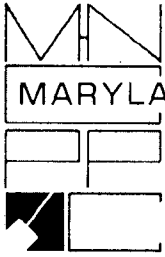


37/3-97E 55 Elm Street
(Takoma Park Historic District)



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 1-23-97

MEMORANDUM

TO: Robert Hubbard, Acting Director
Department of Permitting Services

FROM: Gwen Wright, Historic Preservation Coordinator
Montgomery County Department of Park and Planning

SUBJECT: Historic Area Work Permit

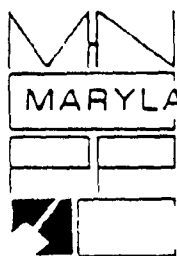
The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied
 Approved with Conditions: _____

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Marcelle Dupraw
Address: 55 Elm Street Takoma Park

THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING THE DEPARTMENT OF PERMITTING SERVICES AT 217-6240 FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 1.23.97

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



RETURN TO: Department of Environmental Protection
 Division of Development Services and Regulation
 250 Hungerford Drive, Rockville, Maryland 20850
 (301) 217-6370

Historic Preservation Commission
 (301) 495-4570

APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON Sherry Nesbit, Architect
 DAYTIME TELEPHONE NO. (301) 565-0128

TAX ACCOUNT # _____
 NAME OF PROPERTY OWNER Marcelle Dupraw DAYTIME TELEPHONE NO. (202) 270-3013
 ADDRESS 55 Elm St, Takoma Park MD 20912
CITY STATE ZIP CODE
 CONTRACTOR Owner TELEPHONE NO. ()
 CONTRACTOR REGISTRATION NUMBER _____
 AGENT FOR OWNER Sherry Nesbit, Archt. DAYTIME TELEPHONE NO. (301) 565-0128

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 55 STREET Elm St
 TOWN/CITY Takoma Park NEAREST CROSS STREET Westmoreland
 LOT 82 BLOCK E SUBDIVISION _____
 LIBER _____ FOLIO _____ PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CIRCLE ALL APPLICABLE: WINDOW DOOR CHANGES CIRCLE ALL APPLICABLE: A/C Slab Room Addition
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____
- 1B. CONSTRUCTION COST ESTIMATE \$ 5,000
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NEW REQUEST - OLD 37/3-97E OTHER ITEMS

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. TYPE OF SEWAGE DISPOSAL 01 WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLDWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Marcelle E. Dupraw _____ 12/30/96 _____
Signature of owner or authorized agent Date

APPROVED _____ For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature [Signature] Date 1-23-97

APPLICATION/PERMIT NO: 9097012006 DATE FILED: _____ DATE ISSUED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

37/3-97E

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing Bungalow style - 1910-20's, Contributing Resource. The existing basement windows are old and need to be replaced - Also drainage around shed is poor.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Replace wood windows with new wood insulated windows (same size) Also remove old shed and go back to original covered porch with raise slab - Add new french doors for more light. Design is in keeping with historic style - Low impact - rear of property

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

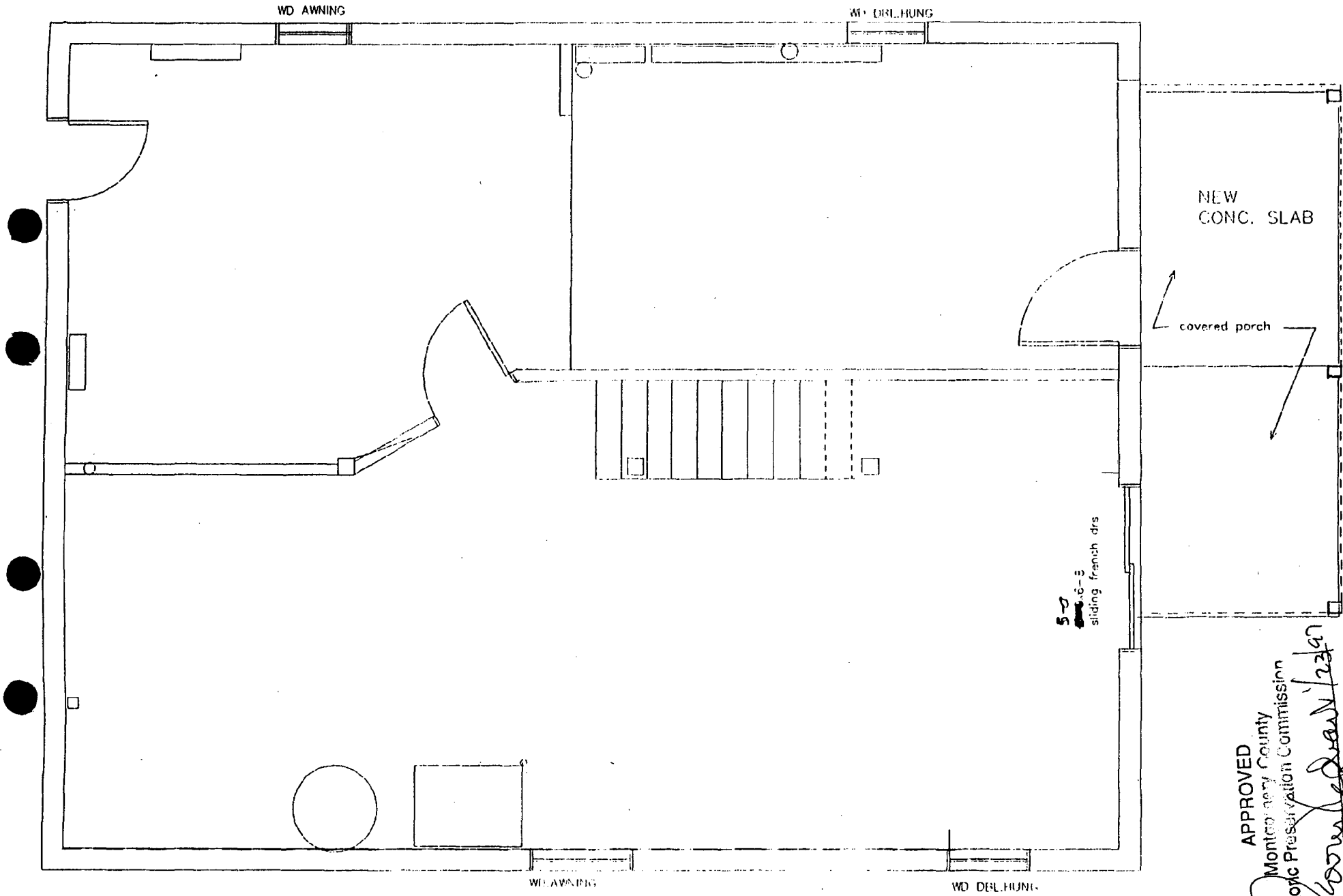
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.

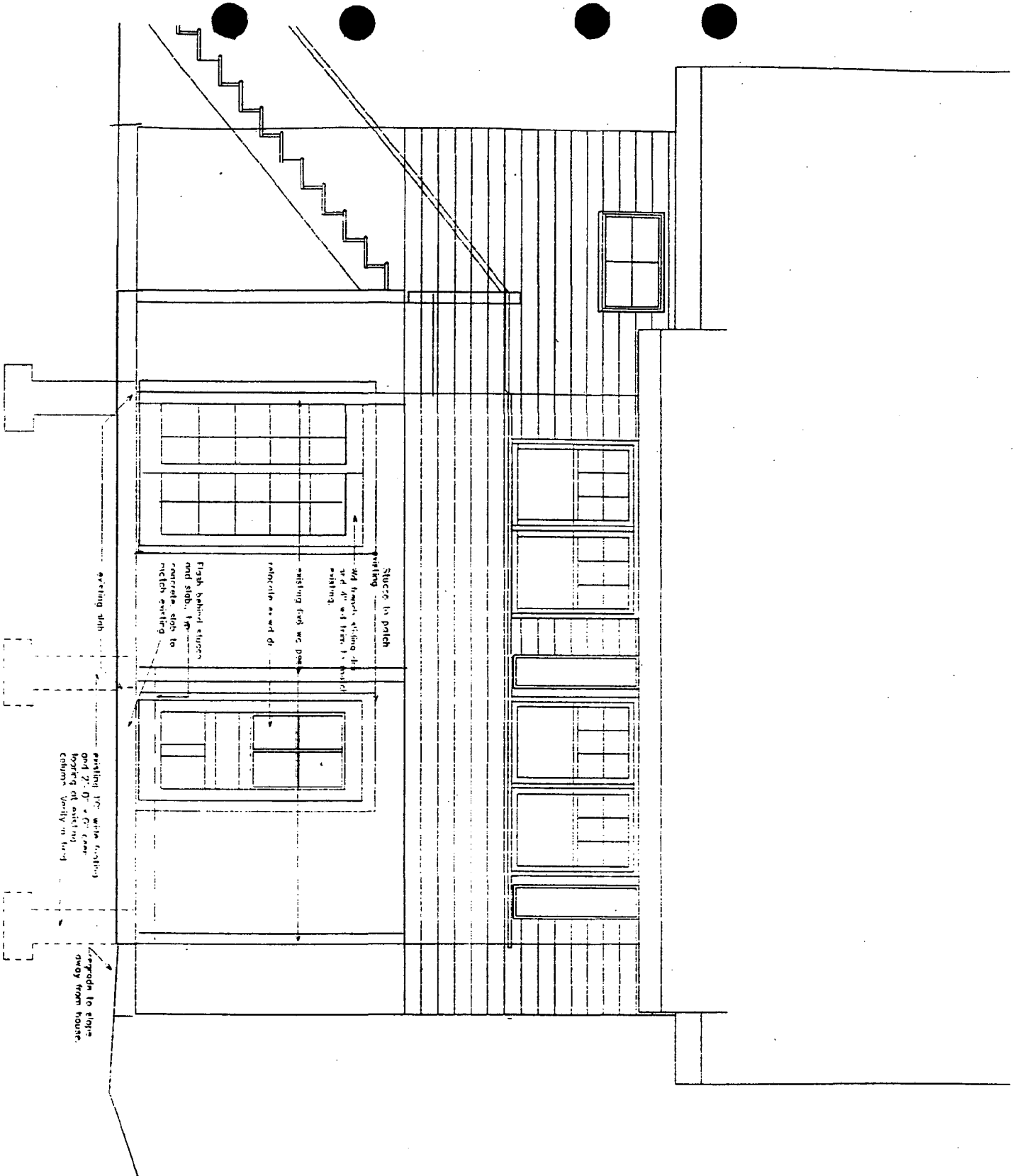


PROPOSED BASEMENT PLAN rev 12/15/97

APPROVED
 Monterey County
 Historic Preservation Commission
Robert J. ...

