

37/3-97KK 7209 Holly Avenue
Takoma Park Historic District

BLOOM-RASKIN RESIDENCE

7209 HOLLY AVENUE

TAKOMA PARK, MARYLAND

PROJECT DATA

OWNERS:
MR. JAMIN B. RASKIN
MRS. SARAH BLOOM RASKIN
7209 HOLLY AVENUE
TAKOMA PARK, MD 20912
TEL (301) 608-3477

PROJECT ADDRESS:
7209 HOLLY AVENUE
TAKOMA PARK, MD 20912

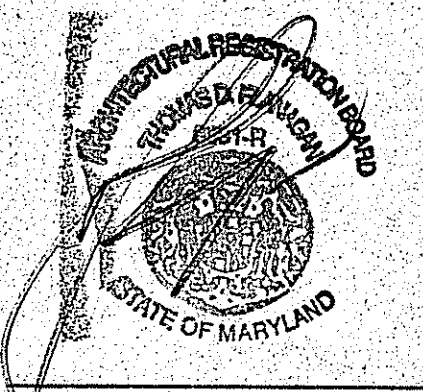
Lot: P6
Block: 6
Subdivision: 25

THIS PROJECT HAS BEEN APPROVED WITH CONDITIONS BY THE
M.N.C.P.F.C. HISTORIC PRESERVATION COMMITTEE.
CASE # 97/3-97 KK

VICINITY MAP

Flanagan
ARCHITECTS, A.I.A.

