

37/3-98SS (Retroactive)
7709 Takoma Avenue (Takoma Park HD)

M-NCPPG



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: Oct. 28, 1998

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator *GW*
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved Denied

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Al & Angela Diaz

Address: 7709 Takoma Ave, Takoma Park MD 20912

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: Department of Environmental Protection
 Division of Development Services and Regulation
 250 Hungerford Drive, Rockville, Maryland 20850
 (301) 217-6370

Historic Preservation Commission
 (301) 495-4570

APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON _____
 DAYTIME TELEPHONE NO. () _____
 TAX ACCOUNT # _____
 NAME OF PROPERTY OWNER Al + Angela Diaz DAYTIME TELEPHONE NO. () _____
 ADDRESS 7709 Takoma Ave. Takoma Park MD 20912
CITY STATE ZIP CODE
 CONTRACTOR Leader Woodworks TELEPHONE NO. (301) 371-8046
 CONTRACTOR REGISTRATION NUMBER 25215
 AGENT FOR OWNER _____ DAYTIME TELEPHONE NO. () _____

LOCATION OF BUILDING/PREMISE
 HOUSE NUMBER 7709 STREET Takoma Ave.
 TOWN/CITY Takoma Park NEAREST CROSS STREET East West Highway
 LOT 8 BLOCK 73 SUBDIVISION Takoma Park
 LIBER _____ FOLIO _____ PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____
 1B. CONSTRUCTION COST ESTIMATE \$ 12,000
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

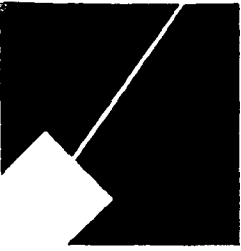
Signature of owner or authorized agent Al Diaz Date 10/20/98

APPROVED For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature [Signature] Date 10/28/98

APPLICATION/PERMIT NO: _____ DATE FILED: _____ DATE ISSUED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: Oct. 28, 1998

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator *GDW*
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

18 When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

EXPEDITED HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7709 Takoma Avenue

Meeting Date: 10/28/98

Resource: Takoma Park Historic District

Review: HAWP - RETROACTIVE

Case Number: 37/3-98SS

Tax Credit: Yes

Public Notice: 10/14/98

Report Date: 10/21/98

Applicant: Al and Angela Diaz

Staff: Robin D. Ziek

PROPOSAL: Restore front porches

RECOMMENDATIONS: APPROVAL

DATE OF CONSTRUCTION: c1895-1905

SIGNIFICANCE: Individual Master Plan Site
 Within a Master Plan Historic District
 Primary Resource
 Contributing Resource
 Non-Contributing/Out-of-Period Resource

ARCHITECTURAL DESCRIPTION: Queen Anne

PROPOSAL: Restore original front porch system, including open porch at second floor. Restore gallery rail on first floor porch.

RECOMMENDATION: The applicant has a historic photograph showing the original design of the front porch at both the first floor and second floor levels. The applicant is the new owner of the house and is working from drawings which had been approved by the LAC in Takoma Park when that was still a Locational Atlas District in 1990. At that time, the owners proceeded to reconstruct part of the proposal, getting so far as to rebuild the wrap-around front porch. The gallery rail was never installed, and the second story porch was not installed. The property has since been sold to the Diaz's, and the new owners applied for and received a building permit from DPS and the site was not flagged as historic. Staff has contacted DPS to rectify this situation, which they will do immediately. However, with their building permit in hand, the applicant has begun construction, and would like to proceed. They have stopped work pending HPC approval.

Staff notes that the new second story porch will be slightly different from the original porch in that the fascia board will be level with the existing roof fascia. This has been built as shown on the architectural drawings. The result, however, is that the new porch roof will be set somewhat higher in the front gable, with its flat roof measuring 6' instead of 4'. Staff feels that this will not be perceived when completed, and viewed from the public right-of-way; staff recommends approval.