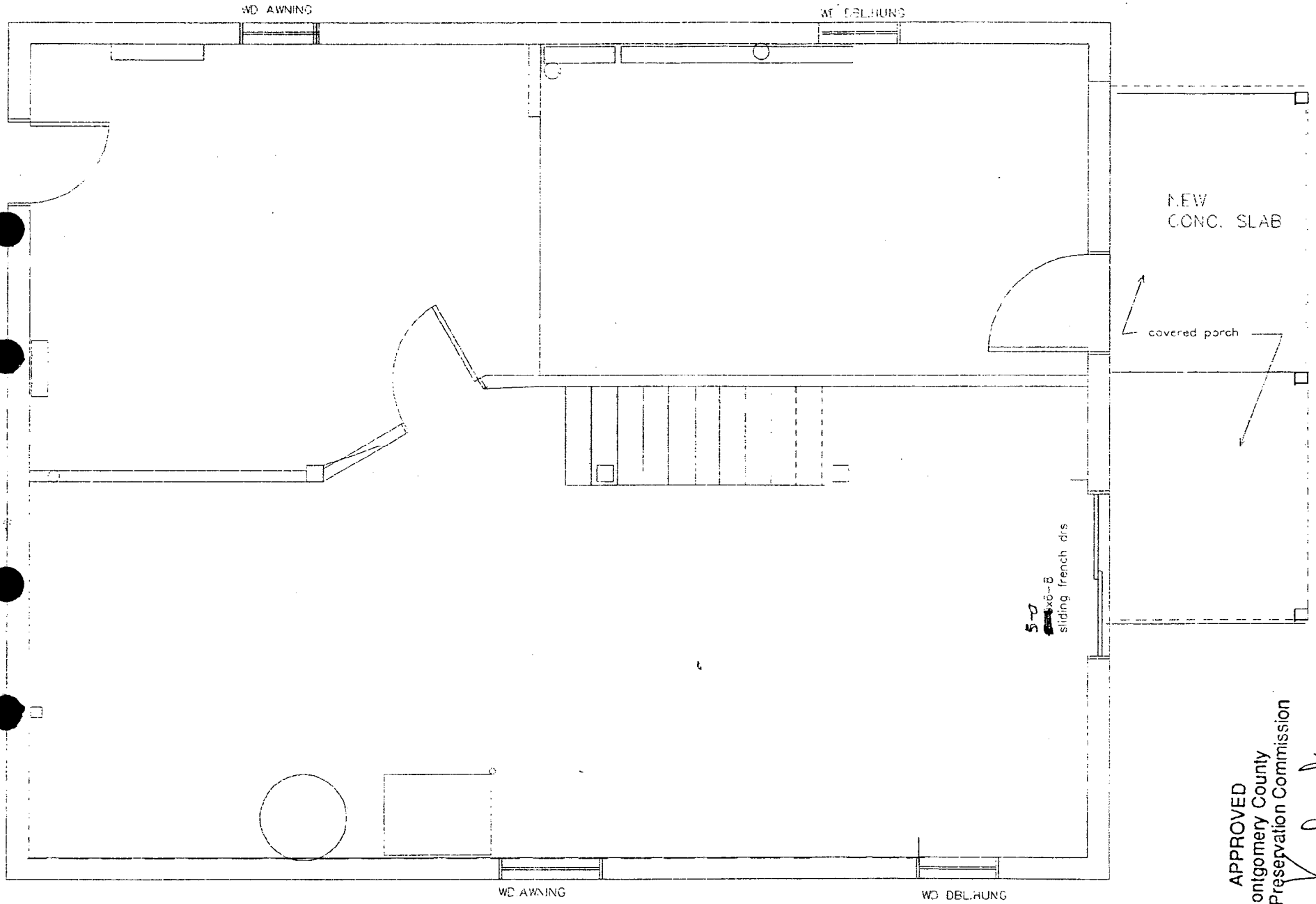
PROPOSED ELEVATION

REV. 1/15/87



APPROVED
 Montgomery County
 Historic Preservation Commission

Wayne DeFrank 1/22/97

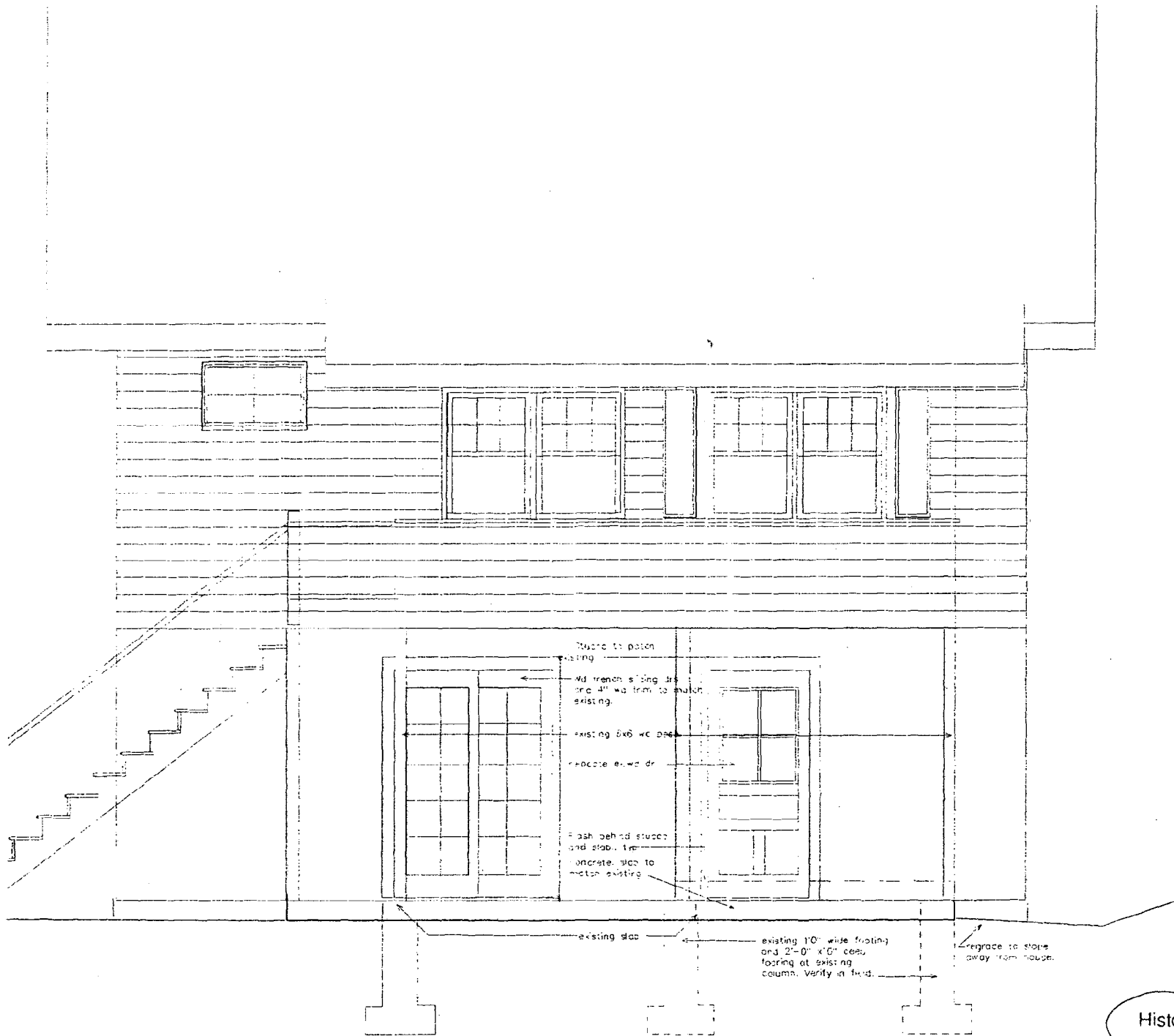


PROPOSED BASEMENT PLAN

rev 1/13/97

APPROVED
 Montgomery County
 Historic Preservation Commission

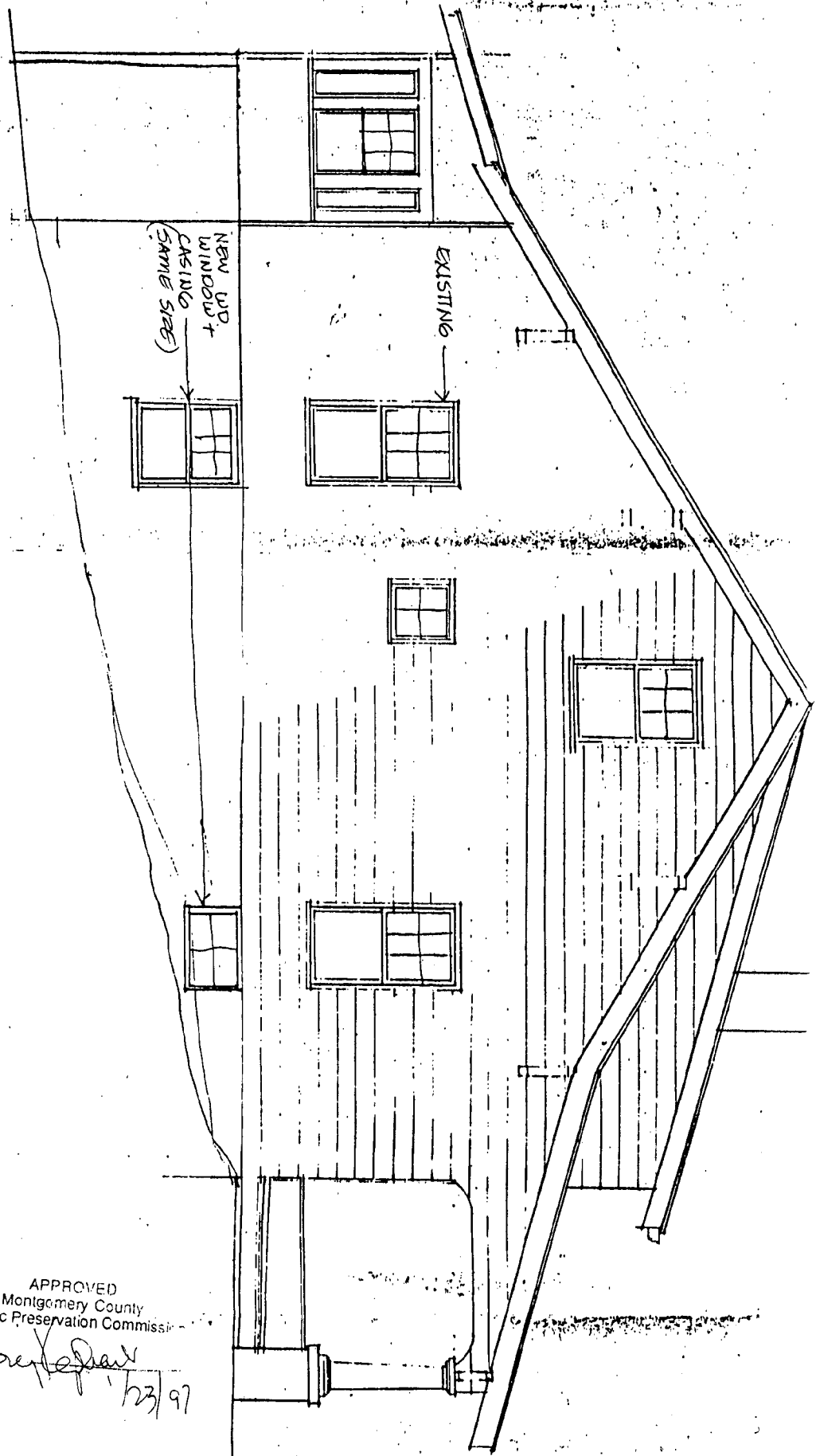
Tony Kefauver
 1/23/97



PROPOSED ELEVATION

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] / 23/97

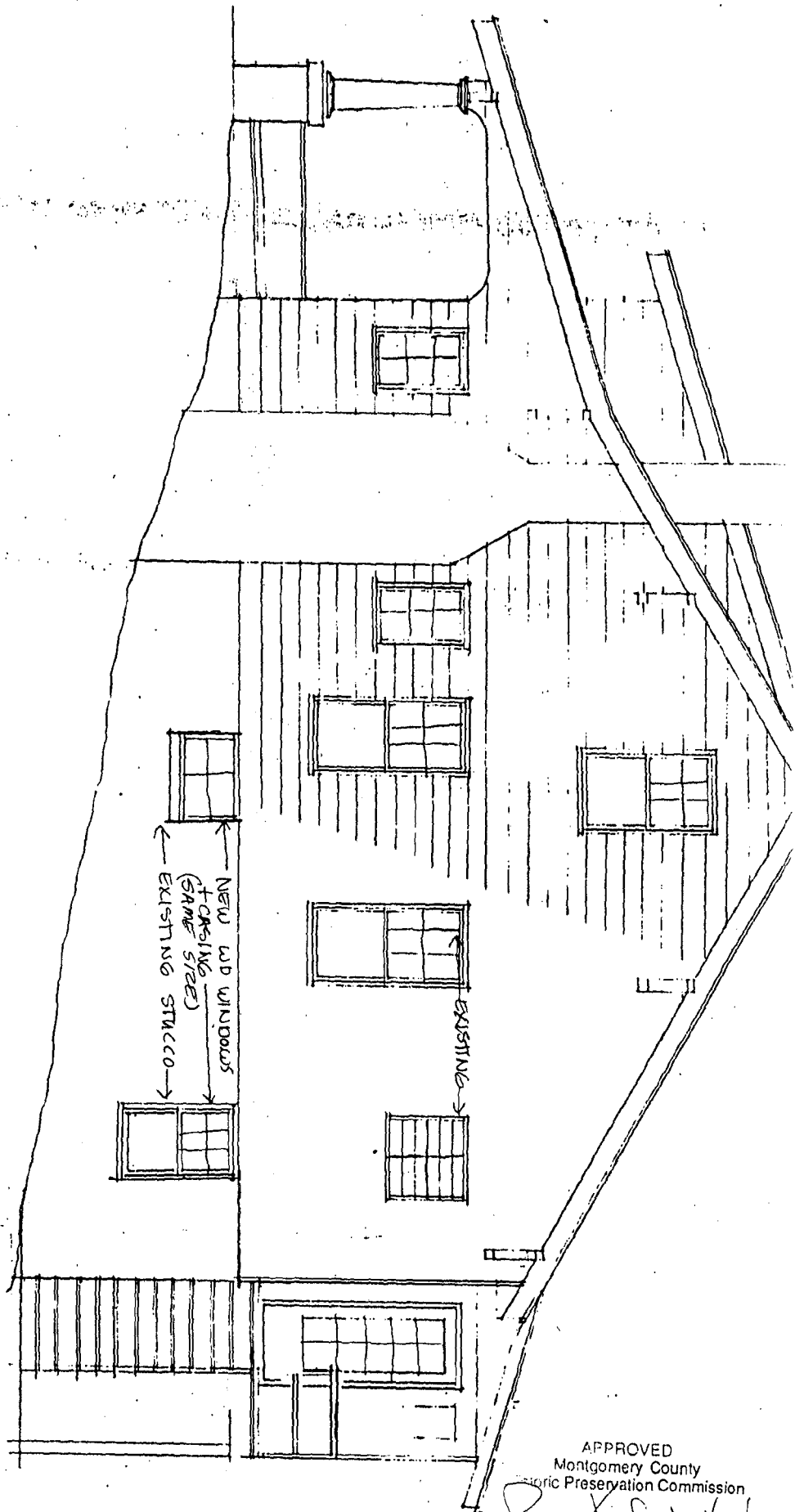
PROPOSED
EAST ELEVATION



APPROVED
Montgomery County
Historic Preservation Commission

[Signature]
1/23/97

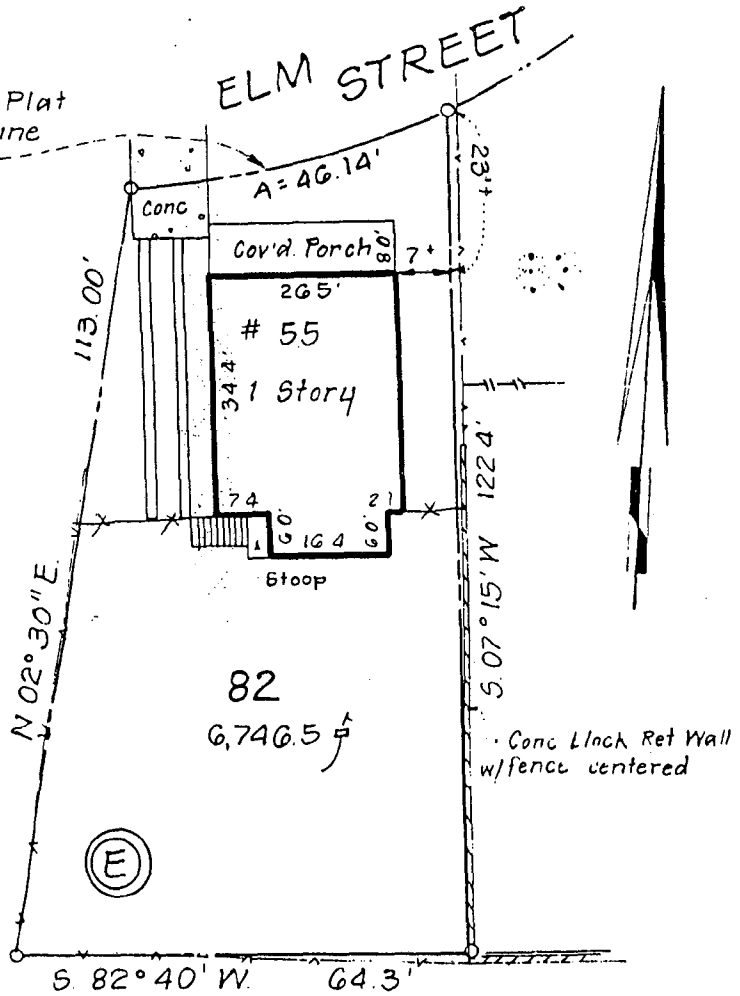
PROPOSED
WEST ELEVATION



APPROVED
Montgomery County
Historic Preservation Commission
Penny Koplan 1/23/07

LANDTEC ASSOCIATES, INC.
 7307 BALTIMORE AVENUE SUITE 214
 COLLEGE PARK, MARYLAND 20740
 301 277 8878

Note: Record Plat does not define this curve



APPROVED
 Montgomery County
 Historic Preservation Commission

[Handwritten signature] 123/91

NOTE: THIS PROPERTY LIES
 IN FLOOD ZONE C, AN AREA
 OF MINIMAL FLOODING, AS
 DELINEATED ON THE MAPS
 OF THE NATIONAL FLOOD
 INSURANCE PROGRAM



EXISTING

NO TITLE REPORT FURNISHED

LOCATION SURVEY OF
 #55 ELM STREET
 MONTGOMERY COUNTY, MD.
 SUBDIVISION
 B.F. GILBERTS
 ADDITION TO TAKOMA PARK

LOT: 82
 PLAT BOOK: 3
 DATE 3-30-94
 CASE NO: ...

BLOCK: E
 PLAT NO: 225
 SCALE: 1" = 20'
 FILE NO: MP 04057

CERTIFICATION: I, the undersigned, certify that the position of all the existing visible improvements on the above described property has been carefully established in relation to the appurtenant lot lines and that, unless otherwise shown, there are no visible encroachments upon or a property line survey and should not be used for the location of lines of any other improvements.

GRADEN A. ROGERS - PROP. LAND LIC. NO. 119

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 55 Elm Street *Avenue*

Meeting Date: 1/22/97

Resource: Takoma Park Historic District

HAWP: Alterations

Case Number: 37/3-97E

Tax Credit: Partial

Public Notice: 1/08/97

Report Date: 1/15/97

Applicant: Marcelle Dupraw

Staff: Perry Kephart

PROPOSAL: Replace basement windows,
Remove basement shed, Add glass doors.

RECOMMEND: Approve

DATE OF CONSTRUCTION: ca. 1910-20

SIGNIFICANCE: Contributing Resource in Takoma Park Historic District.

ARCHITECTURAL DESCRIPTION

Wood sided 1 1/2 story bungalow set on steep lot with walk-in basement entry at the rear. The basement level is faced with stucco. Existing windows of main floor are 6/1, existing basement windows are single pane awning windows or 1/1 double-hung. At the rear of the house is an enclosed porch addition (set over the entrance to the basement) with a later shed addition under the right hand side of the enclosed porch.

PROPOSAL

The applicant proposes to:

1. Replace deteriorated windows on the basement level (east and west side facades) with wooden 6/1 or 4 light double-glazed windows with attached muntins. The proposed windows are to be of the same size as the existing windows. The trim is to be of wood and to match the existing trim on the first story. The basement stucco facing is to be preserved.
2. Remove the non-original shed under the right side of the raised enclosed rear porch. Replace the deteriorated concrete slab on the shed site to improve drainage away from the house. Install flashing at the base of basement wall. Regrade the perimeter earth around the slab to improve drainage.
