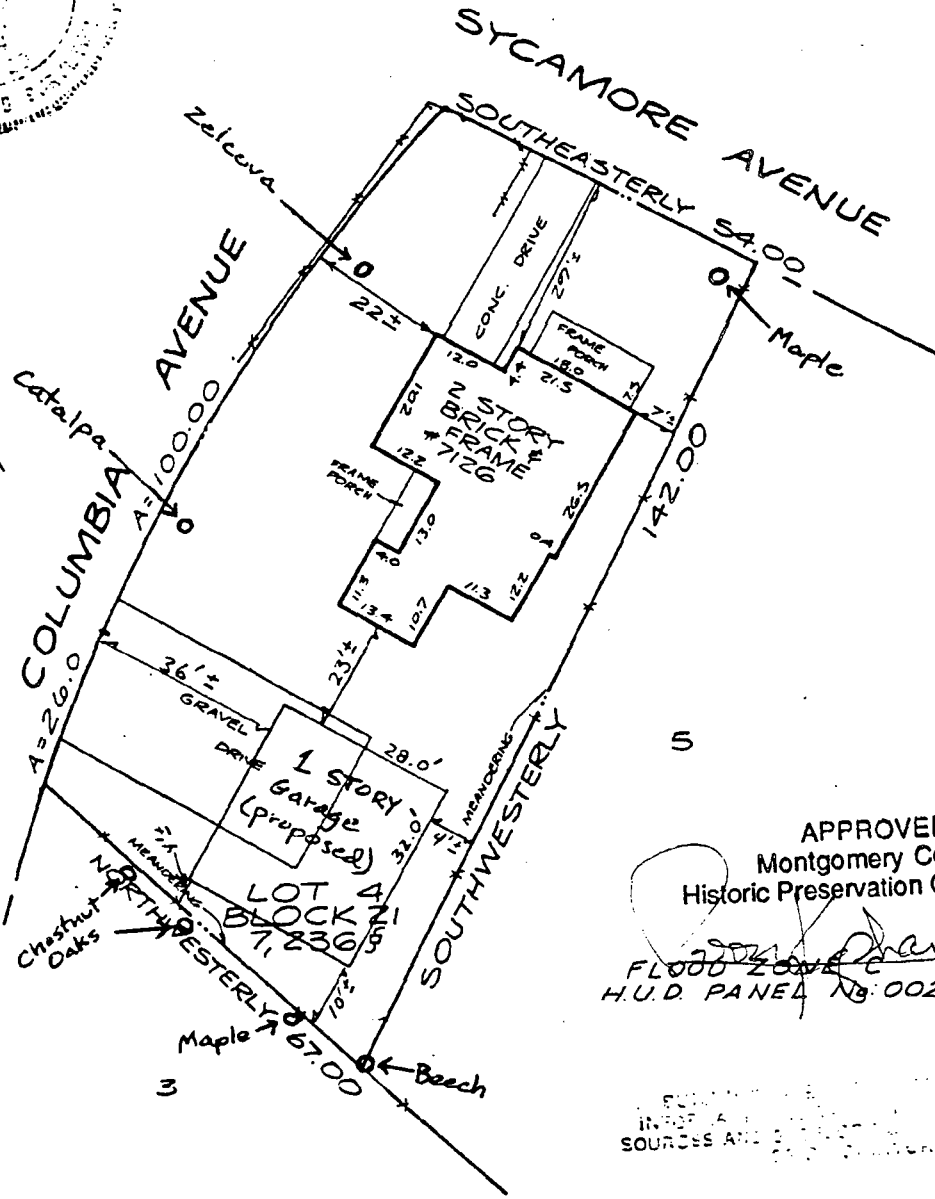
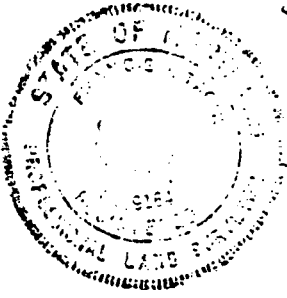
If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

NOTE: This location for title purposes only - not to be used for determining property lines. Property corner markers Not guaranteed by this location.

- 3. Project Plan
- 4. Tree Survey (larger than 6" caliper)

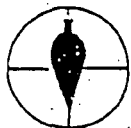


APPROVED
 Montgomery County
 Historic Preservation Commission
 [Signature] 7/9/97
 FLOOD ZONE C
 H.U.D. PANEL NO. 0025C

LOCATION OF HOUSE
 LOT 4 BLOCK 21
 B.F. GILBERT'S
 ADDITION TO
TAKOMA PARK
 MONTGOMERY COUNTY, MD

RECERTIFIED: 2-19-88

Revised 3-11-88

SURVEYOR'S CERTIFICATE PLAN SHOWN HEREON IS PREPARED FROM FIELD MEASUREMENTS OF EXISTING STRUCTURES AND DIMENSIONS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, AS SHOWN OR DESCRIBED.	REFERENCES PLAT BK. A PLAT NO. Z	 SNIDER, BLANCHARD, & ASSOC., INC. SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 286 Monticue Lane Frederick, MD 21701 (301) 694-5344 2 Professional Dr., Suite 216 Calverton, MD 20879 (301) 948-5100
	LIBER [Signature] REGISTERED LAND SURVEYOR MD # 9164	

10. Addresses of Adjacent Property Owners:

1. Eileen Kirilin and Steve Rosenthal
7124 Sycamore Ave
Takoma Park, MD. 20912
2. Jack Bennett
7127 Sycamore Ave
Takoma Park, MD. 20912
3. Christine and Bud Ruf
7125 Sycamore Ave
Takoma Park, MD. 20912
4. Turner Electric Co.
201 Ethan Allen Ave.
Takoma Park, MD. 20912
5. Eleanor Suntum
7125 Poplar Ave.
Takoma Park, MD. 20912

AIR TRAFFIC REQUIREMENTS SERVICE (ARS)
COMMUNICATION, NAVIGATION & SURVEILLANCE DIRECTORATE (ARN)
COMMUNICATION & DATA LINK DIVISION (ARN-200)



TO: Perry Kephardt
OFFICE: Historic Commission
TELEPHONE NUMBER: 301 495-4570
FAX NUMBER: 301 495-1307
DATE: 11/12/97
PAGES INCLUDING THIS COVER PAGE: 1

COMMENTS:

Request pending HAWP application be cancelled
due to inability to reach agreement with
staff over design details.
Will reapply.

Daniel M. Treadwell
301 270-0690 Home
202 493-0137 Work

fiberglass shingles.

The garage doors are proposed to be two, single width, wood paneled overhead doors set in the gable end facing Columbia Avenue (east facade). The proposal included a second story space, accessed by an interior stairway, above the garage with 1/1 windows in each gable end.

Two flush skylights (24" x 48") are proposed to be installed in the (asphalt shingle) roof planes on either side.

On the first floor two 1x1 sliding windows are proposed for each of three facades (north, west and south). A solid metal door is proposed for the south elevation. The door shown in the plans for the north elevation has been eliminated.

A gravel area is proposed between the garage and the street. Applicant has indicated that no trees will be disturbed by the construction.

STAFF DISCUSSION

The basic dimensions, materials, and siting of the two car garage were approved by the Historic Preservation Commission on July 9, 1997. Detailed plans, including elevations, were to be submitted to staff for approval.

The addition of several revisions to the original plans, including a second story, additional windows, and two skylights, necessitated, in staff's opinion, that the Historic Area Work Permit be returned to the Commission for review of the revisions.

As was noted at the earlier meeting, placing a garage at the rear of a house in Takoma Park is well within the Guidelines. Staff feels that the increase in the roof pitch integrates the new structure more successfully into the Columbia and Sycamore Avenue streetscapes than did the earlier, flatter design. The proposed fenestration is also reasonable, in staff's opinion, although paired 1/1 windows would be more in keeping with the historic district, than the sliding windows proposed.

Staff's primary concern is that skylights are proposed for roof planes that will be visible from the street. Although the garage is set on an elevation well below that of the historic resource, its size predicates that the garage will be within the viewshed of the house from several directions. Staff is concerned that the skylights are not in keeping with the period of the house and will serve to emphasize the out-of-period aspects of the new building in a way that a simple roof plane would not. As both roof planes are visible from the street, installation of skylights on the downhill side, away from the house, is also problematic. Staff would encourage the applicant to use windows and artificial lighting as light sources for the second story area.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** with conditions the HAWP application

②

as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

with the conditions:

1. No skylights are to be installed.

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

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APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 1075396

NAME OF PROPERTY OWNER DANIEL M. TREADWELL TELEPHONE NO. 301 270-0690
(Contract/Purchaser) (Include Area Code)

ADDRESS 7126 SYCAMORE AVE TAKOMA PARK MD 20912
CITY STATE ZIP

CONTRACTOR _____ TELEPHONE NO. _____
 CONTRACTOR REGISTRATION NUMBER _____

PLANS PREPARED BY _____ TELEPHONE NO. _____
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 7126 Street SYCAMORE AVE

Town/City TAKOMA PARK Election District 13

Nearest Cross Street COLUMBIA

Lot 4 Block 21 Subdivision B.F. GILBERTS (25)

Liber 7858 Folio 082 Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

<input checked="" type="radio"/> Construct	<input type="radio"/> Extend/Add	<input type="radio"/> Alter/Renovate	<input type="radio"/> Repair	Circle One: <input type="radio"/> A/C	<input type="radio"/> Slab	<input type="radio"/> Room Addition
<input type="radio"/> Wreck/Raze	<input type="radio"/> Move	<input type="radio"/> Install	<input type="radio"/> Revocable	<input type="radio"/> Porch	<input type="radio"/> Deck	<input type="radio"/> Fireplace
			<input type="radio"/> Revision	<input type="radio"/> Shed	<input type="radio"/> Solar	<input type="radio"/> Woodburning Stove
				Fence/Wall (complete Section 4) Other <u>GARAGE</u>		

1B. CONSTRUCTION COSTS ESTIMATE \$ TBD

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NO

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 () Septic
03 () Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 () Well
03 () Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Daniel M. Treadwell 04 JUN 1997
 Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED [Signature] For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature [Signature] Date July 9, 1997

APPLICATION/PERMIT NO: 9706160064 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED:

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

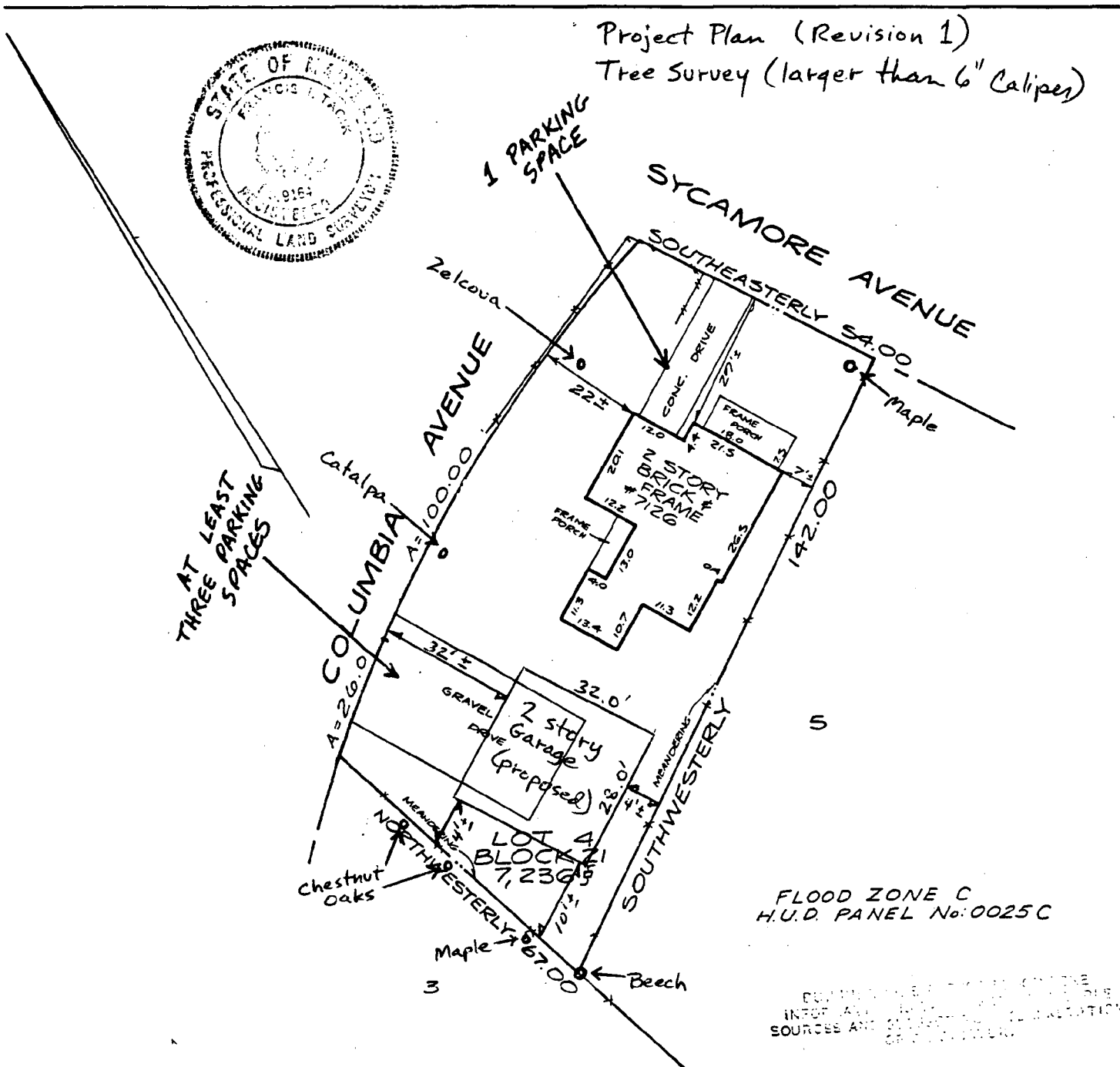
Refer to supplemental application for Historic Area Work Permit (attached)

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
100 MARYLAND AVENUE
ROCKVILLE, MARYLAND 20850

NOTE: This location for title purposes only. Not to be used for determining property lines. Property Corner Markers Not guaranteed by this location.



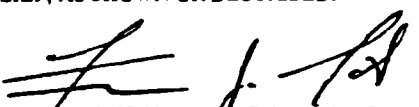

LOCATION OF HOUSE
 LOT 4 BLOCK 21
 B.F. GILBERT'S
 ADDITION TO
TAKOMA PARK
 MONTGOMERY COUNTY, MD

FLOOD ZONE C
 H.U.D. PANEL No: 0025C

FOR INFORMATION OF THE CLIENT
 INFO WAS OBTAINED FROM THE
 SOURCES AND SURVEYING INFORMATION
 2-19-88

RECERTIFIED: 2-19-88

Revised 3-11-88

SURVEYOR'S CERTIFICATE THE PLAN SHOWN HEREON IS PREPARED FROM FIELD MEASUREMENTS OF EXISTING STRUCTURES AND DIMENSIONS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, AS SHOWN OR DESCRIBED.  REGISTERED LAND SURVEYOR MD # 9164	REFERENCES PLAT BK. A PLAT NO. Z	 SNIDER, BLANCHARD, & ASSOC., INC. SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 286 Montevue Lane Frederick, MD 21701 (301) 694-5544 2 Professional Dr., Suite 216 Gaithersburg, MD 20879 (301) 948-5100
	LIBER FOLIO	

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SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT
REVISION 1
REQUIRED ATTACHMENTS

1. Written Description of Project

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Frame house built in 1908. House was operated as apartments for many years and has had several additions, modifications, and alterations to the original structure. No photos exist from earlier eras, and it is difficult to tell what the house originally looked like. No outstanding historical features or significance. House sits on an ordinary streetscape, and house and street are on edge of historic district.

b. General description of project and it's impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Propose to construct two story detached garage. No impact to historic resource (existing house). Will enhance value of property, and hence, historic district. Propose to use 3" victorian clapboard siding identical to that as used on main house, which will approximate the appearance of materials used for structures in the early 1900's, and be in consonance with the environmental and historic setting of the area.

2. Statement of Project Intent:

Short, written statement that describes:

a. The proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

Wood frame structure 28' wide by 32' deep by 24' 7.125" high overall, on 4" concrete slab on top of 4" gravel base. 3" victorian clapboard siding identical to main house. Area where proposed garage is to be located is presently grassy area at the end of driveway. It is presently used for parking cars. There are no trees presently within this area. Landscaping (e.g., ground covers, shrubs, etc.) around the structure will be in consonance with the rest of the property. (Owner has retained the services of a professional landscaper who will advise on tasteful landscaping).

b. The relationship of the design to the existing resource:

The proposed improvement would be totally detached from the existing resource. Propose to use 3" victorian clapboard siding identical to main house, for consonance of design and to approximate appearance of early 1900s structure.

c. The way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

As this HAWP proposes no change to the historic resource (i.e., the main house), this HAWP applies only to the environmental setting. The proposed improvement will complement the variety of mixed architectural periods and styles represented on Sycamore Avenue and in the surrounding area. Since the proposed design will incorporate 3" victorian clapboard siding, it will approximate the appearance of an older style (early 1900s) structure. As the proposed improvement will enhance the value of the property, and hence, the historic district, it fully supports the requirements of the Ordinance (Chapter 24A).

3. Project Plan: See attached.

4. Tree survey: See attached. No impact to existing trees on property (no trees are within area where garage is proposed to be constructed).

5. Design Features: See attached.

6. Facades: See attached.

7. Materials Specifications: See attached. Wood frame structure on 4" concrete pad. Pressure treated lumber for bottom plates. 3" victorian vinyl siding for exterior (identical to main house). This will give the structure a historic look, and approximate the appearance of siding used on dwellings of the early 1900's. Garage doors will be painted wood.

8. Photos of Resource: Attached.

9. Photos of Context: Attached.

5. DESIGN FEATURES

NOTE THE FOLLOWING PROPOSED CHANGES TO THE ATTACHED SCHEMATIC CONSTRUCTION PLANS:

Page 6, South Finished Elevation: Door will be solid; i.e., no windows.

Page 8, North Finished Elevation: Door is eliminated. The two windows are centered appropriately.

Page 9, West Finished Elevation: Two windows will be installed on first story similar to window on second story; centered appropriately.

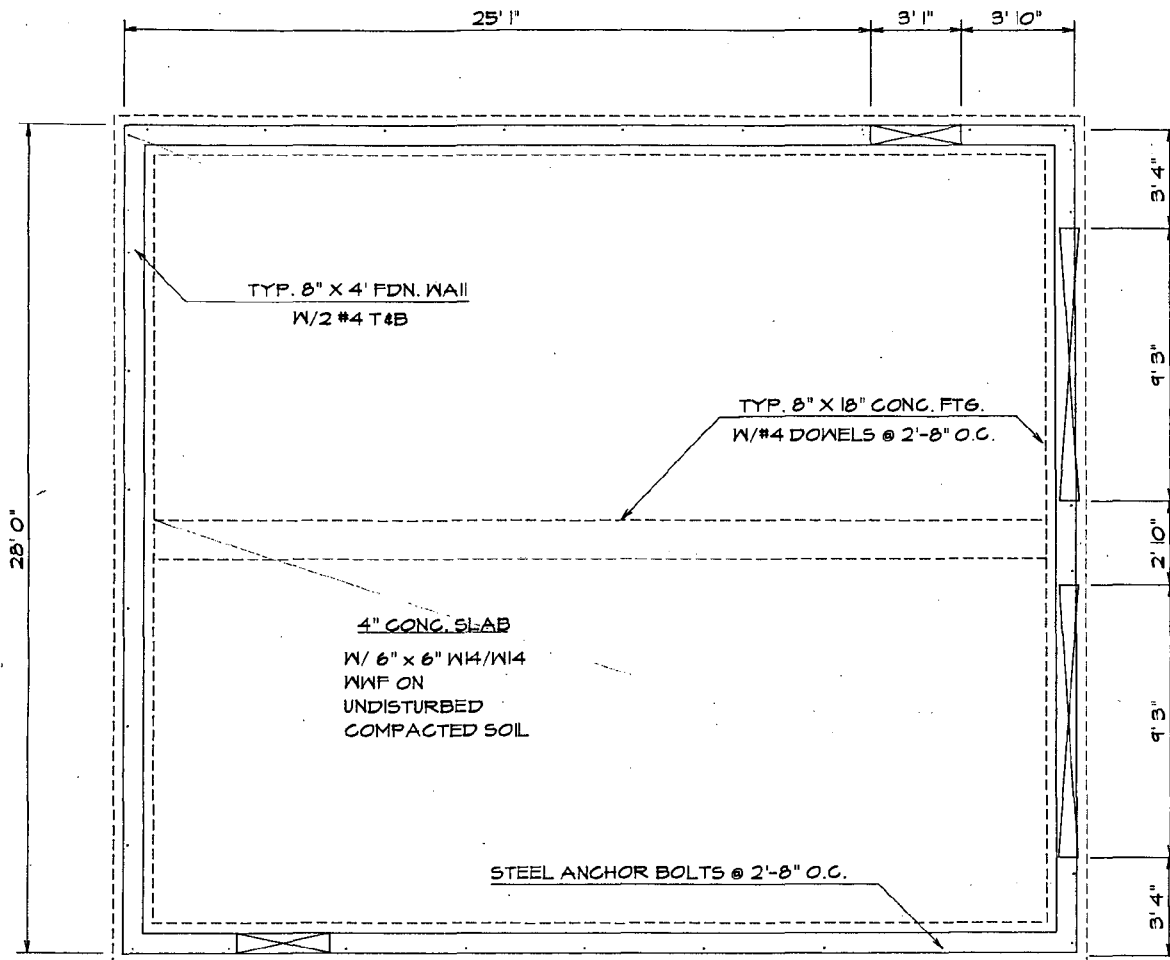
Pages 7 and 9, East and West Finished Elevations: Gable vents will be installed at the peaks.

Pages 6, 7, 8, and 9: Finished Elevations (all views): Siding will be 3" victorian vinyl siding to match the main house vice cedar siding.

Pages 6 and 9, North and South Finished Elevations: Asphalt or Fiberglass shingles will be used vice metal roof.

10. Addresses of Adjacent Property Owners:

1. Eileen Kirilin and Steve Rosenthal
7124 Sycamore Ave
Takoma Park, MD. 20912
2. Jack Bennett
7127 Sycamore Ave
Takoma Park, MD. 20912
3. Christine and Bud Ruf
7125 Sycamore Ave
Takoma Park, MD. 20912
4. Turner Electric Co.
201 Ethan Allen Ave.
Takoma Park, MD. 20912
5. Eleanor Suntum
7125 Poplar Ave.
Takoma Park, MD. 20912



FOUNDATION PLAN

scale: 1/4" = 1'

NOTES

- 1) All concrete shall be made with sand and gravel aggregate and shall attain a 28 day unconfined compressive strength of 3000 p.s.i. (minimum)
- 2) Concrete design is in accordance with ACI building code ACI-318-83. Concrete shall meet all requirements of ACI-301- specifications for structural concrete for buildings.



FDN DETAIL

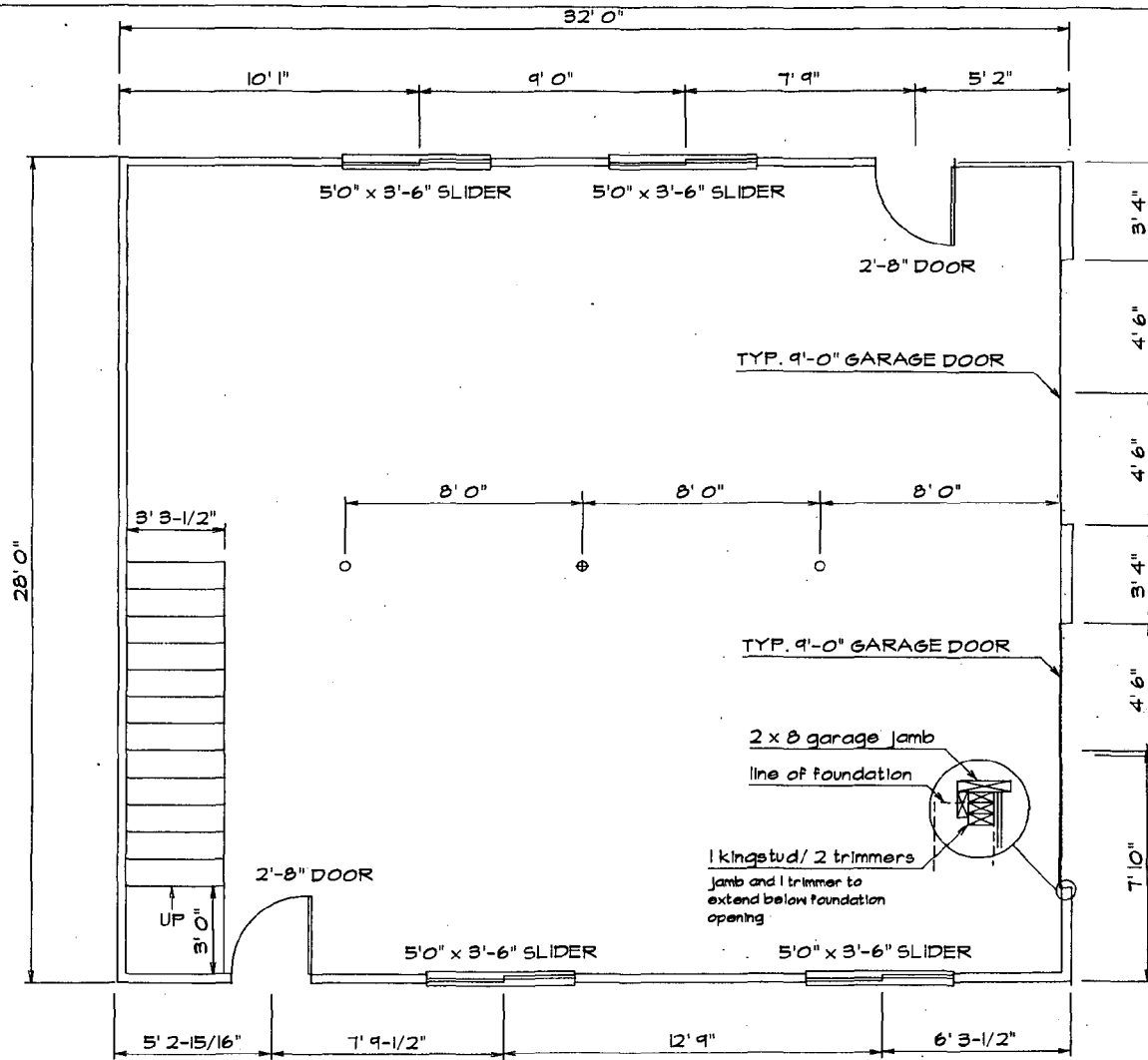
THE WOODEN CASTLE CRAFTSMAN

Phone: 1-888-396-8245 Fax: 1-800-482-8185

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NOTES

- 1) Studs to be of std. grade or better.
- 2) All headers to be solid 2-2 x 10 w/ plywood spacer and nailed @16" O.C..
- 3) Plate material in contact with concrete to be galvanized lumber.



LOWER FLOOR PLAN

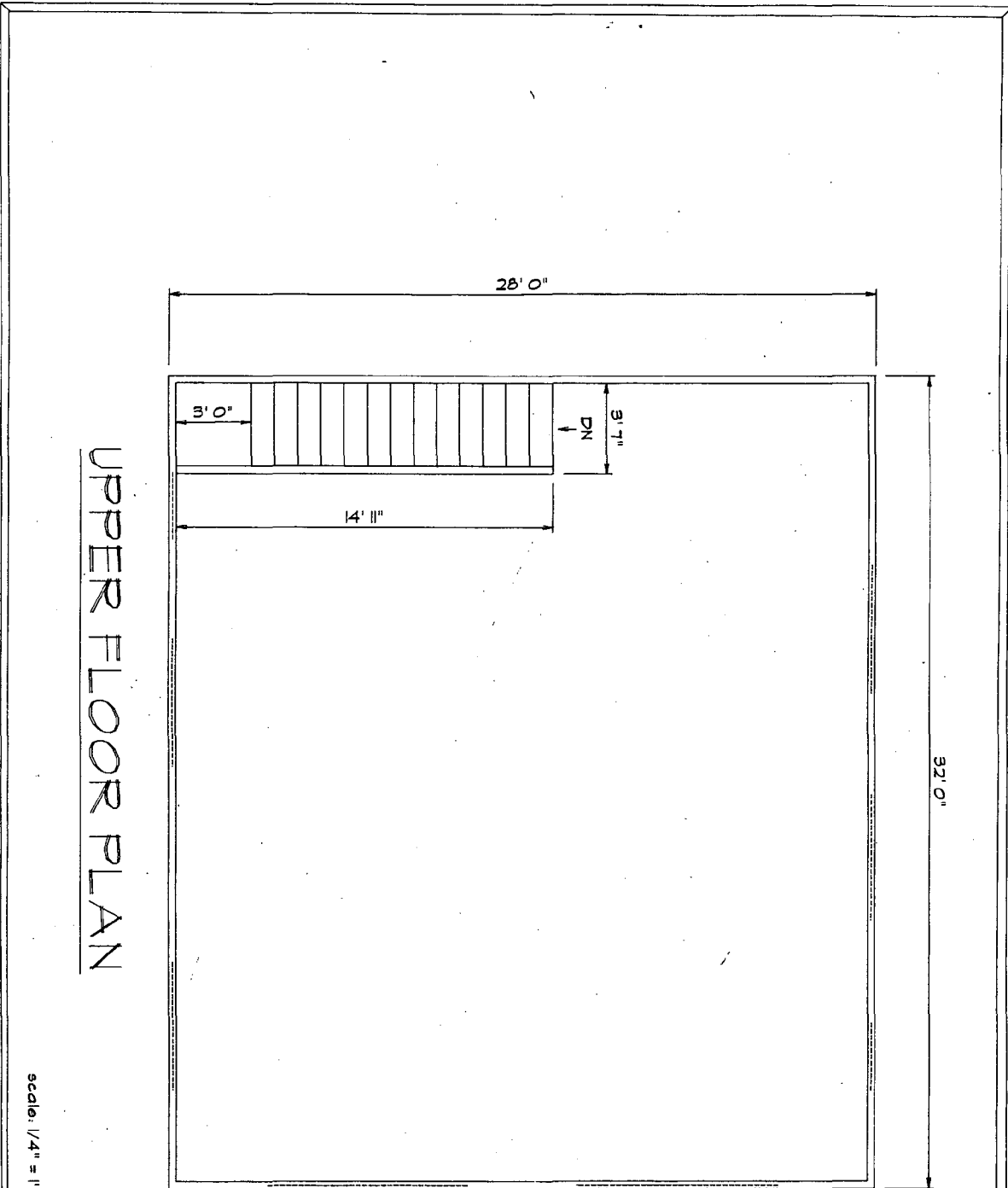
scale: 1/4" = 1'

THE WOODEN CASTLE CRAFTSMAN

Phone: 1-888-346-8245 Fax: 1-800-482-8185

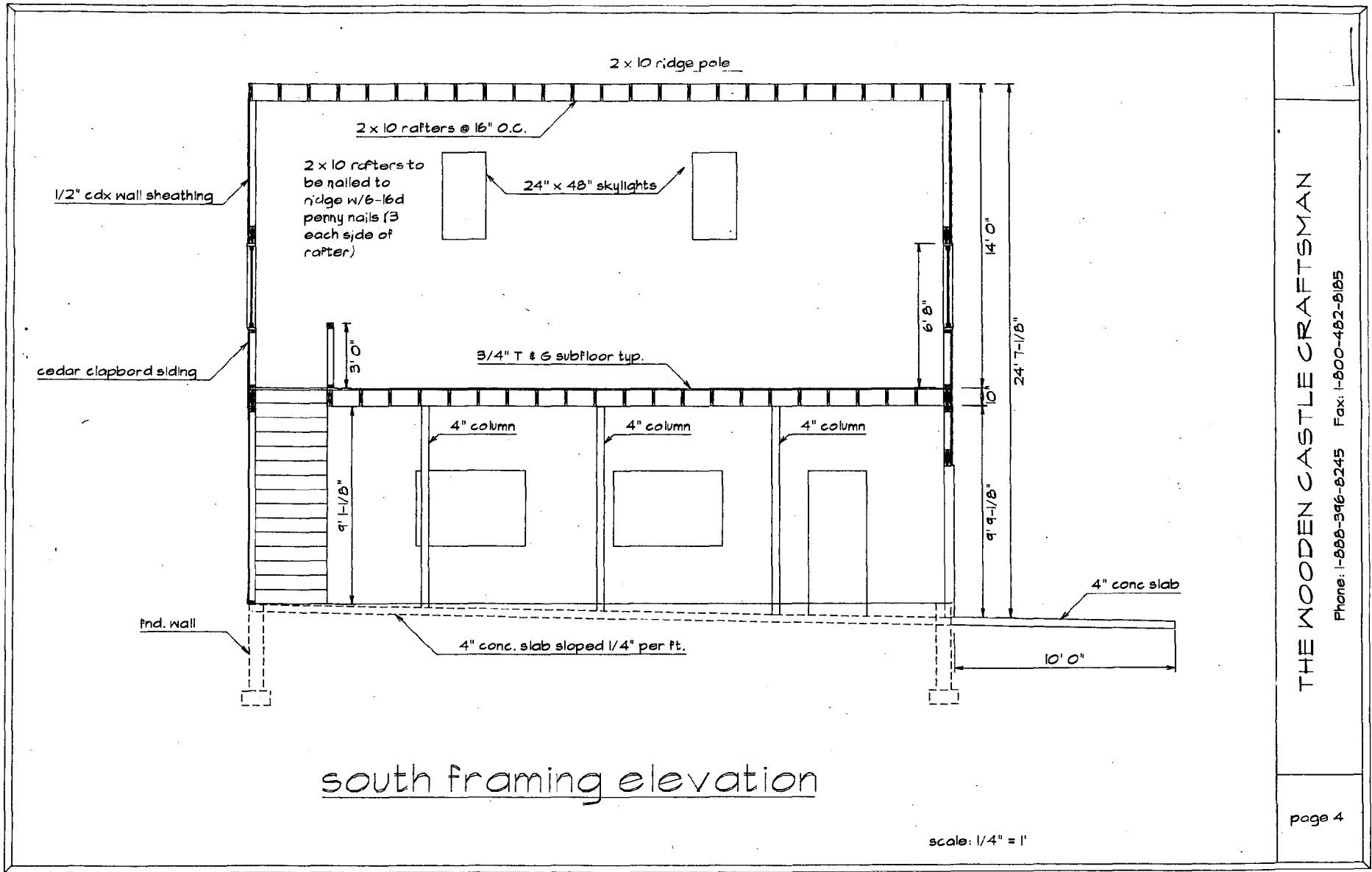
12

13



UPPER FLOOR PLAN

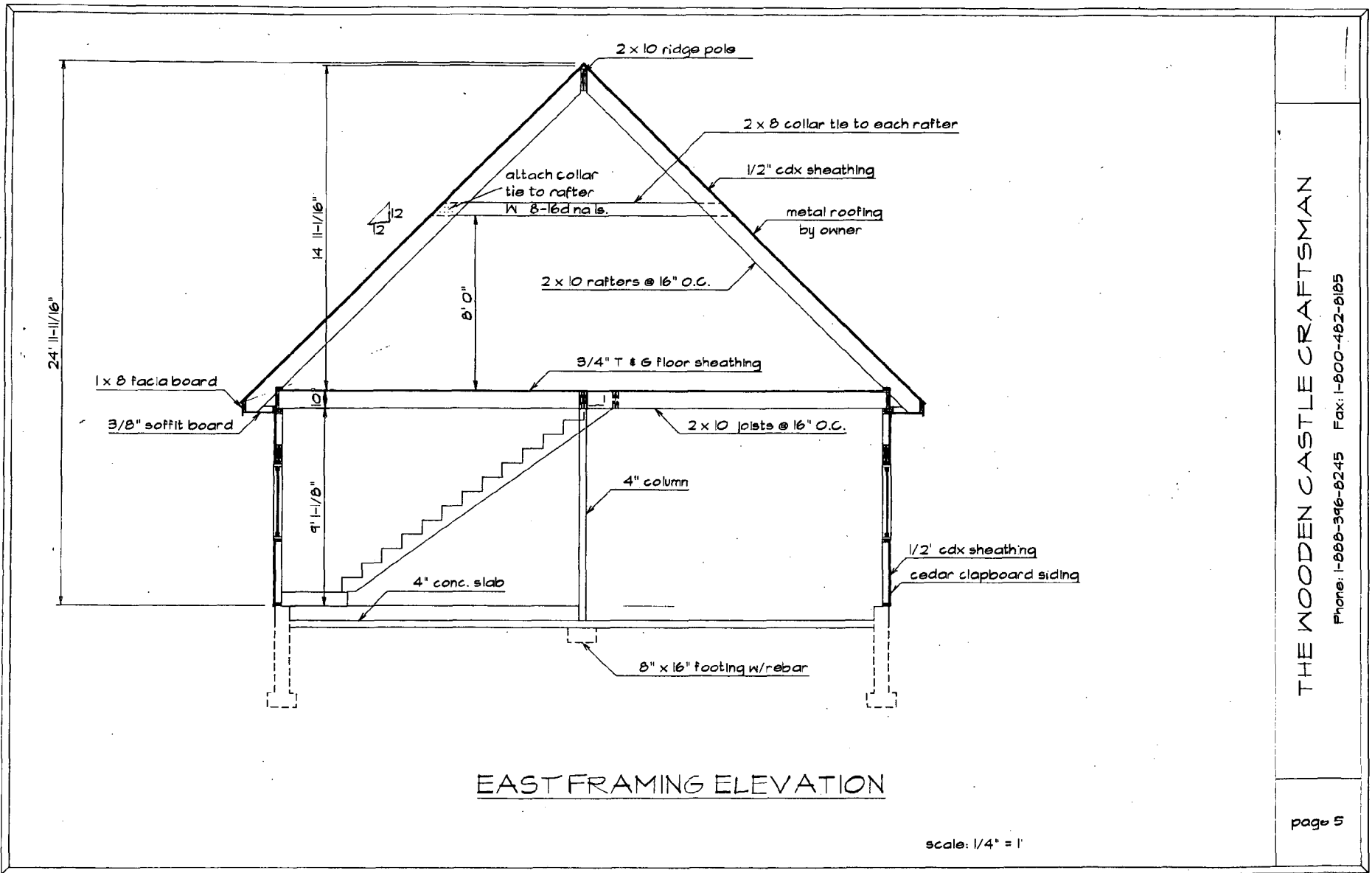
scale: 1/4" = 1'



THE WOODEN CASTLE CRAFTSMAN

Phone: 1-888-396-8245 Fax: 1-800-482-8885

14



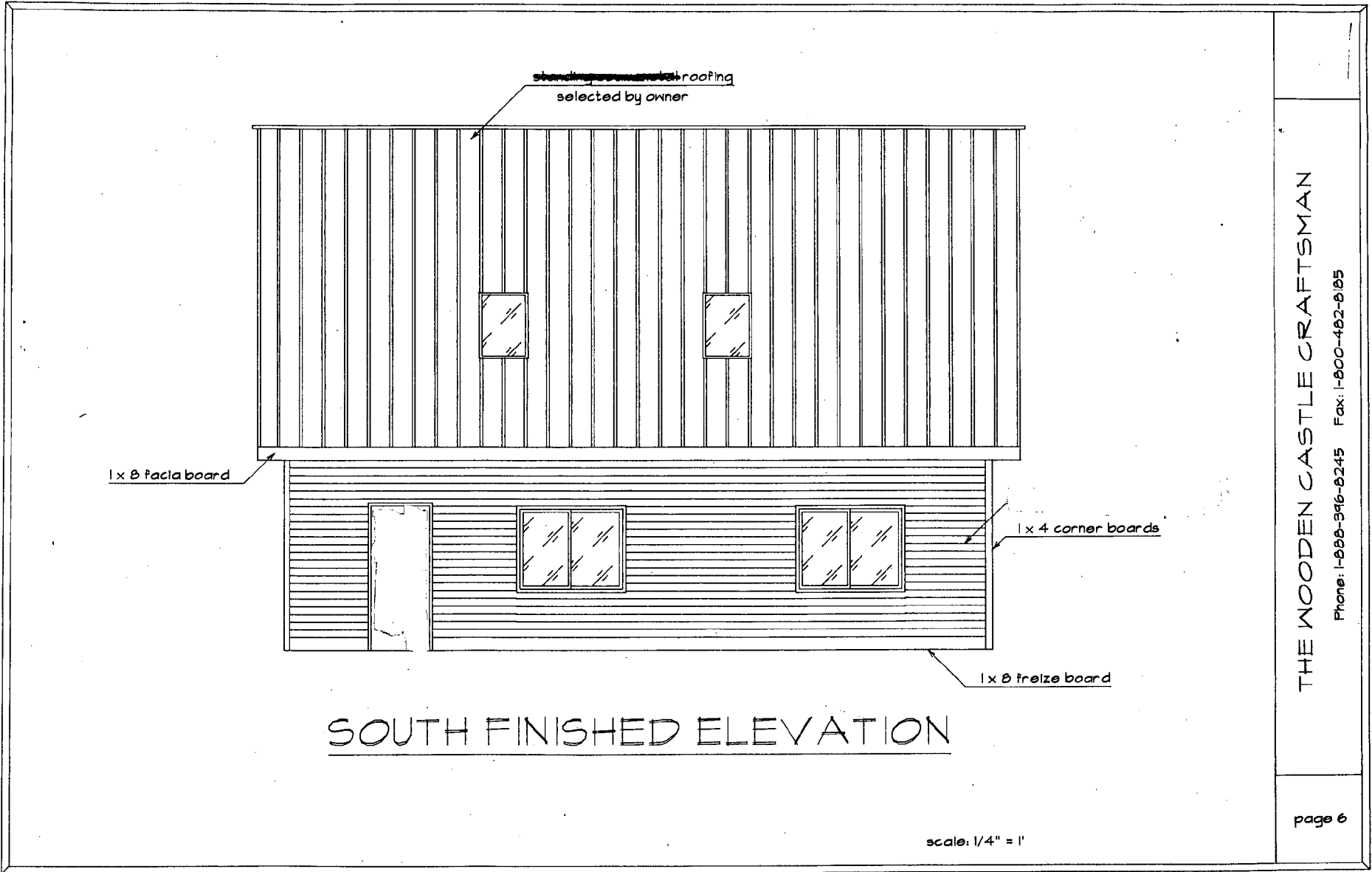
THE WOODEN CASTLE CRAFTSMAN

Phone: 1-888-396-8245 Fax: 1-800-482-8185

page 5

scale: 1/4" = 1'

15

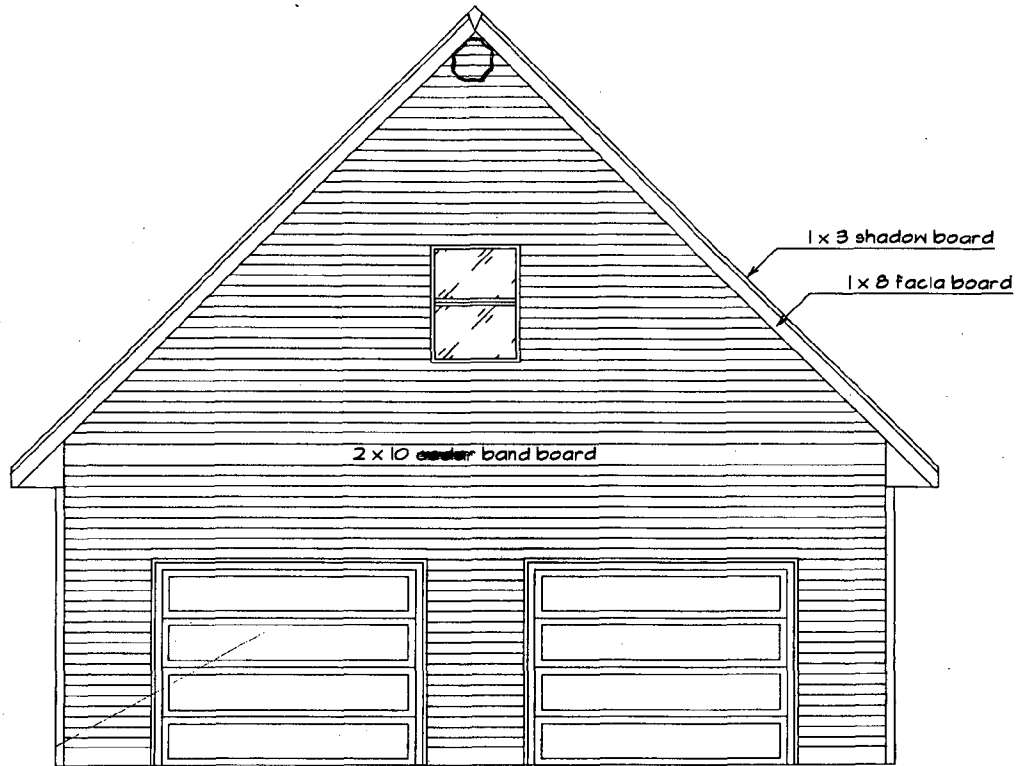


THE WOODEN CASTLE CRAFTSMAN

Phone: 1-888-356-8245 Fax: 1-800-482-8185

page 6

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EAST FINISHED ELEVATION

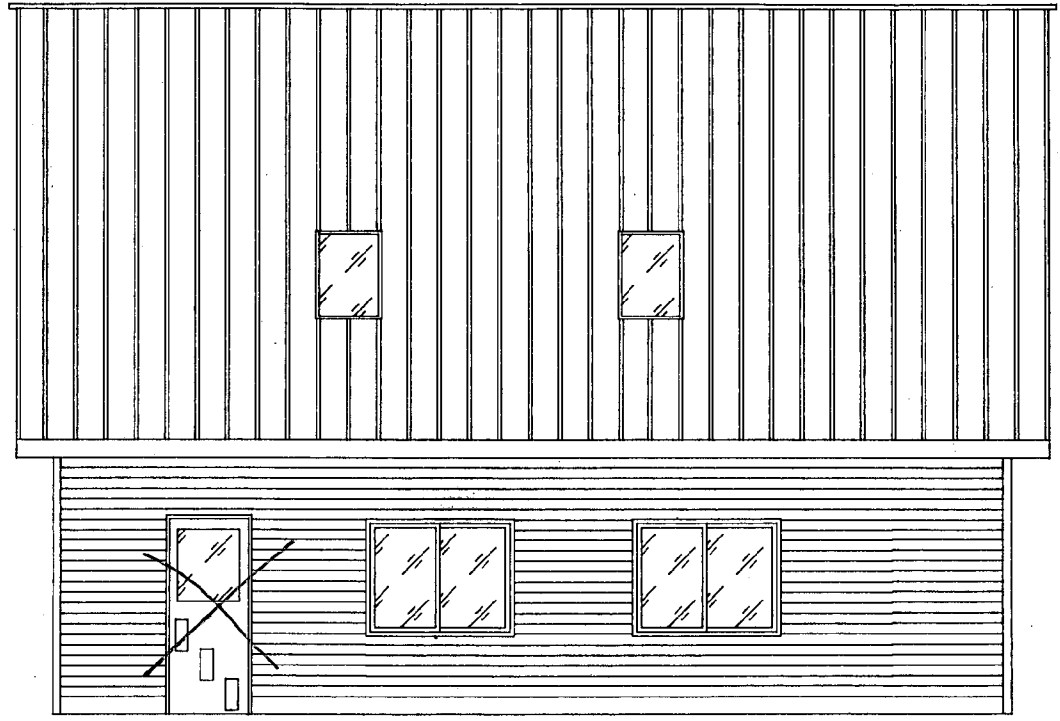
scale: 1/4" = 1'