Approval
 Approval with conditions:

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- X 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- X 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

Montgomery County, Maryland
DEPARTMENT OF PERMITTING SERVICES
250 Hungerford Drive, 2nd Floor
Rockville, Maryland 20850-4153



NOTICE OF VIOLATION

LOCATION: 7709 TAKOMA AVE CASE NO.: 199801165
TAKOMA PARK MD 20912
DEFENDANT NAME: ALPHONSO V DIAZ AND ANGELA M PHILLIPS - DIAZ
ADDRESS: SEE ABOVE

DATE OF VIOLATION: OCTOBER 15 1998
CODE SECTION: MONT. CO. CODE 24-A-6
VIOLATION: FRONT TOP STORY ADDITION ABOVE THE PORCH WITHOUT AN ISSUED HISTORIC WORK PERMIT

CORRECTIVE ACTION TO ELIMINATE VIOLATION: STOP ALL WORK UNTIL A HISTORIC WORK PERMIT IS OBTAINED. IF THE NEWLY ISSUED BUILDING PERMIT (#9809-180218) DOES NOT PERTAIN TO THIS EXTERIOR WORK, THEN AN ADDITIONAL BUILDING PERMIT IS REQUIRED AFTER THE HISTORIC WORK PERMIT IS ISSUED.

A RE-INSPECTION AMOUNT OF \$ 8250 IS REQUIRED IN ADDITION TO THE APPLICATION FEE(S).
COMPLIANCE TIME: TEN DAYS TO FILE FOR A HISTORIC WORK PERMIT.

YOU MAY APPEAL THIS NOTICE OF VIOLATION TO THE COUNTY BOARD OF APPEALS WITHIN 30 DAYS OF RECEIPT OF THIS NOTICE. THE BOARD OF APPEALS IS LOCATED IN THE COUNCIL OFFICE BUILDING, ROOM 217, 100 MARYLAND AVENUE, ROCKVILLE, MARYLAND 20850. (301) 217-6600.

REMARKS: PLEASE CALL ME TO ADDRESS THIS MATTER

FAILURE TO COMPLY WITH THIS NOTICE WILL RESULT IN A \$ 500.00 CIVIL CITATION AND/OR A COURT ORDER TO INSURE COMPLIANCE.

ISSUED BY: [Signature] DATE: 10/15/98 PHONE NO. 301-217-6287
signature

PRINT NAME: _____
RECEIVED BY: _____ DATE: _____ PHONE NO.: _____
SENT BY CERTIFIED MAIL ON: _____ LEFT AT RESIDENCE ON: 10/15/98