3. Replace the existing basement door to the left of the shed site with sliding wooden french doors with trim to match the existing trim on the first floor. The doors would be double-glazed with applied wood muntins.
4. Build a basement wall at the site of the opening from the basement to the demolished shed. The proposed wall is to be stucco. The original basement door removed in (3) above is to be used in the new wall for access to the mud/laundry room.

STAFF DISCUSSION

Staff would concur with applicant's plan to bring the area under the first floor porch back to a configuration more closely resembling the original by removing a storage shed.

Moving an original door is not encouraged, but as the modification is in the rear, and the original door is being reused, staff would support the plan. Replacement of old windows has been the subject of many staff discussions. In this case, the windows do not appear to be original, are on the side of basement walls, and their replacement will not significantly affect the surrounding stucco. Finally, staff would wholeheartedly support applicant's plan to improve the drainage and thus potentially prolong the life of this contributing resource.

STAFF RECOMMENDATION

With the following conditions, staff recommends that the Commission find the proposal **consistent** with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

Mozelle B. Hazell
97 ELM AVE
Takoma Park, MD
20912

Michael Lichten + Katharine Coon
6805 Westmoreland
Takoma Park, MD 20912

Kathleen N. Schalch +
Scott Davis
51 ELM AVE
Takoma Park, MD
20912

Richard Weiss
27 Pine Ave
Takoma Park, MD
20912

Normandie Peterson
716 Silver Spring Ave
Silver Spring, MD
20910

Clifford Hunter
6811 Westmoreland
Takoma Park, MD
20912

APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON Sherry Nesbit, Architect
DAYTIME TELEPHONE NO. (301) 565-0128

TAX ACCOUNT # _____
NAME OF PROPERTY OWNER Marcelle Dupraw DAYTIME TELEPHONE NO. (202) 270-3013
ADDRESS 55 Elm St, Takoma Park MD 20912
CITY STATE ZIP CODE
CONTRACTOR Owner TELEPHONE NO. ()
CONTRACTOR REGISTRATION NUMBER _____
AGENT FOR OWNER Sherry Nesbit, Arch. DAYTIME TELEPHONE NO. (301) 565-0128

LOCATION OF BUILDING/PREMISE
HOUSE NUMBER 55 STREET ELm St
TOWN/CITY Takoma Park NEAREST CROSS STREET Westmoreland
LOT 82 BLOCK E SUBDIVISION _____
LIBER _____ FOLIO _____ PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CIRCLE ALL APPLICABLE: WINDOW + DOOR CHANGES CIRCLE ALL APPLICABLE: A/C Slab Room Addition
Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____
- 1B. CONSTRUCTION COST ESTIMATE \$ 5,000
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NEW REQUEST - OLD 3713-940 other items

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. TYPE OF SEWAGE DISPOSAL 01 (X) WSSC 02 () SEPTIC 03 () OTHER _____
2B. TYPE OF WATER SUPPLY 01 (X) WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. HEIGHT _____ feet _____ inches
- 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Marcelle E. Dupraw Signature of owner or authorized agent 12/30/90 Date

APPROVED _____ For Chairperson, Historic Preservation Commission
DISAPPROVED _____ Signature _____ Date _____

(3)

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing Bungalow style - 1910-20's, Contributing Resource. The existing basement windows are old and need to be replaced - Also drainage around shed is poor.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Replace wood windows with new wood insulated windows (same size) also remove old shed and go back to original covered porch with raise slab - Add new french doors for more light.

