

37/3-98W 7611 Takoma Avenue
(Takoma Park Historic District)

Landcopying not
at this time —
Owner to coordinate
w/ APC. at some
future date.

Call
Jewetta
George
X266

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

Historic Preservation Section
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301) 563-3412

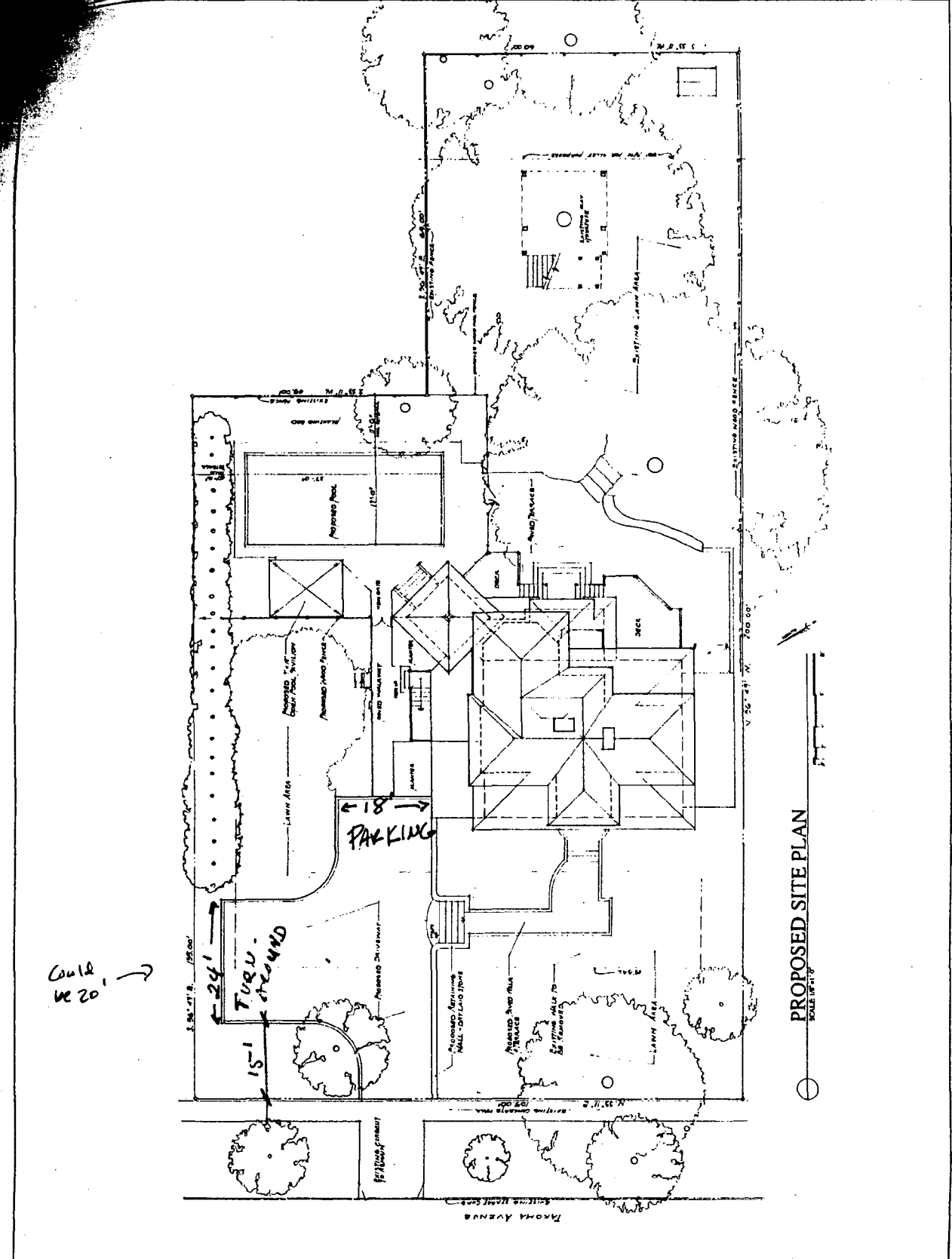
TO: DPS - Countee / Janice? FAX NUMBER: 301. 217. 6381

FROM: Robin Ziek

DATE: 1-5-98

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 2

NOTE: The pool was approved by the HPC @
7611 Takoma Avenue, Takoma Park Historic District.



Could
 be 20' →

PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

Richard D. Beth

PROPOSED

9

CRONE ASSOCIATES ARCHITECTS
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RADON RESISTANT DESIGN MODIFICATIONS

- BELOW GRADE WALLS:
 - RIN WATERPROOFING BARRIER ON EXTERIOR SIDE FROM TOP OF FOOTING TO FINISHED GRADE. USE BITUMINOUS MASTIC AND 6-MIL POLYETHYLENE.
 - SOLID BLOCK OR GROUT FILLED CORE BLOCK TO BE USED AT SLAB LEVEL AND TOP OF WALLS.
- FLOOR SLABS:
 - PROVIDE 4" WASHED STONE AGGREGATE UNDER FLOOR SLAB ON GRADE. COVER WITH CONTINUOUS 6-MIL VAPOR RETARDANT.
 - INSTALL 3" PVC PIPE IN STONE AGGREGATE FOR RADON VENT STACK.
 - CAULK JOINT BETWEEN SLAB AND WALL OVER RECESSED EXPANSION JOINT.
- CRAWL SPACES:
 - HEATED OR COOLED CRAWL SPACES MAY BE VENTED TO THE INTERIOR WHEN A 2" MIN. SLAB AND SUBSLAB VENTILATION IS INSTALLED.
 - NON-HEATED CRAWL SPACES SHALL HAVE A MINIMUM NET AREA OF VENTILATION OF 1 SQUARE FOOT PER 1500 SQUARE FEET OF FLOOR AREA AND SHALL BE NON-OPERABLE.

STONE WORK NOTES

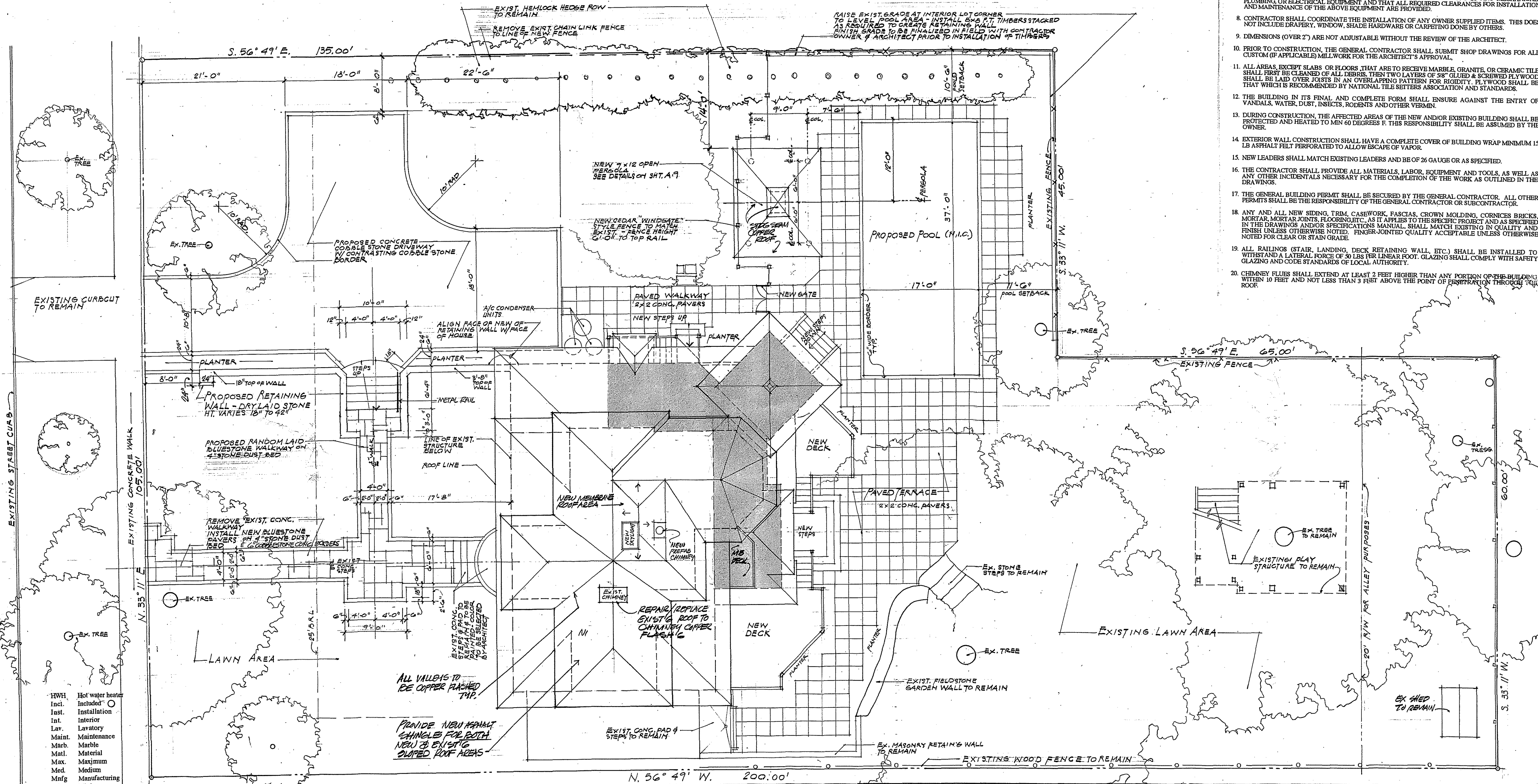
- CAREFULLY EXAMINE THE DRAWINGS AS TO THE EXTENT AND TYPE OF STONE WORK. IF THERE EXISTS ANY DISCREPANCY OR UNCLE DIFFICULTIES WITH THE WORK AS DESIGNED, NOTIFY THE ARCHITECT IMMEDIATELY.
- CONSTRUCTION TOLERANCES VARIATION FROM PLUMB, LEVEL LINEAR BUILDING LINE, AND CROSS-SECTIONAL DIMENSION SHALL BE NO GREATER THAN 1/8" OVER THE LENGTH OF THE WORK.
- ALL SETTING SHALL BE DONE BY COMPETENT STONE SETTERS IN ACCORDANCE WITH SHOP DRAWINGS AND INDUSTRY STANDARDS.
- ALL JOINTS AND BEES SHALL BE COMPLETELY FILLED WITH PARTICULAR CARE TO PROVIDE EQUALIZED BED AND JOINT SIZES. REFERENCE DRAWINGS FOR JOINT/PATTERN CONFIGURATION.
- PRIOR TO FINAL INSPECTION, REMOVE ALL LOOSE, BROKEN, CRACKED OR OTHER DEFACED STONE AND REPLACE WITH PERFECT UNITS.
- PRIOR TO FINAL INSPECTION A FINAL CLEANING SHALL OCCUR TO REMOVE ALL DIRT, EXCESS MORTAR, STAINS, AND OTHER DEFAACEMENTS. THE USE OF ACIDS OR OTHER SOLUTIONS WHICH MAY CAUSE DISCOLORATION IS EXPRESSLY PROHIBITED.

SITE NOTES

- THE CONTRACTOR SHALL TAKE PRECAUTIONS NECESSARY TO PROTECT ADJOINING PROPERTY FROM EXCESSIVE DRAINAGE, DEBRIS AND ASSUME FULL RESPONSIBILITY FOR DAMAGES RESULTING FROM NEGLIGENCE OF SUCH PRECAUTIONS.
- THE CONTRACTOR SHALL COMPLETELY REMOVE TREES, SHRUBS, STUMPS, SOIL, AND ALL OTHER ORGANIC DEBRIS TO BE COVERED BY THE BUILDING, WALKS, TERRACES AND DECKS. OTHER TREES OR SHRUBBERY SHALL BE REMOVED AND DISPOSED OF WHERE SPECIFIED FOR REMOVAL. ALL SUCH DEBRIS SHALL BE DISPOSED OF LEGALLY AND AT CONTRACTOR'S EXPENSE.
- TREES, SHRUBS AND OTHER LANDSCAPE ELEMENTS NOT NOTED ON DRAWINGS FOR THINNING, TRIMMING OR REMOVAL ARE TO BE ADEQUATELY PROTECTED FROM DAMAGE BY CONSTRUCTION OR ACCESS UNTIL COMPLETION OF THE CONTRACT.
- EXCAVATE, GRADE, FILL AND COMPACT UNDER BUILDING SLABS, WALKWAYS, AND PAVEMENTS AS INDICATED ON DRAWINGS TO INSURE PROPER DRAINAGE AWAY FROM BUILDING.
- EXCAVATE SUFFICIENTLY BEYOND RETAINING, FOUNDATION AND BASEMENT WALLS TO PROVIDE ADEQUATE WORK SPACE BUT DO NOT EXCEED 3'-0".
- DO NOT BACKFILL AGAINST RETAINING, FOUNDATION AND BASEMENT WALLS UNTIL WALLS HAVE SUFFICIENT STRENGTH OR HAVE BEEN ADEQUATELY BRACED TO PREVENT DAMAGE.
- BACKFILL MUST BE CLEAN, FREE OF DEBRIS OR OTHER DELETERIOUS SUBSTANCES. PLACE BACKFILL CAREFULLY AGAINST WALLS SO AS NOT TO DAMAGE WALLS, PARAPETS OR WATERPROOF COATING.
- ALL AREAS SHALL BE KEPT FREE FROM SURFACE AND/OR GROUND WATER AT ALL TIMES.

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE CABO NATIONAL BUILDING CODE, AND ALL OTHER LOCAL CODES HAVING AUTHORITY OVER THIS PROJECT AND WITH GENERALLY ACCEPTED METHODS OF CONSTRUCTION CONSISTENT WITH FIRST CLASS WORKMANSHIP.
- THE CONTRACTORS SHALL FULLY ACQUAINT THEMSELVES WITH THE EXISTING CONDITIONS, THE PROPOSED WORK AND THE DIFFICULTIES OF EXECUTING THE WORK. THE CONTRACTOR SHALL VERIFY ANY SPECIAL REQUIREMENTS FOR ALL EQUIPMENT TO BE INSTALLED AS PART OF THIS CONTRACT, WHETHER SUPPLIED BY THEMSELVES, THE OWNER, OR THE ARCHITECT.
- PLANS SHALL NOT BE SCALED FOR CONSTRUCTION PURPOSES. DIMENSION LINES AND NOTES REFERRED TO IN DIMENSIONS NOTES "VERIFY" SHALL BE VERIFIED IN THE FIELD. NOTIFY THE ARCHITECT OF ANY CONFLICTS BEFORE PROCEEDING.
- UNLESS OTHERWISE NOTED, ALL NEW WORK SHALL CORRESPOND TO THAT WHICH IT CONNECTS TO OR TO EXISTING SIMILAR CONDITIONS IN MATERIAL, WORKMANSHIP AND FINISH.
- ALL MATERIALS SHALL BE AS SPECIFIED IN THESE DRAWINGS. ANY SUBSTITUTIONS MUST BE APPROVED IN WRITING PRIOR TO ANY CHANGES, FIRST BY THE OWNER.
- ELECTRICAL AND MECHANICAL PLANS ARE SCHEMATIC IN LAYOUT ONLY. ALL WORK SHALL COMPLY WITH ALL LOCAL CODES. PLUMBING SUPPLY LINES ARE TO BE COPPER TYPE "L" AND WILL BE INSTALLED WRAP ANY PVC WASTE LINES FOR SOUNDPROOFING WHICH ARE LOCATED ADJACENT TO HABITABLE ROOMS.
- CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY MECHANICAL, PLUMBING OR ELECTRICAL EQUIPMENT AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF THE ABOVE EQUIPMENT ARE PROVIDED.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ANY OWNER SUPPLIED ITEMS. THIS DOES NOT INCLUDE DRAPERY, WINDOW SHADE HARDWARE OR CARPETING DONE BY OTHERS.
- DIMENSIONS (OVER 2") ARE NOT ADJUSTABLE WITHOUT THE REVIEW OF THE ARCHITECT.
- PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL CUSTOM APPLICABLE MILL WORK FOR THE ARCHITECT'S APPROVAL.
- ALL AREAS EXCEPT SLABS OR FLOORS THAT ARE TO RECEIVE MARBLE, GRANITE OR CERAMIC TILE SHALL FIRST BE CLEANED OF ALL DEBRIS, THEN TWO LAYERS OF 3/8" GLED & SCREWED PLYWOOD SHALL BE LAID OVER JOISTS IN AN OVERLAPPING PATTERN FOR RIGIDITY. PLYWOOD SHALL BE THAT WHICH IS RECOMMENDED BY NATIONAL TILE SETTERS ASSOCIATION AND STANDARDS.
- THE BUILDING IN ITS FINAL AND COMPLETE FORM SHALL ENSURE AGAINST THE ENTRY OF VANDALS, WATER, DUST, INSECTS, RODENTS AND OTHER VERMIN.
- DURING CONSTRUCTION, THE AFFECTED AREAS OF THE NEW AND/OR EXISTING BUILDING SHALL BE PROTECTED AND HEATED TO MIN 60 DEGREES F. THIS RESPONSIBILITY SHALL BE ASSUMED BY THE OWNER.
- EXTERIOR WALL CONSTRUCTION SHALL HAVE A COMPLETE COVER OF BUILDING WRAP MINIMUM 15 LB ASPHALT FELT PERFORATED TO ALLOW ESCAPE OF VAPOUR.
- NEW LEADERS SHALL MATCH EXISTING LEADERS AND BE OF 26 GAUGE OR AS SPECIFIED.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, EQUIPMENT AND TOOLS, AS WELL AS ANY OTHER INCIDENTALS NECESSARY FOR THE COMPLETION OF THE WORK AS OUTLINED IN THE DRAWINGS.
- THE GENERAL BUILDING PERMIT SHALL BE SECURED BY THE GENERAL CONTRACTOR. ALL OTHER PERMITS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR SUBCONTRACTOR.
- ANY AND ALL NEW SIDING, TRIM, CASEWORK, FASCIAS, CROWN MOLDING, CORNICES BRICKS, MORTAR, MORTAR JOINTS, FLOORING, ETC. AS IT APPLIES TO THE SPECIFIC PROJECT AND AS SPECIFIED IN THE DRAWINGS AND/OR SPECIFICATIONS MANUAL, SHALL MATCH EXISTING IN QUALITY AND FINISH UNLESS OTHERWISE NOTED. FINGER-JOINTED QUALITY ACCEPTABLE UNLESS OTHERWISE NOTED FOR CLEAR OR STAIN GRAY.
- ALL RAILINGS (STAIR, LANDING, DECK RETAINING WALL, ETC) SHALL BE INSTALLED TO WITHSTAND A LATERAL FORCE OF 50 LBS PER LINEAR FOOT. GLAZING SHALL COMPLY WITH SAFETY GLAZING AND CODE STANDARDS OF LOCAL AUTHORITY.
- CHIMNEY FLUES SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET AND NOT LESS THAN 3 FEET ABOVE THE POINT OF PENETRATION THROUGH THE ROOF.



ABBREVIATIONS

A.C.	Air Conditioning	Incl.	Included
Adj.	Adjustable	Inst.	Installation
A.F.F.	Above Finish Floor	Int.	Interior
Allow.	Allowance	Lav.	Lavatory
Alum.	Aluminum	Maint.	Maintenance
Approx.	Approximate	Marb.	Marble
Asb.	Asbestos	Matl.	Material
Avg.	Average	Max.	Maximum
Blg.	Building	Med.	Medium
Bk.	Block	Mnfg.	Manufacturing
Bm.	Beam	Min.	Minimum
BR.	Bedroom	Misc.	Miscellaneous
Brk.	Brick	Mnt.	Mounded
BTU.	British thermal unit	N.I.C.	Not in contract
Cab.	Cabinet	O.C.	On center
C.Top.	Counter top	O.D.	Outside diameter
C.M.U.	Concrete masonry unit	O & P.	Overhead & profit
C.F.M.	Cubic feet per minute	Oprg.	Opening
Conc.	Concrete	OR/CI.	Owner supply-contractor inst.
Dbl.	Double	OS/CI.	Owner select-contractor inst.
D.H.	Double hung	Pl.Lam.	Plastic laminate
Pl.Gl.	Plate glass	Ply.	Plywood
Eq.	Equal	Plt.	Paint
Eq.	Equal	Prd.	Painted
Ext.	Exterior	PVC.	Polyvinyl chloride
Exist.	Existing	Pvm.	Pavement
Elev.	Elevation	Pl.Gr.	Paint grade
Fig.	Figure	P.Tr.	Pressure treated
Fin.	Finished	Rg.	Regular
Ext.	Exterior	Rqd.	Required
Fdn.	Foundation	R.S.	Rapid start
Fun.	Furniture	Sched.	Schedule
Gr.	Grade	S.F.	Square foot
G.W.B.	Gypsum wall board	Sq.	Square
H.C.	Hollow core	Std.	Standard
Hdr.	Header	Strct.	Structural
Hwr.	Hardware	T & G.	Tongue & Groove
Ht.	Height	Vert.	Vertical
Hg.	Heating	W.C.	Water closet
HVAC	Heat, ventil., air-cond.	W.F.	Wide Flange
HV.	Hot water		

PROPOSED SITE PLAN

SCALE: 1/8"=1'-0"

INDEX TO SYMBOLS

- NEW 2X STUD WALL WITH 1/2" GWB INTERIOR FINISH
- EXISTING WALL WITH NEW 1/2" GWB FINISH
- EXISTING WALL TO REMAIN; REPAIR AS REQUIRED
- NEW BRICK FINISH WALL (TO MATCH EXISTING)
- INTERIOR ELEVATION SYMBOL / IDENTIFIER
- DOOR SYMBOL / IDENTIFIER
- WINDOW SYMBOL / IDENTIFIER
- DETAIL SYMBOL / IDENTIFIER
- SECTION SYMBOL / IDENTIFIER
- CENTER LINE-TYPED SYMBOL / IDENTIFIER
- DIMENSION ADJUSTABLE 1" TO 2" MAXIMUM
- CENTER LINE
- ABOVE FINISHED FLOOR
- COUNTER TOP
- EQUAL
- ELEVATION
- GYPSUM WALL BOARD
- N.I.C. NOT IN CONTRACT
- OS/CI OWNER SUPPLY, CONTRACTOR TO INSTALL
- OS/CI OWNER SELECT, CONTRACTOR TO SUPPLY & INSTALL
- PLASTIC LAMINATE
- FR. PAINT GRADE
- FRTR. PRESSURE TREATED
- REQD. REQUIRED

APPROVED
 Montgomery County
 Historic Preservation Commission
 11/19/98

ZONING INFORMATION

Lot / Square 23, 24, 25, 26; BLOCK 74
 Lot Size 10,075 SF
 Use Group Classification RESIDENTIAL - SINGLE FAMILY
 Zoning R-60

	Existing	Proposed	Required
Set backs			
Front yard	54'	34'	25'
Rear yard	51'	34.5'	20'
Right side yard	17.7'	17.1'	7'
Left side yard	45.5'	14'	
Square footage			
Basement			N/A
First Floor			N/A
Second Floor			N/A
Third Floor			N/A
Lot Coverage			
House footprint			N/A
Driveway			N/A
Paved or patio areas			N/A
Open green space			N/A

LOT RECORDED PRIOR TO 1963, NO MAX LOT COVERAGE APPLICABLE

INDEX TO DRAWINGS

- SR-1 SITE PLAN, GENERAL NOTES, INDEX TO SYMBOLS, ABBREVIATIONS, ZONING / CODE INFORMATION
- D-1 FIRST FLOOR DEMOLITION PLAN
- D-2 SECOND AND THIRD FLOOR DEMOLITION PLANS
- S-1 FIRST FLOOR STRUCTURAL FRAMING PLAN
- S-2 SECOND FLOOR STRUCTURAL FRAMING PLAN
- S-3 THIRD FLOOR FRAMING AND ROOF FRAMING PLAN
- A-1 BASEMENT ARCHITECTURAL FLOOR PLAN
- A-2 FIRST FLOOR ARCHITECTURAL FLOOR PLAN
- A-3 SECOND AND THIRD ARCHITECTURAL FLOOR PLANS
- A-4 REAR ELEVATIONS, PARTIAL SIDE & BREAKFAST RM. ELEV.
- A-5 SIDE ELEVATIONS
- A-6 BUILDING SECTIONS
- A-7 WALL SECTION DETAILS WINDOW, & HARDWARE SCHEDULES
- A-8 FINISH SCHEDULE, DOOR AND WINDOW DETAILS
- A-9 PERGOLA ELEVATIONS & POR ROOM ELEVATION DETAILS
- A-10 KITCHEN ELEV'S. & INT. INTERIOR DETAILS
- A-11 BATH & CLOSET & MIS. INTERIOR DETAILS
- A-12 BATH & CLOSET & MIS. INTERIOR DETAILS
- M-1 MECHANICAL PLAN BASEMENT
- M-2 MECHANICAL PLAN SECOND AND THIRD FLOORS
- M-3 MECHANICAL PLANS SECOND AND THIRD FLOORS
- E-1 ELECTRICAL PLAN BASEMENT
- E-2 ELECTRICAL PLAN FIRST FLOOR
- E-3 ELECTRICAL PLANS SECOND AND THIRD FLOORS

NO. DATE REVISION BY
 11/10/98 10480 FOR HFC REVIEW OF PERMITS
 11/05/98

PROPOSED ALTERATIONS & ADDITIONS TO:
ARONSON RESIDENCE
 7611 Takoma Avenue
 Takoma Park, MD 20912

TITLES

DATE Aug. 19, 1998 HFC REVISIONS REVIEW

SCALE 1/8"=1'-0"

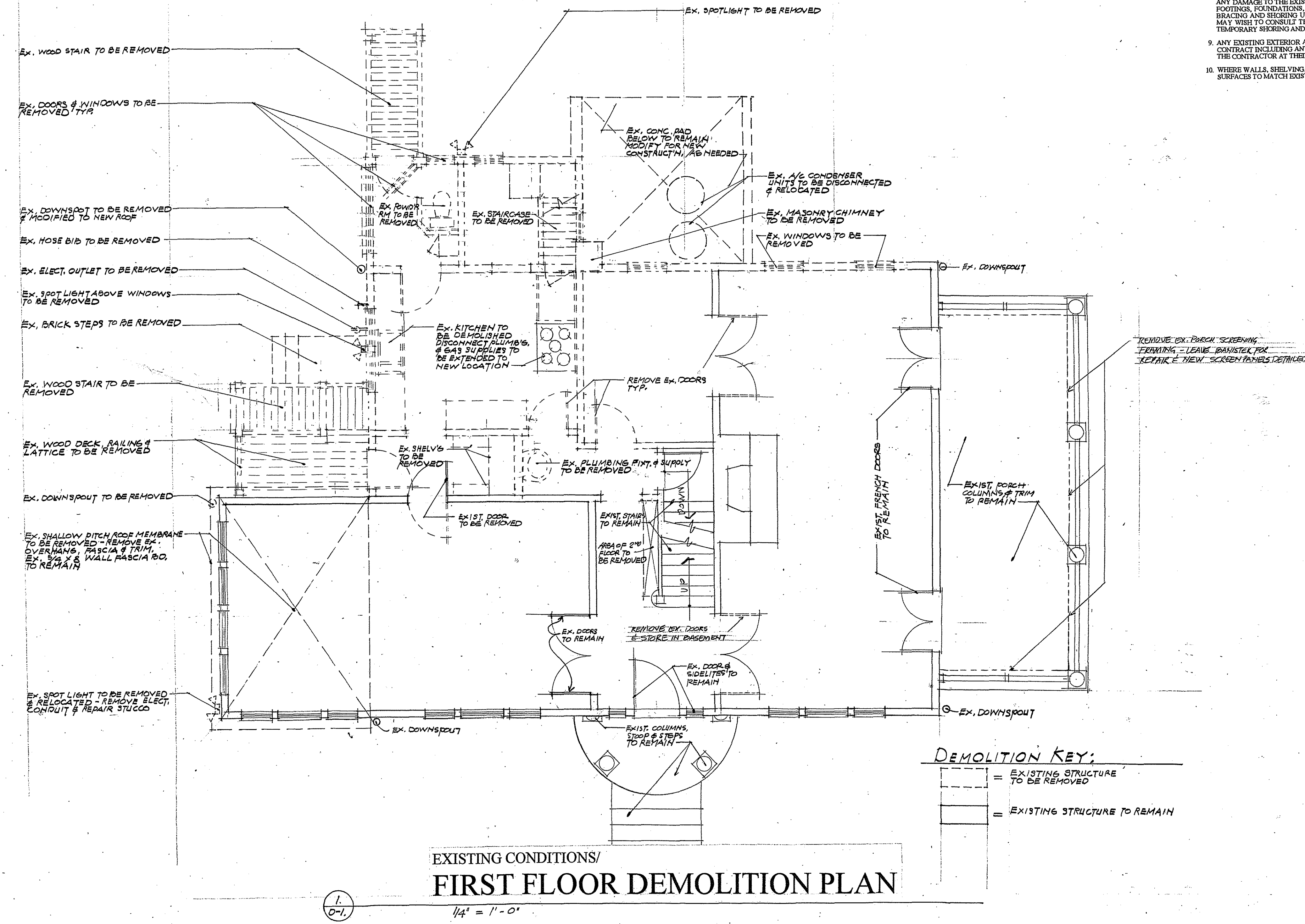
DRAWN BY JDH

APPROVED BY RDC

JOB NO

Cover Sheet
SP-1
 SHEET OF

- DEMOLITION NOTES**
1. THE DEMOLITION SHALL BE ALL THAT IS NECESSARY FOR THE INSTALLATION OF THE NEW WORK AS SHOWN IN THE CONSTRUCTION DRAWINGS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE DEMOLITION OF ALL ELEMENTS AS SCHEDULED IN THE DRAWINGS REQUIRED TO COMPLETE THE WORK AS SHOWN HEREIN, AND PAY ALL FEES CONNECTED WITH THE REMOVAL FROM PROJECT AND SITE.
 3. THE CONTRACTOR SHALL CONSULT THE OWNER IN ADVANCE OF DEMOLITION SO ADEQUATE PREPARATION MAY BE MADE TO ACCOMMODATE DEMOLITION AND REPAIR OPERATIONS. PRIOR TO DEMOLITION, CONSULT WITH THE OTHER SUBCONTRACTORS TO DETERMINE IF EXISTING MECHANICAL OR ELECTRICAL WORK HAS BEEN DISCONNECTED AND CAPPED. DO NOT PROCEED UNTIL DISCONNECTS AND CAPS HAVE BEEN COMPLETED. MAKE ADVANCE PREPARATIONS TO MINIMIZE EXPOSURE OF THE BUILDING AND CONTENTS TO THE ELEMENTS, INTERRUPTION OF OWNER'S SCHEDULE, AND SOILING AND DAMAGE OF EXISTING BUILDING AND CONTENTS.
 4. THE CONTRACTOR SHALL COORDINATE FOR THE REUSE, WHERE SPECIFIED, OF ANY DOORS, WINDOWS, HARDWARE, SPECIAL FEATURES, APPLIANCES, CABINETS, MOLDINGS, TRIM, ETC. AND STORE THEM ACCORDINGLY IN A PLACE SECURE FROM THEFT, DAMAGE AND WEATHER. THEN REINSTALL AS SPECIFIED IN DRAWINGS AND/OR SPECIFICATIONS MANUAL. THE OWNER SHALL PREPARE A FULL LIST OF ITEMS TO BE SALVAGED AND STORED, IF ANY, PRIOR TO THE RATIFICATION OF THE CONTRACT. IF NO LIST IS PROVIDED, CONTRACTOR SHALL THEN BE DEEMED TO HAVE SALVAGE RIGHTS OVER ALL MATERIALS SCHEDULED FOR DEMOLITION IN THE DRAWINGS AND/OR SPECIFICATIONS MANUAL.
 5. EXISTING PLASTER OR GYPSUM WALL BOARD (GWB) ON WALLS WHERE NOT DAMAGED BY WEATHER OR DEMOLITION SHALL REMAIN AND BE REPAIRED TO MATCH THE ORIGINAL FINISH AND QUALITY CONDITION. WALLS SHALL BE CHASED FOR ELECTRICAL WIRING WHERE REQUIRED, THEN PATCHED AND REPAIRED TO NEW FINISH. NO SURFACE MOUNTED WIRING SHALL REMAIN UPON COMPLETION WITHOUT APPROVAL OF THE ARCHITECT.
 6. ALL EXISTING PLUMBING FIXTURES, FITTINGS AND PIPES, WHERE REQUIRED, SHALL BE REMOVED AND/OR RELOCATED AS REQUIRED.
 7. CONSTRUCT TEMPORARY ENCLOSURES PRIOR TO OPENING OR DEMOLITION OF WALLS, PARTITIONS, ROOFS OR PORTIONS OF WALLS. TEMPORARY ENCLOSURES SHALL PREVENT DAMAGE TO PRESENT BUILDING INCLUDING FURNISHINGS, DUE TO RAIN, SNOW, BIRDS, INSECTS AND CONSTRUCTION DUST.
 8. THE CONTRACTOR SHALL INSTALL TEMPORARY SUPPORTS AS REQUIRED AND NECESSARY TO AVOID ANY DAMAGE TO THE EXISTING STRUCTURE AND FINISHES DURING DEMOLITION. EXISTING WALLS, FOOTINGS, FOUNDATIONS, ETC. ADJACENT TO NEW WORK SHALL BE PROTECTED BY ADEQUATE BRACING AND SHORING UNTIL PERMANENT WORK IS COMPLETED. IF NECESSARY, CONTRACTOR MAY WISE TO CONSULT THE ARCHITECT'S STRUCTURAL ENGINEER FOR DIRECTION AS TO PROPER TEMPORARY SHORING AND BRACING.
 9. ANY EXISTING EXTERIOR AND/OR INTERIOR WORK DAMAGED OR DEFACED BY WORK UNDER THIS CONTRACT INCLUDING ANY DAMAGES CAUSED BY IMPROPER PROTECTION SHALL BE RESTORED BY THE CONTRACTOR AT THEIR EXPENSE.
 10. WHERE WALLS, SHELVING, OR CLOSET FITTINGS ARE SHOWN TO BE REMOVED, PATCH REMAINING SURFACES TO MATCH EXISTING WALLS UNLESS OTHERWISE NOTED.



11/10/98 - ISSUED FOR HRC REVIEW OF PERMITS
 11-5-98
 NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
 ARONSON RESIDENCE
 7611 Takoma Avenue
 Takoma Park, MD 20912

PROJECT

TITLES

DATE 30 OCT 98

SCALE 1/4" = 1'-0"

DRAWN BY JDP

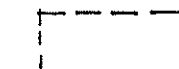
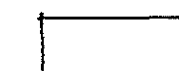
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DEMOLITION KEY

-  = EXISTING STRUCTURE TO BE REMOVED
-  = EXISTING STRUCTURE TO REMAIN

11/14/98 - ISSUED FOR HPC REVIEW & PERMITS
 11-5-98
 NO. DATE REVISION BY

PROPOSED ALTERATIONS & ADDITIONS TO:
ARONSON RESIDENCE
 7611 Takoma Avenue
 Takoma Park, MD 20912

PROJECT

TITLES

DATE 20 OCT 98

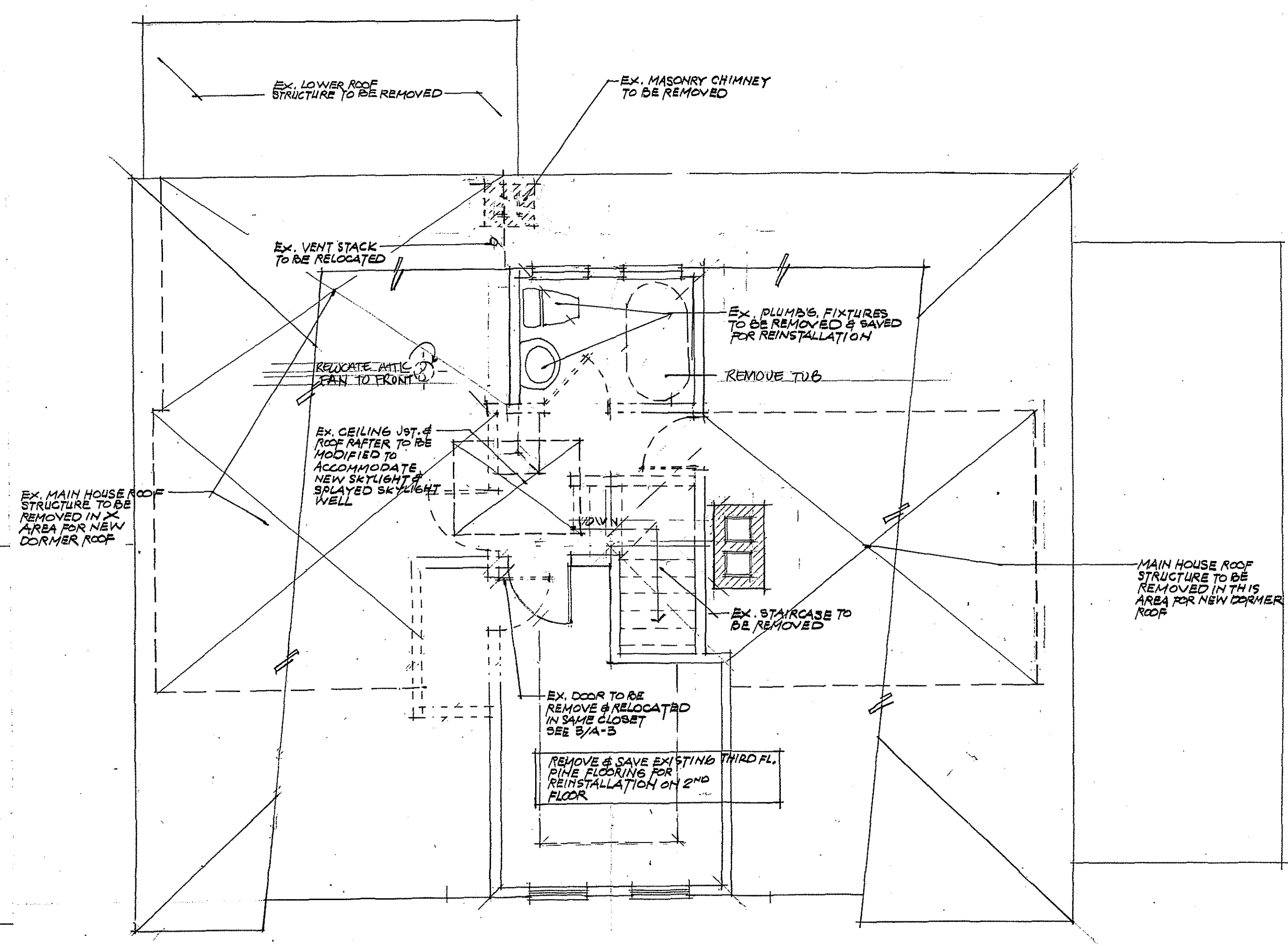
SCALE 1/4" = 1'-0"

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APPROVED BY R.D.C.

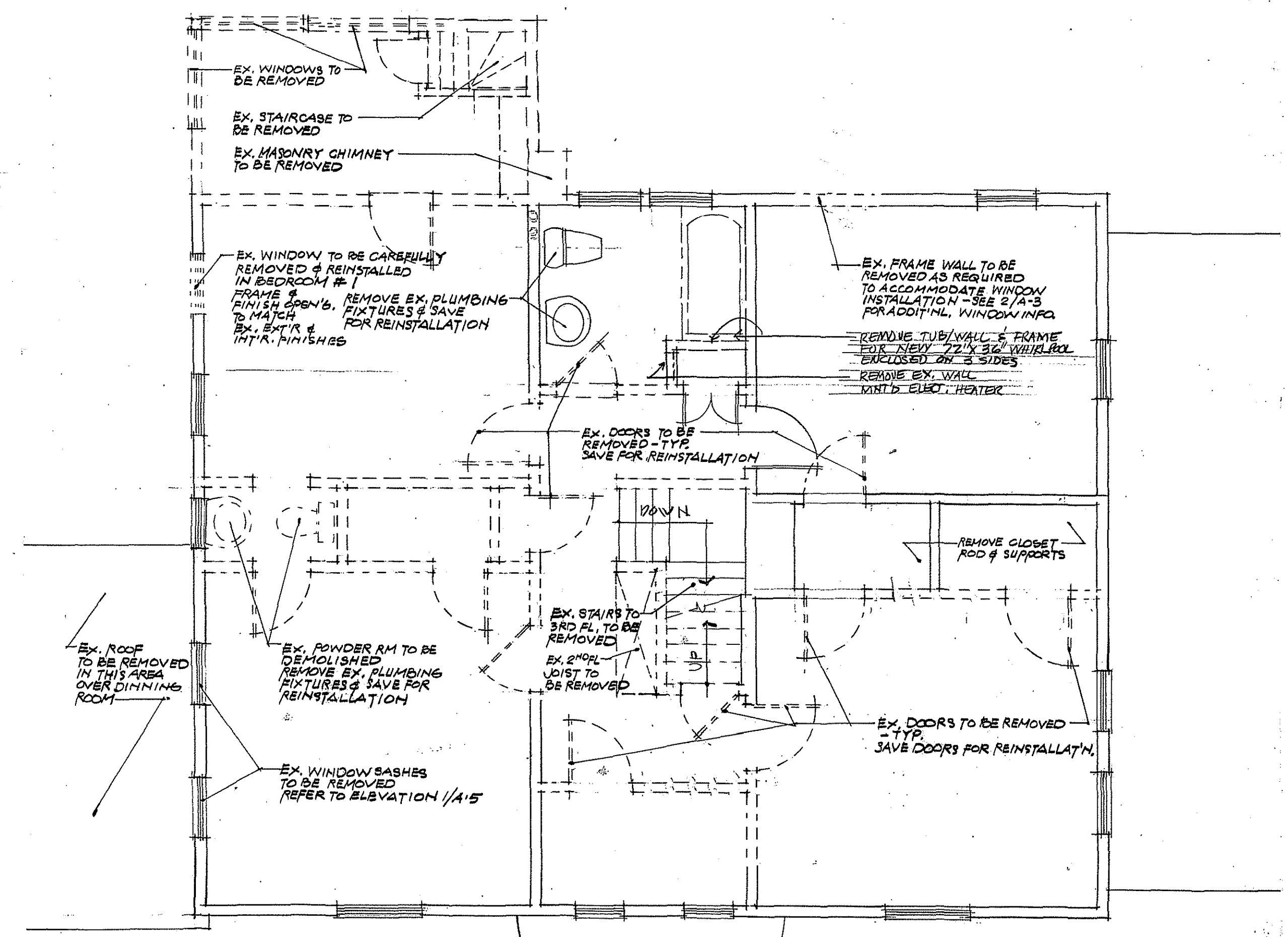
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D-2
 SHEET OF



EXISTING CONDITIONS/
THIRD FLOOR DEMOLITION PLAN

3
 D-2
 1/4" = 1'-0"



EXISTING CONDITIONS/
SECOND FLOOR DEMOLITION PLAN

2
 D-2
 1/4" = 1'-0"

FOOTING & FOUNDATION NOTES

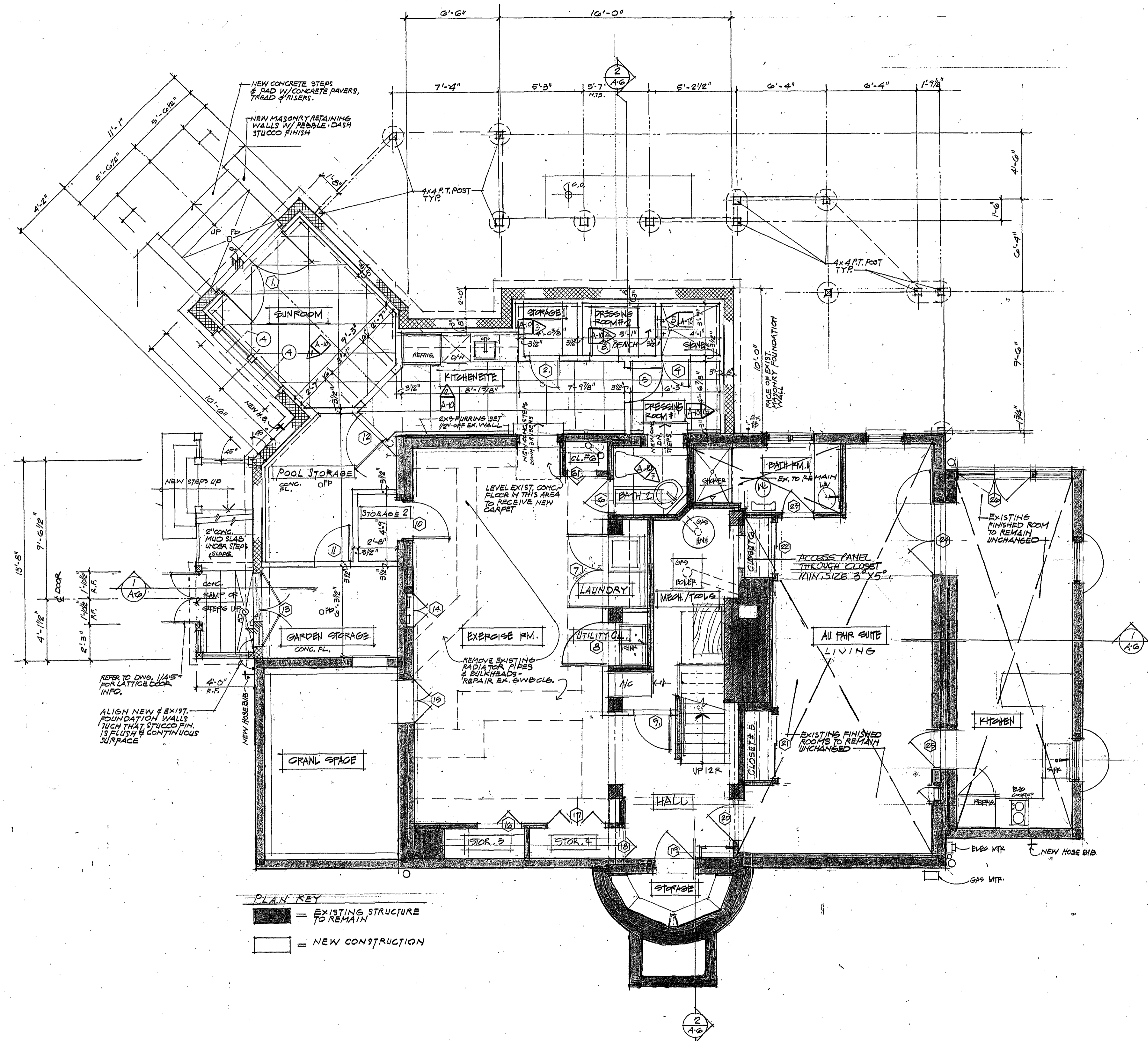
- ALLOWABLE BEARING PRESSURE ON NATURAL SOIL = 2000 PSF UNLESS OTHERWISE NOTED ON PLANS.
- ALLOWABLE BEARING PRESSURE ON COMPACTED FILL = 2000 PSF UNLESS OTHERWISE NOTED ON PLANS.
- CONCRETE STRENGTH TO BE MINIMUM 3000 PSI FOR FOOTINGS, 4000 PSI FOR EXTERIOR SLABS.
- ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED SOIL HAVING A BEARING VALUE AT LEAST EQUAL TO THAT SPECIFIED ABOVE. BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 24" BELOW FINISHED GRADE.
- NEW CONCRETE FOOTINGS ARE TO BE PINNED TO EXISTING FOOTINGS OR FOUNDATION WALLS WHERE POSSIBLE WITH #4 BARS EMBEDDED 4" MIN. INTO EXISTING FOUNDATION. GREAT SOIL.
- FOUNDATION ANCHOR BOLTS SHALL BE PROVIDED AT MAXIMUM 6'-0" O.C. INTERVALS AND PLACED 12" FROM THE END OF EACH SECTION WITH MINIMUM TWO ANCHOR BOLTS PER SECTION OF WALL. ANCHOR BOLT SHALL BE MINIMUM 1/2" DIAMETER AND SHALL BE EMBEDDED IN FOUNDATION IN DEPTH MINIMUM 6" OF HOURED IN PLACE CONCRETE AND NOT LESS THAN 18" IN GROUTED UNIT MASONRY. ANCHOR BOLT CAN BE SUBSTITUTED WITH METAL STRAP PER MANUFACTURERS SPECIFICATIONS. ALL BEARING PLATES SHALL BEAR ON MINIMUM 4" DEEP SOLID MASONRY.
- MINIMUM CONCRETE PROTECTION SHALL BE 3" WHERE CONCRETE LIES AGAINST GROUND, 2" AGAINST FORMS AND SURFACES EXPOSED TO WEATHER, 1 1/2" FOR SLABS AND WALLS NOT EXPOSED TO GROUND OR WEATHER.
- PROVIDE FOUNDATION FOR ALL STEPS AND PAVERS AS SPECIFIED ON FLOOR PLANS AND SITE PLAN.
- ALL DISTURBED BARTH UNDER FOOTINGS SHALL BE REMOVED AND REPLACED WITH PROPERLY COMPACTED FILL TO 95% OF MAXIMUM DRY DENSITY. CONSULT WITH SOIL ENGINEERS FOR FURTHER INFORMATION.
- FIELD TESTS SHALL BE PERFORMED IN THE EVENT THAT THE NATURAL SOIL ENCOUNTERED DOES NOT PROVIDE THE REQUIRED SOIL BEARING CAPACITY. ANY MATERIAL NOT SUITABLE SHALL BE REMOVED AND REPLACED WITH COMPACTED FILL.
- ALL BEARING STRATA SHALL BE ADEQUATELY DRAINED BEFORE FOUNDATION CONCRETE IS POURED.
- PROVIDE 1" RIGID INSULATION, 24" WIDE, AT PERIMETER OF ALL SLABS ON GRADE.
- ALL BASEMENT WALLS SHALL HAVE A 4" (MIN.) PERFORATED DRAIN TILE SURROUNDED WITH WASHED GRAVEL ALONG BASE OF FOOTING, 3/4" TO DRAIN TOWARDS DAYLIGHT OR SUMP.
- WATERPROOF ALL BASEMENT WALLS APPLY (2) 1/4" COATS OF CEMENT BASED PARGE AND (1) COAT OF TROWELLED-ON BITUMINOUS TAR PLUS (1) LAYER 6-MIL POLYETHYLENE. INTERIOR FACE OF MASONRY WALLS SHALL BE TOOLED JOINTS.
- BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT WALLS UNTIL CONCRETE AND REINFORCING STEEL IS IN PLACE AND FLOOR DECK IS INSTALLED AND ANCHORED TO ACHIEVE DESIGNED STABILIZATION.
- CHECK WITH DOOR MANUFACTURER TO DETERMINE IF ANY SPECIAL CONDITIONS OR PROVISIONS ARE REQUIRED AT THRESHOLDS.
- INSTALL CAST IN-PLACE OR PRECAST CONCRETE PAD FOR ANY ADDITIONAL OR NEW AIR CONDITIONING CONDENSER. IF SPECIFIED, COORDINATE WITH MECHANICAL CONTRACTOR FOR MINIMUM SIZE REQUIRED AND EXACT LOCATION TO BE APPROVED BY ARCHITECT.