4

NEIGHBORS

FRED Hilliker & JANE LAWRENCE

7704 Takoma Ave

588-2889

PAUL Chrostowski & LORRAINE FEARSALL

7708 Takoma Ave

585-8062

HARLEY LEWISMAN & KAREN BURKE

7711 Takoma Ave

563-6443

ART McHURDIE

7705 Takoma Ave

565-0524

1
2
A-A

NOTE: SOUTH ELEVATION SIMILAR

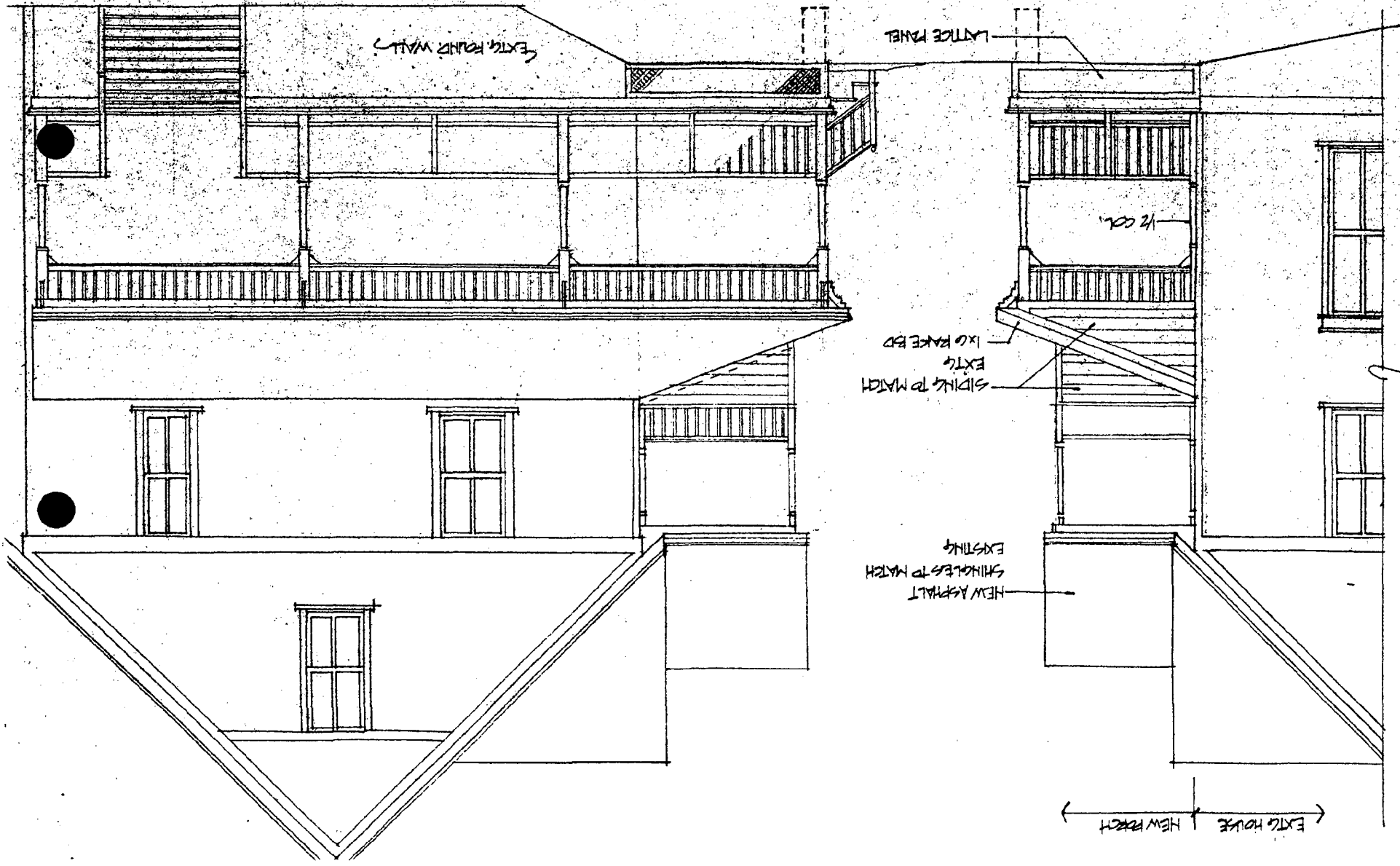
EAST ELEVATION

1/4" = 1'-0"

1
A-A

WEST ELEVATION

1/4" = 1'-0"



← NEW RECT. EXTG. HOUSE →

EXISTG. ROUND WALL?