8120 WOODMONT AVE. SUITE 107
BETHESDA, MD 20814
TEL: (301) 652-4811
FAX (301) 652-4814

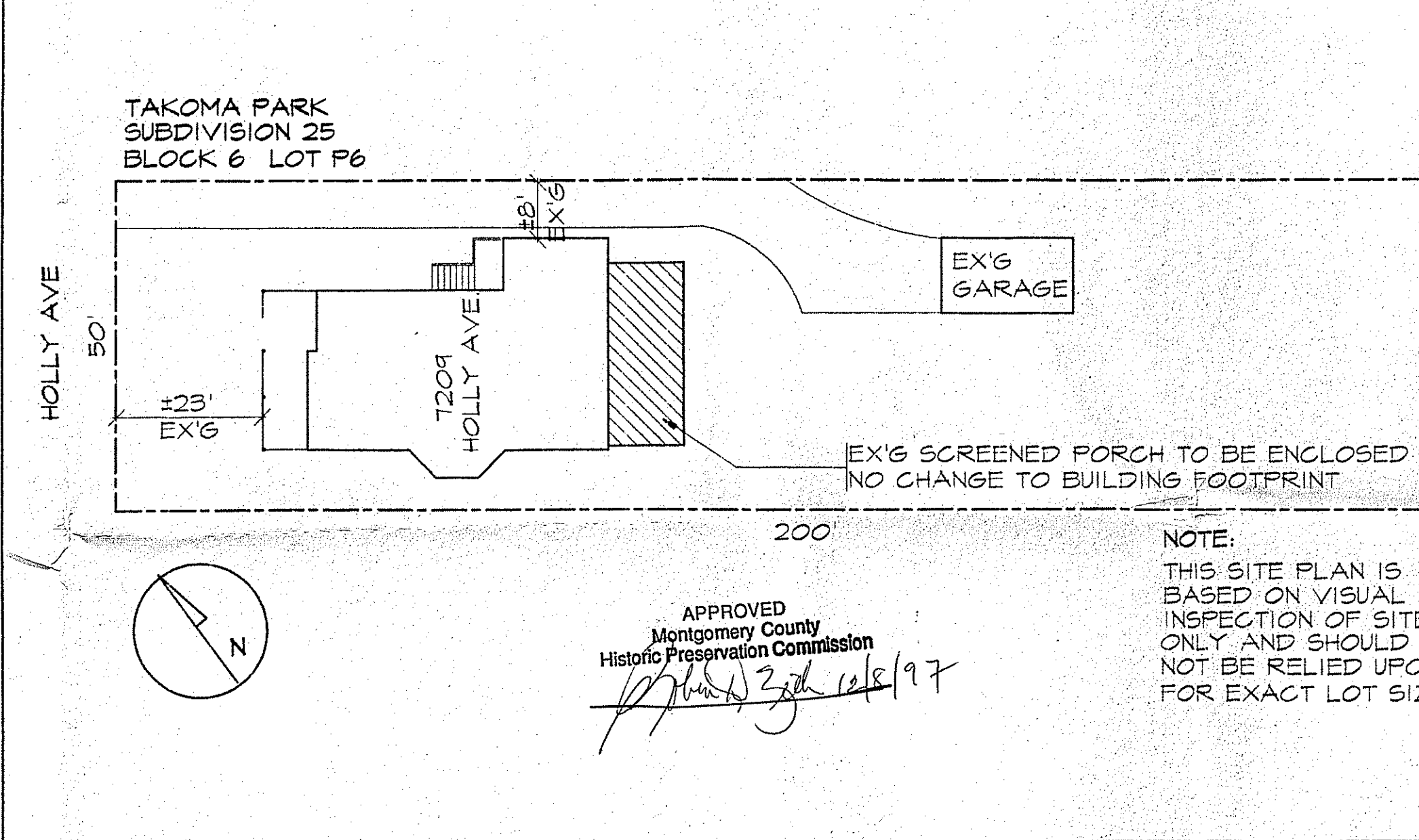


7209
HOLLY AVE.
TAKOMA PARK, MD

GENERAL NOTES

- All dimensions are to finished wall, u.n.e.
- All work to be done in compliance with National and Local codes, including amendments.
- Contractor to coordinate all plumbing and HVAC routing through concealed spaces.
- Contractor shall coordinate locations with Architect prior to installation.
- Contractor shall notify Architect to verify wall placement in critical areas when chalk line layout has been completed by the Contractor.
- Contractor shall provide wood blocking for all cabinets and other accessories as required.
- Prior to start of construction, Contractor shall verify all existing conditions and coordinate clearances with all other trades.
- Any discrepancies between the drawings and actual field conditions shall be brought to the attention of the Architect for clarification before proceeding with the work.
- Contractor to install doorstops for all doors.
- The Contractor shall be responsible for coordinating the removal of debris from the site daily, or as required to keep the job site clean.
- All outside gyp. bd. corners shall have corner bead.
- All new walls shown abutting existing walls/ columns shall align with that finished face.
- T.B.D. (To be determined) indicates an item to be selected by the appropriate party at a later date.
- V.I.P. (Verify in field) indicates an item or dimension that is assumed to exist but requires verification during construction. Consult Architect if discrepancy exists.
- D.I.F. (Determine in field) indicates a dimension which is determined by other conditions specified on the drawings.
- A dimension labeled "MIN." indicates that the specified critical dimension be maintained.
- A dimension labeled "MAX." indicates that the required dimension may not be less than the specified dimension.

SITE PLAN SCALE: 1"=20'