CONCRETE NOTES

- CEMENT SHALL BE A PORTLAND CEMENT, TYPE 1, CONFORMING TO ASTM C-150.
- CONCRETE SHALL BE "READY-MIXED" AND SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI, A SLUMP OF 3-1/2" - 4" AND MAXIMUM AGGREGATE SIZE OF 1 1/2".
- GRAVEL FILL SHALL BE CLEAN, WASHED, GRAVEL, AND FREE FROM CLAY, LOAM, SILT, EXCESSIVE FINES AND WELL GRADED BETWEEN 3/4" - 1 1/2" SIZE.
- VAPOR BARRIERS OVER GRAVEL FILL SHALL BE 6 MIL POLYETHYLENE FILM, LAPPED 6" AND WITHOUT HOLES OR RUPTURES. TURN 6" UP ON WALLS.
- WELDED WIRE MESH SHALL BE 6 X 6 10/10 UNLESS OTHERWISE SPECIFIED AND LAPPED 6" AT ALL JOINTS. RUN CONTINUOUS WHERE POSSIBLE.

PLUMBING NOTES

- ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, RULES AND REGULATIONS.
- PLUMBING CONTRACTOR TO SECURE AND PAY FOR ALL NECESSARY PERMITS, FEES AND TAXES.
- PLUMBING CONTRACTOR SHALL MAKE AN ON SITE INSPECTION TO FULLY UNDERSTAND THE EXISTING CONDITIONS AND THOSE ALTERATIONS AND ADDITIONS TO THE EXISTING CONDITIONS.
- THE LOCATION OF THE EQUIPMENT, PIPING AND OTHER PLUMBING WORK IS INDICATED ON DRAWINGS EITHER DIAGRAMMATICALLY OR BY LOCATION OF FIXTURES EXACT LOCATIONS TO BE DETERMINED ON JOB SITE, SUBJECT TO CHANGES IN FRAMING, CABINETS, ETC.
- NO CHANGES ARE TO BE MADE IN LOCATION, MATERIALS, LABOR AND EQUIPMENT FOR A PERIOD NO LESS THAN ONE YEAR DATED FROM THE TIME OF COMPLETION. GUARANTEE TO INCLUDE FREE WARRANTY MAINTENANCE FOR THE FIRST YEAR IN SERVICE OF SYSTEM AND OPERATION.
- THE PLUMBING CONTRACTOR SHALL GUARANTEE ALL MATERIALS, LABOR AND EQUIPMENT FOR A PERIOD NO LESS THAN ONE YEAR DATED FROM THE TIME OF COMPLETION. GUARANTEE TO INCLUDE FREE WARRANTY MAINTENANCE FOR THE FIRST YEAR IN SERVICE OF SYSTEM AND OPERATION.
- ALL HOT AND COLD WATER PIPING INSIDE THE BUILDING AND ABOVE GRADE, SHALL BE HARD DRAWN TYPE K COPPER TUBING WITH SOLDER FITTINGS. ALL HOT AND COLD WATER SUPPLY LINES SHALL BE INSULATED WITH 3/4" FIBERGLASS. TYPE K PIPING SHALL BE USED FOR UNDERGROUND WORK.
- AIR CHAMBERS, SET VERTICALLY, SHALL BE INSTALLED AT HIGHEST POINT ON ALL HOT AND COLD WATER SUPPLIES TO FIXTURES. ALL WATER BRANCH PIPES SHALL BE SEPARATELY VALVED AT THE FOOT OR RISERS.
- ALL NEW SOIL AND WASTE PIPING SHALL BE PVC PLASTIC OR CASTE IRON WHERE CASTE IRON EXISTS ON THE PROJECT. PIPE SCHEDULE 40 AND FITTINGS BY THE SAME MATERIAL WITH SOLVENT JOINTS AS PER MANUFACTURER'S RECOMMENDATIONS.
- ONLY SOLDER FITTINGS OF LEAD FREE OR AT MAXIMUM 10% LEAD CONTENT WILL BE ACCEPTABLE.
- WHEN SPECIFIED AND INDICATED ON DRAWINGS, SUPPLY AND INSTALL 3/4" HOSE BIB, FROST-PROOF WALL HYDRANTS, LOOSE KEYS, ETC.
- ALL PIPING SHALL BE RIGIDLY SUPPORTED FROM THE BUILDING STRUCTURE, BY MEANS OF APPROVED HANGERS AND SUPPORTERS. PIPING SHALL BE SUPPORTED TO MAINTAIN REQUIRED GRADING AND FITCHES OR LINES TO PREVENT VIBRATION AND TO SECURE PIPING IN PLACE AND SHALL BE SO ARRANGED AS TO PROVIDE FOR EXPANSION AND CONTRACTION.
- VERTICAL LINES SHALL BE ADEQUATELY SUPPORTED AT THEIR BASES EITHER BY A SUITABLE HANGER PLACED IN THE HORIZONTAL LINE NEAR THE RISER OR BY A BASE FITTING SET ON A PEDESTAL OR FOUNDATION. HANGERS FOR PIPE 2 INCHES OR SMALLER SHALL BE THE SPLIT CAST IRON TYPE WITH FASTENING DEVICE. HANGERS FOR PIPE LARGER THAN 2 INCHES SHALL BE OF GALVANIZED, ONE SIZE LARGER THAN VENT PIPE. SHALL BE SECURED TO VENT PIPE TO FORM COUNTER FLASHING. PIPE SHALL EXTEND THROUGH CAP AND SHALL BE PROVIDED WITH COUPLING AND ENOUGH PIPE TO BRING TOP OF VENT PIPE NOT LESS THAN 18 INCHES ABOVE ROOF. AT CONTRACTOR'S OPTION SHEETS MAY BE TURNED INTO THE BELL FOR A VENT PIPE.
- NO PLUMBING FIXTURES, DEVICE, EQUIPMENT OR PIPE CONNECTION SHALL BE INSTALLED THAT WILL PROVIDE A CROSS CONNECTION OR INTERCONNECTION BETWEEN A POTABLE WATER SUPPLY AND ANY SOURCE OF NON POTABLE WATER.
- THE CONTRACTOR SHALL HAVE COMPLETE RESPONSIBILITY FOR CONNECTING EXISTING AND NEW SUPPLY, SOIL AND WASTE HOUSE LINES TO EXISTING STREET SERVICES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING ALL NEW AND EXISTING LINES ARE FREE AND CLEAR OF BLOCKAGE.
- AT ALL FIXTURES PROVIDE WATER CUTOFF VALVES ON SUPPLY HOT AND COLD WATER LINES, UNLESS OTHERWISE SPECIFIED.
- OPENINGS IN ROOF FOR VENT PIPES SHALL BE SHEET METAL FLASHED. IT SHALL BE FLANGED AND AROUND THE VENT PIPE. THE FLASHING SHALL EXTEND NOT LESS THAN 6 INCHES UP MADE WATER TIGHT AT ROOF AND THE FLASHING SHALL NOT BE LESS THAN 24 INCHES SQUARE AT TOP LINES OF THE FLASHING A DRILLED OR TREADED STANDARD CAST IRON OR MALLEABLE IRON CAP. GALVANIZED, ONE SIZE LARGER THAN VENT PIPE. SHALL BE SECURED TO VENT PIPE TO FORM COUNTER FLASHING. PIPE SHALL EXTEND THROUGH CAP AND SHALL BE PROVIDED WITH COUPLING AND ENOUGH PIPE TO BRING TOP OF VENT PIPE NOT LESS THAN 18 INCHES ABOVE ROOF. AT CONTRACTOR'S OPTION SHEETS MAY BE TURNED INTO THE BELL FOR A VENT PIPE.
- CONTRACTOR SHALL VERIFY REQUIREMENTS OF NUMBERS OF FIXTURES, BOTH NEW AND OLD SPECIFIED ON THE PROJECT AND BE RESPONSIBLE FOR INSTALLING ADEQUATE WATER SERVICE FROM THE STREET PUBLIC LINE UPKARDING FROM 3/4" DIAM. TO 1" DIAMETER. SERVICE SHOULD SUCH BE REQUIRED. CONTRACTOR SHALL INCLUDE ANY FEES AND CHARGES IN HIS BID TO PERFORM THIS WORK.



BASEMENT PLAN

11/04/98 - POOLED FOR HPC REVIEW & PERMITS
 11-5-98
 NO. DATE REVISION BY

PROPOSED ALTERATIONS & ADDITIONS TO:
ARONSON RESIDENCE
 7611 Takoma Avenue
 Takoma Park, MD 20912

PROJECT

TITLES

DATE 30 OCT, 98

SCALE 1/8" = 1'-0"

DRAWN BY J.D.H.

APPROVED BY R.D.C.

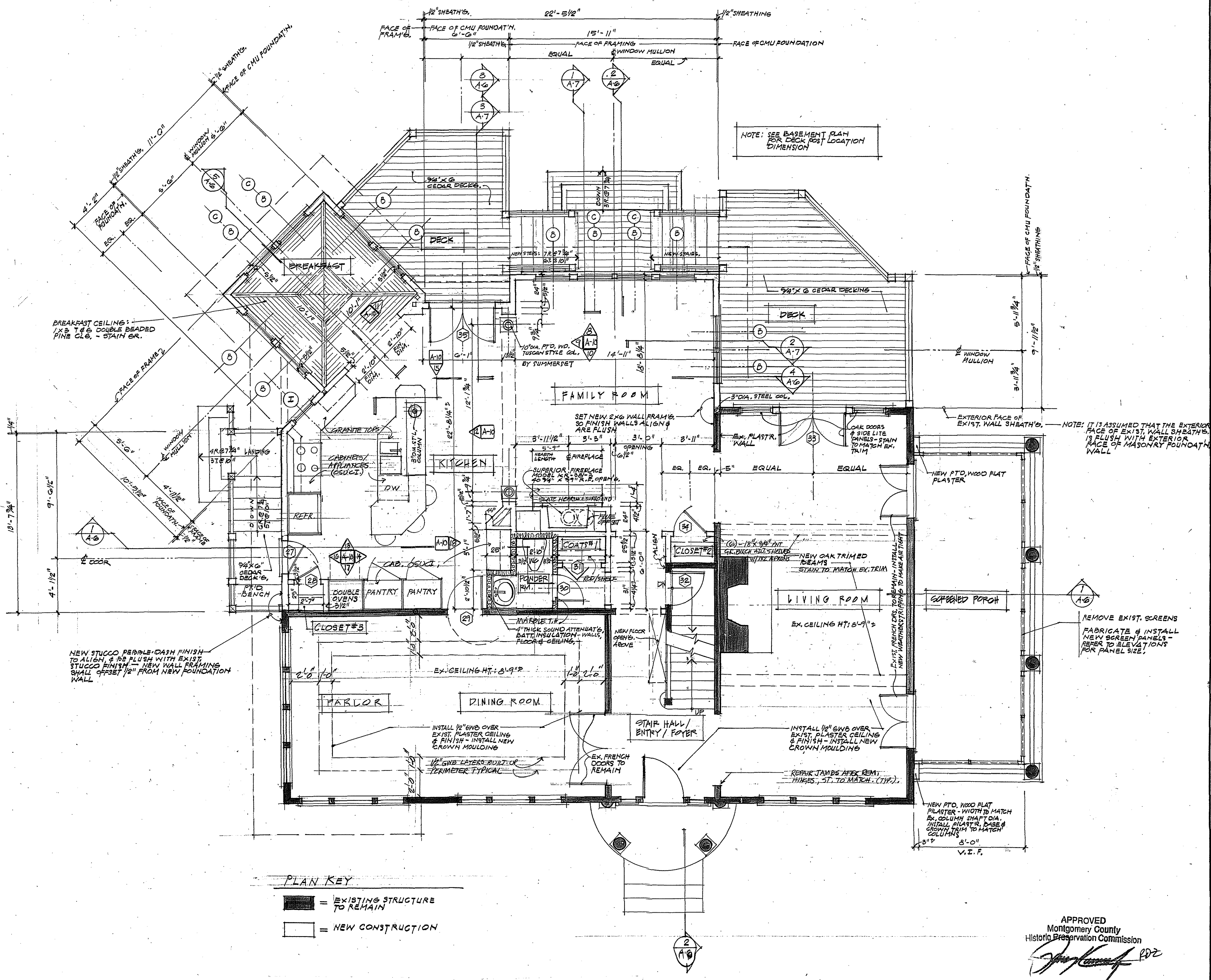
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SHEET OF

- PAINT NOTES**
1. ALL NEW AND EXISTING PAINTABLE SURFACES AS HEREIN SPECIFIED TO BE PAINTED, SHALL BE SANDED, SPACKLED, CAULKED, AND FREE FROM DEBRIS BEFORE PRIMING. ANY FEELING, CRACKS OR PREVIOUSLY PAINTED SURFACES SHALL BE SANDED, FEATHERED SMOOTH AND PROPERLY PREPARED IN EVERY RESPECT BEFORE PAINTING.
 2. NO PAINTING OR FINISHING SHALL BE STARTED UNTIL THE SURFACES TO BE PAINTED OR FINISHED ARE IN PROPER CONDITION IN EVERY RESPECT.
 3. WOOD SURFACES SHALL BE SANDED AND DUSTED CLEAN. PUTTY ALL NAIL HOLES OR CRACKS AFTER FIRST OR PRIME COATS WITH PUTTY TO MATCH FINISH COAT AND SAND OUT.
 4. ALL METAL SURFACES TO BE PAINTED SHALL BE PRIMED BEFORE INSTALLATION AS SPECIFIED IN THE APPLICABLE SECTIONS.
 5. PREPARE SURFACES BY REMOVING ALL DEGRADED COATING, PLASTER, MORTAR, PAINT, WALL PAPER, CAULKING, PUTTY OR OTHER MATERIAL. PATCH AND FILL ALL CRACKS THROUGH USE OF METHODS AND MATERIALS SPECIFIED FOR CONSTRUCTION. CLEAN SURFACES SCHEDULED FOR PAINTING.
 6. ALL INTERIOR WOOD SURFACES SHALL RECEIVE A MINIMUM OF 1 COAT OF PRIMER SEALER AND TWO COATS OF SEMI-GLOSS ENAMEL. ALL INTERIOR PLASTER OR NEW GYPSUM WALL BOARD COVERING TO RECEIVE 1 COAT OF DRY WALL PRIMER SEALER AND A MINIMUM 2 COATS DELUXE INTERIOR LATEX EGGSHELL.
 7. ALL EXTERIOR PAINTED WOOD TRIM TO RECEIVE 1 COAT OF HOUSE PAINT PRIMER, OIL OR LATEX, WHITE OR DEEP BASE DEPENDING UPON CHOSEN COLOR. FINISH COATS TO BE MINIMUM OF 2 COATS LATEX BASE HOUSE AND TRIM PAINT OR AS NEEDED TO COVER.
 8. ALL KITCHEN AND BATHROOM AND LAUNDRY ROOM AREAS TO RECEIVE MOISTURE RESISTANT PAINT MAY BE SPECIFIED IN FLAT SEMI-GLOSS, OR EGG SHELL FINISH.
 9. ALL PAINT MATERIALS SHALL BE HIGHEST QUALITY "DURON" OR "BENJAMIN MOORE" AS REQUESTED BY OWNER. THE OWNER SHALL APPROVE EACH PAINT COLOR SELECTED BY SEEING A MINIMUM OF 10 SQUARE FEET OF CHOSEN COLOR PAINTED ON ACTUAL WALLS.
 10. A MINIMUM OF 1 QUART OF EACH COLOR CHOSEN SHALL BE LEFT ON THE JOB SITE IN CLEARLY MARKED CANS WITH ANY PAINT MIX FORMULA NUMBERS CLEARLY WRITTEN ON MANUFACTURER'S LABEL. THE ARCHITECT SHALL ISSUE A PAINTING SCHEDULE FOR ENTIRE PROJECT ONCE COLORS HAVE BEEN APPROVED.
 11. ANY STAINS OR TRANSPARENT FINISHES CHOSEN FOR PROJECT SHALL BE AS SPECIFIED BY THE ARCHITECT AND SAMPLES APPROVED BEFORE APPLICATION.
 12. FINISHED PAINTED SURFACES SHALL HAVE SOLID, EVEN COLOR. ALL SURFACES SHALL BE FREE FROM DROPS, RUNS, LUMPS, BRUSH MARKS, DISCOLORATION OR OTHER DEFECTS.
 13. REPAIR EXIST. FINE FLOORS AS REQUIRED FOR REFINISHING.

- TRIM NOTES**
1. ALL PAINT GRADE MATERIAL SHALL BE OF FINGER JOINT SMOOTH QUALITY. ALL CORNERS AND SEAMS TO BE MITERED, CAULKED AND FILLED. ALL NAIL HOLES SHALL BE SPACKLED, FILLED AND SANDED SMOOTH AND FINISHED.
 2. TYPICAL MOLDINGS ARE LISTED IN "SMOOTS" CATALOG OF ALEXANDRIA, VA. ANY SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT. REFER TO FINISH ITEMS AND FINISH SCHEDULE, ON DRAWINGS.
 3. ALL STAIN AND PAINT GRADE TRIM SHALL BE FREE OF KNOTS, DENTS HOLES, SPLINTERS AND SPLITS PRIOR TO AND AFTER INSTALLATION.
 4. INSTALL NEW TRIM WITH NEARLY INVISIBLE JOINTS; MITER EXTERNAL CORNERS AND SPLICES; COPE INTERNAL CORNERS.
 5. ALL INTERIOR AND EXTERIOR TRIM SHALL BE OF THE HIGHEST QUALITY GRADE A, NO. 1 MATERIAL AND INSTALLED WITH TOP WORKMANSHIP.
 6. ANY AND ALL SHOE MOLD SHALL BE STAINED AND POLYURETHANED TO MATCH HARDWOOD FLOOR FINISH.
 7. EXISTING WINDOW AND DOOR TRIM IS TO REMAIN UNLESS NOTED OTHERWISE. REPAIR AS NECESSARY. ANY DAMAGED TRIM, NEW WINDOWS AND DOORS TO HAVE TRIM TO MATCH EXISTING UNLESS NOTED OTHERWISE. REFER TO FINISH ITEMS AND FINISH SCHEDULE FOR SPECIFIC ROOMS AND TRIMS.
 8. ALL NEW EXTERIOR TRIM SHALL BE GRADE A CEDAR OR REDWOOD OR AS SPECIFIED PRIMED MAT.
 9. ALL EXTERIOR WOOD DECK STRUCTURAL SUPPORTS SHALL BE 60 YEAR PRESSURE TREATED MATERIAL AND ALL DECKING SHALL BE CEDAR OR PRESSURE TREATED (AS SPECIFIED) ANY AND ALL BAND BOARD OR SKIRT BOARD DECK MATERIAL SHALL BE GRADE A CEDAR OR REDWOOD.
 10. NOTE: CONTRACTOR AND CARPENTERS TO NOTE THAT IF ANY PT. GR. LATTICE IS CALLED FOR IN PROJECT THAT THE LATTICE IS TO BE 1" WIDE LATTICE WITH ALTERNATING GRID OF 1" LATTICE AND 1" OPEN SPACE ALL AT 90 DEGREES TO GRADE AND DECKING. USE SMOOT AA 3811 OR EQUAL.
 11. CONTRACTOR SHALL HOLD ONE YEAR WARRANTY/GUARANTEE ON ALL NEW TRIM PIECES INTERIOR AND EXTERIOR. THIS WARRANTY SHALL COVER REPLACEMENT AND/OR REPAIR OF ANY TRIM, DECKING, CASING, ETC. THAT HAS CREATED WARES, GAPS, SEAM SEPARATIONS, SPLITS, NAIL POPPING OR DENTS DUE TO HUMIDITY, POOR QUALITY, SETTLING, OR POOR INSTALLATION.
 12. INSTALL NEW OAK SHOE MOLDING THROUGHOUT HOUSE WHERE WOOD FLOORS EXIST OR ARE PROPOSED. STAIN TO MATCH EXISTING FLOOR STAIN COLOR.



FIRST FLOOR PROPOSED PLAN

11/10/98 - 1998 FOR HPC REVIEW & PERMITS
 NO. DATE REVISION BY

PROPOSED ALTERATIONS & ADDITIONS TO:
ARONSON RESIDENCE
 7611 Takoma Avenue
 Takoma Park, MD 20912

PROJECT

TITLES

DATE 10 OCT 98

SCALE 1/4" = 1'-0"

DRAWN BY J.D.H.

APPROVED BY R.D.C.

JOB NO

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

A-2

SHEET OF

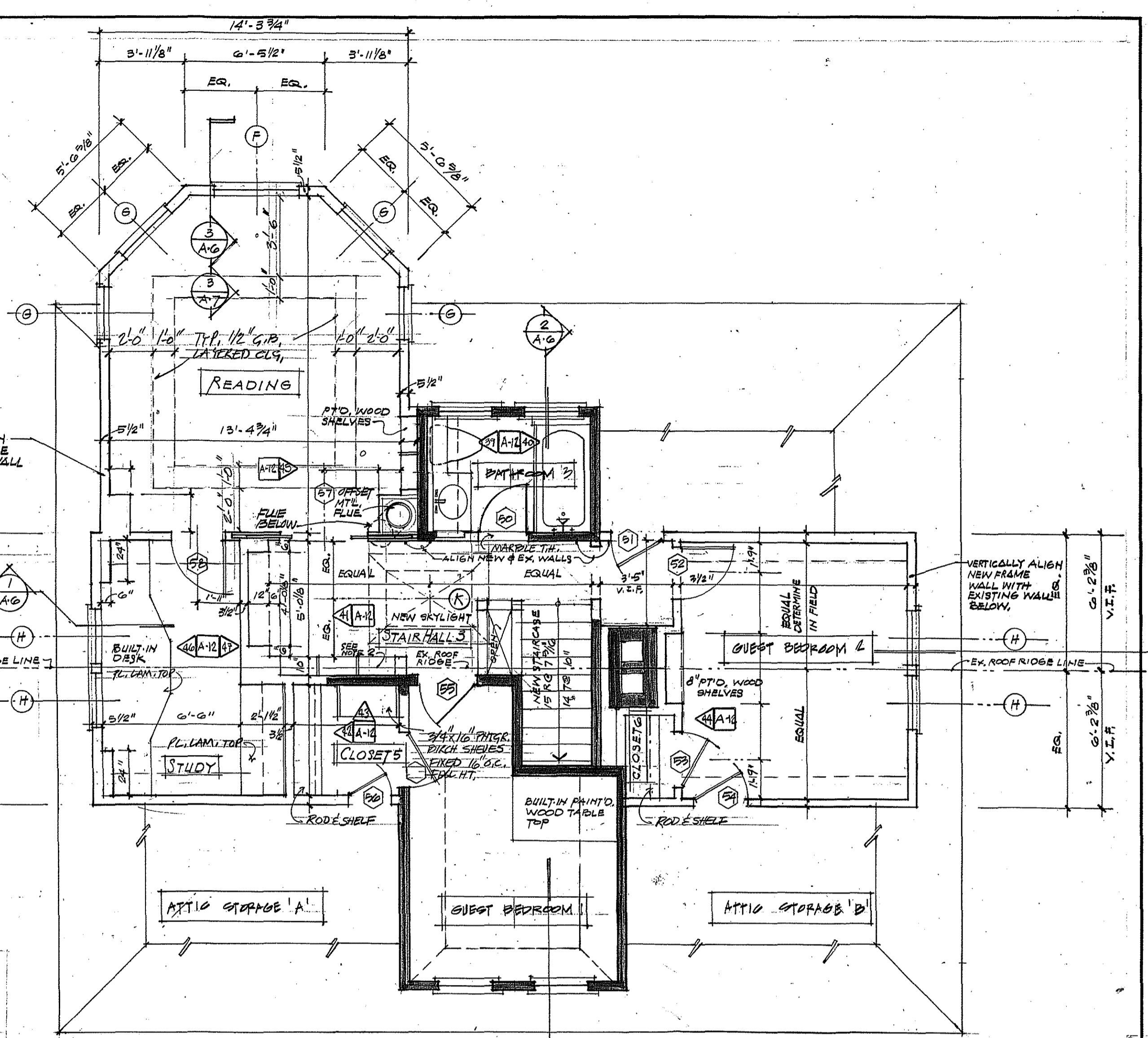
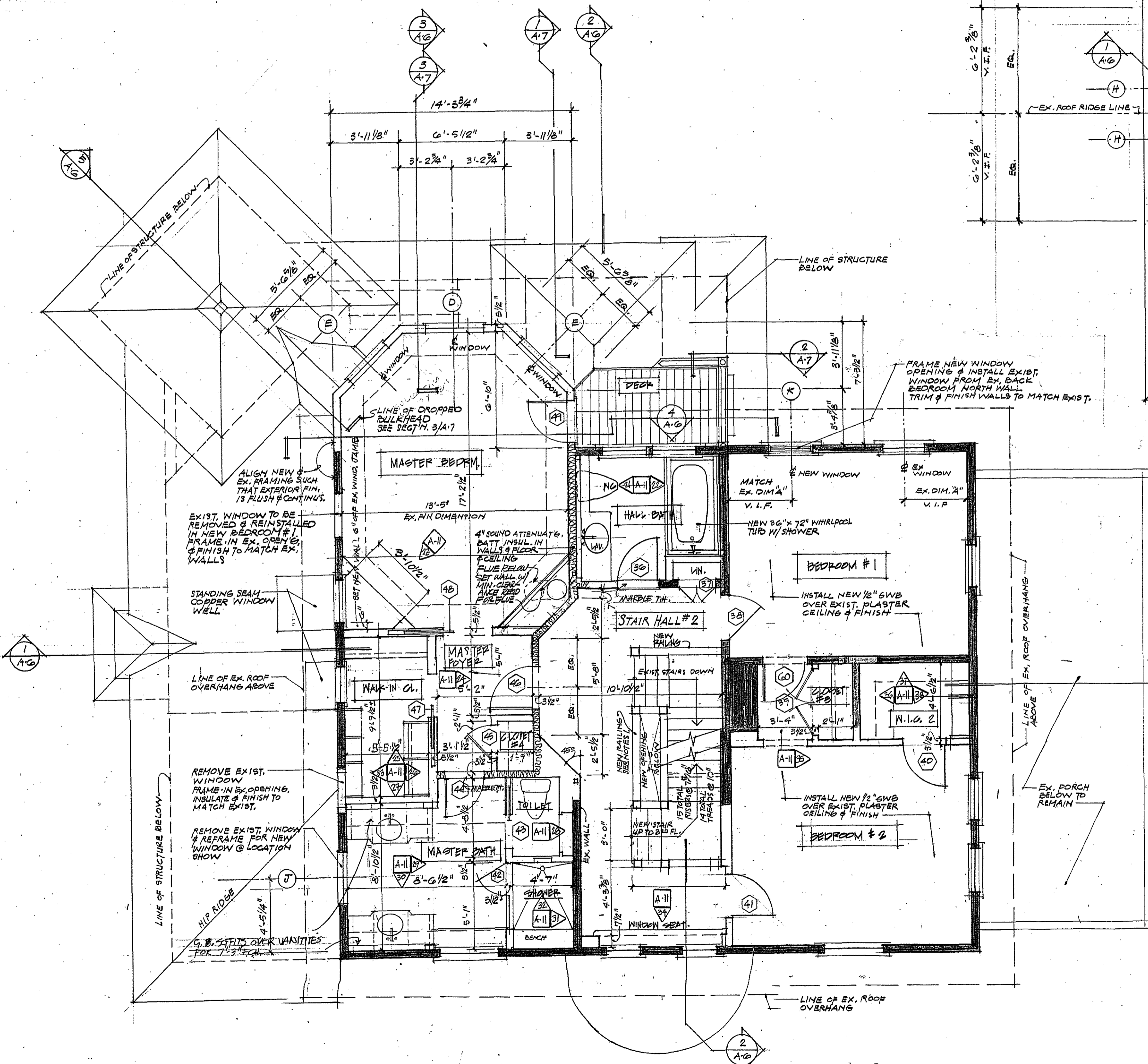
FLOORS

WOOD STRIP FLOORING

1. ALL WOOD FLOORS ARE TO BE SANDED, AND REFINISHED WHERE NOTED ON FINISH SCHEDULE. WORK SHALL INCLUDE BANISTERS, STAIR TREADS AND INSTALLATION OF SHOE MOLD TO MATCH FLOORING COLOR, FINISH AND WOOD TYPE. REMOVAL OF EXISTING SHOE MOLD SHALL BE INCLUDED WHERE NECESSARY FOR JOB CONDITIONS.
2. FLOORING CONTRACTOR SHALL SUBMIT STAINS AS REQUESTED BY OWNERS OR ARCHITECT TO OBTAIN COLOR APPROVAL AND APPLY AT NO EXTRA CHARGE UP TO FIVE DIFFERENT STAINS IN A MINIMUM AREA OF 3' X 3' EACH STAIN COLOR.
3. NEW WOOD FLOORING SHALL BE LAID WITH LENGTHS STRAIGHT AND TRULY PARALLEL. PATCH EXISTING FLOORING WITH STRIPS MATCHING COLOR AS CLOSE AS POSSIBLE WITH JOINTS TIGHT AND FLUSH. ANY REPAIRS SHALL BE STAGGERED TO NEAREST JOISTS. ANY RADIATOR HOLES SHALL NOT BE PLUGGED BUT PATCHED IN FULL LENGTH TO NEAREST JOIST.
4. ALL SURFACES SHALL BE CLEANED OF ALL DUST, SHAVINGS AND DIRT. A MINIMUM OF THREE COATS OF POLYURETHANE FINISH SHALL BE APPLIED TO ALL FLOORS IN SATIN GLOSS FINISH OR OTHER AS APPROVED BY THE OWNERS OR ARCHITECT.

CERAMIC TILE AND MARBLE

1. CONTRACTOR SHALL FURNISH ALL CERAMIC TILE AND OR MARBLE AS INDICATED ON FINISH SCHEDULE AT ALL DIMENSIONS SPECIFIED HEREIN. MATERIALS SHALL INCLUDE ANY APPROPRIATE COVES, BULLNOSES, CORNERS OR SPECIAL TRIMS WHERE INDICATED. ANY CEILINGS IN STEAM SHOWERS SHALL BE FULLY TILED.
2. SUBMIT A MINIMUM OF THREE PIECES FROM ACTUAL MATERIAL LOT FOR STONE OR TILE FOR OWNER OR ARCHITECT APPROVAL BEFORE ORDERING MATERIALS FOR THE ENTIRE JOB.
3. ALL TILE OR MARBLE SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CURRENT EDITION OF THE "TILE COUNCIL OF AMERICA HANDBOOK". WORK SHALL BE LAID OUT CAREFULLY IN AN ENDEAVOR TO CENTER TILES TO AVOID SMALL CUTS. WHERE DRAWINGS INDICATE TRUIT JOINTS AND PATTERNS, CONTRACTOR SHALL ENDEAVOR TO INSTALL AS CLOSELY AS POSSIBLE INTENDED LAYOUT.
4. RECESSED AREAS IN SHOWER WALLS OR BENCHES SHALL SLOPE TO DRAIN AND BE INSTALLED TO MINIMIZE TILE OR MARBLE CUTS. SHELF DIMENSIONS SHALL BE FULL UNITS OF TILES IN HT. AND WTH.
5. PRIOR TO FINAL INSPECTION, REMOVE ALL LOOSE, BROKEN, CRACKED OR OTHER DEFACED TILES AND REPLACE WITH PERFECT TILE. PROVIDE ADEQUATE PROTECTION FOR SURROUNDING SURFACES. ALL WORK SHALL BE LEFT CLEAN.
6. PROTECT TUB FINISHES DURING AND AFTER THE WORK AS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SCRATCHED SURFACES OR DIRT GROUND INTO NON-SKID SURFACES.



THIRD FLOOR PROPOSED PLAN

- PLAN KEY**
- [Solid Line] = EXISTING STRUCTURE TO REMAIN
 - [Dashed Line] = NEW CONSTRUCTION

- NOTE:**
1. NEW STAIRCASE & 2ND FLOOR RAILING SYSTEM SHALL MATCH EXIST. 1ST FLOOR. NEWEL POST, RAILING ORNISH & BALUSTERS, RISERS & BALUSTERS SHALL BE PAINTED. RAILING, NEWEL POST & TREADS SHALL BE STAINED OAK TO MATCH EXISTING 1ST FLOOR. BALUSTER SPACING SHALL BE 4" MAX. RAILING HEIGHT SHALL BE 32" AFF.
 2. PAINT GRADE HALL SHELVING: SHELVING BOXES SHALL BE 3/4" PLYWOOD W/PT. GRADE VENEER. PROVIDE SPOON PIN CLIPS @ 2' OC. INSTALL 1 X 2 PT.D. STILES AND RAILS W/ BEADED TOP TRIM. SHELVES SHALL 5/4" THK. PAINTED PLYWOOD SHELVING.

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

11/14/92 - ISSUED FOR IFC
 REVIEW & PERMITS
 NO. DATE REVISION BY

PROPOSED ALTERATIONS & ADDITIONS TO:
ARONSON RESIDENCE
 7611 Takoma Avenue
 Takoma Park, MD 20912

PROJECT

TITLES

DATE 30 OCT, 78

SCALE 1/4" = 1'-0"

DRAWN BY J.D.H.

APPROVED BY R.D.C.

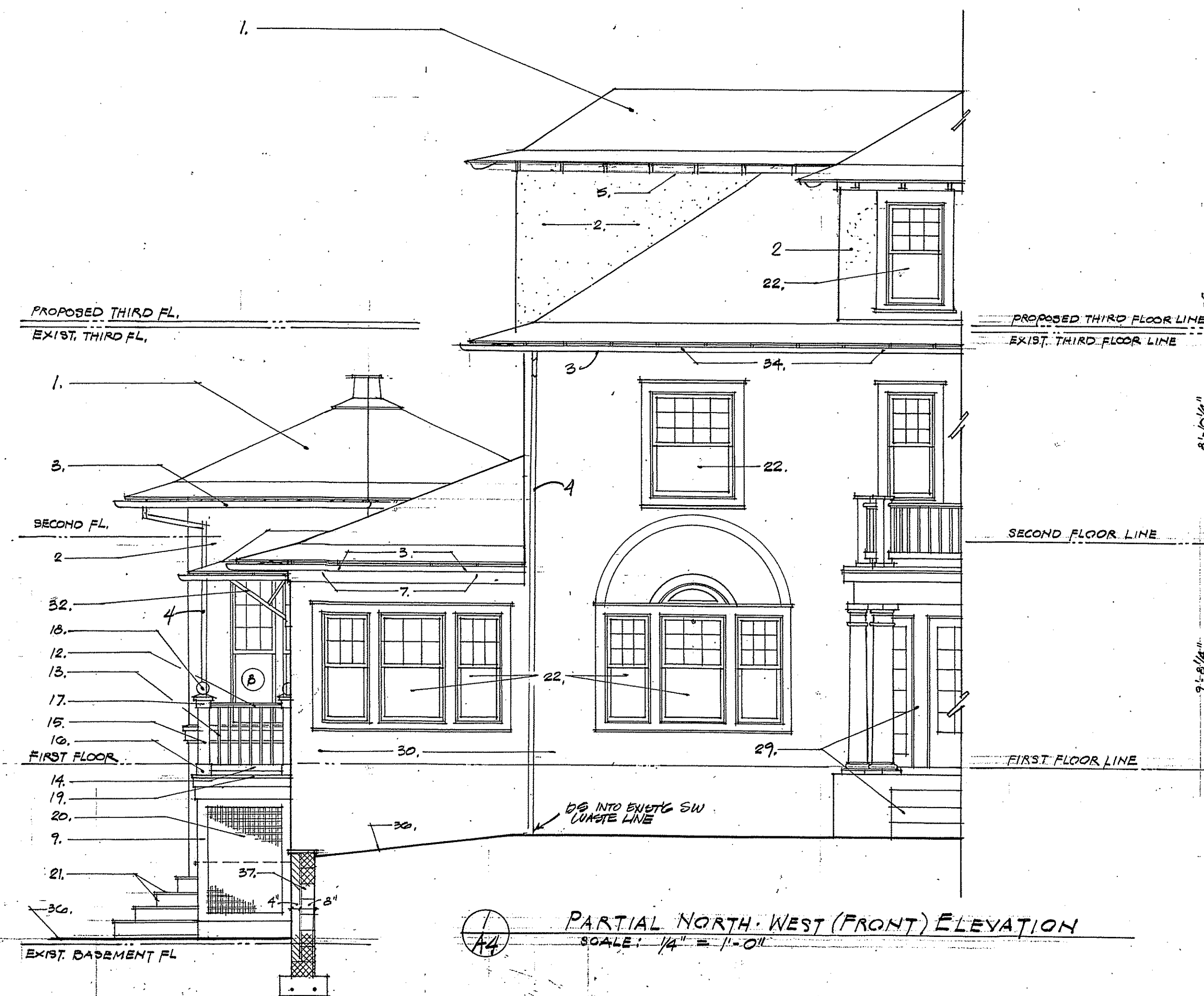
JOB NO

A-3

SHEET OF

- DAMP PROOFING**
- CONTRACTOR SHALL INSTALL 6 MIL. POLYETHYLENE FILM WITH ALL SEAMS LAPPED 6" AND WITHOUT HOLES OR RUPTURES. TURN 6" UP ON WALLS.
- INSULATION**
- CONTRACTOR SHALL INSTALL OWENS-CORNING BATT INSULATION, KRAFT FACED OR EQUAL:
 - R-30 AT ALL CEILING AND FLOORS EXPOSED TO THE EXTERIOR.
 - R-19 AT ALL NEW 4" EXTERIOR SIDE WALLS.
 - R-19 AT ALL NEW 6" EXTERIOR SIDE WALLS.
 - R-19 AT ALL EXISTING PERIMETER WALLS WHICH BECOME OPEN DUE TO DEMOLITION OR NEW CONSTRUCTION.
 - THE ENTIRE AREA TO BE INSULATED SHALL BE DEVELOPED WITH A CONTINUOUS APPROVED VAPOR BARRIER APPLIED SEPARATELY OR INTEGRALLY IN A MANNER TO EXCLUDE PASSAGE OF VAPOR OR WARMED AIR TO THE COLD SIDE OF THE STRUCTURE.
 - TIGHTLY PACK SPACES AROUND ALL PLUMBING WASTE LINES WHERE SUCH LINE IS ADJACENT TO A HABITABLE SPACE. ENVELOPE ANY COPPER SUPPLY LINES INSTALLED NEAR EXTERIOR WALLS OR EXPOSED SPACES BELOW OR ABOVE TO PREVENT FROM FREEZING.
 - FOUNDATION AND CRAWL SPACE INSULATION SHALL BE 2" RIGID FIBERGLASS BOARD ADHERED TO THE INSIDE SURFACE OF THE FOUNDATION WALL FROM CRAWL SPACE GRADE TO TOP OF SILL PLATE. POLYSTYRENE INSULATION WILL BE ALLOWED IN LIEU OF FIBERGLASS ONLY IN FIRE RESISTANT PROTECTION IS PROVIDED.
- VENTILATION**
- ROOF ENCLOSED ATTIC AND RAFTER SPACES SHALL BE VENTILATED WITH PROTECTED OPENINGS COVERED WITH CORROSION-RESISTANT MESH. NET FREE VENTILATED AREA SHALL BE 1/50 THE SPACE VENTILATED. INSULATION SHALL BE BUFFLED AWAY FROM VENT OPENINGS AND 1" MINIMUM FROM ROOF SHEATHING TO ENSURE AN UNOBSTRUCTED PATH OF TRAVEL. PROVIDE ATTIC ACCESS TO ALL AREAS GREATER THAN 30" IN HEIGHT.
 - CRAWL SPACE: UNHEATED CRAWL SPACES SHALL BE VENTED TO THE OUTSIDE WITH SCREENED FOUNDATION VENTS LOCATED AS CLOSE TO CORNERS AS PRACTICABLE ON AT LEAST TWO APPROXIMATELY OPPOSITE SIDES. OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQUARE FOOT PER 150 SQUARE FEET OF FOUNDATION AREA. PROVIDE ACCESS TO ALL CRAWL SPACE AREAS.
- SEALANT AND CAULKING NOTES**
- PROVIDE AN APPROPRIATE AND COMPATIBLE SEALANT TO SEAL ALL JOINTS BETWEEN FLASHING AND COUNTERFLASHING AND BETWEEN ROOFING AND FLASHING WITH WALLS AND OTHER VERTICAL AND HORIZONTAL PROJECTIONS WHICH EDGE OR INTERRUPT THE ROOFING MEMBRANE. JOINTS GREATER THAN 5/8" SHALL BE FILLED WITH BACKUP MATERIAL.
 - THE CAULKING COMPOUND SHALL BE ELASTIC, WATERPROOF, NON-STAINING AND NON-CORROSIVE MATERIAL. THE COLOR OF THE CAULKING MATERIAL SHALL MATCH AS CLOSELY AS POSSIBLE THE COLOR OF THE ADJOINING MATERIAL WITH WHICH IT IS USED.
 - WORK TO BE CAULKED INCLUDES: ALL JOINTS BETWEEN HEADS, JAMBS AND SILLS OF ALL WINDOWS, DOORS AND SIMILAR OPENINGS IN EXTERIOR WALLS. WHERE EXISTING OR NEW WOOD BUTTS EXISTING ON NEW MASONRY OR OTHER WORK INDICATED ON DRAWINGS, THESE ITEMS SHALL BE COMPLETELY SEALED WITH CAULKING COMPOUND.
 - THE CAULKING COMPOUND SHALL BE APPLIED WITH A HIGH PRESSURE CAULKING GUN AND WHERE CAULKING IS EXPOSED, IT SHALL BE FINISHED BY A SMOOTH, EVEN SURFACE. USE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. SURFACE APPLIED TO SHALL BE FIRST CLEANED OF ALL DIRT, LOOSE COATINGS, ETC., AND CARE SHOULD BE TAKEN TO PREVENT SPILLAGE OR STAINING OF ADJOINING AREAS. EXPOSED JOINTS SHOULD BE FINISHED SMOOTH.