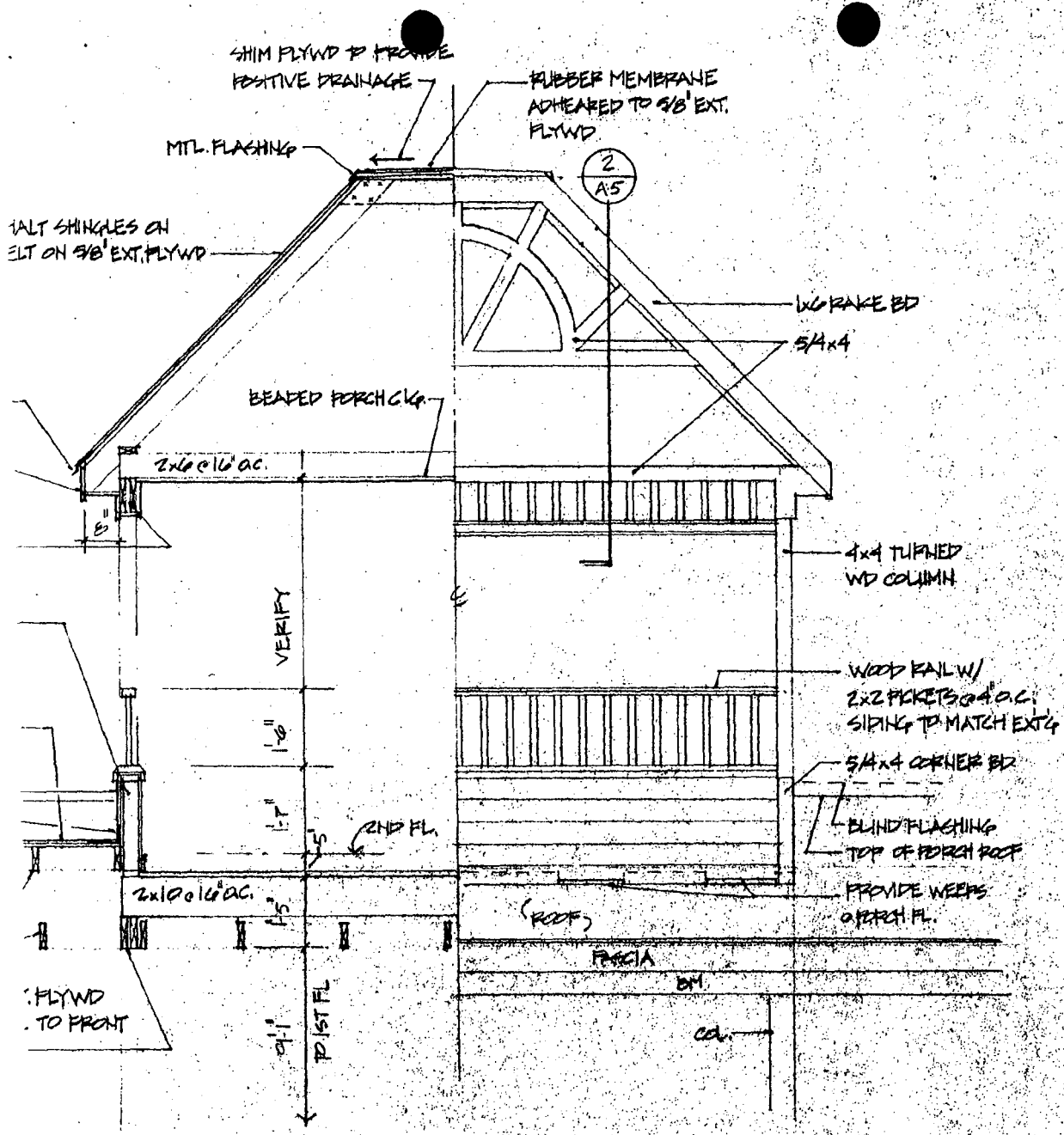
LATTICE PANEL

1/2 COL.