THE WOODEN CASTLE CRAFTSMAN

Phone: 1-888-346-8245 Fax: 1-800-482-8185

page 7

17



NORTH FINISHED ELEVATION

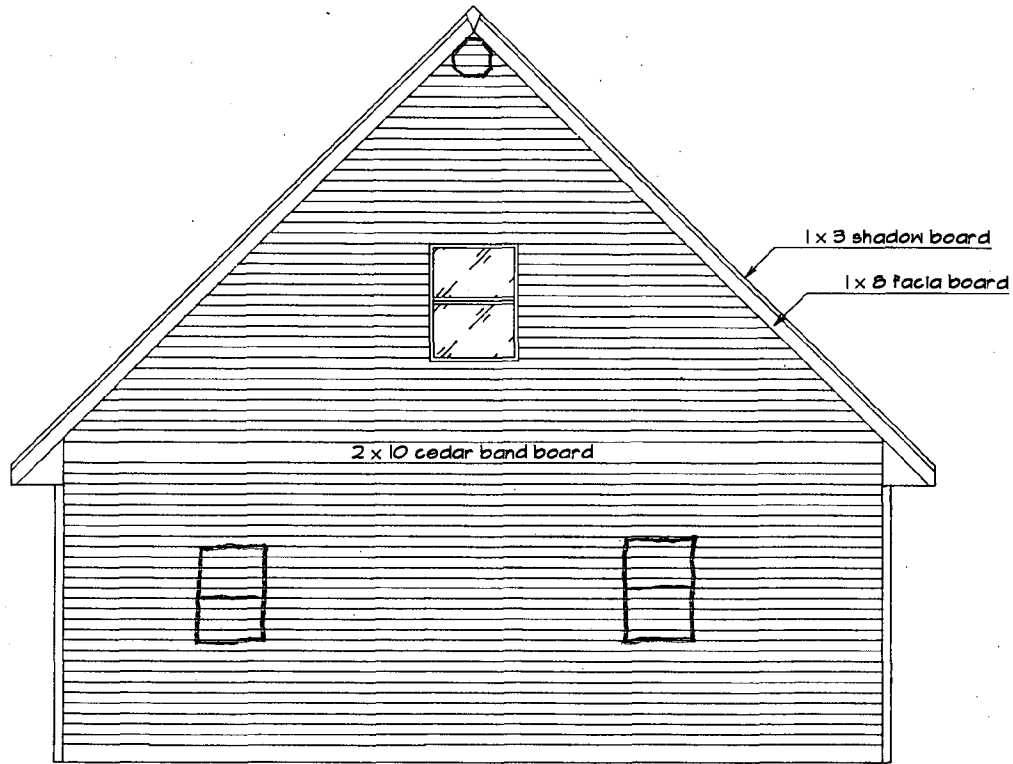
scale: 1/4" = 1'

THE WOODEN CASTLE CRAFTSMAN

Phone: 1-888-396-8245 Fax: 1-800-482-8185

page 8

18



WEST FINISHED ELEVATION

scale: 1/4" = 1'

THE WOODEN CASTLE CRAFTSMAN

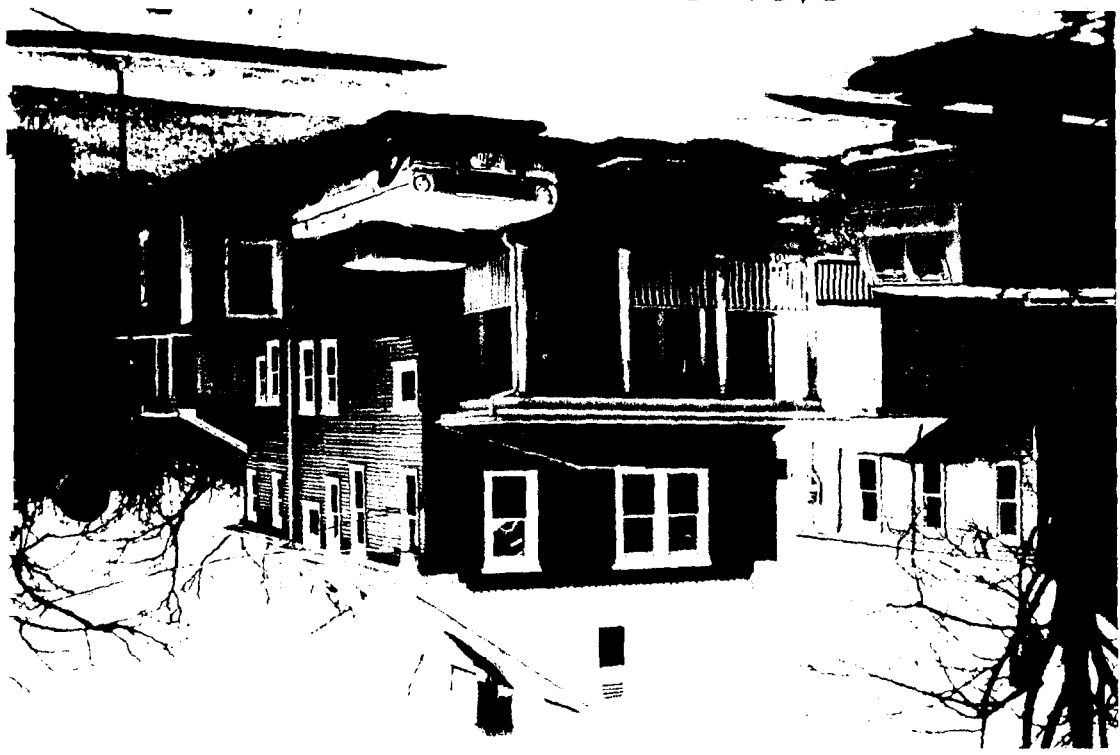
Phone: 1-888-396-8245 Fax: 1-800-462-8185

page 9

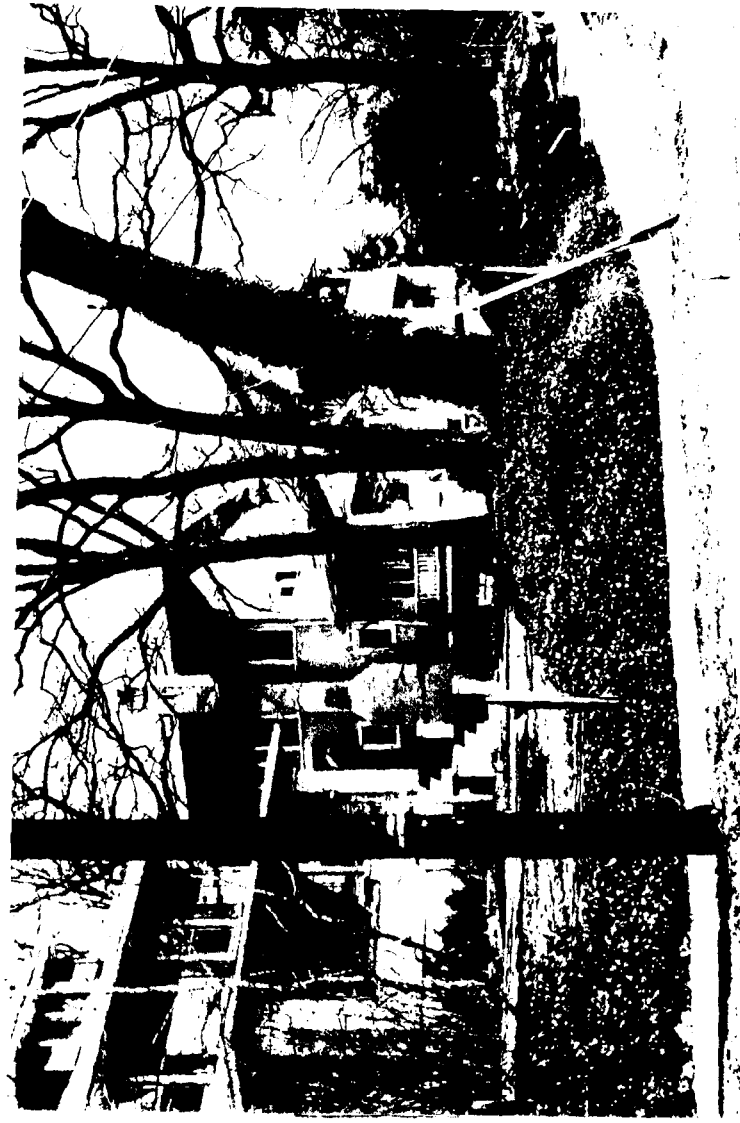
19



Looking South on Sycamore Ave



7126 Sycamore



Opposite Side of Street (Sycamore Ave)

20



Site of Proposed Garage



Looking East on Columbia Ave

Looking West on Columbia Ave



Site of Proposed Garage



Looking West on Columbia Ave

Site of Proposed Garage



Looking East on Columbia Ave



Looking West on Columbia Ave

23

September 10, 1997

MEMORANDUM

To: Historic Preservation Commission

FROM: Perry Kephart

SUBJECT: Follow Up to Approved HAWP Application
7126 Sycamore Avenue, Takoma Park

The applicant submitted a design for a 28 x 32 three car garage behind his house that is located at the corner of Sycamore and Columbia Avenues. A two car garage was approved with the condition that its design could be approved by staff. The commission did not ask for a smaller dimension.

Applicant has submitted the attached design for a 28 x 32 two car garage. He would like the HPC or staff to let him know:

1. Would we like the gable facing Columbia Avenue or the house, i.e. should the roof ridge run parallel to the house's or perpendicularly. If parallel, then the building length of 32 feet is stretched along Columbia.
2. How the doors should be placed. They have to be on the Columbia Avenue side as there is not turning room if they are placed in the elevation nearest the house. This means they will be placed in the side wall rather than the gable end wall of the garage as shown in the sketch if the ridge is parallel.
3. Finally, and he already has heard from staff that he will need a HAWP revision, if he could install skylights in the roof planes. Also, can he enlarge the gable window at the ^{new} rear window design can be included in the staff approval of the garage when he submits the final plans.

Bottom line: How do the Commissioners feel about the garage being set with the gable end facing Columbia Avenue. This will, I think separate the garage visually from the Sycamore Avenue street scape and line it up with the properties on Columbia, but will give him the garage he wants that will also meet all the conditions set by the HPC.



The Wooden Castle Craftsman

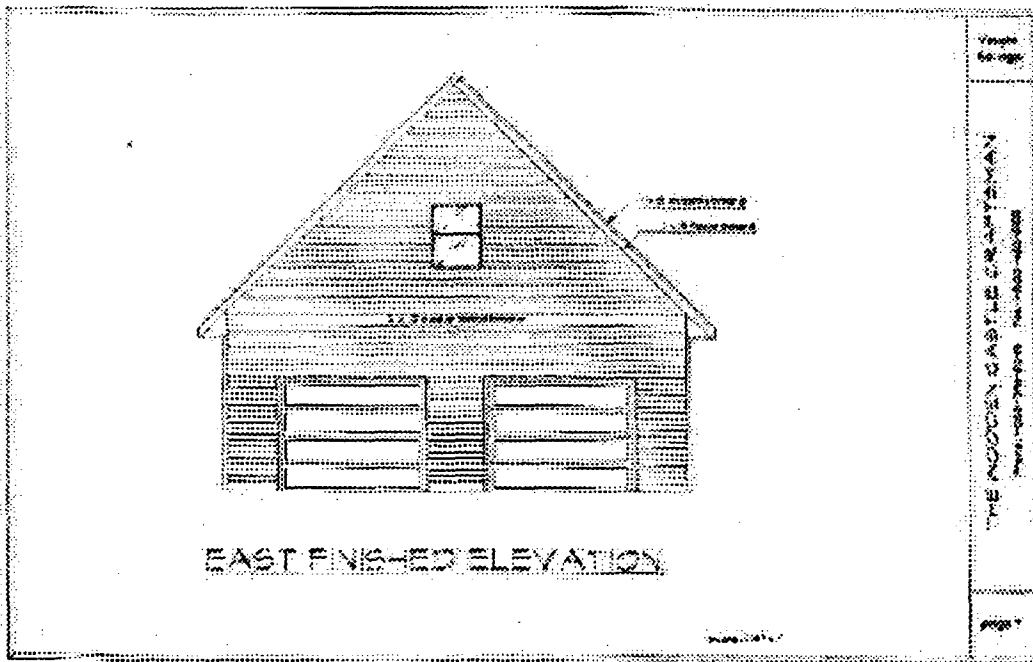
Custom Drawn Garage Plans

Pre-Printed Garage Plans

These Full Sets of Plans currently offered online for \$14.67

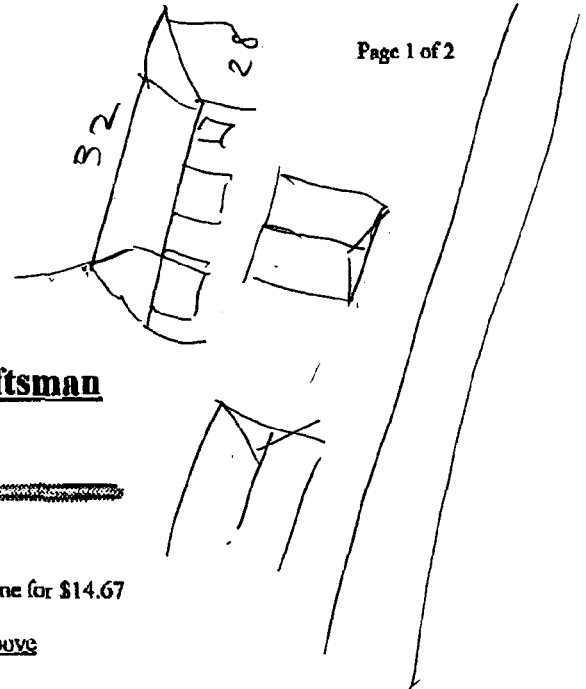
2 Car Garage With Living Space Above

28' W X 32' Long With Living Space Above



~~XXXXXXXXXX~~
~~XXXXXXXXXX~~
 Height = 24' 7 1/8" to the Peak
 Garage Doors are Standard
 9' W X 7' H





The Wooden Castle Craftsman

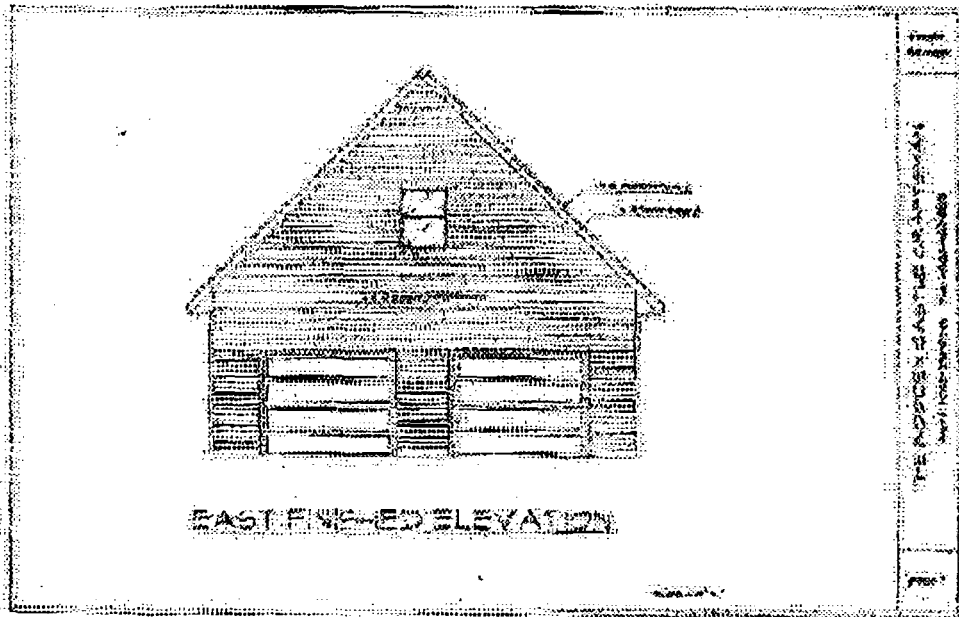
Custom Drawn Garage Plans

Pre-Printed Garage Plans

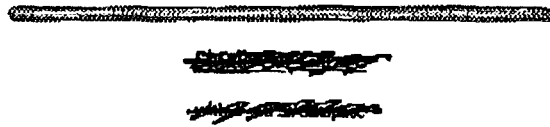
These Full Sets of Plans currently offered online for \$14.67

2 Car Garage With Living Space Above

28' W X 32' Long With Living Space Above



H- 24' 2" ↑



~~XXXXXXXXXXXXXXXXXXXX~~
~~XXXXXXXXXXXXXXXXXXXX~~
~~XXXXXXXXXXXXXXXXXXXX~~

Telecopier Cover Sheet

Date: 7/15/97
Time: _____

Number of pages
Including this page: 8

To: Perry Kephart

From: Dan Treadwell

Phone: 301 495-4570
FAX 301 495-1307

Phone: 202 267-0896

Subject: Perry, sec if you like any of these
plans. Dan

Comments requested by: _____

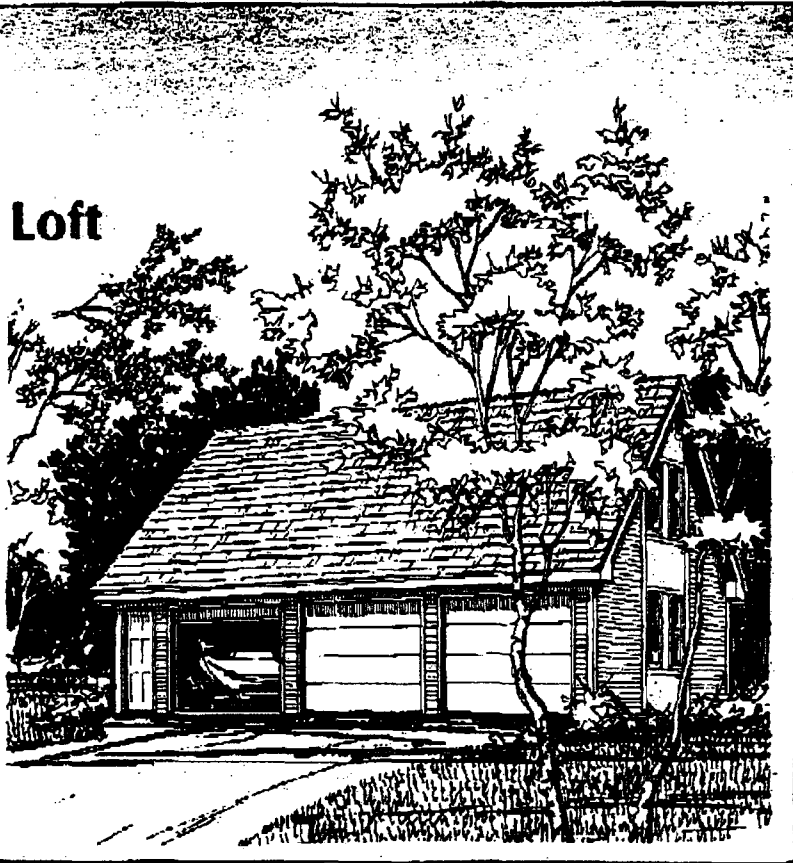
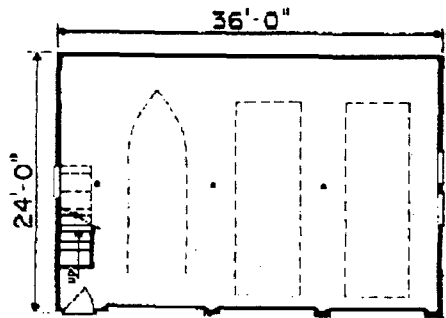
will send info continuance

design

673

3 Car Garage With Loft

Need a place to keep three two cars and a boat? A three stall garage will solve the problem. This one measures 36' x 24' and has three overhead doors, all 9' wide x 7' high, making it the ideal answer to the problem. A stairway leads to the second floor loft area. It can make a good hide-a-way studio or just plain storage space.
BUILDING HEIGHT 21'-4"



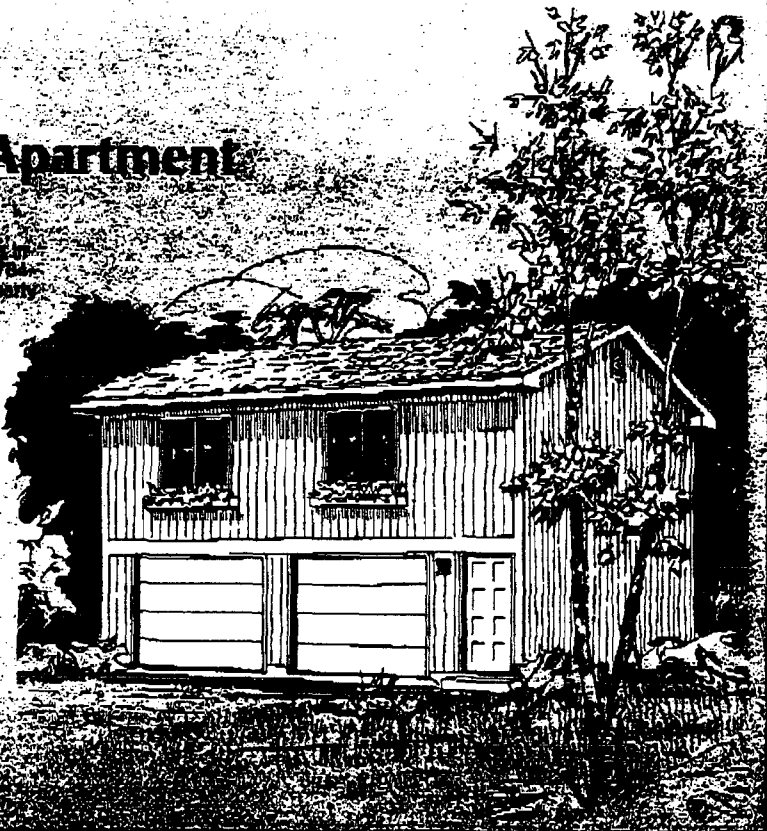
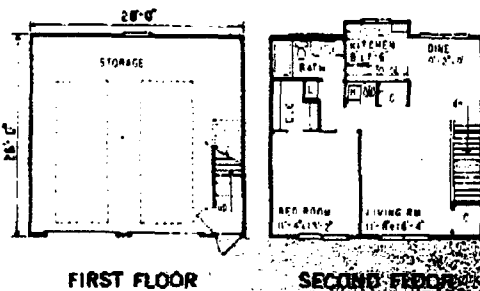
design

X6006

2 Car Garage With Apartment

When thinking of adding a garage, think about adding income to your property. This large two-car garage with a 704-sq.-ft. apartment above is certain to enhance your property and your income.

BUILDING HEIGHT 22'-8"



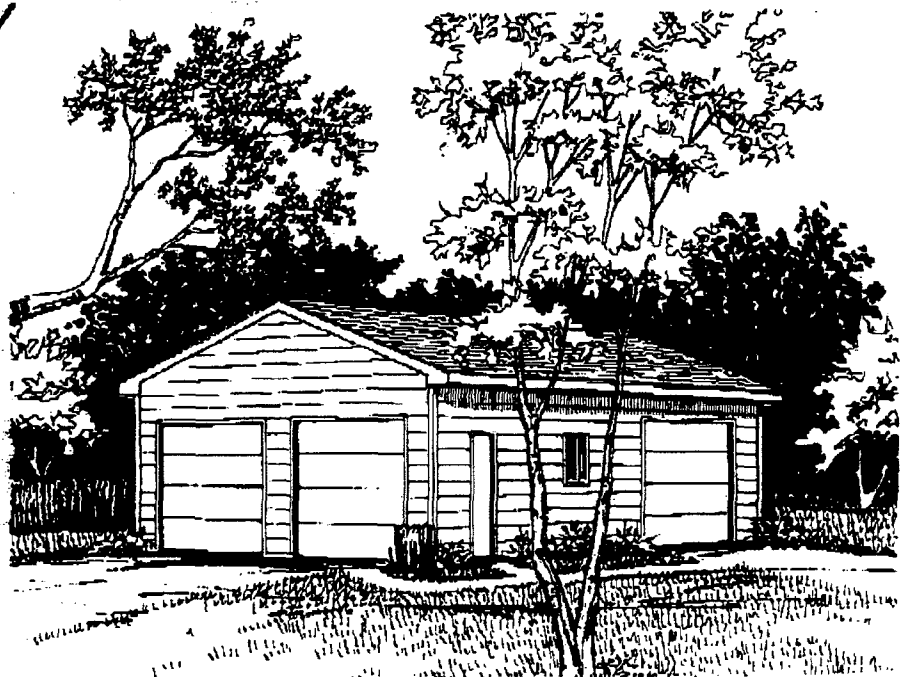
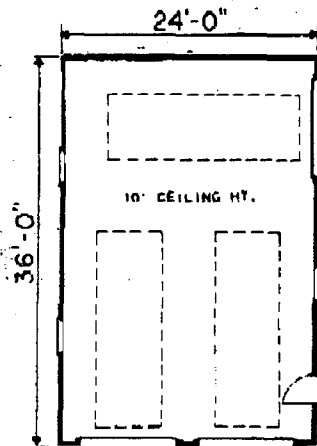
GARAGES...

design

671

3 Car Garage/ Workshop

More than just a garage! This extra big 24' x 36' garage features three 8' wide x 8' high doors and boasts a 10' high ceiling. An ideal size for many applications such as a farm repair shop, contractor's garage, maintenance building, bicycle repair shop, general storage building, etc.



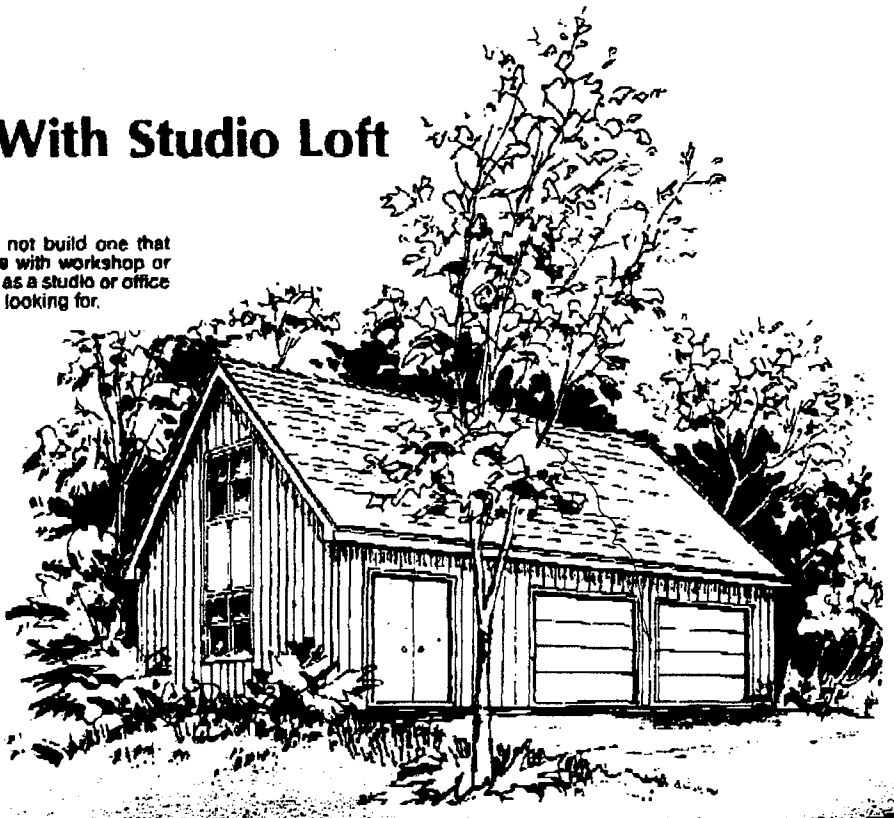
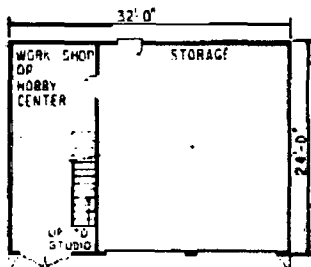
design

P2005

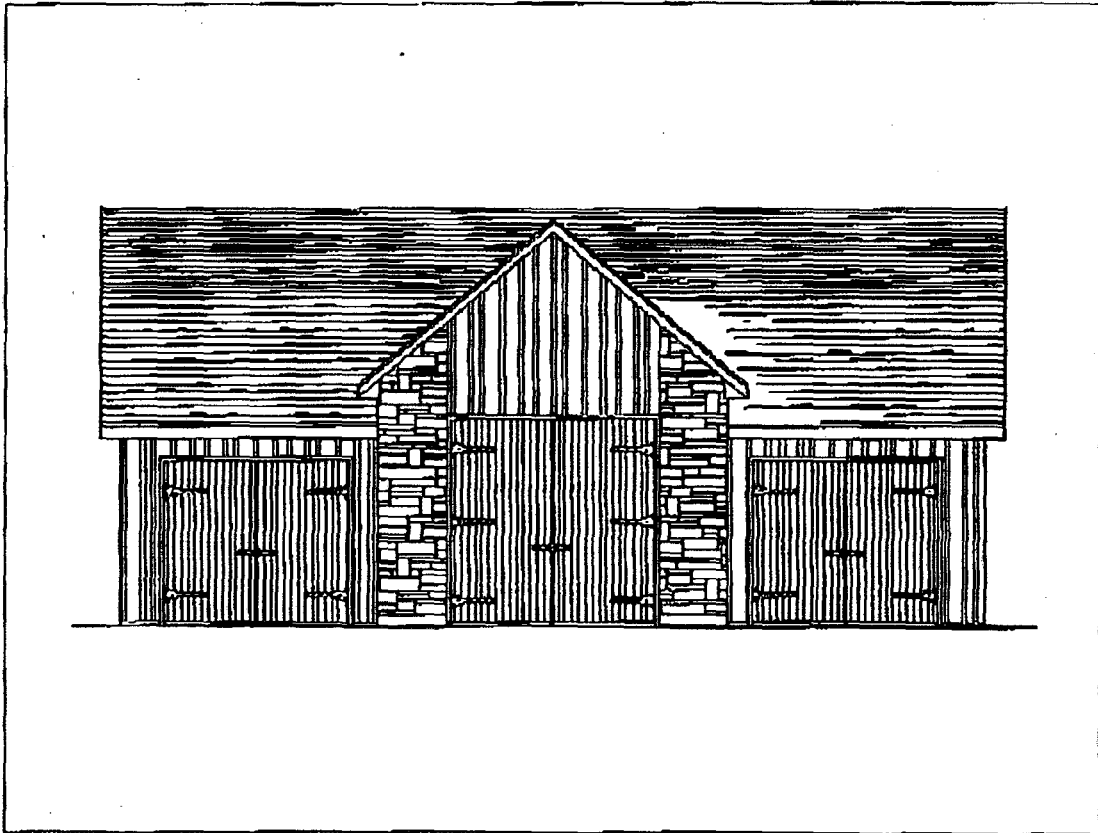
2 Car Garage With Studio Loft

Instead of building just a garage, why not build one that will serve triple duty? A two-car garage with workshop or hobby center and a loft that can be used as a studio or office are features that many homeowners are looking for.

BUILDING HEIGHT 21'-0"



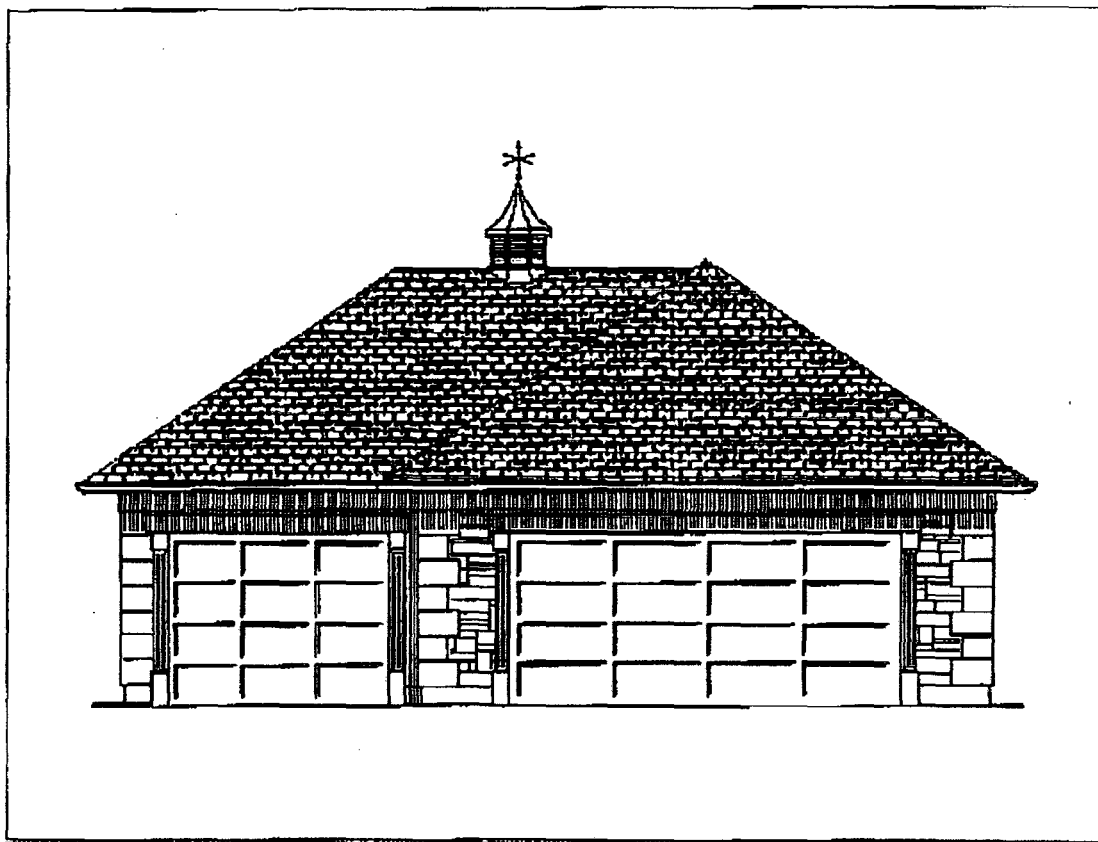
Garage Plan G3AA01



Front View

Plan Summary		
Type:	Garage	Exterior Wall Finish(es):
Area:	990 ft ²	1. Siding
Width:	42' 00"	2. Stone
Depth:	25' 00"	
Bedrooms:	0	
Bathrooms:	0	
Garage:	3 car	
Foundation Type:	Slab	
Foundation Material:	Poured Concrete	
Ext. Wall Construction:	Wood Stud	

Garage Plan G3AA02



Front View

Plan Summary		
Type:	Garage	Exterior Wall Finish(es):
Area:	844 ft ²	1. Stone
Width:	35' 00"	
Depth:	28' 05"	
Bedrooms:	0	
Bathrooms:	0	
Garage:	3 car	
Foundation Type:	Slab	
Foundation Material:	Poured Concrete	
Ext. Wall Construction:	Wood Stud	

CADSmith Studio

Garage and Barn Plans You Can Buy

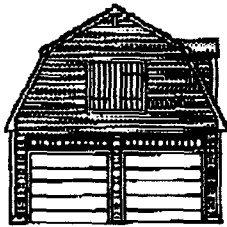
We offer a selection plans for Garage and Accessory buildings as well as home plans, designed for the New England market and construction requirements. Blue print sets, sepia, reversed plans are available at reasonable cost.

To order construction plans see: Ordering Information.

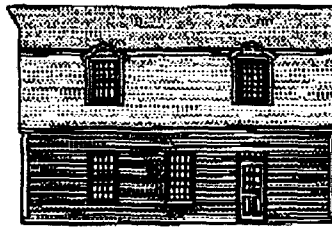


Traditional Design Garages

NEW New England Gambrel 2 Bay Garage NEW



NEW ENGLAND GAMBREL



GARAGE WITH LOFT
PLAN NO. G2-008

Plan #G2-008

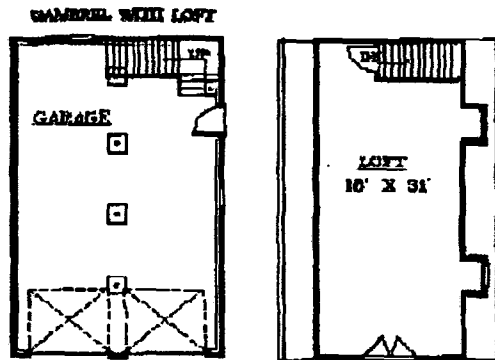
This oversized garage has an large loft for storage and project work shop. Also available as a Dutch Gambrel (see Below). Comes with optional vertical siding details.

NEW

Floor Plans

Overall dimensions are 24' x 36'

To order construction plans please see: Ordering Information.
NEW



NEW Dutch Gambrel 2 Bay Garage NEW



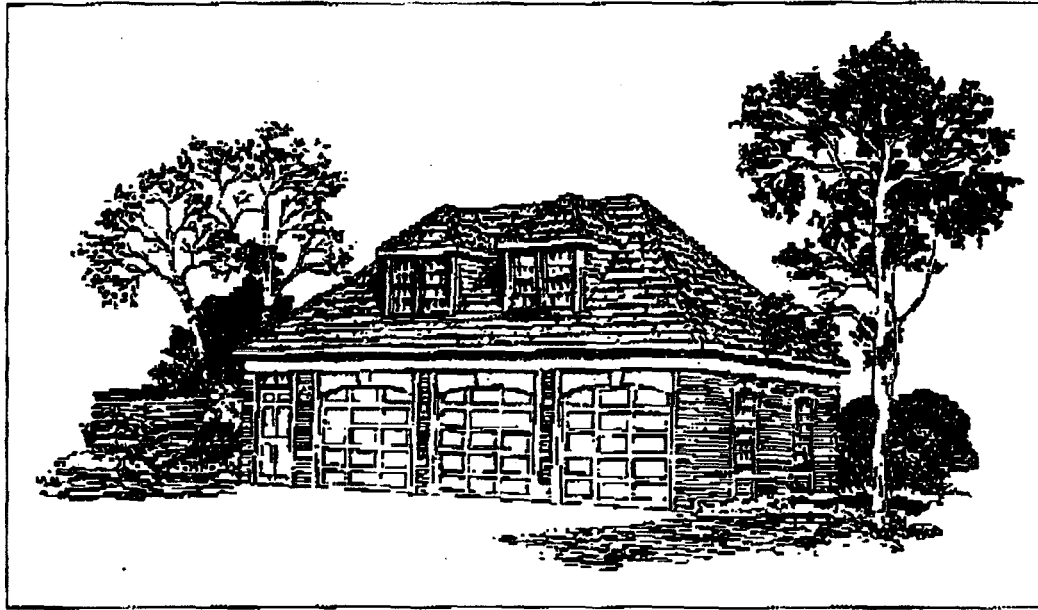
DUTCH GAMBREL
PLAN NO. G2-009

Plan #G2-009

This oversized garage has same floor plan as above. Dutch Gambrel style with "kicked eaves" helps divert roof rain run-off from foundations and prevents sill and wall rot in poorly drained soil and terrain locations.

Overall dimensions are 24' x 36'

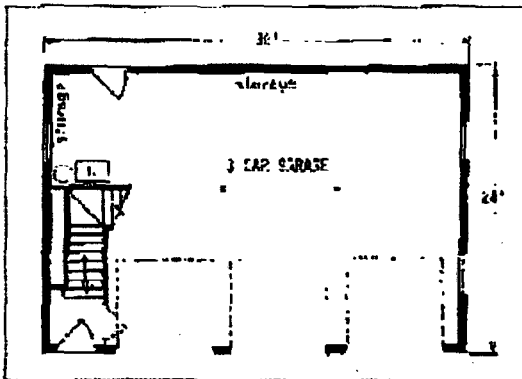
To order construction plans please see: Ordering Information.



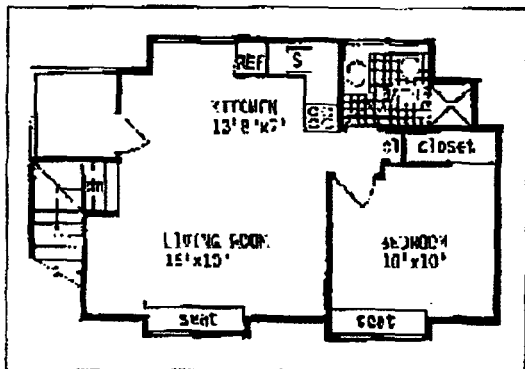
Garage/Apartment Plan HYG-GR-110

Double-hipped dormers top this full 3-car garage/apartment with 432 square feet of living area on the second floor. The living room has a seat set into a dormer alcove and a windowed kitchen occupies the back of the space. The bedroom, with stall-shower bathroom and a 6' closet wall, also has a window seat.

36 x 24



First floor plan image



Second floor plan image

Larger detailed views of the above pictures are available, by selecting the garage view, the first floor plan image, the second floor plan

<http://www.hygepo.com/archway/plans/garagen/gr110.htm>

7/14/97

ML/Institution - Case 37 - w/cond w sr
garage 2 car garage w/ 2 doors.
sub drive for gravel sp 28' depth
whatever is 2 car size.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

for a home existing of. 6-1
Meeting Date: 07/09/97

Address: 7126 Sycamore Avenue

Meeting Date: 07/09/97

Resource: Takoma Park Historic District

Review: HAWP

Case Number: 37/3-97W

Tax Credit: None

Public Notice: 06/25/97

Report Date: 07/02/97

Applicant: Daniel M. Treadwell

Staff: Perry Kephart

PROPOSAL: Garage Construction

RECOMMEND: Approval
With Conditions.

DATE OF CONSTRUCTION: ca. 1908

SIGNIFICANCE: Contributing Resource in the Takoma Park Historic District.

ARCHITECTURAL DESCRIPTION

This wood frame two story Colonial Revival house has a front gable and a one story hipped roof front porch. The house has had many additions over the years (many of which had different types of exterior siding) and, in 1996, the HPC approved the application of "Victorian" style 3" clapboard-like vinyl siding over the entire houses as a unifying element.

The property has a steep grade sloping to the rear. The house is set at the front of the lot with an open, and much lower, back yard and several large trees at the back property line. It should also be noted that the house is on the corner of Sycamore and Columbia Avenue and both the front and rear of the house are clearly visible from these public rights-of-way.

The resource is nearly identical in its front facade design to the next three houses along the street scape. Each of the houses has been modified in differing styles at the rear, but the scale of the modifications is substantially the same. The house next door is divided from this house by a stockade fence. The next door neighbor's one car garage with a pitched roof can be seen from the yard of this resource.

PROPOSAL

The applicant proposes to construct a three car detached garage at the rear corner of his property facing out onto Columbia Avenue and set 23' back from the house. The one story garage is to be a wood frame structure 32' wide and 28' deep set on a 4" concrete slab. The siding is to be 3" vinyl siding identical to the material previously approved by the HPC for use on the house. The garage doors are proposed to be wood paneled overhead doors, one double-width

and one single-width. No trees will be disturbed.

STAFF DISCUSSION

The basic design of the garage is simple and appropriate for the Takoma Park Historic District. The scale of the building is, however, extremely problematic. A three car garage is not in keeping with the surrounding neighborhood or with the Takoma Park Guidelines. The two broad planning and design concepts described in the Guidelines that are applied to all categories of buildings in the historic district must be considered in this instance. They are:

- the design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,
- the importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape landscape and building patterns rather than to impair the character of the historic district.

Placing a garage at the rear of a house in Takoma Park is well within the Guidelines. Building a garage of this size is not. The footprint of the proposed garage (896 sq ft) is over 10% of the overall area of the lot, far exceeding the normal lot coverage for outbuildings in this historic district. The larger historical vehicular outbuildings in suburban settings such as this historic district are usually carriage houses or stables. These are generally built on properties incorporating multiple building lots, or are remnants of country properties of several acres and would not require the large percentage of coverage proposed here.