2. SITE PLAN

Design is in keeping with historic style - Low impact - rear of property

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
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4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

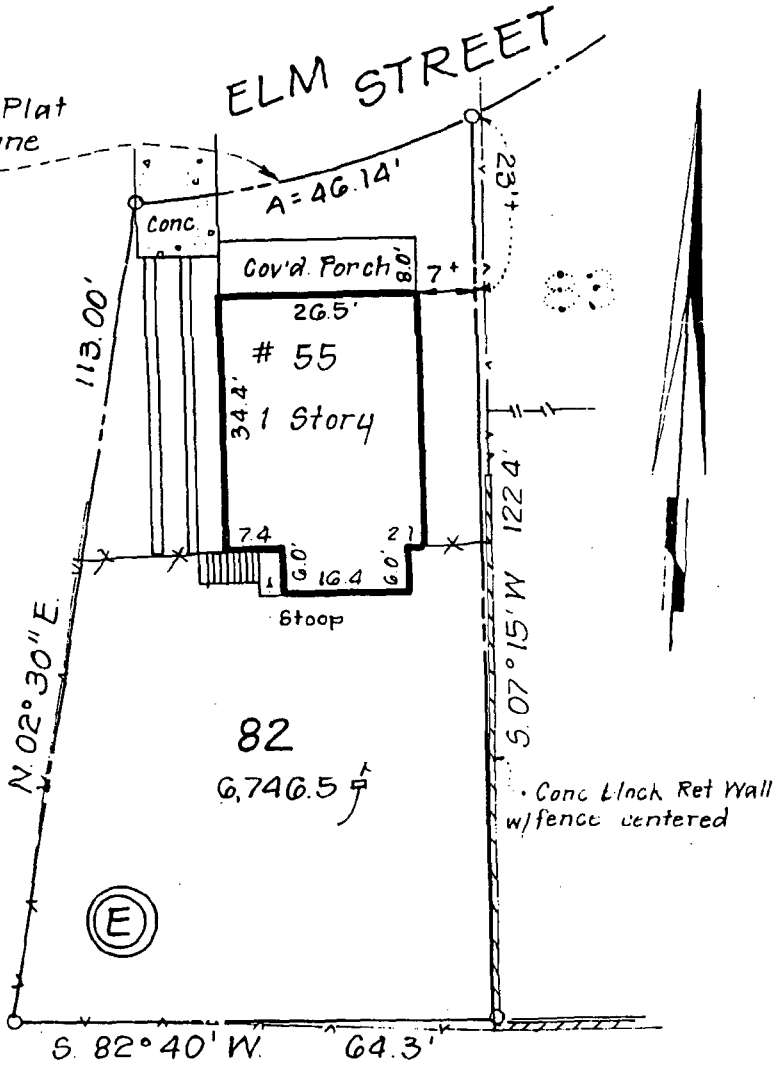
- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY



LANDTECH ASSOCIATES, INC.
 7307 BALTIMORE AVENUE SUITE 214
 COLLEGE PARK, MARYLAND 20740
 301 277 8878

Note: Record Plat
 does not define
 this curve



NOTE: THIS PROPERTY LIES
 IN FLOOD ZONE C, AN AREA
 OF MINIMAL FLOODING, AS
 DELINEATED ON THE MAPS
 OF THE NATIONAL FLOOD
 INSURANCE PROGRAM



EXISTING

NO TITLE REPORT FURNISHED

LOCATION SURVEY OF
 #55 ELM STREET
 MONTGOMERY COUNTY, MD.
 SUBDIVISION

B. F. GILBERTS
 ADDITION TO TAKOMA PARK

LOT: 82

PLAT BOOK: 3

DATE: 3-30-94

CASE NO: _____

BLOCK: E

PLAT NO: 225

SCALE: 1" = 20'

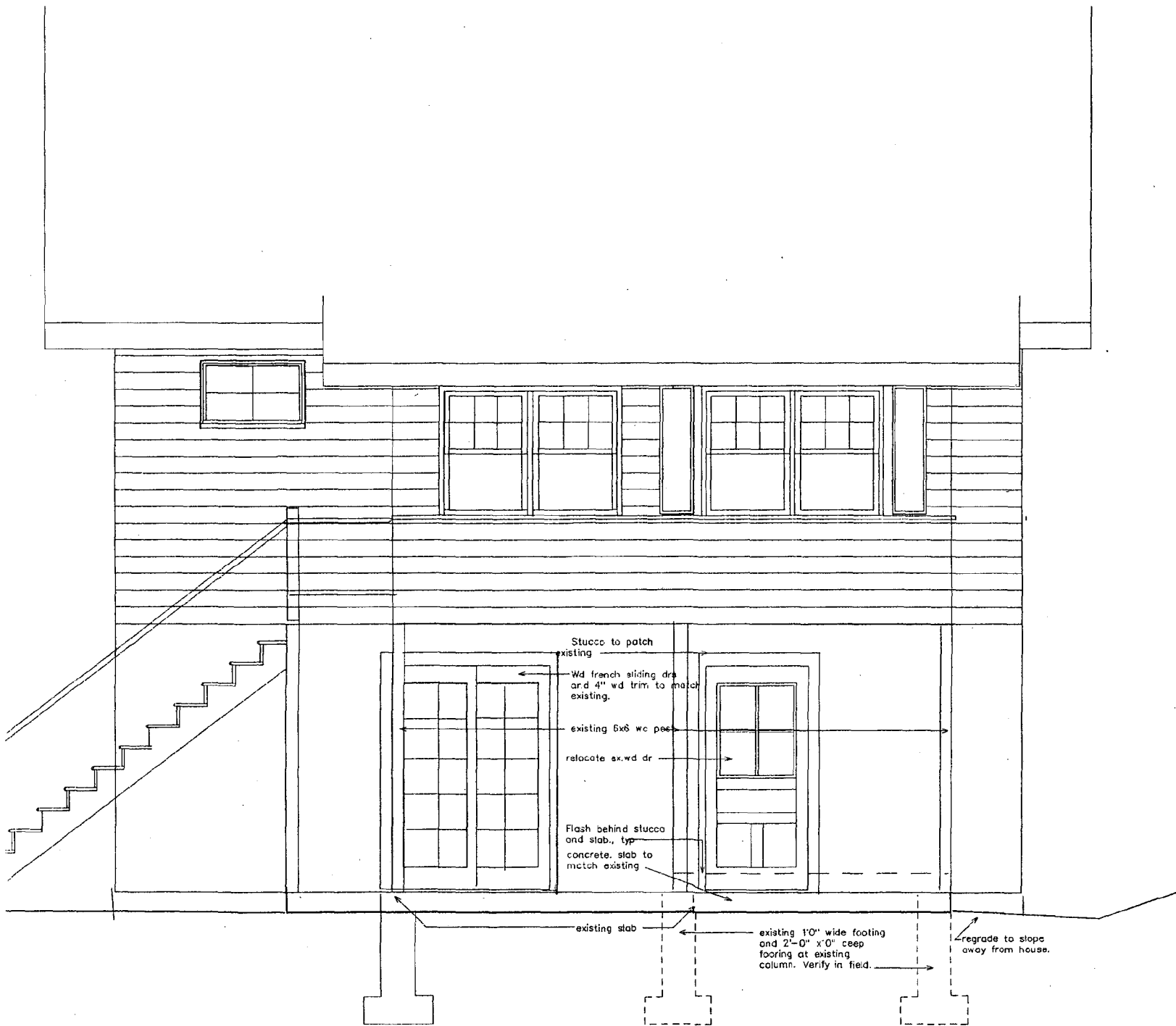
FILE NO: MP 04057

CERTIFICATION: I hereby certify that the position of all the existing visible monuments on the above described property has been carefully established, their location ascertained, and that, unless otherwise shown, there are no visible monuments. This is not a property line survey and should not be used for the location of lines or any other improvements.

EXISTING SOUTH ELEVATION

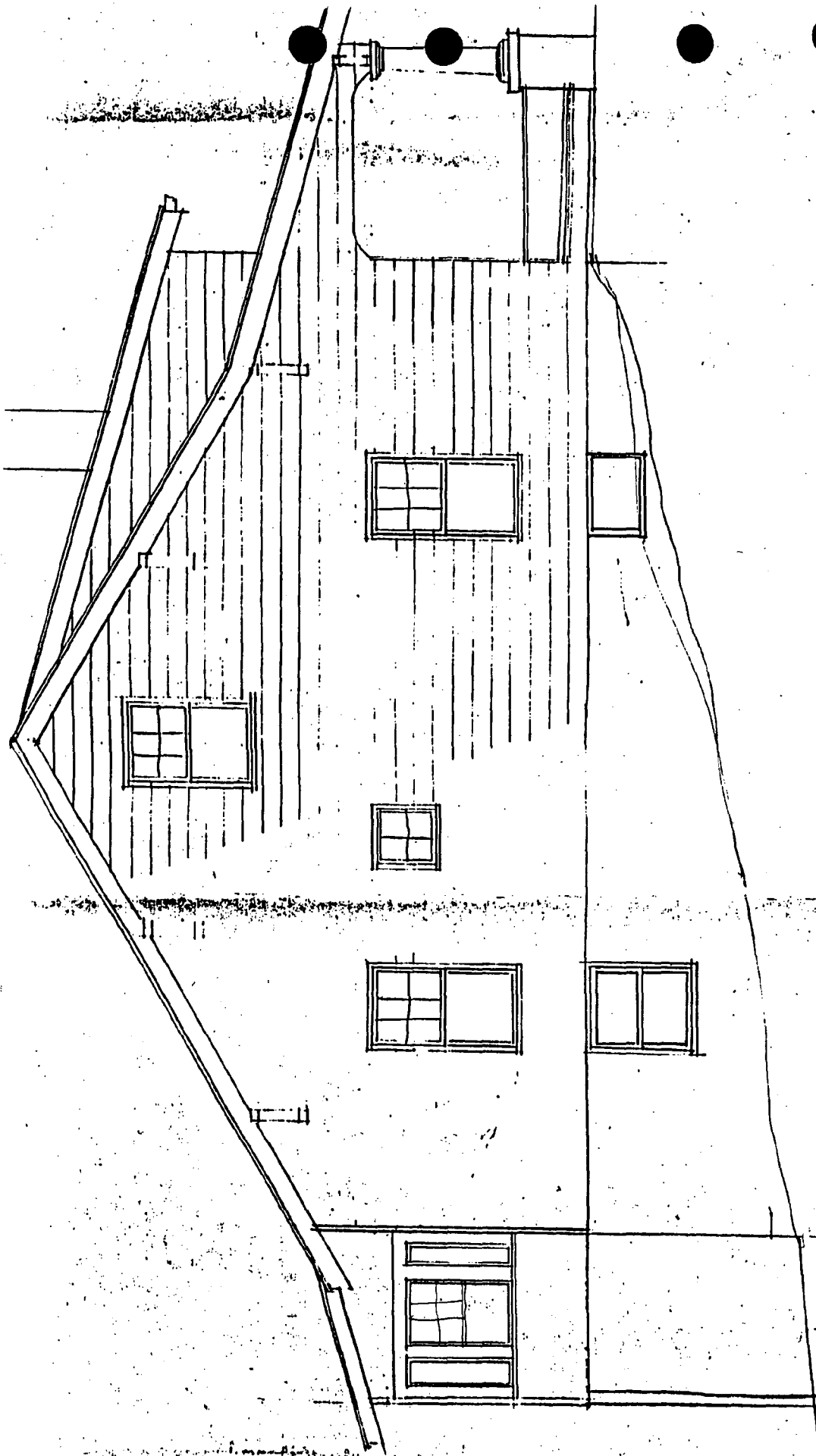
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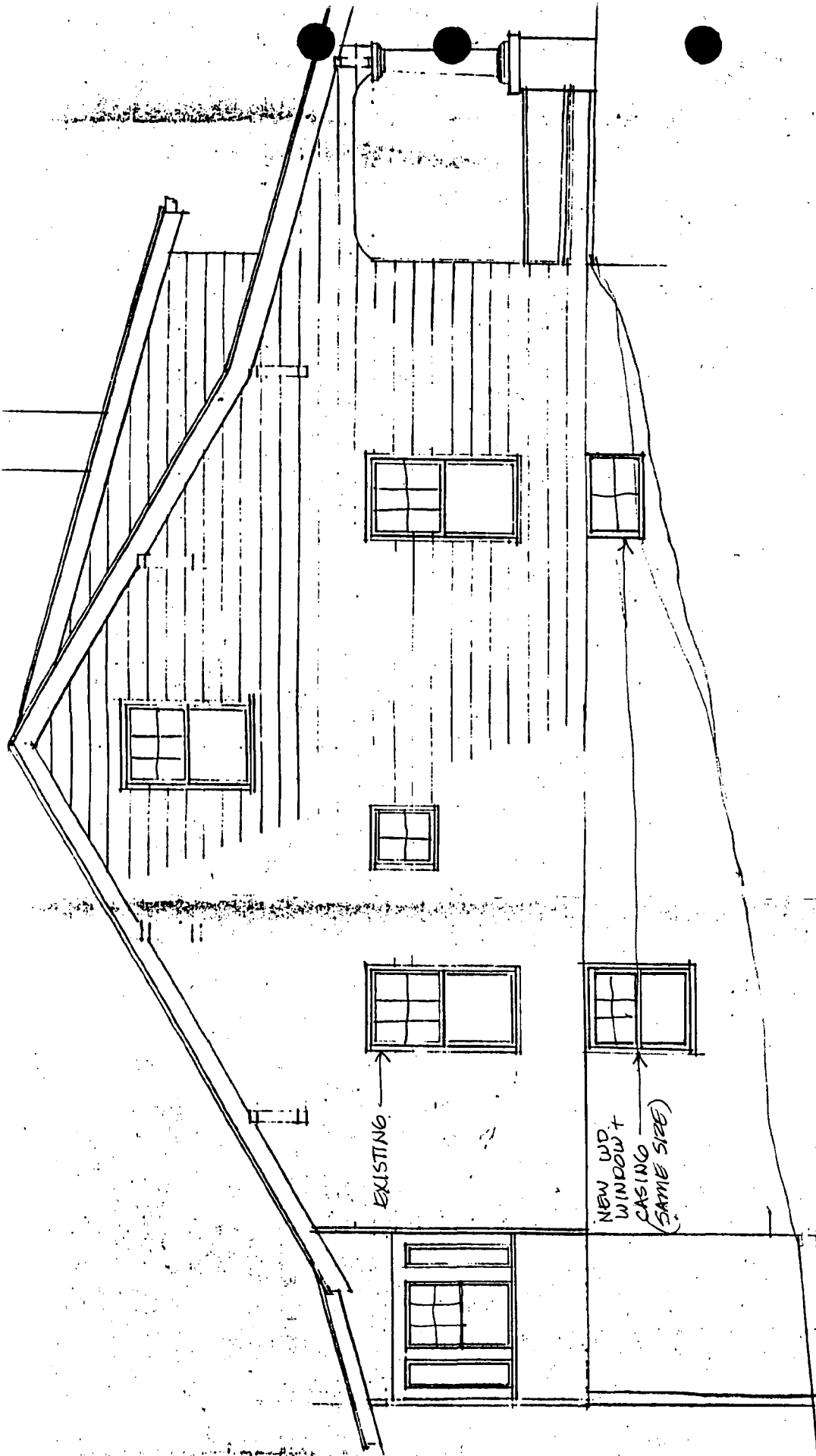