EXISTG. SIDING TO MATCH
1x6 RAKE BD

NEW ASPHALT
SHINGLES TO MATCH
EXISTING

H.C. MENEG ARCHITECT
 2211 HALL PL. N
 WASHINGTON, D.C.
 202-338-3888



ELEVATION @ 2ND FL. PORCH

1/25/10

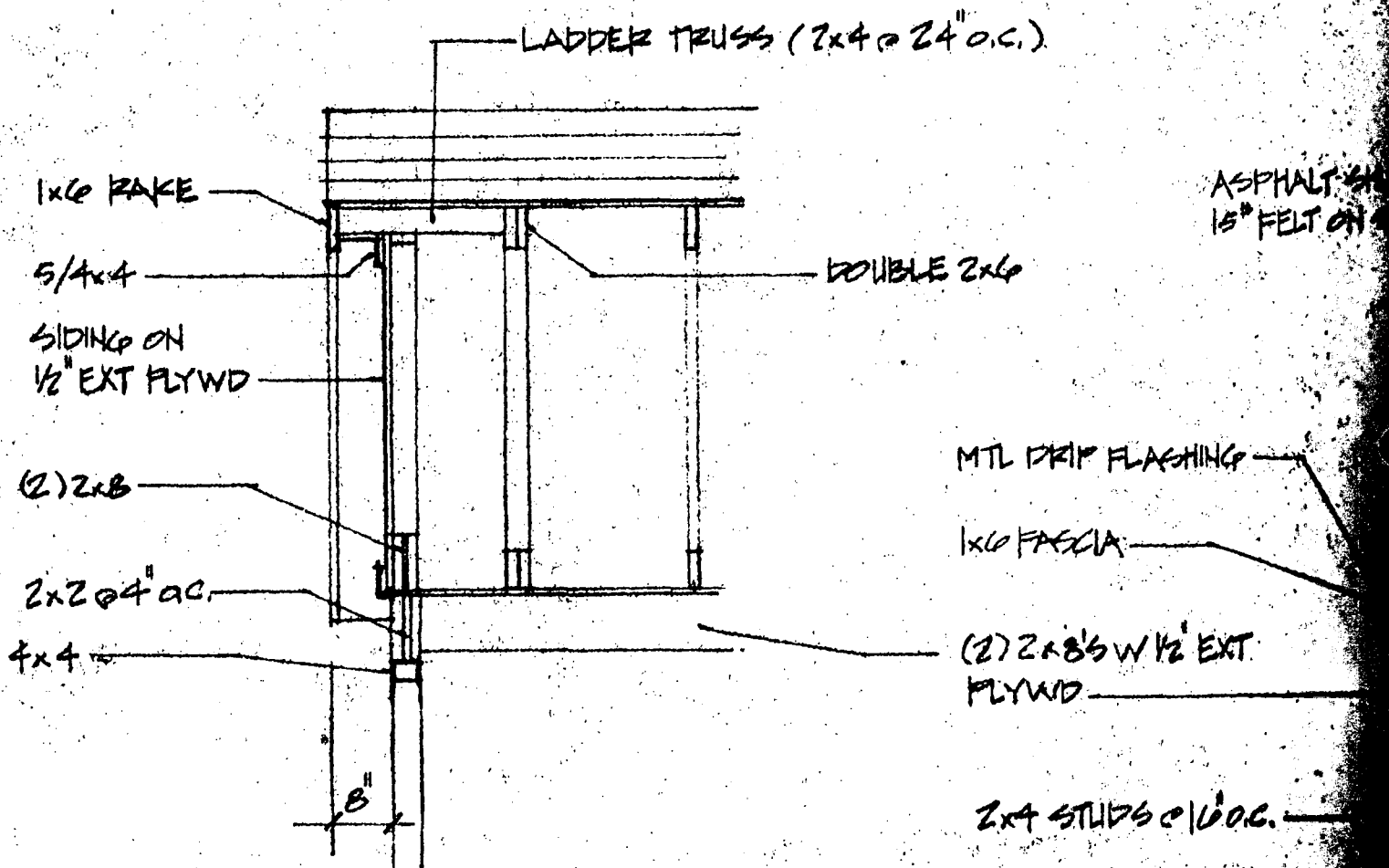
DATE

TITLE

SHEET NO.

MONTGOMERY COUNTY
 APPROVED
 AS NOTED
 PLAN REVIEW SECTION

8



6



HISTORIC PHOTOS ↗



NOTE

2ND STORY

PORCH



GALLERY RAIL
ON 1ST

FLOOR PORCH





EXISTING HOUSE
AT TIME OF
SALE TO NEW OWNERS 1998

(11)