Staff would recommend that the applicant modify the proposal to a one car, or at most, a two car garage. If the HPC approves a two car garage, the use of two single doors is preferable to one double door.

Staff has discussed these possible modifications with the applicant who has suggested that three single doors on a three car garage might be a more acceptable design.

The use of vinyl siding on a new outbuilding is not recommended, but - as it has been approved for the house - its use on the garage on the same lot is acceptable. In other cases where the main house is less altered, staff would typically recommend that new outbuildings be constructed of wood or other appropriate historic materials.

In conclusion, staff is strongly of the opinion that despite the appropriateness of the basic design, the size of the proposed garage should not be approved as shown in the application. To staff's knowledge, there are no three car garages in Takoma Park and this one would set a poor precedent. In this case, the integration of the contributing resource into the overall streetscape, especially when the resource is the corner property seen from two public rights-of-way, should subject the project to a very high level of review. The installation of a double and single door garage facade on Columbia Avenue at the edge of the historic district would be out of character

with the district and thus compromise the integrity of its streetscape.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** with conditions the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

with the conditions:

1. The design of the garage must be scaled back to a one or two car facility.
2. Tree protection measures shall be undertaken. Specifically, all trees immediate to the area of new construction shall have temporary fencing installed around them at the drip line during the construction period, with the fencing to be maintained throughout construction.

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 1075396

NAME OF PROPERTY OWNER DANIEL M. TREADWELL TELEPHONE NO. 301 270-0690
(Contract/Purchaser) (Include Area Code)

ADDRESS 7126 SYCAMORE AVE TAKOMA PARK MD 20912
CITY STATE ZIP

CONTRACTOR _____ TELEPHONE NO. _____

PLANS PREPARED BY _____ CONTRACTOR REGISTRATION NUMBER _____

TELEPHONE NO. _____
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 7126 Street SYCAMORE AVE

Town/City TAKOMA PARK Election District 13

Nearest Cross Street COLUMBIA

Lot 4 Block 21 Subdivision B.F. GILBERTS (25)

Liber 7858 Folio 082 Parcel _____

- 1A. TYPE OF PERMIT ACTION: (circle one)
- | | | | | | | | | | |
|---|-------------------------------------|---|------------------------------------|--|-------------------------------|--|---|--------------------------------|--|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend/Add | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> Repair | Circle One: A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | | | |
| <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Revocable | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Shed | <input type="checkbox"/> Solar | <input type="checkbox"/> Woodburning Stove |
| | | | | <input type="checkbox"/> Fence/Wall (complete Section 4) | | | <input checked="" type="checkbox"/> Other <u>GARAGE</u> | | |
- 1B. CONSTRUCTION COSTS ESTIMATE \$ TBD
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NO
- 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO
- 1E. IS THIS PROPERTY A HISTORICAL SITE? NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. TYPE OF SEWAGE DISPOSAL
- | | |
|---|---------------|
| 01 <input checked="" type="checkbox"/> WSSC | 02 () Septic |
| 03 () Other _____ | |
- 2B. TYPE OF WATER SUPPLY
- | | |
|---|-------------|
| 01 <input checked="" type="checkbox"/> WSSC | 02 () Well |
| 03 () Other _____ | |

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 4A. HEIGHT _____ feet _____ inches
- 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/Property line _____
 - Entirely on land of owner _____
 - On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Daniel M. Treadwell

Signature of owner or authorized agent (agent must have signature notarized on back)

04 JUN 1997

Date

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

4

APPLICATION/PERMIT NO: 9706160064

DATE FILED: _____

DATE ISSUED: _____

FILING FEE: \$ _____

PERMIT FEE: \$ _____

BALANCE \$ _____

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK (including composition, color and texture of materials to be used:)

Refer to Supplemental Application for Historic Area Work Permit (attached)

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE: HISTORIC PRESERVATION COMMISSION 100 MARYLAND AVENUE ROCKVILLE, MARYLAND 20850

5

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT

REQUIRED ATTACHMENTS

1. Written Description of Project

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Frame house built in 1908. House was operated as apartments for many years and has had several additions, modifications, and alterations to the original structure. No photos exist from earlier eras, and it is difficult to tell what the house originally looked like. No outstanding historical features or significance. House sits on an ordinary streetscape, and house and street are on edge of historic district.

b. General description of project and it's impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Propose to construct three car detached garage. No impact to historic resource (existing house). Will enhance value of property, and hence, historic district. Propose to use 3" victorian clapboard siding identical to that as used on main house, which will approximate the appearance of materials used for structures in the early 1900's, and be in consonance with the environmental and historic setting of the area.

2. Statement of Project Intent:

Short, written statement that describes:

a. The proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

Wood frame structure 32' wide by 29' deep by 12' 9" high overall, on 4" concrete slab on top of 4" gravel base. 3" victorian clapboard siding identical to main house. Area where proposed garage is to be located is presently grassy area at the end of driveway. It is presently used for parking cars. There are no trees presently within this area. Landscaping (e.g., ground covers, shrubs, etc.) around the structure will be in consonance with the rest of the property. (Owner has retained the services of a professional landscaper who will advise on tasteful landscaping).

(b)

b. The relationship of the design to the existing resource:

The proposed improvement would be totally detached from the existing resource. Propose to use 3" victorian clapboard siding identical to main house, for consonance of design and to approximate appearance of early 1900s structure.

c. The way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

As this HAWP proposes no change to the historic resource (i.e., the main house), this HAWP applies only to the environmental setting. The proposed improvement will complement the variety of mixed architectural periods and styles represented on Sycamore Avenue and in the surrounding area. Since the proposed design will incorporate 3" victorian clapboard siding, it will approximate the appearance of an older style (early 1900s) structure. As the proposed improvement will enhance the value of the property, and hence, the historic district, it fully supports the requirements of the Ordinance (Chapter 24A).

3. Project Plan: See attached.

4. Tree survey: See attached. No impact to existing trees on property (no trees are within area where garage is proposed to be constructed).

5. Design Features: See attached.

6. Facades: See attached.

7. Materials Specifications: See attached. Wood frame structure on 4" concrete pad. Pressure treated lumber for bottom plates. 3" victorian vinyl siding for exterior (identical to main house). This will give the structure a historic look, and approximate the appearance of siding used on dwellings of the early 1900's. Garage doors will be painted wood.

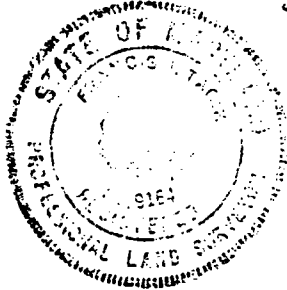
8. Photos of Resource: Attached.

9. Photos of Context: Attached.

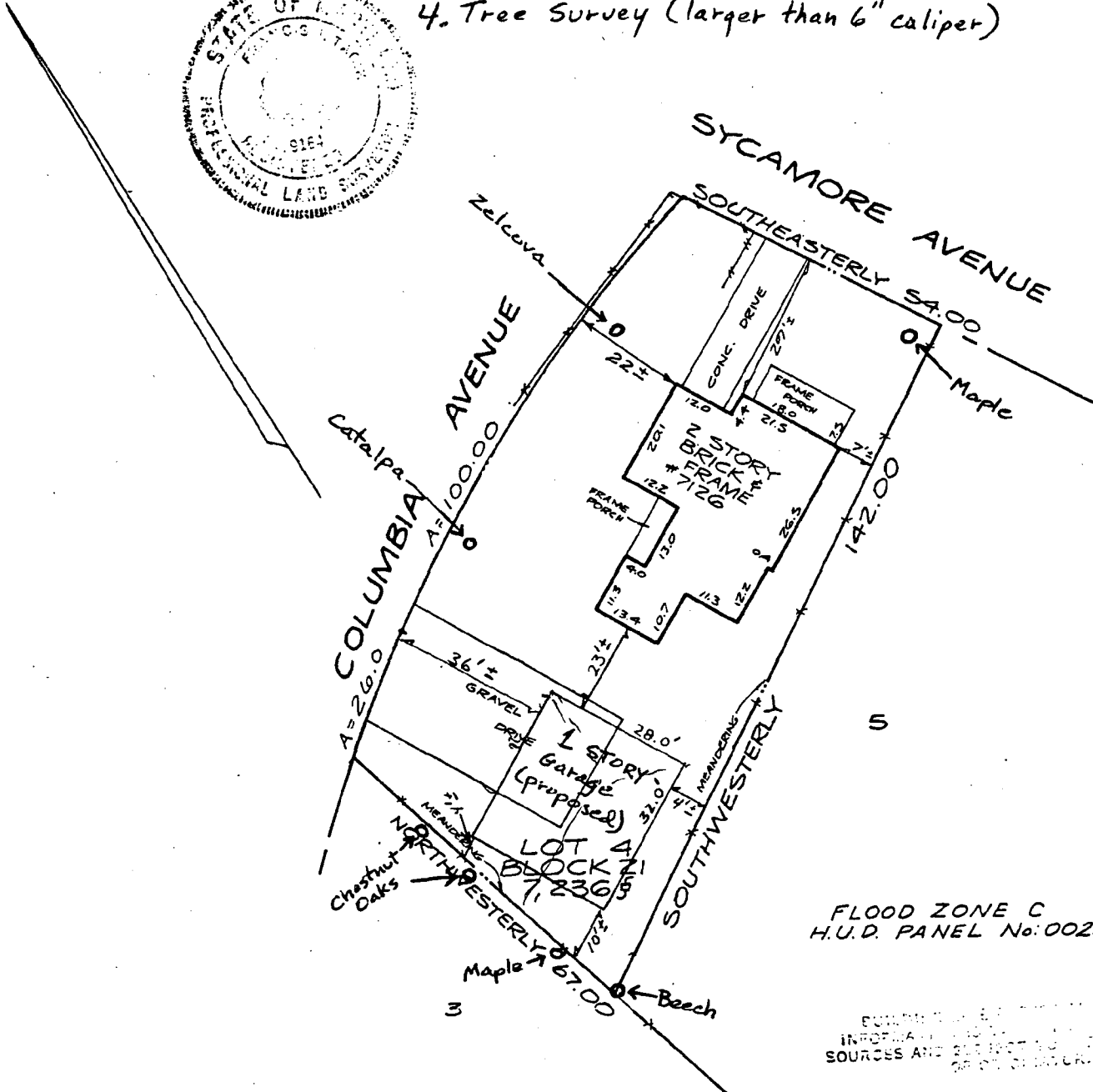
10. Addresses of Adjacent Property Owners:

1. Eileen Kirilin and Steve Rosenthal
7124 Sycamore Ave
Takoma Park, MD. 20912
2. Jack Bennett
7127 Sycamore Ave
Takoma Park, MD. 20912
3. Christine and Bud Ruf
7125 Sycamore Ave
Takoma Park, MD. 20912
4. Turner Electric Co.
201 Ethan Allen Ave.
Takoma Park, MD. 20912
5. Eleanor Suntum
7125 Poplar Ave.
Takoma Park, MD. 20912

NOTE: This location for title purposes only - be used for determining property lines. Property corners Markers Not guaranteed by this location.



3. Project Plan
4. Tree Survey (larger than 6" caliper)



FLOOD ZONE C
H.U.D. PANEL No: 0025C

FOR INFORMATION OF THE PUBLIC, THE INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.

LOCATION OF HOUSE
LOT 4 BLOCK 21
B.F. GILBERT'S
ADDITION TO
TAKOMA PARK
MONTGOMERY COUNTY, MD

RECERTIFIED: 2-19-88

Revised 3-11-88

SURVEYOR'S CERTIFICATE

PLAN SHOWN HEREON IS PREPARED FROM FIELD SURVEYMENTS OF EXISTING STRUCTURES AND ENCLOSURES, TO THE BEST OF MY KNOWLEDGE AND BELIEF, AS SHOWN OR DESCRIBED.

REGISTERED LAND SURVEYOR MD # 9164

REFERENCES

PLAT BK. A
PLAT NO. 2

LIBER
FOLIO



SNIDER, BLANCHARD, & ASSOC., INC.
SURVEYORS - ENGINEERS
LAND PLANNING CONSULTANTS

216 Montevue Lane
Frederick, MD 21701
(301) 694-5344

2 Professional Dr.,
Githersburg, MD 20879
(301) 948-3100



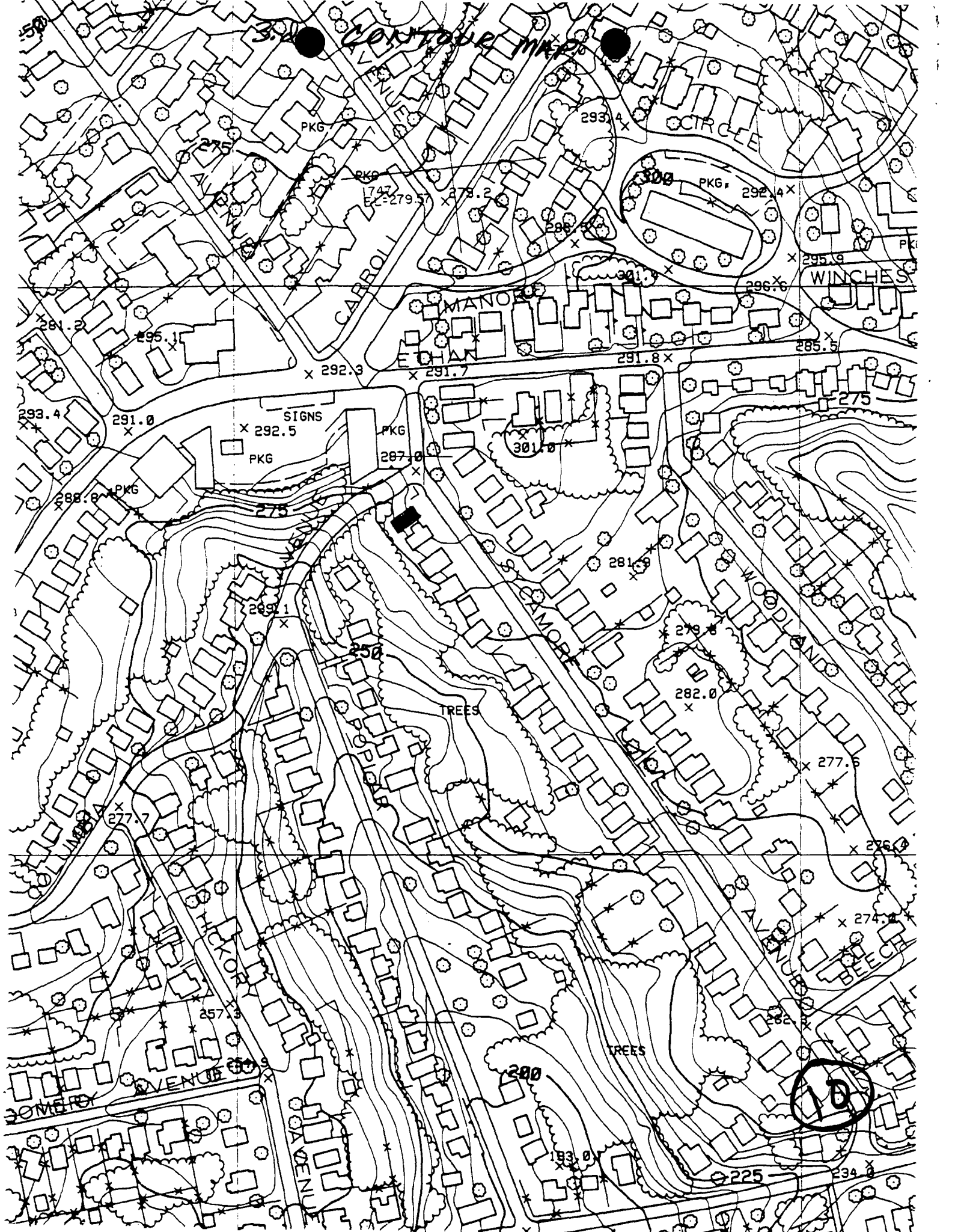
DATE OF LOCATIONS
WALL CHECK:
HSE. LOC.: 7-20-87
BOUNDARY:

SCALE: 1" = 30'

DRAWN BY: J.B.

JOB NO.: 87-3356

Central Map



10

5. Design Features

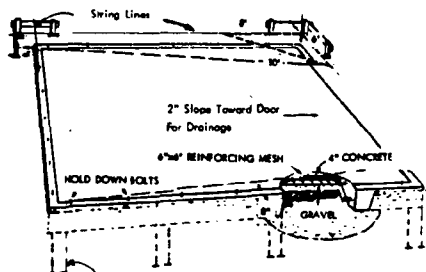
6. Facades

7. Materials Specifications

INSTRUCTIONS:

3 CAR GARAGE

1. Study the plan thoroughly. Be sure to check your local code requirements and if required obtain a building permit. Omit steps 2 through 8 if slab is poured by contractor.
2. Locate the garage on your lot to conform to local code requirements, such as side and rear lot setbacks. Allow enough room for easy entrance, exit, or turn around, if possible.
3. Stake out the area as illustrated. Be sure all corners are square. Remember that dimensions on plan are to outside of concrete and face of stud. See Foundation plan.
4. Dig trench for foundation approximately 12" deep, 12" wide at bottom. Taper inward at top to approximately 20".



To 6" below frost line, if required.

5. Build forms for the concrete slab, using 2" lumber. Set top of 2" form board to desired floor height and level. Inside face of form boards must line up exactly with "string lines" set at proper building dimensions.
Brace securely. This is very important to keep forms from pushing out when concrete is poured. Use a gravel fill and tamp to within 4" of the top of form boards.
6. Call building inspector to check location and trenches before pouring concrete.
Note: At least two 1/2" (or #4) reinforcing bars in perimeter makes a better job. Using wire mesh in floor slab minimizes cracking.
Have local electrical contractor install conduit under slab for electrical service.
7. Pour readymix concrete completely filling forms. Surface and level with a long straight board and trowel.
8. Set anchor bolts (see foundation plan) 1 3/4" in from edge of concrete and extending at least 2 1/2" above surface.
9. After concrete has set place 2x4 bottom plate on top of bolts with edge of 2x4 flush with outside face of concrete, and tap with a hammer over each bolt to locate position of bolt holes. Drill a 3/4" hole in bottom plate to fit over bolts. Check by placing 2x4 plate over bolts and be sure that edge of 2x4 is flush with face of concrete.

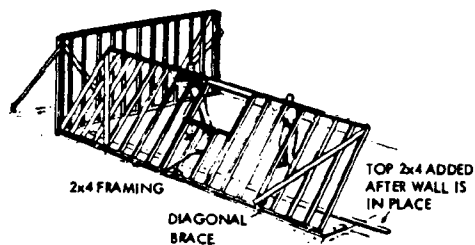
NOTE: Note that the walls are laid out in at least two panels each. This has been done for ease of handling the pre-assembled walls.

FRAME CONSTRUCTION

Begin construction by assembling wall panel, A, B, C and D, on the concrete garage slab

Assemble all four panels before tilting them up into position.

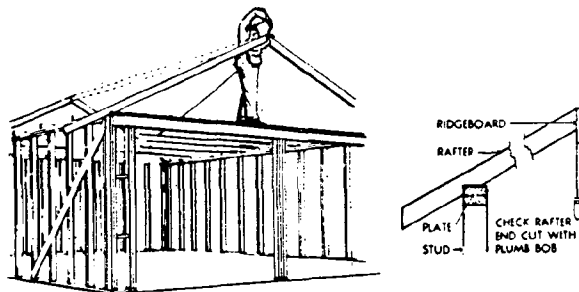
10. Lay the predrilled 2"x4" bottom plate and one 2"x4" top plate for panel "A" side by side and mark position of 2"x4" studs 16" o.c. as shown on panel elevation drawing (note that the first stud space on each end of panels is measured from the outside face of stud to the center line of the next stud). Assemble wall Panel "A" using pre-cut 2"x4" studs 7'-8 5/8" long. Nail through top and bottom plates into studs using two 16 penny nails at each connection.
11. Let-in bracing. Check panels for squareness. Lay the 1"x4" corner brace on panel outer corner at top of panel down to bottom plate at a 45 degree angle. Mark 1"x4" position on each stud. With your circular power saw cut into stud 3/4" at each mark. Using a chisel and hammer knock out the piece of wood leaving a 3/4" recess into which you place the 1"x4" corner brace and nail with two 8 penny nails at each stud and top and bottom plate.
Repeat steps 10 and 11 for panels "B", "C" and "D".
12. Now that you have the first four wall panels assembled you can start the erection of the walls. Tilt up panel "A" and place it in position over the anchor bolts. Brace panel securely with 2"x4" brace to ground stake. Place washer and nut on anchor bolts and tighten down panel. Follow same procedure for panels "B", "C" and "D".



13. Repeat instructions number 10, 11 and 12 for assembly of remaining wall panels. Assemble and erect panels in sequence.
14. As panels are erected you can add the 2"x4" tie plate as shown on wall framing elevations. Nail plate 16" on center with 16 penny nails.
15. Cut garage door header to length and nail together with two 16 penny nails at each end. Stagger nail 16 penny nails 32" o.c. along top and bottom of header on both side. For 16' opening use the laminated wood header or bolt 2-2"x12" with a 11"x3/8" steel plate between as shown on finish plate detail.
16. Nail 2"x4" cripples at each side of door opening. Lift assembled header into position and rest on cripples and nail to panel studs using 16 penny nails. Nail hardware around to inside face of cripples (see garage door jamb detail).
17. Add 2"x4" tie plate to top remaining wall panels.
18. Lay rafter ties approximately 4" on center across top plate to form a working platform for rafter erection. Brace ties below if span is too long.



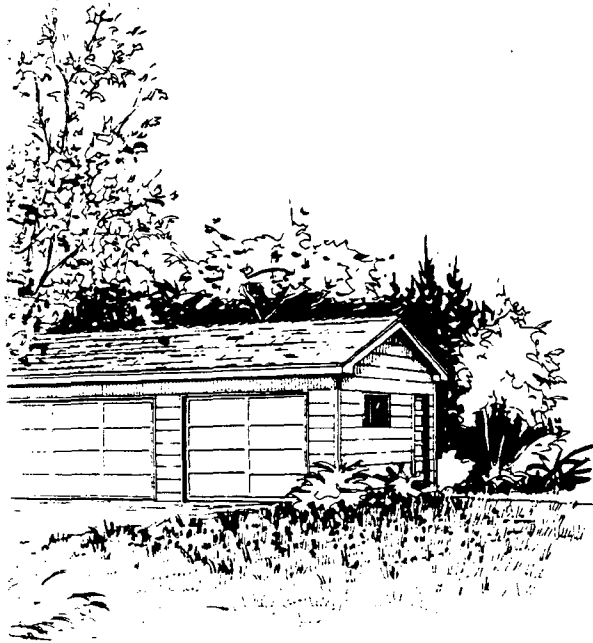
19. Cutting rafters is simplified by using the template pattern provided on the plan. Layout and cut two rafters to size and check for accuracy. (Be sure to use the same rafter as a pattern to make all additional rafters.)



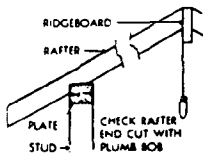
20. Erect end "back-nail" the end rafters in place and brace temporarily. 10 or 12 feet from the gable end erect a second set of rafters. Slip the ridge board into position and support at each end with a 2"x4" stud. Be sure the ridge board is level, rafters are plumb. The remaining rafters can now be put in place. Nail collar ties to rafters. Before nailing the rafter ties in place we suggest that you check your garage door hardware manufacturers instructions as well as your automatic garage door opener instruction for the minimum clearance required from top of the garage door opening to the bottom of the rafter ties. It may require that the first two rafter ties at the front of the garage be set up off the top plate in order to gain the clearance required (see diagram below).
21. Add 2x4 gable studs, eave blocking and any other framing necessary, as shown on plan.
22. Apply 1/2" plywood sheathing over roof rafters starting at the bottom of the rafter. Stagger joints of roof sheathing so that joints on adjoining sheets do not occur on the same rafter. Check plan carefully to find out how far roof sheathing should extend out at gable ends.
23. Apply roof shingles (over felt if desired). Follow manufacturer's instructions in bundle. Extend shingles 3/4" beyond face of trim board, and excess of shingles should be cut from inside only in order to maintain a trim appearing edge.
24. Trim door opening with jambs and casing.
Install windows with bottom sill resting on 2"x4" sill plate.
25. Apply aluminum coated Kraft paper over outside stud wall. Start siding at bottom, make sure that first board is level. Check for level at every third board and cut all joints and squares, staggering joints on side walls.
26. Trim eaves and corners. Install down.
27. Install garage door following the manufacturer's instructions included with door package.
28. Paint or stain siding and trim as desired.



IR GARAGE



erided on the plan. Layout to use the same rafter as a



temporarily. 10 or 12 feet
ridge board into position
ridge board is level, rafters
Nail collar ties to rafters.
Check your garage door
garage door opener
garage door opening
two rafter ties at the
in the clearance

necessary, as shown on plan.
bottom of the rafter. Stagger
not occur on the same rafter.
ould extend out at gable ends.
er's instructions in bundle.
of shingles should be cut from

Start siding at bottom, making
board and cut all joints and ends

included with door package.

MATERIAL LIST

QUANTITY	SIZE	DESCRIPTION	BF
4 Pcs.	2x4-16'	Bottom Wall Plate (Treated)	43
2 Pcs.	2x4-14'	Bottom Wall Plate (Treated)	19
1 Pc.	2x4-8'	Bottom Wall Plate (Treated) Cut	5
4 Pcs.	2x4-16'	Top Wall Plates	43
2 Pcs.	2x4-14'	Top Wall Plates	19
1 Pc.	2x4-8'	Top Wall Plates, Cut	5
5 Pcs.	2x4-16'	Tie Plates	53
2 Pcs.	2x4-12'	Tie Plates	16
2 Pcs.	2x4-8'	Tie Plates	11
86 Pcs.	2x4-8'	Pre-Cut Studs	459
14 Pcs.	2x4-8'	Cripples	75
2 Pcs.	2x12-18'	Fitch Plate Garage Door Header (16'-7 1/2" Opening)	72
1	11"x3-8" x 16'-7 1/2"	Steel Fitch Plate, Bolted	-
1 Pc.	2x4-16'	Blocking, At Garage Fitch Plate Beam (16'-7 1/2" Opening) or	11
1	3 1/2"x12" x 16'-7 1/2"	Laminated Wood Garage Door Header For (16'-7 1/2" Opening)	-
1 Pc.	1x4-16'	Blocking At Garage Door Laminated Header (16'-7 1/2" Opening)	5
2 Pcs.	2x12-10'	Garage Door Header (9'-7 1/2" Opening)	40
1 Pc.	2x4-10'	Blocking, At Garage Header (9'-7 1/2" Opening)	7
3 Pcs.	2x4-8'	Headers, Cut	16
1 Pc.	2x4-8'	Sill, At Window	5
6 Pcs.	1x4-12'	Let-in Diagonal Wind Bracing	24
1 Pc.	2x4-18'	Garage Door Surround	12
1 Pc.	2x4-10'	Garage Door Surround	7
4 Pcs.	2x4-8'	Garage Door Surround	21
10 Pcs.	2x4-12'	Gable Ends Studs, Cut	80
50 Pcs.	2x6-16'	Rafter Ties	1067
7 Pcs.	2x6-14'	Rafter Ties	112
2 Pcs.	2x6-12'	Gable End Blocking, Cut	98
4 Pcs.	1x4-10'	Hangers, Cut	24
2 Pcs.	1x10-16'	Ridge Board	13
11 Pcs.	1x6-10'	Collar Ties	27
22 L.F.	2x4	Loak-Overs, Cut	55
6 Pcs.	1x8-12'	Soffit	15
4 Pcs.	1x8-16'	Soffit At Rake	48
6 Pcs.	1x8-12'	Fascia	43
4 Pcs.	1x8-16'	Rake	48
34 Pcs.	4"x8"-1 2"	CDX 24'0" Plywood Roof Sheathing	1088 S.F.
2		Metal Roof Vents	-
3 Rolls	15'	Roofing Felt	-
11 2' 3 Sps.	235 #	Asphalt Shingles (Self Seal)	-
2	3'-0"x3'-0"	Metal Sliding Window	-
1	2'-8"x6'-8" x 1 3/8"	Garage Service Door	-
1	16'-0"x7'-0"	Sectional Up & Over Garage Door With Track And All Necessary Hardware	-
1	9'-0"x7'-0"	Sectional Up & Over Garage Door W/ Track And All Necessary Hardware	-
130 L.F.		Metal Drip Edge	-
80 L.F.	1x4	Door Jamb	27
80 L.F.		Brick Mould	-
80 L.F.		Door Stop	-
1 Pcs.	1x12-8'	Gable End Drop	6
3 Rolls	36" Wide	Aluminum Gail Kraft Paper (Optional)	-
128 Sq.Ft.	7/16"x12"	Horizontal Hardboard Siding With 1/2" Exposure (Optional)	1344 Sq.Ft.
4 Pcs.	1x4-8'	Corner Boards	11
4 Pcs.	1x3-8'	Corner Boards	8

NAILS

22 lbs.	16d	Common Nails Coated
4 lbs.	8d	Common Nails Coated
10 lbs.	6d	Common Nails Coated
10 lbs.	8d	Galvanized Siding Nails
18 lbs.	1 1/4"	Galvanized Roofing Nails
3 lbs.	8d	Casing Nails

26	1/2" Dia. x 12"	Anchors Bolts With Nut & Washers
1 Pr.	3 1/2"x3 1/2"	Door Butts
1		Key In Knob Cylinder Lockset
17 Cu.Yds.		Concrete Slab Foundation And Floor Concrete Figures Based Upon Level Site Conditions With Gravel Base
900 Sq.Ft.	6"x6"-#10	Welded Wire Fabric
240 L.F.	1 2" Dia. - #4	Reinforcing Rods

OPTIONAL

30 Pcs.	4"x8"-1 1/2"	Insulating Sheathing	960 Sq.Ft.
10 lbs.	1 1/2"	Galvanized Sheathing Nails	

OPTIONAL FOR FORMED FOUNDATION (WALL HEIGHT FIGURED AT 3'-4" HIGH)

4 Cu. Yds.		Concrete For Footing
11 Cu. Yds.		Concrete For Walls
11 Cu.Yds.		Concrete For Floor

NATIONAL PLAN SERVICE, INC.

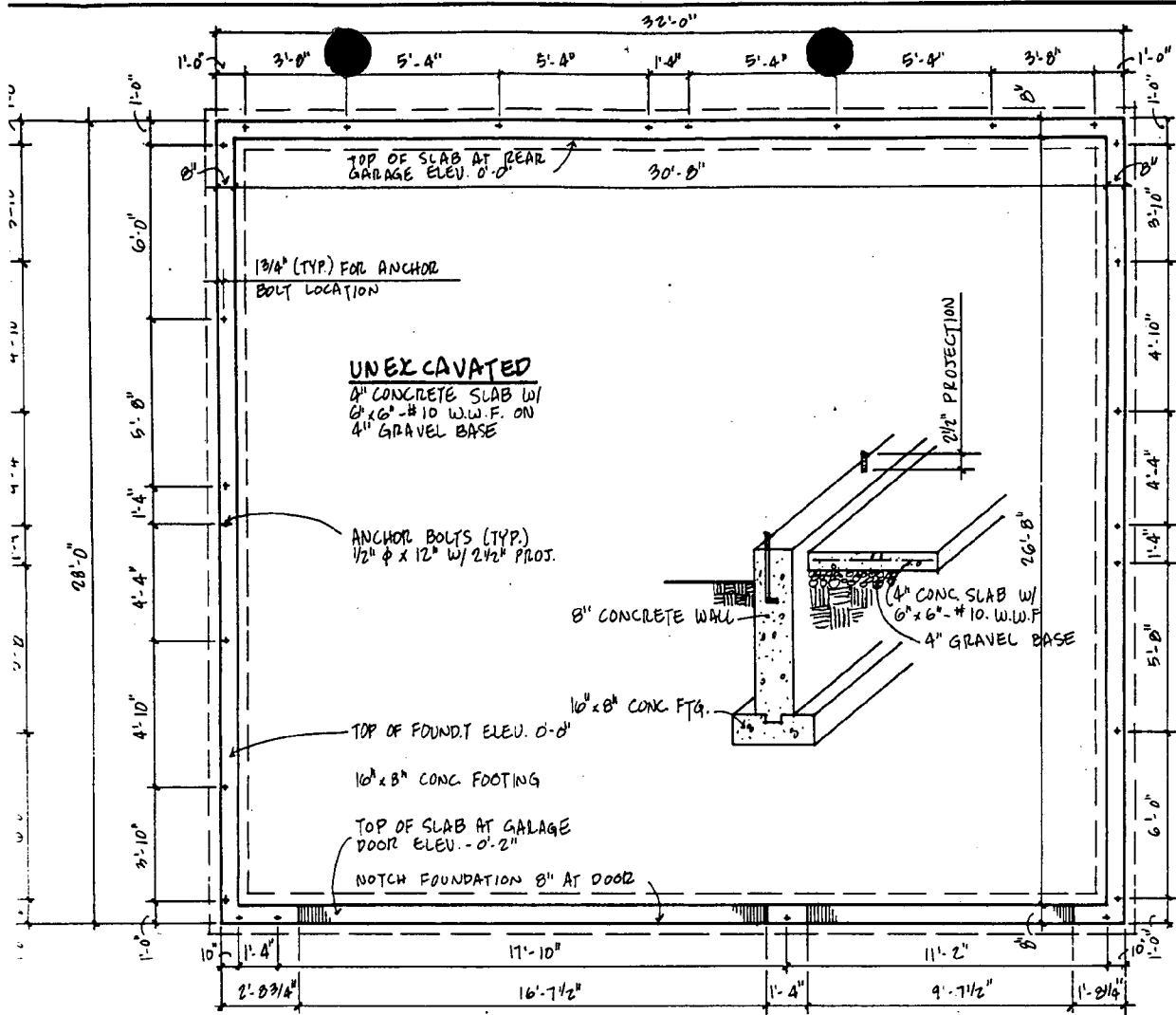
This plan has been prepared to meet professional standards of construction. A careful study of plan instructions and dimensions is advised before starting work.

SHEET NO. 1

TOTAL 4

PROJECT PLAN NO 668 P-3002

12



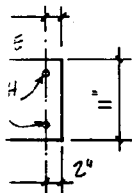
FORMED FOUNDATION PLAN

SCALE

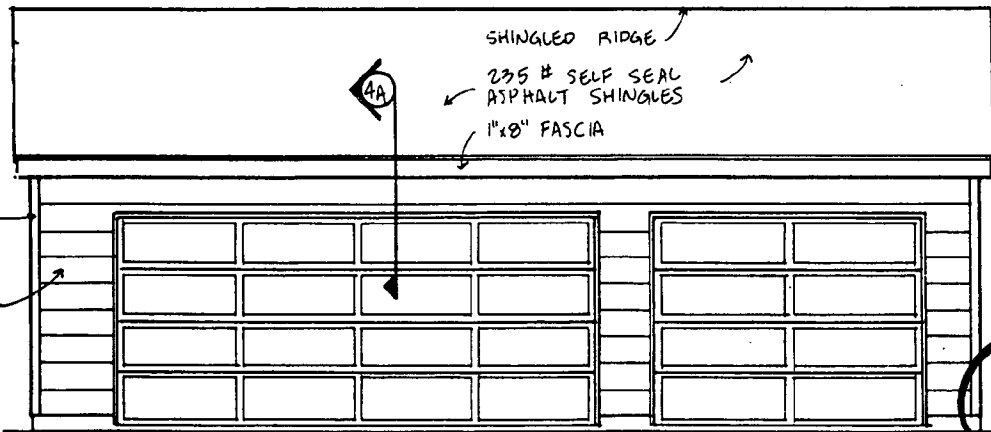
ROOF DESIGN

30 LBS. LIVE LOAD, 10 LBS. DEAD LOAD

RAPTER SPANS BASED ON THE USE OF NO. 2 SPRUCE-PINE-FIR OR EQUAL, HAVING A MODULUS OF ELASTICITY OF 1,300,000 AND A NORMAL DURATION DESIGN VALUE OF (F = 1200)*



2-2" x 2" x 12" W/ 11" x 3/8" STEEL PLATE BATED



1" x 4" & 1" x 3" CORNER BRDS
7/16" x 12" HORIZONTAL HARDBOARD SIDING W/ 10 1/2" EXPOSURE

FRONT ELEVATION

SCALE

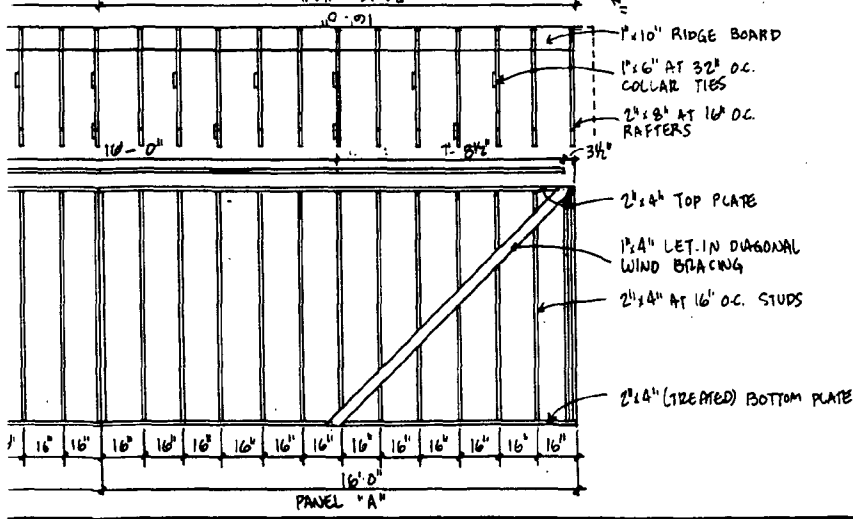
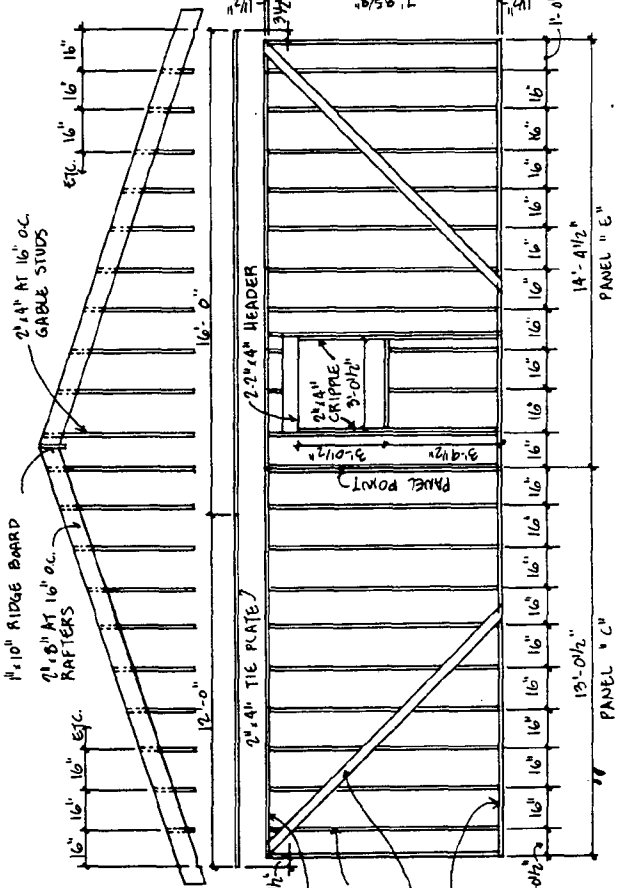
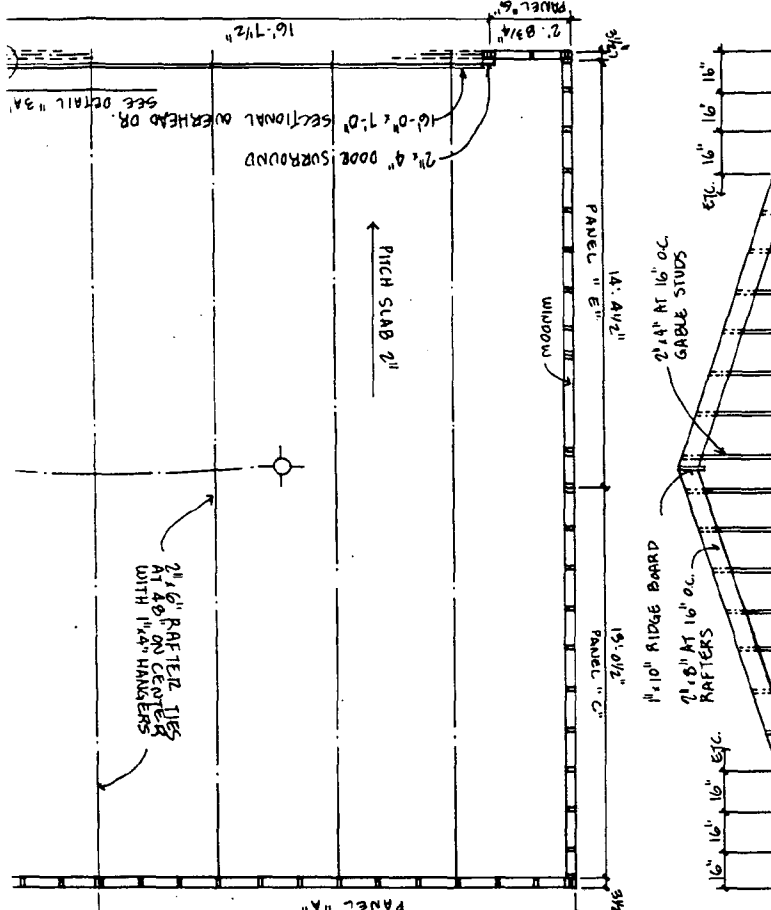
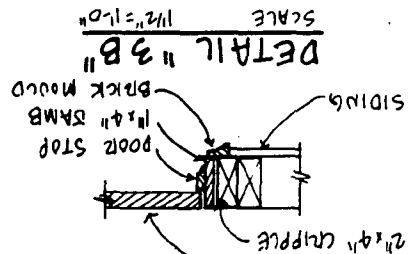
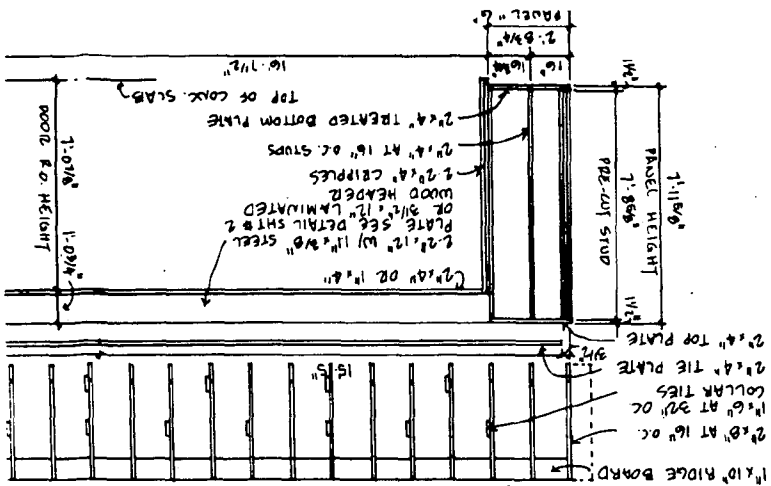
1/8" = 1'-0"

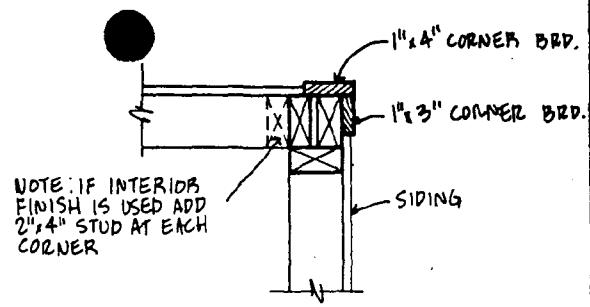
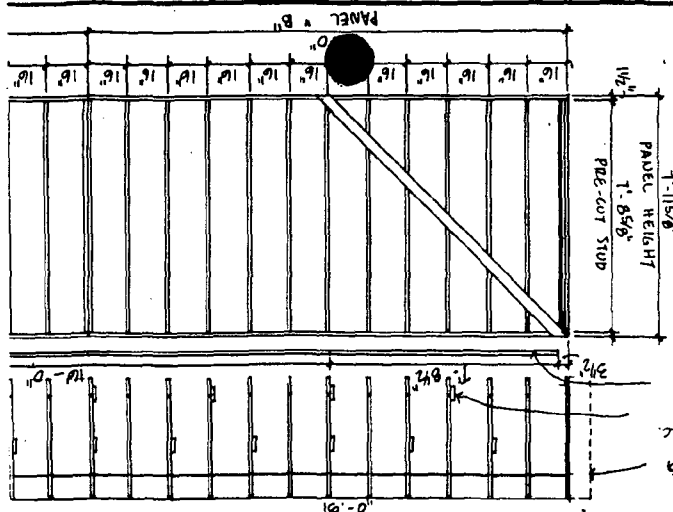
REV 7/81*