ABBREVIATIONS

A/C AIR CONDITIONER	ADDN ADDITION	A.H.U. AIR HANDLING UNIT	ALUM. ALUMINUM	APPROX. APPROXIMATE	ARCHT. ARCHITECT	ANG. ANGLE	BD. BOARD	BIT. BITUMINOUS	B.L.C. BUILDING BLOCK	B.R.O. BRICK	B.R.G. BRASS	B.T.U. BRITISH THERMAL UNIT	B.U.R. BUILT-UP ROOF(ING)	C. COURSE(S)	C.A.B.T. CABINET	C. & C. CURB AND GUTTER	CEN. CEMENT(IOUS)	CER. CERAMIC	C.F.M. CUBIC FEET PER MINUTE	CR. CRACK	C. CENTER LINE	C.S. CEILING	CL. CL. CAULK(ING)	C.L.O. CLOSET	C.L.F. CLEAR	C.M.U. CONCRETE MASONRY	C.O. CONCRETE	C.O.L. COLUMN	C.O.M. CONCRETE	C.O.N. CONCRETE	C.O.N.S. CONSTRUCTION	C.P.R. CORK	C.T. CERAMIC TILE	C.W. COLD WATER	EA. EACH	EL. ELEVATION (HEIGHT)	EMER. EMERGENCY	ENGR. ENGINEER	EQUIP. EQUIPMENT	EX'G EXISTING	EXP. EXPANSION	EXT. EXTERIOR	F.F. FLOOR	FIN. FINISH	G.L.F. GLEAS	G.M.U. GERMANY SIDING # WP-105	PAINTED PTD-3	GA. GALV. GALV. GALVON	GENL. GENERAL	GL. GLASS	GL/T. GLASS / TEMPERED	GR. OPPOSITE	GND. GROUND	GYP. GYPSUM	H.D. HOSE BIB	HT. HEIGHT	HM. HOLLOW METAL	HORIZ. HORIZONTAL	H.P. HORSEPOWER	HTR. HEATING	HTR. HEATER	H.W. HOT WATER	I.D. INSIDE DIAMETER	IN. INCH	INCL. INCLUDE(ING)	INSUL. INSULATION	INT. INTERIOR	JAN. JANITOR	JST. JEST	JT. JOINT	KIT. KITCHEN	LAM. LAMINATE	LAV. LAVATORY	LB. POUND	LT. LIGHT	L.T.Y. LIGHTING	MAX. MAXIMUM	MECH. MECHANICAL	MEZ. MEZANINE	MFL. MANUFACTURED	MFR. MANUFACTURER	MIN. MINIMUM	M.O. MASONRY OPENING	N. NORTH	(N.I.C.) NOT IN CONTRACT	N.O. NUMBER	NON. NOMINAL	O.C. ON CENTER	OP'G OPENING	OPR. OPPOSITE	GND. GROUND	O.H.D. OVERHEAD DOOR	P. PER	P.H. PUSH BUTTON	PH. PHASE	PL. PLATE	P/L. PROPERTY LINE	PLAM. PLASTIC LAMINATE	P.V.C. PLYWOOD	PR. PAR	PREFAB. PREFABRICATE(D)	PR. PRESS. PRESSURE	PROP'D. PROPOSED	P.S.I. POUNDS PER SQUARE INCH	PTD. PAINTED	Q.T. QUARRY TILE	QTY. QUANTITY	R. RADIUS	R. ROOF	REF. REFERENCE	REFR. REFRIGERATOR	REG. REGISTER	REIN. REINFORCEMENT (ING)	REQ'D. REQUIRED	RET. RETURN	REV. REVISION	R.F. ROUGH	R.G.H. ROUGH	S. SEWER LINE	SAN. SANITARY	SCHED. SCHEDULE	SECT. SECTION	SEN. SENS.	SH. SHOWER	SH. SINK	SPEC. SPECIFICATION(S)	SQL. SQUARE	S.S. STAINLESS STEEL	STAB. STAGERED	STD. STANDARD	STO. STORAGE	STL. STEEL	STRUC.T. STRUCTURAL	SUP. SUPPLY	SUSP. SUSPENDED	SY. SYMBOL	SY. SYSTEM	T.B.D. TO BE DETERMINED	T. TILE	T. THERMOSTAT	T. & G. TONGUE AND GROOVE	TAN. TANSIT	TEL. TELEPHONE	TECH. TECHNICAL	TEMP. TEMPERATURE	THICK. THICKNESS	TOPG. TOPOGRAPHY(CAL)	TR. TRAIL	TY. TYPICAL	UNFIN. UNFINISHED	UNGR. UNDERGROUND	V. VOLTS	V.I.F. VERIFY IN FIELD	VAC. VACUUM	VAP. VAPOR	VAR. VARIABLE	VAR. VARIES	VENT. VENTILATION	VERT. VERTICAL	VOL. VOLUME	V.T. VINYL TILE	V.V. VENT THROUGH ROOF	V.W.C. VINYL WALL COVERING	W. WASTE LINE	W/ WITH	W/O WITHOUT	W.C. WATER CLOSET	W.H. WOOD	W.H. WATER HEATER	W.S.C. WAINSCOT	W.W. WELDED WIRE MESH	W.W.F. WELDED WIRE FABRIC	YD. YARD
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FINISH SCHEDULE

RM. NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING		REMARKS
					HEIGHT	FINISH	
100	DINING RM	HWF	T-1	PTD-1	T-10 1/4"	PTD-1	①
101	PLAY RM	EX'G	EX'G	EX'G	EX'G	EX'G	① ②
102	BATHROOM	EX'G	EX'G	EX'G	EX'G	EX'G	①
103	KITCHEN	EX'G *	EX'G	EX'G	EX'G	EX'G	① ② ③