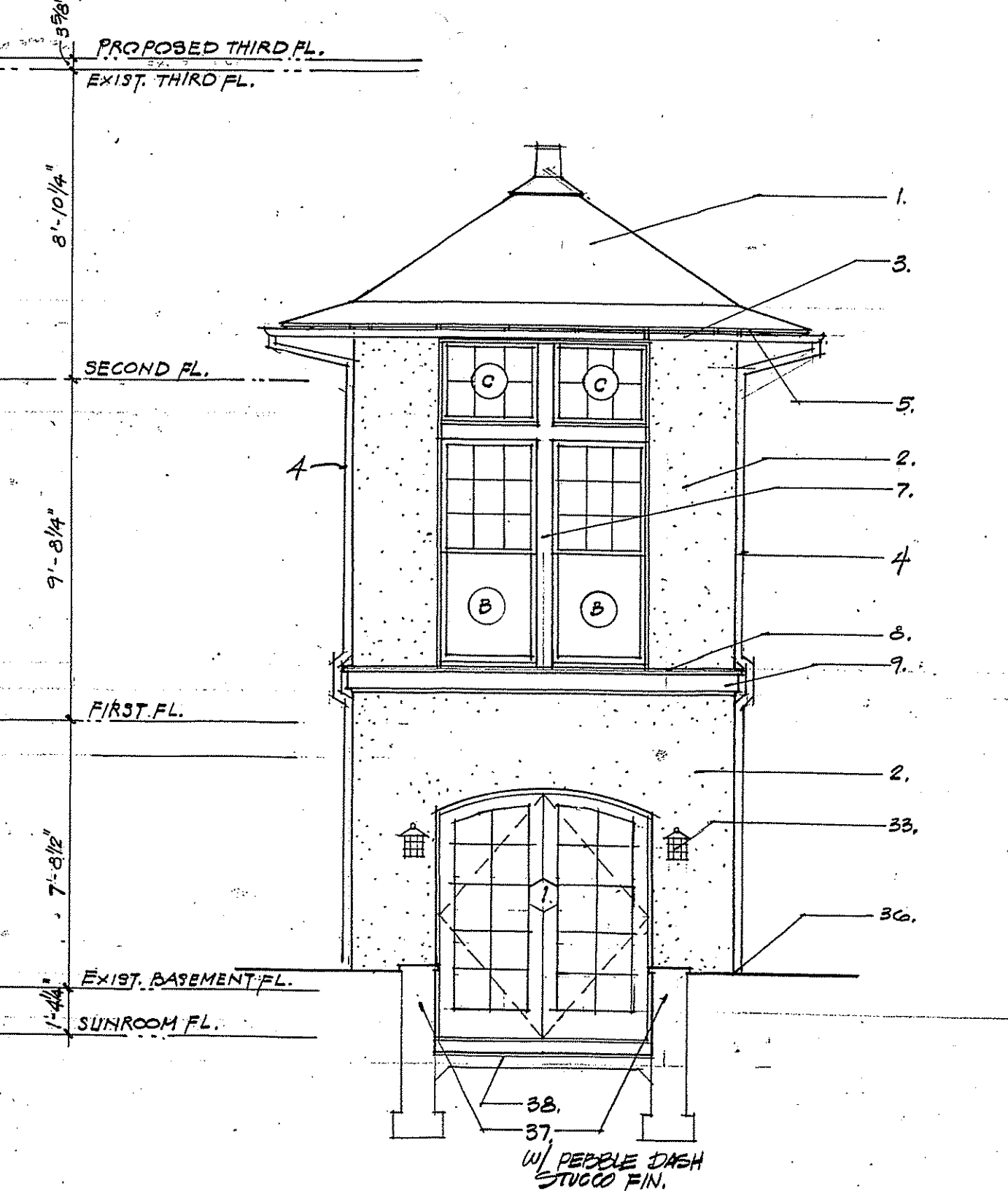
- Elevation Legend**
- New asphalt shingle on 15lb. Building felt.
 - New three-coat, pebble-dash stucco. Finish color to match existing.
 - New 6" half-round copper gutter hung with strap-hangers from rafter tails.
 - New 4" dia. Copper downspouts.
 - Painted exposed rafter tails and roof sheathing (typ.)
 - Paint 1x wood trim.
 - Painted 5/4 x wood trim.
 - Painted wood sub sill / water table with drip edge.
 - Painted 1x4 wood band board.
 - Painted 5/4 x 8 wood band board.
 - Painted 1x wood window trim with backband to match existing window trim.
 - Painted handrail - Smoot's SM8840-1 1/2" x 3 1/2" (typ.)
 - Painted wood balusters - Smoot LWM-237-1 1/2" x 1 1/2" (typ.)
 - Painted wood bottom rail - Smoot SM-8841-1 1/2" x 3 1/2" (typ.)
 - 4 x 4 P.T. wood post wrapped with painted 1x flat trim boards. (typ.)
 - Painted wood base - Smoot SM-66 (typ.)
 - Painted wood post trim - Smoot - WM-623. (typ.)
 - Painted redwood post cap by Island Post Cap Co. #155 (Independence Style) with JT30 tall finish. (typ.)
 - 5/4 x 6 Cedar decking - stained finish and sealed.
 - Painted heavy-duty redwood lattice panels (lattice shall be 3/8" thick). 70% shade; as supplied by Smoot Lumber Co. (typ.)
 - 5/4" thick cedar tread and risers. (typ.)
 - Existing window to remain.
 - Existing doors to remain.
 - Existing porch to remain; columns, railing and trim to remain. Existing screen panels to be removed.
 - Existing masonry retaining wall to remain.
 - Existing window to be removed and reinstalled at bedroom #1.
 - Existing window to be removed.
 - Reinstall existing window removed from North-East Elevation.
 - Existing front entrance portico and concrete stair & stoop to remain.
 - Existing "pebble-dash" stucco exterior finish to remain - Patch & Repair as required.
 - Existing dormer to remain.
 - Painted wood canopy bracket.
 - Surface mounted decorative light fixture.
 - Existing gutter-evaluate condition-repair or replace existing gutter as necessary.
 - Painted 1 x 8 wood and board.
 - Finish grade - slope away from structure.
 - Masonry retaining wall - dry laid field stone veneer with 8" CMU.
 - 4" concrete slab with concrete pavers set on 1" dry mortar bed.
 - Existing chimney to remain. Repair masonry as necessary. Repair flashing to assure watertight joint.
 - New metal flue chimney with 2 x 4 frame / stucco finish enclosure.
 - New screen panels with painted wood frames.
 - Copper lined window well.
 - New lattice panel door leafs with 4" wide stiles and top rail and 8" bottom rail.



PARTIAL NORTH-WEST (FRONT) ELEVATION
 SCALE: 1/4" = 1'-0"



SOUTH-EAST ELEVATION
 SCALE: 1/4" = 1'-0"



PARTIAL EAST ELEVATION @ BREAKFAST RM.
 SCALE: 1/4" = 1'-0"

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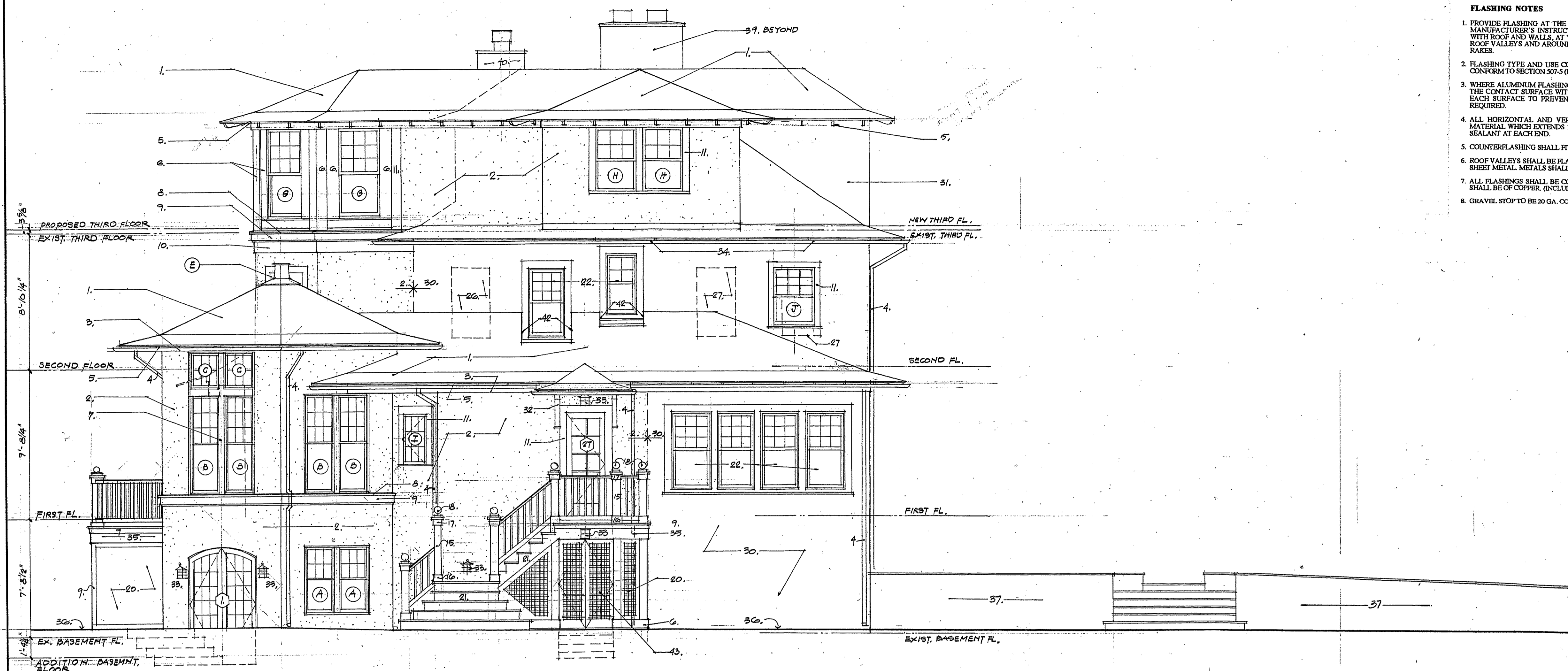
APPROVED BY R.D.C.

JOB NO

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

FLASHING NOTES

1. PROVIDE FLASHING AT THE HEAD AND JAMBS OF WINDOWS AND DOORS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. INSTALL SIMILAR FLASHING AT INTERSECTION OF CHIMNEYS WITH ROOF AND WALLS, AT WOOD AND METAL SELLS, AT ROOF AND WALL INTERSECTIONS, IN ALL ROOF VALLEYS AND AROUND ROOF OPENINGS. PROVIDE DRIP FLASHING AT ALL ROOF EAVES AND RAKES.
2. FLASHING TYPE AND USE CONFORM TO SECTION 607.4 (HUD MPS). SHEET METAL TYPE AND USE CONFORM TO SECTION 507.5 (HUD MPS).
3. WHERE ALUMINUM FLASHING COMES IN CONTACT WITH CONCRETE, MORTAR OR PLASTER, PAINT THE CONTACT SURFACE WITH ONE HEAVY COAT OF ALUMINUM PIGMENTED ASPHALT PAINT ON EACH SURFACE TO PREVENT CHEMICAL DETERIORATION. PROVIDE TERMITE SHIELDS WHERE REQUIRED.
4. ALL HORIZONTAL AND VERTICAL JOINTS IN FLASHING SHALL BE SLICED WITH THE SAME MATERIAL WHICH EXTENDS 12" TO EACH SIDE OF THE JOINT AND IS FASTENED AND SEALED WITH SEALANT AT EACH END.
5. COUNTERFLASHING SHALL FIT INTO A REGLET WHICH INTERLOCKS AND IS SEALED WITH SEALANT.
6. ROOF VALLEYS SHALL BE FLASHED WITH 26 GA. COPPER AND COUNTERFLASHED WITH 26 GA. GALV. SHEET METAL. METALS SHALL BE SEPARATED OR PRIMED TO PREVENT GALVANIC REACTION.
7. ALL FLASHINGS SHALL BE CONCEALED AS MUCH AS POSSIBLE. WHERE THEY ARE EXPOSED, THEY SHALL BE OF COPPER (INCLUDING ROOF VALLEYS).
8. GRAVEL STOP TO BE 20 GA. COPPER ON ROT RESISTANT BLOCKING.



NORTH - EAST ELEVATION
SCALE: 1/4" = 1'-0"

- Elevation Legend**
1. New asphalt shingle on 15lb. Building felt.
 2. New three-coat, pebble-dash stucco. Finish color to match existing.
 3. New 6" half-round copper gutter hung with strap-hangers from rafter tails.
 4. New 4" dia. Copper downspouts.
 5. Painted exposed rafter tails and roof sheathing (typ.)
 6. Paint 1x wood trim.
 7. Painted 5/4 x wood trim.
 8. Painted wood subsill /water table with drip edge.
 9. Painted 1x6 wood band board.
 10. Painted 5/4 x 8 wood band board.
 11. Painted 1x wood window trim with backband to match existing window trim.
 12. Painted handrail -Smoot's SM8840-1 1/2" x 3 1/2" (typ.)
 13. Painted wood balusters-Smoot LWM-237- 1 1/4" x 1 1/2" (typ.)
 14. Painted wood bottom rail-Smoot SM-8841- 1 1/4" x 3 1/2" (typ.)
 15. 4 x 4 P.T. wood post wrapped with painted 1x flat trim boards. (typ.)
 16. Painted wood base-Smoot-SM-66 (typ.)
 17. Painted wood post trim-Smoot-WM-623. (typ.)
 18. Painted redwood post cap by Island Post Cap Co. #15S (Independence Style) with JT30 ball finial. (typ.)
 19. 5/4 x 6 Cedar decking- stained finish and sealed.
 20. Painted heavy-duty redwood lattice panels(lattice shall be 3/8" thick). 70% shade; as supplied by Smoot Lumber Co. (typ.)
 21. 5/4" thick cedar tread and risers. (typ.)
 22. Existing window to remain.
 23. Existing doors to remain.
 24. Existing porch to remain; columns, railing and trim to remain. Existing screen panels to be removed.
 25. Existing masonry retaining wall to remain.
 26. Existing window to be removed and reinstalled at bedroom #1.
 27. Existing window to be removed.
 28. Reinstall existing window removed from North -East Elevation.
 29. Existing front entrance portico and concrete stair & stoop to remain.
 30. Existing "pebble-dash" stucco exterior finish to remain- Patch & Repair as required.
 31. Existing dormer to remain.
 32. Painted wood canopy bracket.
 33. Surface mounted decorative light fixture.
 34. Existing gutter-evaluate condition-repair or replace existing gutter as necessary.
 35. Painted 1 x 8 wood and board.
 36. Finish grade- slope away from structure.
 37. Masonry retaining wall- dry laid field stone veneer with 8" CMU.
 38. 4" concrete slab with concrete pavers set on 1" dry mortar bed.
 39. Existing chimney to remain. Repair masonry as necessary. Repair flashing to assure watertight joint.
 40. New metal flue chimney with 2 x 4 frame /stucco finish enclosure.
 41. New screen panels with painted wood frames.
 42. Copper lined window well.
 43. New lattice panel door leafs with 4" wide stiles and top rail and 8" bottom rail.



SOUTH - WEST ELEVATION
SCALE: 1/4" = 1'-0"

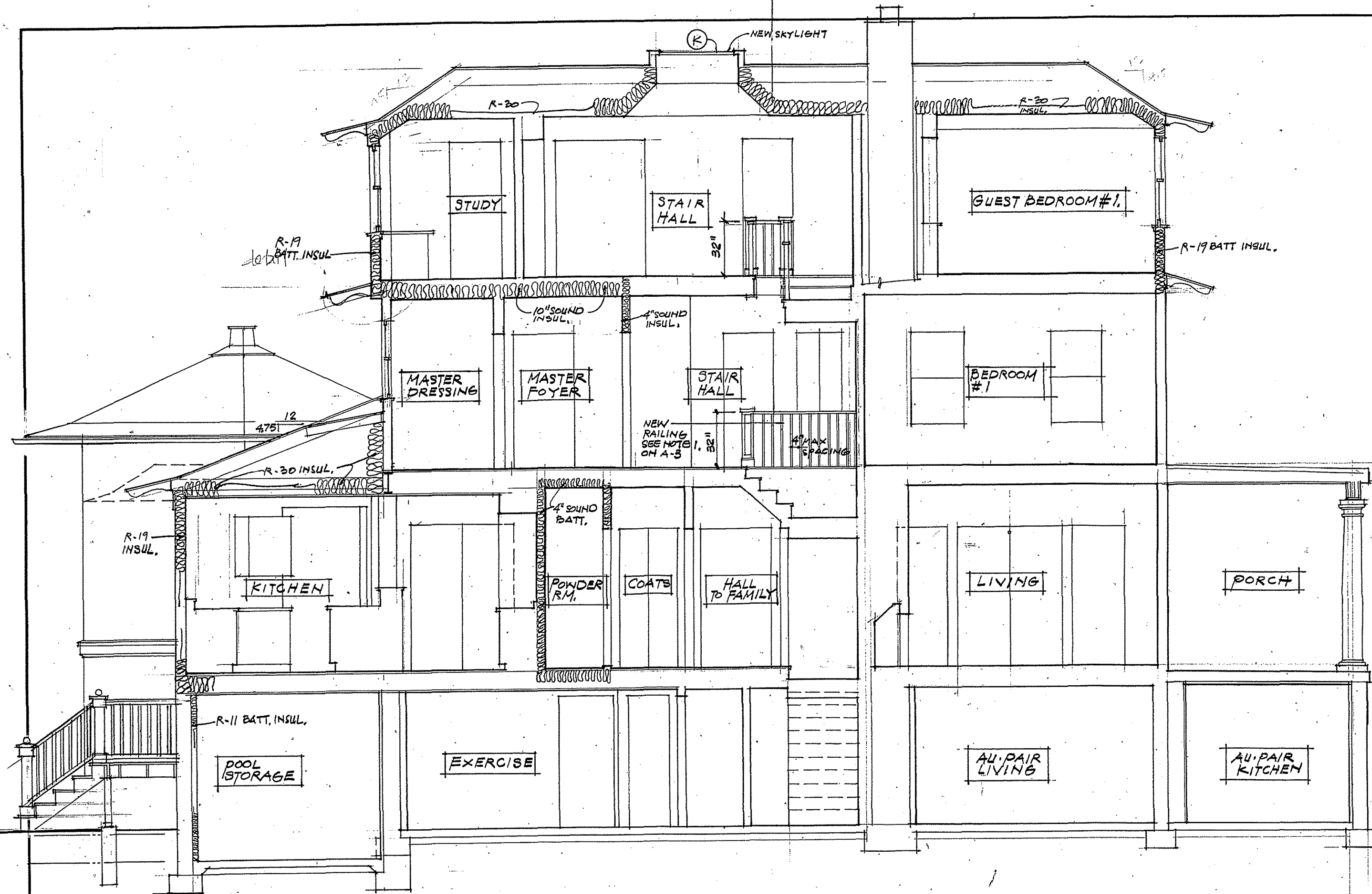
APPROVED
Montgomery County
Historic Preservation Commission
[Signature] PDR

11/16/98 - ISSUED FOR HPC REVIEW & PERMITS
NO. DATE REVISION BY

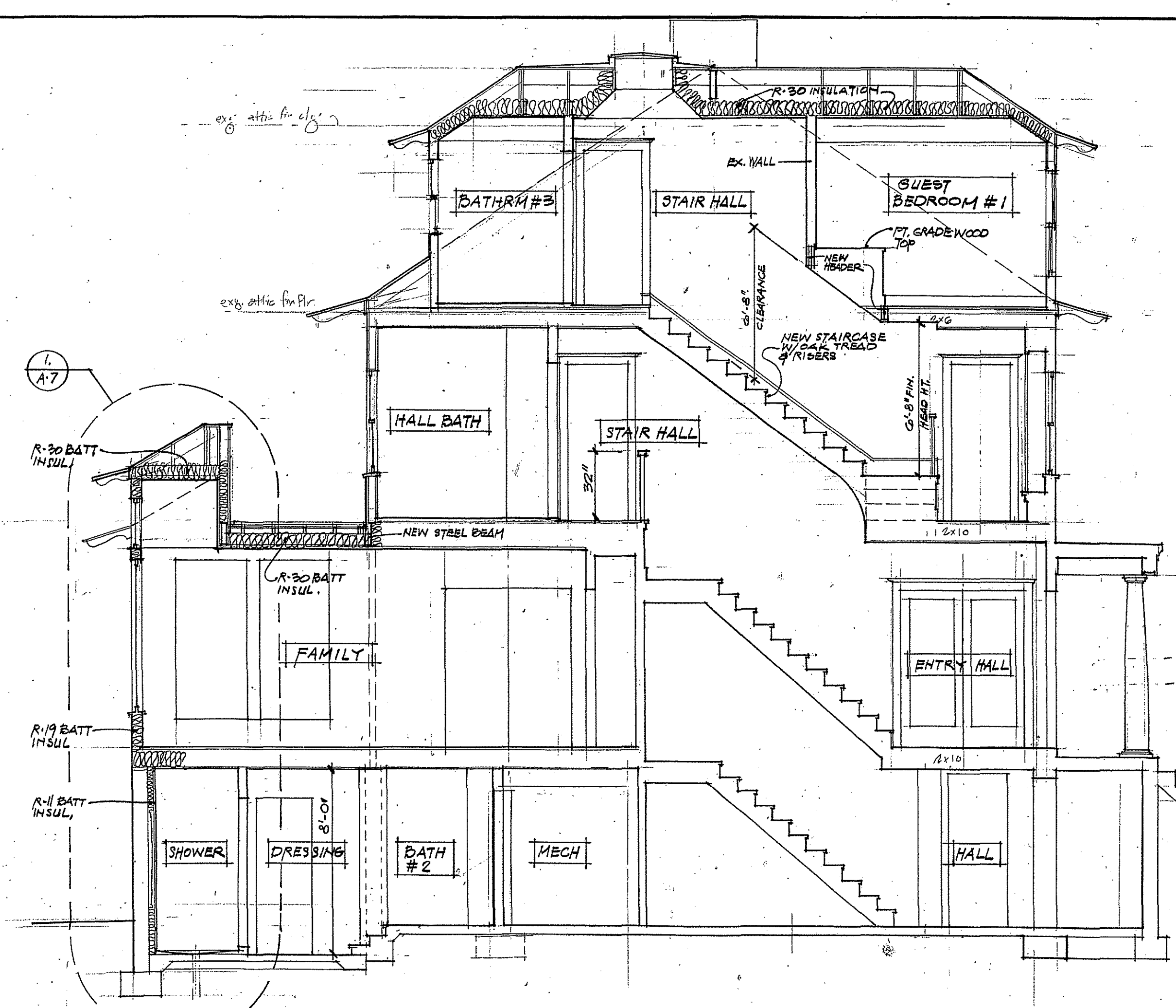
PROPOSED ALTERATIONS & ADDITIONS TO:
ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912
PROJECT

TITLES
DATE: 30.001.98
SCALE: 1/4" = 1'-0"
DRAWN BY: J.D.H.
APPROVED BY: R.D.C.
JOB NO.

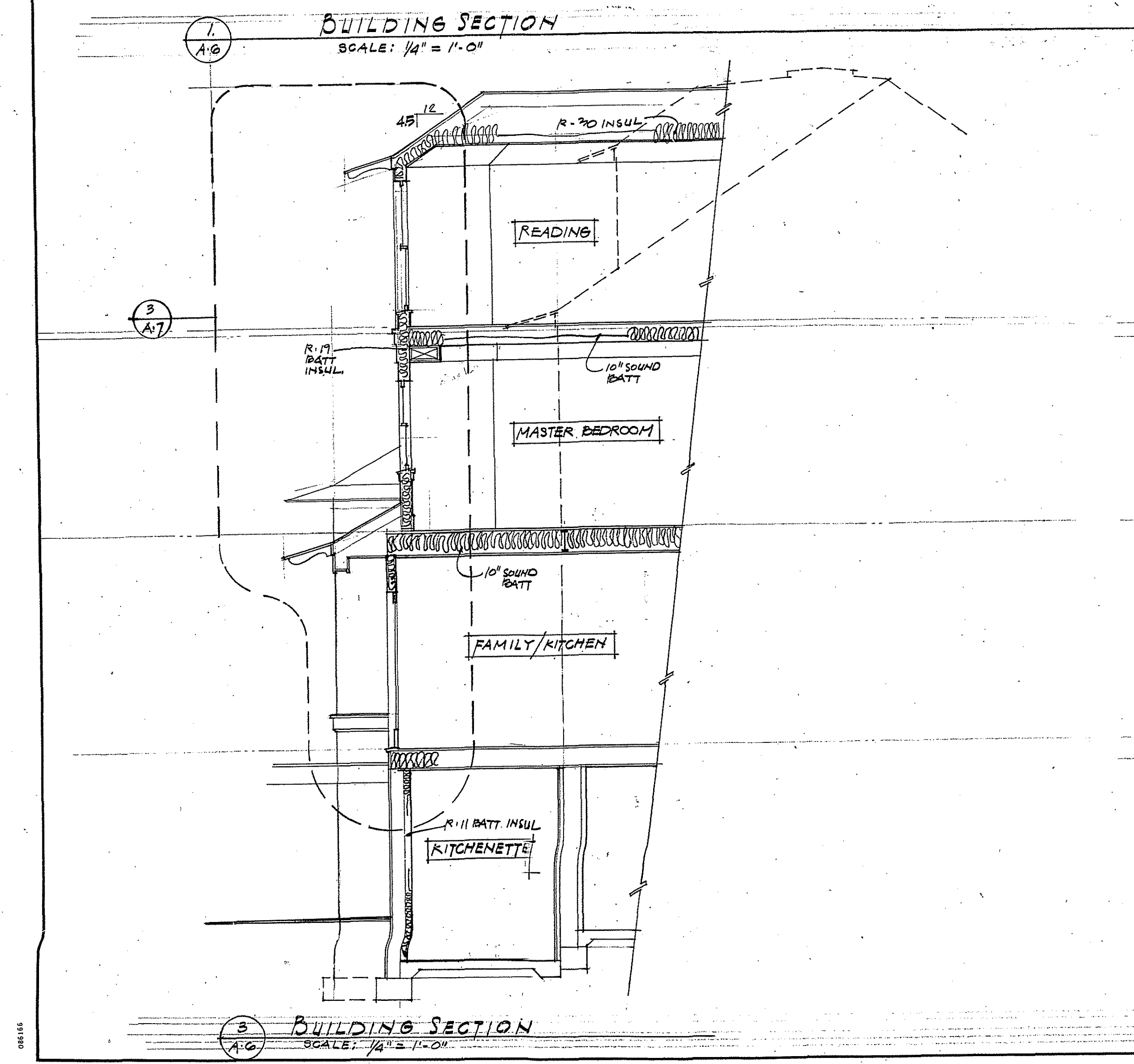
A-5
SHEET OF



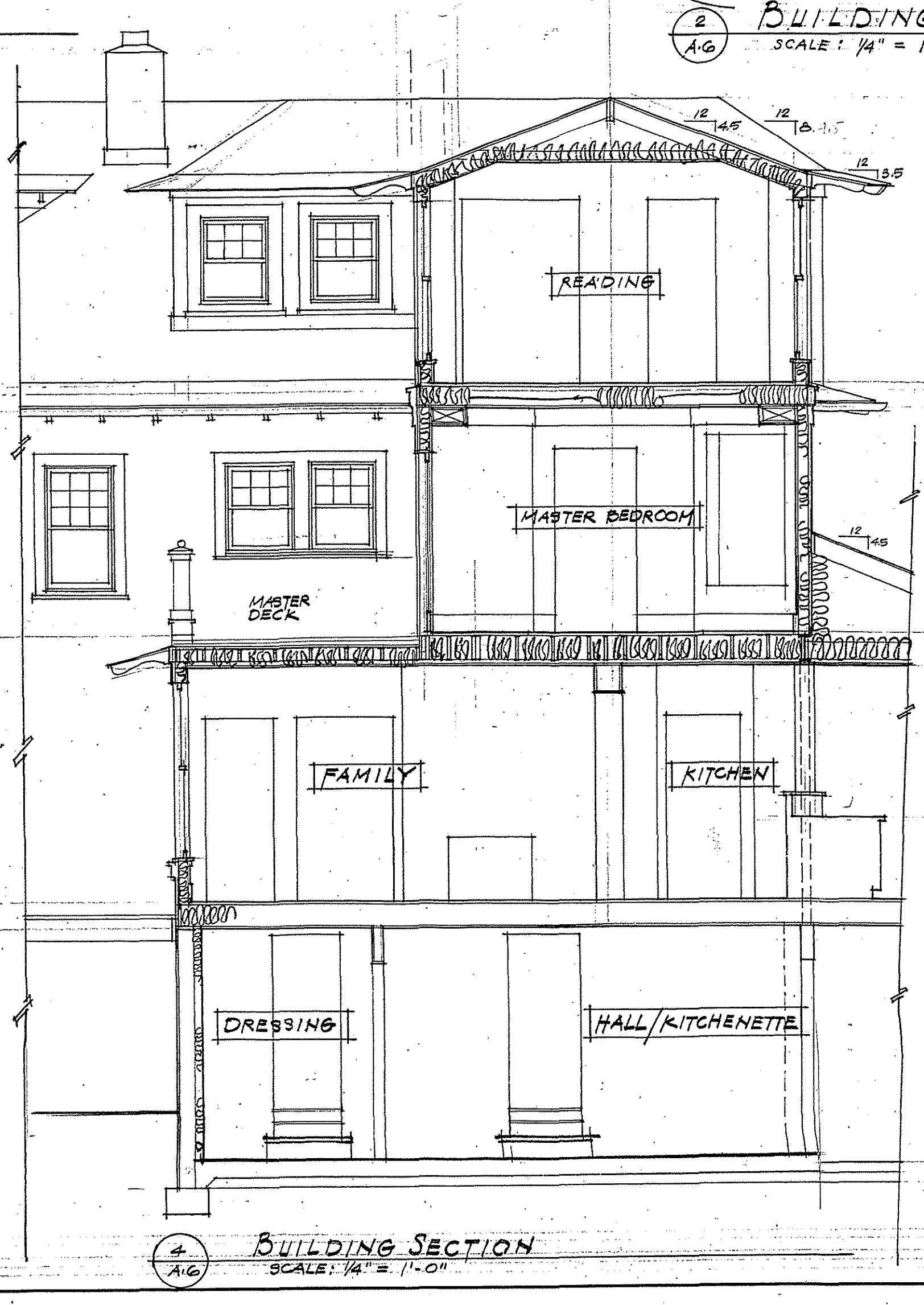
1. BUILDING SECTION
SCALE: 1/4" = 1'-0"



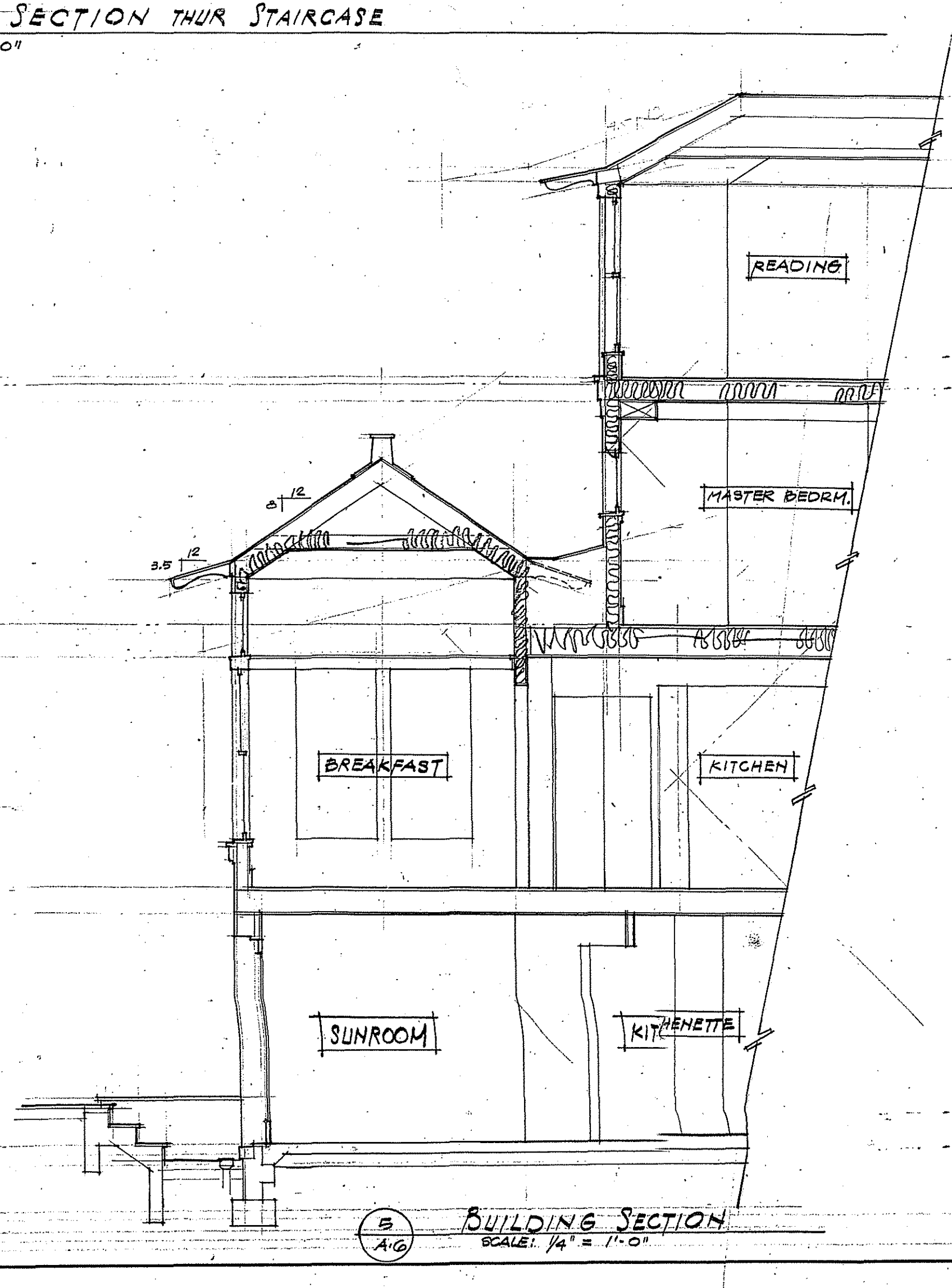
2. BUILDING SECTION THRU STAIRCASE
SCALE: 1/4" = 1'-0"



3. BUILDING SECTION
SCALE: 1/4" = 1'-0"



4. BUILDING SECTION
SCALE: 1/4" = 1'-0"



5. BUILDING SECTION
SCALE: 1/4" = 1'-0"

11-10-78 ISSUED FOR HPL REVIEW & PERMITS
NO. DATE REVISION BY

PROPOSED ALTERATIONS & ADDITIONS TO:
ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912

PROJECT

TITLES

DATE 30 OCT 78

SCALE 1/4" = 1'-0"

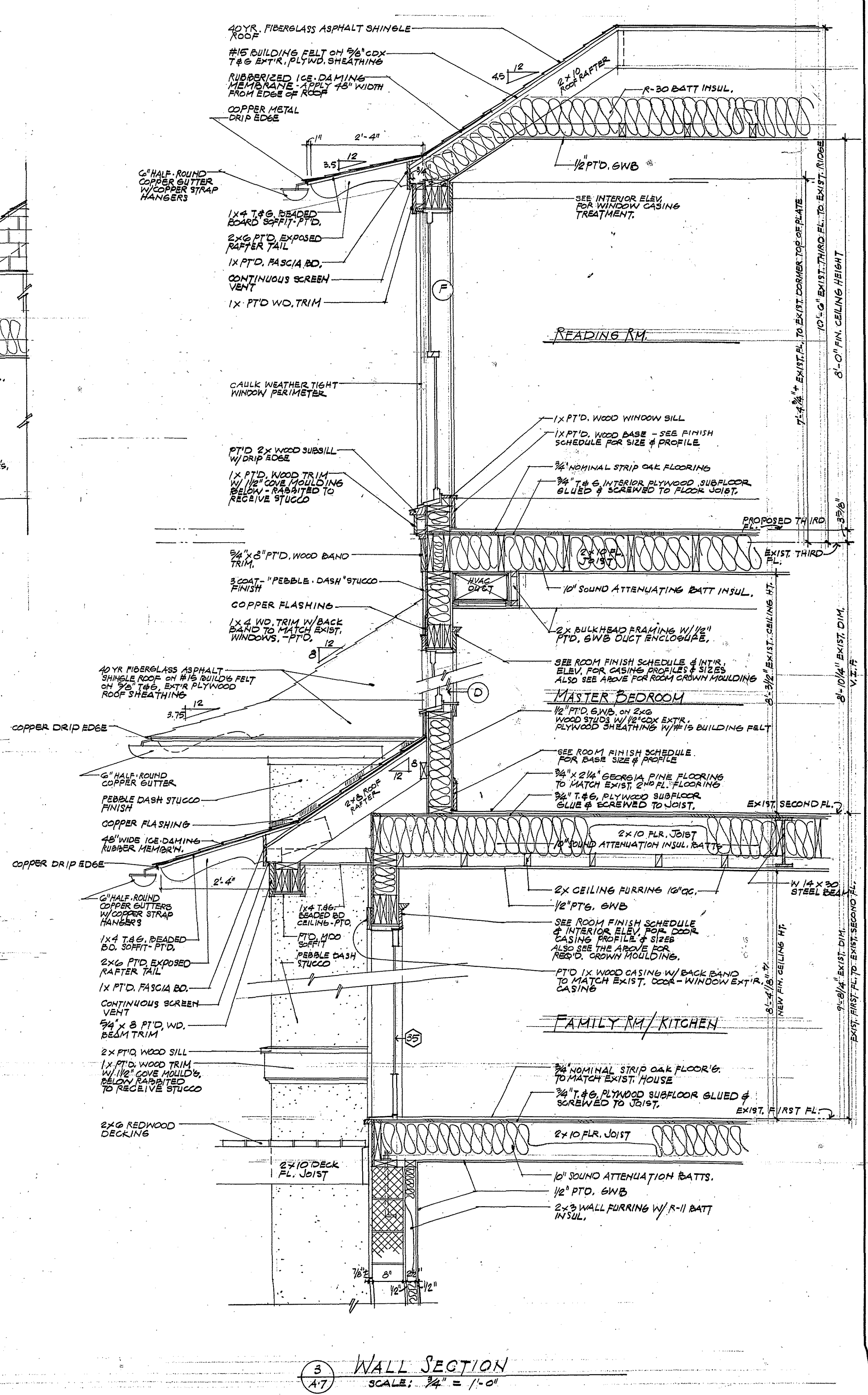
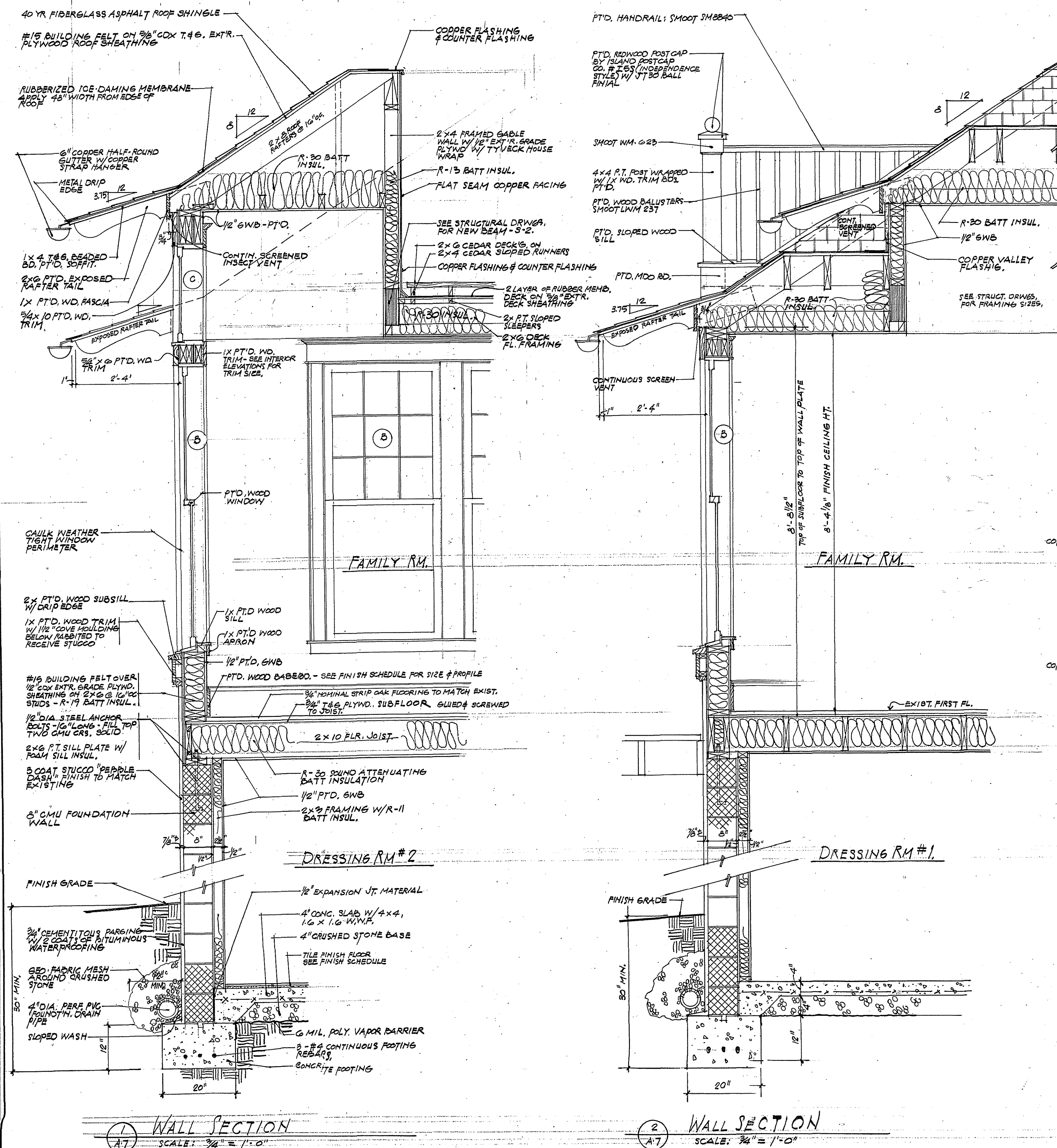
DRAWN BY J.P.H.

APPROVED BY R.D.C.

JOB NO

A-6

SHEET OF



11/19/98 - ISSUED PER H.P.C.
REVIEW OF PERMITS
NO. DATE REVISION BY

PROPOSED ALTERATIONS &
ADDITIONS TO:
ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912

PROJECT

WALL SECTIONS

TITLES

DATE 30 OCT 98

SCALE 3/4" = 1'-0"

DRAWN BY J.D.H.

APPROVED BY R.D.C.

JOB NO

A-7

SHEET OF

FINISHES

Table with columns for LOCATION, FLOOR, WALLS, CEILING, and TRIM. It lists finishing details for various rooms across the basement, first, second, and third floors.

DOOR & WINDOW NOTES

- 1. THE WORK INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND SERVICES NECESSARY FOR AND REASONABLY INCIDENTAL TO THE FINISHING AND INSTALLING OF THE FOLLOWING: WOOD DOORS AND WOOD DOOR FRAMES... 2. REFER TO DOOR SCHEDULE ON DRAWINGS FOR DOOR LOCATION, SIZE AND DESIGN TYPE...

HARDWARE NOTES

- 1. ALL MODIFICATIONS IN HARDWARE REQUIRED BY REASON OF CONSTRUCTION CHARACTERISTICS SHALL RETAIN THE SPECIFIED OPERATIVE OR FUNCTIONAL FEATURES SPECIFIED. 2. AS FAR AS PRACTICABLE, ALL LOCKS SHALL BE OF ONE MANUFACTURER'S MAKE...

HARDWARE SCHEDULE

- 1. PRIVACY BEDROOM WITH PUSH BUTTON INTERIOR LOCK FUNCTION PB FINISH BOTH SIDES. 2. PRIVACY BATHROOM WITH PUSH BUTTON INTERIOR LOCK FUNCTION PB FINISH INTERIOR AND PB EXTERIOR. 3. PASSAGE SET WITH OPERABLE HANDLE GRIP BOTH SIDES...

WINDOWS

Table with columns: KEY, MANUFACTURER # NO., ROUGH OPENING, WDN TYPE, REMARKS. Lists window specifications for various locations.