668	P-3002	SHEET # 2
		TOTAL 4

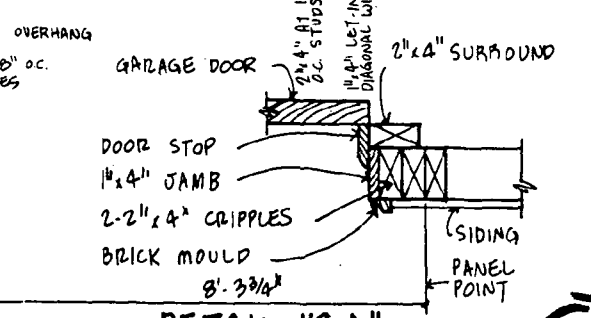
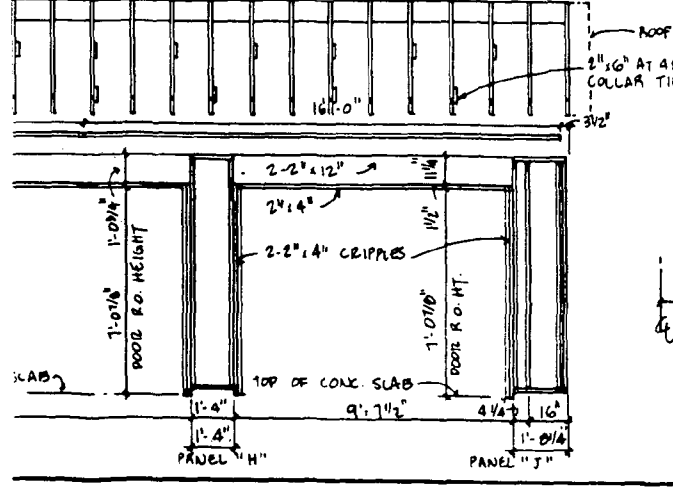
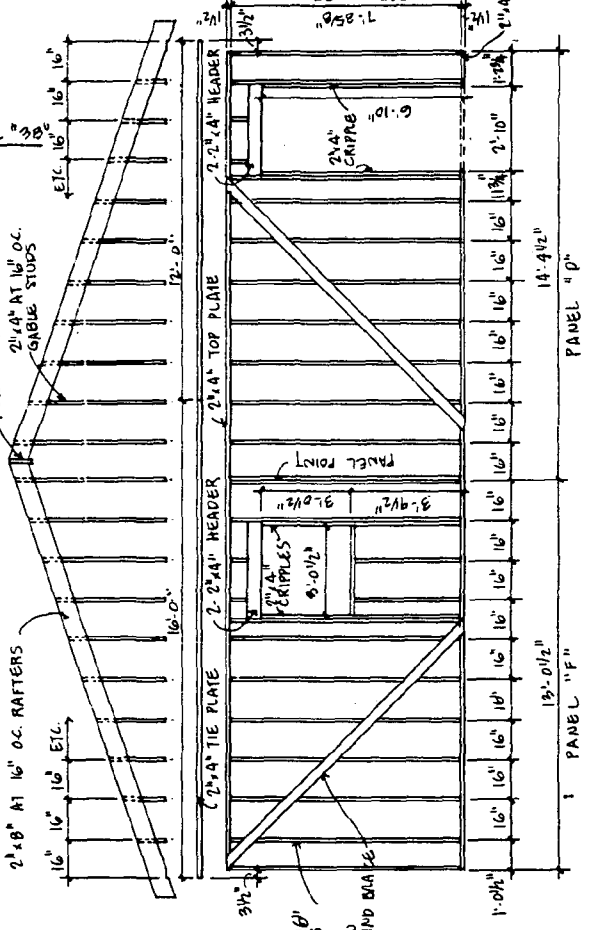
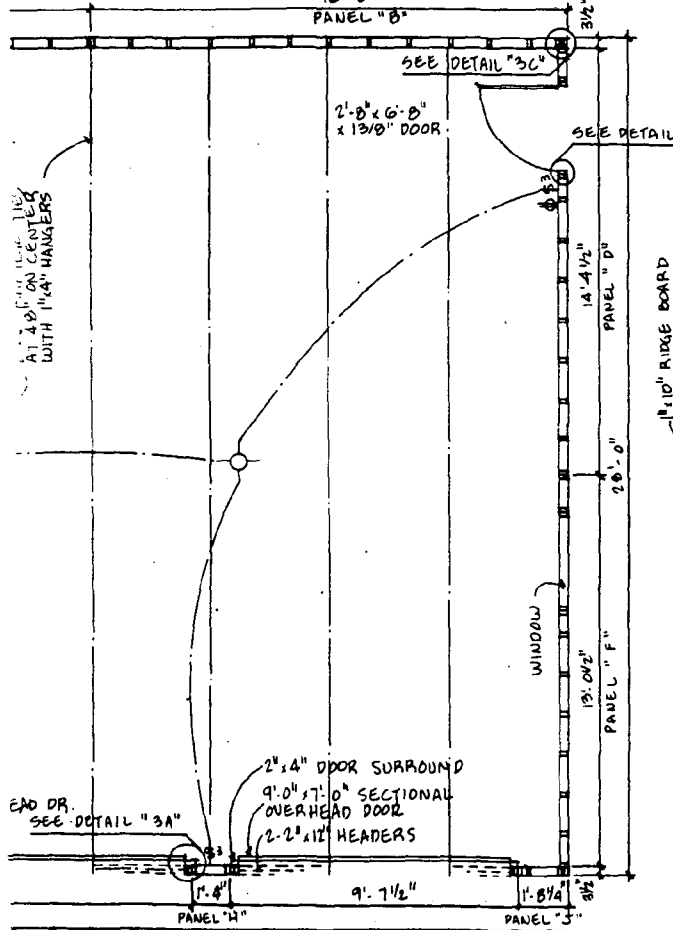
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15



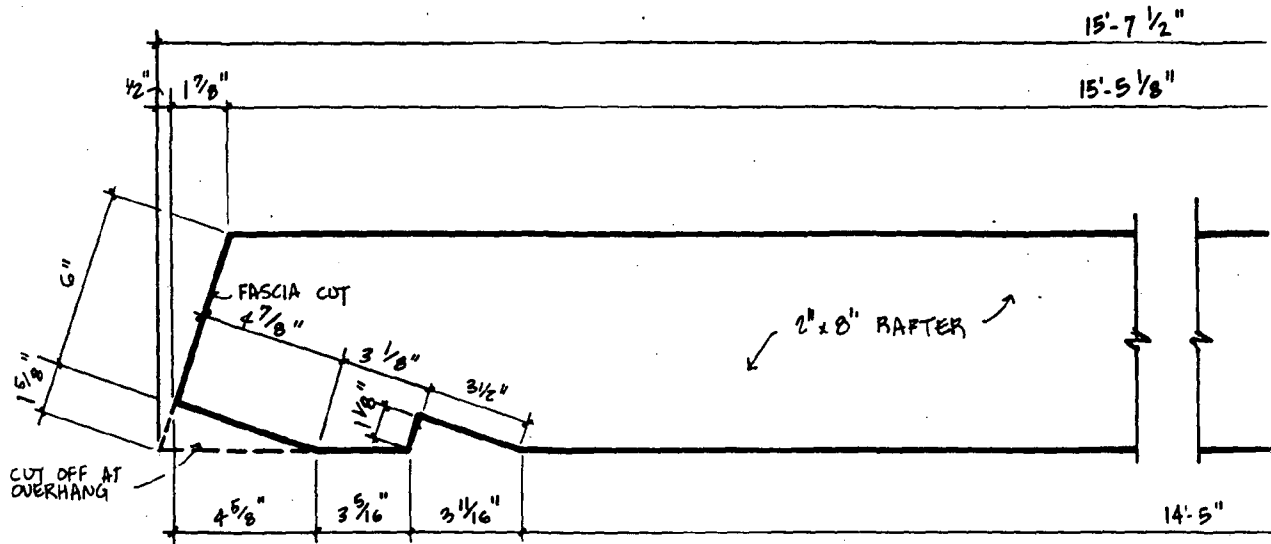


DETAIL "3-C"
SCALE 1/2" = 1'-0"



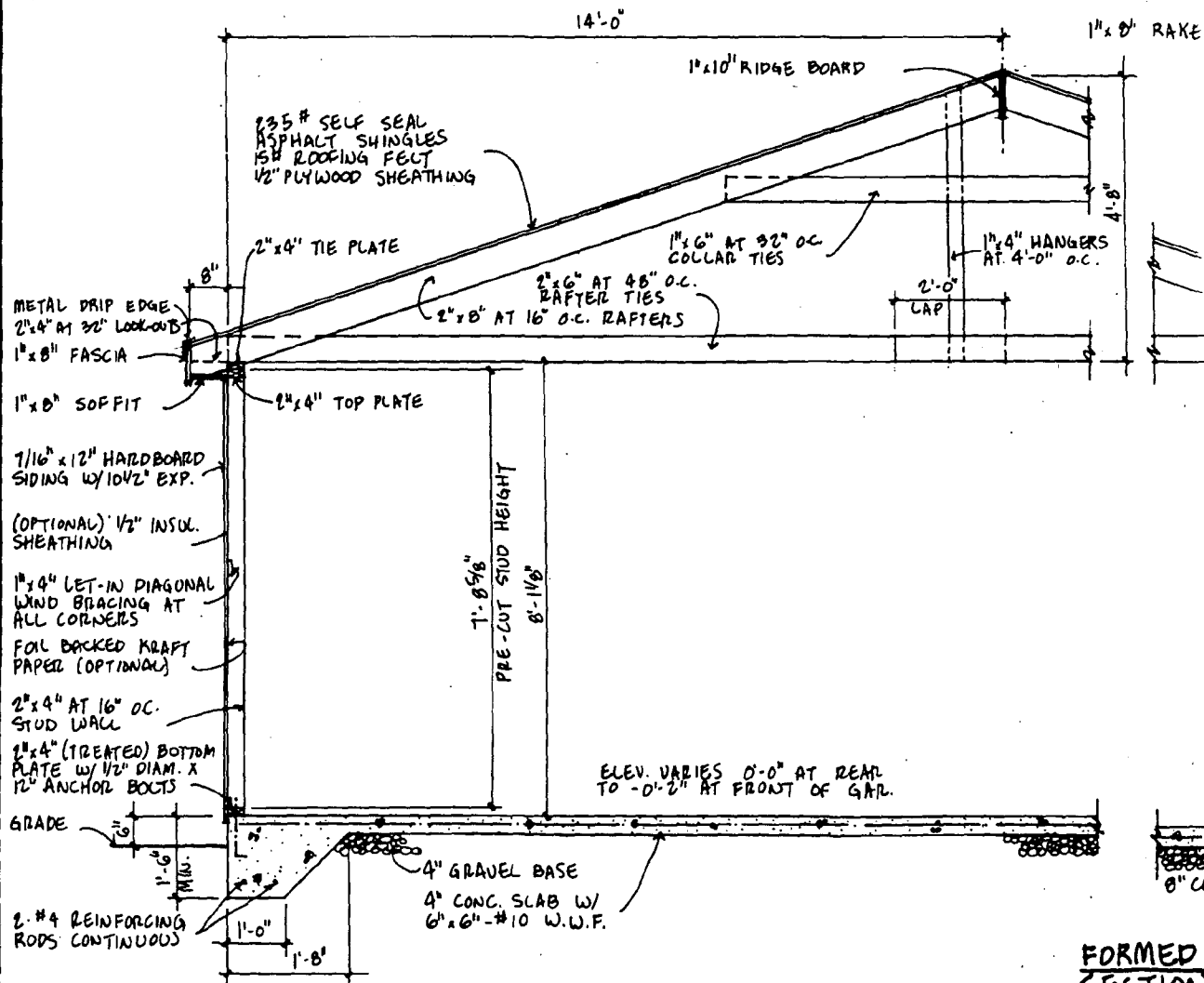
DETAIL "3A"
SCALE 1/2" = 1'-0"

16



RAFTER CUTTING DIAGRAM
SCALE 3" = 1'-0"

- METAL DRIP
- 1" x 8" RAKE
- 2" x 6" GABLE AT 3'-2" O.C.
- 1" x 8" RAKE



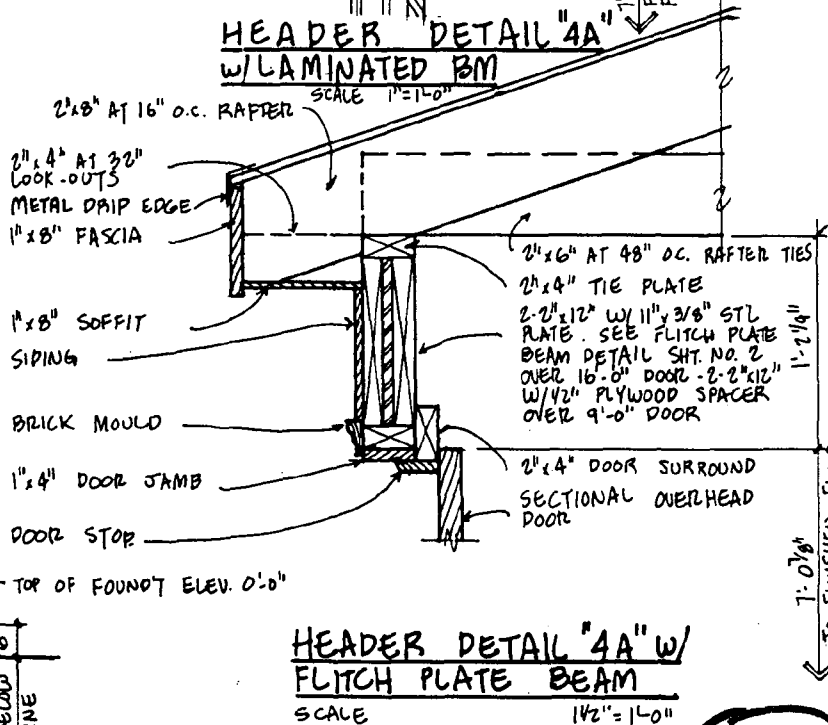
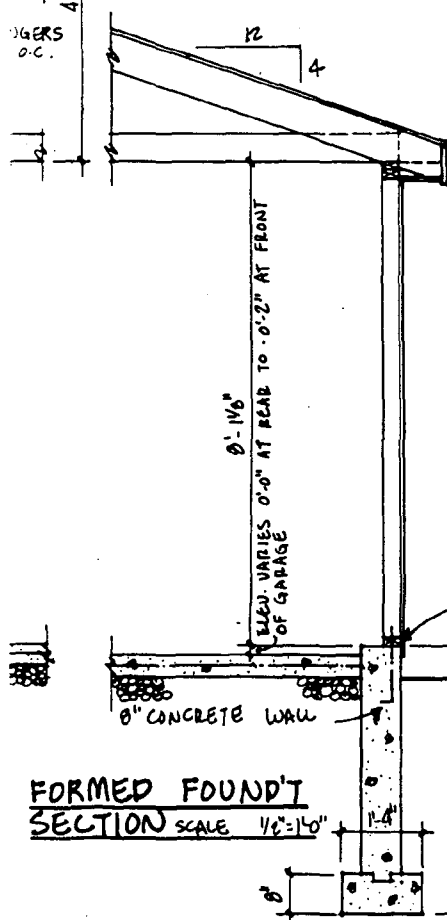
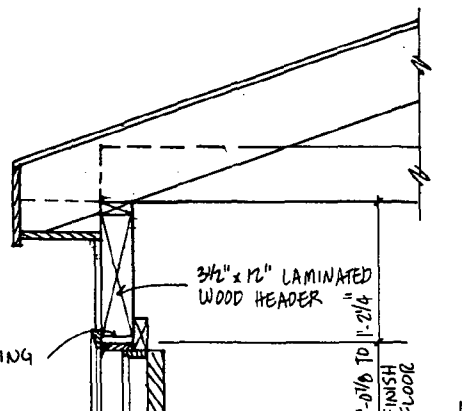
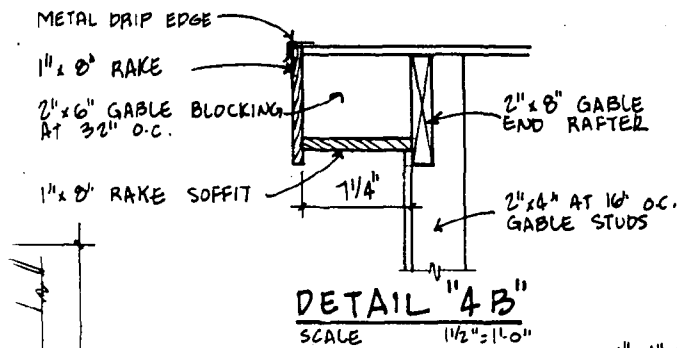
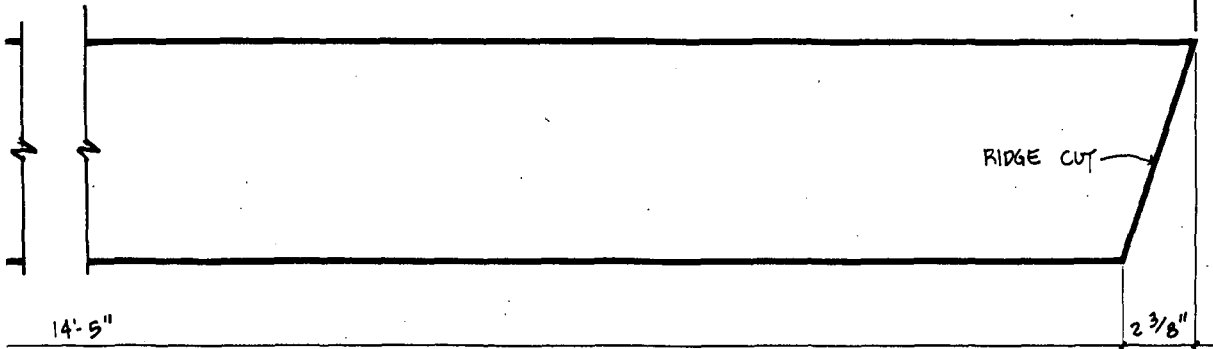
TURN DOWN SLAB SECTION
SCALE 1/2" = 1'-0"

FORMED SECTION

17

7 1/2"

3/8"

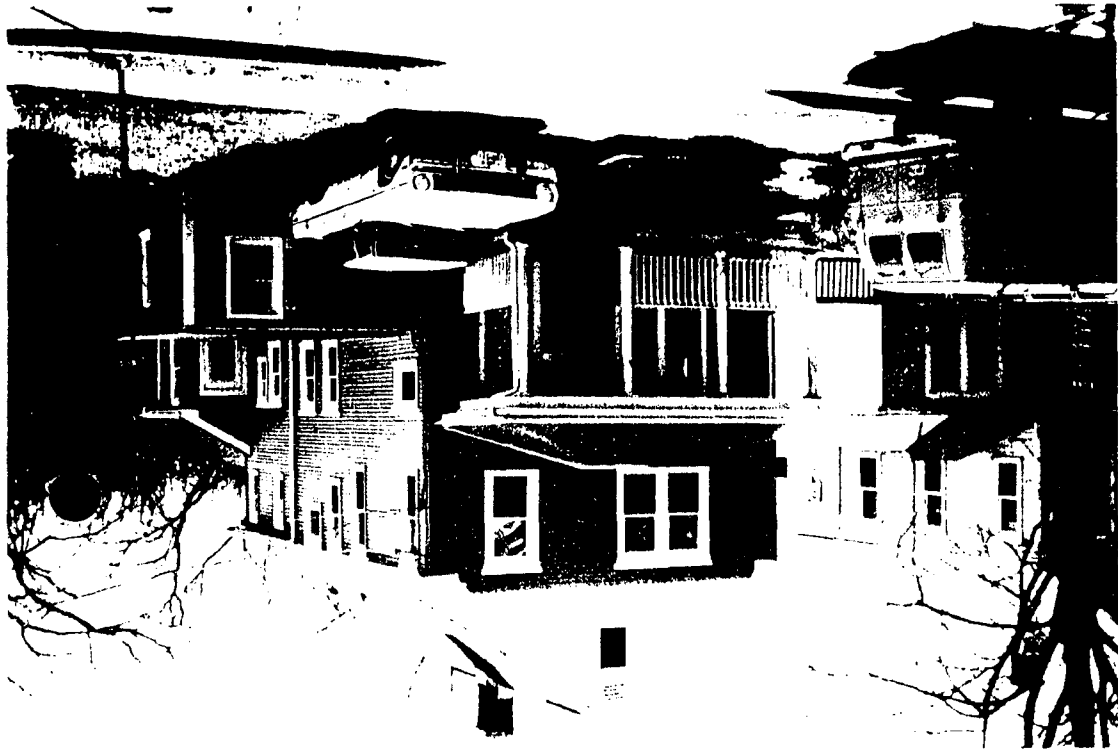


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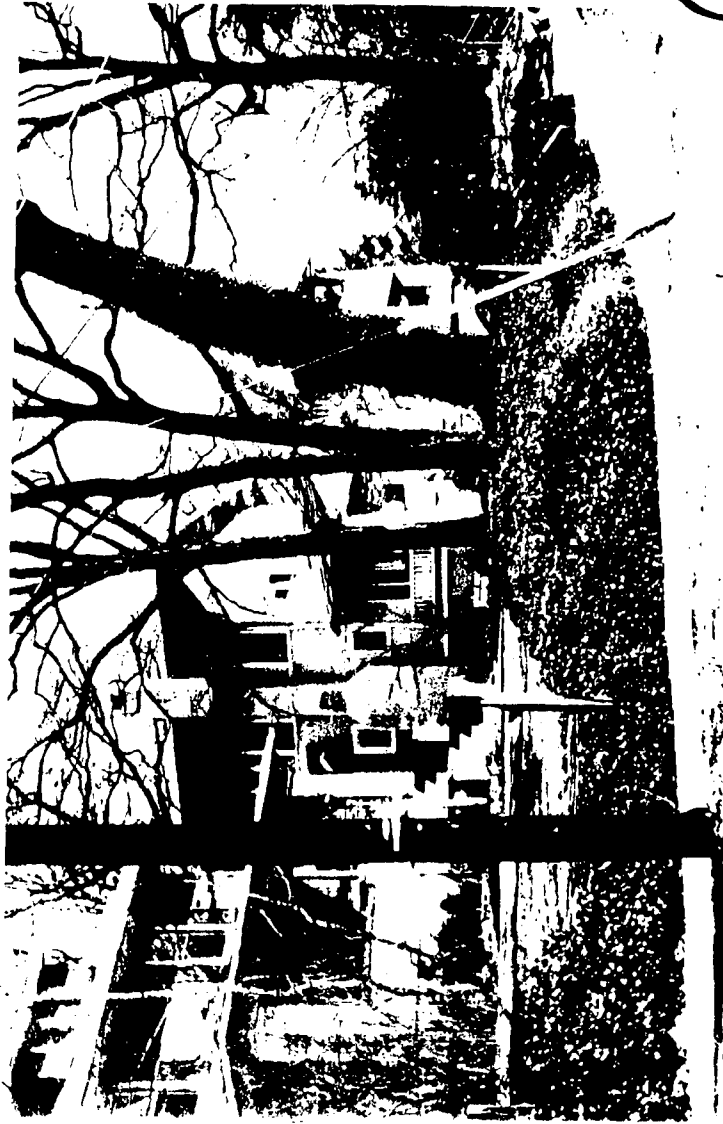
P-3002	SHEET 4
	TOTAL 4



Looking South on Sycamore Ave



7126 Sycamore



Opposite Side of Street (Sycamore Ave)

(19)



Site of Proposed Garage



Looking East on Columbia Ave

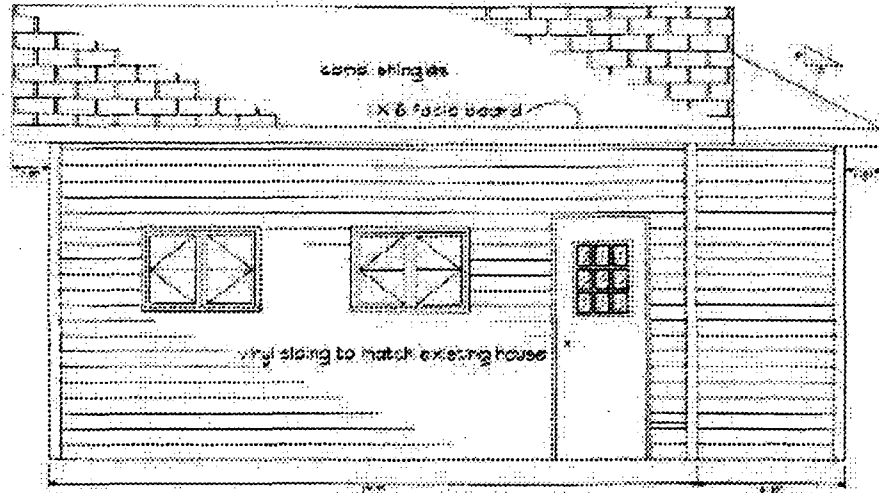
Looking West on Columbia Ave



Site of Proposed Garage



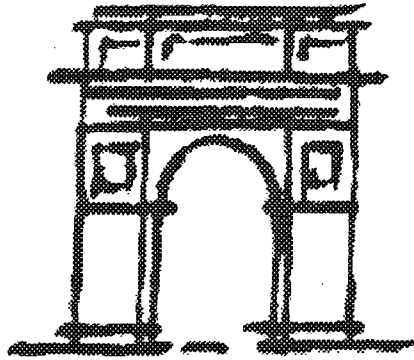
Looking West on Columbia Ave



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26W x 24D

HYG-GR-101: This garage has ample space for two cars and workshop on first floor with stairs leading to a loft which is ideal for study, office or play area with 364 square feet.



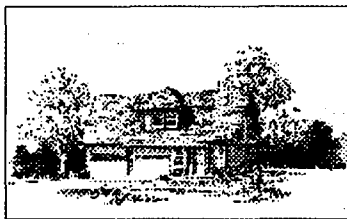
28W x 24D

- **HYG-GR-102:** Attractive dormers give this design a traditional look. This over-sized two-car garage has plenty of extra storage space and a 425 foot loft for hobby room, office or play room.



28W x 24D

- **HYG-GR-103:** Generous proportions and Cape Cod styling afford a double bonus for this garage/apartment. In just about 508 square feet upstairs, a dormered bedroom is at the front and a living/dining room is in the shed dormer space across the back. Compact kitchen counters and appliances are off to the side. A full bath, closets and storage space make it complete.



35Wx26D

- HYG-GR-105: Shingled front dormer is a touch of today while the side balcony is a memory of chalets of past and present. Over the garage, with all-purpose entry and utility room, there's an apartment layout - 666 sq. ft., consisting of cathedral-ceilinged bedroom and living room, a full, square-shape kitchen with a snack bar. The compartmented bath includes a washer/dryer unit.



27'10"Wx25'10"D

- HYG-GR-106: Palladian style windows under a clipped hip roof delineate this garage/apartment, only 590 sq. ft. for upper 3-room layout. The bedroom with bath has walk-in closet of consequence. Living space has a dining bay and the right-angle kitchen counters are very workable.



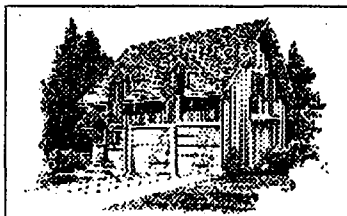
32'Wx24'D

- HYG-GR-107: Victorian elegance is recalled with steep, sloping roof, high and narrow dormers and a roofed front porch. This garage/apartment starts with a multi-unit, 2-car garage and there is utility space and alcove laundry. The space above has 708 sq. ft. divided into kitchen/living, spacious bedroom, and closets to spare, plus a "pull-down" stair for attic storage above.



28Wx22(+4)D

- HYG-GR-108: This garage/apartment shares a post-modern mode in attractive shingle. Up the stairs, 616 square feet is divided into zones: windowed studio at the front and a complete pullman kitchen at the back. Around the all-purpose living space is a laundry room, full bath and walk-in closet. The right angle corners provide low but extremely convenient storage.



30Wx24D

- HYG-GR-109: Tyrolean touches, dormers and diamond-paned doors out to a balcony highlight this garage/apartment with 652 square feet of living space upstairs. A bedroom, dressing room and bath are shielded by decorative screen. A sloped-ceiling living-dining room offers dramatic space. There is a complete kitchen and, downstairs, a utility room and laundry.



36Wx24D

- HYG-GR-110: Double-hipped dormers top this full 3-car garage/apartment with 432 square feet of living area on the second floor. The living room has a seat set into a dormer alcove and a windowed kitchen occupies the back of the space. The bedroom, with stall-shower bathroom and a 6' closet wall, also has a window seat.



36Wx24D

- HYG-GR-111: This classic has super garage space matched with even more living space on the upper apartment floor. The plan has 785 square feet including two bedrooms, each with full-sized closets, and a windowed, vanitory bath. The maximum share of the footage is given over to a living room—very roomy—with an L-shaped kitchen/dining area for step-saving convenience.



26Wx22D

- HYG-GR-112: Gambrel roof and attractive dormers give this design a traditional "Carriage House" look. The upstairs apartment has 492 square feet of living space above the 2-car garage.



32Wx22D

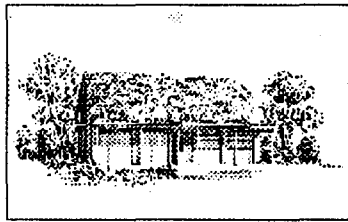
- HYG-GR-113: This 3-car garage has a classic gambrel roof with three dormers at the front and a shed dormer at the back. Upstairs living space is 554 square feet and includes an open planned living room/kitchen/dinette with bedroom and bath off a short access hall.



32Wx26D

- HYG-GR-114: A bright, multi-paced dormer is a highlight for this garage/apartment. Suiting many home styles, the layout upstairs includes a spacious living room, a full-fledged kitchen, a two-window, comfortable bedroom and a windowed bathroom. Sloping ceilings form cozy corners for dining area and living room in this 740 sq. ft. "bonus for living".

4 car
48W x 24D



- **HYG-GR-115:** Above this garage is a starter home, with a spacious two bedroom plan of 912 square feet of living space. A U-shaped kitchen, open to living room with walk-out balcony-deck is featured. On the lower level the front entrance is centered with two garage bays on either side allowing a good traffic plan on the living level.

40W x 26D



- **HYG-GR-116:** Much in demand, this standard 3-car garage has a private entrance, a convenient storage closet and stairs to an unfinished loft area with 576 square feet. The loft space is lighted by two dormers on the front and a window on the right side.



- **HYG-GR-117:** This attractive garage/loft plan has a 4-car garage, perfect for the car collector or family utility vehicles. The upper-level loft has 768 square feet which could be developed as a playroom, office, or hobby room.



- **HYG-GR-118:** This extra large garage with loft accommodates 5 cars and then some. Perfect for anyone who needs extra space for all kinds of vehicles. The exterior has a trim look with three dormers lighting the upstairs area which is 928 square feet.

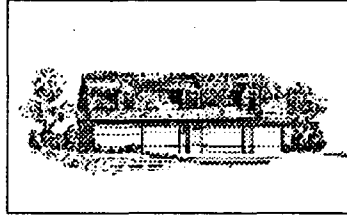
24W x 24D



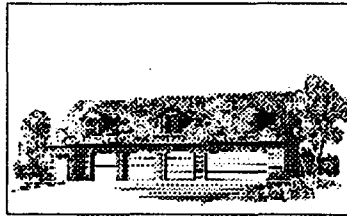
- **HYG-GR-119:** Here is a unique 24'x24' garage plan. Inside, there is lots of storage area on the garage level with access, via "pull-down" stairs, to an additional windowed loft with almost 300 square feet. Plans provide for front or side opening garage doors for the orientation that suits your lot.



- HYG-GR-120: For the larger family this 3-bedroom plan with 1,176 square feet of living space is a fantastic value! Privacy is insured by a central hall that leads from the open-planned living area to the bedroom wing. As a bonus the lower level has a workshop and half-bath in addition to a large 3-car garage.



- HYG-GR-121: The first floor of this attractive, gambrel roof garage/loft plan affords plenty of extra work space for the car collector or restorer in addition to providing bays for 3 cars. The second floor loft area is open-planned with 1,260 square feet of multi-purpose space.



- HYG-GR-122: This deluxe second floor apartment plan has 1,221 square feet of living space which includes 2 bedrooms, 2 baths, an open-planned dining-kitchen and an extraordinary living room with a deck extension at the rear. On the lower level, the 5-car garage can accommodate all types of vehicles with a ceiling height of 10', allowing for 9' high garage doors.



- HYG-GR-124: Here is an attractive rendition of an early American carriage house complete with a 3-car garage and work space on the first floor and an up-to-date 2-bedroom apartment with 992 square feet of living space on the second floor.



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CADSmith Studio

Garage and Barn Plans You Can Buy

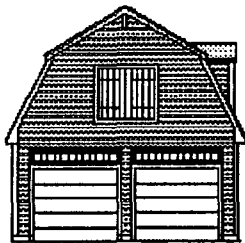
We offer a selection plans for Garage and Accessory buildings as well as home plans, designed for the New England market and construction requirements. Blue print sets, sepias, reversed plans are available at reasonable cost.

To order construction plans see: [Ordering Information](#).



Traditional Design Garages

NEW New England Gambrel 2 Bay Garage NEW



NEW ENGLAND GAMBREL



GARAGE WITH LOFT
PLAN NO. G2-008

Plan #G2-008

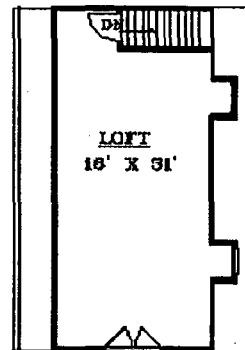
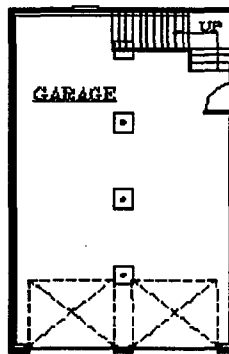
This oversized garage has a large loft for storage and project work shop. Also available as a Dutch Gambrel (see Below). Comes with optional vertical siding details.
NEW

Floor Plans

Overall dimensions are 24' x 36'

To order construction plans please see: [Ordering Information](#).
NEW

GAMBREL WITH LOFT



NEW Dutch Gambrel 2 Bay Garage NEW



DUTCH GAMBREL
GARAGE WITH LOFT
PLAN NO. G2-009

Plan #G2-009

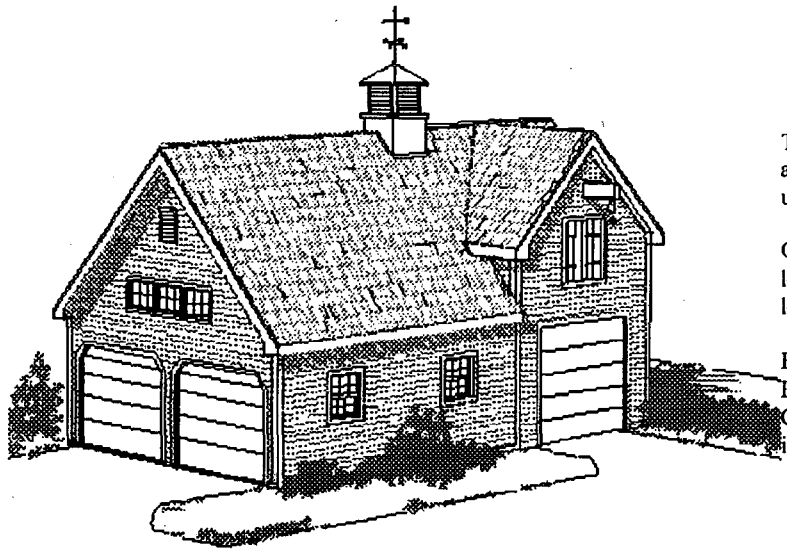
This oversized garage has same floor plan as above. Dutch Gambrel style with "kicked eaves" helps divert roof rain run-off from foundations and prevents sill and wall rot in poorly drained soil and terrain locations.

Overall dimensions are 24' x 36'

To order construction plans please see: [Ordering Information](#).

Three Bay Barn/Garage

Plan #G3-008



This oversized garage has an extra bay in the rear for a boat or recreational vehicle. Stairs lead to an upstairs loft for storage or work shop.

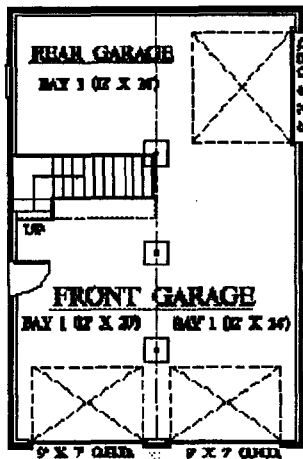
Overall dimensions of First Floor are 24' x 36'. the lower loft has a floor space of 16' x 18' and the upper loft floor is approximately 11' x 22'.

Height From Floor Slab (ground level) to top of Ridge is approximately 22'-0", with the optional Cupola adding another 4'-0". Weather vane is not included in dimensions.

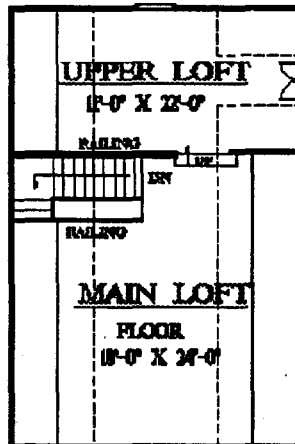
3 BAY GARAGE OVERALL 24' X 36'

Floor Plans

To order construction plans please see: [Ordering Information.](#)



FIRST FLOOR PLAN



LOFT FLOOR PLAN

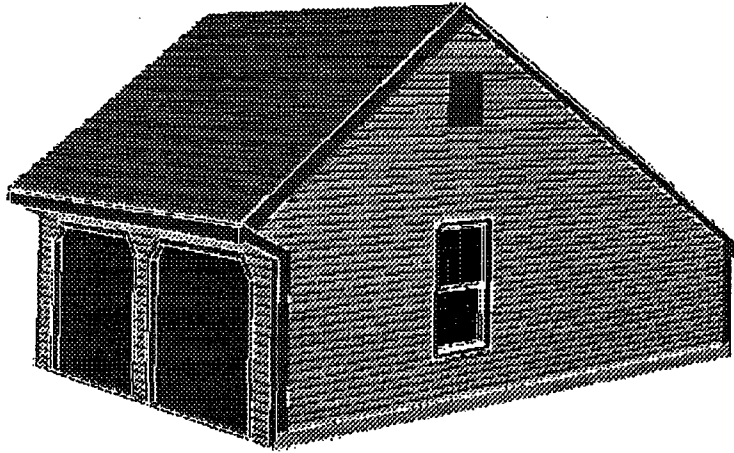


Saltbox Garage

Plan #G2-006

This New England Saltbox Garage has an extended storage area in the rear for equipment or firewood.

Overall dimensions are 24' x 26'. To order construction plans please see: Ordering Information.

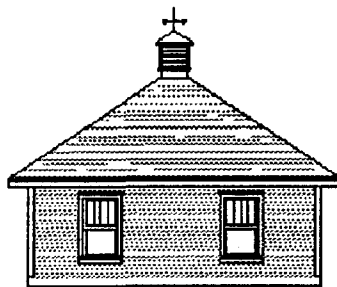


Now on the Drawing Board.. (suggestions appreciated).....

We'd like to hear your ideas for designs and drafting services you need.

NEW Hip-Roof Garage With Garden Room and Cupola NEW

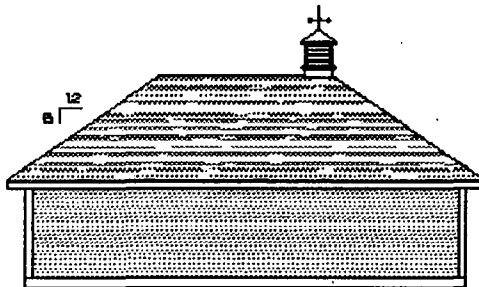
Plan #G2-012



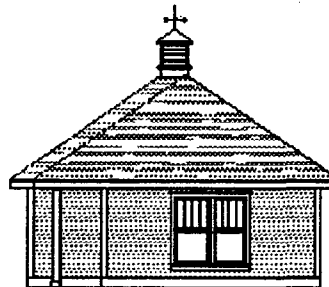
LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

NEW

A Traditional style garage with a Hip Roof and Cupola. Plans include a Garden Room.

Use the Garden Room for an Office, Cabana, Workshop or Equipment Storage. Plan easily converts to an attached addition for an existing home.

Garage dimensions are 24' x 24' Garden Room 12' x 18' With a 4' Wide Porch.

Price Code Same as Garage with Loft.

NEW

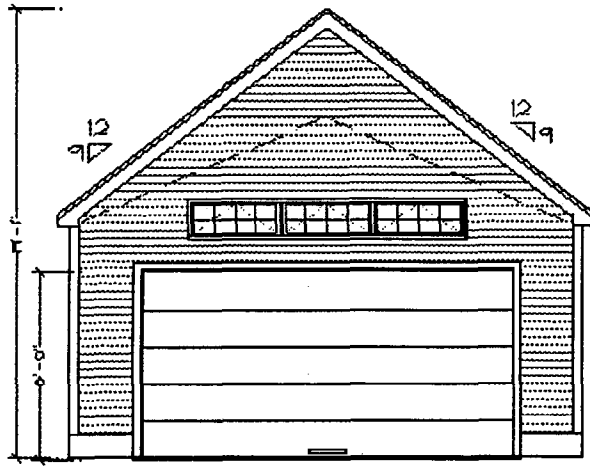
To order construction plans please see: Ordering Information.

NEW Mechanic's Garage NEW

Plan #G2-010

MECHANICS GARAGE 22' X 28' PLAN NO. G2-010

NEW



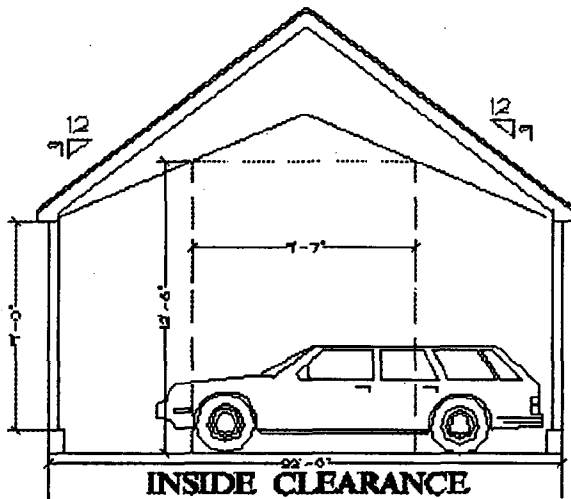
O.H.DOOR 16'WIDE X 8'HIGH

A Cape style garage with a cathedral ceiling truss for extra head room in the center— Put your vehicle up on a lift.

Looks like a suburban 2 Car Garage. The extra head room in the center allows you to use a lift. The extra length (28' Deep) provides room for a Shop Bench and tool storage

Overall dimensions are 22' x 28'

NEW



INSIDE CLEARANCE

Price Code for 1 Story Garage.

NEW

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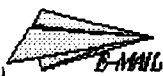
Hip-Roof Garage With Cupola

Other Plans: Salt-box With Loft

Cape With Breezeway, Wood Shed and Cupola

All plans can be modified for other geographic areas and for special requirements. We can print plans with a builder's own name and logo. For more information on plans please read Custom Design Services and e-mail us at the following address:

mailto: bwsmith@cadsmith.com (BW Smith)



More Barn and Garage Designs To Come.....