PROPOSED ELEVATION

REV.1/13/97

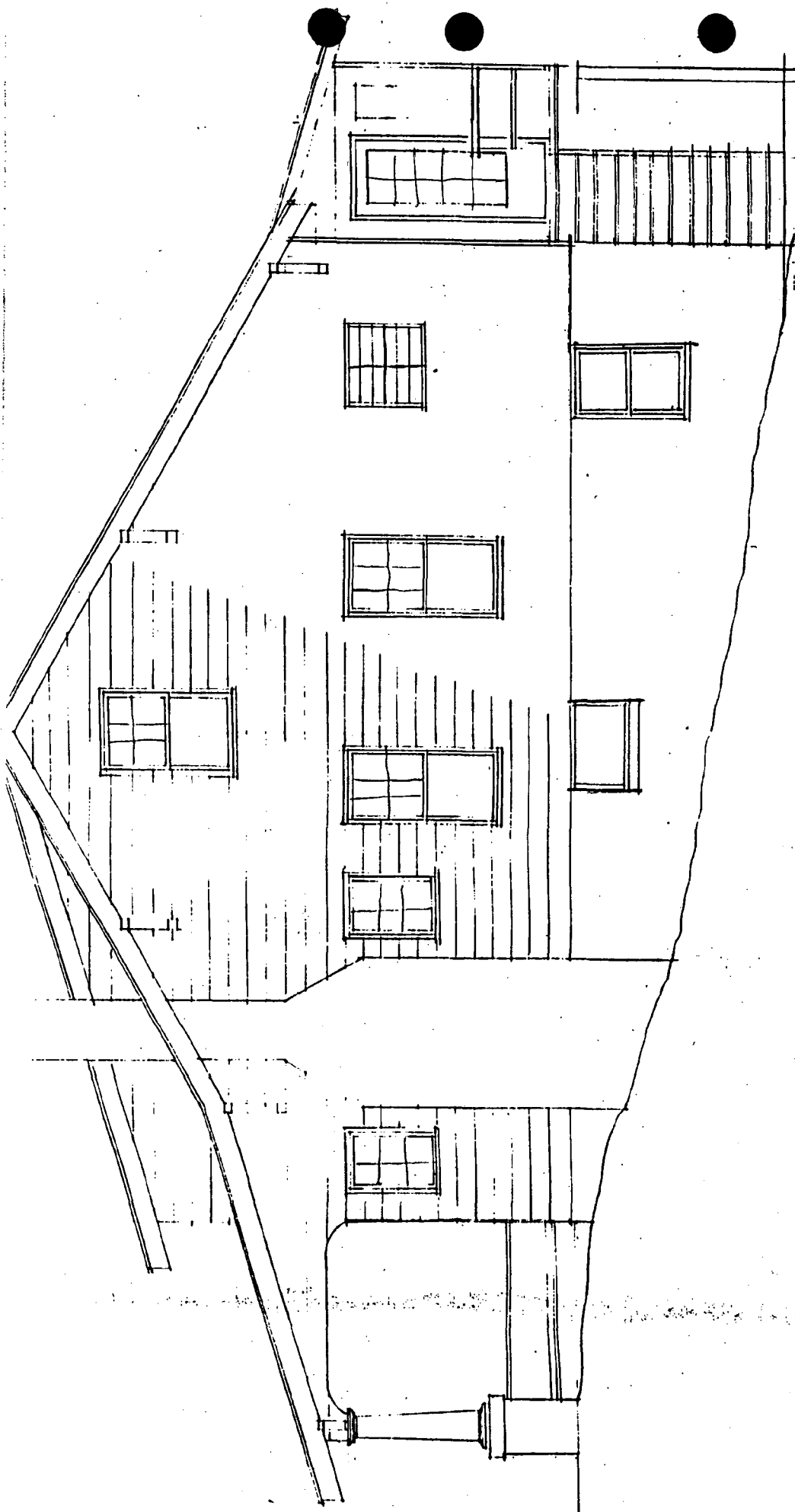


EXISTING EAST ELEVATION

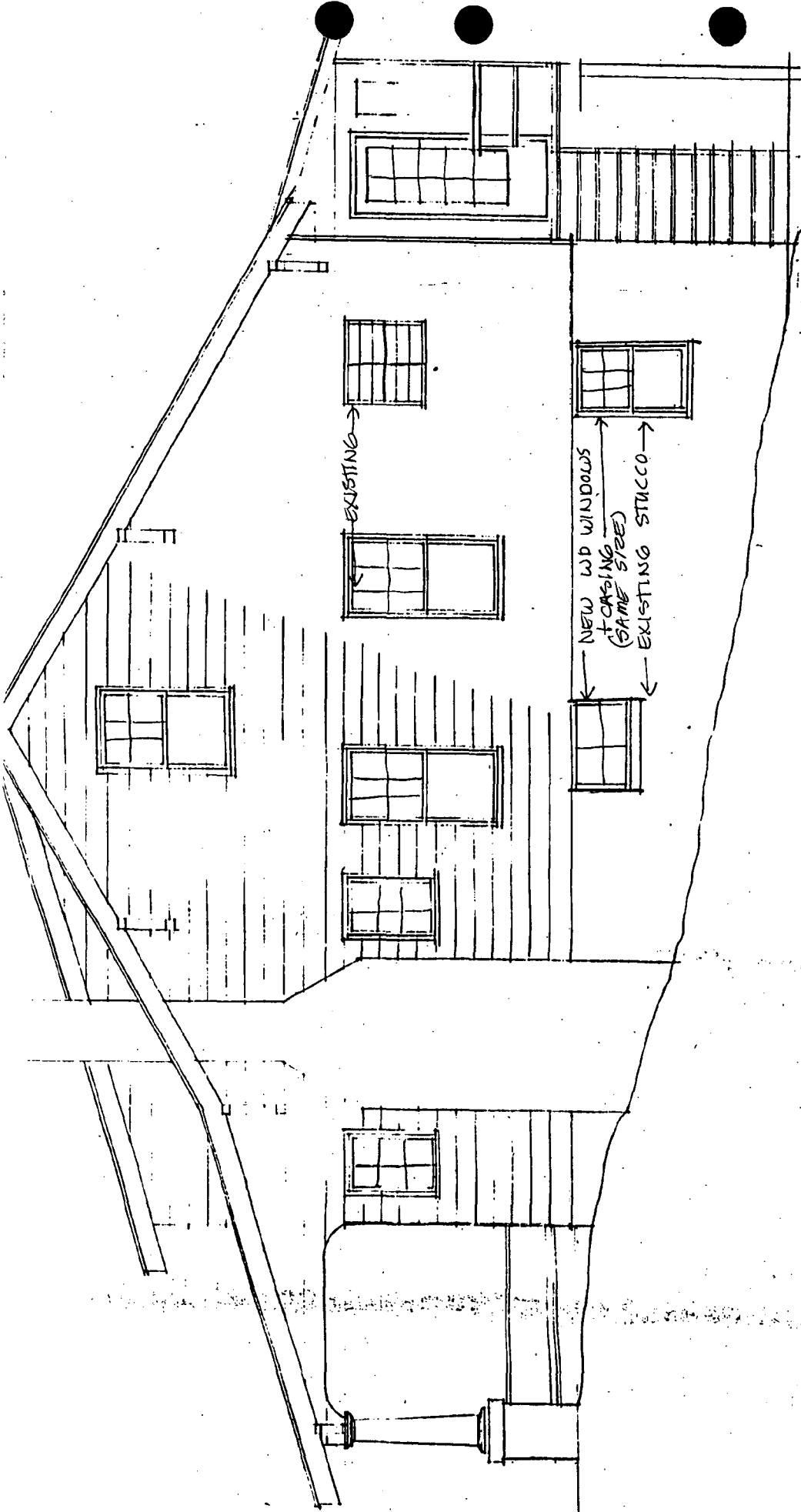


PROPOSED
EAST ELEVATION



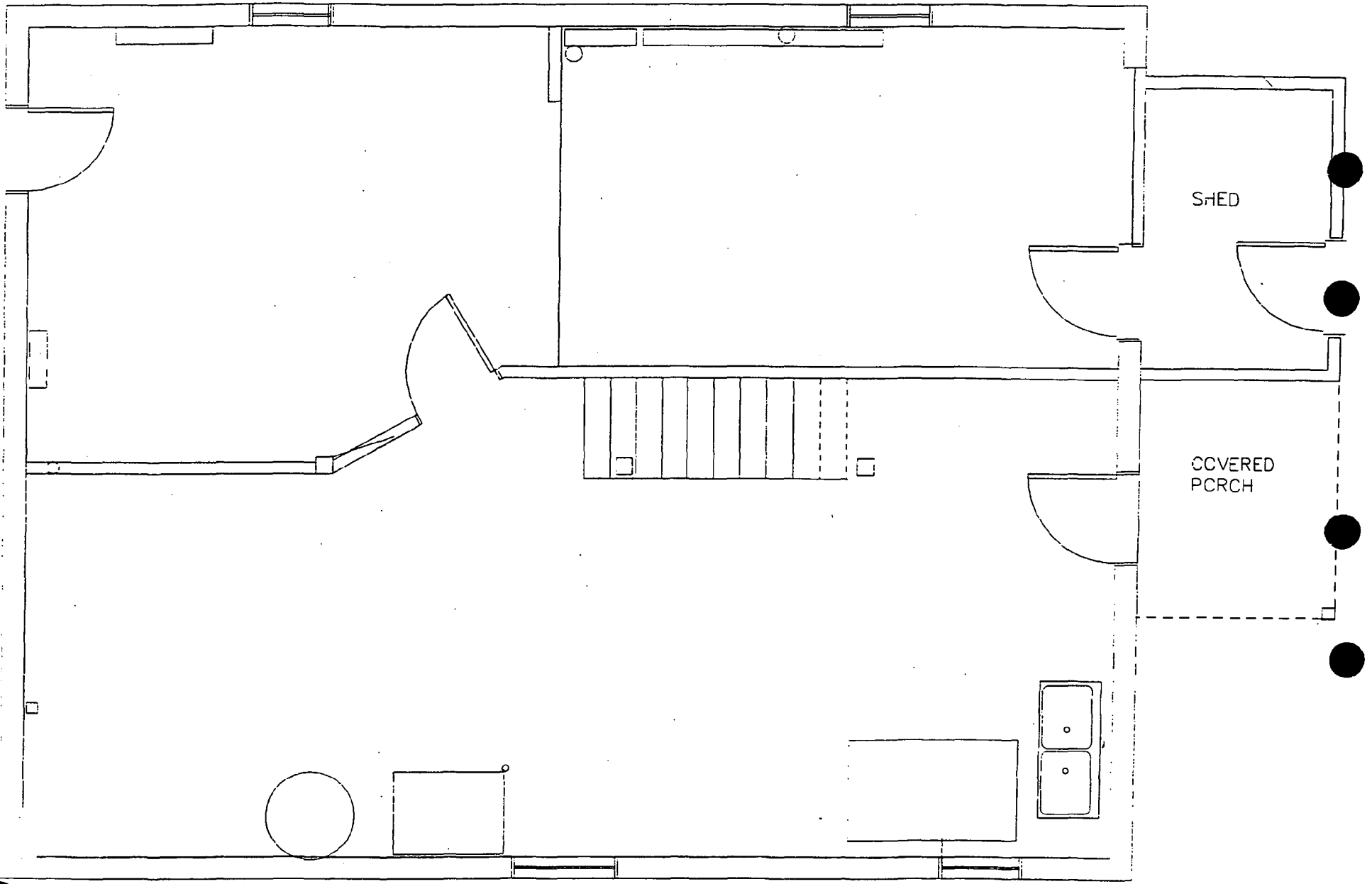


EXISTING WEST ELEVATION

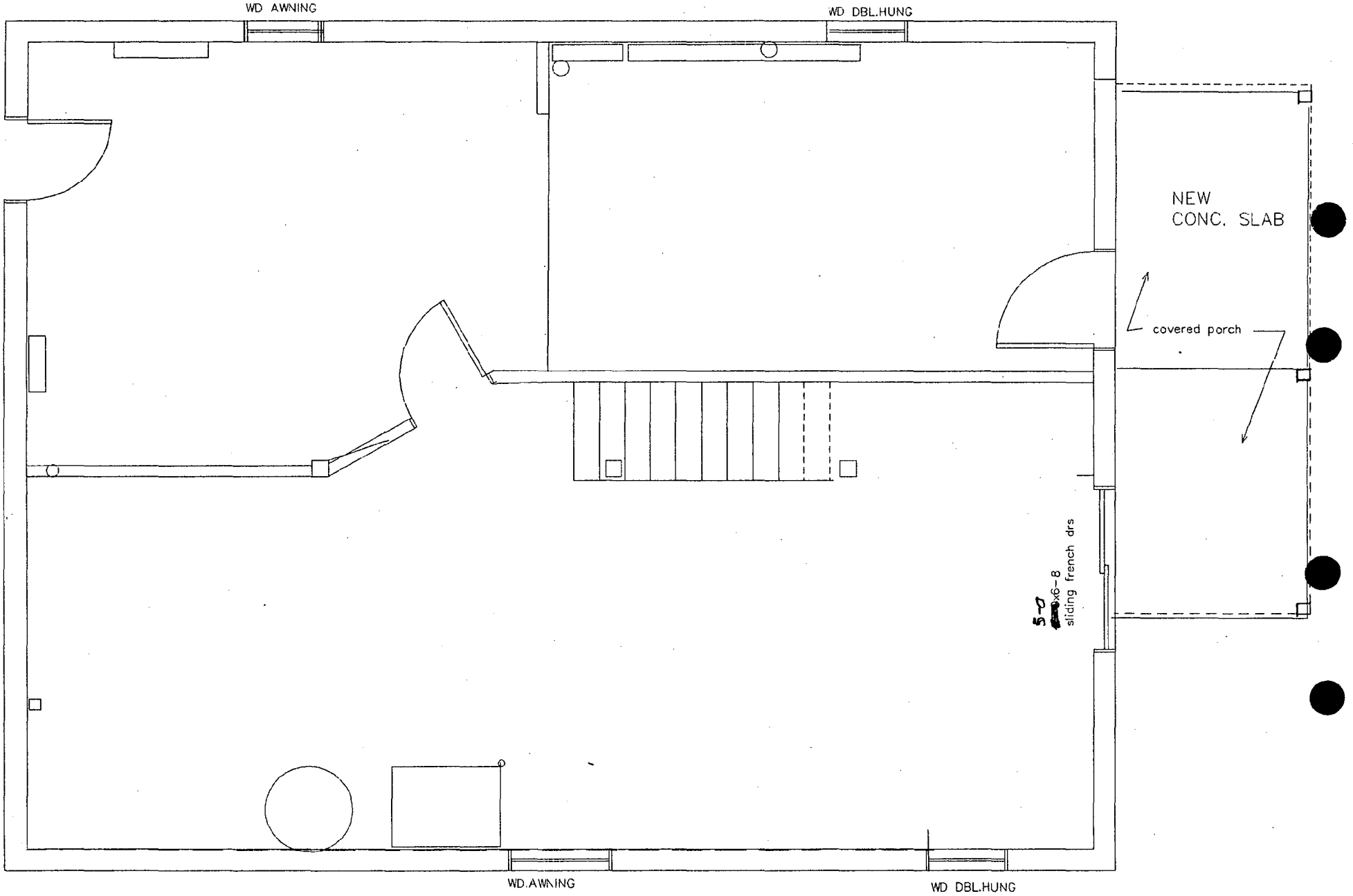


PROPOSED
WEST ELEVATION

(11)



EXISTING BASMENT PLAN



13

PROPOSED BASEMENT PLAN

rev1/13/97

SUBJECT *Allen - D. prau*
Sheet no. *55 Elm St*

DATE



55 Elm St - Front



ELM ST - (across street)

SUBJECT
Sheet no.

DATE



Elm St- neighbor to East



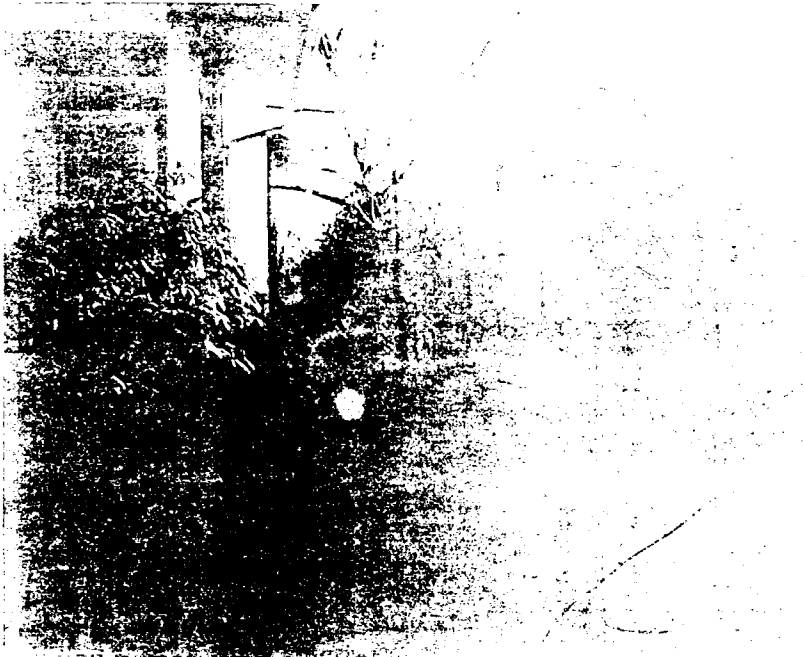
Elm St. neighbor to West

SUBJECT
Sheet no.

DATE



55 Elm St. West side



55 Elm St. East side

SUBJECT
Sheet no.

DATE



55 Elm St. rear of house



55 Elm St. looking to back of property

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

Mozelle B. Hazell
97 Elm Ave
Takoma Park, MD
20912

Michael Lichten + Katharine Coon
6805 Westmoreland
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27 Pine Ave
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20912

Normandie Peterson
716 Silver Spring Ave
Silver Spring, MD
20910

Clifford Hunter
6811 Westmoreland
Takoma Park, MD
20912

SUBJECT
Sheet no.

DATE



55 Elm St. rear of house