MATERIAL SELECTIONS

INTERIOR	EXTERIOR
PTD-1 Paint Duron, or equal Latex, Eggshell 2 finish coats (+1 coat primer at new unfinished surfaces) Color to be selected by Owner	PTD-3 Paint Duron, or equal match ex'g type, color & finish
PTD-2 Paint Duron, or equal oil alkyl/semigloss 2 finish coats (+1 coat primer at new unfinished surfaces) Color to be selected by Owner	WOOD SIDING 1X6 German siding # WP-105 painted PTD-3
HWF-1 Hard wood flooring to match ex'g Whitewash finish, coordinate w/ Owner	
T-1 Base: 1x6 w/ WD cap & shoe to match ex'g, painted Casing: 3/4" w/ WD rosettes to match ex'g, PTD (v.i.f. matching ex'g) Plint: WD, PTD to match ex'g	

- #### REMARKS
- PATCH EX'G SURFACES AS REQUIRED BY NEW WORK. REFINISH TO MATCH EXISTING.
 - NEW WALL OPENING TO BE TRIMMED TO MATCH EX'G SEE T-1 IN MATERIALS LIST.
 - PROVIDE ADD ALTERNATE PRICING FOR NEW 3/8" PREFIN. HARDWOOD FLOOR IN KITCHEN

WINDOW SCHEDULE

NOTE: ALL WINDOWS ARE WOOD 6/1 COTTAGE DOUBLE HUNG UNITS AS MANUF. BY POZZI WITH SIMULATED DIVIDED LTS WITH 3/4" PUTTY LINE & THERMAL BAR.

NO.	LOCATION	MANUF.	TYPE	R.O. SIZE		R.O. SILL HT	R.O. HEAD HT	GLAZING	FXD OPER	SCRN.	INT. GRIL.	JAMB EXT.	INT. FIN.	EXT. FIN.	HDWR	REMARKS
				W	H											
A	DINING RM	POZZI	WD 2022/34	2'-11 3/16"	5'-5 1/8"		U/S EX'G HDR	3/4" INSUL	O	Y	Y	D.I.F.	PTD-2	PTD-3	BRONZE	
B	DINING RM	POZZI	WD 2022/34	2'-11 3/16"	5'-5 1/8"		U/S EX'G HDR	3/4" INSUL	O	Y	Y	D.I.F.	PTD-2	PTD-3	BRONZE	
C	DINING RM	POZZI	WD 2022/34	2'-11 3/16"	5'-5 1/8"		U/S EX'G HDR	3/4" INSUL	O	Y	Y	D.I.F.	PTD-2	PTD-3	BRONZE	
D	DINING RM	POZZI	WD 2022/34	2'-11 3/16"	5'-5 1/8"		U/S EX'G HDR	3/4" INSUL	O	Y	Y	D.I.F.	PTD-2	PTD-3	BRONZE	
E	DINING RM	POZZI	WD 2022/34	2'-11 3/16"	5'-5 1/8"		U/S EX'G HDR	3/4" INSUL	O	Y	Y	D.I.F.	PTD-2	PTD-3	BRONZE	
F	DINING RM	POZZI	WD 2022/34	2'-11 3/16"	5'-5 1/8"		U/S EX'G HDR	3/4" INSUL	O	Y	Y	D.I.F.	PTD-2	PTD-3	BRONZE	
G	DINING RM	POZZI	WD 2022/34	2'-11 3/16"	5'-5 1/8"		U/S EX'G HDR	3/4" INSUL	O	Y	Y	D.I.F.	PTD-2	PTD-3	BRONZE	
H	DINING RM	POZZI	WD 2022/34	2'-11 3/16"	5'-5 1/8"		U/S EX'G HDR	3/4" INSUL	O	Y	Y	D.I.F.	PTD-2	PTD-3	BRONZE	
I	DINING RM	POZZI	WD GEOMETRIC	2'-3"	4'-0"		U/S EX'G HDR	3/4" INSUL	F	N	Y	D.I.F.	PTD-2	PTD-3	BRONZE	