If you'd like to buy or build a home please read about [A New Home For the Holidays~ 5 Steps To Buying Your New Home.](#)

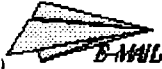
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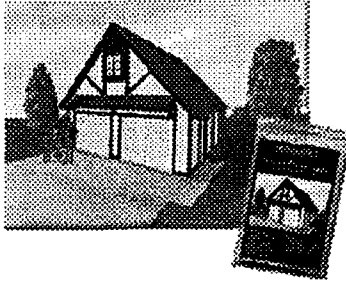
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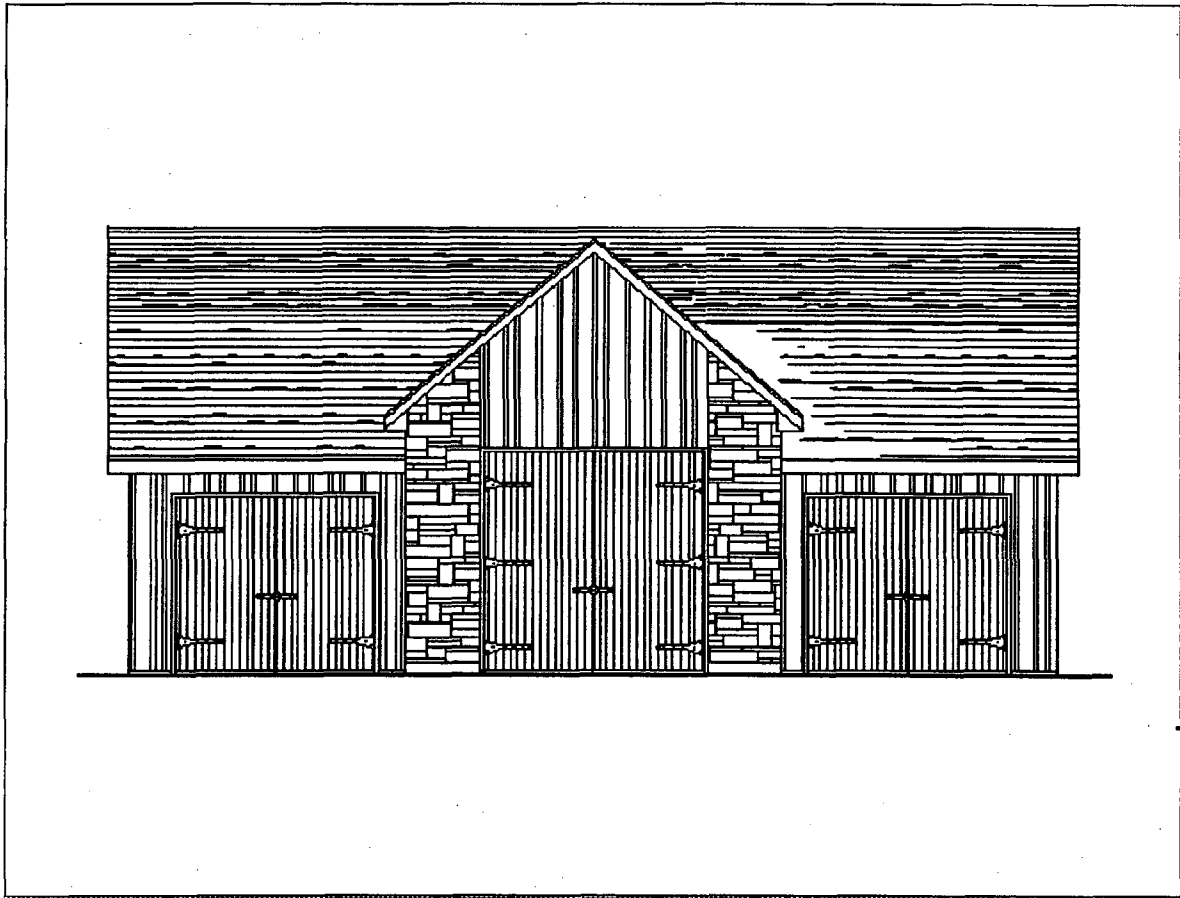
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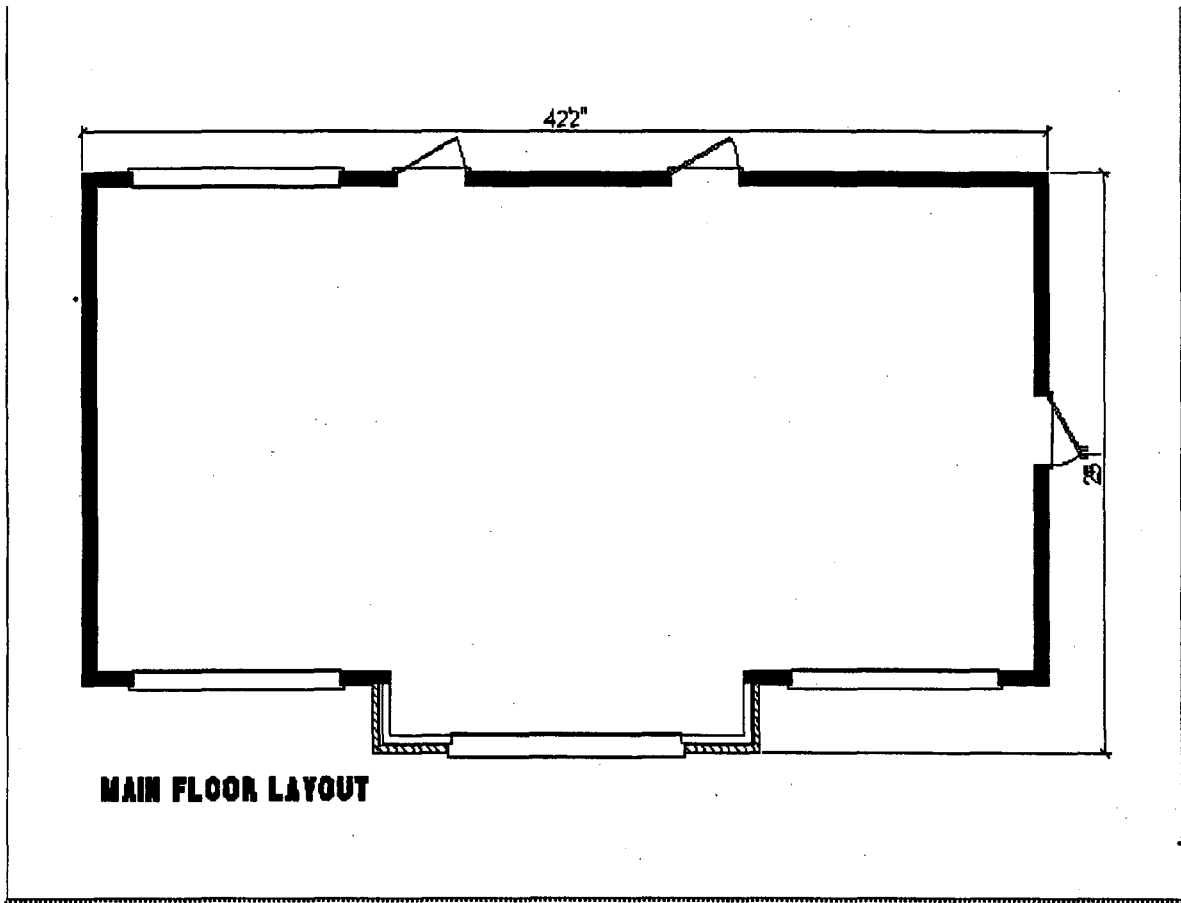
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Garage Plan G3AA01



Front View

Plan Summary		
Type:	Garage	Exterior Wall Finish(es):
Area:	990 ft ²	
Width:	42' 00"	1. Siding
Depth:	25' 00"	2. Stone
Bedrooms:	0	
Bathrooms:	0	
Garage:	3 car	
Foundation Type:	Slab	
Foundation Material:	Poured Concrete	
Ext. Wall Construction:	Wood Stud	



Format	Vellum Master	SoftPlan Drawing	HP/GL Plot File
Price	\$129.00	\$69.00	\$79.00

To order: Note down the plan number, then call 1-800-547-9747.

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Telecopier Cover Sheet

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To: Perry Kephart

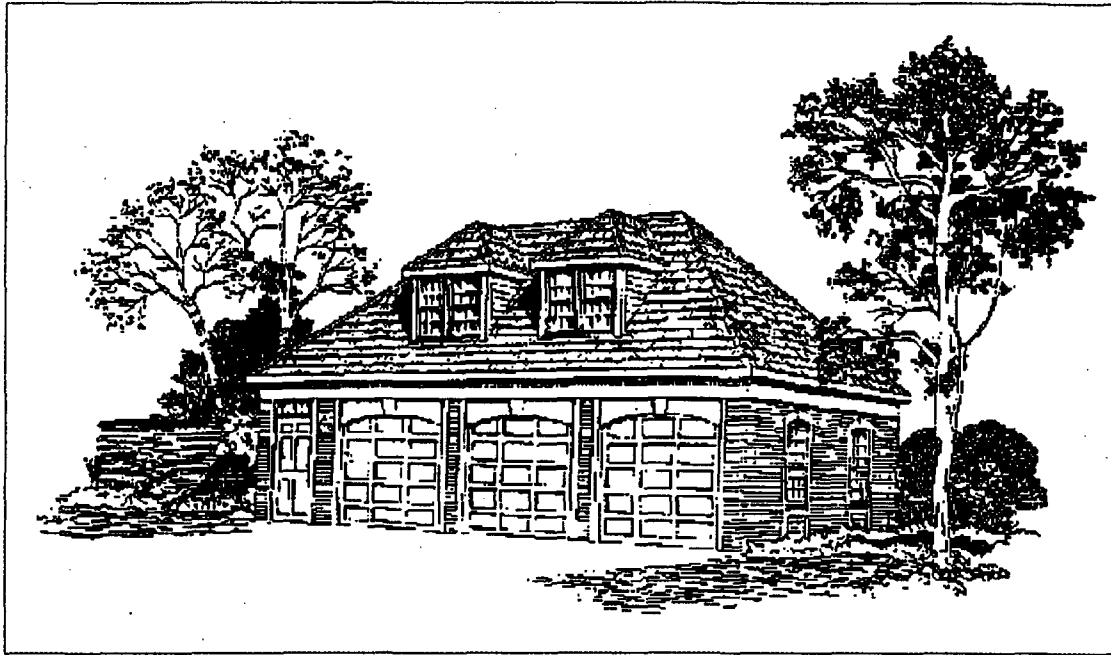
From: Dan Treadwell

Phone: 301 495-4570
FAX 301 495-1307

Phone: 202 267-0896

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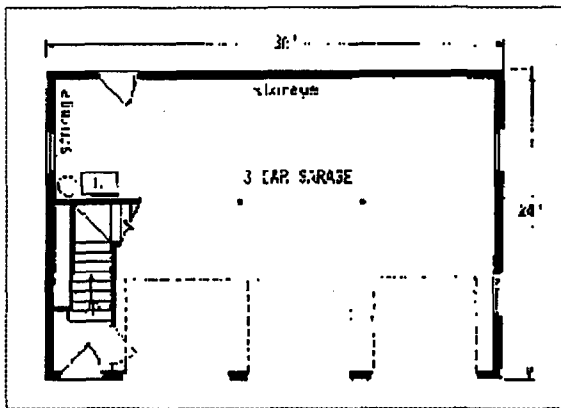
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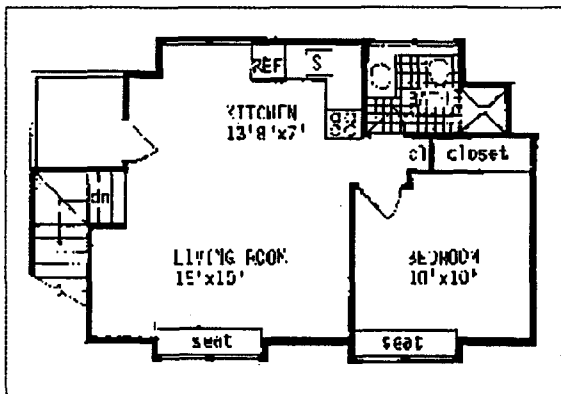
Garage/Apartment Plan HYG-GR-110

Double-hipped dormers top this full 3-car garage/apartment with 432 square feet of living area on the second floor. The living room has a seat set into a dormer alcove and a windowed kitchen occupies the back of the space. The bedroom, with stall-shower bathroom and a 6' closet wall, also has a window seat.

36 x 24



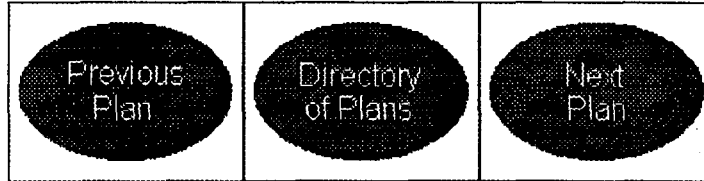
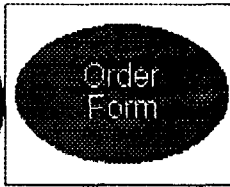
First floor plan image



Second floor plan image

Larger detailed views of the above pictures are available, by selecting the [garage view](#), the [first floor plan image](#), the [second floor plan](#)

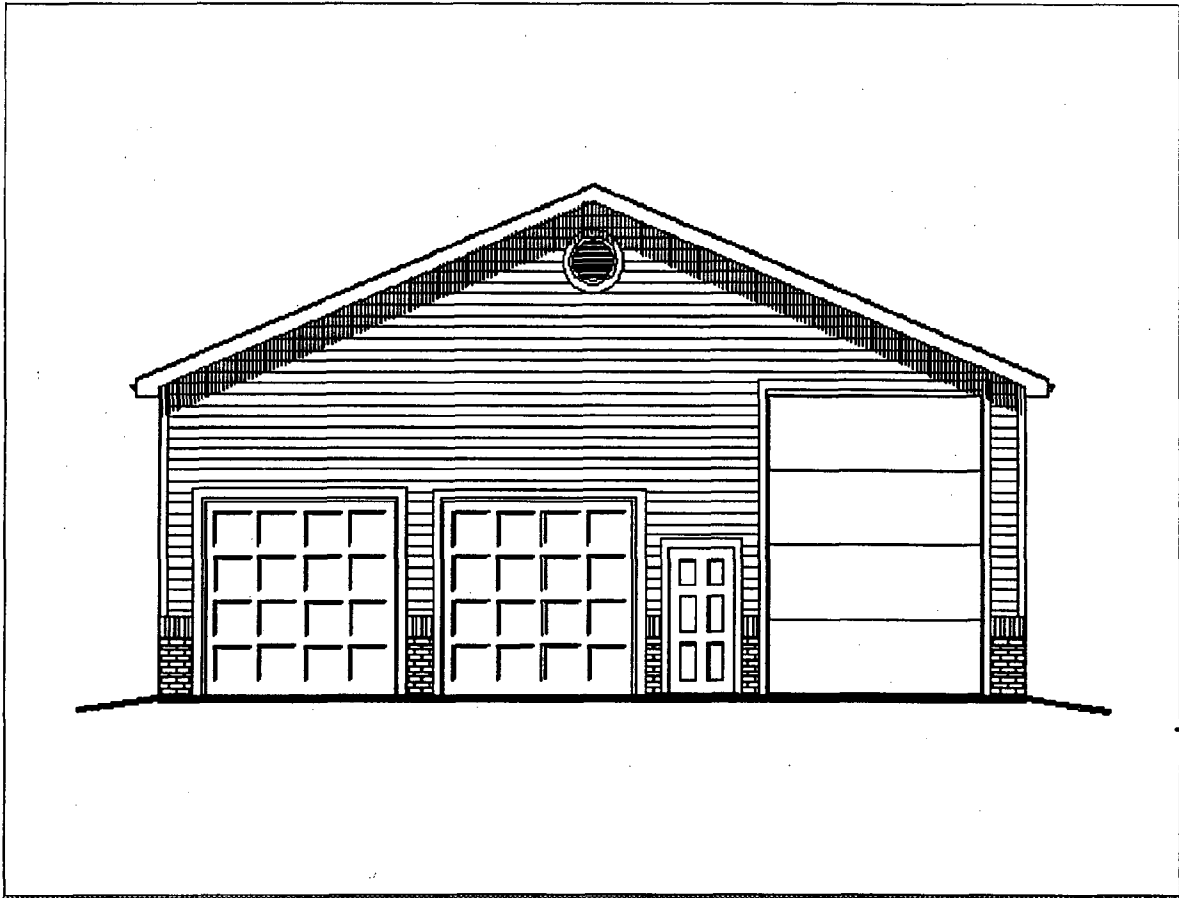
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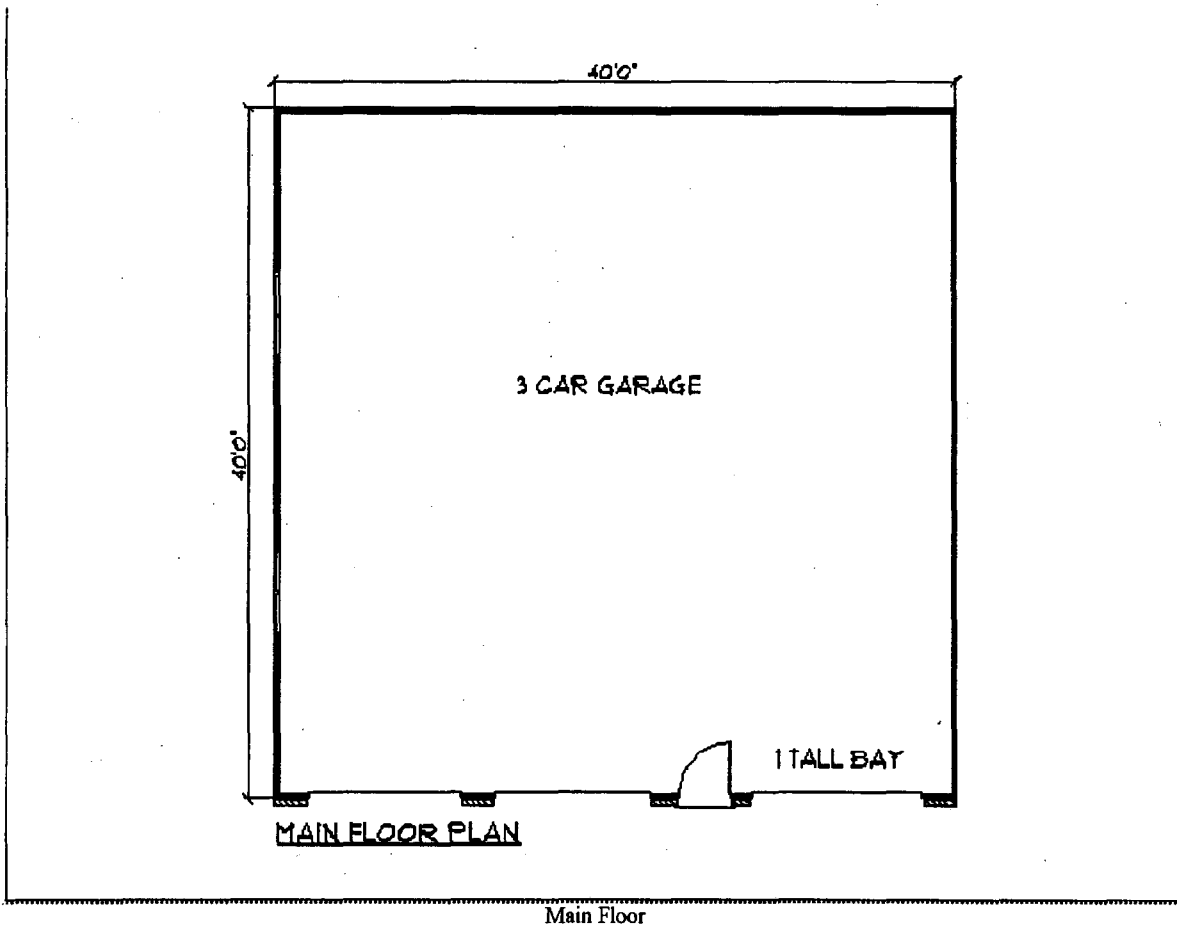


Garage Plan G3AB02



Front View

Plan Summary		
Type:	Garage	Exterior Wall Finish(es):
Area:	1600 ft ²	
Width:	40' 00"	1. Brick/Siding
Depth:	40' 00"	2.
Bedrooms:	0	
Bathrooms:	0	
Garage:	3 car	
	One Extra Height Bay	
Foundation Type:	Slab	
Foundation Material:	Poured Concrete	
Ext. Wall Construction:	Wood Stud	



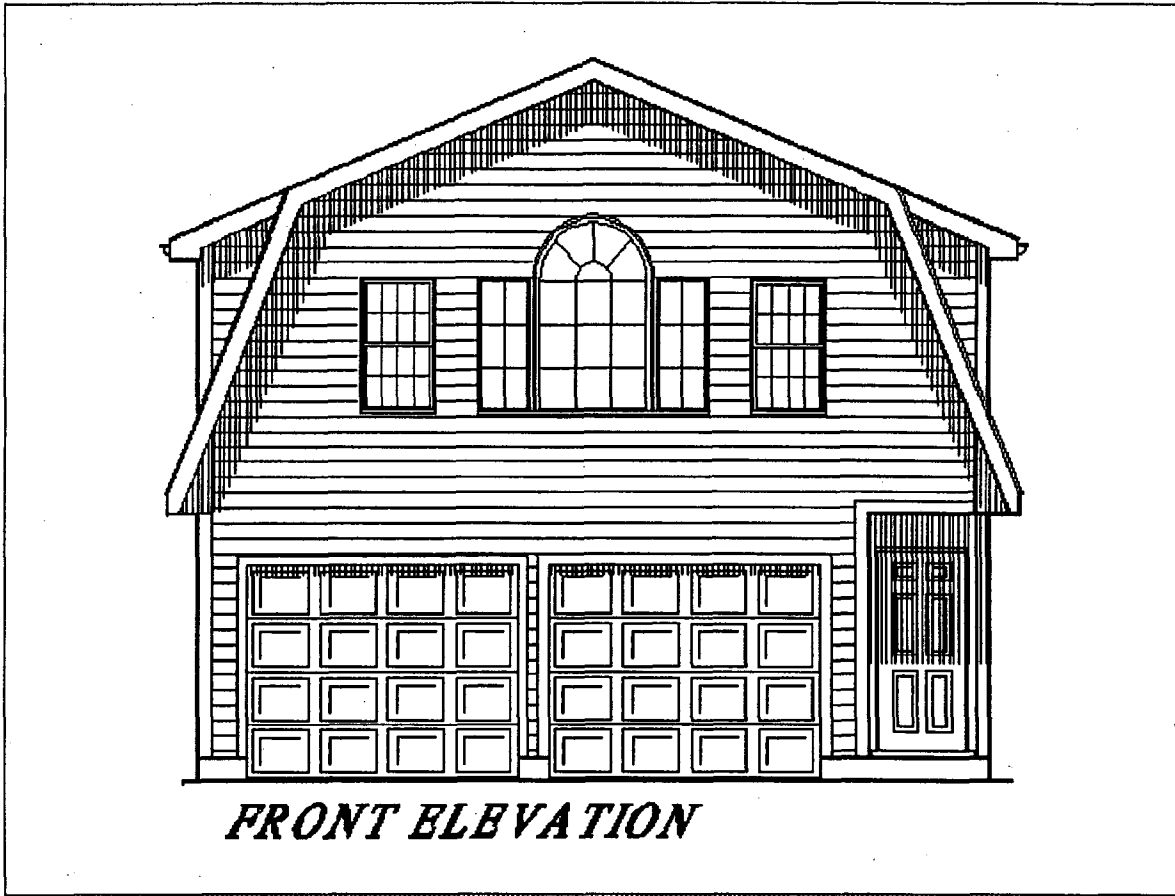
Format	Vellum Master	SoftPlan Drawing	HP/GL Plot File
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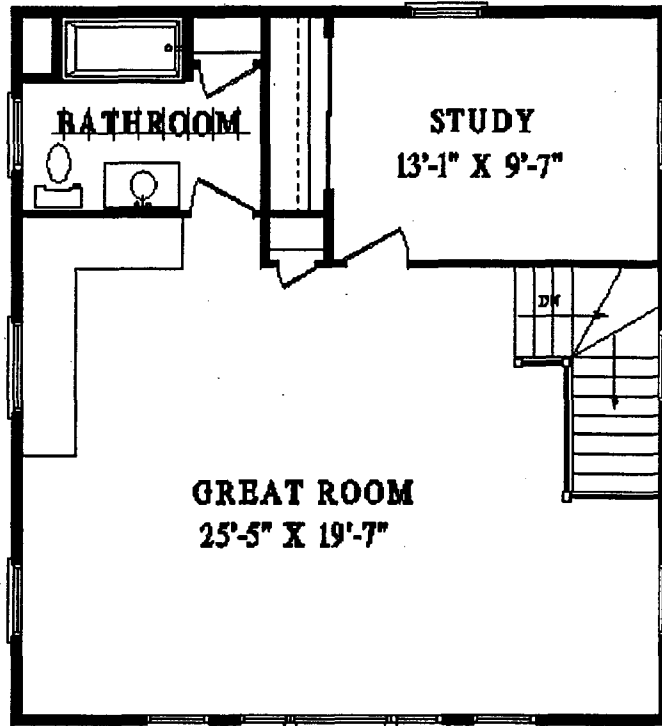
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Plan #0737-AD2A



Front View

Plan Summary		
House Type:	2 storey	Additional Feature(s): 1. Cottage/Leisure 2. Walkout Basement 3. Volume Ceilings 4. In-Law Suite
Area:	737 ft ²	
Width:	26' 00"	
Depth:	28' 00"	
Bedrooms:	1	
Bathrooms:	1	
Garage:	2 car	
Foundation Type:	Slab on Grade	
Foundation Material:	Concrete Block	
Ext. Wall Construction:	Wood Stud	
Ext. Wall Finish:	Siding	



SECOND FLOOR PLAN 737 SQ. FT.

Upper Floor

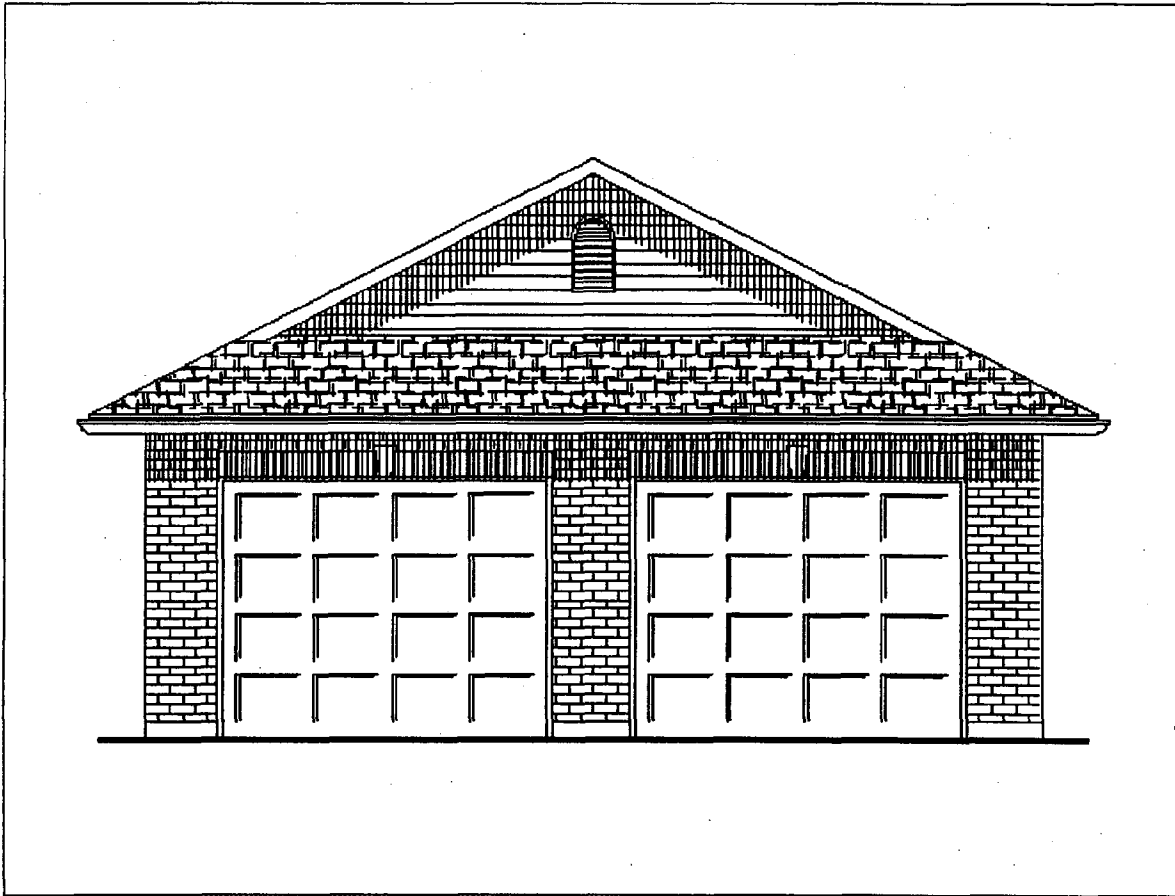
Format	Vellum Master	SoftPlan Drawing	AutoCAD DXF	HP/GL Plot File
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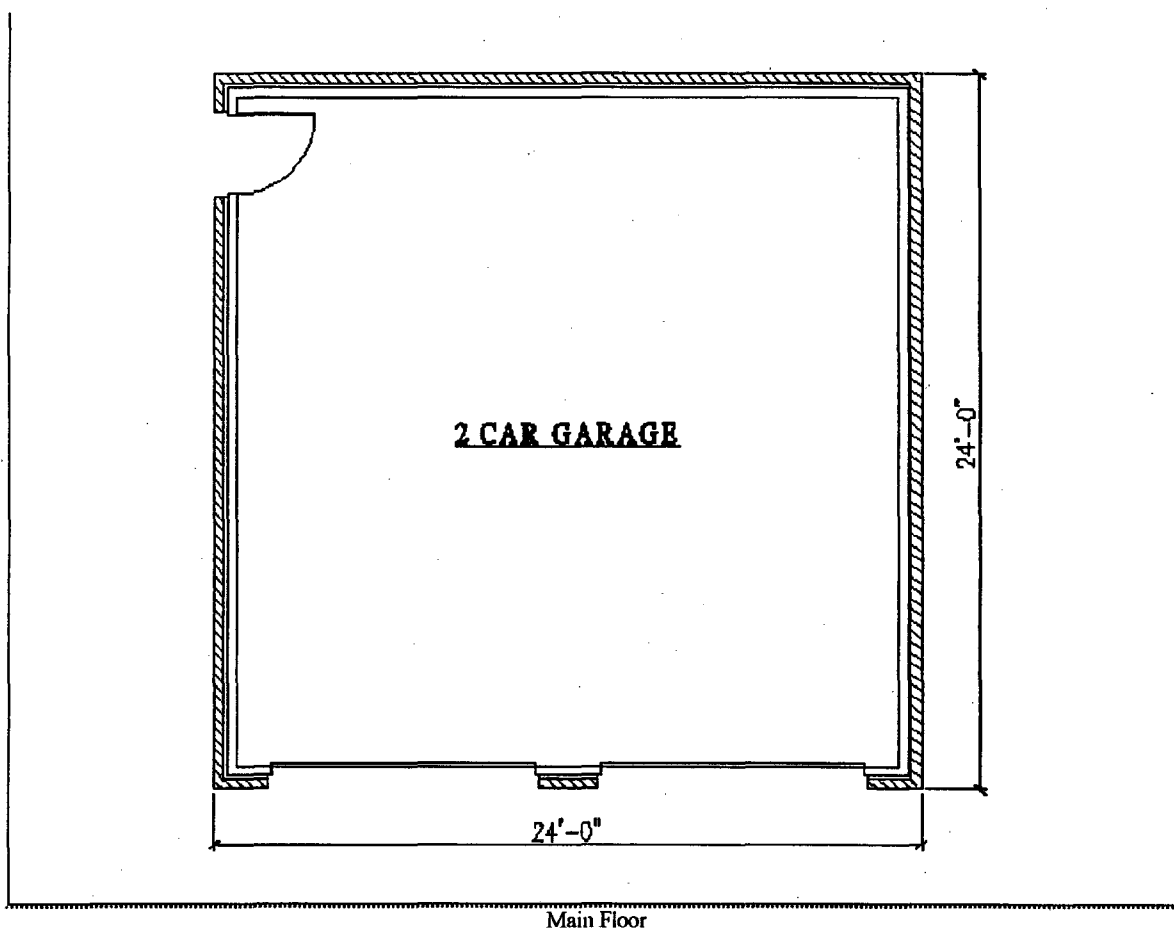
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Garage Plan G2JV21



Front View

Plan Summary		
Type:	Garage	Exterior Wall Finish(es):
Area:	576 ft ²	1. Brick
Width:	24' 00"	2.
Depth:	24' 00"	
Bedrooms:	0	
Bathrooms:	0	
Garage:	2 car	
Foundation Type:	Slab	
Foundation Material:	Poured Concrete	
Ext. Wall Construction:	Wood Stud	

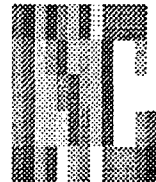
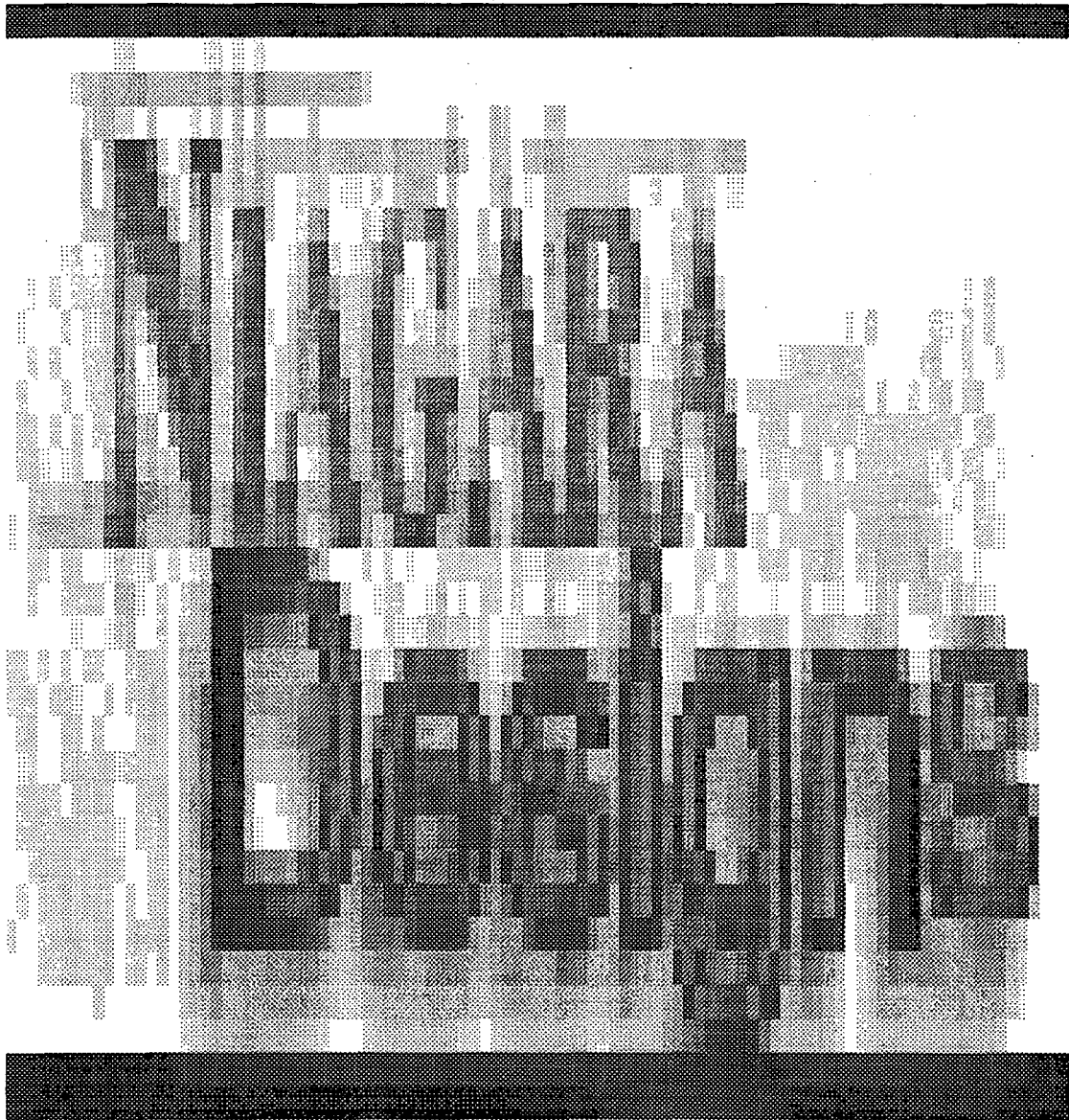


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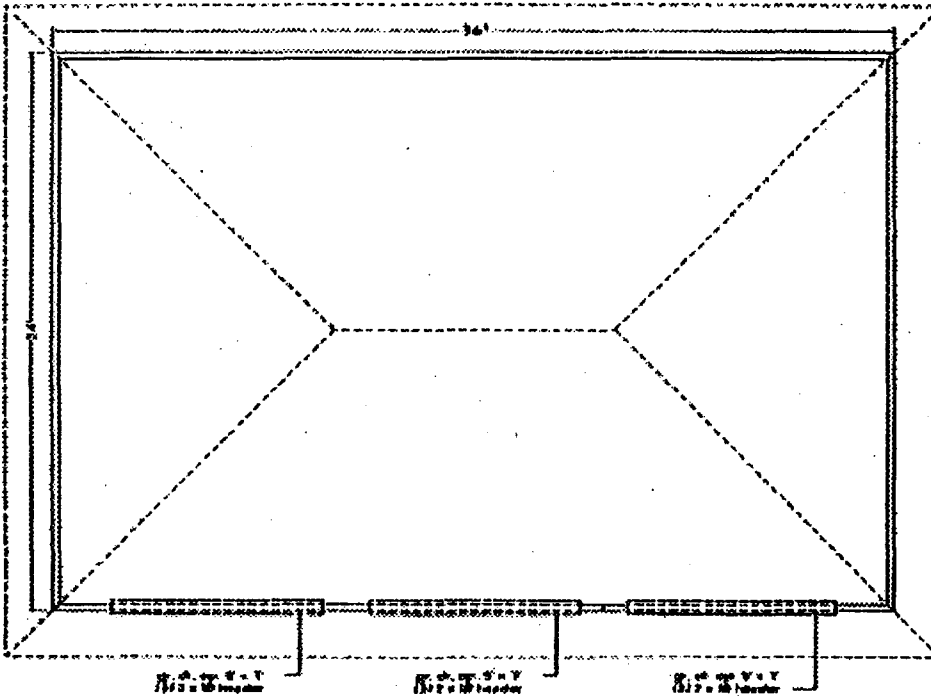
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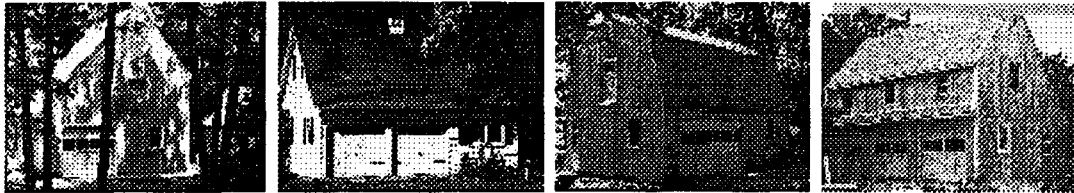


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24 x 36

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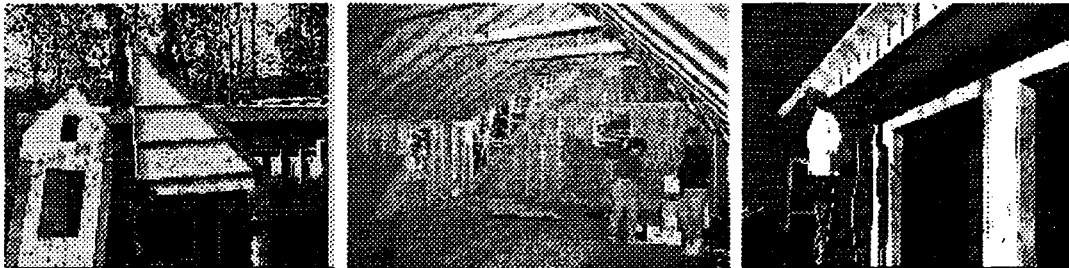
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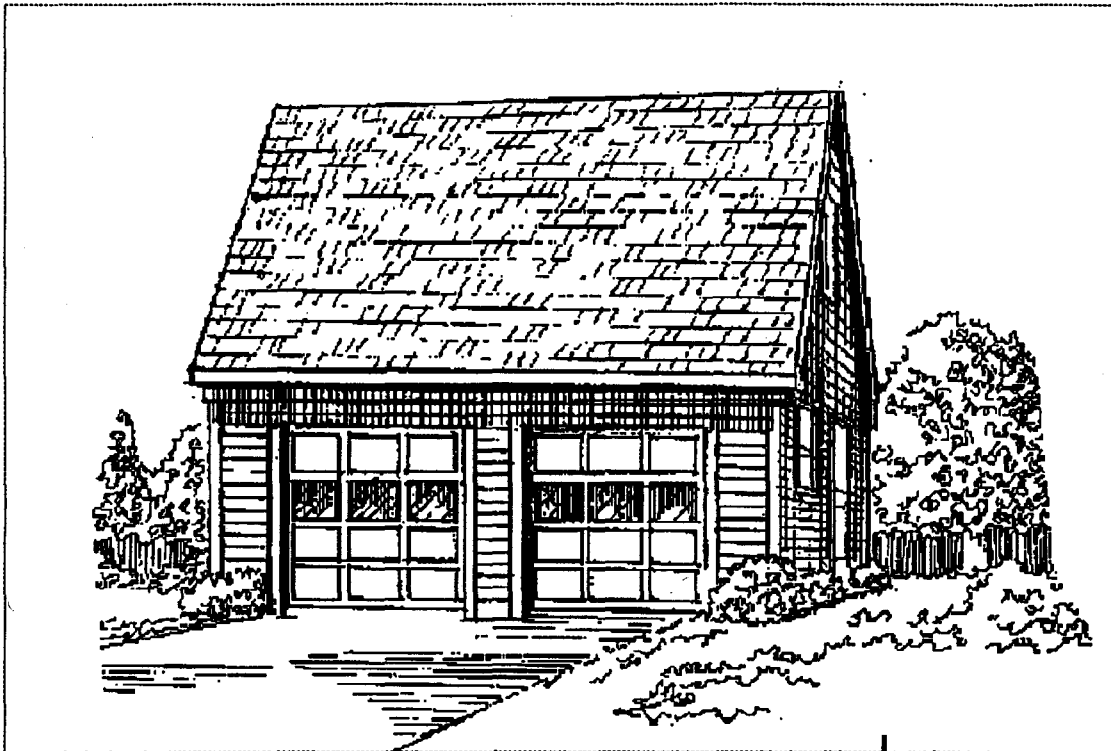
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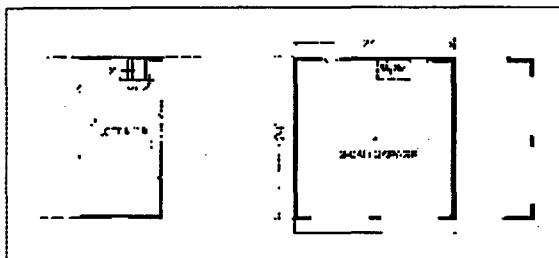
{ average assembly time, 2 car w/loft, 3 days }

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Garage Plan HYG-GR-119

Here is a unique 24'x24' garage plan. Inside, there is lots of storage area on the garage level with access, via "pull-down" stairs, to an additional windowed loft with almost 300 square feet. Plans provide for front or side opening garage doors for the orientation that suits your lot.



First and second floor plan images, with alternate side-opening door

Larger detailed views of the above pictures are available, by selecting the [garage view](#), the [first and second floor plan images](#), or any of the images directly.