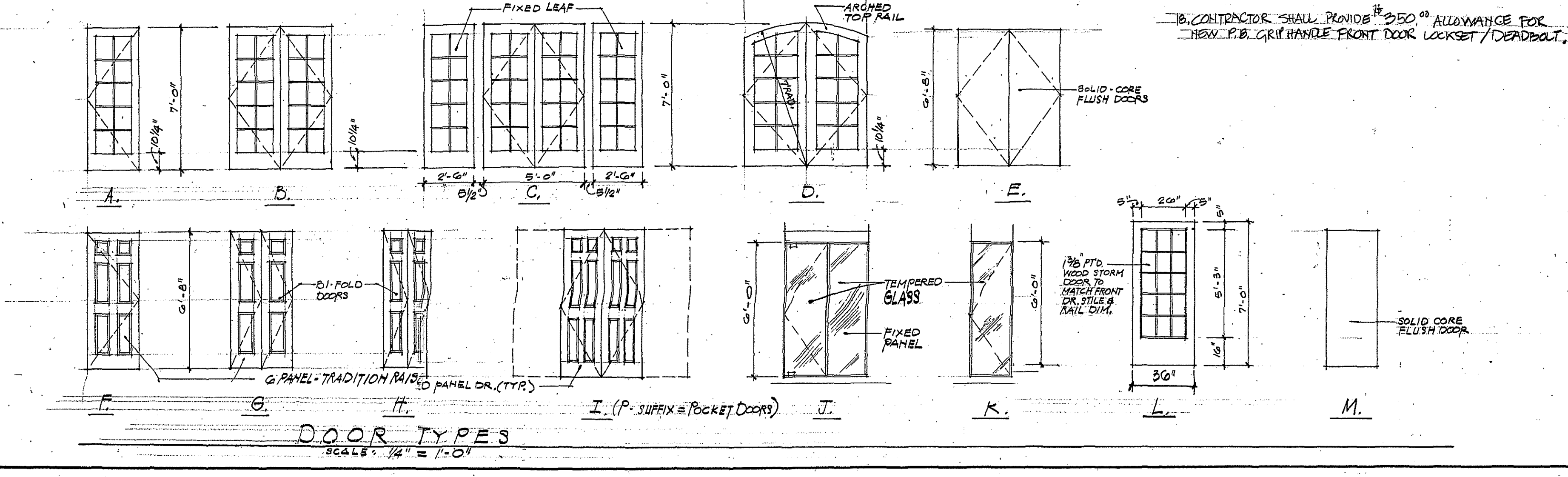
NOTE: ALL LINCOLN WINDOWS W/ LOW E INEL GL & ARGON GAS

DOORS

Table with columns: KEY, MANUFACTURER # NO., DOOR SIZE, MATERIAL, HWR TYPE, DOOR TYPE, REMARKS. Lists door specifications for various locations.

DOOR NOTES:

- A. NEW PAINTED 1 3/8" THICK STILE & RAIL SCREEN DOOR W/ BRONZE ALUMINUM ME 3/8" SIZE TO MATCH DOORS. B. POZZI DOORS: DOORS SHALL BE 1 3/8" THICK WOOD FRENCH DOORS W/ 1/2" THERMO INSULATED DIVIDED LITES GLAZING...

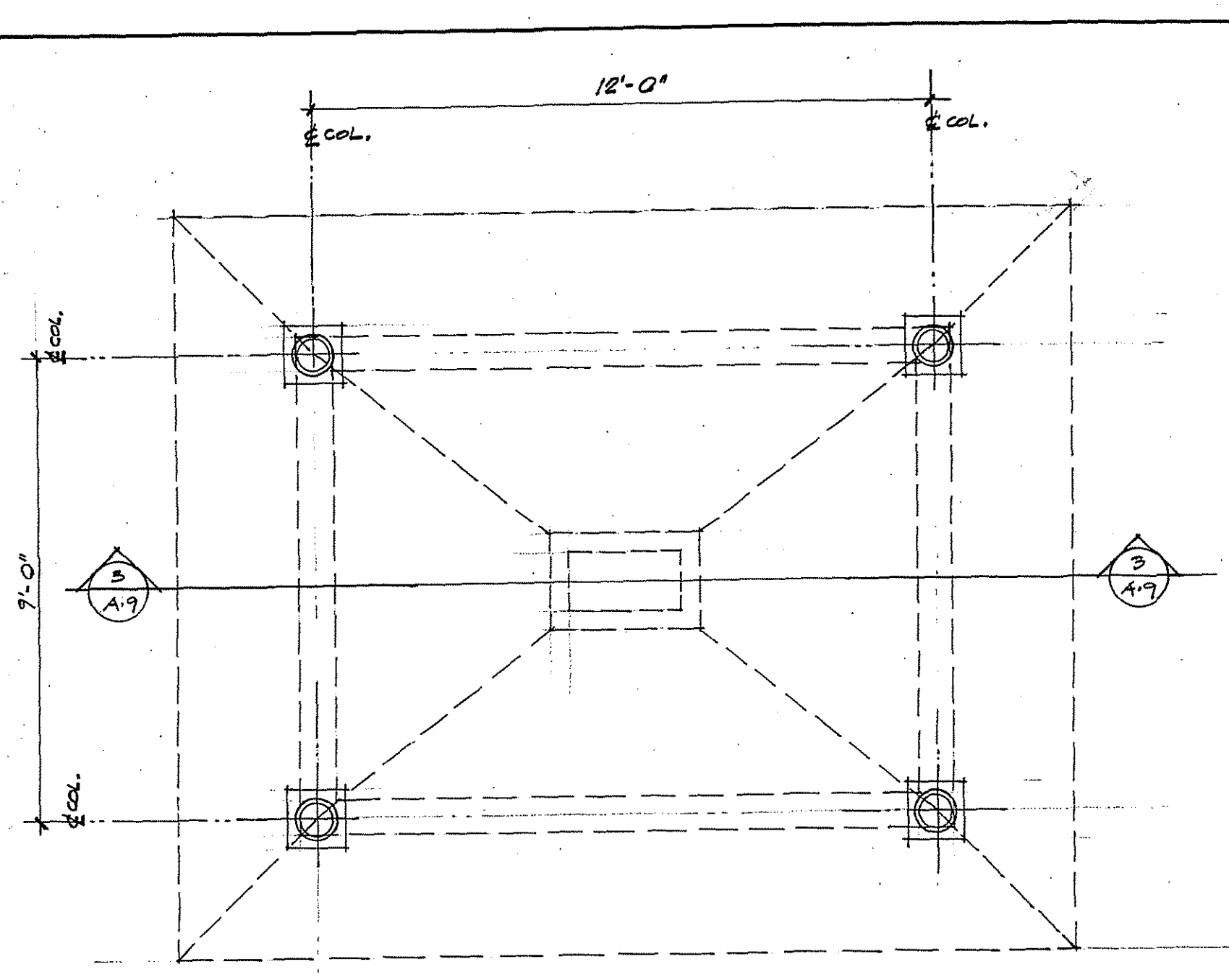


CRONE ASSOCIATES ARCHITECTS. 8931 COLESVILLE ROAD, SILVER SPRING, MD 20910. (301) 587-3000 FAX (301) 587-3118

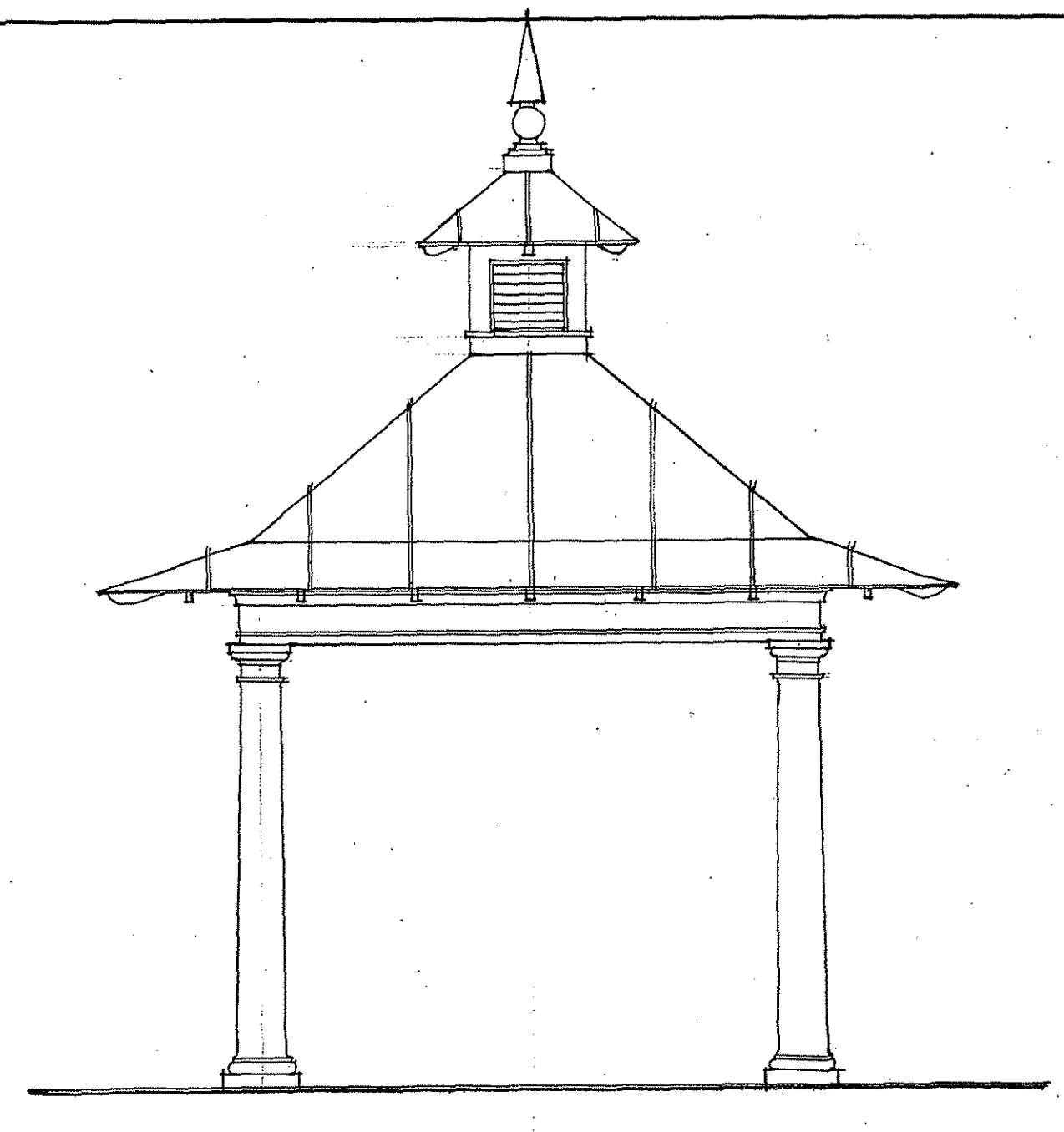
11/10/05 ISSUED FOR HFC REVIEW & PERMITTING. NO. DATE REVISION

PROPOSED ALTERATIONS & ADDITIONS TO: ARONSON RESIDENCE. 7611 Takoma Avenue, Takoma Park, MD 20912

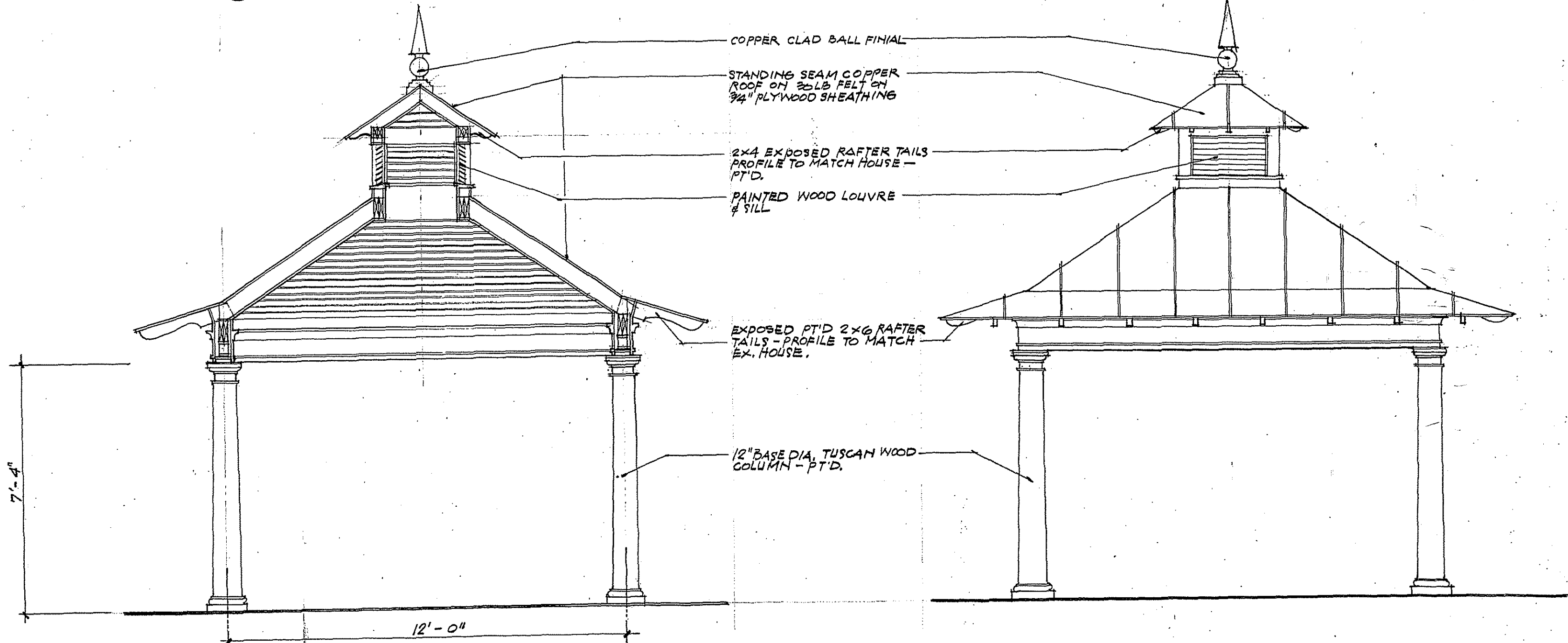
Table with columns: TITLES, DATE (30 OCT 98), SCALE (1/4"), DRAWN BY (J.D.H.), APPROVED BY (R.D.C.), JOB NO.



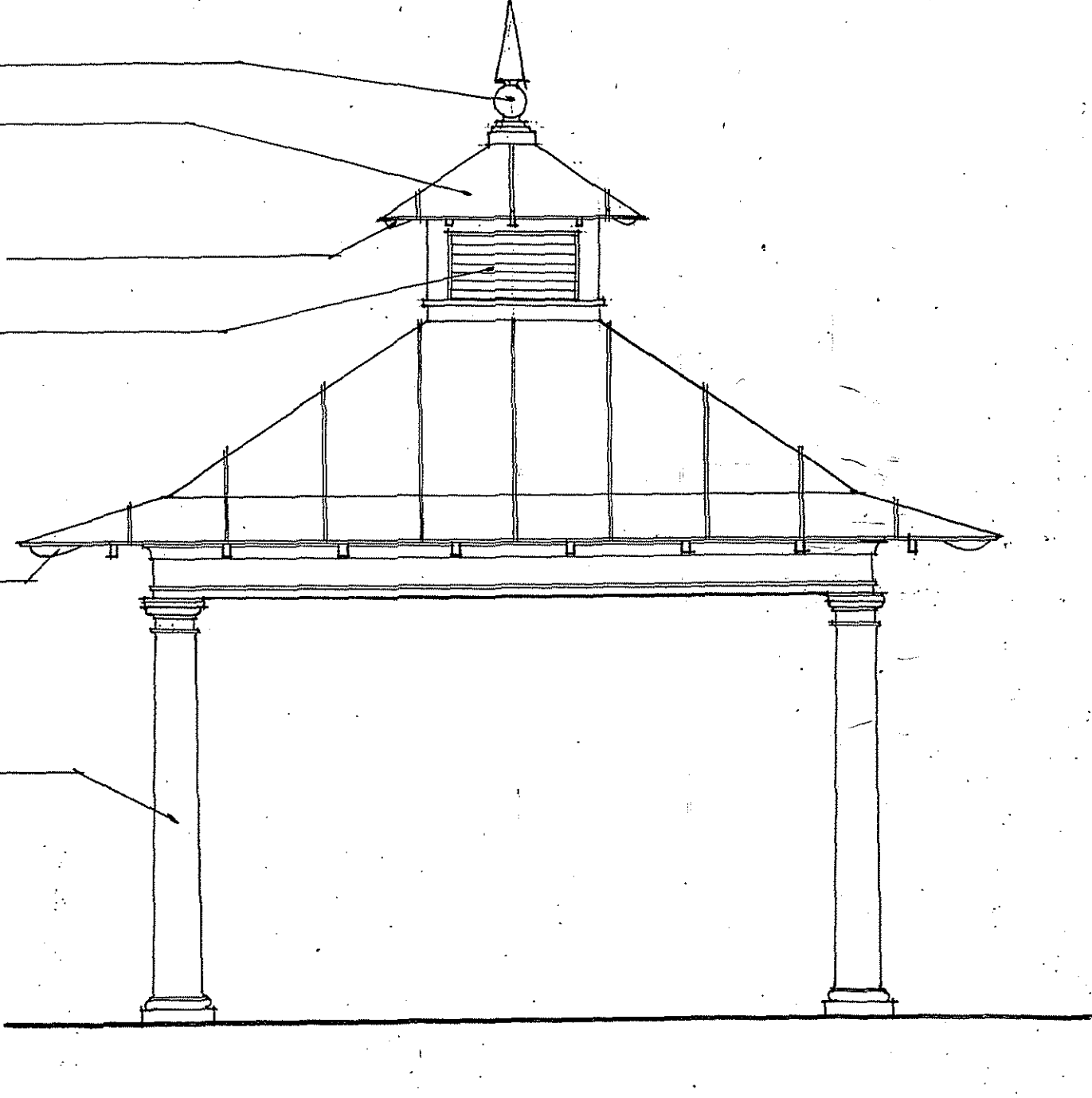
1 POOL PERGOLA PLAN
 SCALE: 3/8" = 1'-0"



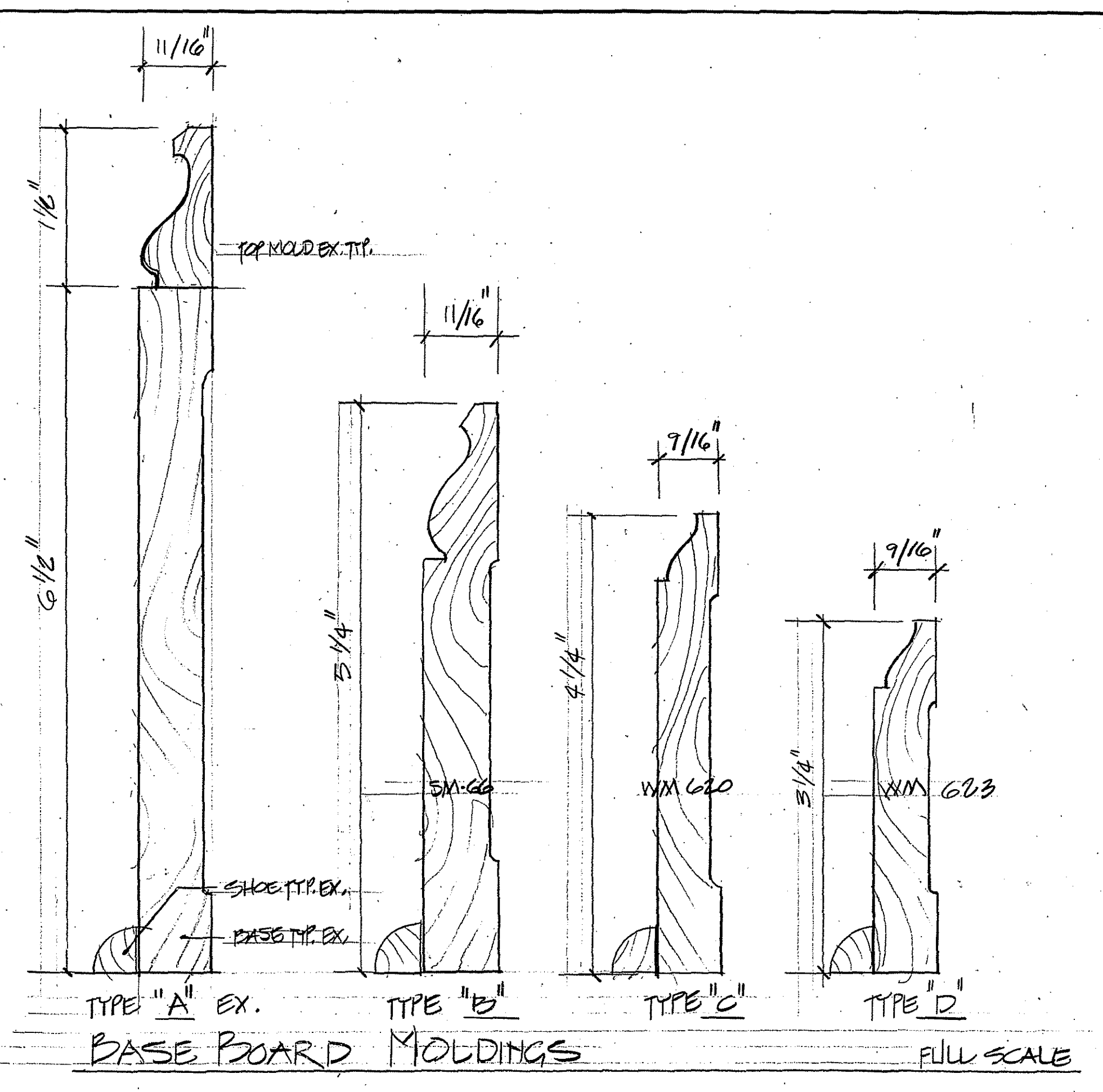
2 SIDE ELEVATION
 SCALE: 3/8" = 1'-0"



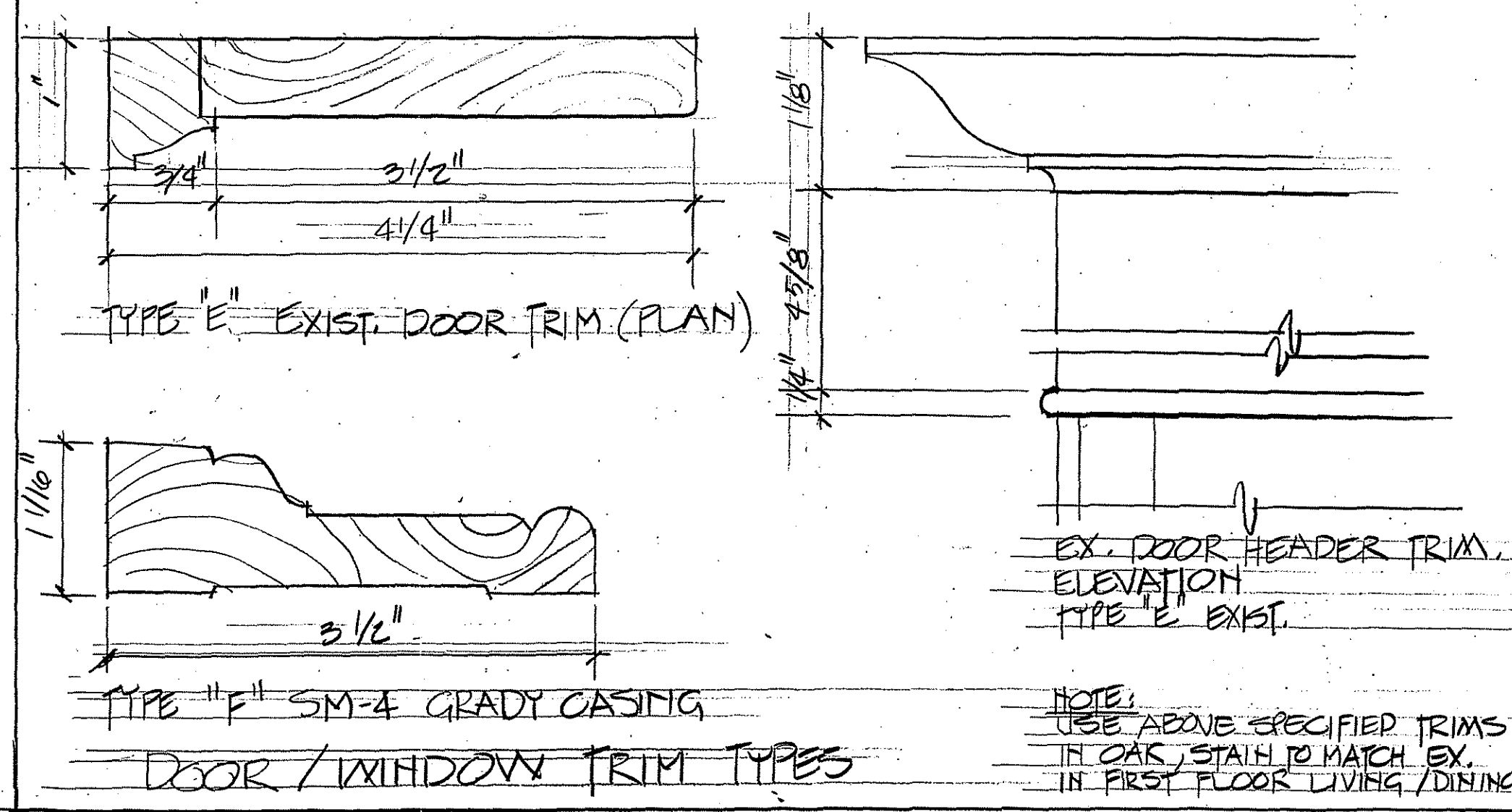
3 POOL PERGOLA SECTION
 SCALE: 3/8" = 1'-0"



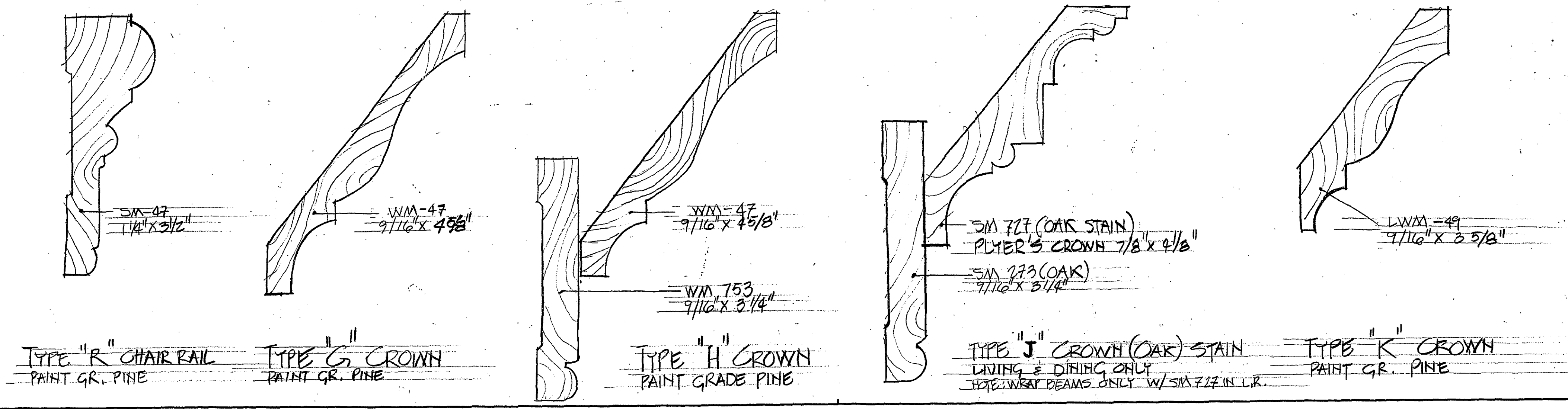
4 PERGOLA (POOL) ELEVATION
 SCALE: 3/8" = 1'-0"



TYPE "A" EX. TYPE "B" TYPE "C" TYPE "D"
 BASE BOARD MOLDINGS FULL SCALE



TYPE "E" EXIST. DOOR TRIM (PLAN)
 TYPE "F" SM-4 GRADY CASING
 DOOR / WINDOW TRIM TYPES



TYPE "R" CHAIR RAIL PAINT GR. PINE
 TYPE "G" CROWN PAINT GR. PINE
 TYPE "H" CROWN PAINT GRADE PINE
 TYPE "J" CROWN (OAK) STAIN LIVING & DINING ONLY
 TYPE "K" CROWN PAINT GR. PINE

11/10/98 - ISSUED FOR HPC REVIEW & PERMITS
 NO. DATE REVISION BY

PROPOSED ALTERATIONS & ADDITIONS TO:
ARONSON RESIDENCE
 7611 Takoma Avenue
 Takoma Park, MD 20912
 PROJECT

TITLES
 DATE: 30 OCT 98
 SCALE: VARIES
 DRAWN BY: J.D.H.
 APPROVED BY:
 JOB NO:

A-9
 SHEET OF



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 9-9-98

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator *GDZ*
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

_____ Approved _____ Denied

Approved with Conditions: (1) The turnaround will be located 21' back from the sidewalk; (2) The turnaround will be set 8' from the north property line; ⁽³⁾ The turnaround will be 18' wide; (4) There are expectations of landscaping (which should be reviewed by the HPC); (5) The previous approval is replaced with this approval.

→ and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Bernard Aranson

Address: 7611 Takoma Avenue, Takoma Park, MD 20912

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 9-9-98

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator *GW*
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

Speakers - Lorraine Pensall
N. Tak. Citizen
Assoc

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Jim Benfield
Co-Chair
North Citizens
Assoc.

Address: 7611 Takoma Avenue

Meeting Date: 9/9/98

Resource: Takoma Park Historic District

Review: HAWP

Case Number: 37/3-98W REVISION

Tax Credit: No

Public Notice: 8/26/98

Report Date: 9/2/98

Applicant: Mr. Bernard Aronson

Staff: Robin D. Ziek

PROPOSAL: Delete garage, build open pool pavilion,
revise parking, revise kitchen entrance

RECOMMENDATIONS: APPROVAL
w/CONDITIONS - See Motion
BY HPC

George - may approve 4 squares ~~already~~...

PROJECT DESCRIPTION

RESOURCE: Outstanding Resource in the Takoma Park Historic District

STYLE: Four Square/Colonial Revival

DATE: c1910 - 1920s

Motion: Steve - "approve as per the applicant's
revision plus it be shifted back to 20'
from sidewalk & can be 18' or 20'
as needed."

The subject property is a 2-1/2 story frame structure with stucco siding. Architecturally, it in width has the symmetry of the Colonial Revival style, and the roofline of the Four Square. In the Takoma Park Guidelines, the survey notes that this house is "one of a kind" in the historic district. "and negate previous approval"

The applicant came before the HPC on May 27, 1998 and June 10th, at which point the project was approved by the HPC. (See Circle 7). The applicant comes before the HPC now with proposed revisions to the project.

PROPOSAL

Emily Secods:
Vote: 3/3 defeated.

1. Delete the 2-car garage and the connector piece between the house and the garage.
2. Construct a small open garden pavilion adjacent to the new swimming pool.
3. Construct a privacy fence of a height of 6'-0", consisting of solid board with lattice work above.
4. Delete the mudroom and enclosed stairway adjacent to the kitchen.
5. Construct open stairs leading from grade to the kitchen entrance.
6. Revise parking area for parking for two cars (18' wide) and a turn-around (24' wide). Pave parking area and driveway with paver, asphalt, or concrete.

2 Susan - motion - approve as per staff recommendation.
Motion - Secods.
Vote - 2/4 Defeated

1

STAFF DISCUSSION

Staff notes that the proposed site plan appears very different from the previously approved site plan because the existing plant material is shown rather than a proposed new landscaping plan. The applicant's architect has explained that they are only asking for approval for the new "hardscape". It is staff's understanding that any new landscape plan which involved extensive grading or new plantings would be presented on a separate occasion; the HPC may wish to confirm this with the applicant.

The proposed reduction in the building program seems appropriate at this location. The privacy fence is placed to the back edge of the house, and will provide the required safe enclosure around the pool, as required by Montgomery County code.

Staff has concerns about the amount of paving proposed in the front side yard, while noting that any of the paving materials discussed with the applicant appear suitable. The applicant has the luxury of space at this property, with extensive road frontage along Takoma Avenue. The proposed parking area is completely in the side yard of his home, but this side yard is a significant amount of open space along the street. The typical pattern along Takoma Avenue is for a narrow driveway with or without a garage. The front yards are uniformly landscaped and open spaces.

This application appears to be proposing what amounts to potential parking for 4 vehicles to accomplish the desired amenity for a place to turn vehicles around to drive head out of the driveway. Staff has drawn up a proposal (see Circle 19) which significantly reduces the amount of paving in the front yard while still providing the opportunity for the turn-around for consideration by the HPC and the applicant.

In the previous application, the curbcut was proposed to be moved to effectively increase the yard in front of the house. This was emphasized with the angle of the new walkway, and the integration of this walk with the new proposed driveway, which corresponded with the proposed new garage. The revised application is much simpler and reflects more the general conditions along Takoma Avenue except for the amount of paving of the front yard. The existing curbcut helps delineate a yard in front of the house and a side yard.

STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

3) Steve: Propose 18' turn around wide
8' from side yard
20' back from street
Emily - 2nd
note: 3/3 no motion

4) Steve: Reproposes Motion 3
Emily - 2nd
Vote - 4/2 passes
and w/ expectation of appropriate landscaping. (1A)

IMPORTANT MESSAGE

FOR Robert

DATE 9/9 TIME 4:25 A.M. P.M.

M Lorraine Pearsall

OF _____

PHONE 202-833-8077

FAX

MOBILE

TELEPHONED	<input checked="" type="checkbox"/>	PLEASE CALL	<input checked="" type="checkbox"/>
CAME TO SEE YOU	<input type="checkbox"/>	WILL CALL AGAIN	<input type="checkbox"/>
WANTS TO SEE YOU	<input type="checkbox"/>	RUSH	<input type="checkbox"/>
RETURNED YOUR CALL	<input type="checkbox"/>	SPECIAL ATTENTION	<input type="checkbox"/>

MESSAGE Co-chair w/

North Talman Citizens
Assoc.

Large Sweeping Ours very Special

SIGNED Lorraine Pearsall

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7611 Takoma Avenue Meeting Date: 9/9/98
Resource: Takoma Park Historic District Review: HAWP
Case Number: 37/3-98W REVISION Tax Credit: No
Public Notice: 8/26/98 Report Date: 9/2/98
Applicant: Mr. Bernard Aronson Staff: Robin D. Ziek
PROPOSAL: Delete garage, build open pool pavilion, RECOMMENDATIONS: APPROVAL
revise parking, revise kitchen entrance w/CONDITIONS

PROJECT DESCRIPTION

RESOURCE: Outstanding Resource in the Takoma Park Historic District
STYLE: Four Square/Colonial Revival
DATE: c1910 - 1920s

The subject property is a 2-1/2 story frame structure with stucco siding. Architecturally, it has the symmetry of the Colonial Revival style, and the roofline of the Four Square. In the Takoma Park Guidelines, the survey notes that this house is "one of a kind" in the historic district.

The applicant came before the HPC on May 27, 1998 and June 10th, at which point the project was approved by the HPC. (See Circle 7). The applicant comes before the HPC now with proposed revisions to the project.

PROPOSAL

1. Delete the 2-car garage and the connector piece between the house and the garage.
2. Construct a small open garden pavilion adjacent to the new swimming pool.
3. Construct a privacy fence of a height of 6'-0", consisting of solid board with lattice work above.
4. Delete the mudroom and enclosed stairway adjacent to the kitchen.
5. Construct open stairs leading from grade to the kitchen entrance.
6. Revise parking area for parking for two cars (18' wide) and a turn-around (24' wide). Pave parking area and driveway with paver, asphalt, or concrete.

(1)

STAFF DISCUSSION

Staff notes that the proposed site plan appears very different from the previously approved site plan because the existing plant material is shown rather than a proposed new landscaping plan. The applicant's architect has explained that they are only asking for approval for the new "hardscape". It is staff's understanding that any new landscape plan which involved extensive grading or new plantings would be presented on a separate occasion; the HPC may wish to confirm this with the applicant.

The proposed reduction in the building program seems appropriate at this location. The privacy fence is placed to the back edge of the house, and will provide the required safe enclosure around the pool, as required by Montgomery County code.

Staff has concerns about the amount of paving proposed in the front side yard, while noting that any of the paving materials discussed with the applicant appear suitable. The applicant has the luxury of space at this property, with extensive road frontage along Takoma Avenue. The proposed parking area is completely in the side yard of his home, but this side yard is a significant amount of open space along the street. The typical pattern along Takoma Avenue is for a narrow driveway with or without a garage. The front yards are uniformly landscaped and open spaces.

This application appears to be proposing what amounts to potential parking for 4 vehicles to accomplish the desired amenity for a place to turn vehicles around to drive head out of the driveway. Staff has drawn up a proposal (see Circle 19) which significantly reduces the amount of paving in the front yard while still providing the opportunity for the turn-around for consideration by the HPC and the applicant.

In the previous application, the curbcut was proposed to be moved to effectively increase the yard in front of the house. This was emphasized with the angle of the new walkway, and the integration of this walk with the new proposed driveway, which corresponded with the proposed new garage. The revised application is much simpler and reflects more the general conditions along Takoma Avenue except for the amount of paving of the front yard. The existing curbcut helps delineate a yard in front of the house and a side yard.

STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

STAFF DISCUSSION

Staff notes that the proposed site plan appears very different from the previously approved site plan because the existing plant material is shown rather than a proposed new landscaping plan. The applicant's architect has explained that they are only asking for approval for the new "hardscape". It is staff's understanding that any new landscape plan which involved extensive grading or new plantings would be presented on a separate occasion; the HPC may wish to confirm this with the applicant.

The proposed reduction in the building program seems appropriate at this location. The privacy fence is placed to the back edge of the house, and will provide the required safe enclosure around the pool, as required by Montgomery County code.

Staff has concerns about the amount of paving proposed in the front side yard, while noting that any of the paving materials discussed with the applicant appear suitable (see Circle 9). The applicant has the luxury of space at this property, with extensive road frontage along Takoma Avenue. The proposed parking area is completely in the side yard of his home, but this side yard is a significant amount of open space along the street. The typical pattern along Takoma Avenue is for a narrow driveway with or without a garage. The front yards are uniformly landscaped and open spaces.

This application appears to be proposing (see Circle 18) what amounts to potential parking for 4 vehicles to accomplish the desired amenity for a place to turn vehicles around to drive head out of the driveway. Staff has drawn up a proposal (see Circle 19) which significantly reduces the amount of paving in the front yard while still providing the opportunity for the turn-around for consideration by the HPC and the applicant.

In the previous application, the curbcut was proposed to be moved to effectively increase the yard in front of the house. This was emphasized with the angle of the new walkway, and the integration of this walk with the new proposed driveway, which corresponded with the proposed new garage. The revised application is much simpler and reflects more the general conditions along Takoma Avenue except for the amount of paving of the front yard. The existing curbcut helps delineate a yard in front of the house and a side yard.

STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

CONDITIONS:

1. The applicant shall reduce the amount of paving associated with the driveway and vehicles as per the staff concept on Circle 19.

and subject to the general conditions:

- (1) The applicant will provide the permit set of drawings to HPC staff for review and stamping prior to applying for the building permit with DPS; and**
- (2) After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.**

CRONE ASSOCIATES ARCHITECTS

8931 COLESVILLE ROAD, SILVER SPRING, MD 20910 301-587-3000 FAX 301-587-3118



19 August 1998

Gwen Wright, Coordinator
Historic Preservation Commission
8787 Georgia Ave.
Silver Spring, Md. 20910

RE: HAWP case no. 37/3-98W
Bernard Aronson Residence
7611 Takoma Ave.
Takoma Park, Maryland 20912

Dear Ms. Wright

As architects for the Owner, Bernard Aronson, we have mutually agreed to scale back the proposed project scope from our initial, approved proposal before the HPC to the extent that we are requesting your approval of our final design before completing permit drawings.

On June 10, 1998, a memorandum (attached) was issued by the HPC approving our application for alterations and additions to the above referenced property with two stipulations: (a), option to retain or delete segment of private sidewalk from street to public sidewalk, and (b), applicant to provide permit set to HPC staff for final review and approval before applying for permit. All other conditions regarding design had been previously discussed, recommendations made by the HPC and changes made to the design to reflect their concerns.

The primary changes made to our design since last HPC approval are as follows:

1. The 2 car Garage has been deleted, the connecting, covered link from house to garage, and in its place a much smaller open garden pavilion proposed which will be located behind the privacy fence as located on site plan. It is a free standing, approximately 9' x 12'.
2. The proposed enclosed mud room adjacent kitchen has been deleted and plans allow for open stairs to grade in its place.
3. The new curb cut has been deleted and we will keep the existing curb cut as is, with proposed driveway width not to exceed 12 feet. The parking area,

6'-0"
Height

37/3-98W

(4)

p.2

as a result has been reconfigured as per the attached site plan to allow for parking to the left of the drive, rather than the right side of drive as in previous plan.

Submitted herewith are revised drawings for the HPC's consideration:

- a. Site plan (revised)
- b. Streetscape elevation showing neighboring homes (revised)
- c. North elevation (front) revised.
- d. South and East elevations (revised).

Should there be any additional information requested of us from the commission that you feel is necessary to submit prior to the next hearing date on September 9th, we hope you will not hesitate to contact our office.

Sincerely



Richard D. Crone, Architect

5

CRONE ASSOCIATES ARCHITECTS

8931 Colesville Road - Silver Spring, Maryland 20910

TEL 301 587 3000 - FAX 301 587 3118

FACSIMILE TRANSMITTAL COVER SHEET

Date 9.02.98
TO Robin Ziek HPC
FAX 301 563 3412
FROM: Richard Crone

Number of pages to follow: 3

Please call (301) 587 3000 if you do not receive all pages
Return fax number : (301) 587 3118

Dear Robin

After speaking with you yesterday afternoon, I spoke with my client Bernard Aronson this morning about the various issues, all of which is in complete agreement.

A. Amount of paving in front yard to be cut from 24' to 20' in width. I have enclosed a partial paving plan to show reduced width to 20 for you files. The double line around parking and turn around areas only indicate a brick or cobble border to contain the future paving material, whether asphalt, concrete, etc. It is not a retaining wall.

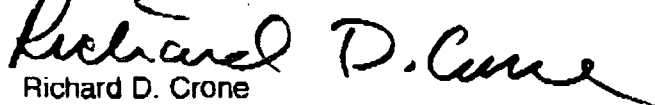
B. Ht. of fence to be 6' to top of the top rail of fence.

C. Stone retaining wall will stop several feet short of the walk along right side of driveway as modified on the new plan.

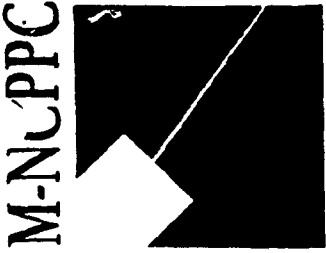
D. Enclosed are plans of both lower level basement plan and first floor plan to more clearly demonstrate the proposed side steps down to grade in lieu of any structure or previously proposed mudroom connecting to a no longer existing garage addition.

Please phone if you have any further questions or comments about our application. I hope we can count on your recommendation to the commission on the above issues outstanding.

Sincerely



Richard D. Crone
cc. Bernard Aronson



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 6-10-98

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator *ADZ*
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

 Approved Denied

 X Approved with Conditions:

- (1) Applicant has the option to retain or delete segment of sidewalk ^{"arrange"} from street to public sidewalk.
- (2) Applicant to provide permit set to HPL staff for review and stamping prior to applying for building permit w/ DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

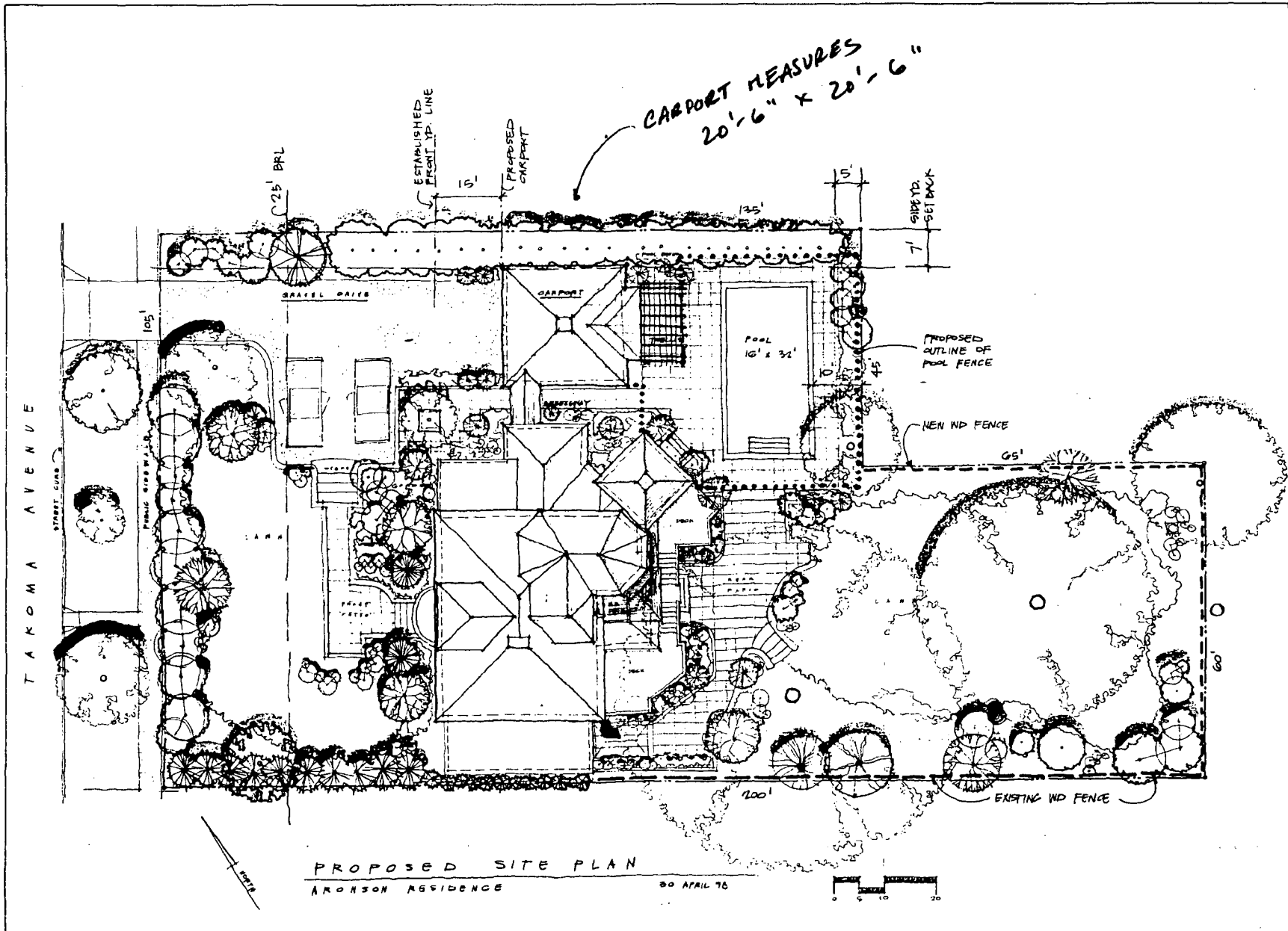
Applicant: Mr. Bernard Aronson

Address: 7611 Takoma Avenue, Takoma Park MD 20912

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DPS/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.