SYMBOLS/MATERIALS

②	WALL TYPE	=====	EX'G WALL TO REMAIN SEE WALL TYPES
②	COLUMN LINE	=====	NEW WALL TO BE CONSTRUCTED SEE WALL TYPES
②	DOOR TYPE	=====	NEW RATED WALL TO BE CONSTRUCTED. SEE WALL TYPES
②	WINDOW TYPE	=====	NEW 1/2 WALL TO BE CONSTRUCTED. SEE WALL TYPES FOR HEIGHT.
120	ROOM NUMBER	=====	INSULATED W SOUND BATT THERMAL INSULATION
⊕	ACCESSORY NO.	⊕	SUPPLY GRILLE
⊕		⊕	RETURN GRILLE
⊕		⊕	DOWN LIGHT
⊕		⊕	2x4 FLOOR FIXTURE
⊕		⊕	EMERGENCY LIGHT
⊕	SECTION	⊕	TELEPHONE- TENANT TO INSTALL PHONE SYSTEM BOXES, WIRING & TERMINATIONS BY TENANT
⊕	ELEVATION	⊕	COMP. DATA CONNECTION WIRING & TERMINATIONS BY TENANT
⊕	CABINET ELEVATION	⊕	QUADPLEX RECEPTACLE @ 18" A.F.F., UNO.
⊕		⊕	DUPLEX RECEPTACLE @ 18" A.F.F., UNO.
⊕	ENLARGED DETAIL	⊕	SINGLE POLE SWITCH
⊕		⊕	3 WAY SWITCH
⊕	ELEVATION	⊕	DIMMER SWITCH
⊕	CONNECT TO EXISTING	⊕	3 WAY DIMMER SWITCH
⊕	EXIT SIGN, ARROW INDICATES DIRECTION	⊕	SPRINKLER HEAD
⊕	AUDIBLE/ VISUAL FIRE ALARM DEVICE		
⊕	SMOKE DETECTOR		

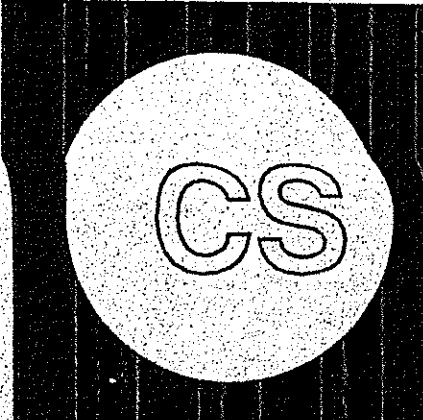
INDEX OF DRAWINGS

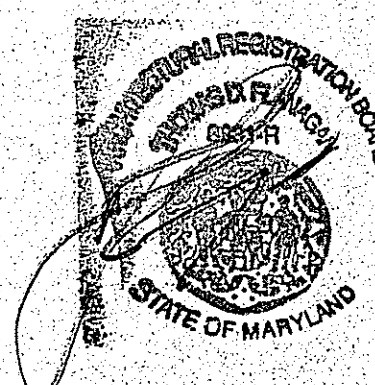
CS	COVERSHEET
A-1	FIRST FLOOR DEMOLITION PLAN
	FIRST FLOOR PLAN
	ROOF FRAMING
	FLOOR FRAMING
A-2	ELEVATIONS
A-3	WALL SECTION/DETAILS
	ELECTRIC PLAN

PROJECT TEAM

OWNERS: MRS. SARAH BLOOM RASKIN MR. JAMIN B. RASKIN 7209 HOLLY AVENUE TAKOMA PARK, MD 20912 TEL (301) 608-3477	ARCHITECT: THOMAS D. FLANAGAN, AIA FLANAGAN ARCHITECTS, AIA 8120 WOODMONT AVE. #107 BETHESDA, MD 20814 TEL (301) 652-4811 FAX (301) 652-4814	CONTRACTOR: MR. BOB STUP ROBERT E. STUP CONSTRUCTION CO. 12450 LOY WOLFE ROAD MYERSVILLE, MD 21115 TEL (301) 293-2618 FAX (301) 293-2620
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Project # 97B100
Scale: N.T.S.
Drawn by: B.J.F./D.F./C.K.M.
Date(s):
28 OCT '97 PERMIT