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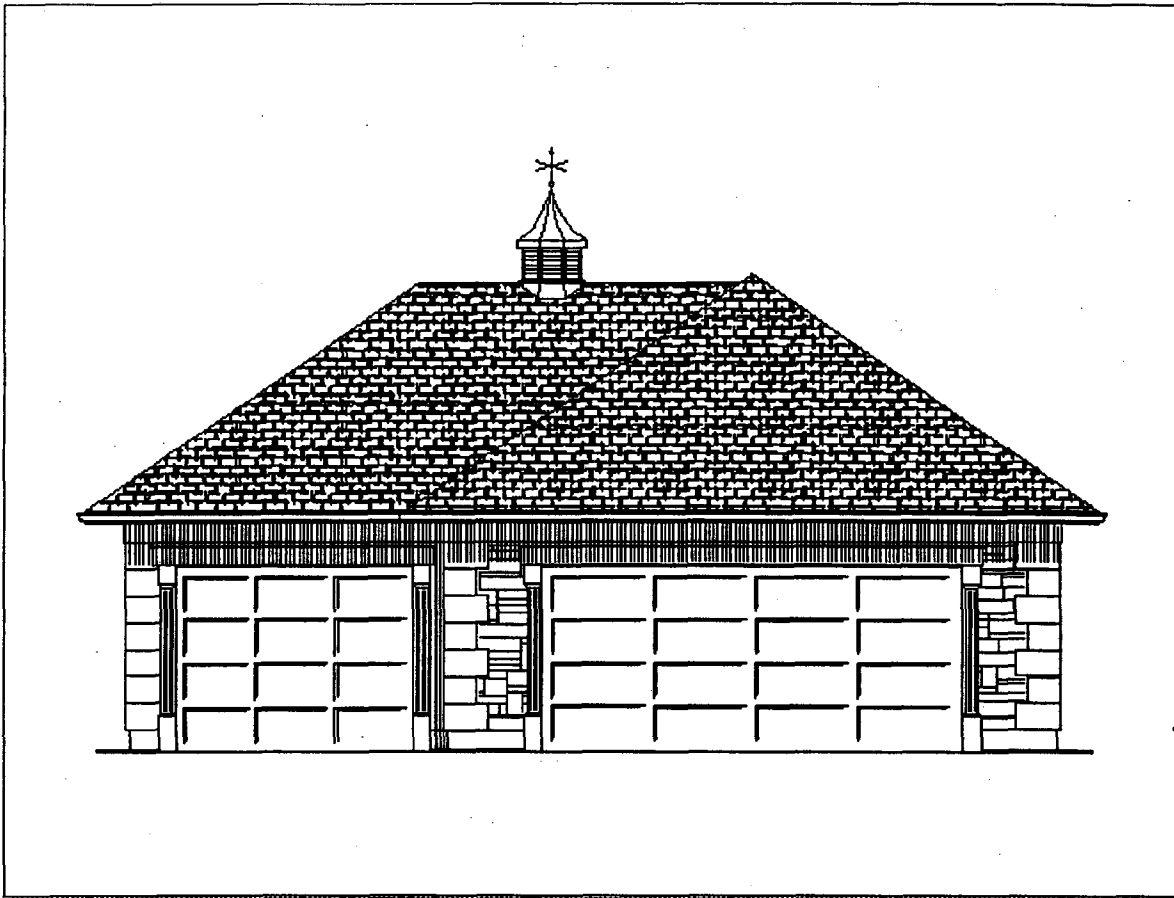
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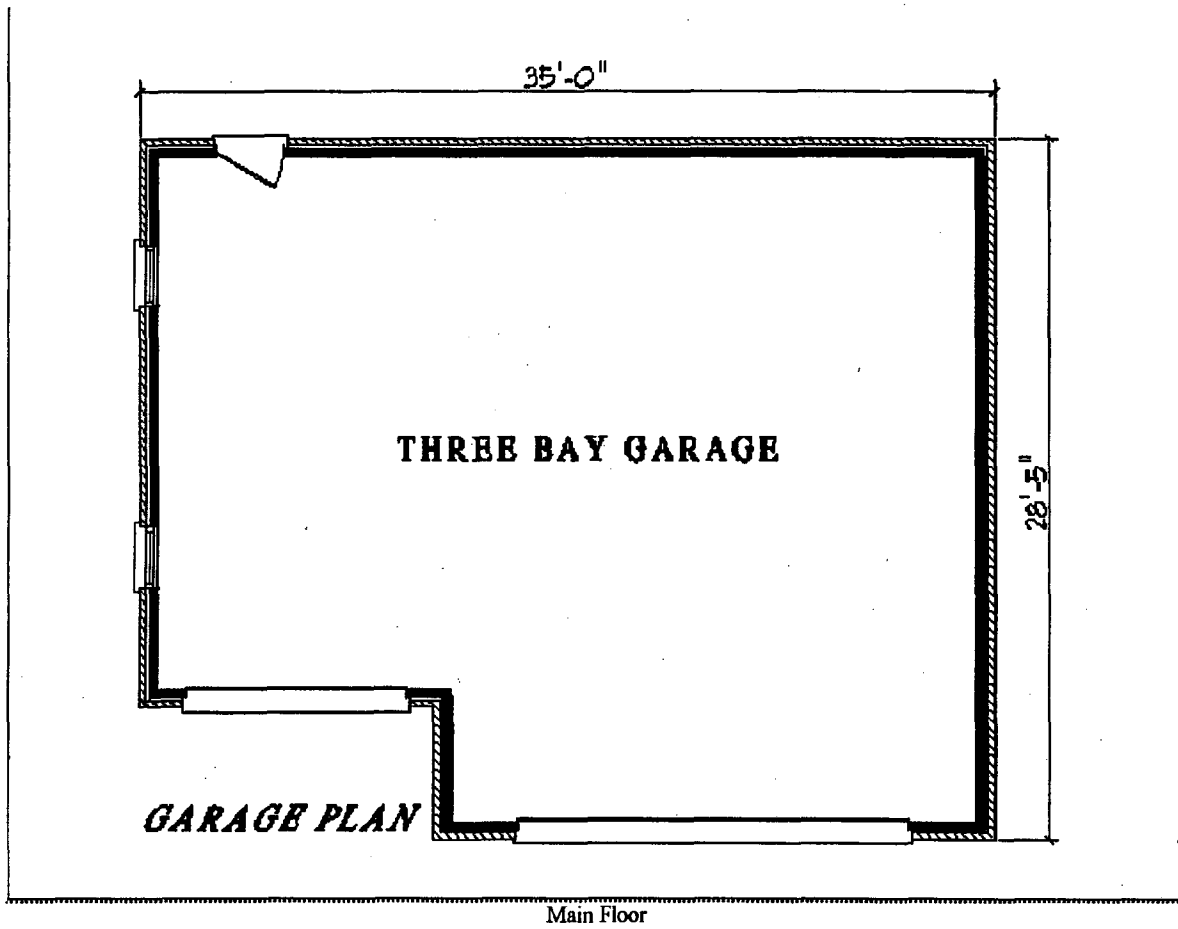


Garage Plan G3AA02



Front View

Plan Summary		
Type:	Garage	Exterior Wall Finish(es):
Area:	844 ft ²	1. Stone
Width:	35' 00"	
Depth:	28' 05"	
Bedrooms:	0	
Bathrooms:	0	
Garage:	3 car	
Foundation Type:	Slab	
Foundation Material:	Poured Concrete	
Ext. Wall Construction:	Wood Stud	



Format	Vellum Master	SoftPlan Drawing	HP/GL Plot File
Price	\$129.00	\$69.00	\$79.00

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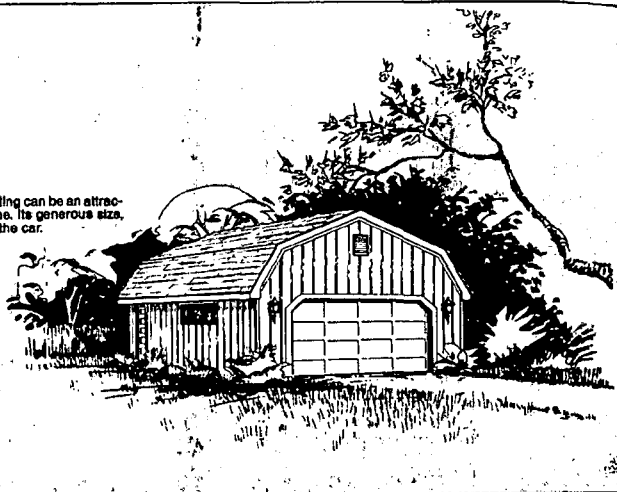
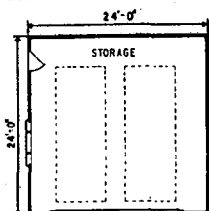
DESIGNS FOR GARAGES, GARAGE APARTMENTS AND POLE BUILDINGS . . .

Complete blueprint plans are available for all the following garage and pole building designs . . . See order form in back of this book.

design
638
2 Car Garage

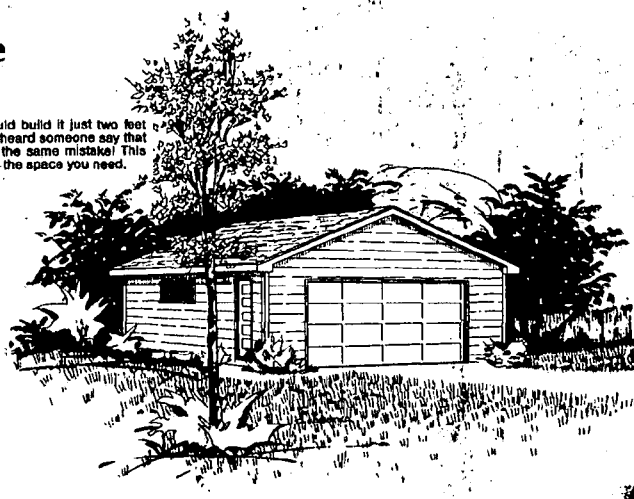
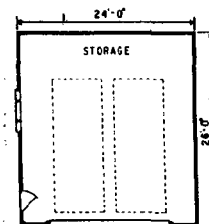
This gambrel-roof garage with cedar siding can be an attractive and practical addition to your home. Its generous size, 24' x 24', allows for storage all around the car.

BUILDING HEIGHT 15'-8"



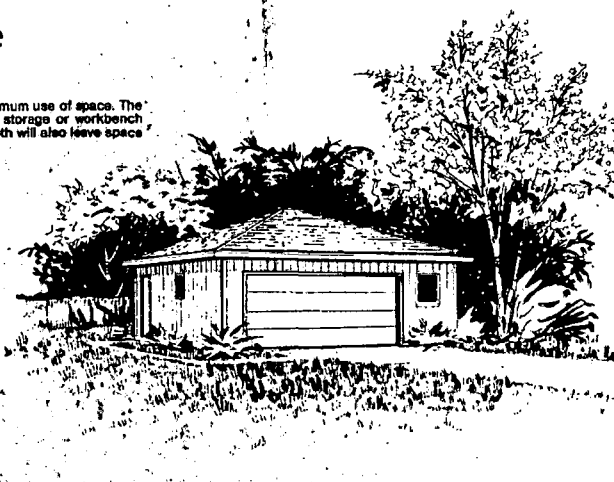
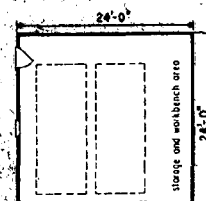
design
P2027
2 Car Garage

"If I had to do it over again, I would build it just two feet deeper." How many times have we heard someone say that about a new garage? Don't make the same mistake! This 24' x 28' garage should give you all the space you need.



design
P2012
2 Car Garage

A 24' x 24' garage that makes maximum use of space. The off-center garage door allows for storage or workbench space on the one side. The 24' depth will also leave space at the rear for additional storage.

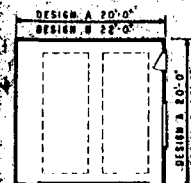


design
P2017
2 Car Garage

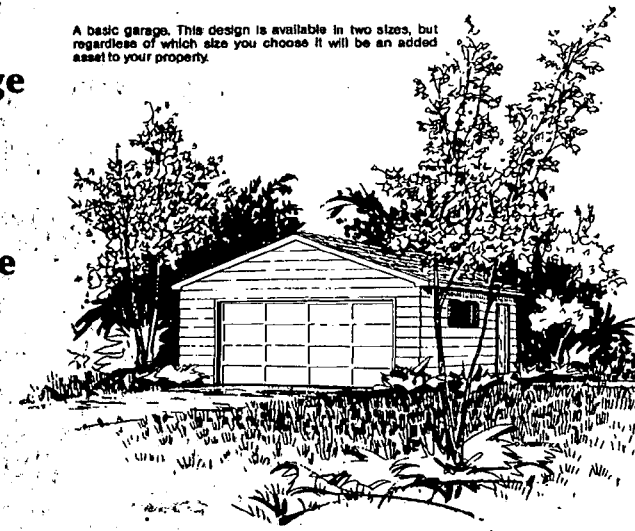
SIZE 22' x 22'

design
642
2 Car Garage

SIZE 20' x 20'



A basic garage. This design is available in two sizes, but regardless of which size you choose it will be an added asset to your property.

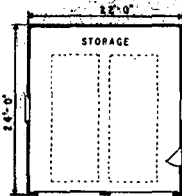
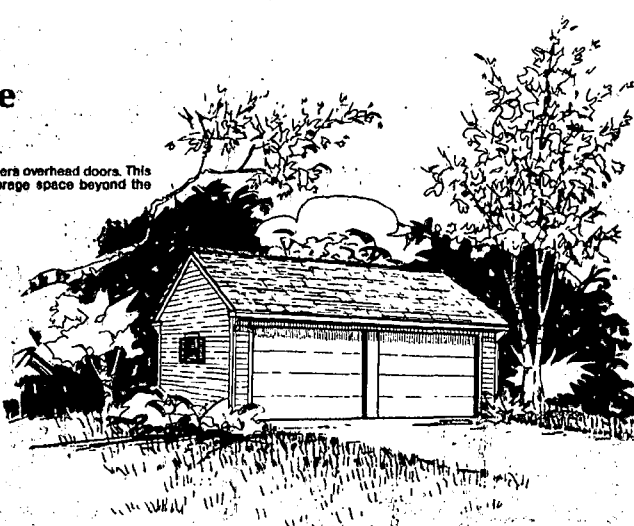


design

643

2 Car Garage

An attractive garage with his and hers overhead doors. This design also gives you added storage space beyond the two cars.

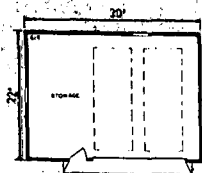
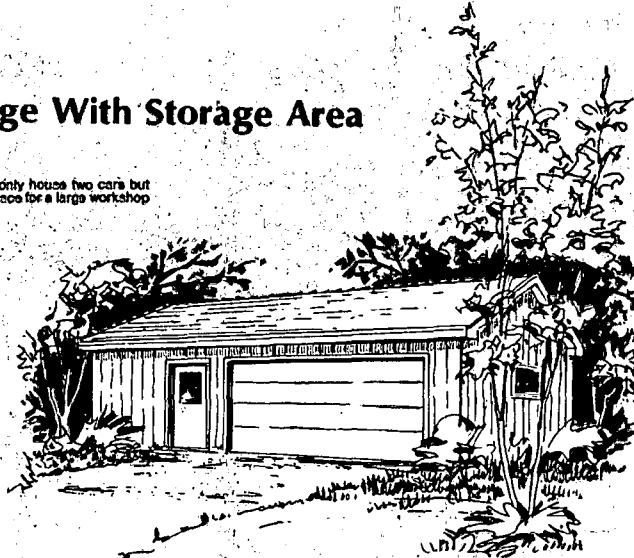


design

P2006

2½ Car Garage With Storage Area

This double-duty garage will not only house two cars but will also provide you with ample space for a large workshop and plenty of room for storage.

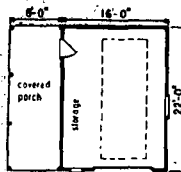
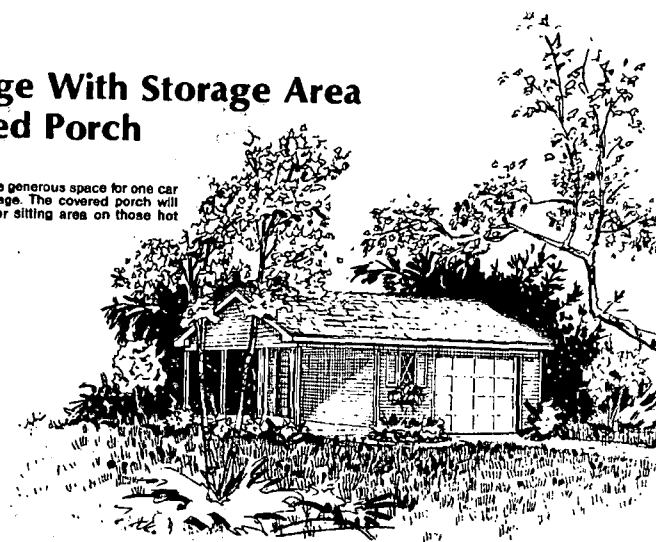


design

P2013

1 Car Garage With Storage Area and Covered Porch

This two-in-one garage allows generous space for one car with space left over for storage. The covered porch will provide you a shady outdoor sitting area on those hot summer days.

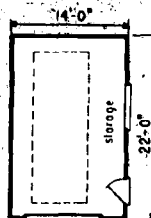
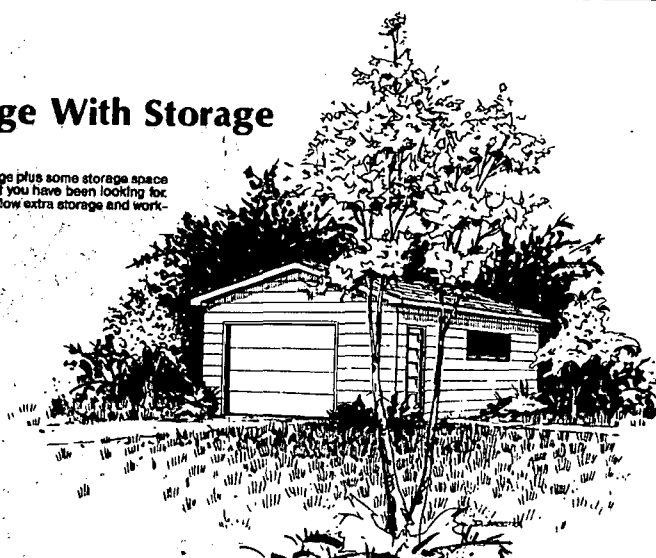


design

P2015

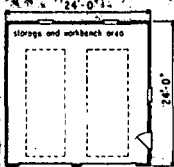
1½ Car Garage With Storage

If all you need is a one-car garage plus some storage space this 14' x 22' garage is just what you have been looking for. The overhead door is offset to allow extra storage and workbench space on the one side.



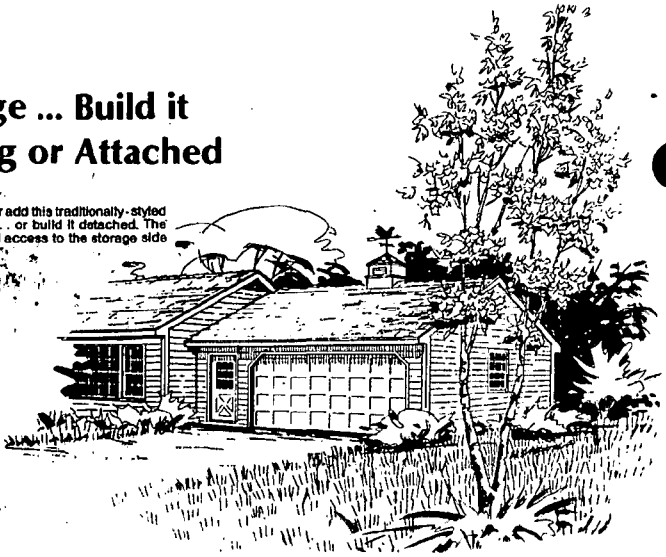
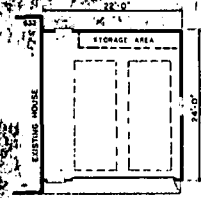
design
P2010
2 Car Garage

This attractive colonial design with panel doors and high pitch roof make this an ideal two-car garage to add to any colonial or traditional home.



design
633
2 Car Garage ... Build it Freestanding or Attached

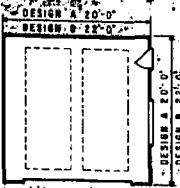
Plans are drawn so you can either add this traditionally-styled garage to your existing home ... or build it detached. The convenient service doors afford access to the storage side from the front or rear.



design
P2016
2 Car Garage

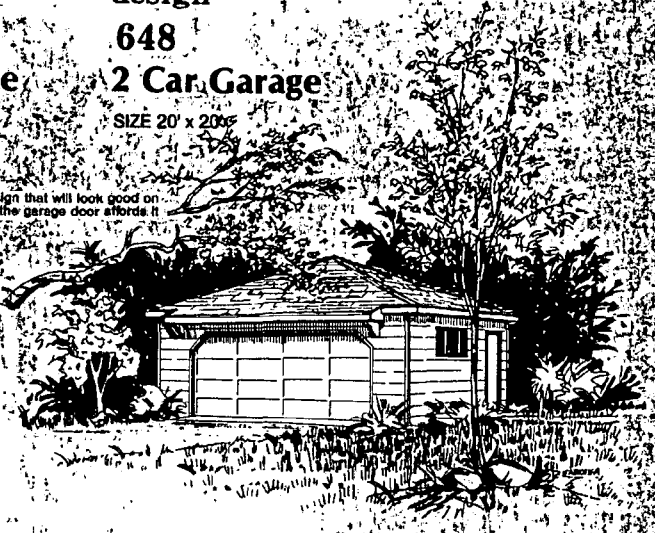
SIZE 22' x 22'
Design A - 20' x 20'
Design B - 22' x 22'

Here's an attractive hip-roof design that will look good on any lot. The extended roof over the garage door affords it protection from the weather.



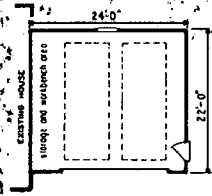
design
648
2 Car Garage

SIZE 20' x 20'



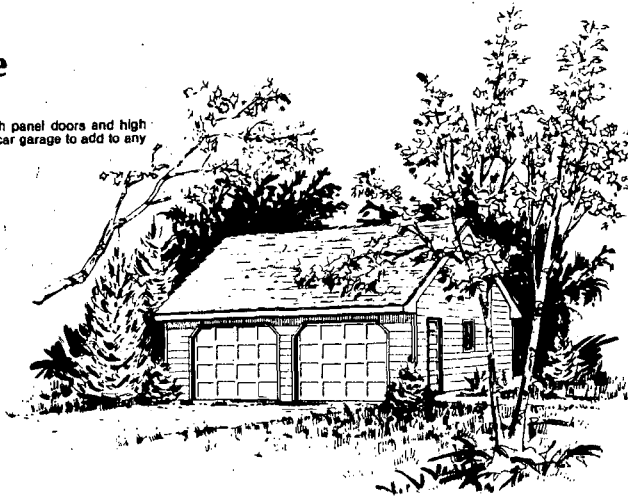
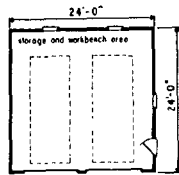
design
P2018
2 Car Garage ... Build it Freestanding or Attached

Here's a design that you can attach to your existing home or build as a free-standing garage. Its generous 24' width by 22' depth will easily take two cars and leave you space for extra storage.



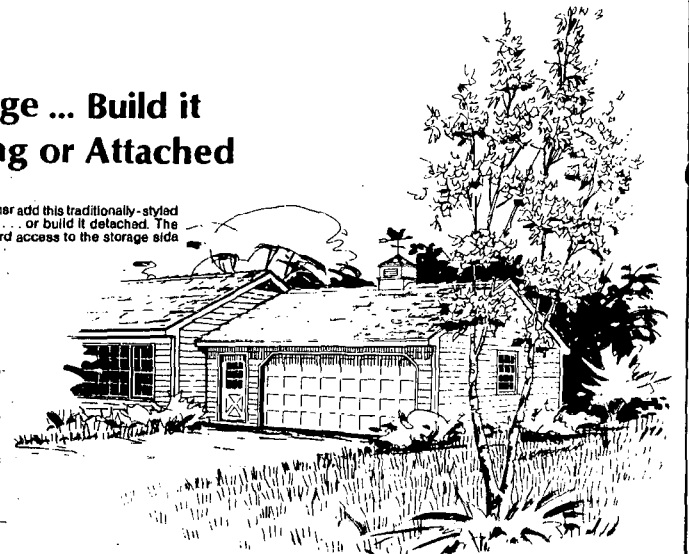
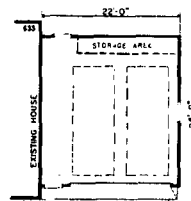
design
P2010
2 Car Garage

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design
633
2 Car Garage ... Build it Freestanding or Attached

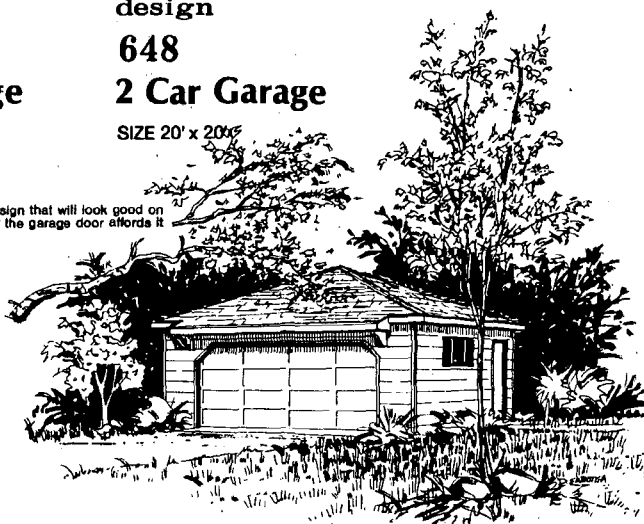
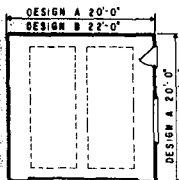
Plans are drawn so you can either add this traditionally-styled garage to your existing home ... or build it detached. The convenient service doors afford access to the storage side from the front or rear.



design
P2016
2 Car Garage

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Design A - 20' x 20'
Design B - 22' x 22'

Here's an attractive hip-roof design that will look good on any lot. The extended roof over the garage door affords it protection from the weather.

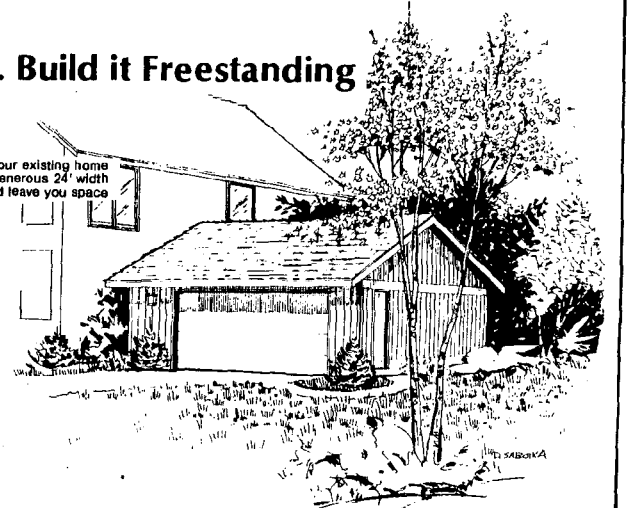
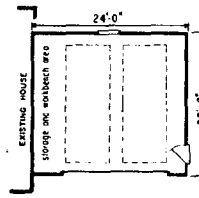


design
648
2 Car Garage

SIZE 20' x 20'

design
P2018
2 Car Garage ... Build it Freestanding or Attached

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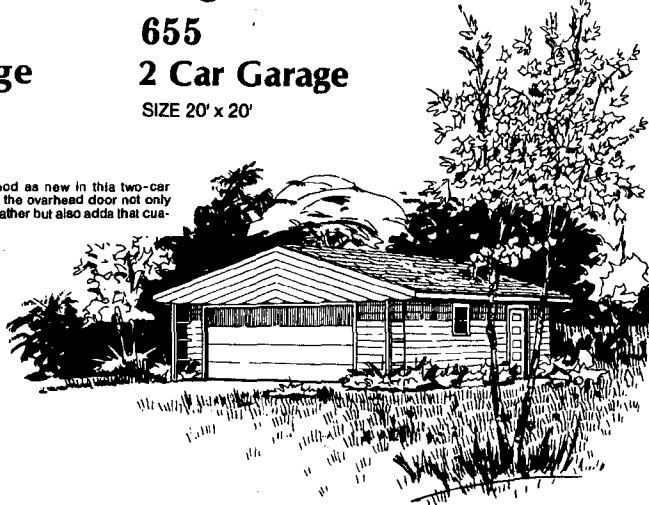
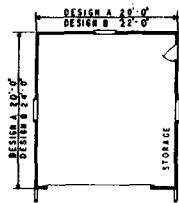


GARAGES...

design
P3003
2 Car Garage

SIZE 22' x 24'

Keep your cars looking as good as new in this two-car garage. The gable overhang at the overhead door not only provides protection from the weather but also adds that custom look to the exterior.

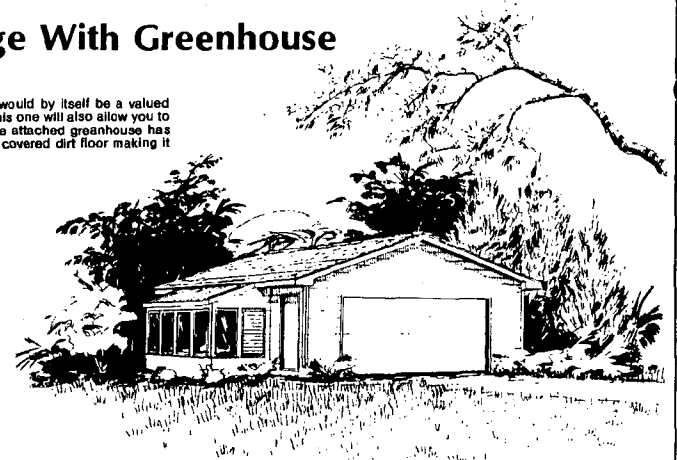
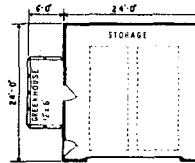


design
655
2 Car Garage

SIZE 20' x 20'

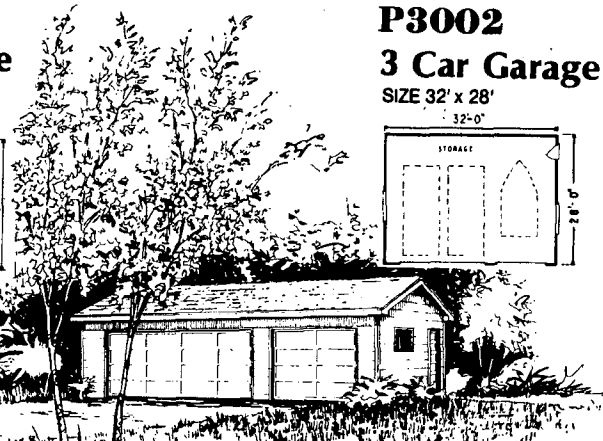
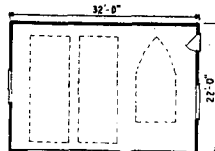
design
657
2 Car Garage With Greenhouse

The 24' x 24' two-car garage would by itself be a valued addition to your property. But this one will also allow you to let your green thumb show. The attached greenhouse has two jalousie sash and a gravel covered dirt floor making it an ideal spot for plant growth.



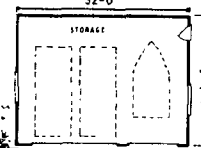
design
P2014
3 Car Garage

SIZE 32' x 22'



design
P3002
3 Car Garage

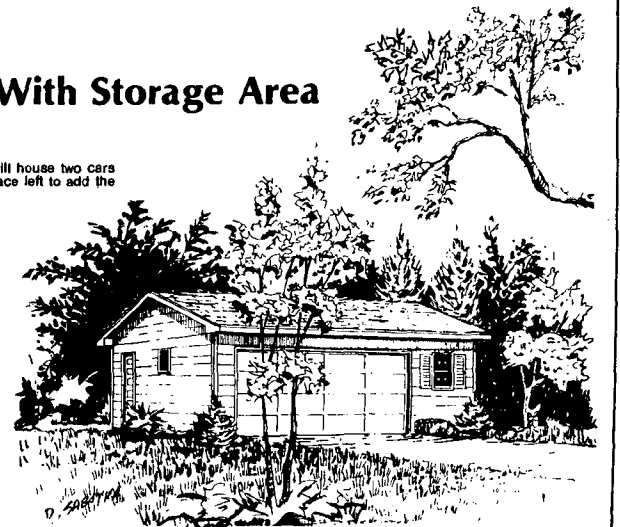
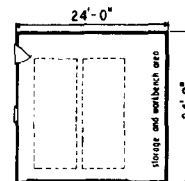
SIZE 32' x 28'



Need a place to keep those two cars and a boat? A three-stall garage will solve the problem. This one measures 32' x 22' and has two overhead doors, one 16' wide and the other 9' wide making it the ideal answer to the problem.

design
P2011
2 Car Garage With Storage Area

Double garage 24' wide by 24' deep will house two cars plus that lawn care equipment with space left to add the workbench you always wanted.

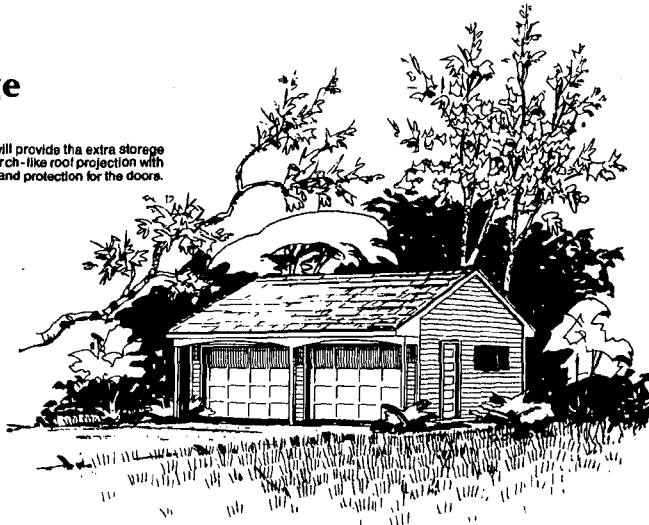
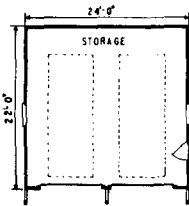


design

659

2 Car Garage

A functional two-car garage. It will provide the extra storage space most people need. The porch-like roof projection with arched frieze board adds charm and protection for the doors.

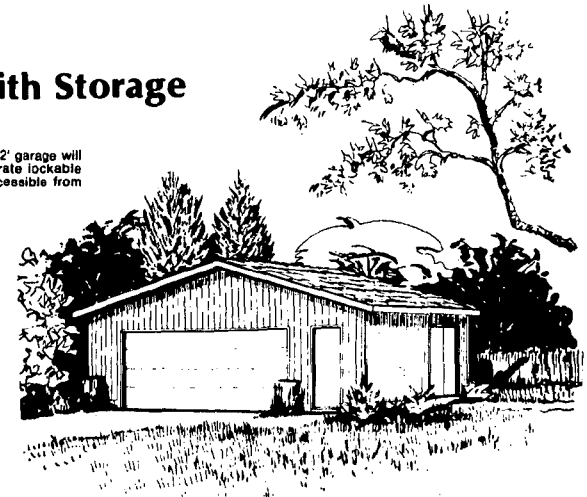
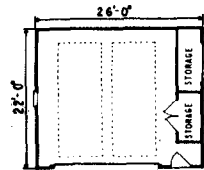


design

660

2 Car Garage With Storage

A helpful addition to your home. This 26' x 22' garage will house two cars and provide you two separate lockable storage compartments, one of which is accessible from the outside.



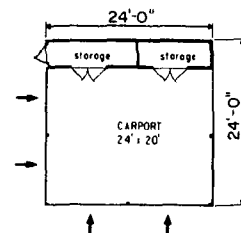
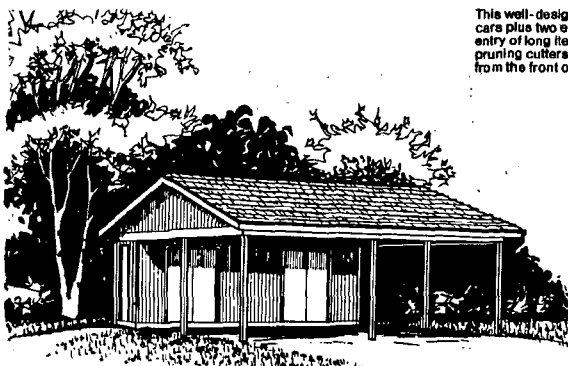
design

679

2 Car Carport With Storage

...Enter from front or side

This well-designed carport provides plenty of space for two cars plus two enclosed storage areas. The side door allows entry of long items such as extension ladders, long handled pruning cutters, etc. The unique design allows cars to enter from the front or side of carport.

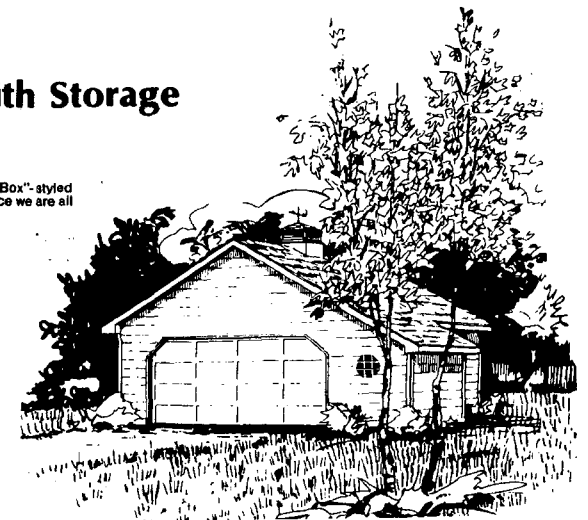
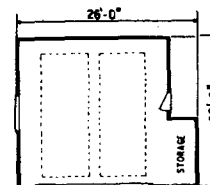


design

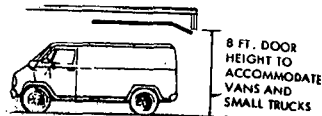
663 Salt Box

2 Car Garage With Storage

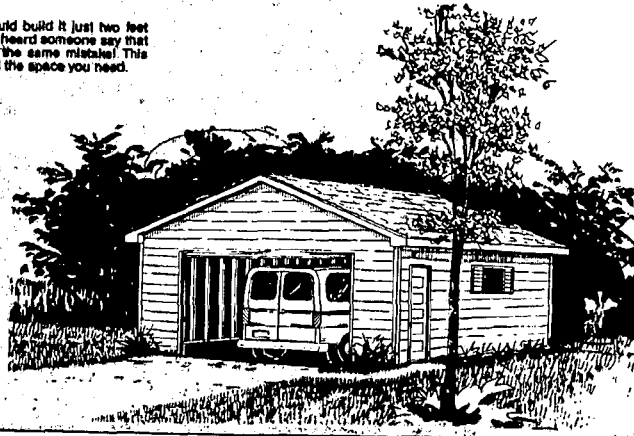
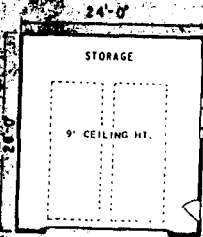
A helpful addition to your home... a "Salt-Box"-styled garage that provides the additional storage space we are all looking for.



design
P3001
2 Car Garage

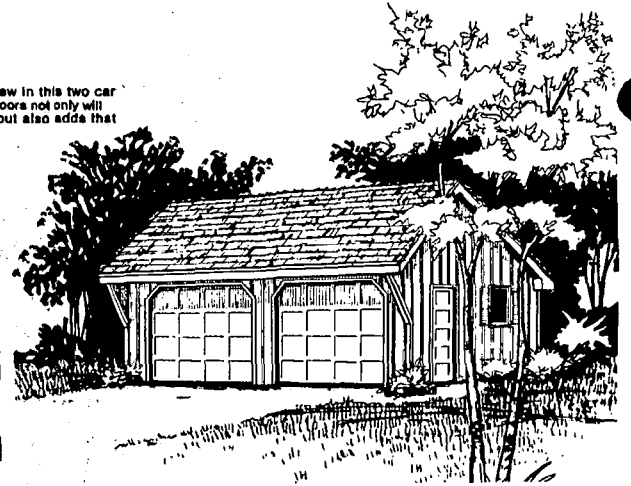
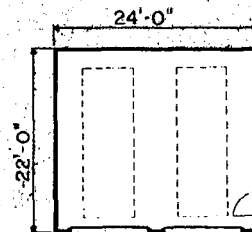


"If I had to do it over again, I would build it just two feet deeper." How many times have we heard someone say that about a new garage? Don't make the same mistake! This 24' x 28' garage should give you all the space you need.



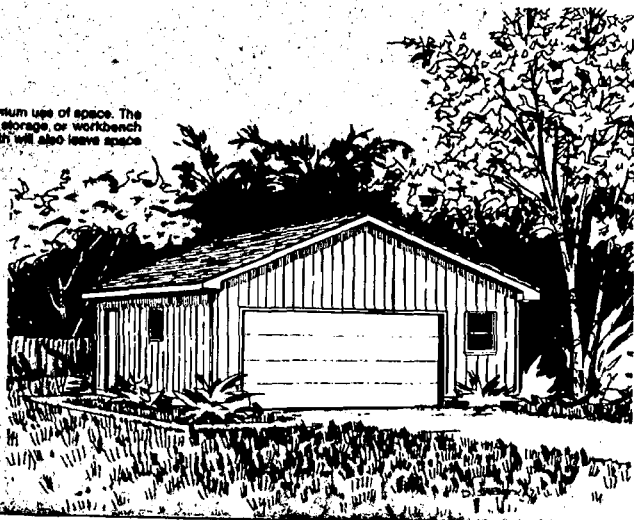
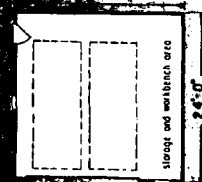
design
669
2 Car Garage

Keep your cars looking as good as new in this two car garage. The overhang at the overhead doors not only will provide protection from the weather but also adds that custom look to the exterior.



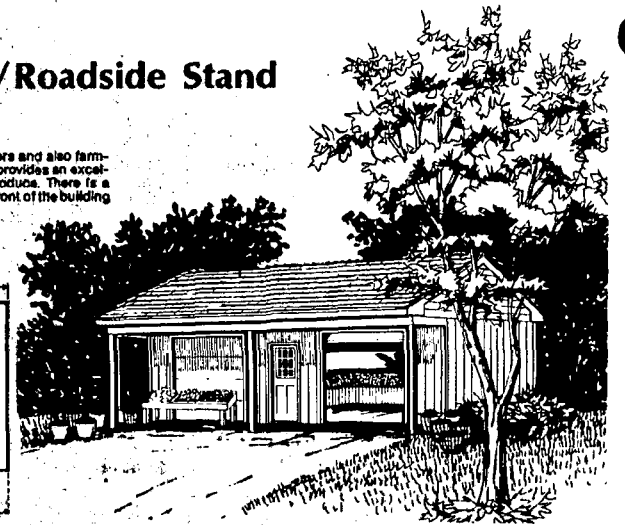
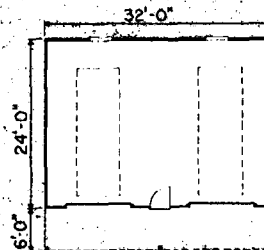
design
P2026
2 Car Garage

A 24' x 24' garage that makes maximum use of space. The garage door allows for storage or workbench along the side. The 24' depth will also leave space for additional storage.



design
670
2½ Car Garage/Roadside Stand

Here is a garage designed for homeowners and also farmers and commercial users. This building provides an excellent showcase for selling farm-grown produce. There is a 6 foot cantilevered overhang across the front of the building and plenty of storage and display area.



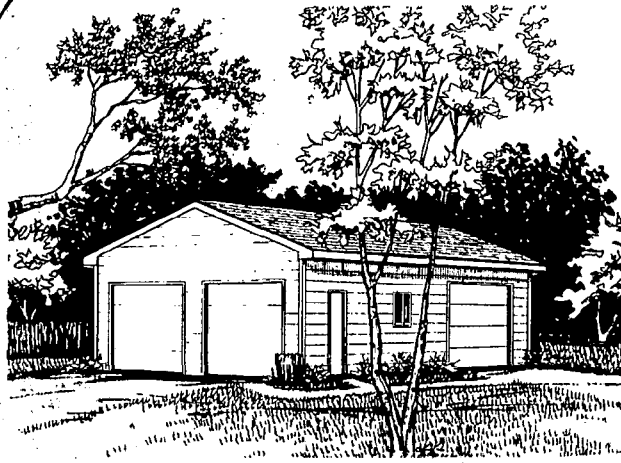
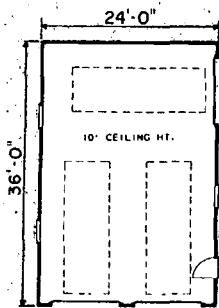
GARAGES . . .

design

671

**3 Car Garage/
Workshop**

More than just a garage! This extra big 24' x 36' garage features three 9' wide x 8' high doors and boasts a 10' high ceiling. An ideal size for many applications such as a farm repair shop, contractor's garage, maintenance building, bicycle repair shop, general storage building, etc.



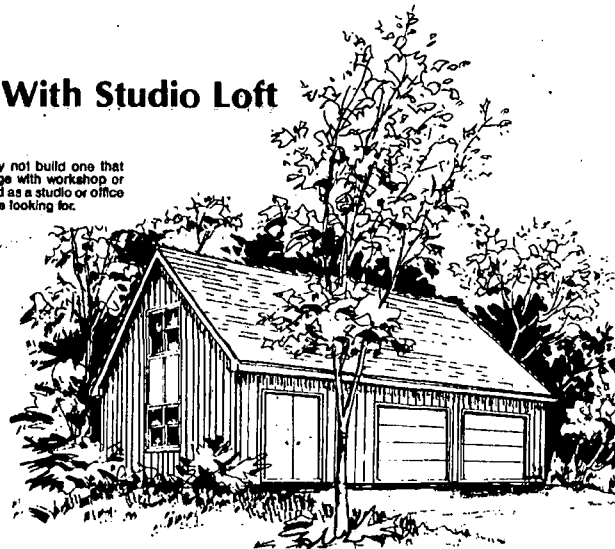
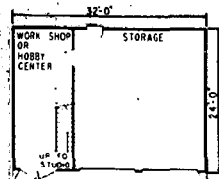
design

P2005

2 Car Garage With Studio Loft

Instead of building just a garage, why not build one that will serve triple duty? A two-car garage with workshop or hobby center and a loft that can be used as a studio or office are features that many homeowners are looking for.

BUILDING HEIGHT 21'-0"



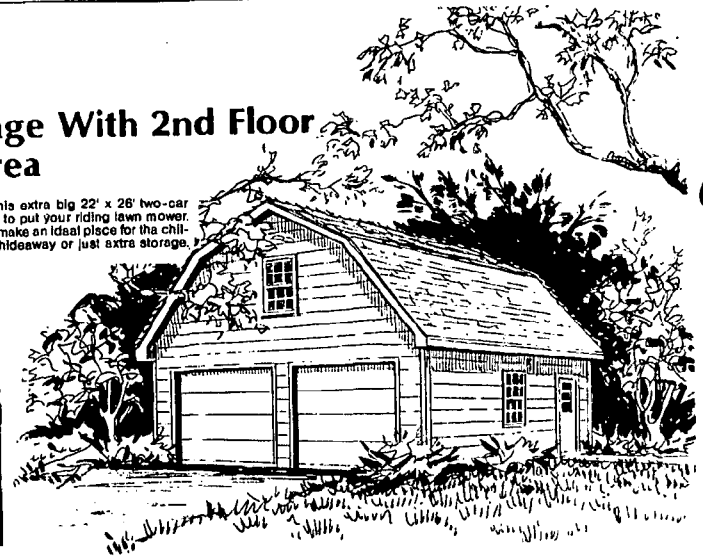
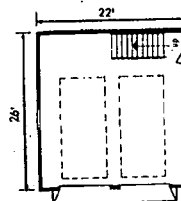
design

P2007

**2 Car Garage With 2nd Floor
Storage Area**

More than just a garage. This extra big 22' x 26' two-car garage will give you a place to put your riding lawn mower. The second floor space will make an ideal place for the children's hobby center, dad's hideaway or just extra storage.

BUILDING HEIGHT 21'-2"



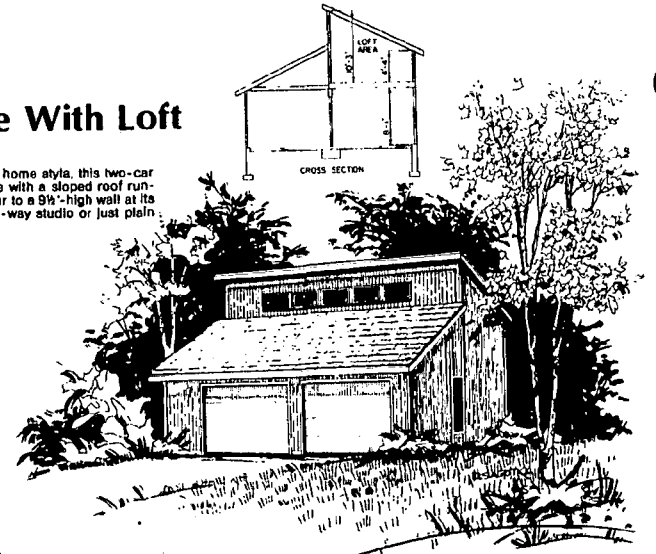
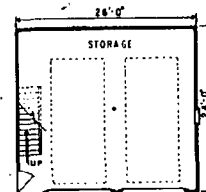
design

P2024

2 Car Garage With Loft

Designed to fit the contemporary home style, this two-car garage has a 300-sq.-ft. loft area with a sloped roof running from a 4'-high wall at the rear to a 9 1/2'-high wall at its front. It can make a good hide-a-way studio or just plain storage space.