55 Elm St. looking to back of property

SUBJECT *Allen - Duprau*
Sheet no. *55 Elm St*

DATE



55 Elm St - Front



ELM ST - (across street)

SUBJECT
Sheet no.

DATE



Elm St- neighbor to East



Elm St. neighbor to West

SUBJECT
Sheet no.

DATE



55 Elm St - West side



55 Elm St. East Side

Sherry E. Nesbit, Architect
9320 Ocala Street
Silver Spring. Md 20901
301-565-0128

DATE: January 13,1997

TO: : Ms. Perry Kephart
FIRM: Historic Preservation
PROJECT: Dupraw Residence
FAX: 301-495-1307

| <u>Drawing/Spec. No.</u> | <u>Date</u> | <u>Description Notes</u> |
|--------------------------|-------------|--------------------------|
|--------------------------|-------------|--------------------------|

Revised elevation and floor plan for french doors.

If you have any questions or comments about this transmittal please call.

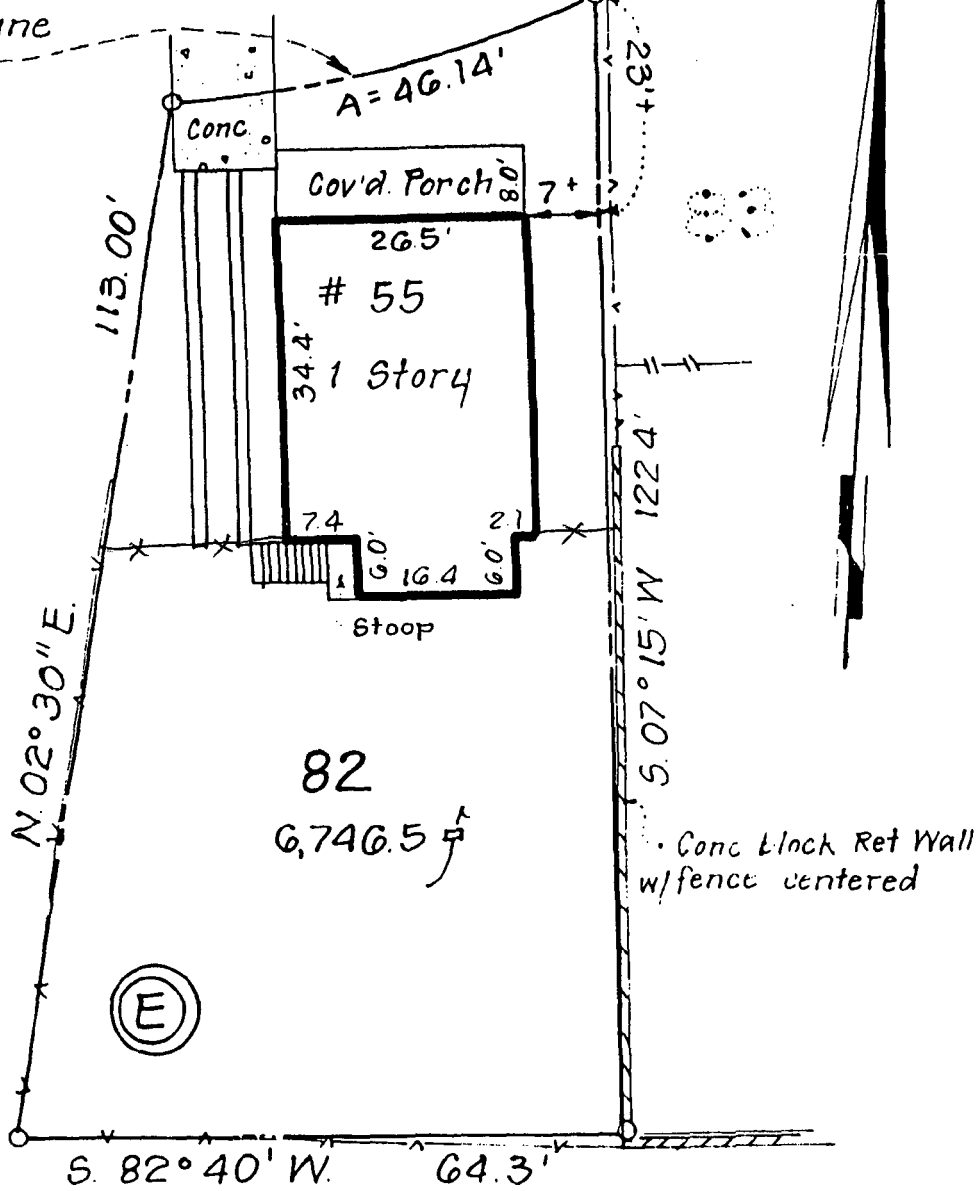
Sherry E. Nesbit, Architect
by

EXTRA

LANDTECH ASSOCIATES, INC.
 7307 BALTIMORE AVENUE SUITE 214
 COLLEGE PARK, MARYLAND 20740
 301 277 8878

ELM STREET

Note: Record Plat does not define this curve



NOTE: THIS PROPERTY LIES IN FLOOD ZONE C, AN AREA OF MINIMAL FLOODING, AS DELINEATED ON THE MAPS OF THE NATIONAL FLOOD INSURANCE PROGRAM