(7)

Approved w/ Conditions 5/12/78



PROPOSED SITE PLAN
 ARONSON RESIDENCE
 30 APRIL 76

NO.	DATE	REVISION	BY

PROPOSED ALTERATIONS TO
 ARONSON RESIDENCE
 7611 Takoma Avenue
 Takoma Park, MD 20912

TITLE
DATE 30 APR 76
SCALE
DRAWN BY
APPROVED BY
JOB NO.

Handwritten circled numbers 12 and 8.

CRONE ASSOCIATES ARCHITECTS
 391 COLUMBIA ROAD
 SILVER SPRING, MD 20910
 (301) 587-3000 FAX (301) 587-3110

NO. DATE REVISION BY

PROPOSED ALTERATIONS & ADDITIONS TO:
ARONSON RESIDENCE
 7111 Takoma Avenue
 Takoma Park, MD 20912

PROJECT

Revision
 Submission to H.P.C.

TITLE

DATE: *Aug. 19, 1998*

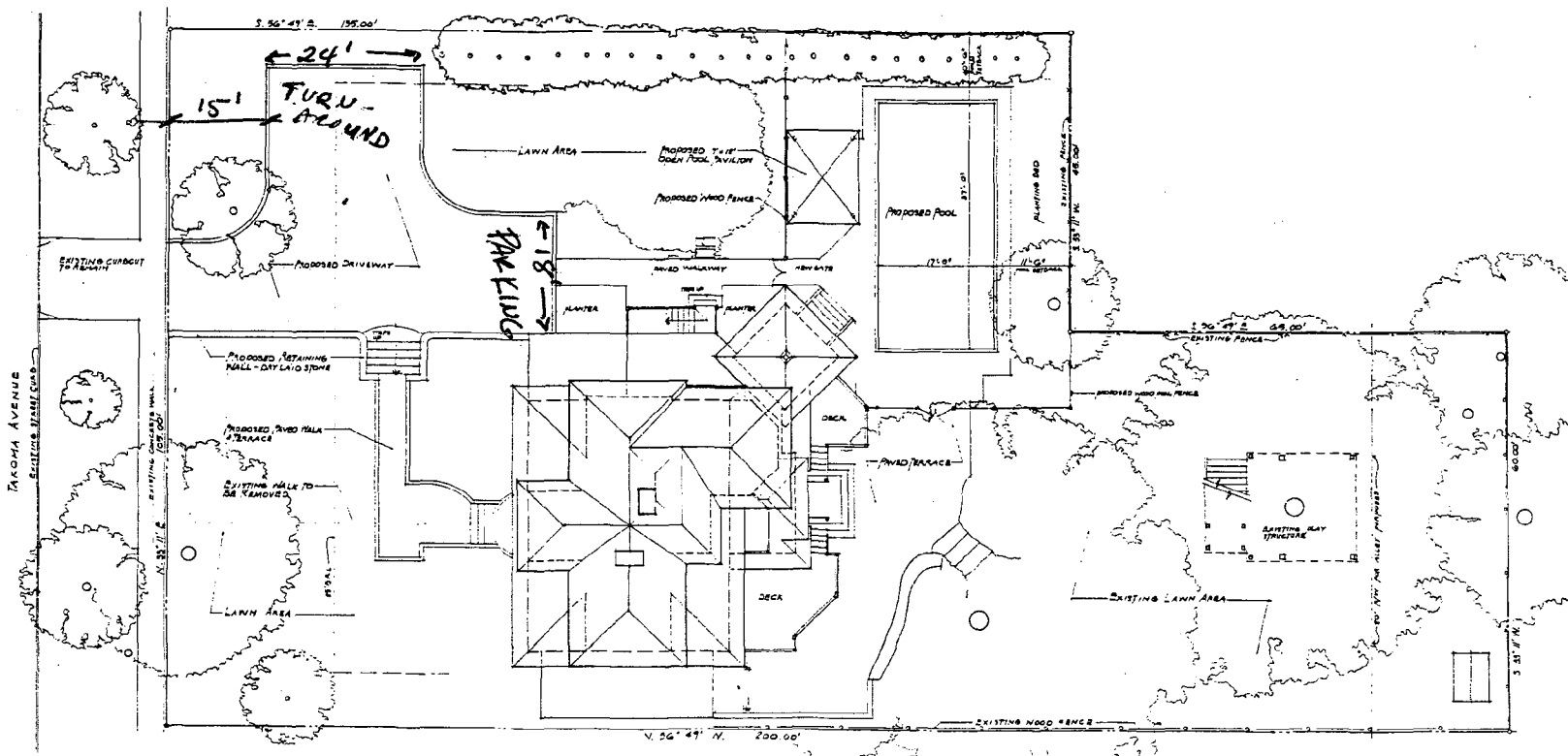
SCALE

DRAWN BY

APPROVED BY

JOB NO.

1
 SHEET 14

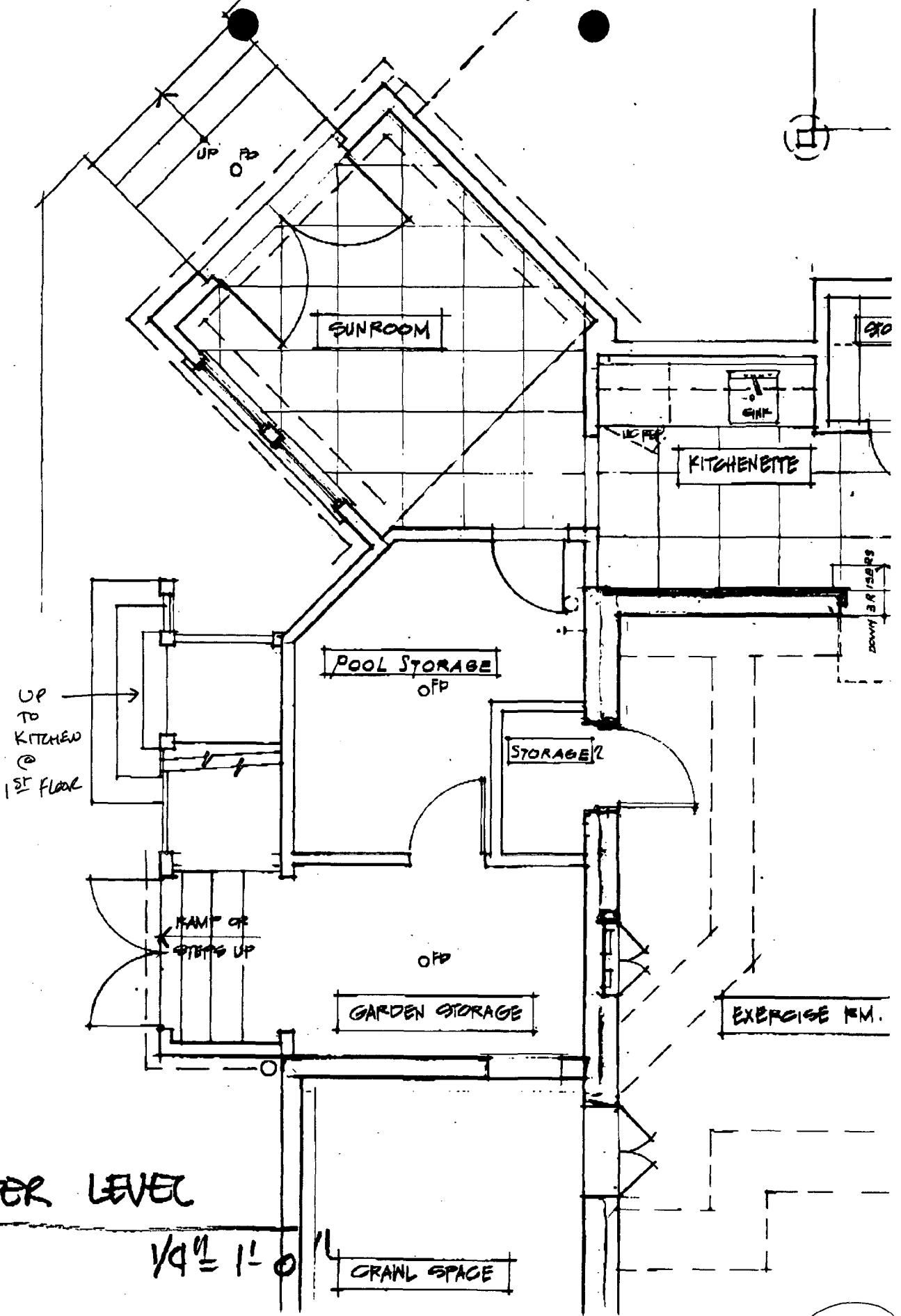


PROPOSED SITE PLAN
 SCALE 1/8" = 1'-0"

Cont'd. of 20

Proposed

9

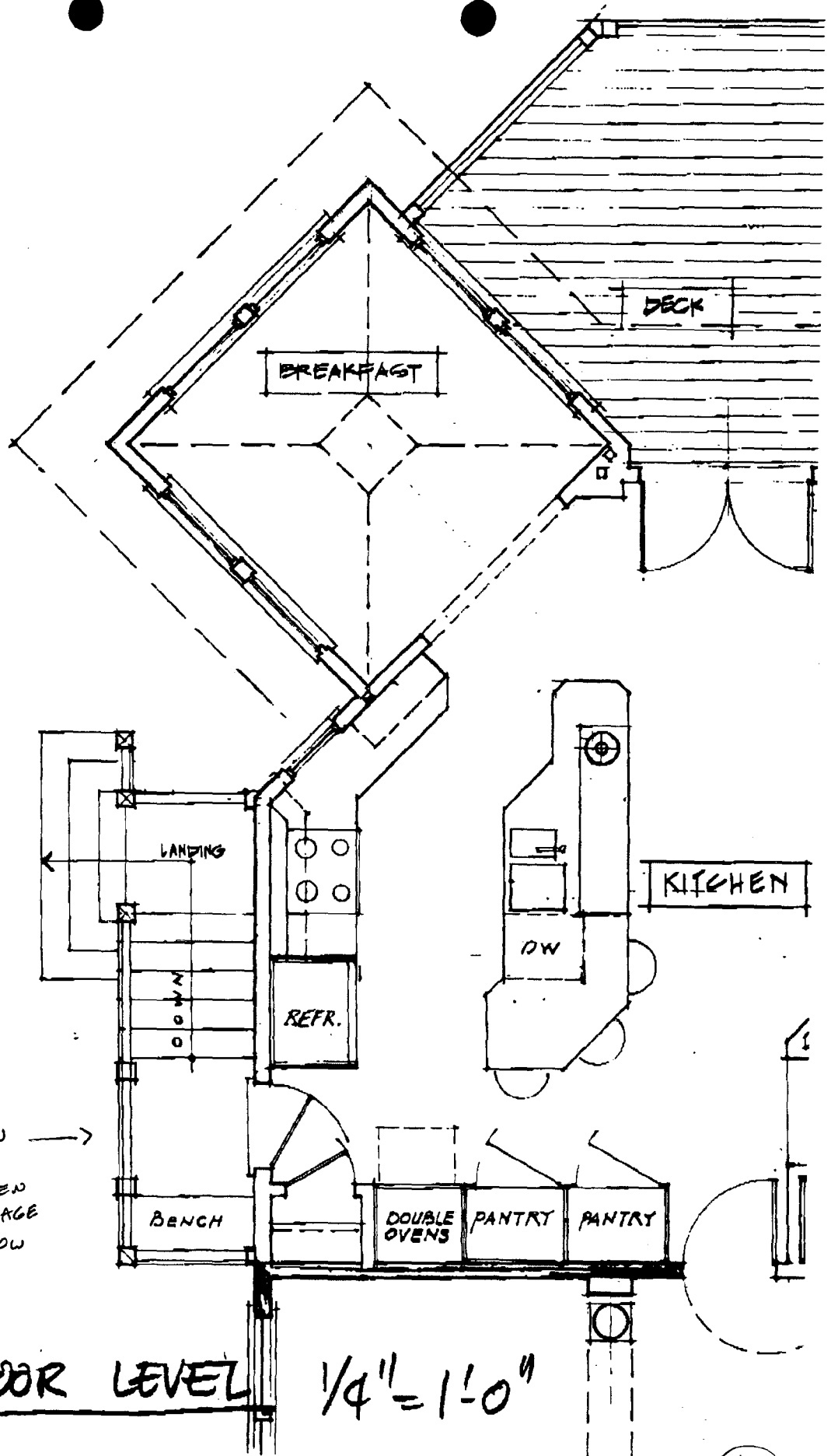


LOWER LEVEL

1/4" = 1'-0"

PROPOSED

10



FIRST FLOOR LEVEL

1/4" = 1'-0"

PROPOSED

11



RIGHT SIDE ELEVATION



FRONT ELEVATION

EXISTING



ASSOCIATED ARCHITECTS
 2011 CELESTINE ROAD
 SILVER SPRING, MD 20910
 (301) 987-8000 FAX (301) 987-1118

NO.	DATE	REVISION	BY

PROPOSED ALTERATIONS TO
 ARBONSON RESIDENCE
 7811 Talbott Avenue
 Takoma Park, MD 20912

TITLE

DATE: 2/2/19
 SCALE:
 DRAWN BY:
 APPROVED BY:
 JOB NO:

6
 SHEET 6 OF 12

12
~~19~~

20
13

11

NO. 11 OF 12

DATE 11/11/11

SCALE 1/8" = 1'-0"

DESIGNED BY [Signature]

DRAWN BY [Signature]

CHECKED BY [Signature]

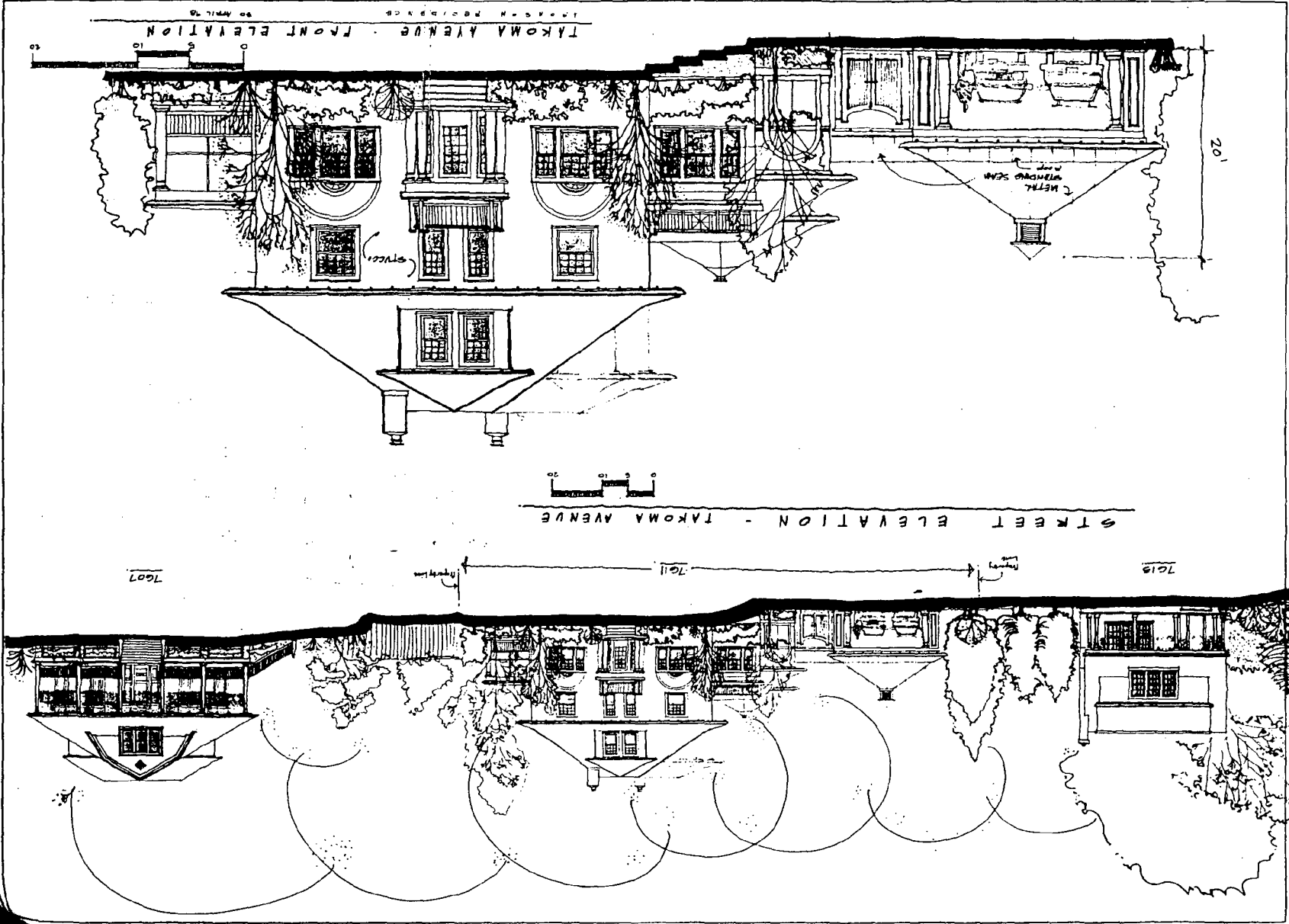
APPROVED BY [Signature]

PROJECT

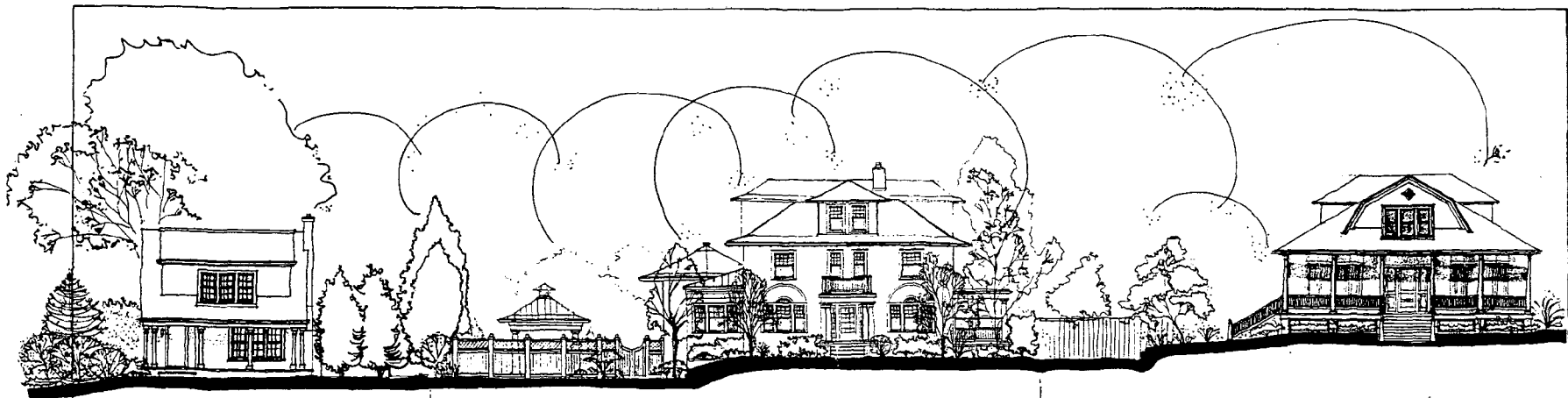
FORWARDED ATTENTION TO

FOR ARCHITECTURAL RECORDS

DATE REVISION



Approved w/ Conditions 5/27/18



7619

Property Line

7611

Property Line

7607

STREET ELEVATION - TAKOMA AVENUE



TAKOMA AVENUE - FRONT ELEVATION

ARONSON RESIDENCE

29 APRIL 95
17 AUGUST 95 - REV. SUBMISSION TO H.P.C.

CRONE ASSOCIATES ARCHITECTS

4991 COLEVILLE ROAD
SILVER SPRING, MD 20910
301/597-3000 FAX: 301/583-3118

□ □ □ □ □

NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912

PROJECT

Revision
Submission to H.P.C.

TITLE

DATE 19AUG.95

SCALE

DRAWN BY

APPROVED BY

H.R. NO.

2

SHEET

PROPOSED 9/19/95

14

12
51

Sheet 7 of 12

2

ON NO.
APPROVED BY
DESIGNED BY
SCALE
DATE OF PROJ.
TITLE

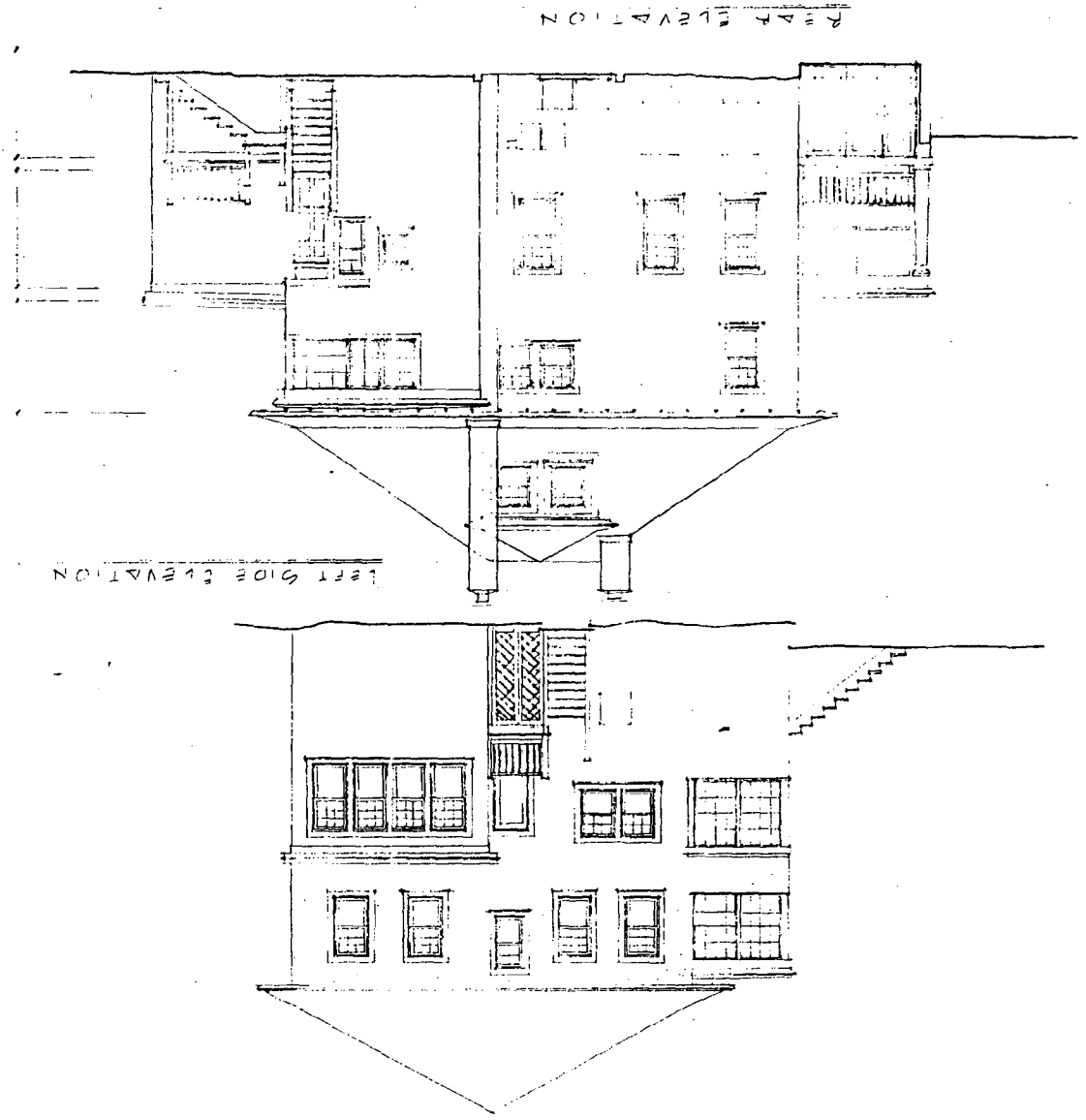
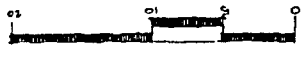
PROJECT

PROPOSED ALTERNATIVE TO
ARCHON RESIDENCE
301 Tenth Avenue
EAST DENVER, COLORADO

NO DATE EDITION

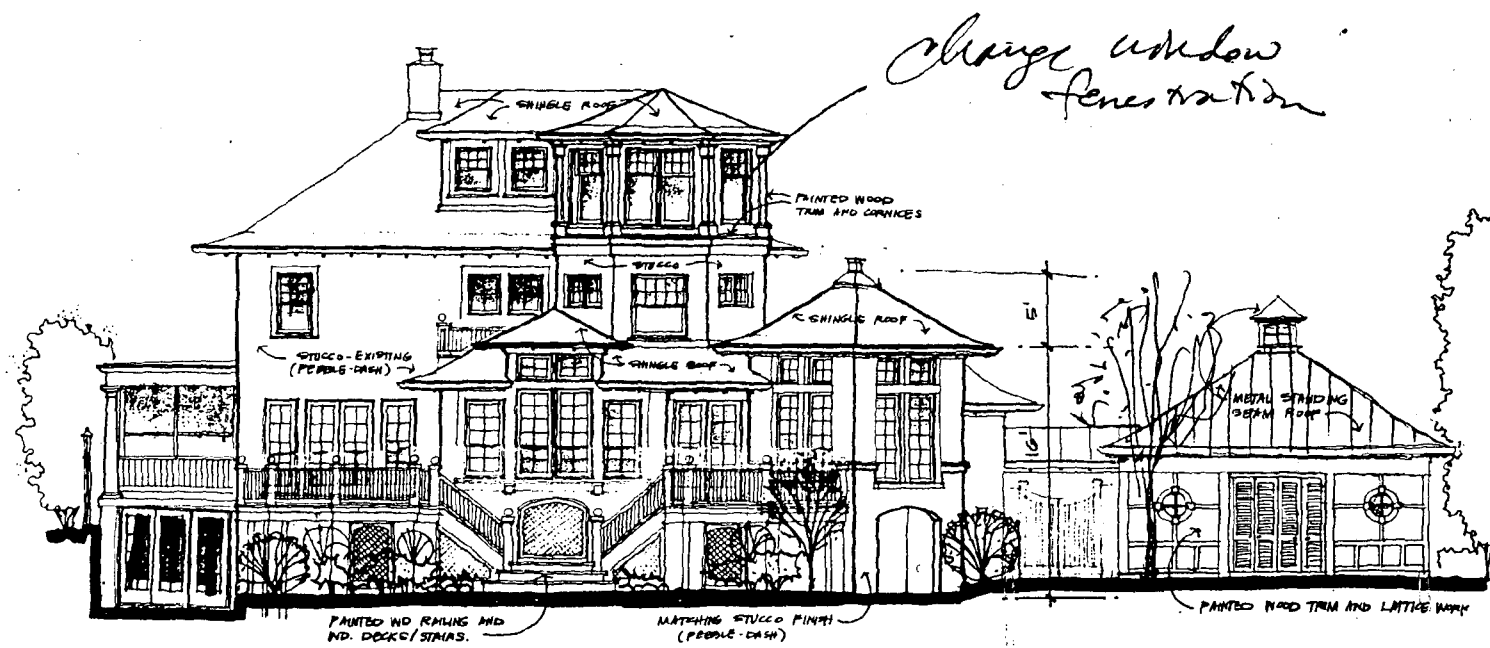
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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10/13/2000
10/13/2000
10/13/2000
10/13/2000



EXISTING

Approved w/ Conditions 5/27/98



REAR ELEVATION
ARONSON RESIDENCE

30 APRIL 91

ASSOCIATED ARCHITECTS
1911 COLLETTA ROAD
SILVER SPRING, MD 20910
(301) 597-3333 FAX (301) 597-3334

NO. DATE REVISION

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7811 Taborville Road
Towson Park, MD 20912

TITLE
DATE 30 APRIL 91

SCALE

DRAWN BY

APPROVED BY

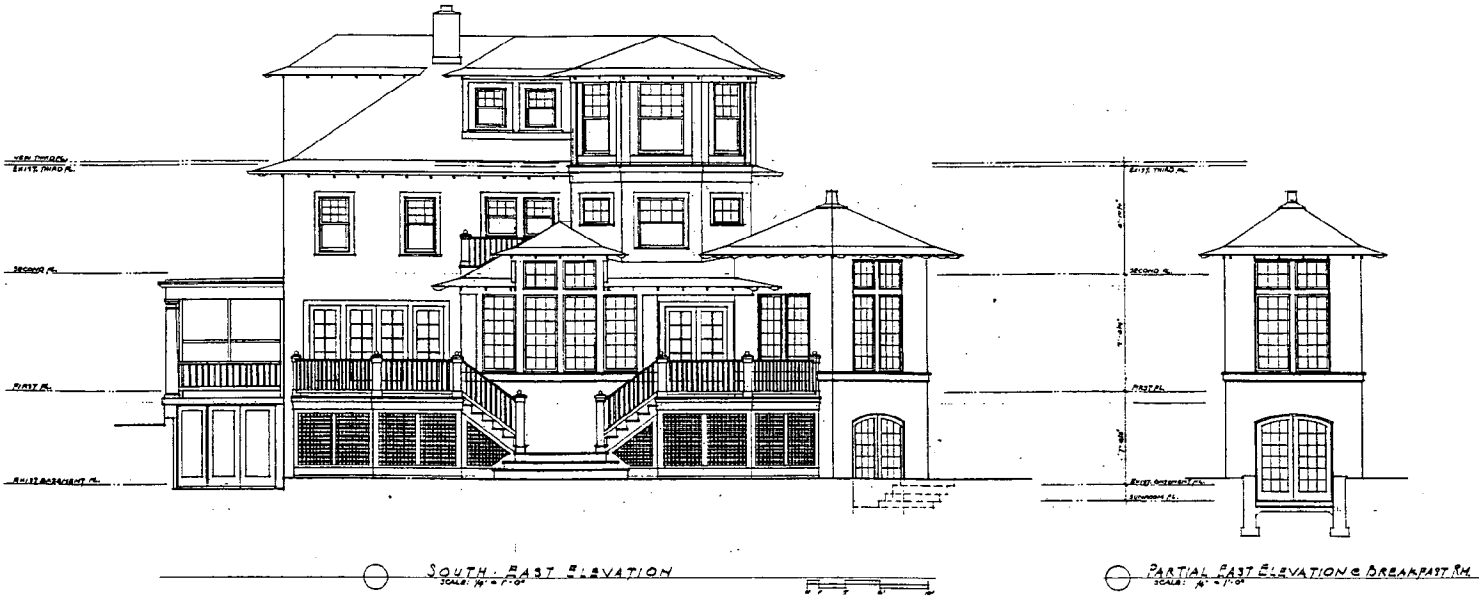
JOB NO.

12

SHEET 12 OF 12

22
16

CRONE ASSOCIATES ARCHITECTS
 9811 ROCKEVILLE ROAD
 SILVER SPRING, MD 20912
 (301) 587-3000 FAX (301) 587-3118



SOUTH-EAST ELEVATION
 SCALE: 1/4" = 1'-0"

PARTIAL EAST ELEVATION & BREAKFAST RM.
 SCALE: 1/4" = 1'-0"



NORTH-EAST ELEVATION
 SCALE: 1/4" = 1'-0"

Revised 9/9/98

17

NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
 ARONSON RESIDENCE
 7811 Takoma Avenue
 Takoma Park, MD 20912

PROJECT

Revison
 Submission to H.P.C.

TITLE

DATE 19 AUG 98

SCALE

DRAWN BY

APPROVED BY

JOB NO.

3

SHEET 1A

SITE PLAN REVISED 9.02.96

1/8" = 1'-0"

S. 56° 49' E. 135.00'

15'-0"

20'-0"

24'-0"

LAWN AREA

EXISTING CURB CUT TO REMAIN

PROPOSED DRIVEWAY W/ BRICK BORDER

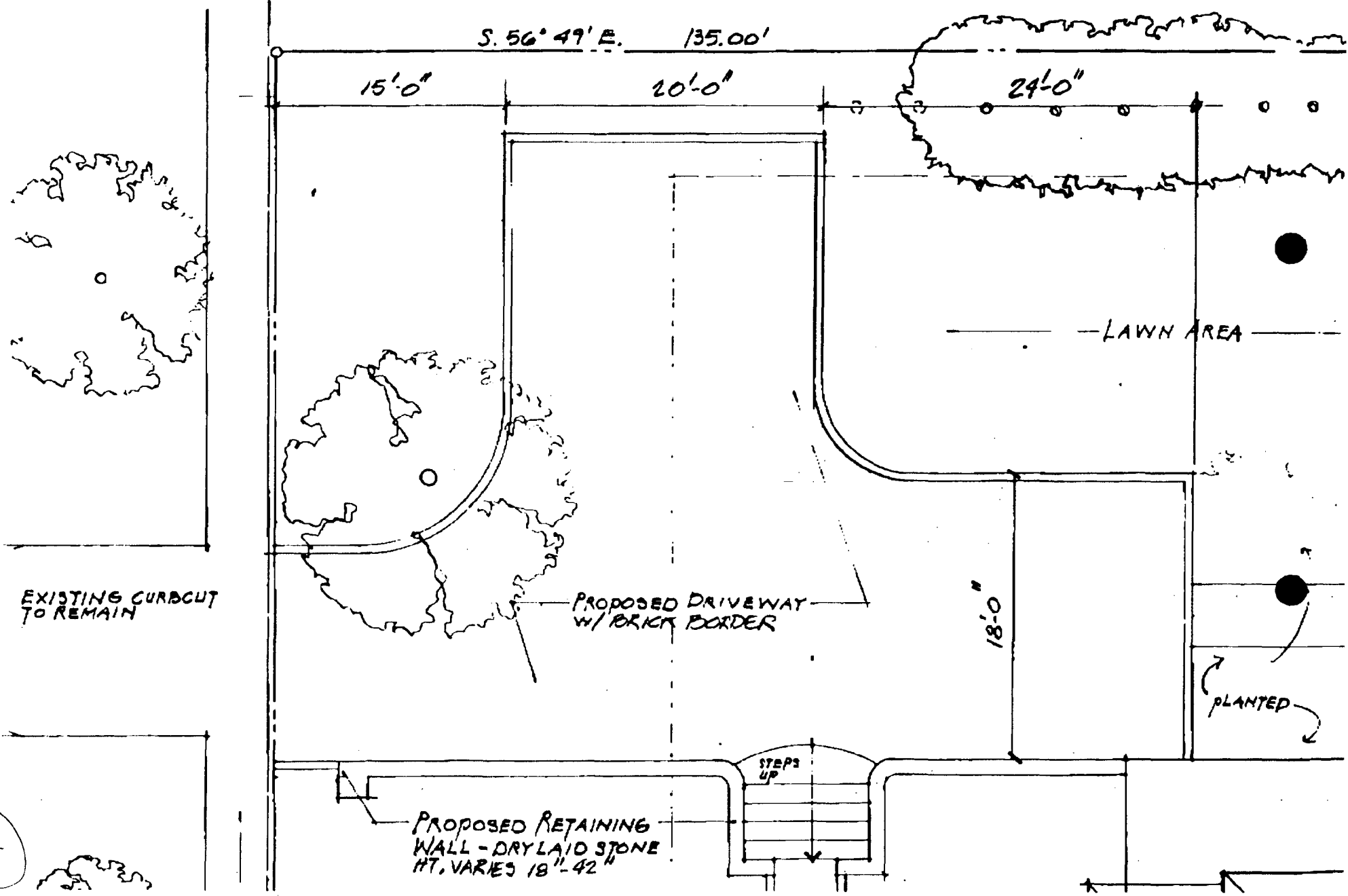
18'-0"

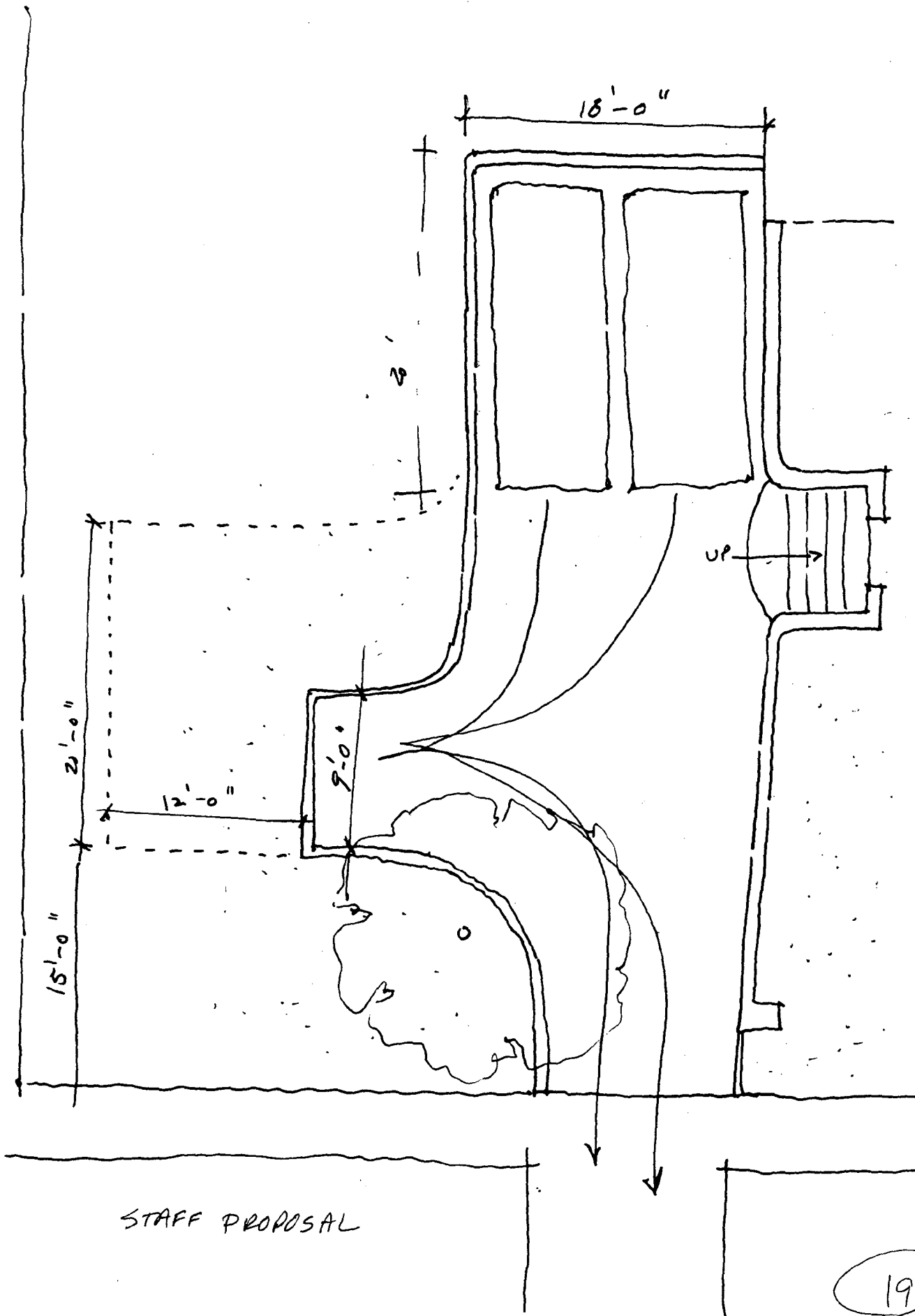
PLANTED

PROPOSED RETAINING WALL - DRY LAID STONE
HT. VARIES 18" - 42"

STEPS UP

5





STAFF PROPOSAL



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 6-10-98

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator *GW*
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved

Denied

Approved with Conditions: _____

(1) applicant has the option to retain or delete segment of sidewalk ^{“errate”} from street to public sidewalk.

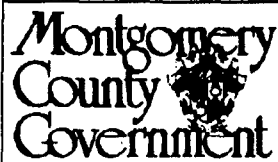
(2) Applicant to provide permit set to HPC staff for review and stamping prior to applying for building permit w/ DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Mr. Bernard Aranson

Address: 7611 Takoma Avenue, Takoma Park MD 20912

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DPS/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



RETURN TO: Department of Environmental Protection
 Division of Development Services and Regulation
 250 Hungerford Drive, Rockville, Maryland 20850
 (301) 217-6370

Historic Preservation Commission
 (301) 495-4570

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 1325-1057353 CONTACT PERSON BERNARD CRONE or LUIS SANTIAGO
 NAME OF PROPERTY OWNER MR. BERNARD ARONSON DAYTIME TELEPHONE NO. (301) 587-3000
 ADDRESS 7011 TAKOMA AVENUE, TAKOMA PARK, MARYLAND 20912
CITY STATE ZIP CODE
 CONTRACTOR N/A. TELEPHONE NO. () N/A.
 CONTRACTOR REGISTRATION NUMBER N/A.
 AGENT FOR OWNER CRONE ASSOCIATES ARCHITECTS DAYTIME TELEPHONE NO. (301) 587-3000

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 7011 STREET TAKOMA AVENUE
 TOWN/CITY TAKOMA PARK NEAREST CROSS STREET FENTON ST.
PARCELS: 22 + 23
 LOTS 25 + 26 BLOCK 74 SUBDIVISION NORTH TAKOMA
 LIBER 2831 FOLIO 538 PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: A/C Slab Room Addition
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____
 1B. CONSTRUCTION COST ESTIMATE \$ _____
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A.

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line Entirely on land of owner On public right of way/easement

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Signature of owner or authorized agent _____ Date 06 MAY 1998

APPROVED X Menditions For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature _____ Date 6/10/98

APPLICATION/PERMIT NO: 9805060131 DATE FILED: 5-6-98 DATE ISSUED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 6-10-98

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator *RDZ*
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

Continued to
June

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7611 Takoma Avenue Meeting Date: 5/27/98
Resource: Takoma Park Historic District Review: HAWP
Case Number: 37/3-98W Tax Credit: No
Public Notice: 5/13/98 Report Date: 5/20/98
Applicant: Mr. Bernard Aronson Staff: Robin D. Ziek
PROPOSAL: New garage, swimming pool, RECOMMENDATIONS: APPROVAL
rear addition, and landscape alterations w/CONDITIONS

PROJECT DESCRIPTION

RESOURCE: Outstanding Resource in the Takoma Park Historic District
STYLE: Four Square/Colonial Revival
DATE: c1910 - 1920s

The subject property is a 2-1/2 story frame structure with stucco siding. Architecturally, it has the symmetry of the Colonial Revival style, and the roofline of the Four Square. In the Takoma Park Guidelines, the survey notes that this house is "one of a kind" in the historic district. Takoma Avenue is somewhat wider than the typical street in Takoma Park, and has a substantial number of outstanding resources on the street. This block of Takoma Avenue faces the campus of the Montgomery County Community College.

The subject property has substantial road frontage of 105', with the main portion containing the house of 60' x 200', and a sideyard measuring 45' x 135'. (See Circle 12.) The property involves some steep topography, including a drop of approximately 6' between the sideyard and the property with the house (note the existing stairs at the side and rear. See Circle 11).

The house consists of a 2-1/2 story central block, with a central doorway. There are flanking 1-story pieces consisting of a screened porch adjacent to the living room and running the length of the house, and a sunporch off of the dining room. There are small stacked porches at the rear, but these are both enclosed at this point. Other alterations include the installation of full-light doors/windows under the side porch facing the backyard, and what may be a non-original chimney at the back of the house.

PROPOSAL

The applicant proposes to make substantial changes to the landscape of the site, in conjunction with the construction of a rear/side addition, a two-car garage and an in-ground pool.

1

The changes will provide an enlarged kitchen, a large family room, a breakfast room, a developed master bedroom suite, and additional office/recreation space in the attic level.

The proposed location of the two-car garage at the side of the main house on the sideyard is driven by the most suitable location for the in-ground pool, towards the back of the sideyard. The garage structure is conceived as a large pavilion in the landscape which will provide a backdrop for the pool as well as screen the pool from the street. Due to the existing zoning requirements, the proposed new garage must attach in some minimal fashion to the house to be considered at a location forward of the backyard. The applicant proposes to do this with an open-air covered walkway. Security for the rear garden area would be provided with gates between the garage and the house, which would effectively screen a view of the walkway from the street.