BUILDING HEIGHT 20'-8"

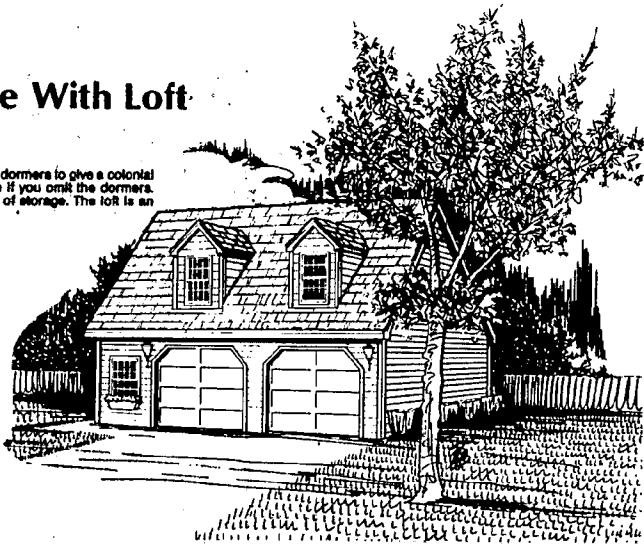
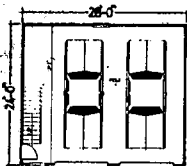


design
P2501

2 Car Garage With Loft

BUILDING HEIGHT 21'-3"
LOFT SIZE 27'-4" x 18'-8"

Originally designed with attractive dormers to give a colonial look, this design is also attractive if you omit the dormers. Its generous size provides plenty of storage. The loft is an ideal hobby area.

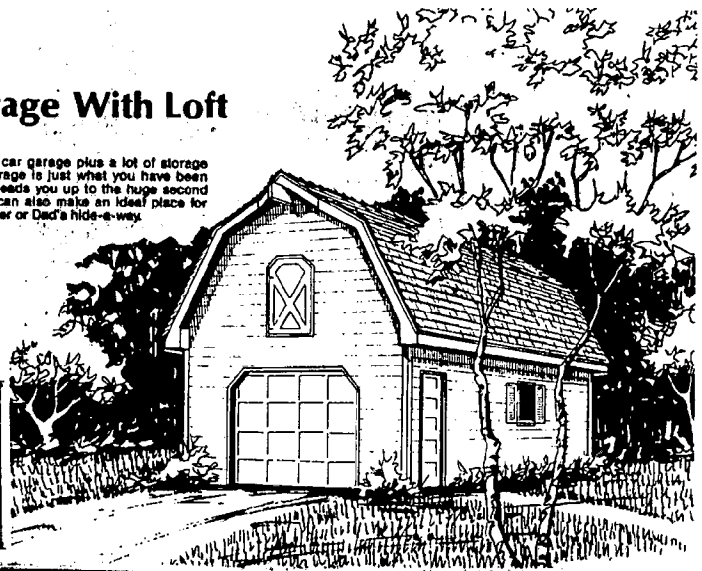
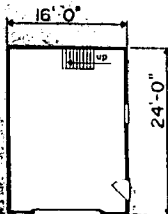


design
672

1 Car Garage With Loft

If all you need is a one car garage plus a lot of storage space, this 16' x 24' garage is just what you have been looking for! A staircase leads you up to the huge second floor storage loft which can also make an ideal place for the children's hobby center or Dad's hide-a-way.

BUILDING HEIGHT 10'-4"



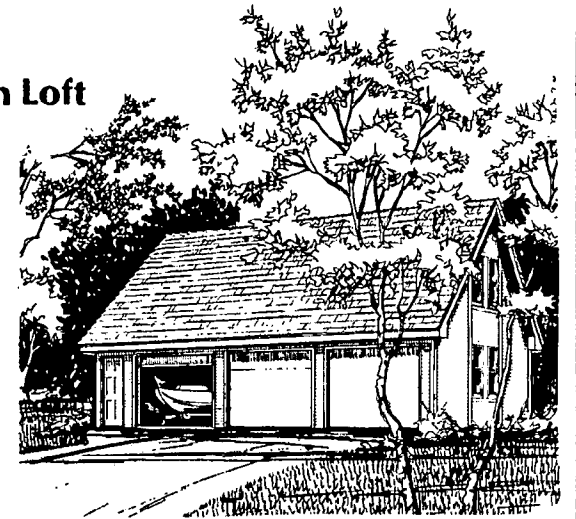
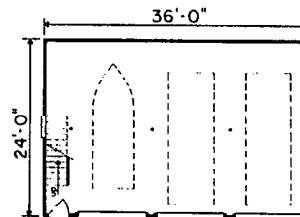
design

673

3 Car Garage With Loft

Need a place to keep those two cars and a boat? A three stall garage will solve the problem. This one measures 36' x 24' and has three overhead doors, all 9' wide x 7' high, making it the ideal answer to the problem. A stairway leads to the second floor loft area. It can make a good hide-a-way studio or just plain storage space.

BUILDING HEIGHT 21'-4"



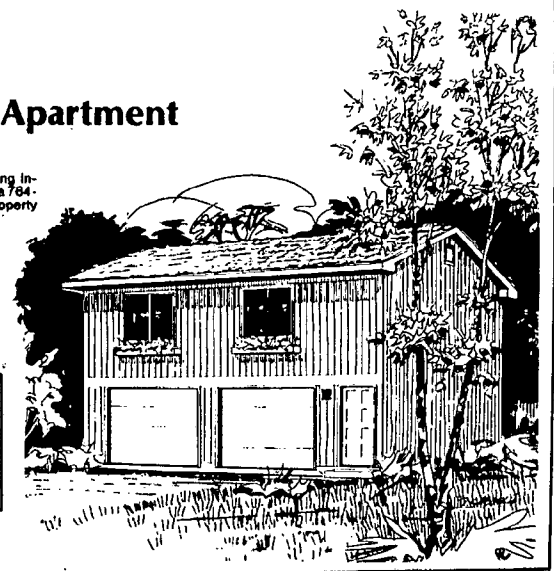
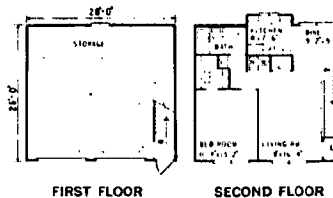
design

X6006

2 Car Garage With Apartment

When thinking of adding a garage, think about adding income to your property. This large two-car garage with a 764-sq.-ft. apartment above is certain to enhance your property and your income.

BUILDING HEIGHT 22'-6"

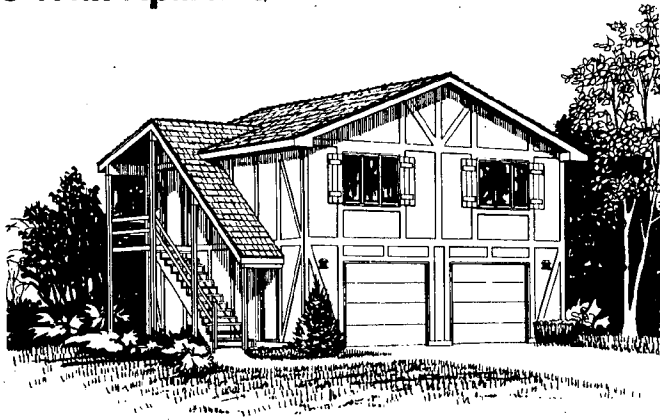
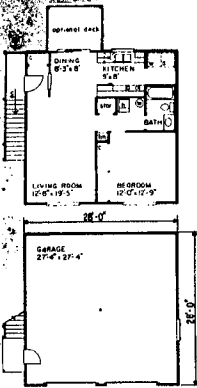


APARTMENT GARAGES...

design
X6013

Here is a quaint tudor-style garage-apartment that will certainly enhance your property, as well as your income! This two-car garage with a 784-sq.-ft. apartment above features a private outside entrance. BUILDING HEIGHT 25'-0"

2 Car Garage With Apartment

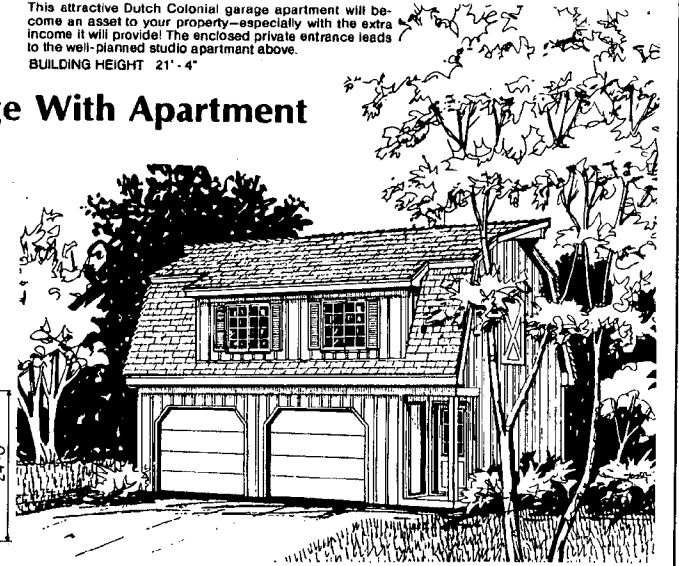
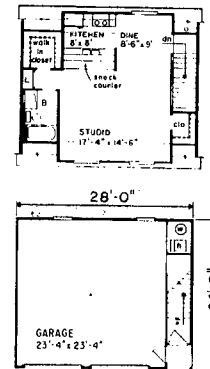


APARTMENT GARAGES...

design
GA675

This attractive Dutch Colonial garage apartment will become an asset to your property—especially with the extra income it will provide! The enclosed private entrance leads to the well-planned studio apartment above. BUILDING HEIGHT 21'-4"

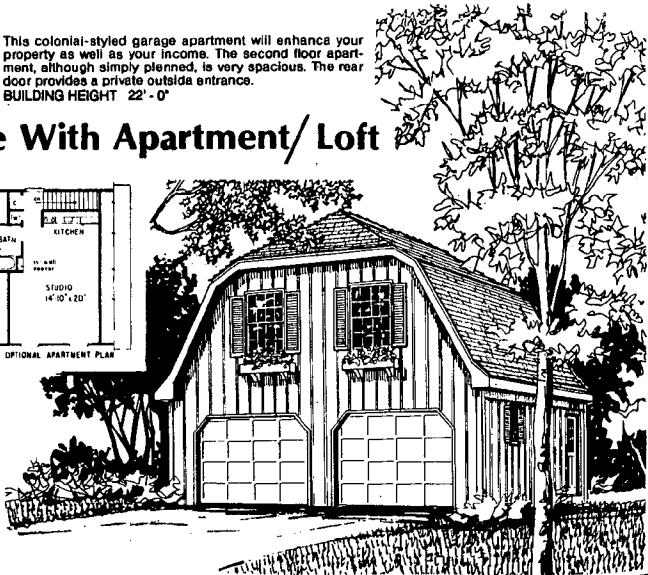
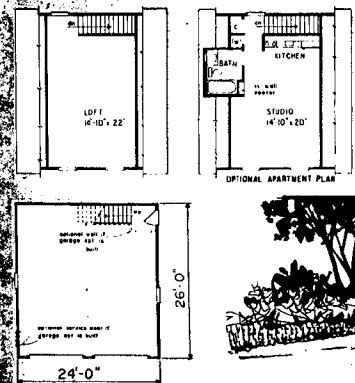
2 Car Garage With Apartment



design
GA674

This colonial-styled garage apartment will enhance your property as well as your income. The second floor apartment, although simply planned, is very spacious. The rear door provides a private outside entrance. BUILDING HEIGHT 22'-0"

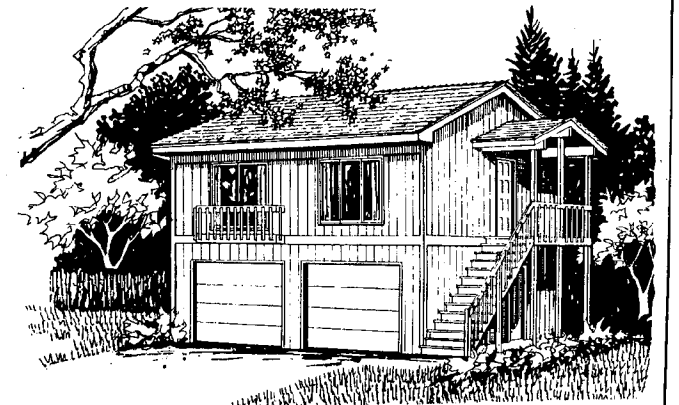
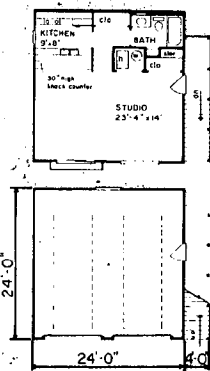
2 Car Garage With Apartment/Loft



design
GA676

Here is a contemporary-styled garage apartment that features a private outside entrance. The 576 sq. ft. second floor apartment is uniquely designed with a "studio" living-dining area. BUILDING HEIGHT 22'-4"

2 Car Garage With Apartment



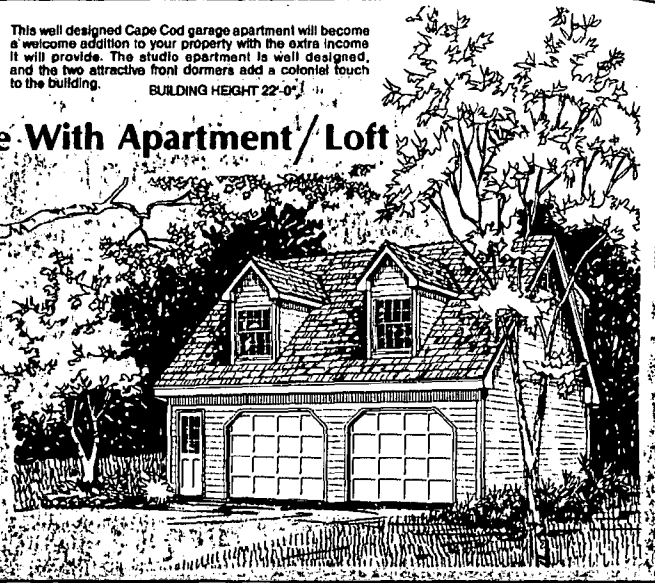
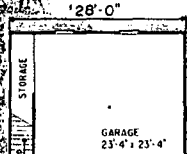
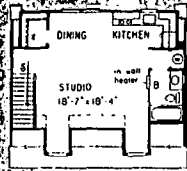
APARTMENT GARAGES...

design
GA677

This well designed Cape Cod garage apartment will become a welcome addition to your property with the extra income it will provide. The studio apartment is well designed, and the two attractive front dormers add a colonial touch to the building.

BUILDING HEIGHT 22'-0"

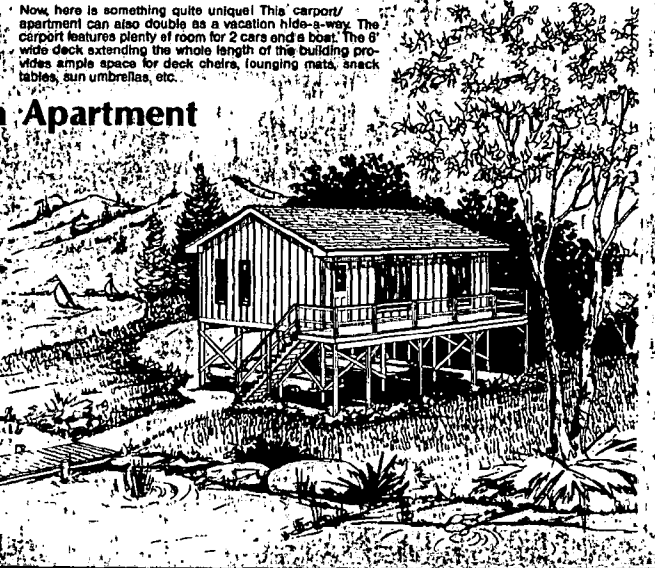
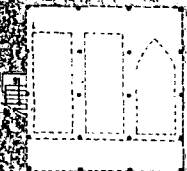
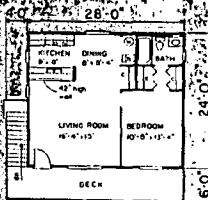
2-Car Garage With Apartment/Loft



design
X6017

Now, here is something quite unique! This carport/apartment can also double as a vacation hide-a-way. The carport features plenty of room for 2 cars and a boat. The 8' wide deck extending the whole length of the building provides ample space for deck chairs, lounging mats, snack tables, sun umbrellas, etc.

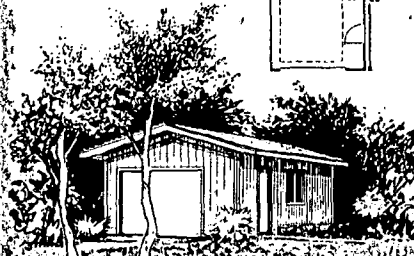
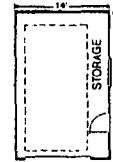
Carport with Apartment



GARAGES...

design

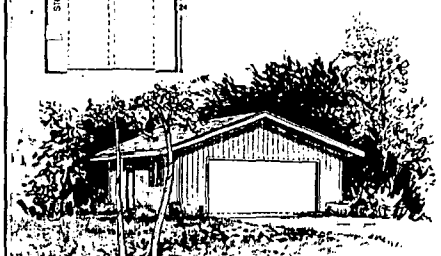
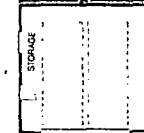
P 3018
1½ CAR GARAGE
WESTERN STYLE



This 1½ car garage is especially designed in the contemporary western style. Its 24" exposed overhang adds charm to the design. There is plenty of space for storage and workbench. Easy-to-follow blueprints include seismic/hurricane construction details.

design

P 3019
2 CAR GARAGE
WESTERN STYLE



This gable roof garage with a western style 24" exposed overhang can be an attractive and practical addition to your home. Its generous size, 24' x 24', allows for two cars with storage space all around. This garage plan includes seismic/hurricane details.

design

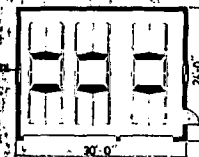
P 3020
2½ CAR GARAGE
WESTERN STYLE



Designed to fit western home styles, the attractive 24" roof overhang gives needed protection for the overhead doors. Construction plans include seismic/hurricane details. This functional 30' x 24' garage will house two cars and provide the extra storage space most people need.

design

P 3021
ECONOMY SIZE 3
CAR GARAGE



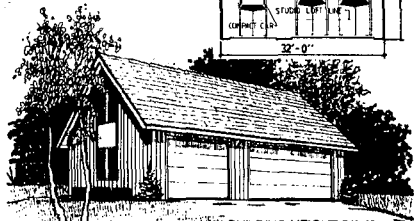
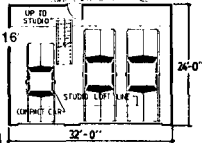
Need a place to keep 3 cars? This 30' x 24' economy size garage will solve the problem and will be an added asset to your property. If desired, the third stall can be used to store a boat.

GARAGES

design

P 3022
3 CAR GARAGE WITH
STUDIO LOFT WESTERN STYLE

Large studio loft 32' x 16'

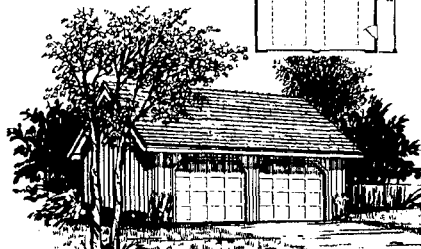
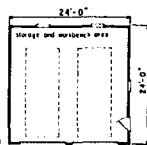


BUILDING HEIGHT 21'-4"

More than just a garage! This 3 car garage features a loft that can be used as a studio or office. . . features that many homeowners are looking for. This 32' x 24' garage is designed in the contemporary western style. Easy-to-follow blueprints include seismic/hurricane construction details.

design

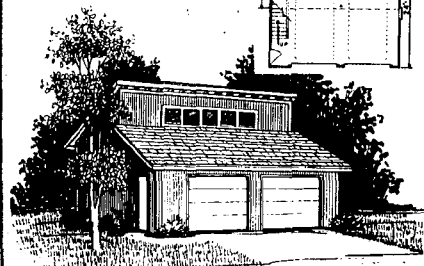
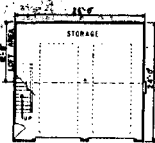
P 3023
2 CAR GARAGE
WESTERN STYLE



This 2-car garage is specially designed in the contemporary western style with panel doors giving a colonial flair. The exposed wide overhangs add charm to the design. This 24' x 24' garage plan includes seismic/hurricane details.

design

P 3024
2 CAR GARAGE WITH LOFT
WESTERN STYLE

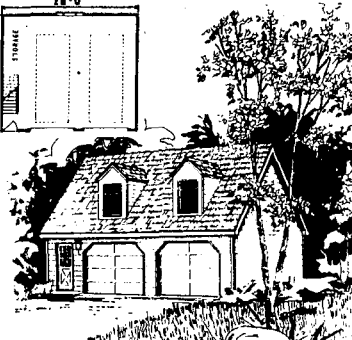
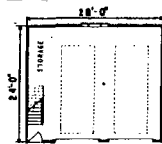


BUILDING HEIGHT 21'-0"

Designed to fit the contemporary western home style, with attractive 24' exposed overhangs, this 2 car garage has a 28' x 12' loft area. It can make a good hide-a-way studio or just plain storage space. This garage plan includes seismic/hurricane details.

design

664
2 CAR GARAGE WITH LOFT



LOFT SIZE 27'-4" x 18'-8" BUILDING HEIGHT 21'-3"

Originally designed with attractive dormers to give a colonial look, this design is also attractive if you omit the dormers. Its generous size provides plenty of storage. The loft is an ideal hobby area.

FOR NOTES AND LAYOUT PROCEDURES

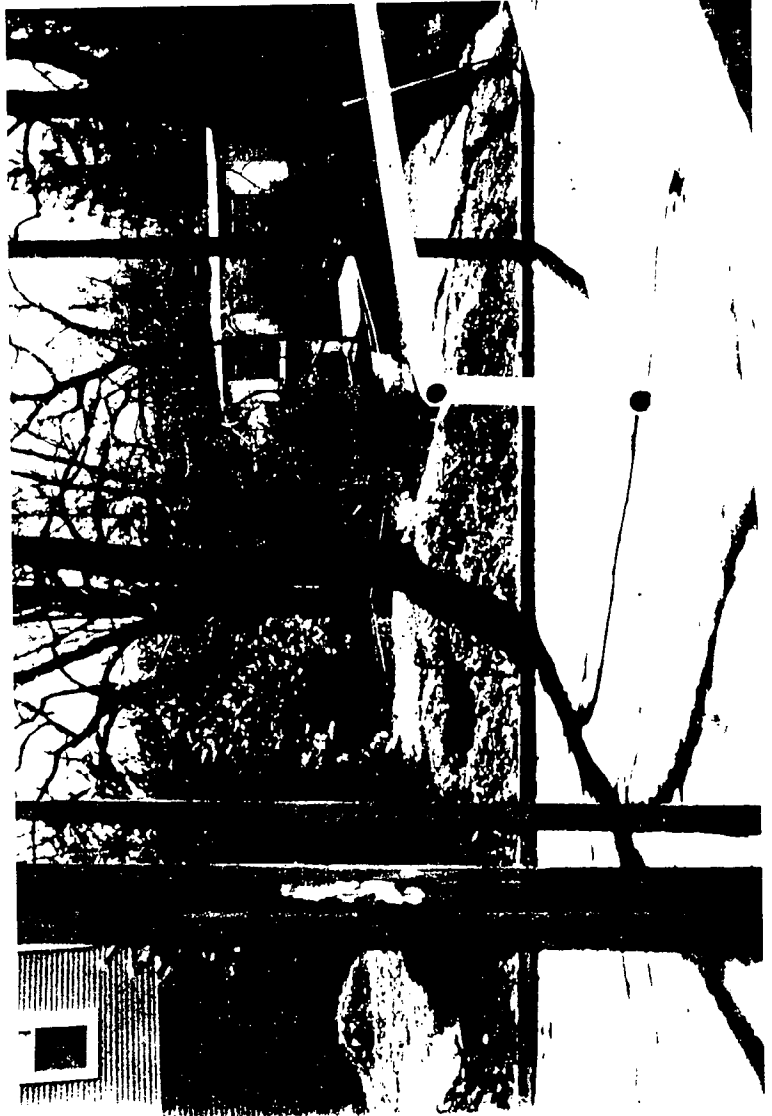
Site of Proposed Garage



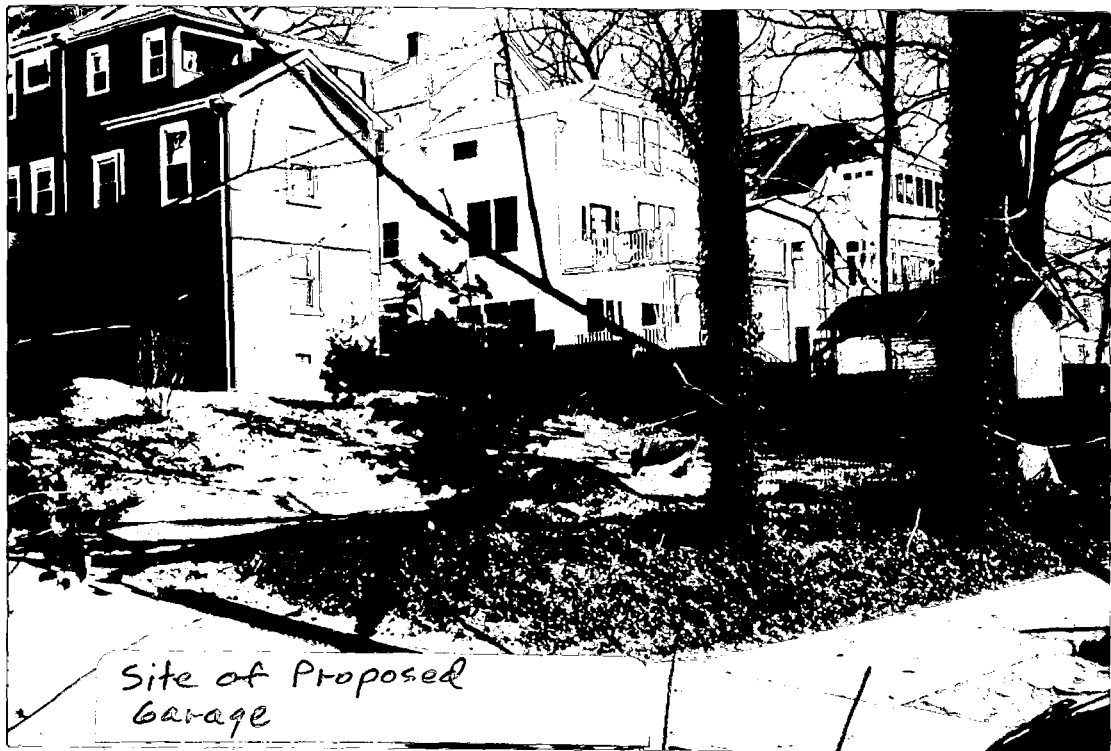
Looking East on Columbia Ave



22

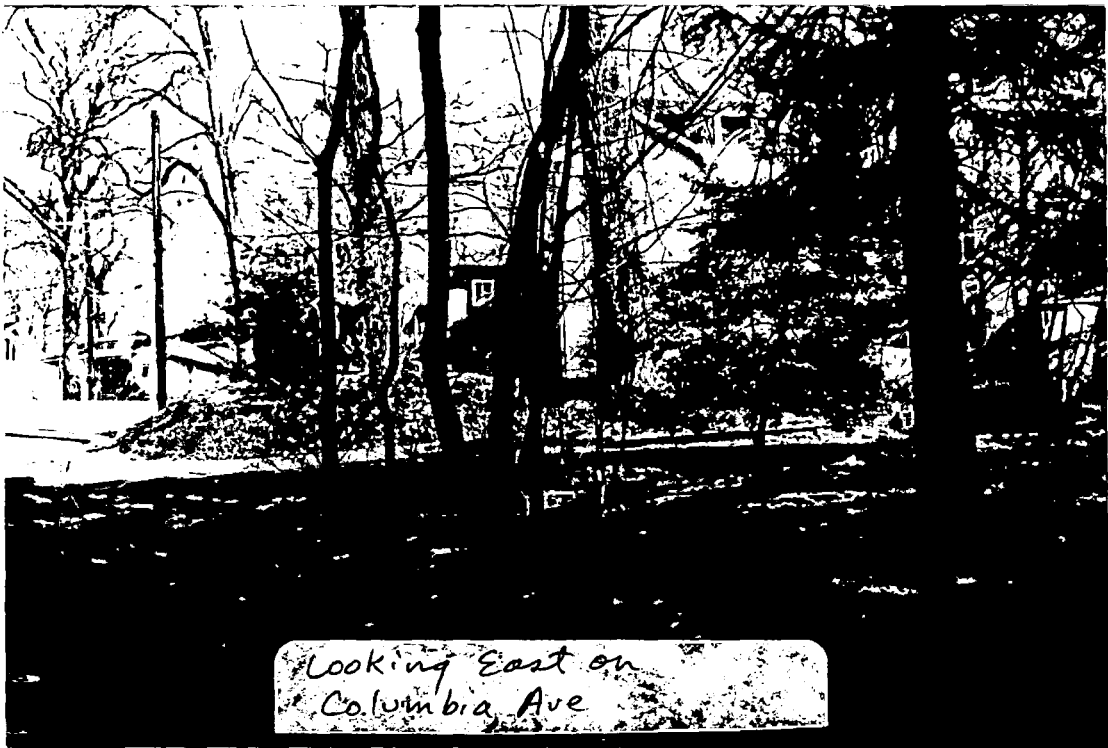


Looking West on Columbia Ave





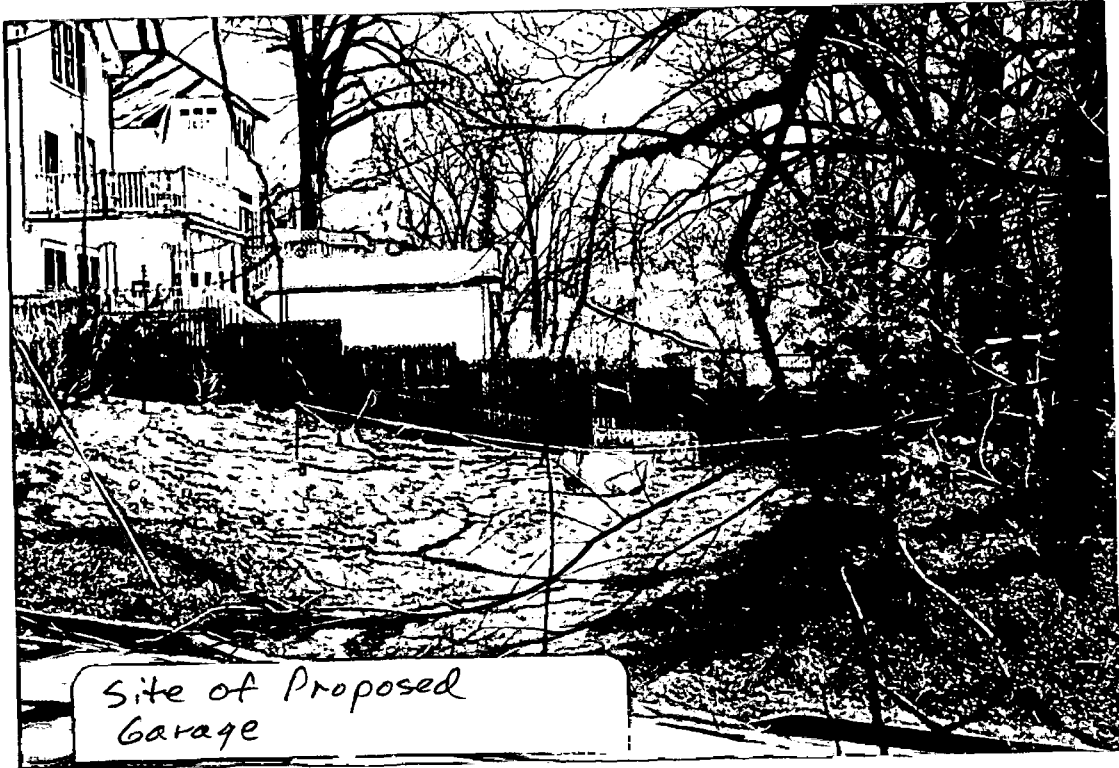
Looking East on
Columbia Ave



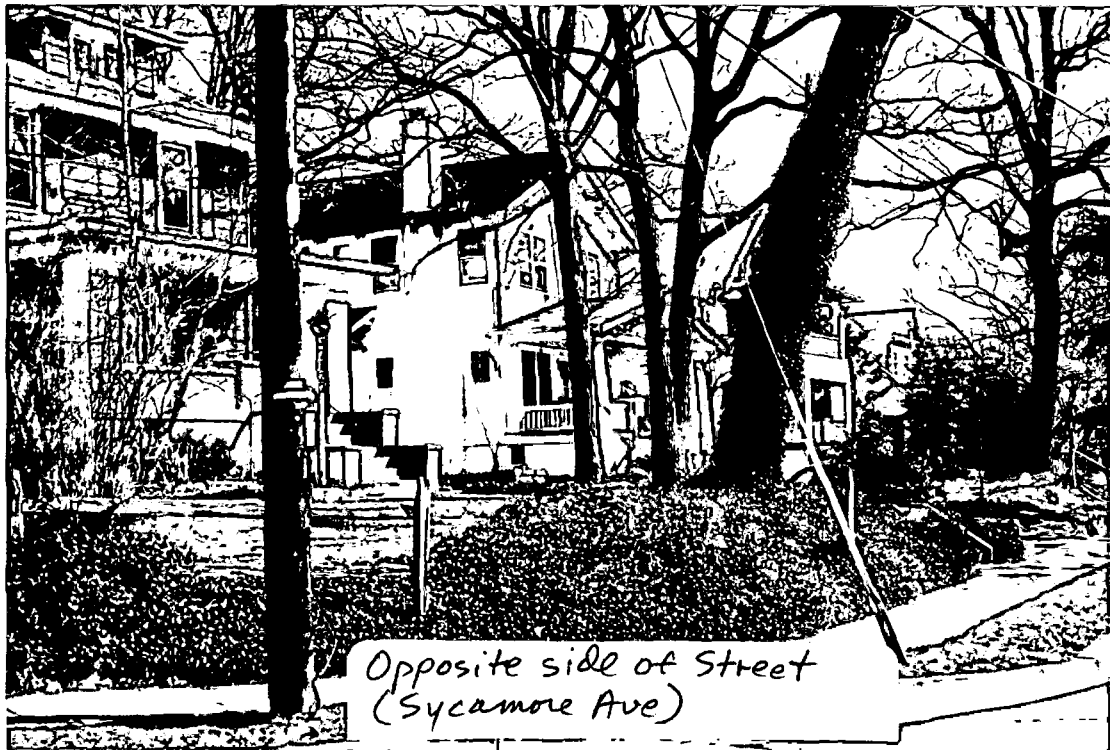
Looking East on
Columbia Ave



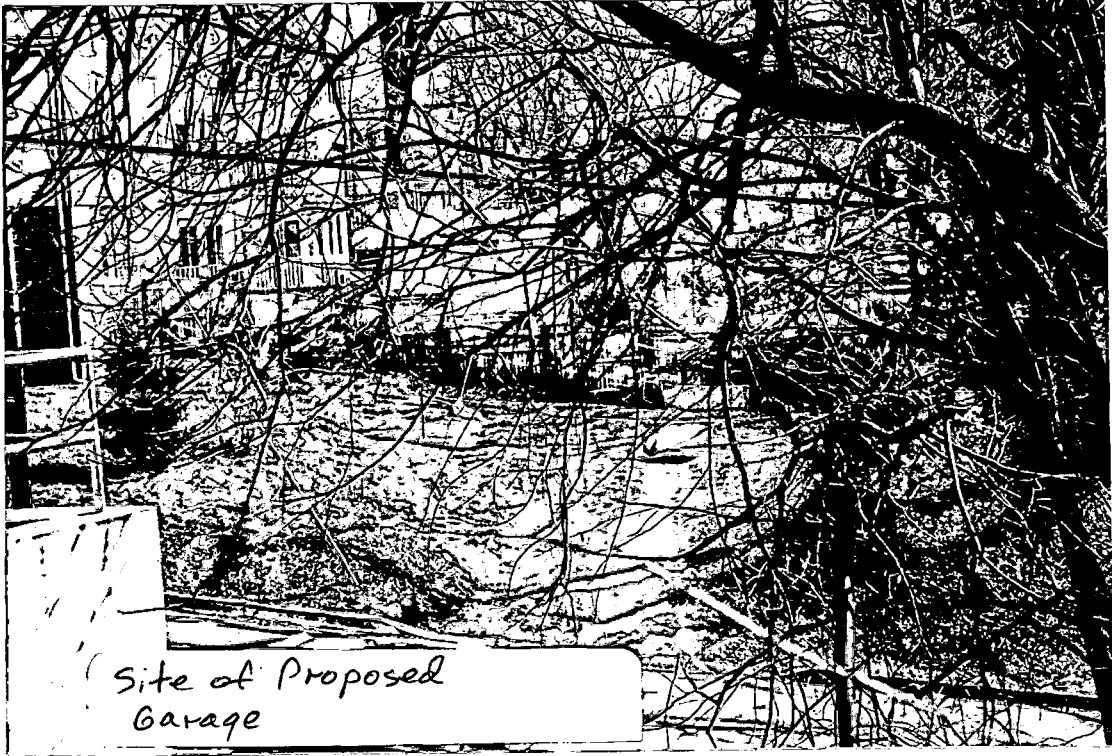
Looking South on
Sycamore Ave



Site of Proposed
Garage



Opposite side of Street
(Sycamore Ave)





Looking West on
Columbia Ave



Looking West on
Columbia Ave

b. The relationship of the design to the existing resource:

The proposed improvement would be totally detached from the existing resource. Propose to use 3" victorian clapboard siding identical to main house, for consonance of design and to approximate appearance of early 1900s structure.

c. The way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

As this HAWF proposes no change to the historic resource (i.e., the main house), this HAWF applies only to the environmental setting. The proposed improvement will complement the variety of mixed architectural periods and styles represented on Sycamore Avenue and in the surrounding area. Since the proposed design will incorporate 3" victorian clapboard siding, it will approximate the appearance of an older style (early 1900s) structure. As the proposed improvement will enhance the value of the property, and hence, the historic district, it fully supports the requirements of the Ordinance (Chapter 24A).

3. Project Plan: See attached.

4. Tree survey: See attached. No impact to existing trees on property (no trees are within area where garage is proposed to be constructed).

5. Design Features: See attached.

6. Facades: See attached.

7. Materials Specifications: See attached. Wood frame structure on 4" concrete pad. Pressure treated lumber for bottom plates. 3" victorian vinyl siding for exterior (identical to main house). This will give the structure a historic look, and approximate the appearance of siding used on dwellings of the early 1900's. Garage doors will be painted wood.

8. Photos of Resource: Attached.

9. Photos of Context: Attached.

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT

REQUIRED ATTACHMENTS

1. Written Description of Project

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Frame house built in 1908. House was operated as apartments for many years and has had several additions, modifications, and alterations to the original structure. No photos exist from earlier eras, and it is difficult to tell what the house originally looked like. No outstanding historical features or significance. House sits on an ordinary streetscape, and house and street are on edge of historic district.

b. General description of project and it's impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Propose to construct three car detached garage. No impact to historic resource (existing house). Will enhance value of property, and hence, historic district. Propose to use 3" victorian clapboard siding identical to that as used on main house, which will approximate the appearance of materials used for structures in the early 1900's, and be in consonance with the environmental and historic setting of the area.

2. Statement of Project Intent:

Short, written statement that describes:

a. The proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

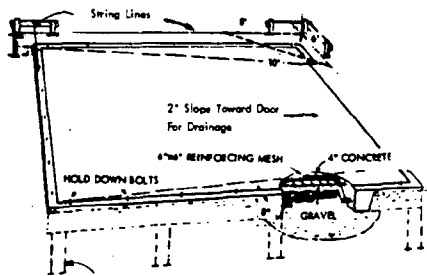
Wood frame structure 32' wide by 28' deep by 12' 9" high overall, on 4" concrete slab on top of 4" gravel base. 3" victorian clapboard siding identical to main house. Area where proposed garage is to be located is presently grassy area at the end of driveway. It is presently used for parking cars. There are no trees presently within this area. Landscaping (e.g., ground covers, shrubs, etc.) around the structure will be in consonance with the rest of the property. (Owner has retained the services of a professional landscaper who will advise on tasteful landscaping).

5. Design Features Facades Materials Specifications

3 CAR GARAGE

INSTRUCTIONS:

1. Study the plan thoroughly. Be sure to check your local code requirements and if required obtain a building permit. Omit steps 2 through 8 if slab is poured by contractor.
2. Locate the garage on your lot to conform to local code requirements, such as side and rear lot set backs. Allow enough room for easy entrance, exit, or turn around, if possible.
3. Stake out the area as illustrated. Be sure all corners are square. Remember that dimensions on plan are to outside of concrete and face of stud. See Foundation plan.
4. Dig trench for foundation approximately 12" deep, 12" wide at bottom. Taper inward at top to approximately 20".



5. Build forms for the concrete slab, using 2" lumber. Set top of 2" form board to desired floor height and level. Inside face of form boards must line up exactly with "string lines" set at proper building dimensions.
Brace securely. This is very important to keep forms from pushing out when concrete is poured.
Use a gravel fill and tamp to within 4" of the top of form boards.
6. Call building inspector to check location and trenches before pouring concrete.
Note: At least two 1/2" (or #4) reinforcing bars in perimeter makes a better job. Using wire mesh in floor slab minimizes cracking.
Have local electrical contractor install conduit under slab for electrical service.

7. Pour ready-mix concrete completely filling forms. Surface and level with a long straight board and trowel.
8. Set anchor bolts (see foundation plan) 1 3/4" in from edge of concrete and extending at least 23" above surface.
9. After concrete has set place 2x4 bottom plate on top of bolts with edge of 2x4 flush with outside face of concrete, and tap with a hammer over each bolt to locate position of bolt holes. Drill a 3/4" hole in bottom plate to fit over bolts. Check by placing 2x4 plate over bolts and be sure that edge of 2x4 is flush with face of concrete.

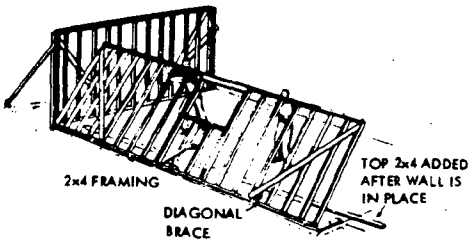
NOTE: Note that the walls are layed out in at least two panels each. This has been done for ease of handling the pre-assembled walls.

FRAME CONSTRUCTION

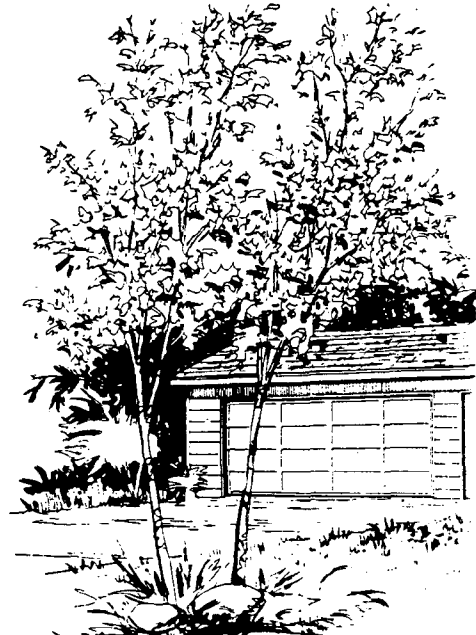
Begin construction by assembling wall panel, A, B, C and D, on the concrete garage slab

Assemble all four panels before tilting them up into position.

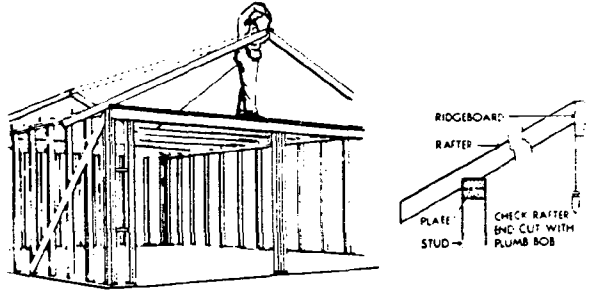
10. Lay the predrilled 2"x4" bottom plate and one 2"x4" top plate for panel "A" side by side and mark position of 2"x4" studs 16" o.c. as shown on panel elevation drawing (note that the first stud space on each end of panels is measured from the outside face of stud to the center line of the next stud). Assemble wall panel "A" using pre-cut 2"x4" studs 7'-8 5/8" long. Nail through top and bottom plates into studs using two 16 penny nails at each connection.
11. Let-in bracing. Check panels for squareness. Lay the 1"x4" corner brace on panel outer corner at top of panel down to bottom plate at a 45 degree angle. Mark 1"x4" position on each stud. With your circular power saw cut into stud 3/4" at each mark. Using a chisel and hammer knock out the piece of wood leaving a 3/4" recess into which you place the 1"x4" corner brace and nail with two 8 penny nails at each stud and top and bottom plate.
Repeat steps 10 and 11 for panels "B", "C" and "D".
12. Now that you have the first four wall panels assembled you can start the erection of the walls. Tilt up panel "A" and place it in position over the anchor bolts. Brace panel securely with 2"x4" brace to ground stake. Place washer and nut on anchor bolts and tighten down panel. Follow same procedure for panels "B", "C" and "D".