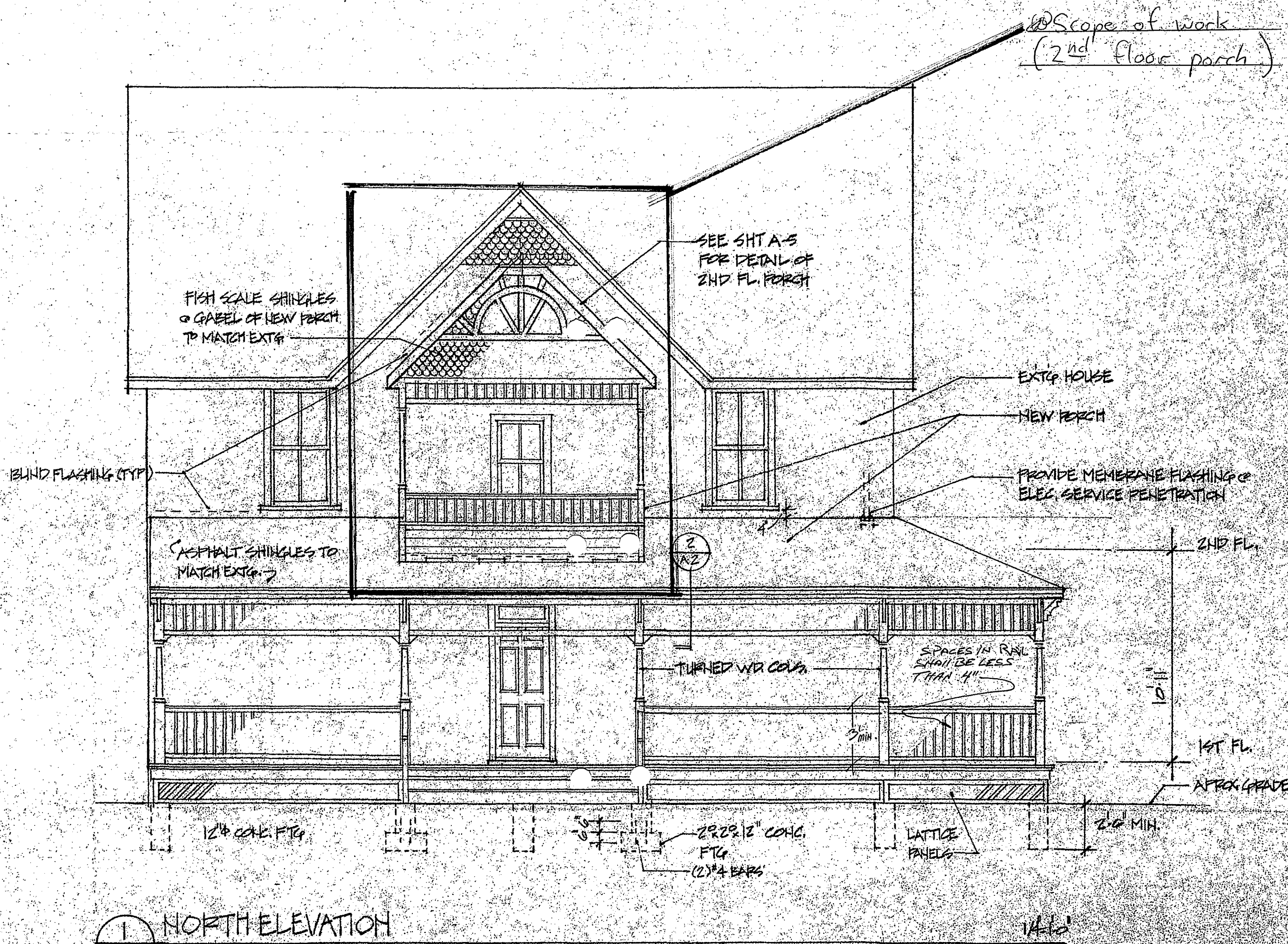
October
1998



VIEWS OF CONSTRUCTION
OF 2nd STORY PORCH

12

H.C. MENEGUS
 ARCHITECT
 2211 HALL PL. N.W.
 WASHINGTON, D.C.
 202-338-3906