Additional landscape work includes a proposal to build a berm along the front of the property to provide privacy for the front yard. The existing front sidewalk would be removed and the berm would be planted for adequate screening from the street. Access to the front door would be provided by a new walkway leading from the new gravel driveway, with its turn-around, to a patio in front of the front steps.

Patio paving is proposed around the house in a continuous stream from the front door to the back of the screened porch in the backyard. The pool area would be paved and the patio treatment would continue the full width of the property behind the house, providing a generous patio landing for the back steps from two rear decks.

The alterations to the house itself include the addition of a mudroom/entry leading up from the garage to the kitchen. The stairway in this mudroom/entry piece is necessary because of the change in grade from the sideyard to the main house. The rear of the house would be enlarged to fill in the space behind the existing sunporch, with the new kitchen area and the enlarged family room. The existing first-floor porch and second-floor sleeping porch would be removed. a small breakfast pavilion would be built off of the kitchen, which would take advantage of the views to the rear garden and the pool area.

The additional added behind the existing sunporch, including the new mudroom and the breakfast room, would be one-story only to maintain the hierarchy of the existing architecture. However, within this main block, the rear addition would be a full 3 stories to provide the master bedroom suite on the 2nd floor and an office/entertainment area on the 3rd floor. The effect of this would be a tower at the back of the house.

The applicant proposes to use high-quality materials throughout the project, including matching the stucco siding, wood windows with TDL, and standing seam metal on the garage.

STAFF DISCUSSION

This is a well thought-out project which has much merit. The proposed use of a new garage forward of the backyard is unusual, but may be appropriate at this particular location given the size of the particular property. The use of single-story additions to the left side of the house

seems to be the appropriate step to provide additional living space yet stay in-keeping with the existing massing. The proposed use of matching materials for the new work seems appropriate in this instance because the massing is distinctly additive and "modern". The use of new thermal windows will also provide a dating mechanism.

Staff has several concerns which have been discussed with the applicant's architect. This includes the following:

1. The proposal for the landscaping in the front yard would alter the traditional relationship of the house to the street, in the way that the house visibly fronts the street and the front sidewalk leads one right up to the front door. In this particular proposal, there would be no clear access to the front door and the front yard would be screened from the public view. Staff feels that the front walkway should be maintained, even if the material for that walkway were changed. The additional walkway from the new driveway would be an appropriate addition to, but not a substitution for the front walk.

2. The proposed berm along the front of the property space would also be a substantial alteration of the traditional relationship between the front yard and the street. While plantings along the sidewalk, with or without a fence, are appropriate, the plantings which constitute a privacy fence would not be appropriate along the front yards in the historic district.

3. The proposed connecting walkway between the garage and the house is prominent at the front edge of the garage and so compromises the free-standing nature of the proposed garage. If this connecting piece were moved further back on the site, leaving a free-standing gate in place to provide the desired security for the rear yard, the garage would be "read" more likely as a free-standing structure. The applicant's architect has suggested moving this connecting piece approximately 6' back on the site, centering it on the midpoint of the garage roof. Staff feels that this would substantially help to address this issue.

4. The proposed new driveway will necessitate a new curb cut. This is substantially in the same location as the existing curb cut, and staff feels that this would be appropriate. Staff would suggest, however, that the width of the new driveway should be the minimum necessary for entry from the public sidewalk to the new turn-around, to help maintain a green edge along the sidewalk.

5. The use of the blind arcading on the front elevation of the new mudroom may focus too much attention on this subsidiary piece. Staff feels that the use of wood strapping would be sufficient, and would not detract from the strong presence of the front windows on either side of the front door.

6. The proposed tower development at the rear of the structure is inconsistent with the existing architecture. In an Outstanding Resource in Takoma Park, the HPC is directed to provide the highest level of scrutiny, and alterations should be compatible with the resource's original design. The Guidelines specify that "additions, specifically, should be sympathetic to the existing architectural character, including massing, height, setbacks and materials." (P. 15) The tower element has its closest relationship to Victorian architecture, but this structure is a combination of

(see Circle
18,
20,
22)

Four Square and Colonial Revival. These are two strong styles, and the introduction of a third stylistic element of such prominence would work against the existing architecture. Staff feels that the third floor element, as proposed, would also compromise the existing roof line, which is one of the major elements of the house due to its centralizing focusing. Staff feels that the applicant's program could be accommodated in a design which works with the existing roof elements. For example, the rear dormer could be expanded to provide the space and views to the rear yard.

STAFF RECOMMENDATION

Staff recommends that, with the following conditions, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

CONDITIONS:

- * 1. The front sidewalk will be maintained. *Applicant doesn't agree*
2. No berm will be constructed in the front yard. *Applicant agrees*
3. Front yard vegetation will not constitute a "privacy screen". *Applicant agrees*
4. The connecting link to the garage will be moved back approximately 6' on the site. *Applicant agrees*
5. The new driveway will be the minimum size required for ingress from the public sidewalk to the turn-around. *Applicant agrees*
- * 6. The use of blind arcading will be deleted. *Applicant wants to study more*
- * 7. The integrity of the roof form will be maintained, and the project redesigned to accommodate the existing architecture. Staff may approve the new design.
8. The applicant will provide the permit set of drawings to HPC staff for review and stamping prior to applying for the building permit with DPS.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

5

APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON RICHARD CRONE or LUIS SANTIAGO
 DAYTIME TELEPHONE NO. (301) 537-3000
 TAX ACCOUNT # 1325-1057353
 NAME OF PROPERTY OWNER MR. BERNARD ARONSON DAYTIME TELEPHONE NO. (202) 861-6060
 ADDRESS 7611 TAKOMA AVENUE ; TAKOMA PARK, MARYLAND 20912
CITY STATE ZIP CODE
 CONTRACTOR N/A. TELEPHONE NO. () N/A.
 CONTRACTOR REGISTRATION NUMBER N/A.
 AGENT FOR OWNER CRONE ASSOCIATES ARCHITECTS DAYTIME TELEPHONE NO. (301) 537-3000

LOCATION OF BUILDING/PREMISE
 HOUSE NUMBER 7611 STREET TAKOMA AVENUE
 TOWN/CITY TAKOMA PARK NEAREST CROSS STREET FENTON ST.
PARCELS: 22 + 23
 LOTS 25 & 26 BLOCK 74 SUBDIVISION NORTH TAKOMA
 LIBER 2331 FOLIO 533 PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: Construct Extend Alter/Renovate Repair Move Wreck/Raze Install Revocable Revision CIRCLE ALL APPLICABLE: Porch Deck Fireplace Shed Fence/Wall (complete Section 4) Single Family Other _____ A/C Slab Room Addition Solar Woodburning Stove

1B. CONSTRUCTION COST ESTIMATE \$ _____

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A.

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Signature of owner or authorized agent _____ Date 06 MAY 1998

APPROVED _____ For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature _____ Date _____

6

ARONSON RESIDENCE REVIEW ADJACENT PROPERTY OWNERS

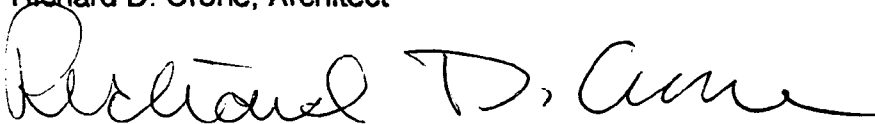
Property location 7611 Takoma Ave.
Owner: Bernard Aronson

Property on right side: 7613 Takoma Ave.
Owner: Andre M. Potterfield
Block 74, lot/parcel 21

Property on left side: 7607 Takoma Ave.
Owner: Mr. Leon Robbins
Block 74, lot/parcel 28

Property opposite on Takoma Ave.
Montgomery College
7600 Takoma Ave.
Block 70, lots 1-15

Richard D. Crone, Architect



CRONE ASSOCIATES ARCHITECTS
8931 COLESVILLE ROAD, SILVER SPRING, MD 20910 301-587-3000 FAX 301-587-3118



5 May 1998

Montgomery County Historic Preservation Commission
250 Hungerford Drive
Rockville, Maryland 20850

Re: Proposed alterations and addition to Aronson Residence
7611 Takoma Avenue
Takoma Park, Maryland 20912

Dear Review Committee

As the Architects for the Owner, Bernard Aronson, of the above referenced address on Takoma Avenue, we are requesting your support and approval of the final designs as herein documented and submitted for your review prior to the preparation of the detailed construction drawings necessary for permit and the award of the construction contract.

The existing residence is over 70 years old and one of the prime examples of American Colonial Revival architecture, situated on a double wide lot in the diverse community of Takoma Park, where numerous architectural styles coexist with elegance and harmony. By today's standards, however; this home has become quite obsolete with with many of its original interior details and room sizes still in place, i.e. small and inadequate bathrooms, lack of closets, low head clearances in stairwells, inadequate wiring, heating and cooling, a small kitchen with minimum light or view, obsolete sleeping porches on the rear facade, deteriorating exterior siding on the rear, all of which will require substantial work and investment to preserve the home from the natural elements and to make the changes on the interior to meet today's expectations from any home.

As Architects, our goal is now to preserve this beautiful and classic facade, keeping in tact the original windows, doors, roof line, pebble-dash stucco finish and embellish the home with appropriately conceived changes and additions. The primary features and changes we wish to accomplish with the renovation / restoration are as follows:

- A. Construct a softly scaled, two car garage/carport styled pavilion and entrance feature with security gates to the rear gardens, connected to the main house and visible from the street facade, repeating the vocabulary of materials, roof slope and columns of the original home.**

⑧

B. An addition on the rear will accommodate a larger kitchen, family room and separate breakfast room pavilion overlooking the gardens and pool below, connected by new decks and French doors opening from the existing living room and new family room. These two decks will flow down to the gardens and stone patio below by a single staircase centered in the rear on the new family room. The only demolition of existing portion of the structure will be to remove the sleeping porch and roof, presently in bad repair, and rear porch from the present kitchen which closes the interior spaces from the garden behind.

C. Interior alterations to existing floor plan will provide new stairs to the existing third floor, but allow proper head clearance, while the wall and partition changes on the second floor will provide for more comfortable dressing closets and bathrooms by today's standards. **No changes to the front of the house, existing roof dormers, windows, doors, screen porch to the right side are envisioned.** Added space to the third floor rear will allow for an extra room for guests or office with views to the garden. All the baths and powder room will be new with new plumbing and tile and fixtures / fittings. The entire home will be more correctly fitted in the style of its architectural heritage with original style moldings, trim, stairs, railings, etc. but fitted together with more appropriate proportion, space and newly created vistas within the new floor plan to accommodate today's expectations.

D The major plumbing, heating, air conditioning, electrical systems, alarms, smoke detectors, egress and ceiling requirements will all be brought up to code to extend the life of this home into the middle of the next century.

E. The Site Plan proposed changes are designed to provide privacy for the Owners from the active University Campus across the street, provide for better security and off street parking on a street where metered parking exists. We have allowed for a turn around for cars, so they do not have to back into the street to exit. We intend to remove the narrow concrete walk perpendicular to the street and provide a wider softer stone walk with new steps up to the entry level from the drive side of the property. We would then propose a small berm, ← planted fully to allow for a more private and usable front garden with new plantings to screen the residential quality of the home from the institutional nature across the street. No major tree removal is envisioned to accommodate this plan.

F. Materials specification

Any changes including both the original structure and the proposed new addition as shown within this application will be in all respects within the design context of this historic community, designed for appropriateness and scale, not only to this particular home but to the community and surrounding neighborhood.

Such features envisioned will include:

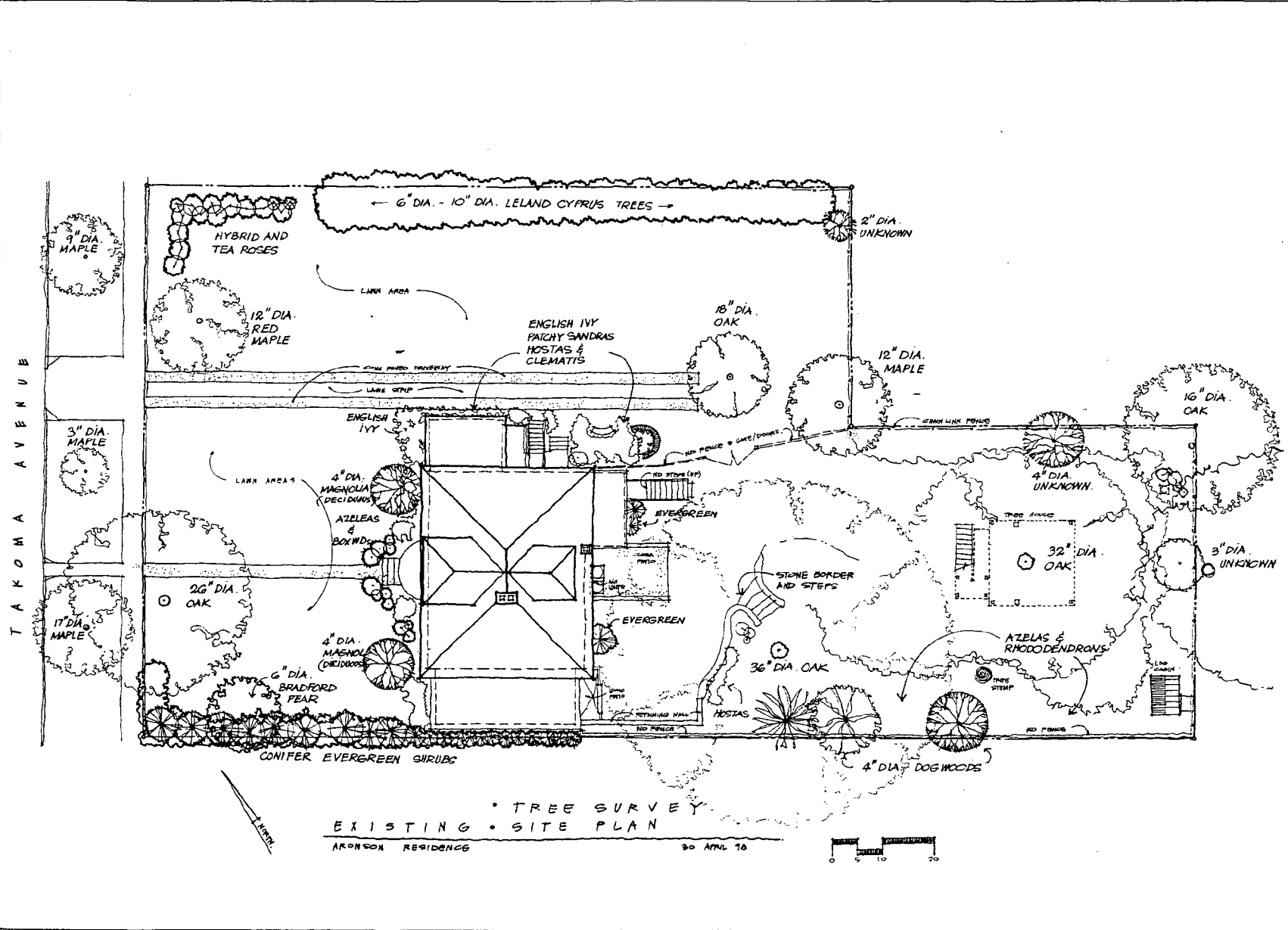
1. New addition with matching stucco treatment or "pebble dash" skin.
2. New windows and doors will all be insulated true divided light with muntin bars where appropriate to the original design, with no plastic grills or vinyl allowed.
3. New trim, detailing to be of the period matching existing vocabulary of the original house, integrating columns, roof slope, gutters, window fenestration, etc. so that the new changes will blend as completely as possible in a timeless and classic manner.
4. New roof for the house will be a textured composition shingle with deep shadow lines to resemble slate or original roof to the period. *Replacing Composition Shingle (asphalt)*
Proposed roof on garage incorporates standing seam metal roofing, gutters and downspouts.
5. New fences, gates, will be designed in a vocabulary of the period with finials, post caps, lattice, pergolas constructed incorporating doric columns.
6. A new driveway curb cut is envisioned to be moved slightly to the left of the existing drive so that the garage at the rear will be centered on the drive and allow for off street turn around to work with the present grading and topography of the front yard. There is presently a 3' grade or slope at left of front between garden in front of the house and the existing drive, which is very close to the side wall of the home.

Should you have any further questions regarding the designs, materials, concepts envisioned herein, please do not hesitate to contact our office prior to the meeting later this month. Thank you in advance for your consideration in our application.

Sincerely


Richard D. Crone, Architect

10



• TREE SURVEY
 EXISTING • SITE PLAN
 ARONSON RESIDENCE 30 APRIL 78



NO.	DATE	REVISION	BY

PROPOSED ALTERATIONS TO:
 ARONSON RESIDENCE
 7611 Takoma Avenue
 Takoma Park, MD 20912

PROJECT

TITLE:

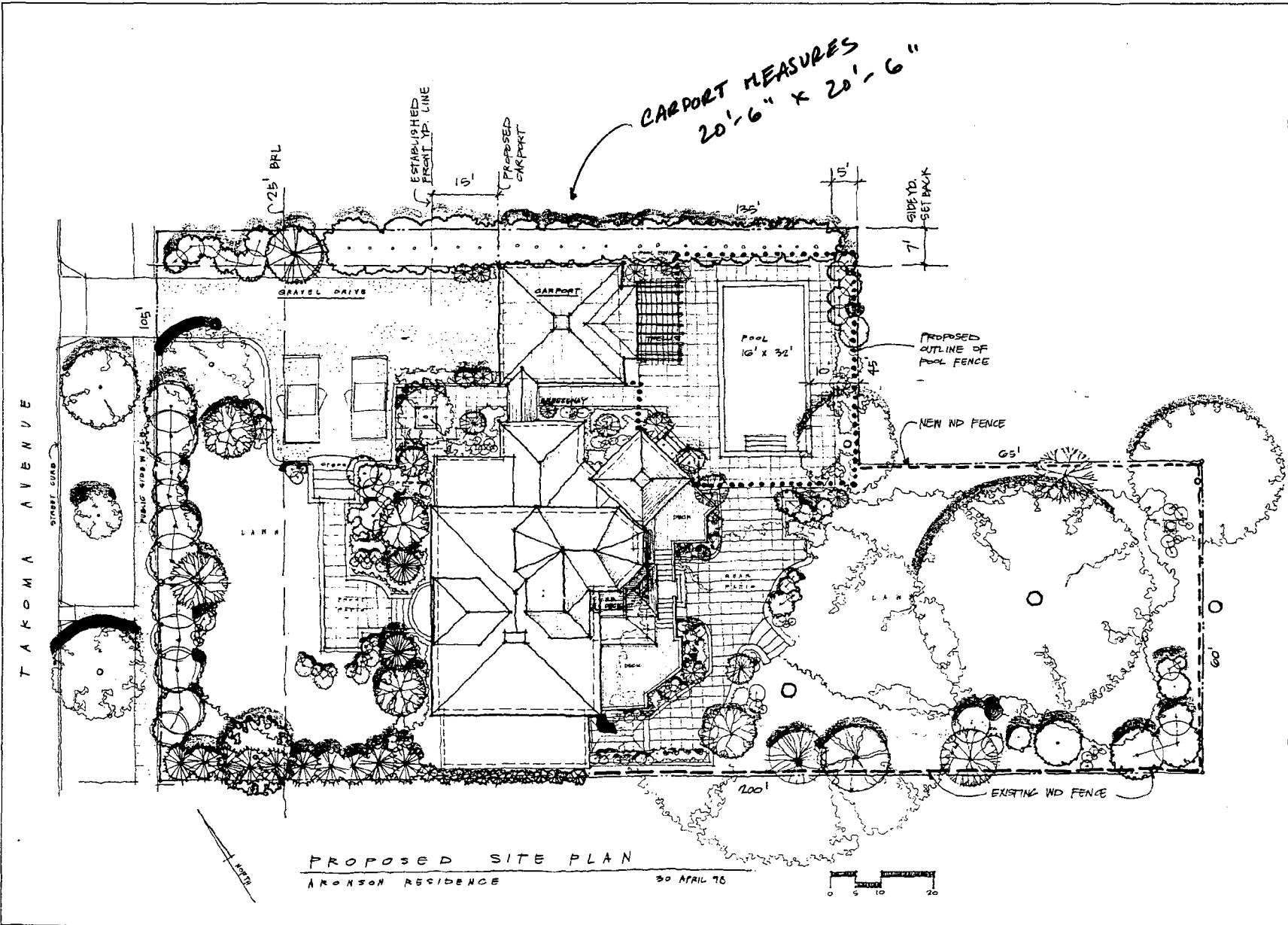
DATE 30 APRIL 78
 SCALE
 DRAWN BY
 APPROVED BY
 JOB NO

(11)

NO.	DATE	REVISION	BY

PROPOSED ALTERATIONS TO
ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912

TITLE
DATE 30 APRIL
SCALE
DRAWN BY
APPROVED BY
JOB NO.



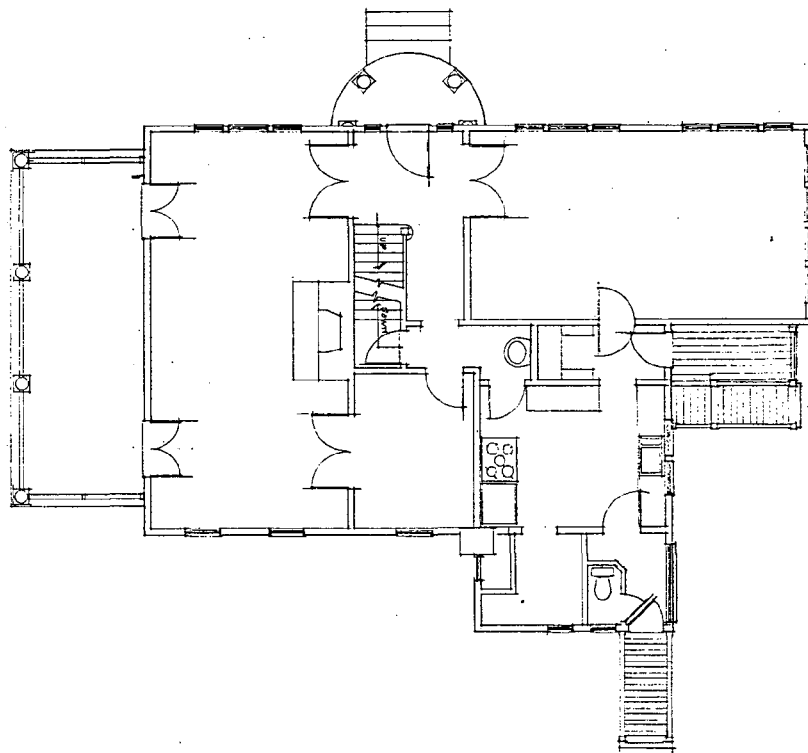
PROPOSED SITE PLAN
ARONSON RESIDENCE
30 APRIL 76

12

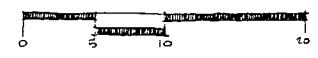
**CRONE
ASSOCIATES
ARCHITECTS**

893 COLLEVILLE ROAD
SILVER SPRING, MD 20910
(301) 587-3000 FAX (301) 587-1119

□ □ □ □ □



⊗ FIRST FLOOR PLAN - EXISTING



NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912

PROJECT

TITLE

DATE 30 APRIL '85

SCALE

DRAWN BY

APPROVED BY

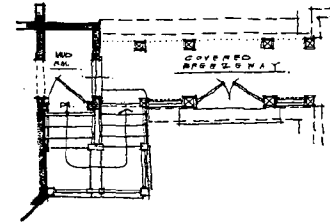
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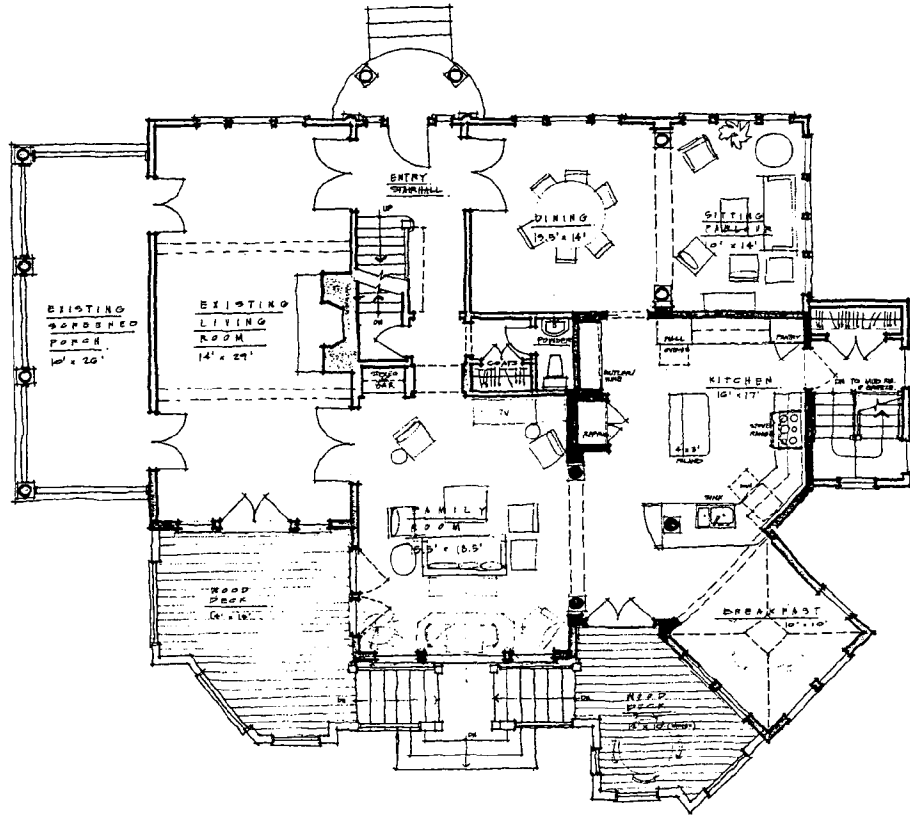
SHEET 3 OF 12

13

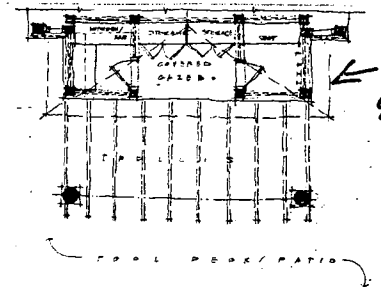
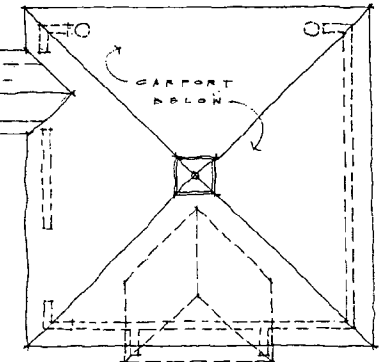
CRONE ASSOCIATES ARCHITECTS
 4911 OXFORDVILLE ROAD
 SILVER SPRING, MD 20910
 (301) 987-0000 FAX (301) 987-3118



OPTIONAL BREEZEWAY/MUD RM. PLAN
 ARONSON 1/4" = 1'



PROPOSED FIRST FLOOR PLAN
 ARONSON RESIDENCE 30 APRIL 98



PLAN @ REAR OF CARPORT

← POOL STORAGE AREA

NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
 ARONSON RESIDENCE
 3011 Talbott Avenue
 Talbott Park, MD 20912

PROJECT

TITLE

DATE 30 APRIL

SCALE

DRAWN BY

APPROVED BY

JOB NO.

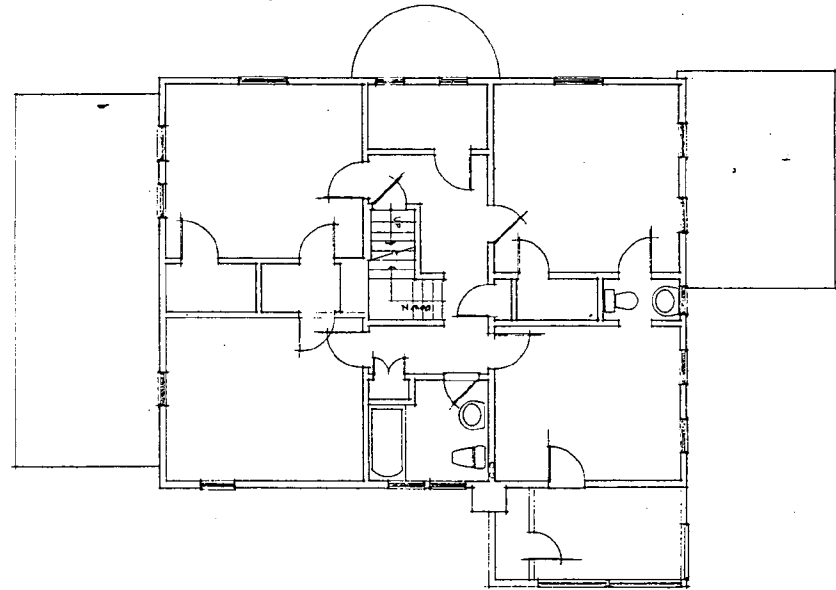
8

SHEET 8 OF 12

71

**CRONE
ASSOCIATES
ARCHITECTS**

8931 COOLESVILLE ROAD
SILVER SPRING, MD 20910
(301) 497-9000 FAX (301) 497-8118



⊗ SECOND FLOOR PLAN - EXISTING



NO. DATE REVISION BY

PROPOSED ALTERATIONS FOR
ARONSON RESIDENCE
7811 Takoma Avenue
Takoma Park, MD 20912

PROJECT

TITLE

DATE 20 APRIL 75

SCALE

DRAWN BY

APPROVED BY

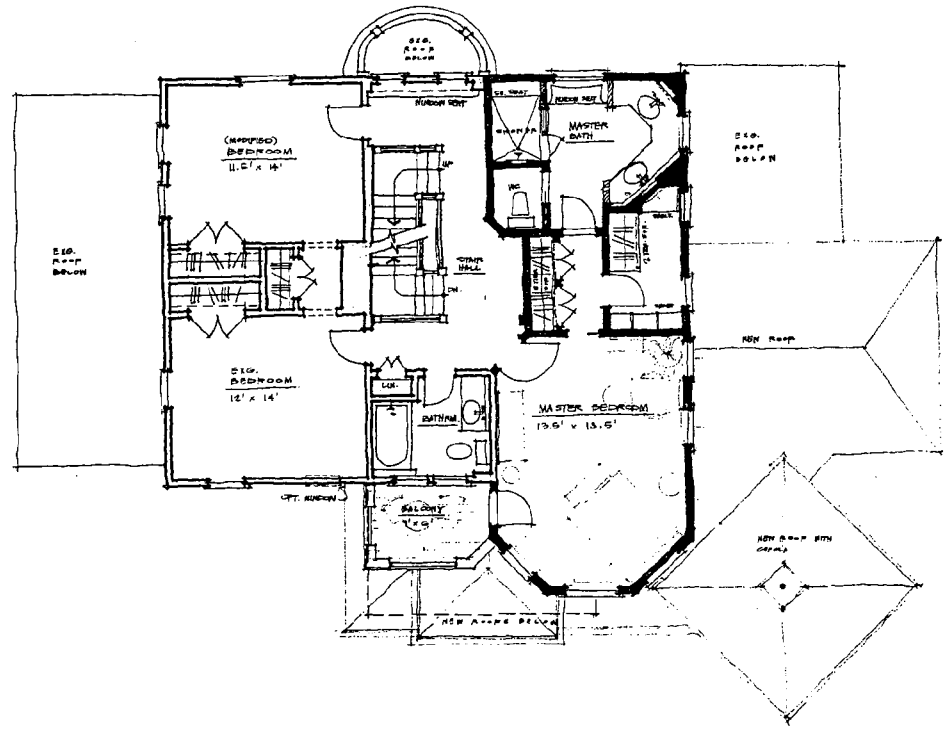
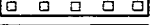
JOB NO.

4
SHEET # OF 12

15

CRONE ASSOCIATES ARCHITECTS

393 COLLETTVILLE ROAD
SILVER SPRING, MD 20910
(301) 587-3000 FAX (301) 587-3118



PROPOSED SECOND FLOOR PLAN

ARONSON RESIDENCE

20 APRIL 98



NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7611 Talbott Avenue
Talbott Park, MD 20912

PROJECT

TITLE

DATE 20 APRIL 98

SCALE

DRAWN BY

APPROVED BY

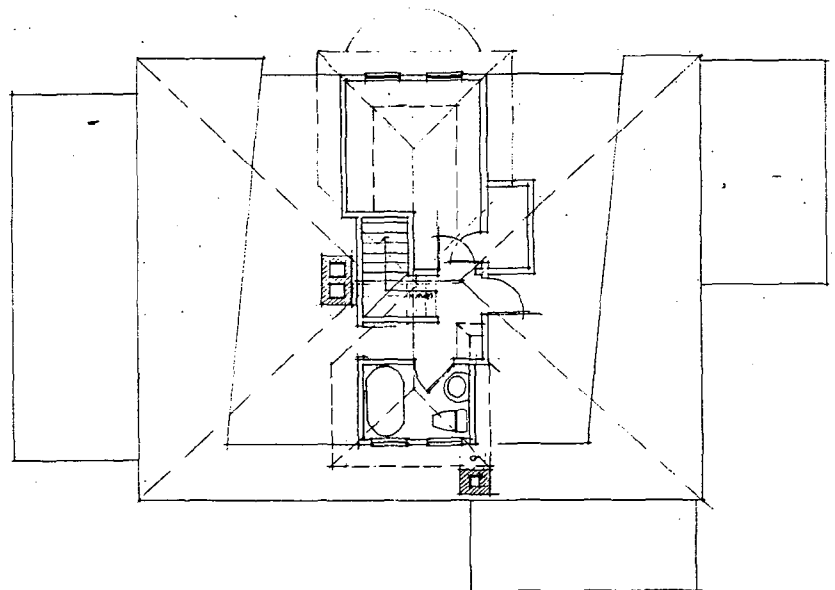
JOB NO.

9

SHEET 9 of 12

16

CRONE
ASSOCIATES
ARCHITECTS
8911 COLLETSVILLE ROAD
SILVER SPRING, MD 20910
(301) 597-2000 FAX (301) 597-1118



⊗ THIRD FLOOR PLAN - EXISTING



NO DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912

PROJECT

TITLE

DATE 20 APRIL 12

SCALE

DRAWN BY

APPROVED BY

JOB NO

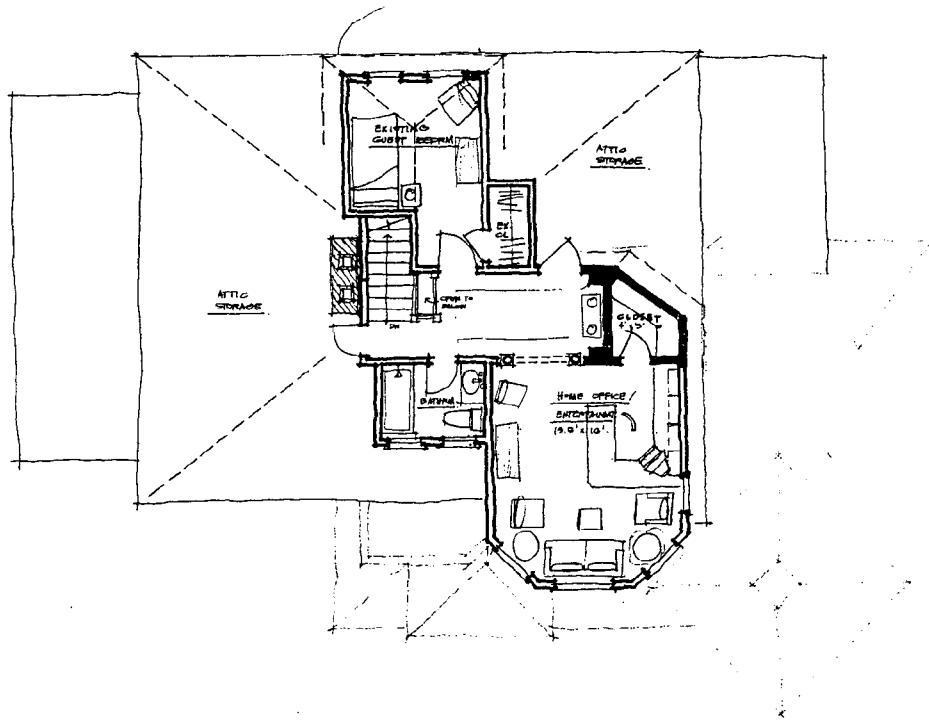
5

SHEET 5 OF 12

17

CRONE ASSOCIATES ARCHITECTS

8911 COLLETSVILLE ROAD
SILVER SPRING, MD 20910
(301) 587-0000 FAX (301) 587-3118



PROPOSED THIRD FLOOR PLAN
ARONSON RESIDENCE

30 APRIL 98



NO DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7611 TALKERS PARK DRIVE
TALKERS PARK, MD 20912

PROJECT

TITLE

DATE 30 APRIL 98

SCALE

DRAWN BY

APPROVED BY

JOB NO.

10

SHEET 10 of 12

(14)



RIGHT SIDE ELEVATION



FRONT ELEVATION



CRONE ASSOCIATES ARCHITECTS

951 COLESVILLE ROAD
SILVER SPRING, MD 20910
(301) 587-3000 FAX (301) 587-1118

NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7811 Takoma Avenue
Takoma Park, MD 20912

PROJECT

TITLE

DATE 30 APRIL 05

SCALE

DRAWN BY

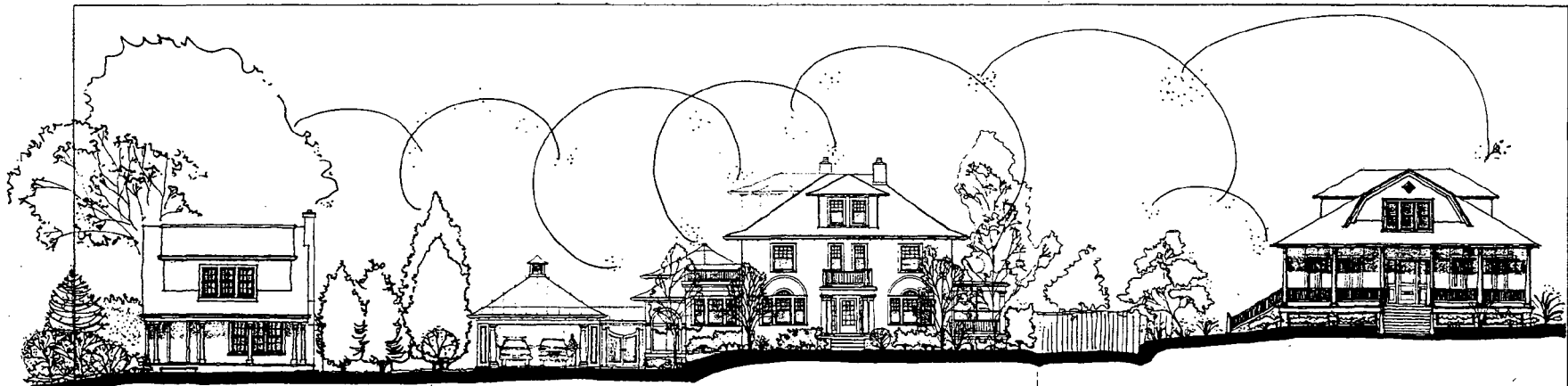
APPROVED BY

JOB NO.

6

SHEET 6 OF 12

19



7013

Property Line

7011

Property Line

7007

STREET ELEVATION - TAKOMA AVENUE



20'

TAKOMA AVENUE - FRONT ELEVATION

ARONSON RESIDENCE

90 APRIL '03

CRONE ASSOCIATES ARCHITECTS

8911 COLLETSVILLE ROAD
SILVER SPRING, MD 20910
(301) 587-3000 FAX: (301) 587-3118

NO DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7011 Takoma Avenue
Takoma Park, MD 20912

PROJECT

TITLE

DATE 30 APRIL

SCALE

DRAWN BY

APPROVED BY

JOB NO

11

SHEET 11 of 12

20

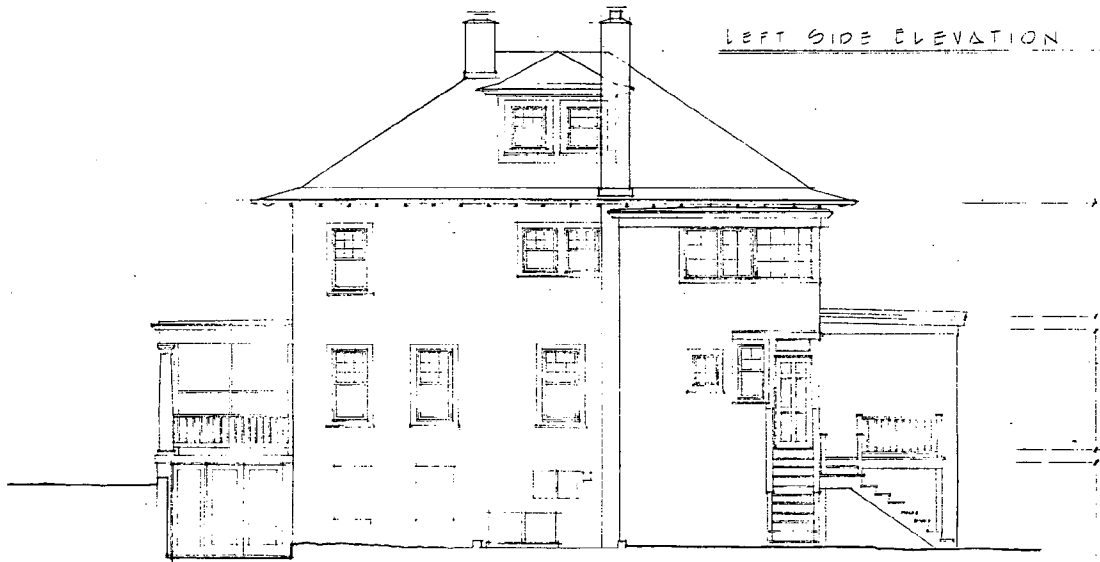
CRONE
ASSOCIATES
ARCHITECTS

8911 COLEVILLE ROAD
SILVER SPRING, MD 20910
(301) 587-8300 FAX (301) 587-1118

□ □ □ □ □



LEFT SIDE ELEVATION



REAR ELEVATION



NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7811 Talbott Avenue
Talbott Park, MD 20912

PROJECT

TITLE

DATE 30 APR 20

SCALE

DRAWN BY

APPROVED BY

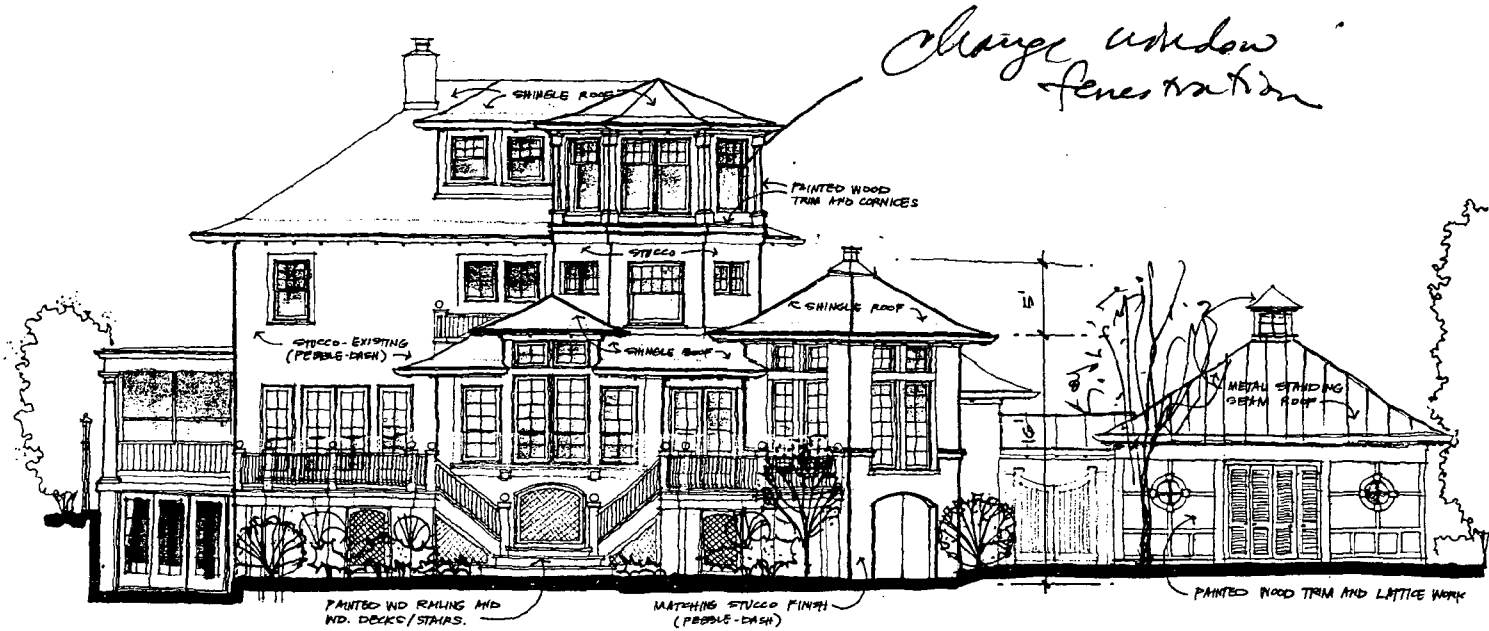
JOB NO.

7

SHEET 7 OF 12

12

CRONE ASSOCIATES ARCHITECTS
 8731 COLLEVILLE ROAD
 SILVER SPRING, MD 20910
 (301) 587-3000 FAX (301) 587-3118



Change window fenestration

NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
 ARONSON RESIDENCE
 7611 Takoma Avenue
 Takoma Park, MD 20912

PROJECT

TITLE

DATE 30 APRIL 98

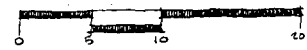
SCALE

DRAWN BY

APPROVED BY

JOB NO.