13. Repeat instructions number 10, 11 and 12 for assembly of remaining wall panels. Assemble and erect panels in sequence.
14. As panels are erected you can add the 2"x4" tie plate as shown on wall framing elevations. Nail plate 16" on center with 16 penny nails.
15. Cut garage door header to length and nail together with two 16 penny nails at each end. Stagger nail 16 penny nails 32" o.c. along top and bottom of header on both side. For 16" opening use the laminated wood header or bolt 2-2"x12" with a 11"x3/8" steel plate between as shown on hitch plate detail.
16. Nail 2"x4" cripples on each side of door opening. Lift assembled header into position and rest on cripples and nail to panel studs using 16 penny nails. Nail hardware surround to inside face of cripples (see garage door jamb detail).
17. Add 2"x4" tie plate to top remaining wall panels.
18. Lay rafter ties approximately 4" on center across top plate to form a working platform for rafter erection. Brace ties below if span is too long.

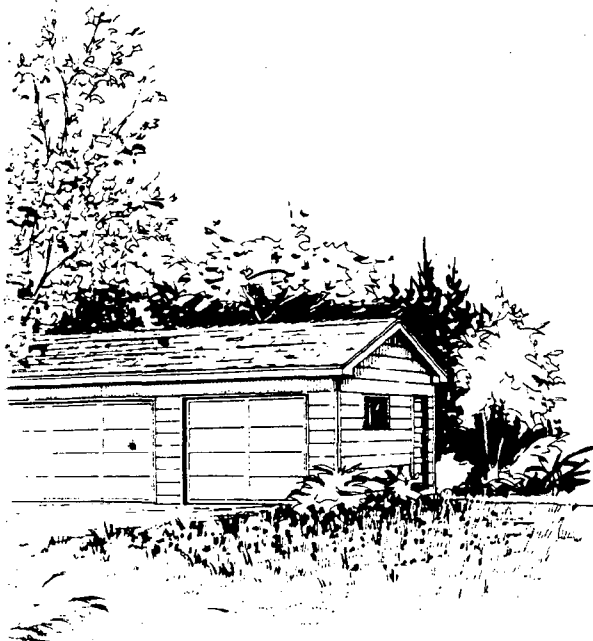


19. Cutting rafters is simplified by using the template pattern provided on the plan. Layout and cut two rafters to size and check for accuracy. (Be sure to use the same rafter as a pattern to make all additional rafters.)

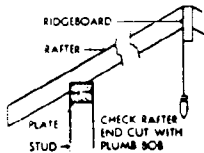


20. Erect and "back-nail" the end rafters in place and brace temporarily. 10 or 12 feet from the gable end erect a second set of rafters. Slip the ridge board into position and support at each end with a 2"x4" stud. Be sure the ridge board is level, rafters are plumb. The remaining rafters can now be put in place. Nail collar ties to rafters. Before nailing the rafter ties in place we suggest that you check your garage door hardware manufacturers instructions as well as your automatic garage door opener instruction for the minimum clearance required from top of the garage door opening to the bottom of the rafter ties. It may require that the first two rafter ties at the front of the garage be set up off the top plate in order to gain the clearance required (see diagram below).
21. Add 2x4 gable studs, eave blocking and any other framing necessary, as shown on plan.
22. Apply 1/2" plywood sheathing over roof rafters starting at the bottom of the rafter. Stagger joints of roof sheathing so that joints on adjoining sheets do not occur on the same rafter. Check plan carefully to find out how far roof sheathing should extend out at gable ends.
23. Apply roof shingles (over felt if desired). Follow manufacturer's instructions in bundle. Extend shingles 3/4" beyond face of trim board, and excess of shingles should be cut from inside only in order to maintain a trim appearing edge.
24. Trim out door opening with jamba and casing.
Install windows with bottom sill resting on 2"x4" sill plate.
25. Apply aluminum coated Kraft paper over outside stud wall. Start siding at bottom, making sure that first board is level. Check for level at every third board and cut all joints and square, staggering joints on side walls.
26. Trim eaves and corners. Install doors.
27. Install garage door following the manufacturer's instructions included with door package.
28. Paint or stain siding and trim as desired.

AR GARAGE



used on the plan. Layout to use the same rafter as a



approximately 10 or 12 feet
ridge board into position
ridge board is level, rafters
Nail collar ties to rafters.
Check your garage door
garage door opener
garage door opening
each rafter ties at the
in the clearance

necessary, as shown on plan.
bottom of the rafter. Stagger
not occur on the same rafter.
ould extend out at gable ends.
er's instructions in bundle.
of shingles should be cut from

Start siding at bottom, making
board and cut all joints and ends

included with door package.

MATERIAL LIST

QUANTITY	SIZE	DESCRIPTION	BF
4 Pcs.	2x4-16'	Bottom Wall Plate (Treated)	43
2 Pcs.	2x4-14'	Bottom Wall Plate (Treated)	19
1 Pcs.	2x4-8'	Bottom Wall Plate (Treated) Cut	5
4 Pcs.	2x4-16'	Top Wall Plates	43
2 Pcs.	2x4-14'	Top Wall Plates	19
1 Pcs.	2x4-8'	Top Wall Plates, Cut	5
5 Pcs.	2x4-16'	Tie Plates	53
2 Pcs.	2x4-12'	Tie Plates	16
2 Pcs.	2x4-8'	Tie Plates	11
86 Pcs.	2x4-8'	Pre-Cut Studs	459
14 Pcs.	2x4-8'	Cripples	75
2 Pcs.	2x12-18'	Fitch Plate Garage Door Header (16'-7 1/2" Opening)	72
1	11"x3 8" x		
1 Pcs.	16'-7 1/2" x 2x4-16'	Steel Fitch Plate, Bolted Blacking, At Garage Fitch Plate Beam (16'-7 1/2" Opening) or	11
1	3 1/2"x12" x 16'-7 1/2"	Laminated Wood Garage Door Header For (16'-7 1/2" Opening)	
1 Pcs.	1x4-16'	Blacking At Garage Door Laminated Header (16'-7 1/2" Opening)	5
2 Pcs.	2x12-10'	Garage Door Header (9'-7 1/2" Opening)	40
1 Pcs.	2x4-10'	Blacking, At Garage Header (9'-11 1/2" Opening)	7
3 Pcs.	2x4-8'	Headers, Cut	16
6 Pcs.	2x4-8'	Sill, At Windows	5
1 Pcs.	1x4-12'	Let-In Diagonal Wind Bracing	24
1 Pcs.	2x4-18'	Garage Door Suroond	12
1 Pcs.	2x4-18'	Garage Door Suroond	7
4 Pcs.	2x4-8'	Garage Door Suroond	21
10 Pcs.	2x4-12'	Gable Ends Studs, Cut	80
50 Pcs.	2x8-16'	Rafters	1067
7 Pcs.	2x6-16'	Rafter Ties	112
7 Pcs.	2x6-14'	Rafter Ties	98
2 Pcs.	2x6-12'	Gable End Blacking, Cut	24
4 Pcs.	1x4-10'	Hangers, Cut	13
2 Pcs.	1x10-16'	Ridge Board	27
11 Pcs.	1x6-10'	Collar Ties	55
22 L.F.	2x4	Look-Outs, Cut	15
6 Pcs.	1x8-12'	Soffit	48
4 Pcs.	1x8-16'	Soffit, At Gable	43
6 Pcs.	1x8-12'	Fascia	48
4 Pcs.	1x8-16'	Rake	43
34 Pcs.	4"x8"-1 2"	CDX 24 0 Plywood Roof Sheathing	1088 S.F.
2		Metal Roof Vents	
3 Rolls	15'	Roofing Felt	
11 2 3 Sq.	235 #	Asphalt Shingles (Self Seal)	
2	3'-0"x6'-0"	Metal Sliding Window	
1	2'-8"x6'-8"		
1	1 3/8"	Garage Service Door	
1	16'-0"x7'-0"	Sectional Up & Over Garage Door With Track And All Necessary Hardware	
1	9'-0"x7'-0"	Sectional Up & Over Garage Door W/ Tracks And All Necessary Hardware	
130 L.F.		Metal Drip Edge	
80 L.F.	1x6	Door Jamb	27
80 L.F.		Brick Mould	
80 L.F.		Door Step	
1 Pcs.	1x12-8'	Gable End Drip	8
3 Rolls	36" Wide	Aluminum Foil Kraft Paper (Optional)	
1134 Sq. Ft.	7/16"x12"	Horizontal Hardboard Siding With 10 1/2" Exposure (Optional)	1344 Sq. Ft.
4 Pcs.	1x4-8'	Corner Boards	11
4 Pcs.	1x3-8'	Corner Boards	8

NAILS

22 lbs.	16d	Common Nails Coated
4 lbs.	9d	Common Nails Coated
10 lbs.	6d	Common Nails Coated
10 lbs.	8d	Galvanized Siding Nails
18 lbs.	1 1/4"	Galvanized Roofing Nails
3 lbs.	8d	Casing Nails

26	1/2" Dia. x12"	Anchor Bolt With Nuts & Washers
1 Pr.	3 1/2"x3 1/2"	Door Bump
1		Key in Knob Cylinder Lockset
17 Cu.Yds.		Concrete Slab Foundation And Floor Concrete Figures Based Upon Level Site Conditions With Gravel Base
900 Sq.Ft.	5"x6"-#10	Welded Wire Fabric
240 L.F.	1 2"Dia.-#4	Reinforcing Rods

OPTIONAL

30 Pcs.	4"x8"-1 1/2"	Insulating Sheathing	900 Sq.Ft.
10 lbs.	1 1/2"	Galvanized Sheathing Nails	

OPTIONAL FOR FORMED FOUNDATION (WALL HEIGHT FIGURED AT 3'-4" HIGH)

4 Cu. Yds.	Concrete For Footing
11 Cu. Yds.	Concrete For Walls
11 Cu. Yds.	Concrete For Floor

NATIONAL PLAN SERVICE, INC.

This plan has been prepared to meet professional standards of construction. A careful study of plan instructions and dimensions is advised before starting work.

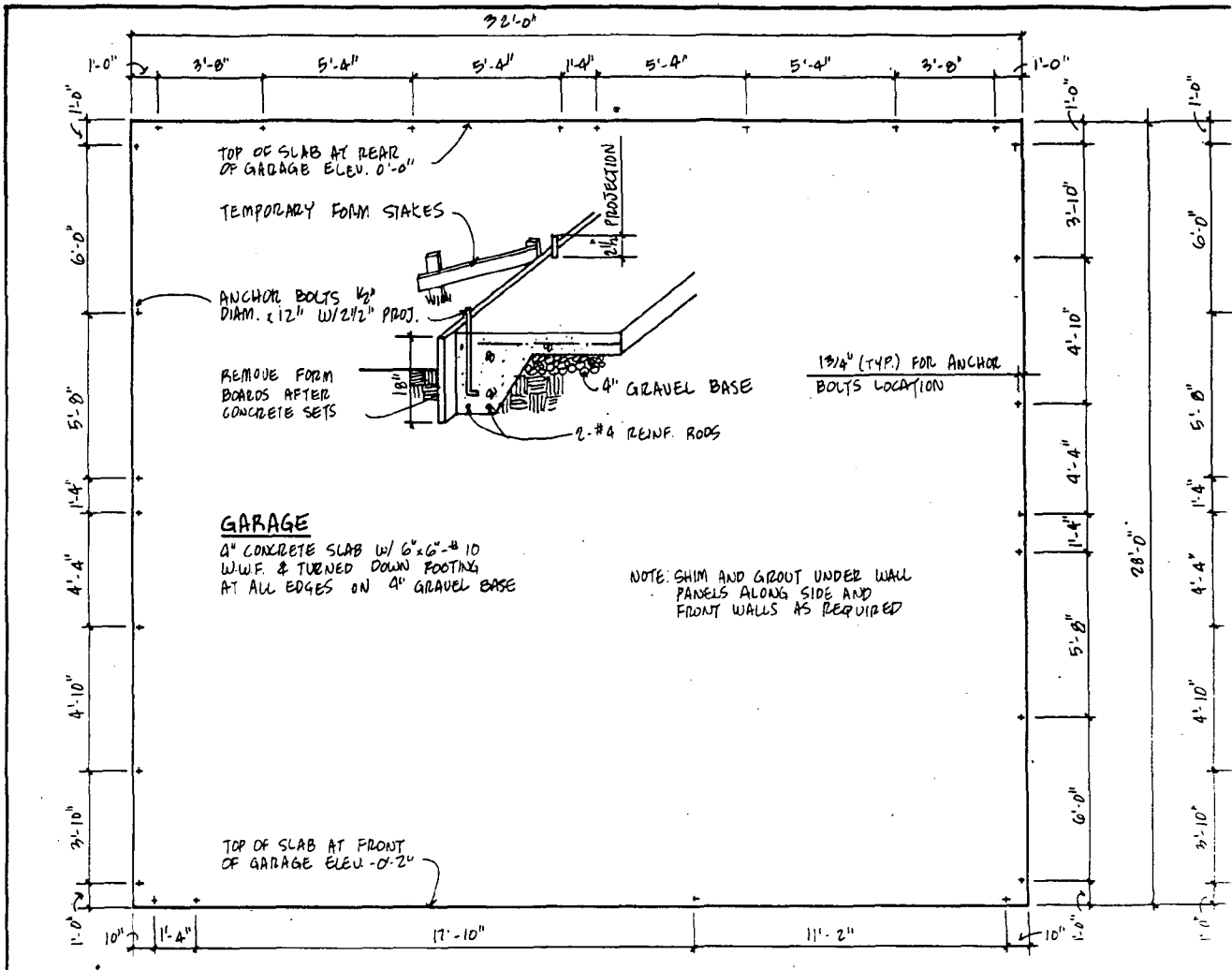
SHEET NO. 1

TOTAL 4

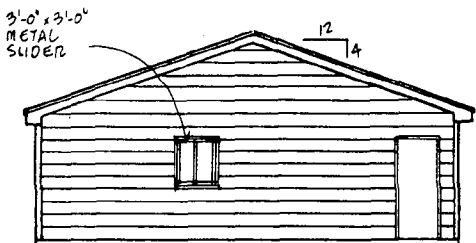
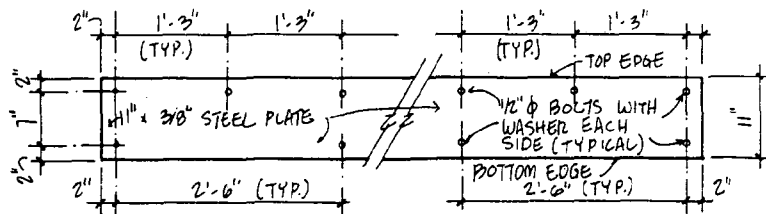
PROJECT PLAN NO. 668

P-3002

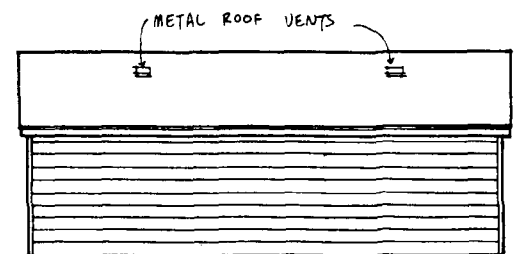
NOTE: All lumber shown shaded, may be either Redwood or Pressure-treated lumber with government standard specifications. For construction best or construction lumber, see your local lumber dealer's literature.



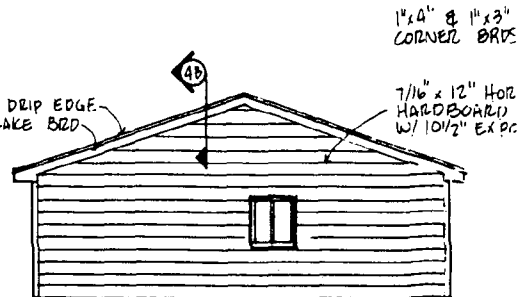
SLAB FOUNDATION PLAN
SCALE 1/4" = 1'-0"



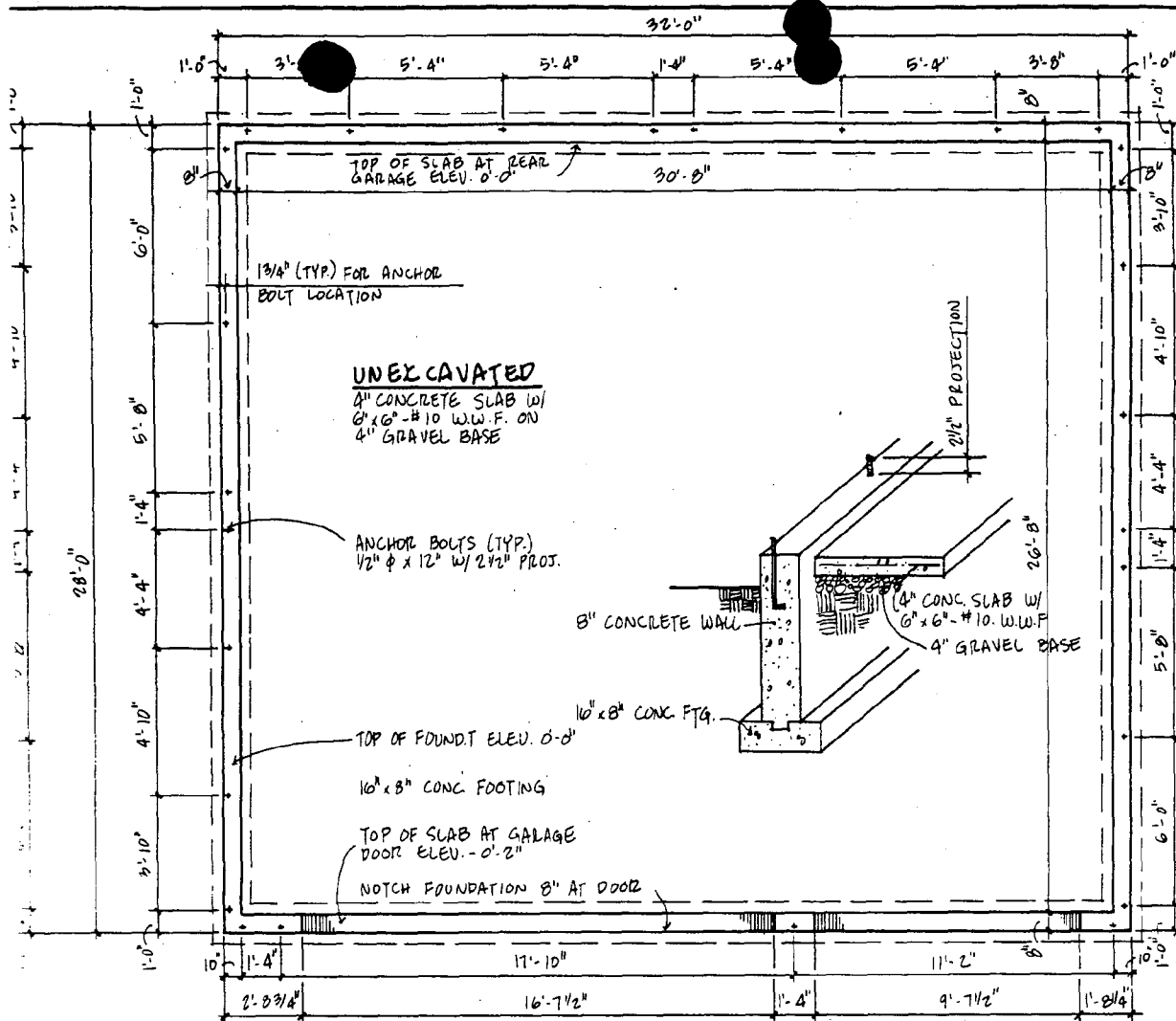
RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"



REAR ELEVATION
SCALE 1/8" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"



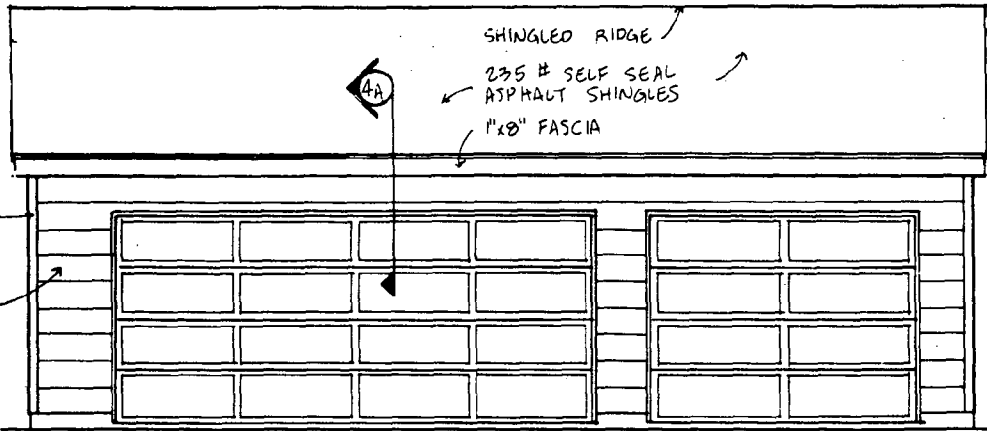
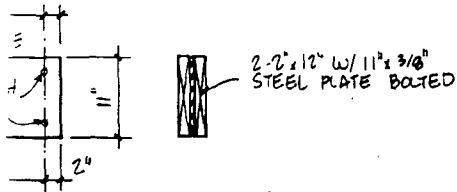
FORMED FOUNDATION PLAN

SCALE

ROOF DESIGN

30 LBS. LIVE LOAD, 10 LBS. DEAD LOAD

RAFTER SPANS BASED ON THE USE OF NO 2 SPRUCE-PINE-FIR OR EQUAL, HAVING A MODULUS OF ELASTICITY OF 1,300,000 AND A NORMAL DURATION DESIGN VALUE OF (F=1200)*



FRONT ELEVATION

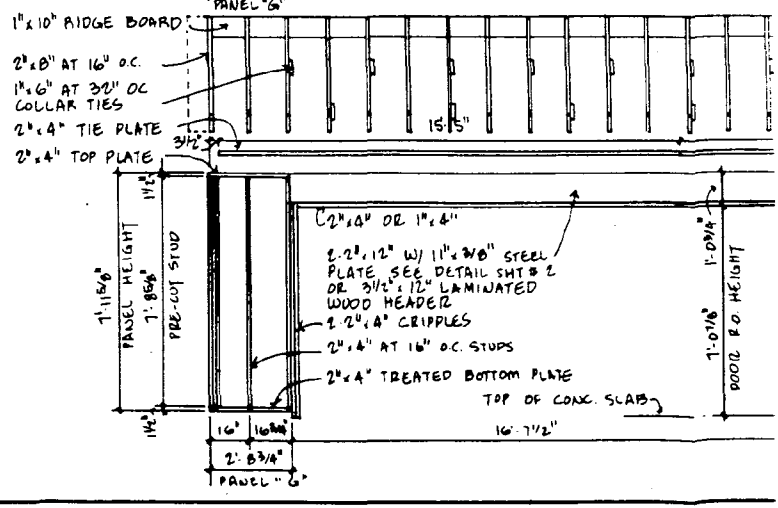
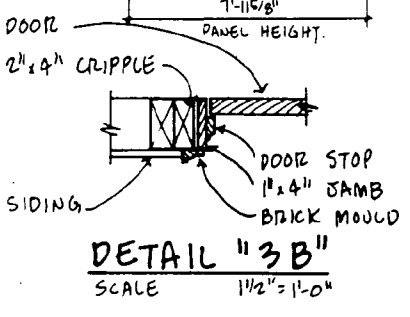
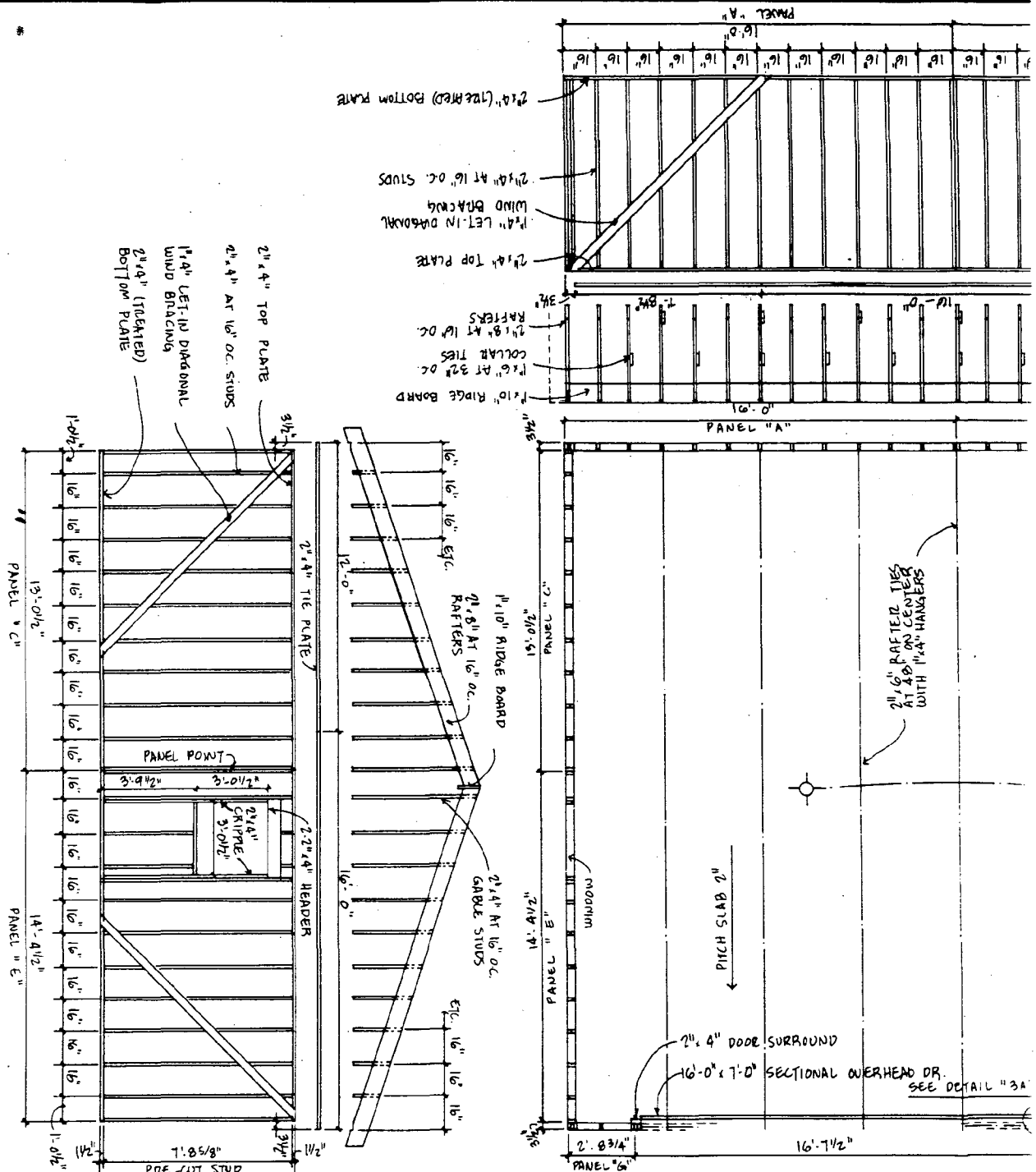
SCALE

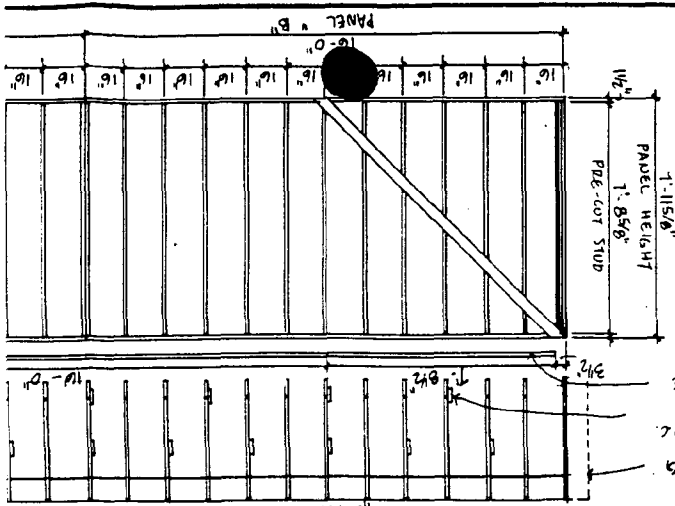
1/8" = 1'-0"

REV 7/87*

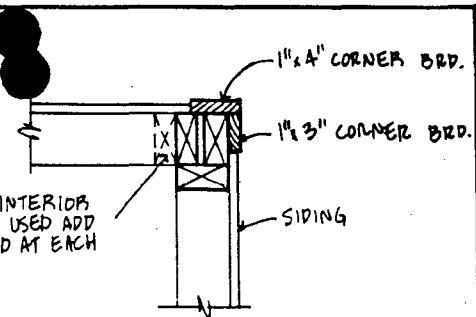
668	P-3002	SHEET 2
		TOTAL 4

N
1'-0"



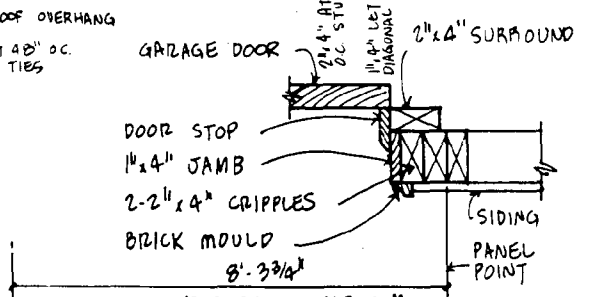
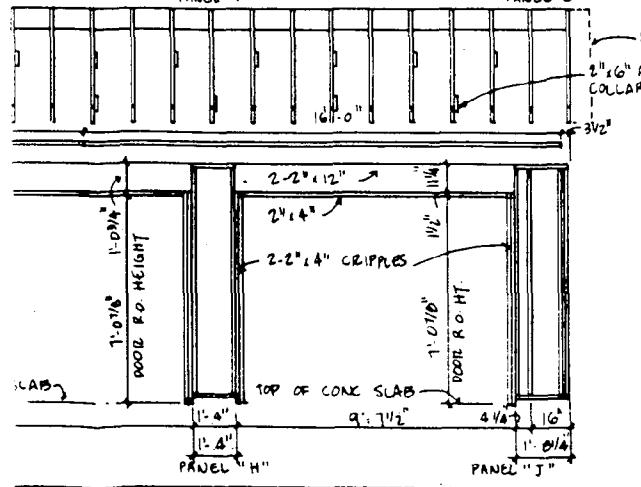
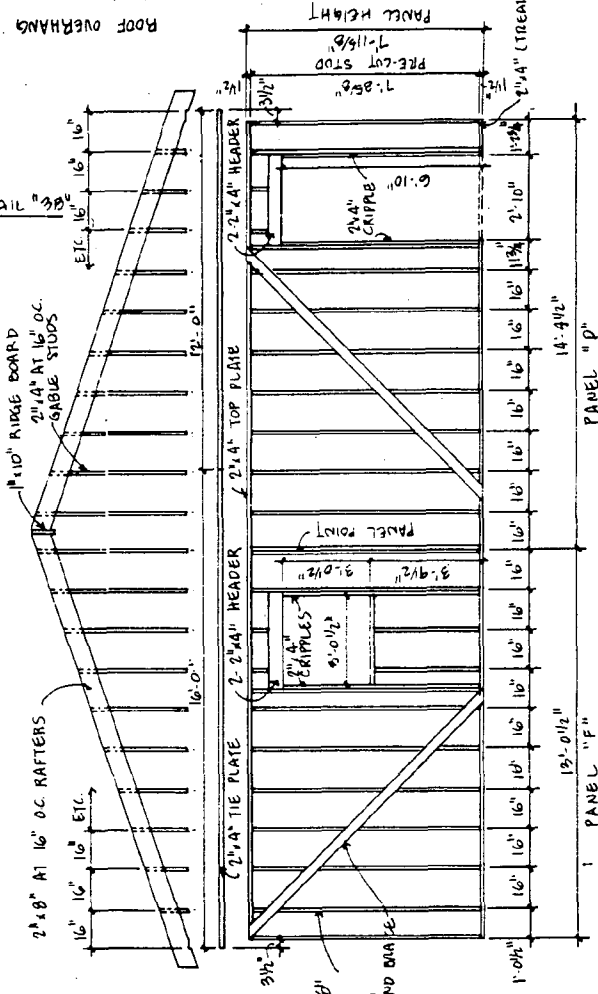
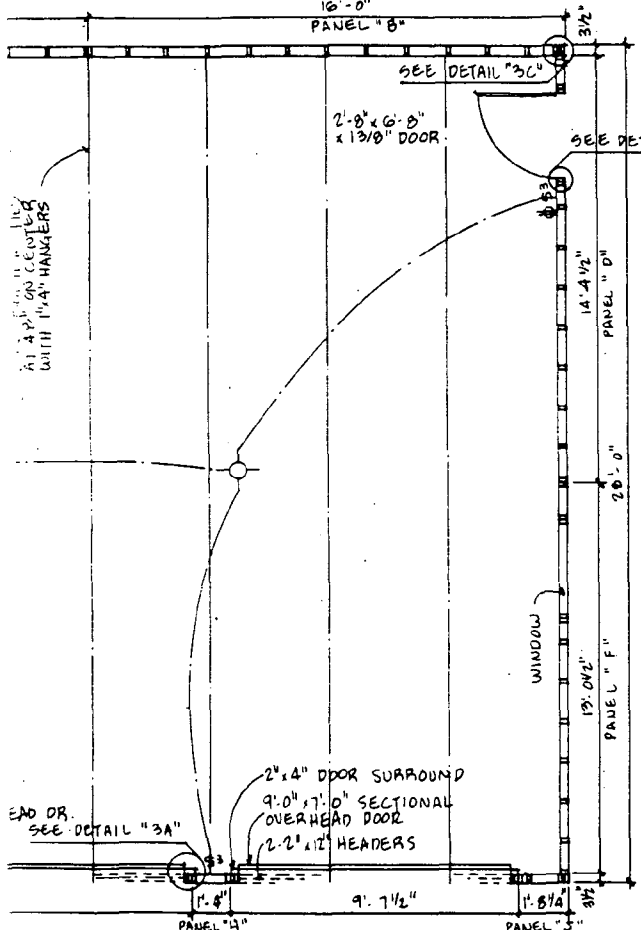


NOTE: IF INTERIOR FINISH IS USED ADD 2"x4" STUD AT EACH CORNER



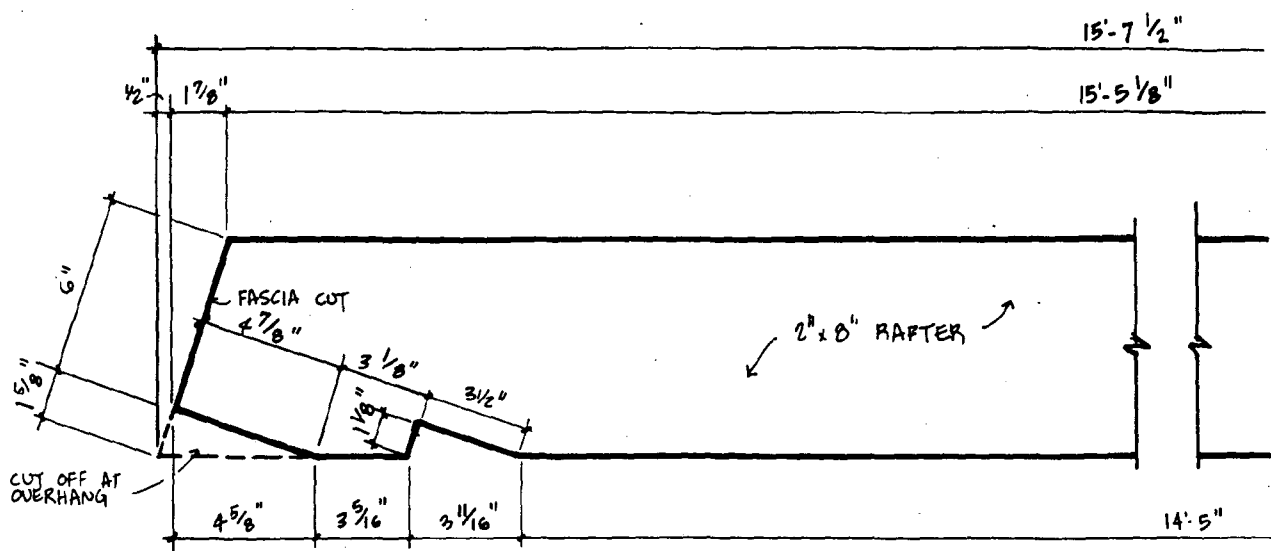
DETAIL "3-C"

SCALE 1 1/2" = 1'-0"



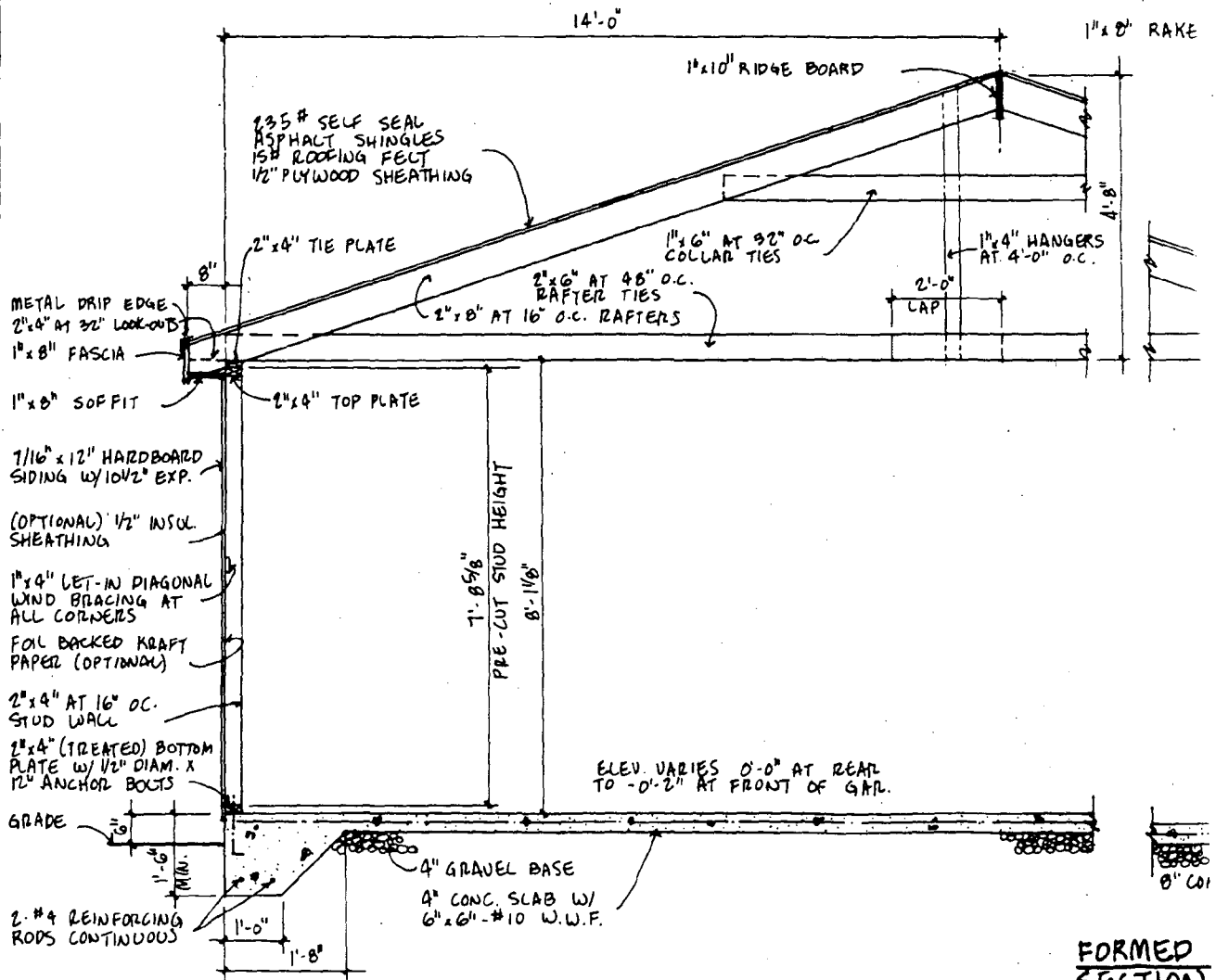
DETAIL "3A"

SCALE 1 1/2" = 1'-0"



RAFTER CUTTING DIAGRAM
SCALE 3" = 1'-0"

METAL DRIP
1" x 8" RAKE
2" x 6" GABL
AT 32" O.C.

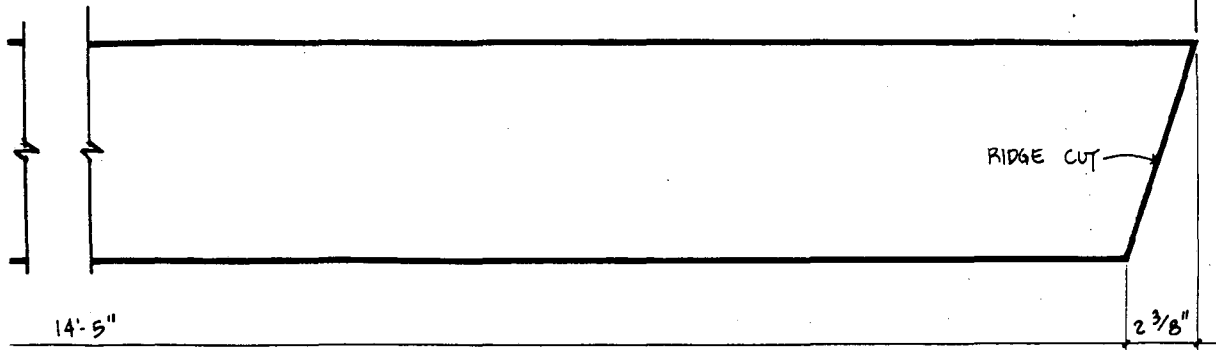


TURN DOWN SLAB SECTION
SCALE 1/2" = 1'-0"

FORMED SECTION

7 1/2"

5 1/8"



METAL DRIP EDGE

1" x 8" RAKE

2" x 6" GABLE BLOCKING AT 32" O.C.

1" x 8" RAKE SOFFIT

2" x 8" GABLE END RAFTER

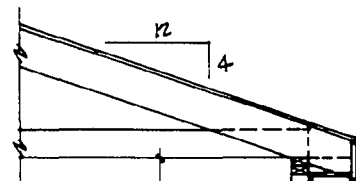
2" x 4" AT 16" O.C. GABLE STUDS

DETAIL "4B"

SCALE 1/2" = 1'-0"



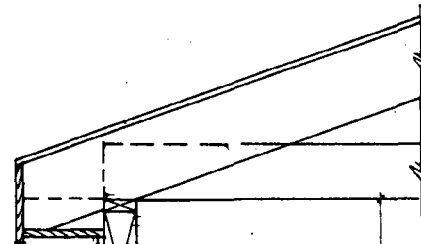
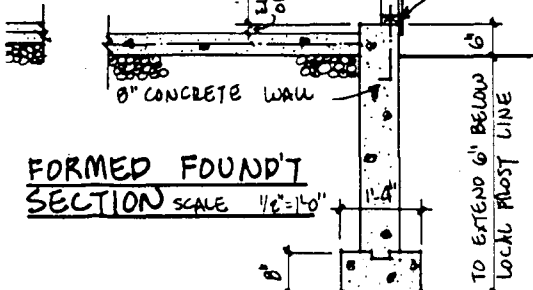
RAFTERS O.C.



ELEV. VARIES 0'-0" AT REAR TO -0'-2" AT FRONT OF GARAGE

FORMED FOUND'T SECTION

SCALE 1/2" = 1'-0"



1" x 4" BLOCKING

3/2" x 12" LAMINATED WOOD HEADER

1'-0 1/8" TO FINISH FLOOR

HEADER DETAIL "4A" w/ LAMINATED BM

SCALE 1" = 1'-0"

2" x 8" AT 16" O.C. RAFTER

2" x 4" AT 32" LOOK-OUTS

METAL DRIP EDGE

1" x 8" FASCIA

1" x 8" SOFFIT

SIDING

BRICK MOULD

1" x 4" DOOR JAMB

DOOR STOP

TOP OF FOUND'T ELEV. 0'-0"

2" x 6" AT 48" O.C. RAFTER TIES

2" x 4" TIE PLATE

2-2" x 12" W/ 11" x 3/8" STL RATE. SEE FLITCH PLATE BEAM DETAIL SHT. NO. 2 OVER 16'-0" DOOR - 2-2" x 12" W/ 1/2" PLYWOOD SPACER OVER 9'-0" DOOR

2" x 4" DOOR SURROUND

SECTIONAL OVERHEAD DOOR

1'-0 1/8" TO FINISHED FLOOR

HEADER DETAIL "4A" w/ FLITCH PLATE BEAM

SCALE

1/2" = 1'-0"

P-3002

SHEET 4

TOTAL 4

Opposite Side of Street (Sycamore Ave)



Looking South on Sycamore Ave



7126 Sycamore



Site of Proposed Garage



Looking East on Columbia Ave

Looking West on Columbia Ave



Site of Proposed Garage



Looking West on Columbia Ave

Looking West on Columbia Ave



Looking East on Columbia Ave



Site of Proposed Garage