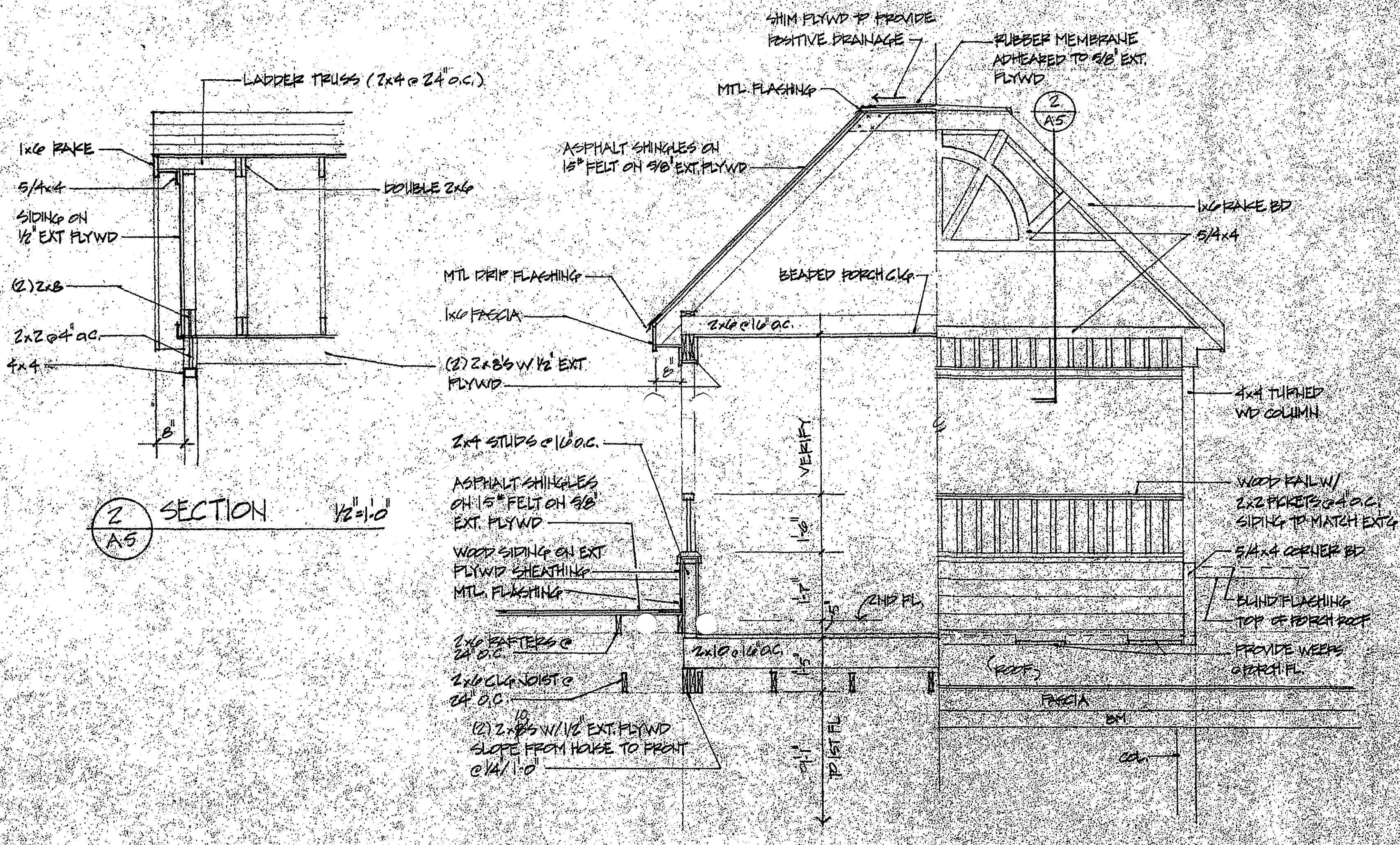
1 NORTH ELEVATION
 A-3

MONTGOMERY COUNTY
 APPROVED
 AS NOTED
 PLAN REVIEW SECTION

DATE
 10/15/90

TITLE
 ELEVATION

SHEET NO.
 A-3



SECTION 2
1/2" = 1'-0"