EXISTING

NO TITLE REPORT FURNISHED

LOCATION SURVEY OF
 #55 ELM STREET
 MONTGOMERY COUNTY, MD.
 SUBDIVISION

B.F. GILBERTS
 ADDITION TO TAKOMA PARK

LOT: 82

PLAT BOOK: 3

DATE 3-30-94

CASE NO:

BLOCK: E

PLAT NO: 225

SCALE: 1" = 20'

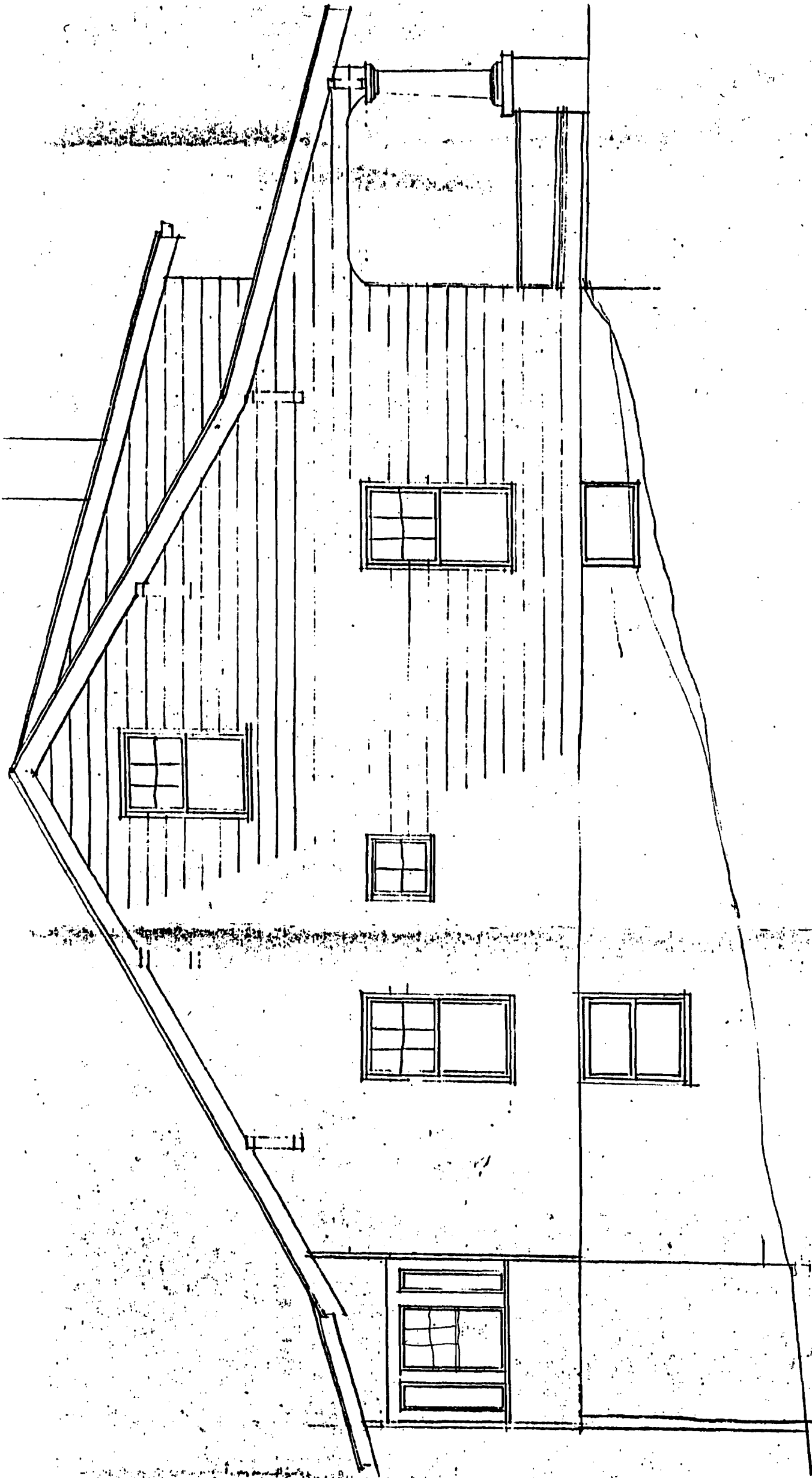
FILE NO: MP 04057

CERTIFICATION: I hereby certify that the position of all the existing visible improvements on the above described property has been carefully established in relation to the apparent title lines and that, unless otherwise shown, there are no visible encroachments. This is not a property line survey and should not be used for the erection of fences or any other improvements.