REAR ELEVATION
 ARONSON RESIDENCE 30 APRIL 98



12
 SHEET 12 OF 12

22

ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



FRONT VIEW (NW) CLOSE UP



FRONT - STREET VIEW

ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



ADJACENT HOUSE ON RIGHT SIDE
(7607 TAKOMA AVE.)



FRONT VIEW (NW) - FACING TAKOMA AVE.

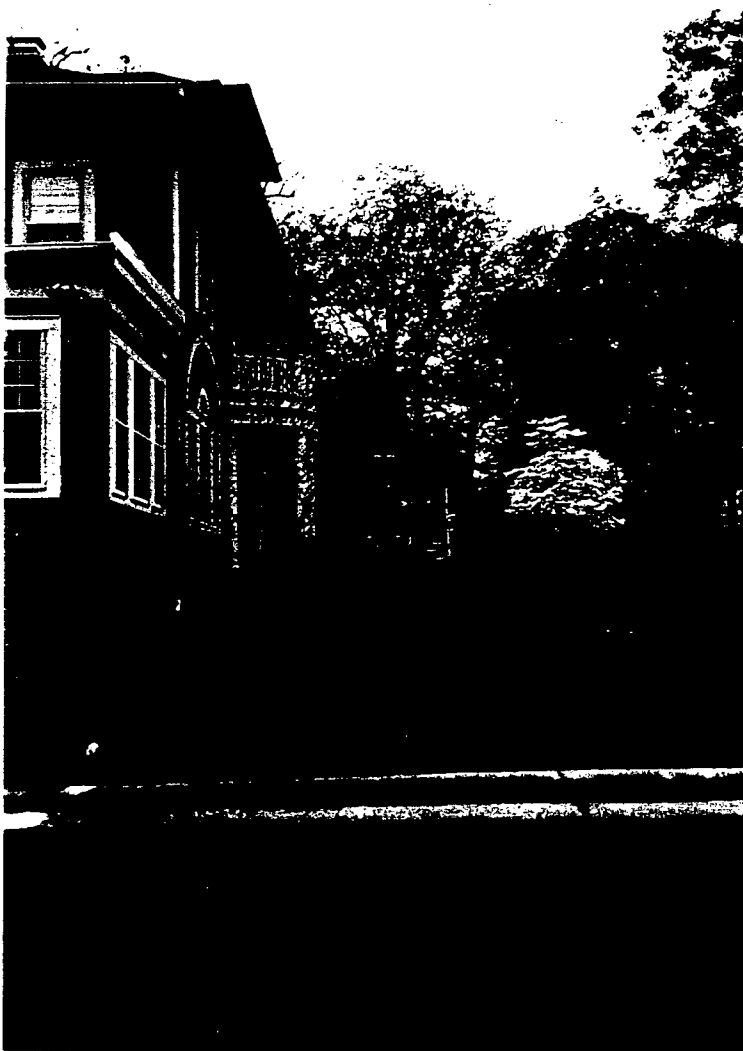
ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



SIDE VIEW (NE)



SIDE VIEW (NE) - CLOSE-UP



SIDE VIEW OF FRONT
YARD / DRIVEWAY

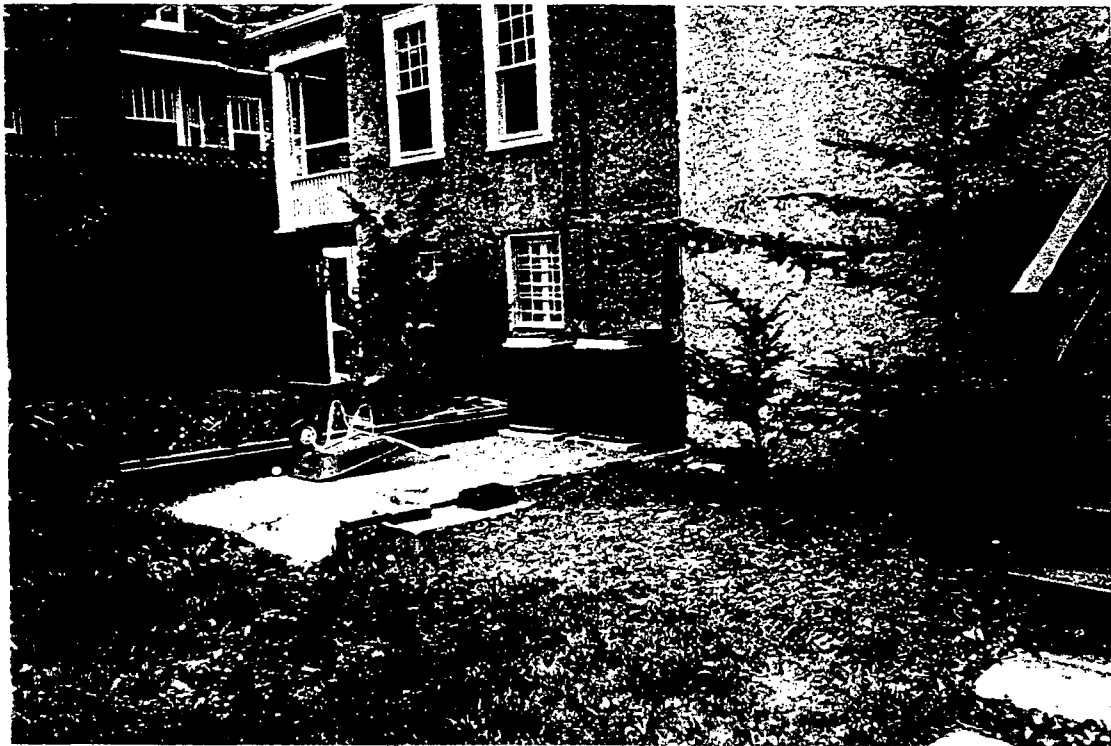


VIEW OF FRONT (NW) AND LEFT SIDE (NE)

ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



REAR VIEW (SE)



REAR VIEW - CLOSE-UP

ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



ADJACENT HOUSE ON LEFT SIDE
(7613 TAKOMA AVE.)



FRONT VIEW (NW) OF SIDE YARD

Historic Preservation Commission meeting Notes

5.27.98

Submitted by: Richard D. Crone, Architect re:

Case no.37/3-98W

Bernard Aronson, Owner
7611 Takoma Ave.
Takoma Park, Md

Crone Associates Architects
8931 Colesville Road
Silver Spring, Md. 20910

Thank you for the opportunity to address the commission.

Mr. Aronson regrets attendance, as he is out of the country this week.

Profile: Mr. Bernard Aronson

* 16 year resident of Takoma Park, committed to neighborhood and to staying in this residence and investing a tremendous amount of capital to improve this home and thus the neighborhood. \$300,000.00 plus.

*Member of Historic Takoma Park

*Single parent presently but considering a marriage in near future to another single parent with several children.

*Single parent at home has opportunity to perform much work at home and thus needs MORE than a small office for one, but sufficient space for 2 working parents at home, and thus more than a minimum size office.

A. Suggested Corrections to the Staff report (copy never sent to the Architect)

p.1 paragraph 1 .. faces Mont. Co. Community. College & a 50 car parking lot.

Clearly demonstrates substantial change of community use from residential to institutional within this older neighborhood.

paragraph 2 lot has a drop of approx. 4' max. with additional 2' change of from front yard to interior first floor level.

p.2 paragraph 1 Third floor to have office space only & TV (No recreation use) but large enough for two persons, computers, files, meeting table, etc. This is not meant to be a recreational space or under utilized area, but an essential part of the plan and reason for the expansion and renovation of the home. Space should have good light, good view, & quiet location opposite the street side of home.

B. Response to staff recommendations from page 3 of HPC Report.

1. The neighborhood has changed dramatically from bygone years of a unique residential district with romantic frame homes on each side of the street.. The property now faces a large community college with a 50 car

parking lot across the street. We propose to remove the very narrow concrete walkway to the street for two reasons:

- a. Disassociate the use to the street and allow for landscaping to buffer home.
- b. Provide for more private front lawn for children's games, football, etc.,
The only **flat** portions of the garden are the front lawn and side yard to left. Now that the flat left side yard has been lost to driveway, garage, misc. landscaping elements, and the rear yard is NOT level, what is level will be occupied by the small proposed pool behind garage.
A walkway bisecting the front lawn is hazardous to children's play we propose in this front lawn area and some landscaping certainly would assure safety and privacy from front busy street.

We request approval for removal of existing 2' walk as per plan

2. We can yield on this issue if necessary, although it provided a perfect place to deposit excavated soil from the proposed pool at rear side yard and also save money not to haul dirt from site.
Accept commissions report
3. We can move the connecting link of the house & mud room to the garage towards the rear by about 6' as per commissions recommendation. Interior stairs would make a simple 90 degree turn at the bottom and NOT turn in a 180 degree design as shown, with only 9-10 risers required.
Accept commissions report
4. We agree that driveway should be at the minimum, suggested 9 feet. with 12' curb cut.
Accept commissions report
5. Both Architect and Client would like to reserve option to include arch in the blind arcading to create more relationship to the existing structure, but are willing to accept any final recommendation after drawings are complete.
Ask permission to incorporate blind arcading as option.
6. The proposed office expansion on the third floor:
 - A. Remains the primary reason for the renovation to accommodate an in home office use as previously outlined. This is NOT for recreation but for private area within home for adults to get away to work, relax, watch TV, etc.
 - B. Owners desire quiet location at **rear** of home. (Not on front or sides of home)
 - C. Owners requested a view to rear garden and developed pool area at corner.
 - D. An existing bath at center rear of third floor is expensive to relocate and unnecessary in our opinion. Bath only needs slight updating.
 - E. Proposed location provides for more interesting massing of elements on **REAR** elevation , and is not seen from the street or sides of the property.

We feel that we are being very sympathetic to the historic community guidelines, regarding the design, use of materials with integrity; and using similar vocabulary of window proportions, "pebble dash" stucco treatment, roof pitches, and misc. architectural detailing. We do not feel that making larger dormer(s) on the sides of the home as suggested to us and easily seen from the street will accommodate our needs or wishes in the program. We deliberately attempted to keep the front and side elevations of the Project as original as possible in keeping with historic guidelines.

To make an extra "matching" dormer on the right side of the home, when none is needed is wasteful and NOT in keeping with the original architecture either. One tower addition above the bedroom on the rear corner area seems to provide for more unique and exciting massing, balanced by the proposed deck design, breakfast room addition and relates to the site in a more creative manner, than making large single dormer on rear when there is no symmetry on this side.

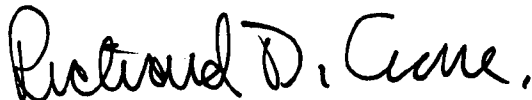
We request permission to retain the floor plan concept as outlined and resubmit for review if necessary the fenestration of the third floor

7. Addendum to drawings submitted:

Request permission to add one double hung 9/1 window on rear elevation 2nd fl. above new French doors from living room to deck as shown hereto attached.

End of notes

Respectfully submitted



Richard D. Crone, Architect
cc Bernard Aronson, Owner

FAX 301.621-3331

IMPORTANT MESSAGE

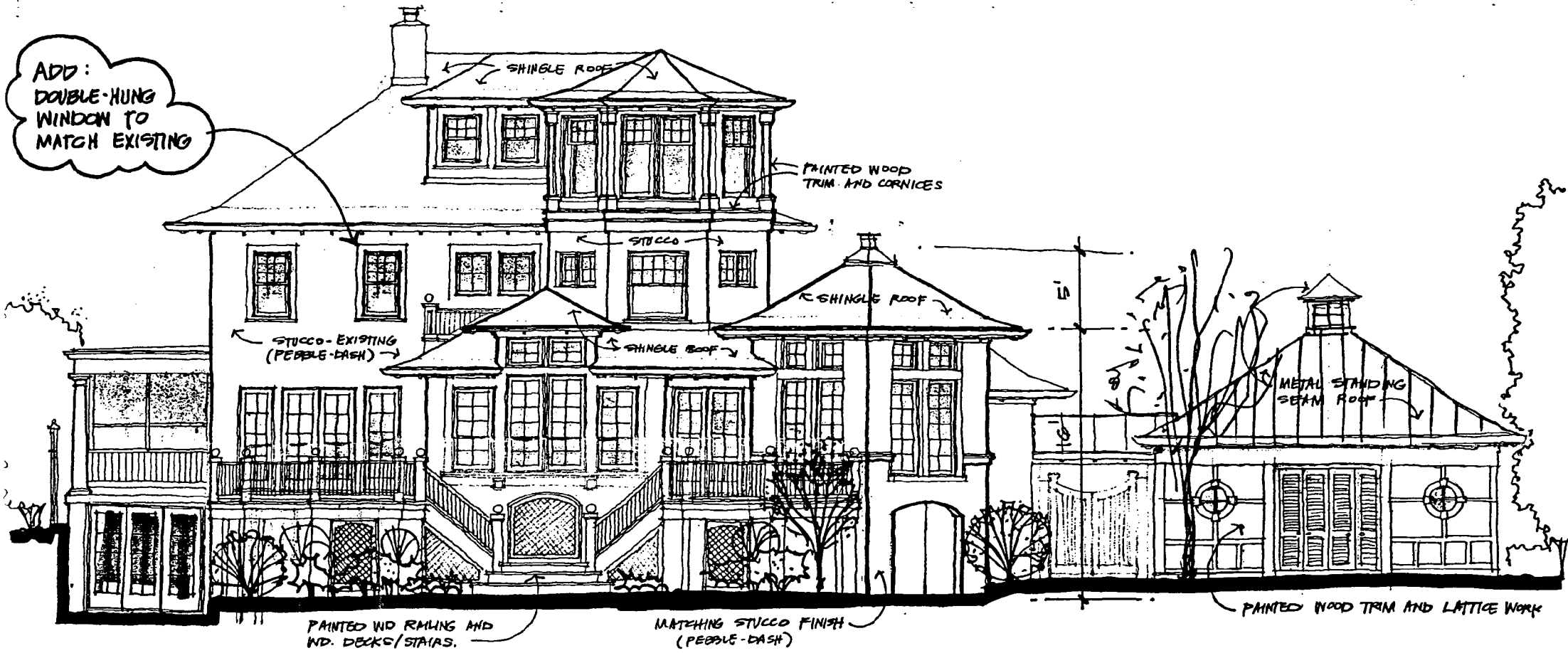
FOR Robin
DATE 1/4 TIME 10:30 A.M.
P.M.
M Ed Hallway
OF Pool Company
PHONE 1-800-252-7946
AREA CODE NUMBER EXTENSION

TELEPHONED	<input checked="" type="checkbox"/>	PLEASE CALL	<input checked="" type="checkbox"/>
CAME TO SEE YOU	<input checked="" type="checkbox"/>	WILL CALL AGAIN	<input checked="" type="checkbox"/>
WANTS TO SEE YOU	<input checked="" type="checkbox"/>	RUSH	<input checked="" type="checkbox"/>
RETURNED YOUR CALL	<input checked="" type="checkbox"/>	SPECIAL ATTENTION	<input checked="" type="checkbox"/>

MESSAGE Was pool approved?
DPS not releasing permit
Also need to have a
tree removed - working w/ Jokea
Park on that. *Black Gum 18"

SIGNED [Signature]
LITHO IN U.S.A.

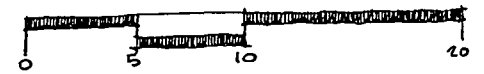
File. PDZ 4/4/99



ADD:
DOUBLE-HUNG
WINDOW TO
MATCH EXISTING

REAR ELEVATION
ARONSON RESIDENCE

30 APRIL 98
27 MAY 98 : AMENDED FOR ADDITIONAL BEDRM. WINDOW .



NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912

PROJECT

TITLE

DATE 30 APRIL 98

SCALE

DRAWN BY

APPROVED BY

JOB NO

12
AMENDED
SHEET 12 OF 12

Vote: approve: Trumble, 23, Ross, Harbo, Jordan
dumy: Martha, Susan

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7611 Takoma Avenue Meeting Date: 6/10/98
Resource: Takoma Park Historic District Review: HAWP
Case Number: 37/3-98W Tax Credit: No
Public Notice: 5/27/98 Report Date: 6/3/98
Applicant: Mr. Bernard Aronson Staff: Robin D. Ziek
PROPOSAL: New garage, swimming pool, rear addition, and landscape alterations RECOMMENDATIONS: APPROVAL w/CONDITIONS

PROJECT DESCRIPTION

RESOURCE: Outstanding Resource in the Takoma Park Historic District
STYLE: Four Square/Colonial Revival "cubic", says Family Eitz
DATE: c1910 - 1920s

The subject property is a 2-1/2 story frame structure with stucco siding. Architecturally, it has the symmetry of the Colonial Revival style, and the roofline of the Four Square. In the Takoma Park Guidelines, the survey notes that this house is "one of a kind" in the historic district.

The applicant came before the HPC on May 27, 1998, and the HAWP was continued to the June 10th meeting to provide additional time for some redesign in response to HPC comments. The revised proposal is presented with this staff report. (Circle 4-10) (see Circle 11-28)

PROPOSAL

The applicant has redesigned the rear 3-story addition to provide a roof line which is more sympathetic with the existing house. To screen the large rear addition, and to provide some additional attic space, the applicant now proposes to build dormers on each side elevation which will complement the existing dormers in the front and rear elevations. The roof of the proposed 3-story rear addition has been modified to a more rectilinear form instead of the previously proposed polygonal shape. The rear elevation remains basically unchanged.

The other issue which was discussed at length by the HPC was the issue of the front walk. The applicant proposes to move the front walk closer to the new parking area by the side of the house, but will reduce the plantings to promote a relationship between the street and the front door of the house. The new sidewalk will be built of bluestone pavers.

Notion: Approval of condition that applicant have option to keep or delete the piece of sidewalk from sidewalk to street. (1)

The other changes agreed upon by the applicant are summarized on Circle 4-6 of this report. The applicant has provided a drawing of the north side of the house to provide a fuller understanding of the scope of the proposed project (see Circle 10).

STAFF DISCUSSION

Staff notes that Outstanding Resources in the Takoma Park Historic District “receive the most detailed level of design review”, and that “plans for all alterations should be compatible with the resource’s original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setbacks, and materials.” Staff notes that this is different than the review for Contributing Resources where “the design review emphasis will be restricted to changes that are at all visible from the public right-of-way.” (See pages 14 and 15 of the Takoma Park Guidelines).

Staff feels that the new design for the rear addition is an improvement on the previous submission. The roof form, as presented, is more in-keeping with the existing hipped roof. Staff notes, however, that the scale as noted at the rear is very large, and that the corner location is eccentric, offsetting to some degree the regularity and simple strength of the original hipped roof. Staff notes, however, that the applicant did ask for concurrence by the HPC on the proposed location, and this was given at the last meeting.

Staff feels that the proposed sidewalk location is also an improvement, but notes that visually, it has no real relationship to the house, even as it is meaningful in the proposed access point to the house at the new entry off of the parking. This change may be a real-world change, with the emphasis on the automobile rather than the pedestrian. The relationship between the front elevation and the street will be preserved visually through the revised proposal for the reduced plantings along the sidewalk. The proposed change of material will have no adverse effect on the resource.

STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior’s Standards for Rehabilitation #9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

CONDITIONS:

1. The applicant will provide the permit set of drawings to HPC staff for review and stamping prior to applying for the building permit with DPS.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

CRONE ASSOCIATES ARCHITECTS

8931 COLESVILLE ROAD, SILVER SPRING, MD 20910 301-587-3000 FAX 301-587-3118



2 June 1998

Historic Preservation Commission
8787 Georgia Ave.
Silver Spring, Md. 20910

RE: HAWP case no.37/3-98W
Bernard Aronson Residence
7611 Takoma Ave.
Takoma Park, Maryland 20912

To: Historic Preservation Commission

On Wednesday, May 27th, Richard Crone, Architect for the Owner, outlined all of the numerous proposed changes to the above referenced property before the Historic Preservation Commission. From this meeting, only the following points were brought up for discussion among the commission and the architect. In an effort to seek a mutually agreeable direction for the design of this property, we would like to present the following point by point outline on each issue discussed and our proposed resolution, which we hope will be acceptable to the Commission.

1. **Covered "Breezeway" or connection from house to garage**
It was suggested by the commission that this element be moved back on the property to allow for the garage to read more as an independent structure more detached from the house. The Architect for the Project has accepted the recommendation of the commission and agreed to move this element further back approximately 6' to center on the garage/pavilion structure.
2. **Driveway width and proposed new curb cut**
The Commission suggested that the width of the drive and the new curb cut be kept at the minimum allowable on this Project. The Architect has accepted the recommendation of the commission and agrees to keep the drive at no more than 9' width and curb cut at 12' or the minimum allowed by the county.
3. **Landscaped Berm across front of property**
It was suggested by the Commission that the landscape features not isolate the subject property nor hide in from the street or community with either the proposed berm nor major plant screening. Again, we have accepted the Commissions recommendations and will leave the topography across the front as

it exists, and keep any new landscaping opposite the front entry to the home and near the public sidewalk, open to maintain a wide vista to the front door to the home. A large oak tree shown on the original plan, but not indicated on the proposed plan will remain and other plantings proposed will be more in clumps of smaller decorative crepe myrtles, dogwoods, hollies, Leland cypress. Proposed under story shrubbery will be kept low so as not to screen or shield the center entry porch from view from the walk. Again, we have yielded to the recommendations of the commission.

4. Concrete walkway

We propose to remove the existing, narrow, straight concrete walk, which bisects the front garden to the house from the street and replace it with a new bluestone paver walkway relocated to the left of the present walk and closer to the driveway curb cut so that it will direct one to the new steps being created near the turn around area in the driveway. We hope the Commission's objection to removing the walk was for the purpose of not allowing the house to be isolated from the street and community, not just to preserve a 2' strip of concrete as historic. The new proposed walk will maintain this connection to street, have a wider walk path to the house and allow the walkway at the existing public walk to be approximately 6' wide for a softer, more gentle connection. We propose to install loose bluestone pavers approx. 24"x30" in the median planted area to connect the curb to the public walk opposite the private walkway to the house.

5. Blind Arcading

The Commission recommended that the arched blind arcading existing on the front of the home not be repeated on the new addition "mud room / stairs" to the left side of the front elevation, but only the wood band board and use of stucco to match existing. We have accepted this recommendation by the Commission.

6. Third floor office dormer on rear corner of property

The Commission felt there were a number of design refinements which could be made to improve the exterior appearance of the proposed addition at this upper level which would be more in keeping with original architecture of the structure and for any portion of this dormer which might be seen from the street, blend more like the existing center dormer on front above entry doors. It was agreed that the massing and floor plan arrangement of this new element would be acceptable, provided the exterior details were improved.

Items discussed about the design of this dormer included:

- a. Roof line to be more compatible to existing "hip dormers"
- b. Material of sides of the dormer be constructed of same roofing material as is the manner of construction of the existing front dormer,

- as for the portion which might be seen from the street.
- c. Windows at the third level be modified to be more in keeping with original structure. Those originally proposed were of "cottage style" with larger lower sash than upper.
 - d. Exterior trim should not mix styles with combining "Victorian" with "colonial revival".
 - e. The Commission at one point recommended an approach to repeat the front dormer design vocabulary on the sides of the existing roof line.

See proposed designs as shown on both side and rear elevations.

After discussing the issues posed by the Commission of the original plan with our client, Mr. Aronson, we have made some decisions regarding a new approach which we feel will more completely align with the concerns and wishes of the review board. The major points we would propose to incorporate are:

- a. We would construct two dormers in the same style as the front center dormer to be located on both left and right side of front roof elevation, so that from the street view, one can only see the original style dormers, and roof detail. The dormer on the left would be a storage room for the office and slightly larger than original plan due to squared front corner to the street and the dormer on the right roof would be a future bedroom.
- b. We will modify the windows to be 9 over 1 double hung windows with both sashes of equal size.
- c. We propose to modify the roof on rear elevation to be a hip roof design, although the plan or walls would retain the bay shape.
- d. We propose to simplify the detailing of the wood trim on third floor addition to be more in keeping with the Colonial Revival style.
- e. The sides of the dormers as seen from the street will be constructed to echo the details of the original front dormer with same green roofing shingles.

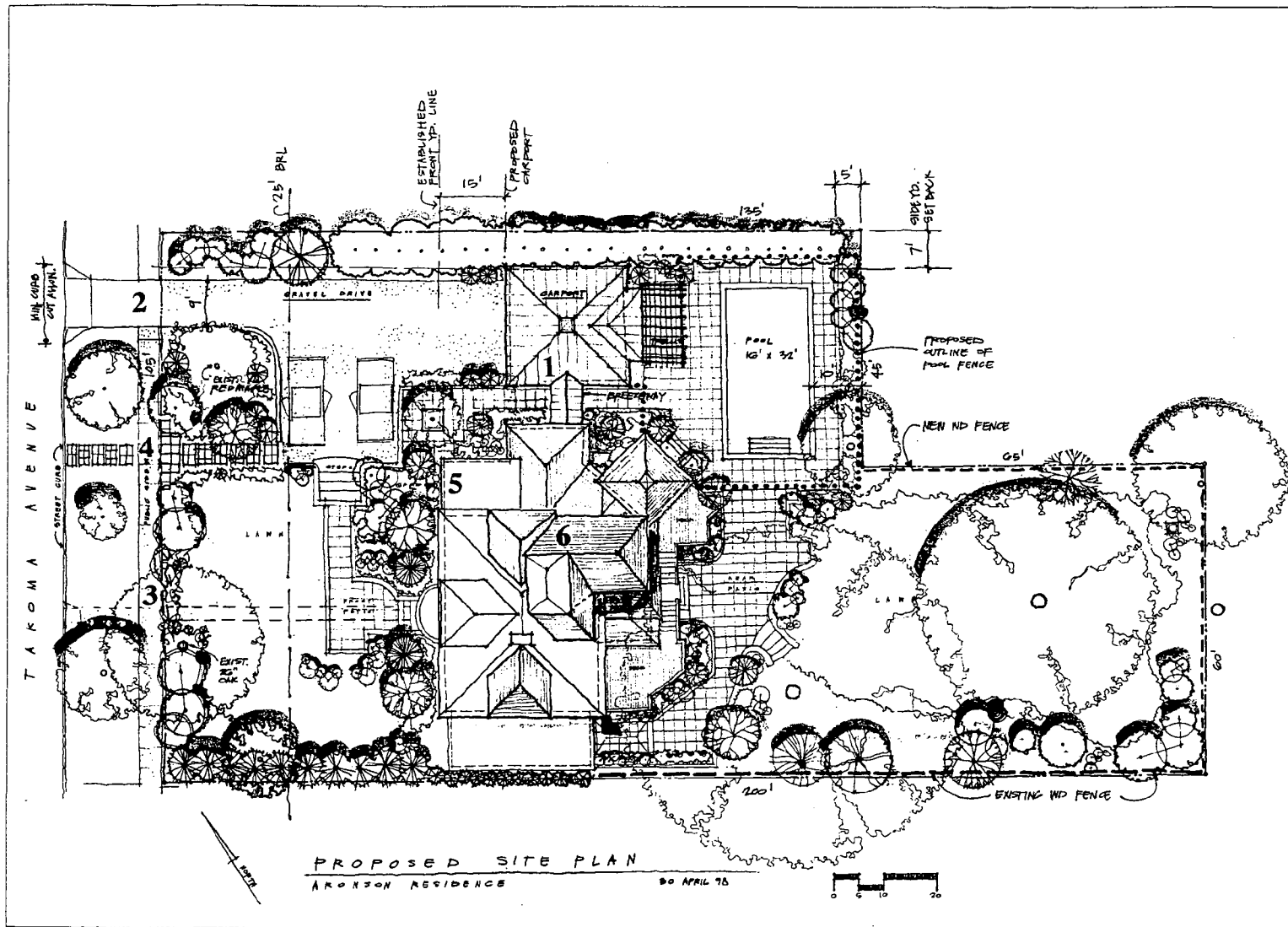
We sincerely hope the Commission will respond favorably to our new design efforts to accommodate the Commissions requests and our attempts to modify our original designs to meet its concerns, and vote to approve our application as herein submitted.

Sincerely



Richard D. Crone, Architect

cc. Mr. Bernard Aronson, Owner



CRONE ASSOCIATES ARCHITECTS
8911 LEXINGTON ROAD
SILVER SPRING, MD 20910
(301) 587-1000 FAX (301) 587-1118

AMENDED:
02 JUNE 1978
NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7511 TAKOMA AVENUE
TAKOMA PARK, MD 20712

TITLE:
DATE: 30 APRIL 75
SCALE:
DRAWN BY:
APPROVED BY:
JOB NO.:

2
AMENDED
SHEET 2 OF 12.13

7



7013

7011

7007

STREET ELEVATION - TAKOMA AVENUE

(ORIGINAL)



(REVISED)



20'

TAKOMA AVENUE - FRONT ELEVATION (REVISED)

ARONSON RESIDENCE

30 APRIL 98

CRONE ASSOCIATES ARCHITECTS
 911 FREDERICK ROAD
 SILVER SPRING, MD 20910
 (301) 497-8837 FAX: (301) 961-1518

AMENDED:
 02 JUNE 1998
 NO DATE BETWEEN

PROPOSED ALTERATIONS TO:
 ARONSON RESIDENCE
 7011 Takoma Avenue
 Takoma Park, MD 20912

TITLE

DATE 30 APRIL 98

SCALE

DRAWN BY

APPROVED BY

JOB NO.

11

AMENDED
 DATE 11 OF 78/13

8

CRONE ASSOCIATES ARCHITECTS
 4911 COLLETTES ROAD
 SILVER SPRING, MD 20910
 (301) 567-3322 FAX (301) 567-3118

AMENDED :
 02 JUNE 1998

PROPOSED ALTERATIONS TO:
 ARONSON RESIDENCE
 7411 Takoma Avenue
 Takoma Park, MD 20912

TITLE:
 DATE: 30 APRIL 98

SCALE:

DRAWN BY:

APPROVED BY:

JOB NO:

12
 AMENDED
 SHEET 7 OF 13



REAR ELEVATION
 ARONSON RESIDENCE
 30 APRIL 98



6

CRONE ASSOCIATES ARCHITECTS

8975 COLOANVILLE ROAD
SILVER SPRING, MD 20910
(301) 582-9000 FAX (301) 587-9118

NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
2611 Takoma Avenue
Takoma Park, MD 20912

PROJECT

TITLE

DATE 02 JUNE 78

SCALE

DRAWN BY

APPROVED BY

JOB NO.

13
AMENDED

SHEET 13 OF 13



SIDE ELEVATION
ARONSON RESIDENCE

02 JUNE 78



10

NO DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7811 TAKOMA AVENUE
TAKOMA PARK, MD 20912

PROJECT

TITLE

DATE 30 APRIL 78

SCALE

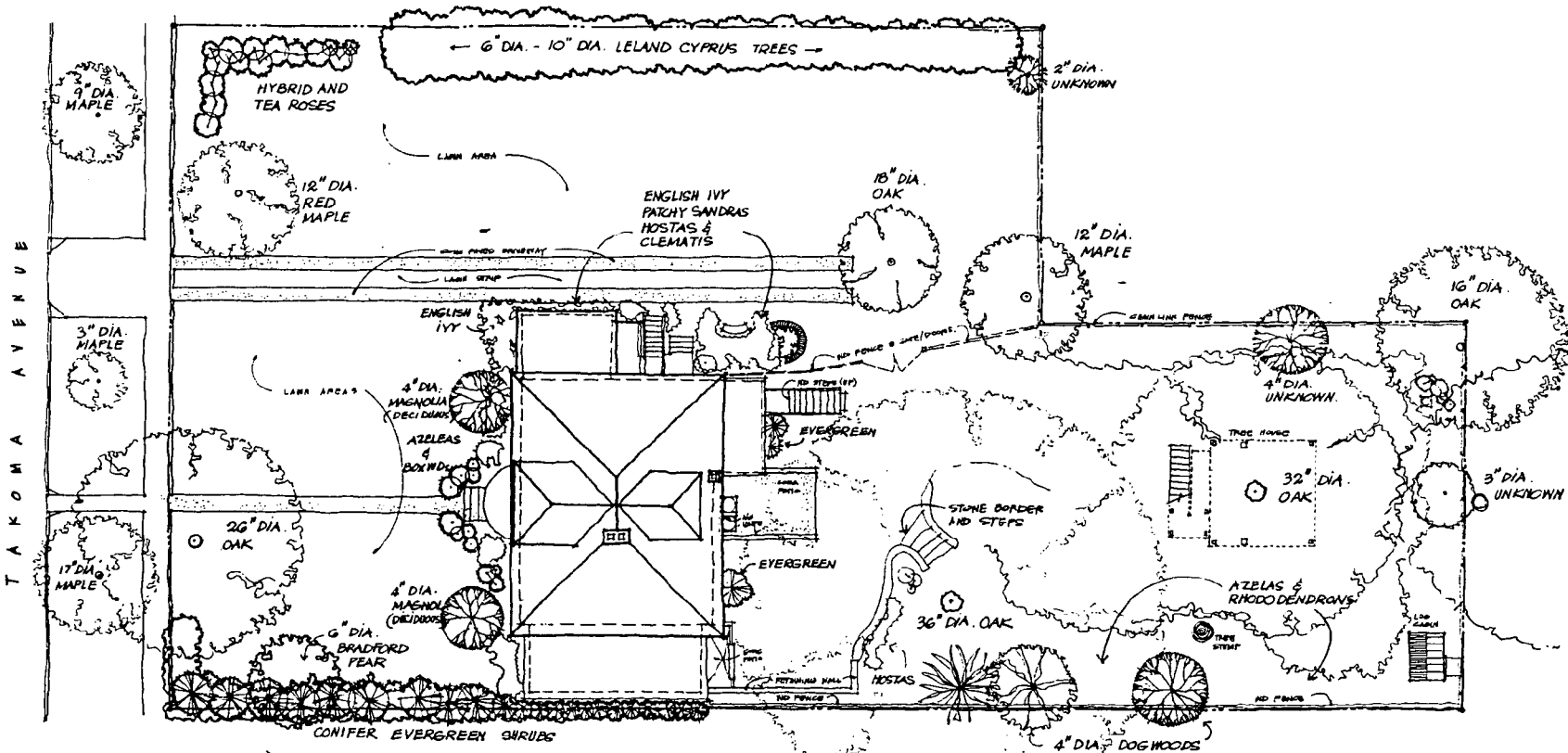
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APPROVED BY

JOB NO

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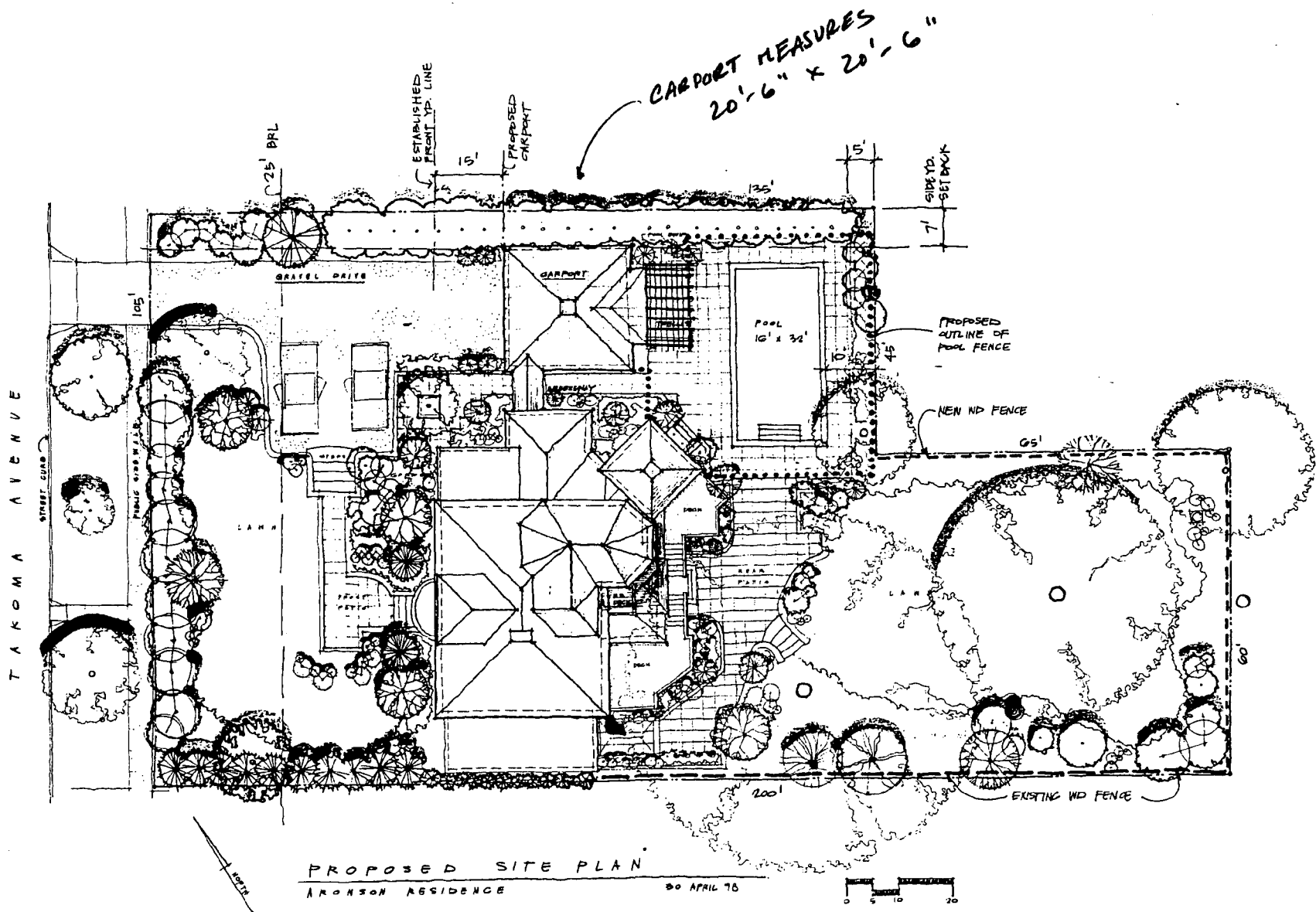
• TREE SURVEY
EXISTING • SITE PLAN

ARONSON RESIDENCE 30 APRIL 78



TAKOMA AVENUE

11



CARPORT MEASURES
 20'-6" x 20'-6"

PROPOSED SITE PLAN
 ARONSON RESIDENCE 30 APRIL 95

NO DATE REVISION BY

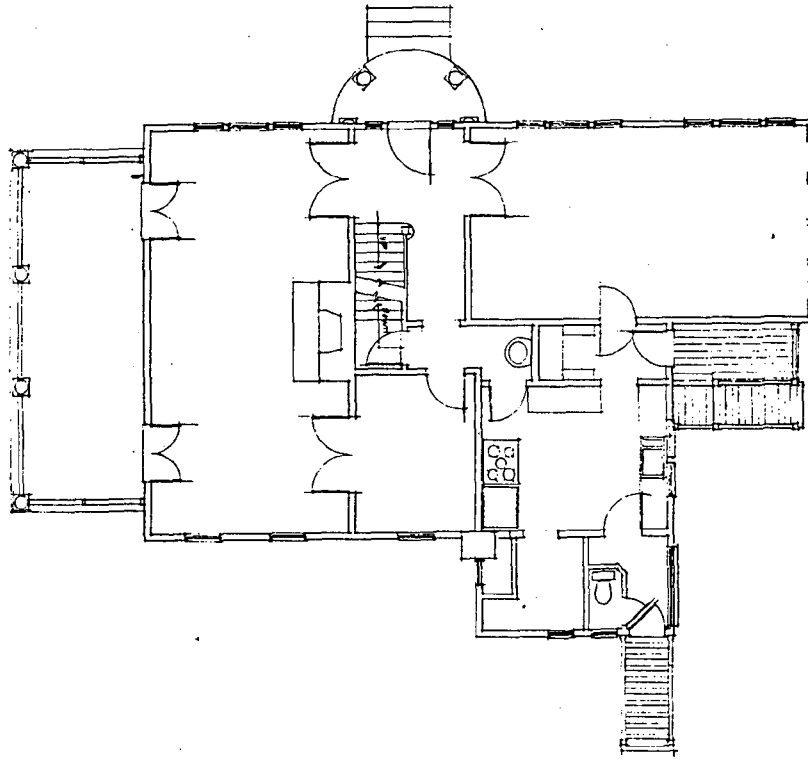
PROPOSED ALTERATIONS TO
 ARONSON RESIDENCE
 7811 Takoma Avenue
 Takoma Park, MD 20912

TITLE
 DATE 30 APRIL 95
 SCALE
 DRAWN BY
 APPROVED BY
 JOB NO

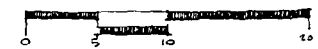
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 SHEET 2 OF 12

12

CRONE
ASSOCIATES
ARCHITECTS
8911 LUXEMBOURG ROAD
SILVER SPRING, MD 20910
(301) 587-8000 FAX (301) 589-1118



⊗ FIRST FLOOR PLAN - 31195-16



NO.	DATE	REVISION	BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7611 TAMMARA AVENUE
TALONIA PARK, MD 20912

PROJECT

TITLE

DATE 30 APRIL '75

SCALE

DRAWN BY

APPROVED BY

JOB NO.