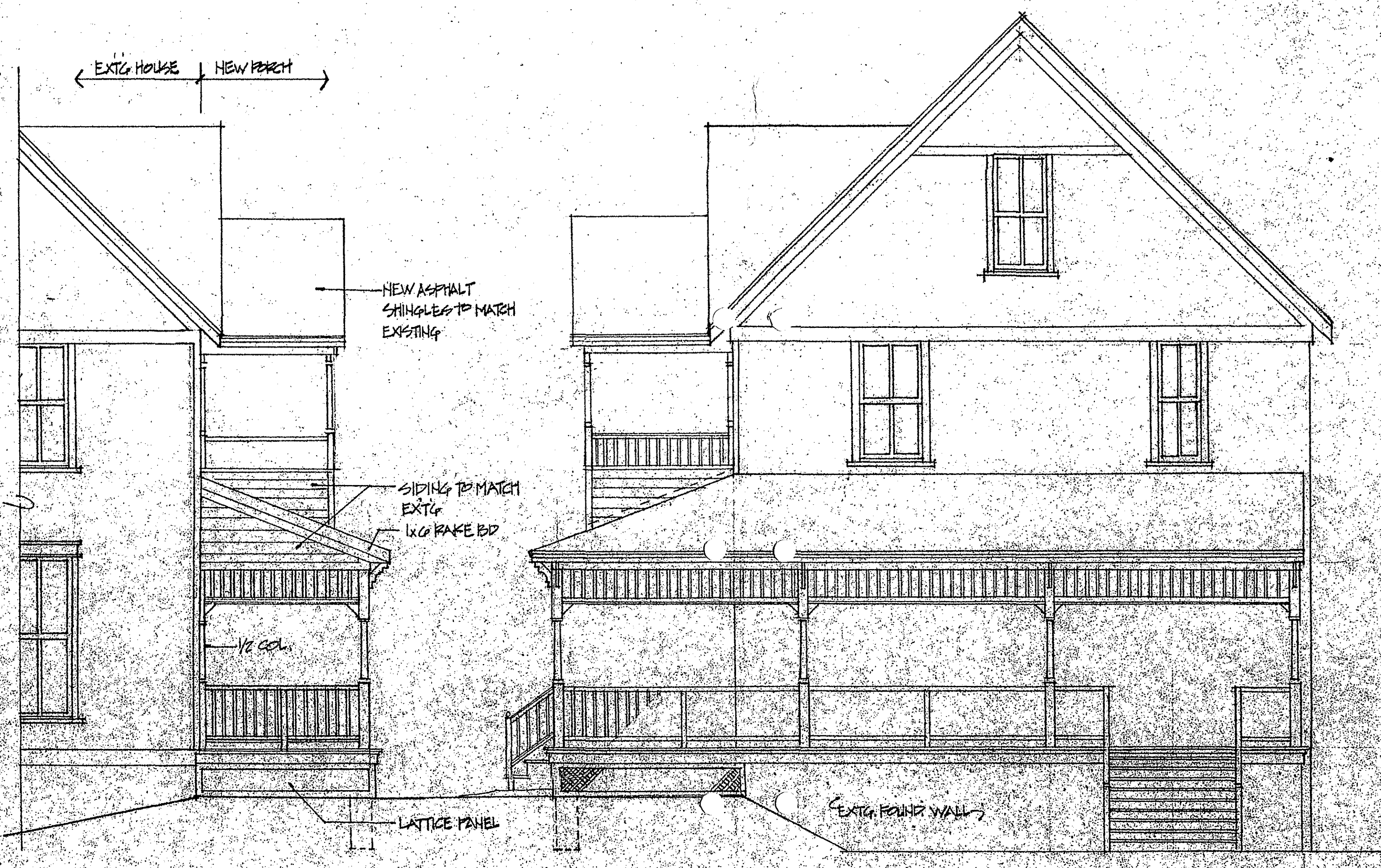
SECTION 1 / ELEVATION @ 2ND FL. PORCH
1/2" = 1'-0"

H.C. MENEGUS
ARCHITECT
2211 HALL PL. N.W.
WASHINGTON, D.C.
302-338-5888

DATE
TITLE
SHEET NO.

MONTGOMERY COUNTY
APPROVED
AS NOTED
PLAN REVIEW SECTION

**H.C. MENEGUS
ARCHITECT**
2211 HALL PL. N.W.
WASHINGTON, D.C.
202-338-3968



2 EAST ELEVATION 1/4"=1'-0"
NOTE: SOUTH ELEVATION SIMILAR

1 WEST ELEVATION 1/4"=1'-0"

DATE
10/13/90
TITLE
ELEVATION
SHEET NO.
A-4

MONTGOMERY COUNTY
APPROVED
AS NOTED
PLAN REVIEW SECTION