GRADEN A. ROGERS - PROP L S MD LIC No 119

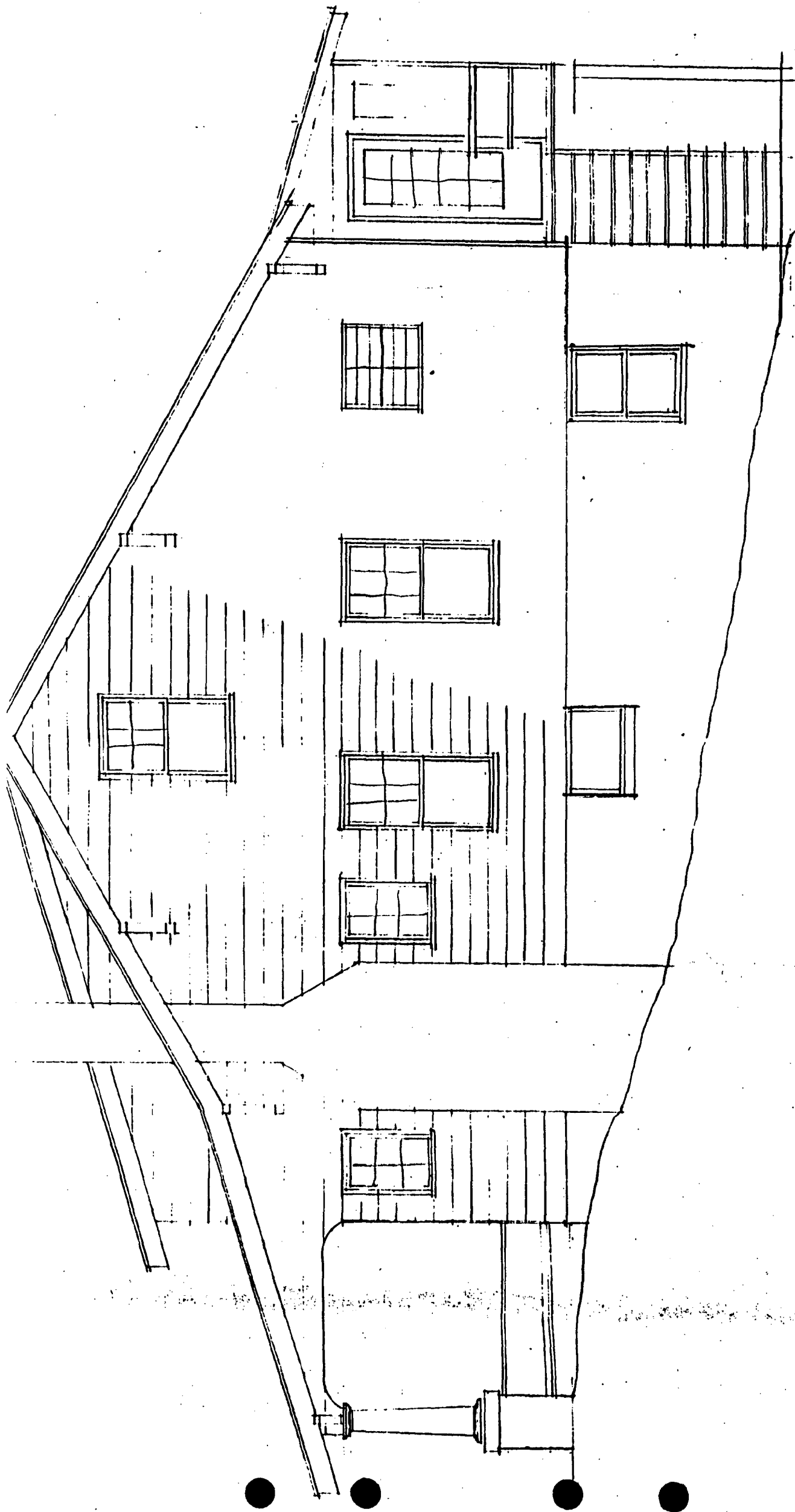


EXISTING
SOUTH ELEVATION

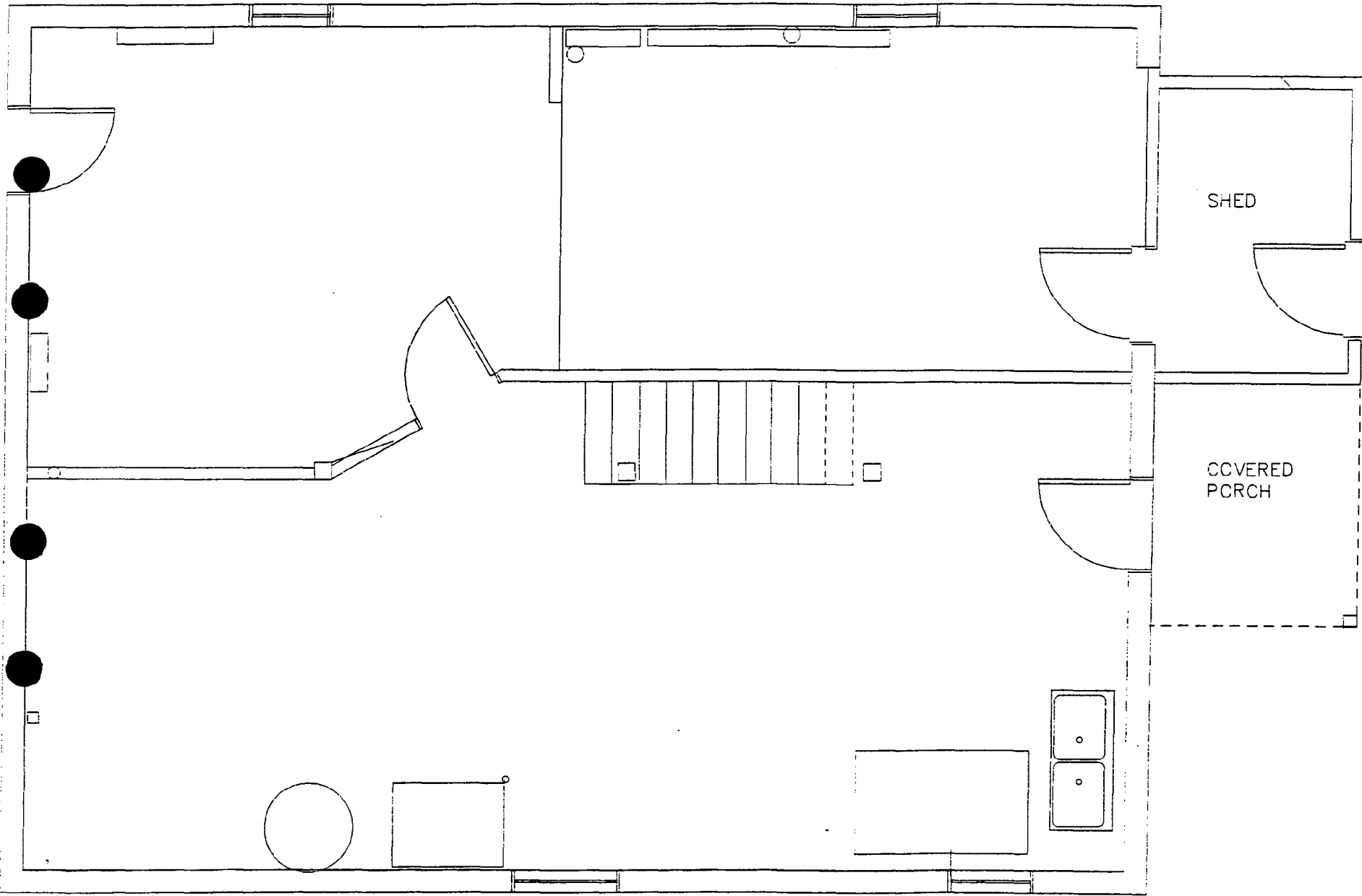


EXISTING EAST ELEVATION





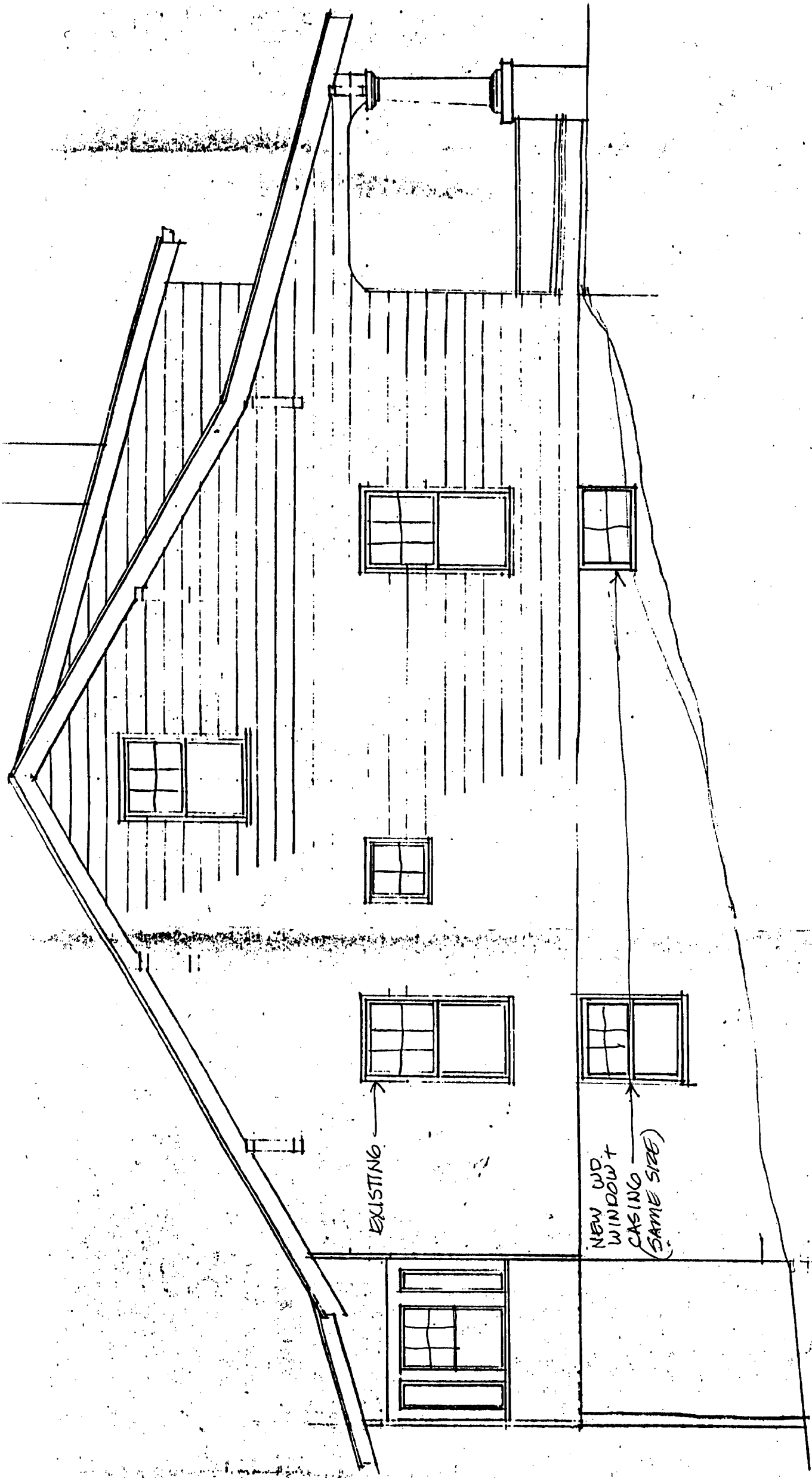
EXISTING ELEVATION



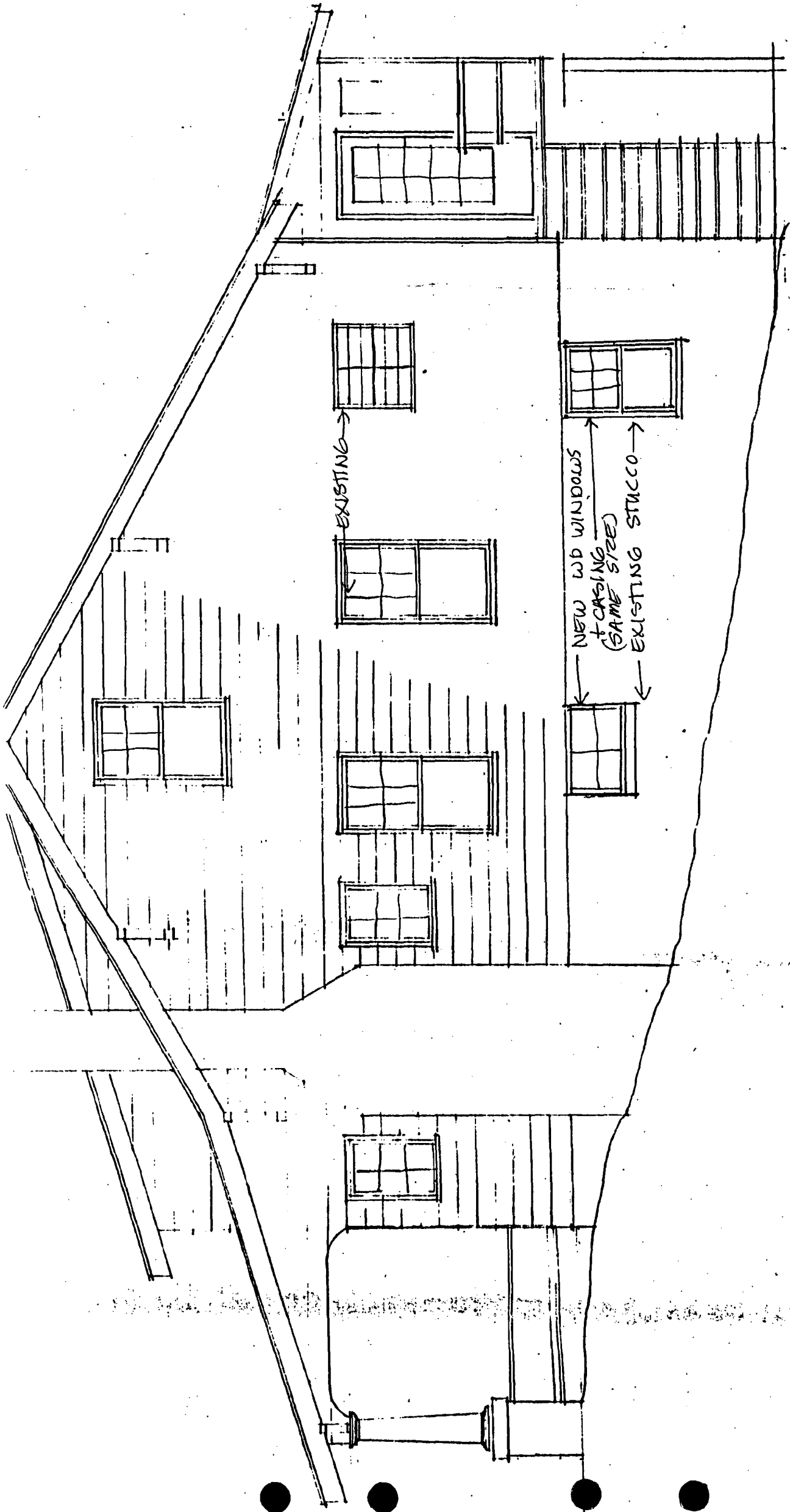
EXISTING BASMENT PLAN



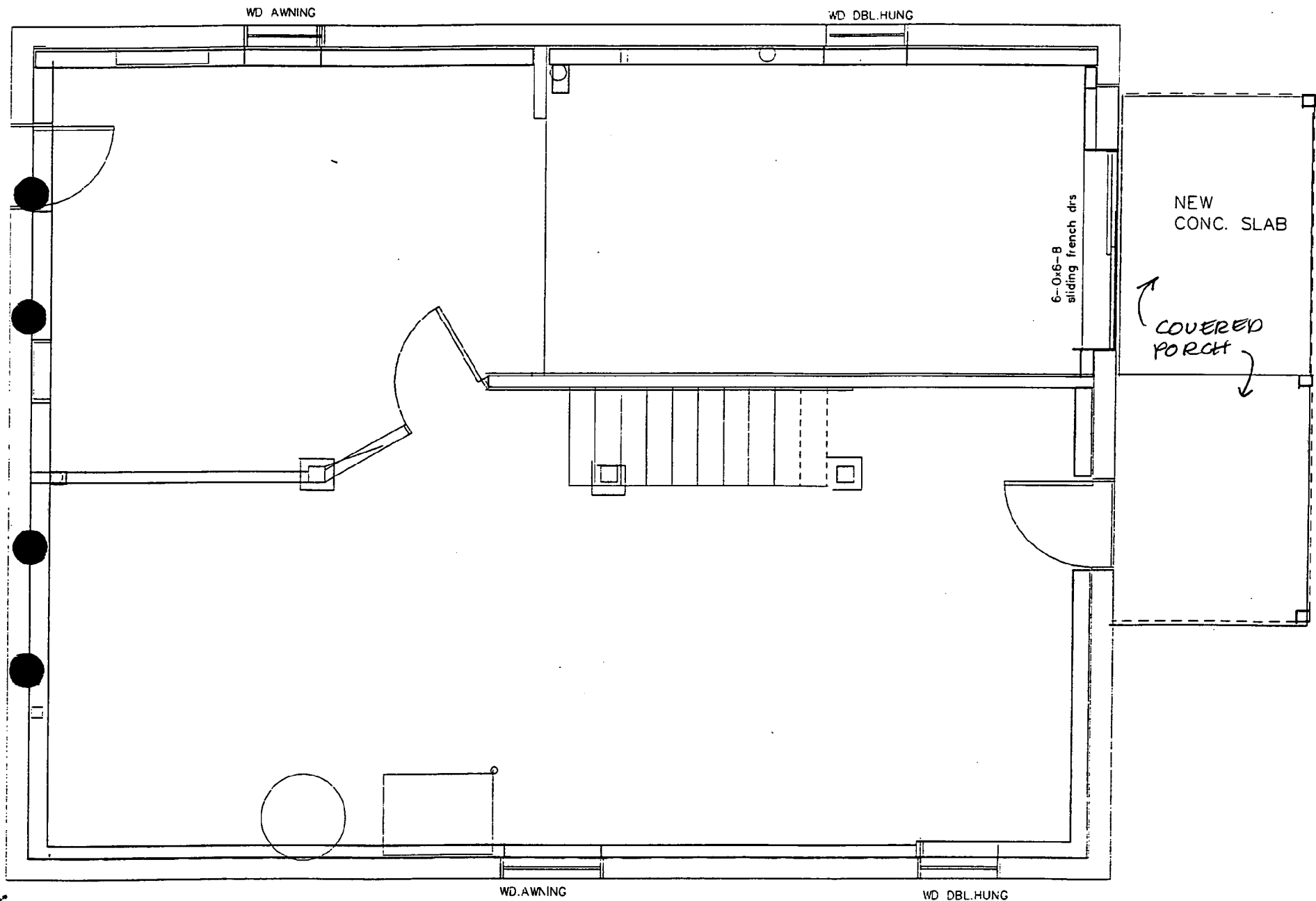
PROPOSED SOUTH ELEVATION



PROPOSED
EAST ELEVATION



PROPOSED
WEST ELEVATION



PROPOSED BASEMENT PLAN

SUBJECT *Allen - Pappaw*
Sheet no. *55 Elm St*

DATE



55 Elm St - Front



ELM ST - (across street)

SUBJECT
Sheet no.

DATE



Elm St - neighbor to East



Elm St. neighbor to West

SUBJECT
Sheet no.

DATE



55 Elm St - West side



55 Elm St. East Side

SUBJECT
Sheet no.

DATE



55 Elm St. rear of house



55 Elm St. looking to back of property

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

Mozelle B. Hazell
97 ELM AVE
Takoma Park, MD
20912

Michael Lichten + Katharine Coon
6805 Westmoreland
Takoma Park, MD 20912

Kathleen N. Schalch +
Scott Davis
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