3

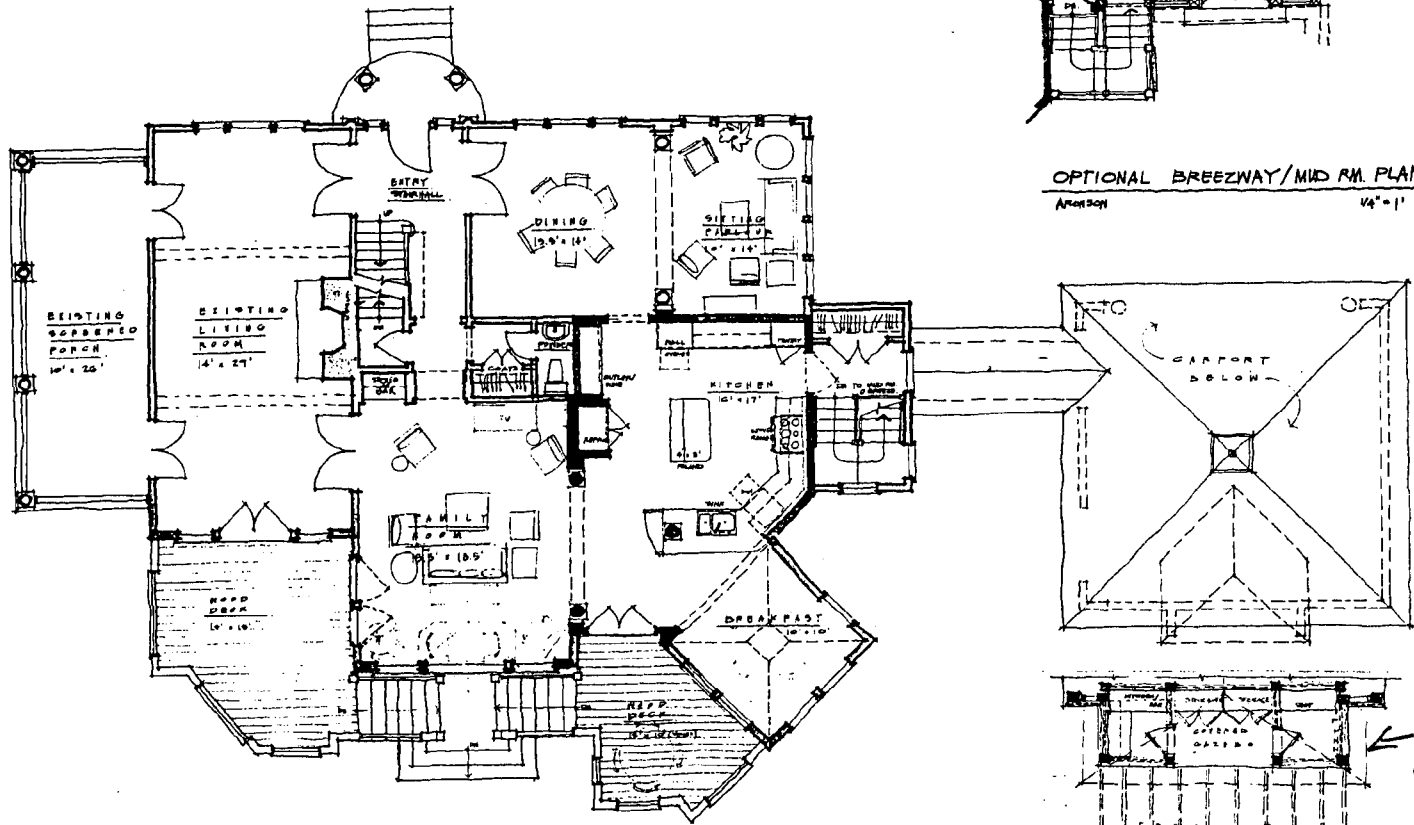
SHEET 3 OF 12

13

CRONE ASSOCIATES ARCHITECTS

4933 COLEVILLE ROAD
SILVER SPRING, MD 20910
TEL: 301-461-8200 FAX: 301-461-2148

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PROPOSED FIRST FLOOR PLAN

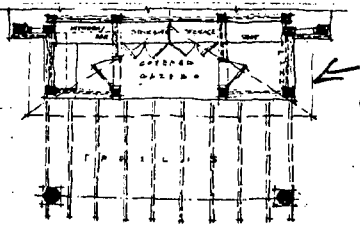
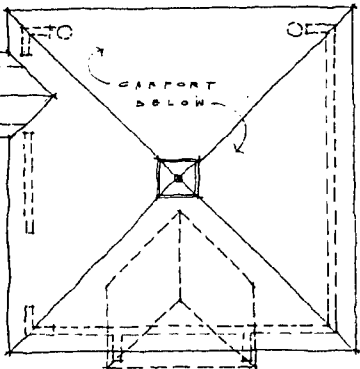
ARONSON RESIDENCE

30 APRIL 95



OPTIONAL BREEZWAY/MUD RM. PLAN

ARONSON 1/4" = 1'



← POOL STORAGE AREA

PLAN @ REAR OF GARPORT

NO DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7611 Tolson Avenue
Tolson Park, MD 20912

PROJECT

TITLE

DATE 30 APRIL 95

SCALE

DRAWN BY

APPROVED BY

JOB NO

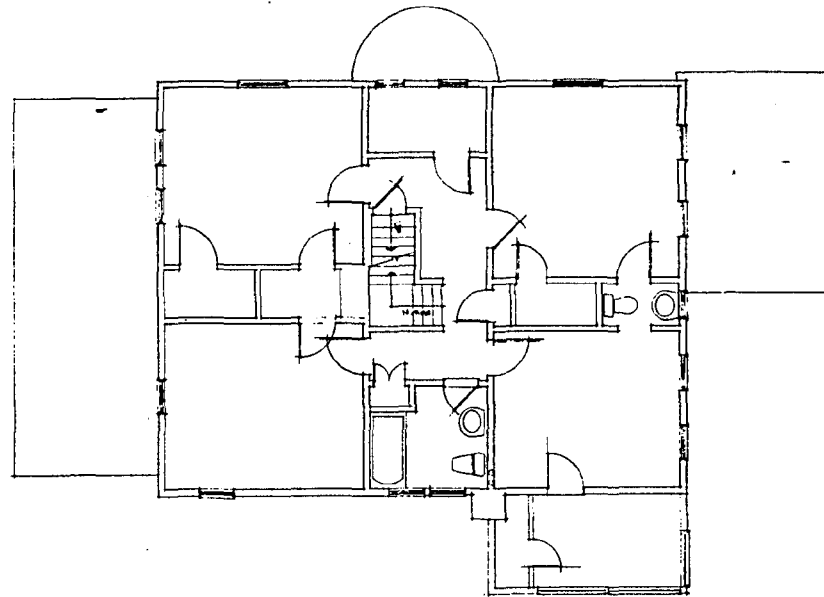
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SHEET 8 OF 12

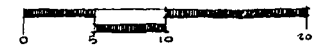
71

**CRONE
ASSOCIATES
ARCHITECTS**

8911 COLLETSVILLE ROAD,
SILVER SPRING, MD 20910
11801 MT. AUSTIN FALLS RD., MT. AIRY, MD 21778



⊗ SECOND FLOOR PLAN BAIGTING



NO. DATE REVISION BY

PROPOSED ALTERATIONS TO
ARONSON RESIDENCE
7611 Tolson Avenue
Takoma Park, MD 20912

PROJECT

TITLE

DATE 20 APRIL 93

SCALE

DRAWN BY

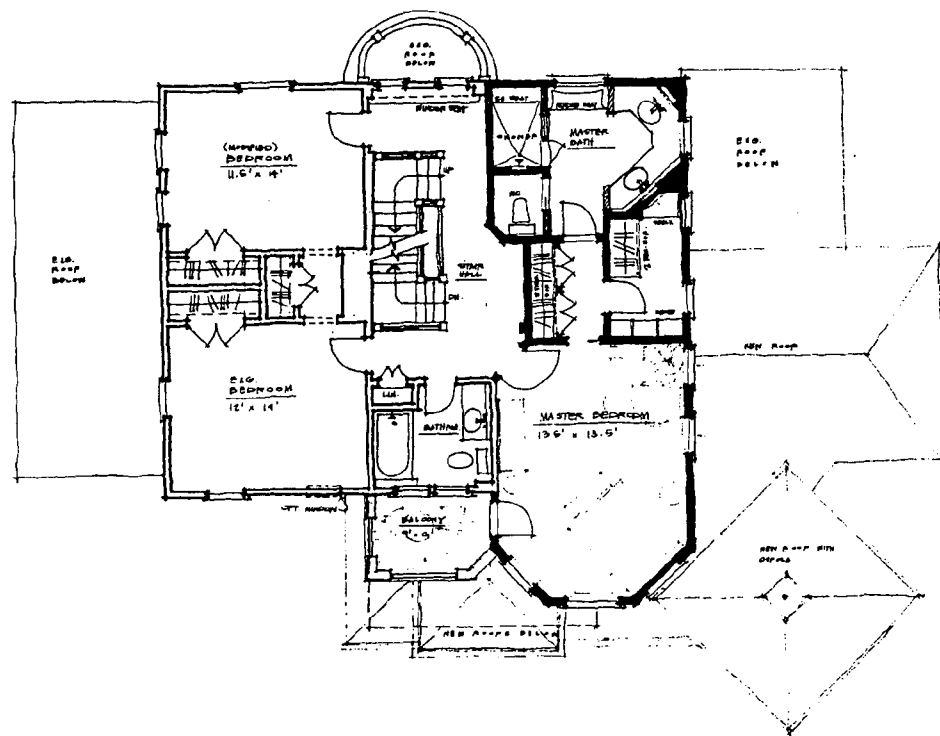
APPROVED BY

JOB NO.

4
SHEET # OF 12

15

CRONE ASSOCIATES ARCHITECTS
 831 COLLEVILLE ROAD
 SILVER SPRING, MD 20910
 (301) 981-8222 FAX (301) 981-1118



PROPOSED SECOND FLOOR PLAN
ARONSON RESIDENCE

30 APRIL 98



NO DATE REVISION BY

PROPOSED ALTERATIONS TO:
 ARONSON RESIDENCE
 7811 Tolsons Avenue
 Takoma Park, MD 20912

PROJECT

TITLE

DATE 30 APRIL 98

SCALE

DRAWN BY

APPROVED BY

JOB NO.

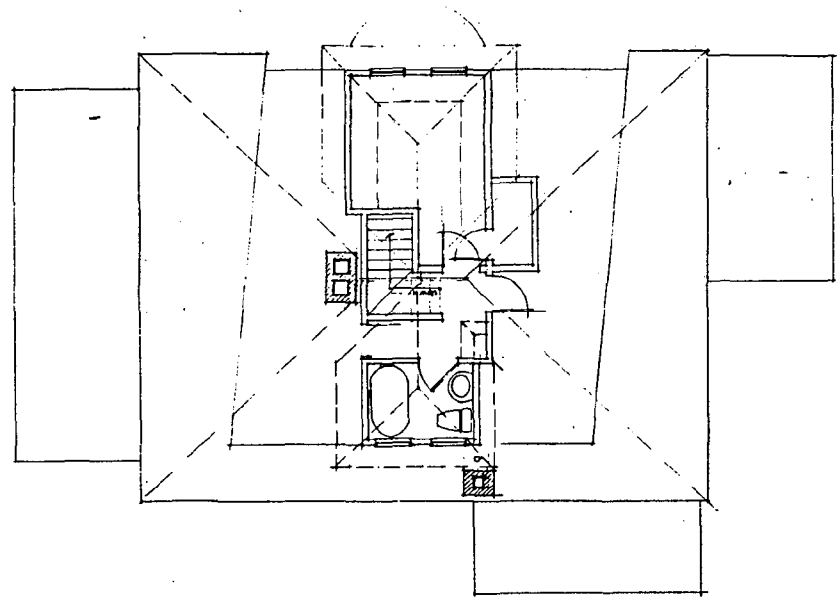
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SHEET 9 of 12

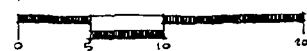
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**CRONE
ASSOCIATES
ARCHITECTS**

8911 COLLETSVILLE ROAD
SILVER SPRING, MD 20910
CALL 301-577-1000 FAX 301-577-1118



⊗ THIRD FLOOR PLAN - EXISTING



NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7611 Tabor Avenue
Tabor Park, MD 20912

PROJECT

TITLE

DATE 30 APR 12

SCALE

DRAWN BY

APPROVED BY

JOB NO.

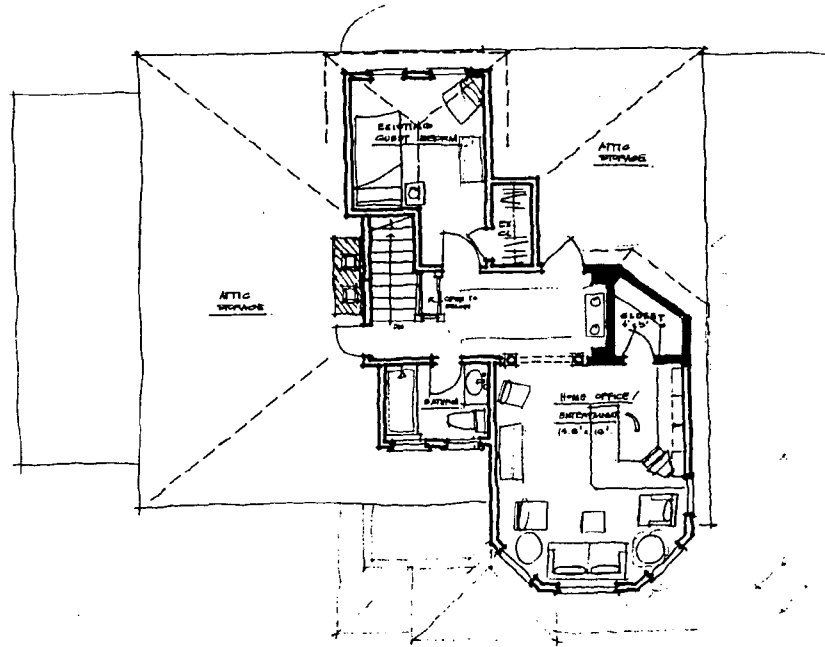
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SHEET 5 OF 12

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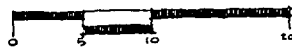
CRONE
ASSOCIATES
ARCHITECTS

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SILVER SPRING, MD 20910
(301) 947-6000 FAX (301) 947-5148



PROPOSED THIRD FLOOR PLAN
ARONSON RESIDENCE

20 APRIL 98



NO. DATE REVISION BY

PROPOSED ALTERATIONS TO
ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912

PROJECT

TITLE

DATE 20 APRIL 98

SCALE

DRAWN BY

APPROVED BY

DR. NO.

10

SHEET 10 OF 12

18



RIGHT SIDE ELEVATION



FRONT ELEVATION



CRONE ASSOCIATES ARCHITECTS

3511 COLEVILLE ROAD
SILVER SPRING, MD 20910
1-301-567-4000 FAX 1-301-567-1148

□ □ □ □

NO. DATE REVISION BY

PROPOSED ALTERATIONS TO
ANDERSON RESIDENCE
7811 Takoma Avenue
Takoma Park, MD 20912

PROJECT

TITLE

DATE 20 APRIL '98

SCALE

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JOB NO.

6

SHEET 6 OF 12

19

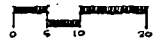


7615

7611

7607

STREET ELEVATION - TAKOMA AVENUE



TAKOMA AVENUE - FRONT ELEVATION

ANDERSON RESIDENCE

30 APRIL 98

CRONE ASSOCIATES ARCHITECTS

871 COLEVILLE ROAD
SILVER SPRING, MD 20910
(301) 987-2300 FAX (301) 987-1416

NO.	DATE	REVISION	BY

PROPOSED ALTERATIONS TO:
ANDERSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912

PROJECT

TITLE
DATE 30 APRIL 98
SCALE
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JOB NO.

11

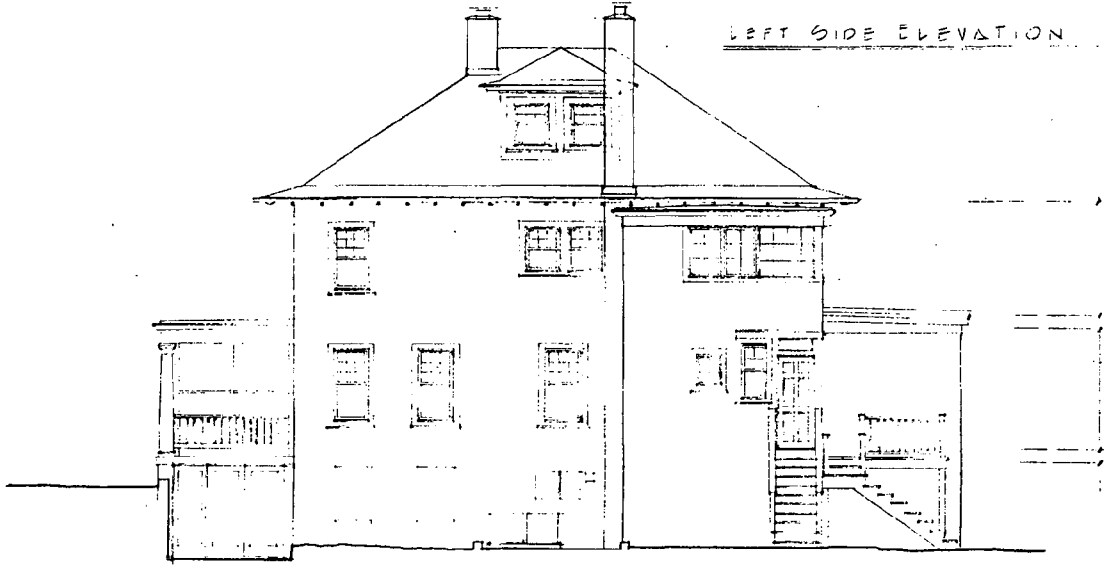
SHEET 11 OF 12

20

CRONE
ASSOCIATES
ARCHITECTS
8971 COLLEVILLE ROAD
SILVER SPRING, MD 20910
(301) 587-3000 FAX (301) 587-3148
□ □ □ □ □



LEFT SIDE ELEVATION



REAR ELEVATION



NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7811 Talbot Avenue
Talbot Park, MD 20712

PROJECT

TITLE

DATE 30 APRIL '83

SCALE

DRAWN BY

APPROVED BY

JOB NO.

7

SHEET 7 OF 12

21

CRONE ASSOCIATES ARCHITECTS

8931 COLLEVILLE ROAD
 SILVER SPRING, MD 20910
 (301) 587-3300 FAX (301) 587-3118

NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
 ARONSON RESIDENCE
 7811 Takoma Avenue
 Takoma Park, MD 20912

PROJECT

TITLE

DATE 30 APRIL 98

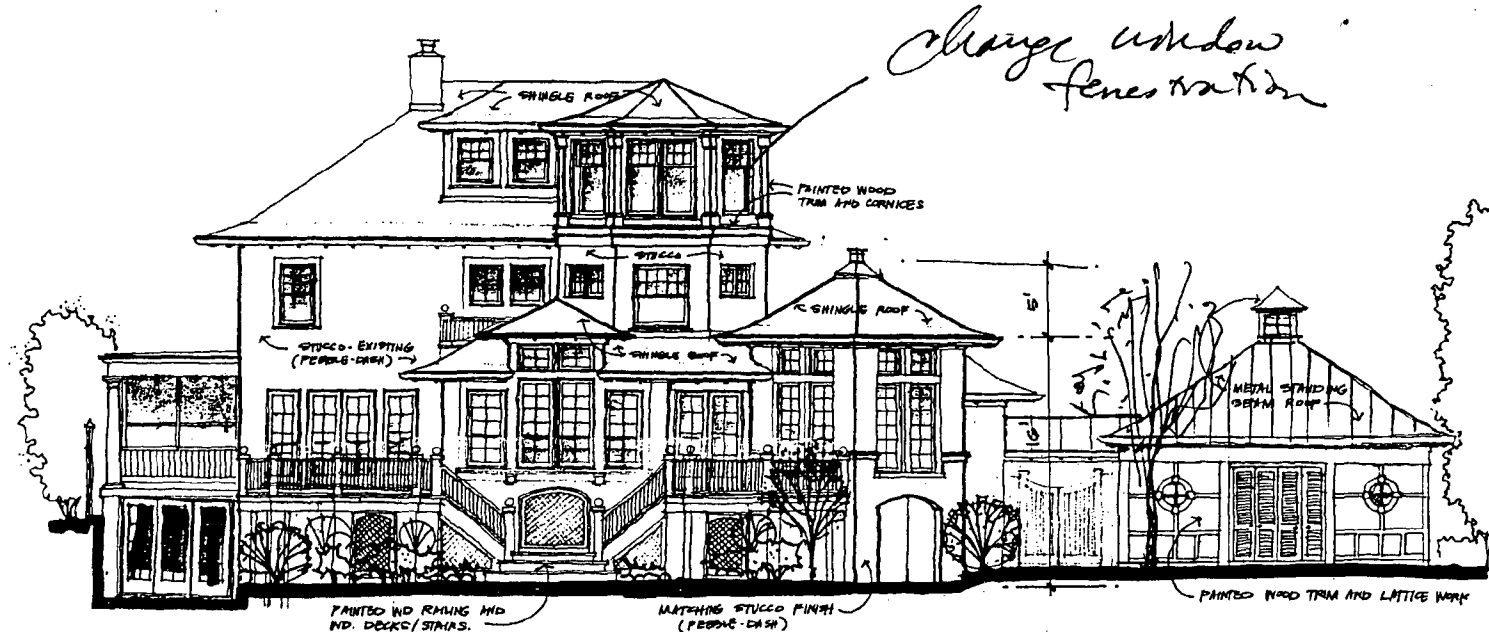
SCALE

DRAWN BY

APPROVED BY

JOB NO.

12
 SHEET 12 OF 12



REAR ELEVATION
 ARONSON RESIDENCE

30 APRIL 98

22

ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



FRONT VIEW (NW) CLOSE UP



FRONT - STREET VIEW

ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



ADJACENT HOUSE ON RIGHT SIDE
(7607 TAKOMA AVE.)



FRONT VIEW (NW) - FACING TAKOMA AVE.

ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



SIDE VIEW (NE)



SIDE VIEW (NE) - CLOSE-UP

ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



SIDE VIEW OF FRONT
YARD / DRIVEWAY



VIEW OF FRONT (NW) AND LEFT SIDE (NE)

ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



REAR VIEW (SE)



REAR VIEW - CLOSE - UP

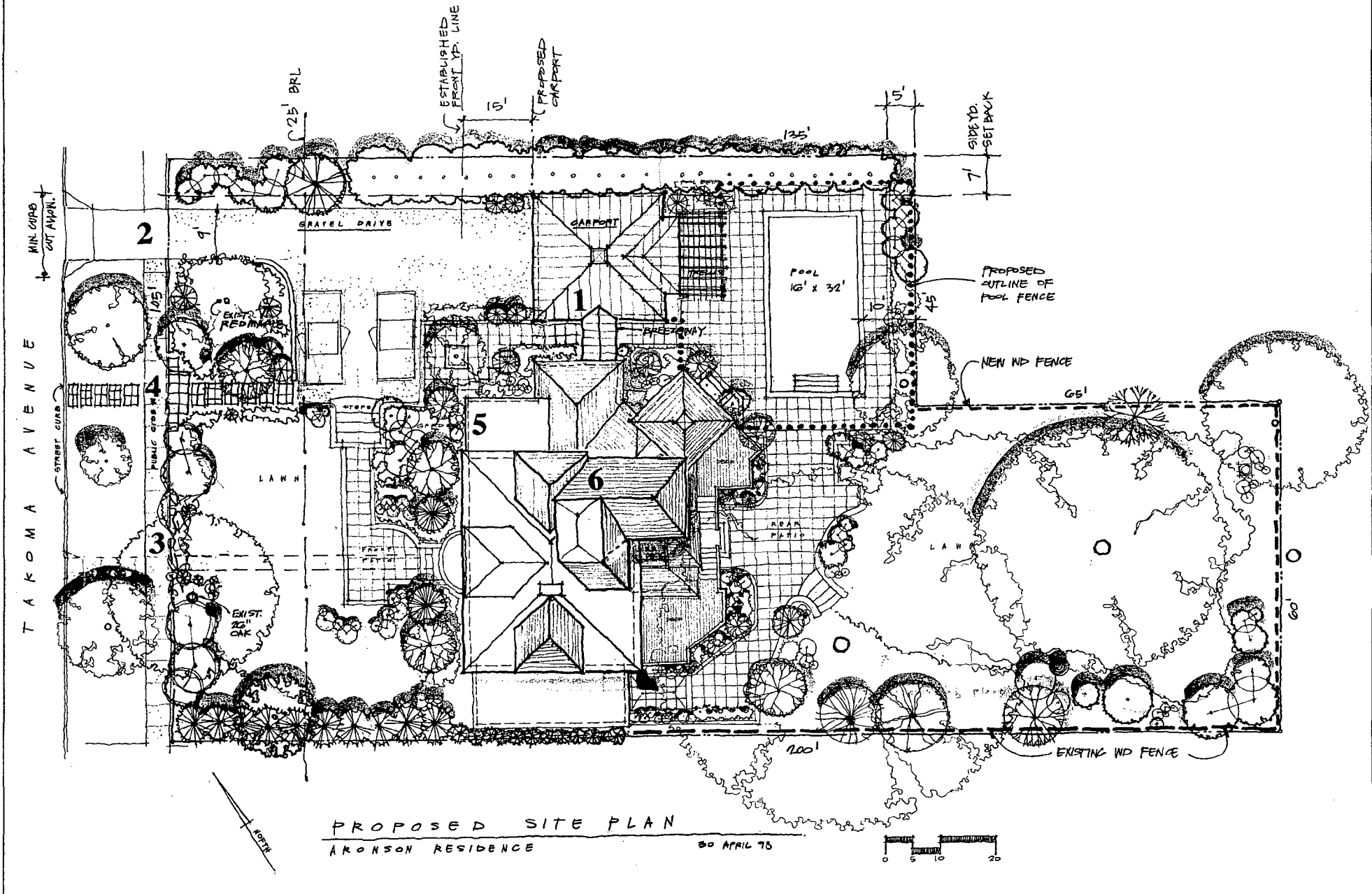
ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



ADJACENT HOUSE ON LEFT SIDE
(7613 TAKOMA AVE.)



FRONT VIEW (NW) OF SIDE YARD



PROPOSED SITE PLAN
ARONSON RESIDENCE

30 APRIL 78

AMENDED :
02 JUNE 1998

NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7811 Takoma Avenue
Takoma Park, MD 20912

PROJECT

TITLES

DATE 30 APRIL 98

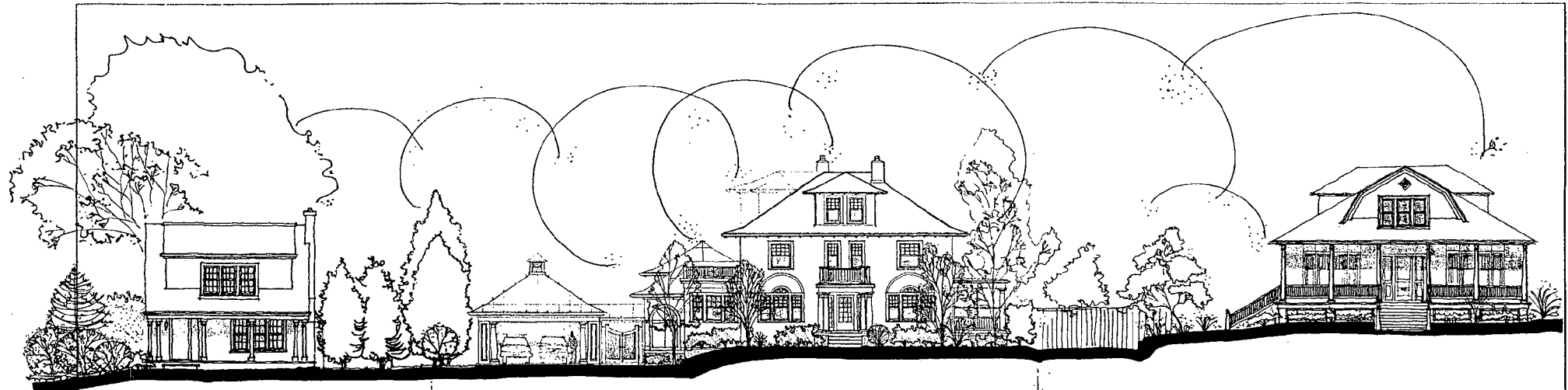
SCALE

DRAWN BY

APPROVED BY

JOB NO

2
AMENDED
SHEET 2 OF 13



7013

Property Line

7011

Property Line

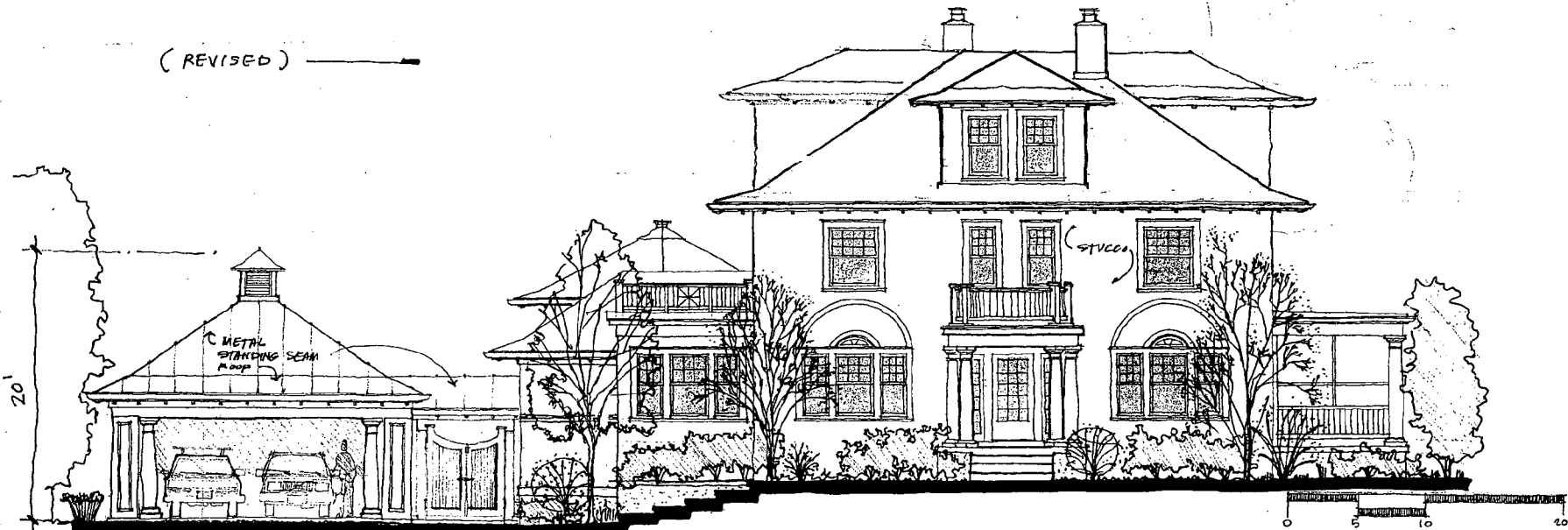
7007

STREET ELEVATION - TAKOMA AVENUE

(ORIGINAL)



(REVISED)



TAKOMA AVENUE - FRONT ELEVATION (REVISED)

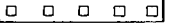
ARONSON RESIDENCE

30 APRIL 98

CRONE ASSOCIATES ARCHITECTS

8971 COLLEVILLE ROAD
SILVER SPRING, MD 20910

(301) 587-8000 FAX (301) 587-1118



AMENDED:
02 JUNE 1998

NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7811 Takoma Avenue
Takoma Park, MD 20912

PROJECT

TITLES

DATE 30 APRIL 98

SCALE

DRAWN BY

APPROVED BY

JOB NO.

11

AMENDED

SHEET 11 OF 12/13

CRONE
ASSOCIATES
ARCHITECTS

8931 COLESVILLE ROAD
SILVER SPRING, MD 20910
(301) 587-3000 FAX (301) 587-3118

AMENDED:
02 JUNE 1998

NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912

PROJECT

TITLE

DATE 30 APRIL 98

SCALE

DRAWN BY

APPROVED BY

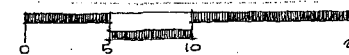
JOB NO.

12
AMENDED
SHEET 11 OF 13



REAR ELEVATION
ARONSON RESIDENCE

30 APRIL 98



CRONE ASSOCIATES ARCHITECTS
 8931 COLESVILLE ROAD
 SILVER SPRING, MD 20910
 (301) 587-3000 FAX (301) 587-5118



SIDE ELEVATION
 ARONSON RESIDENCE

02 JUNE 98



NO.	DATE	REVISION	BY

PROPOSED ALTERATIONS TO:
 ARONSON RESIDENCE
 7611 Takoma Avenue
 Takoma Park, MD 20912

PROJECT

TITLES

DATE 02 JUNE 98

SCALE

DRAWN BY

APPROVED BY

JOB NO.

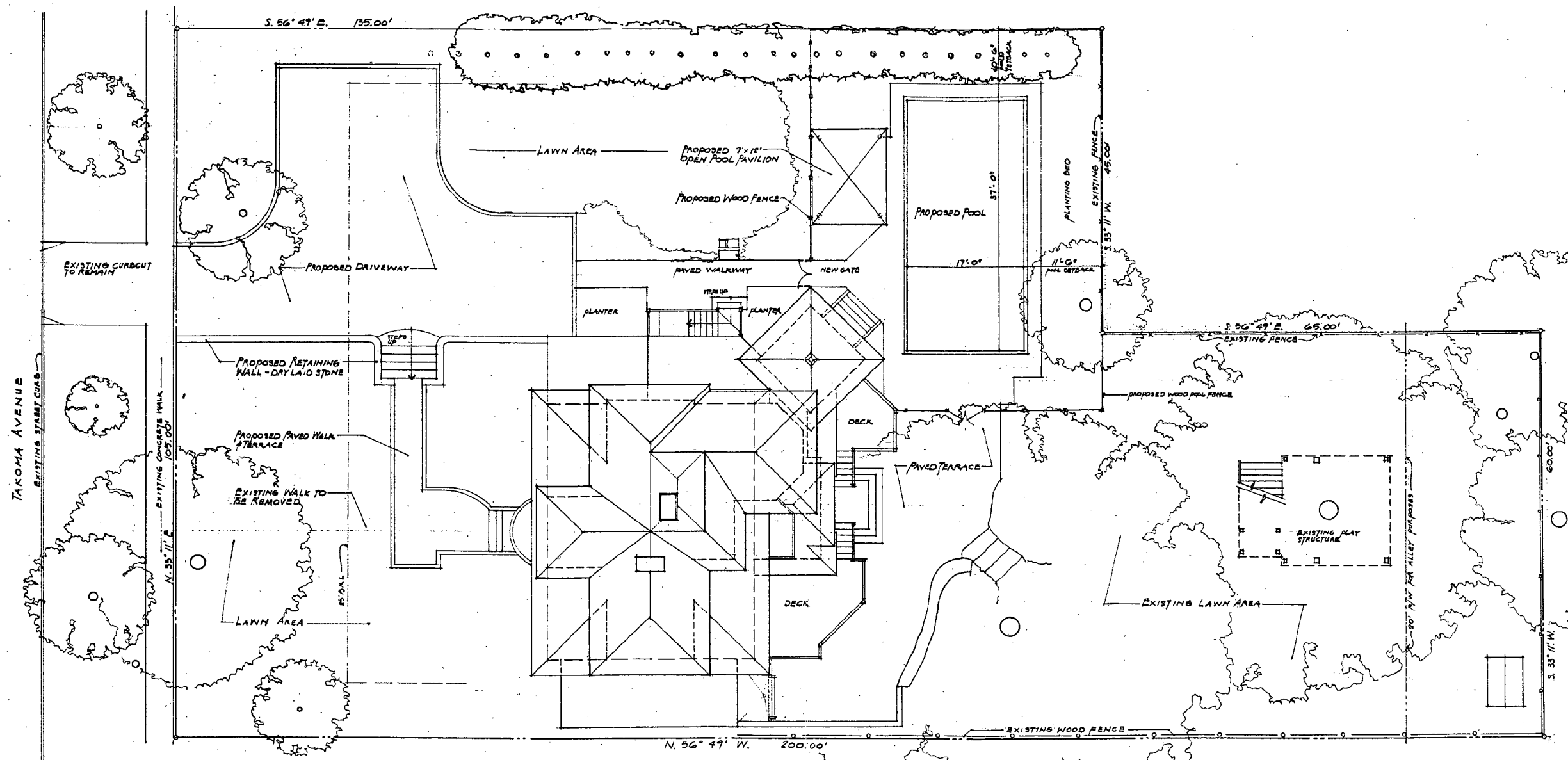
13
 AMENDED

SHEET 13 OF 13

CRONE ASSOCIATES ARCHITECTS

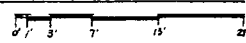
8931 COLESVILLE ROAD
SILVER SPRING, MD 20910
(301) 567-3000 FAX (301) 567-3118

□ □ □ □ □



PROPOSED SITE PLAN

SCALE: 1/8"=1'-0"



NO.	DATE	REVISION	BY

PROPOSED ALTERATIONS & ADDITIONS TO:
ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912

PROJECT

Revision
- Submission to H.P.C.

TITLES

DATE: Aug. 19, 1998
H.P.C. REVISIONS REVIEW

SCALE

DRAWN BY

APPROVED BY

JOB NO.

1

SHEET OF



7613 Property Line 7611 Property Line 7607

STREET ELEVATION - TAKOMA AVENUE



TAKOMA AVENUE - FRONT ELEVATION

ARONSON RESIDENCE

30 APRIL 98
19 AUGUST 98 - REV. SUBMISSION TO HPC

CRONE ASSOCIATES ARCHITECTS

8931 COLESVILLE ROAD
SILVER SPRING, MD 20910
(301) 587-3000 FAX (301) 587-3118

□ □ □ □ □

NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912

PROJECT

Revision
Submission to H.P.C.

TITLES

DATE 19 AUG. 98

SCALE

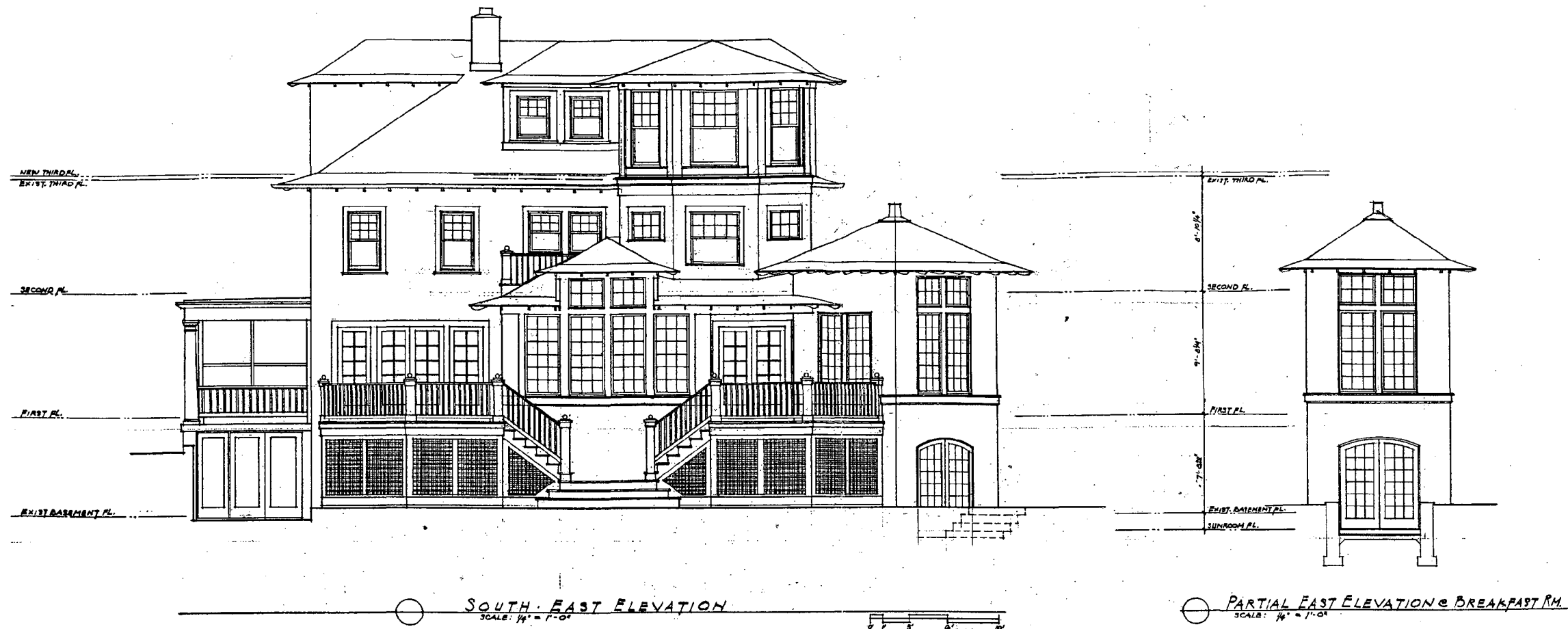
DRAWN BY

APPROVED BY

JOB NO

2

SHEET OF



SOUTH-EAST ELEVATION
SCALE: 1/4" = 1'-0"

PARTIAL EAST ELEVATION & BREAKFAST RM.
SCALE: 1/4" = 1'-0"



NORTH-EAST ELEVATION
SCALE: 1/4" = 1'-0"

NO. DATE REVISION BY

PROPOSED ALTERATIONS TO:
ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912

PROJECT

Revision
Submission to H..P.C.

TITLES

DATE 19 AUG. 98

SCALE

DRAWN BY

APPROVED BY

JOB NO

1. Dimensions of carport
20'-6" x 20'-6"
today's "standard"

2. Breecrwy would be moved back 6'
to be in line with the
garage roof.
Maintain relationship to street
- front sidewalk cut

Drop blind arceding at ~~garage~~
closet

~~3. Keep the~~

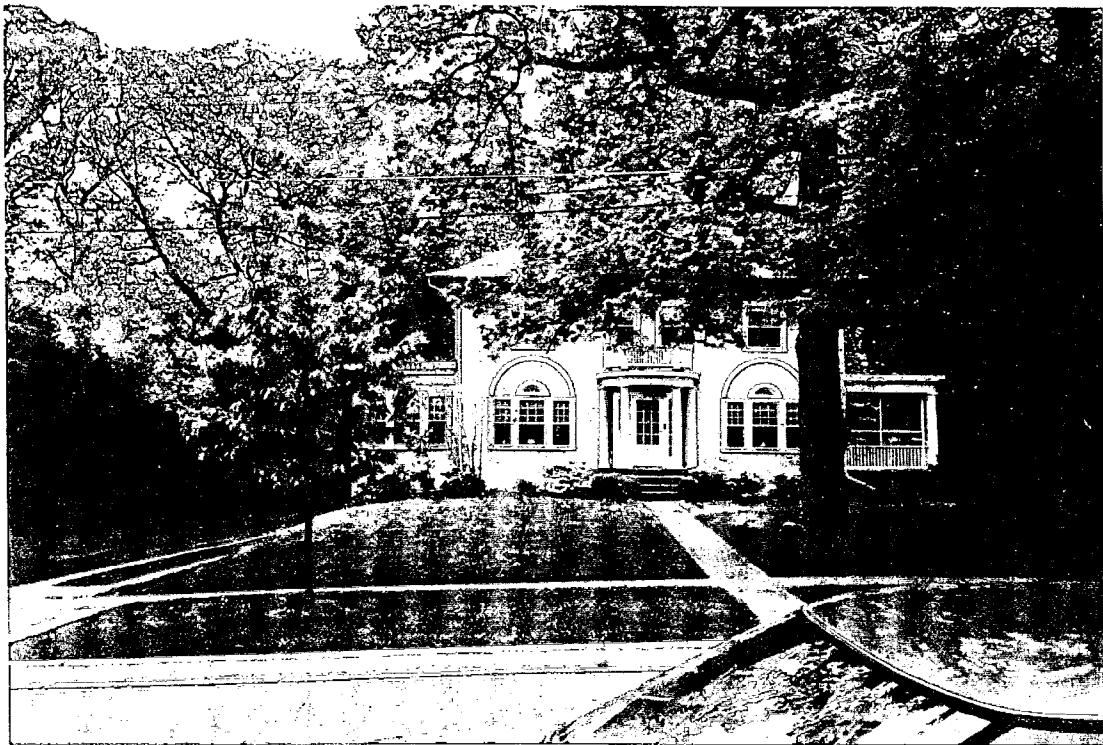
4. Minimize driveway entry piece
at sidewalk connection

5. Drop berm. Keep front walk

ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



FRONT VIEW (NW) CLOSE UP



FRONT - STREET VIEW

ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



ADJACENT HOUSE ON RIGHT SIDE
(7607 TAKOMA AVE.)



FRONT VIEW (NW) - FACING TAKOMA AVE.

ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912

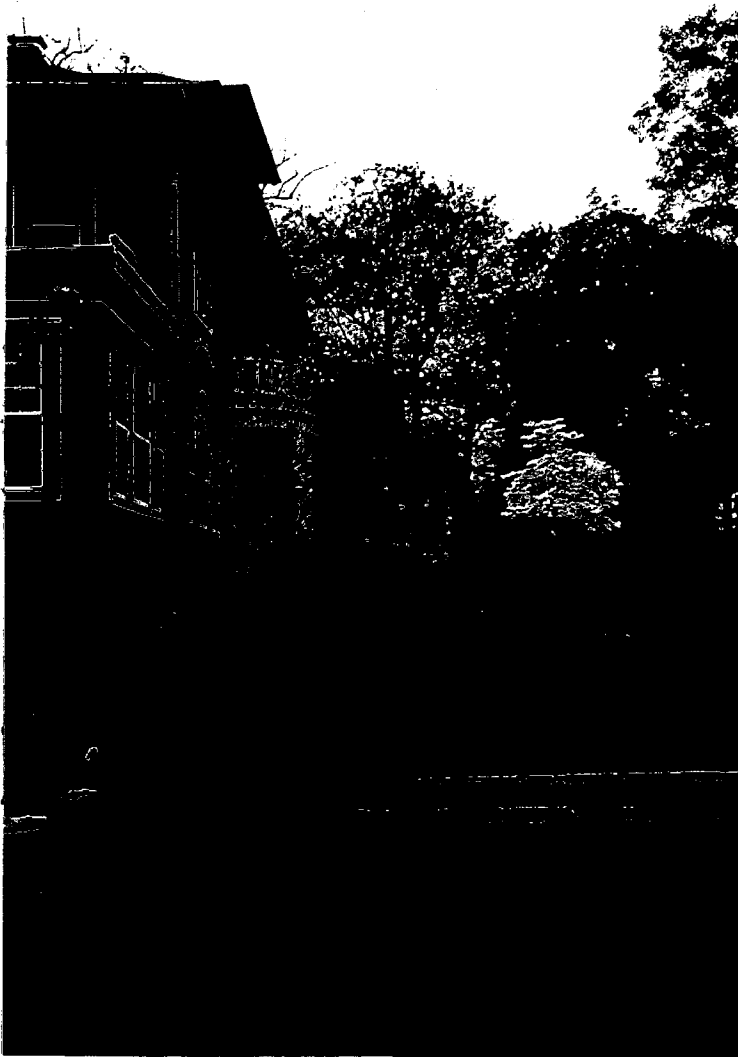


SIDE VIEW (NE)



SIDE VIEW (NE) - CLOSE-UP

ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



SIDE VIEW OF FRONT
YARD / DRIVEWAY



VIEW OF FRONT (NW) AND LEFT SIDE (NE)

ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



REAR VIEW (SE)

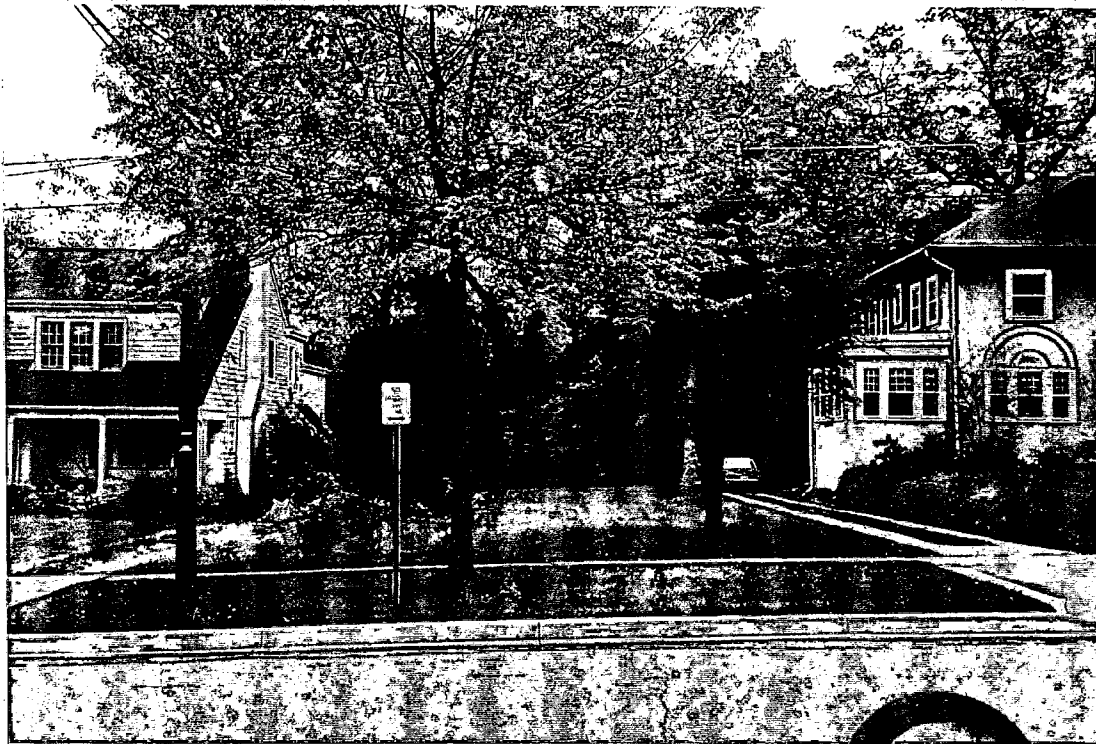


REAR VIEW - CLOSE - UP

ARONSON RESIDENCE
7611 Takoma Avenue
Takoma Park, MD 20912



ADJACENT HOUSE ON LEFT SIDE
(7613 TAKOMA AVE.)



FRONT VIEW (NW) OF SIDE YARD