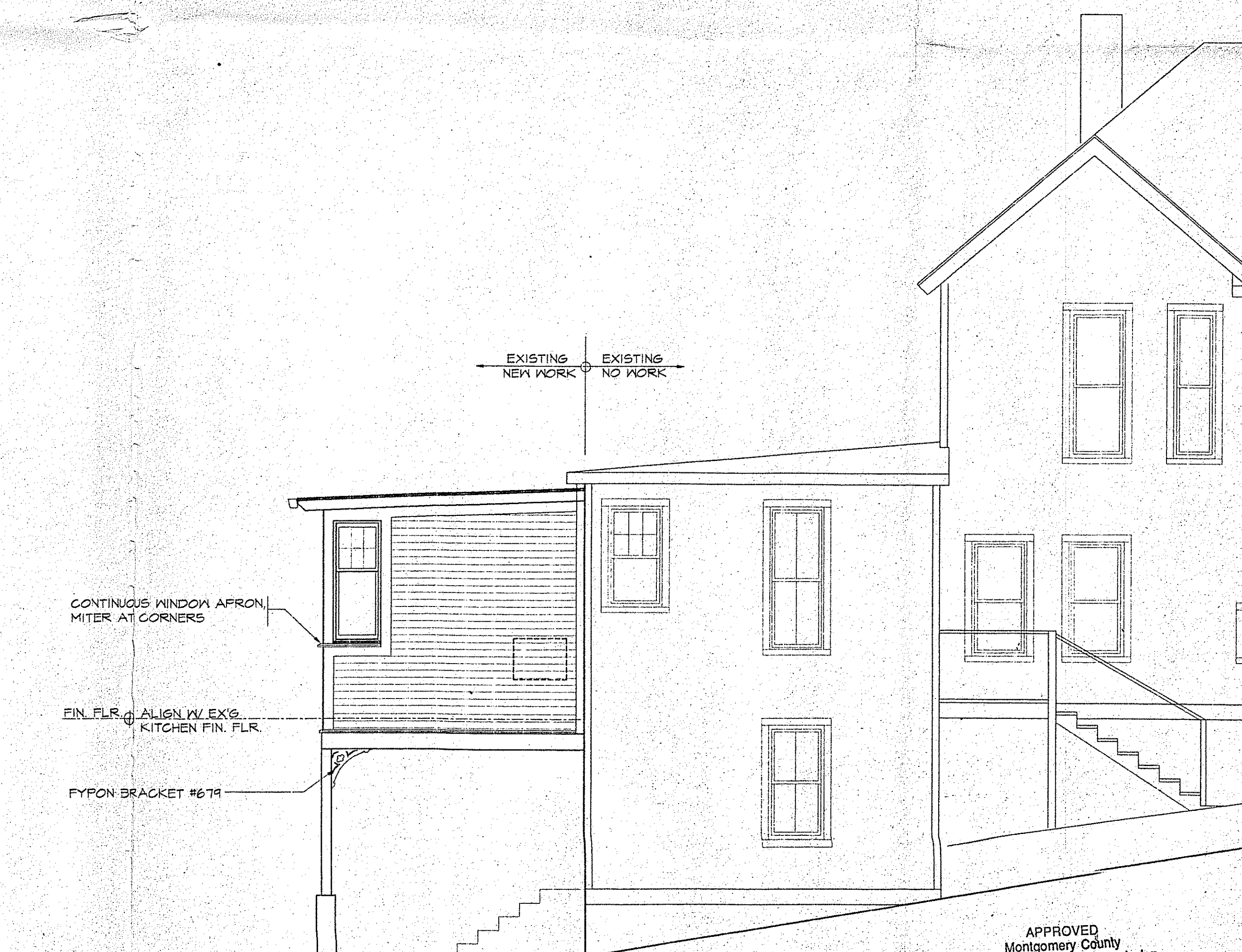
7209 HOLLY
AVENUE
TAKOMA PARK, MD



3 PARTIAL RIGHT SIDE ELEVATION
A-2 1/4"=1'-0"



1 REAR ELEVATION
A-2 1/4"=1'-0"



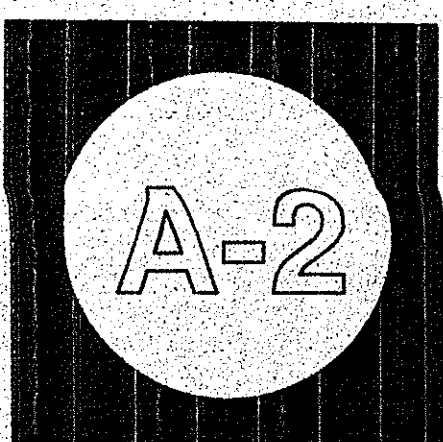
2 PARTIAL LEFT SIDE ELEVATION
A-2 1/4"=1'-0"

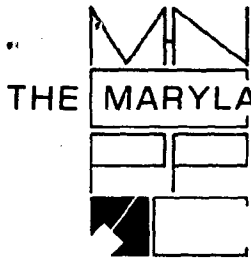
Sheet Description
ELEVATIONS
DETAILS

Project # 972600
Scale: AS NOTED
Drawn by: B/JF/TDF/CKM
Date(s):
28 OCT '97 PERMIT

APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 12/16/97





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 9/10/97

MEMORANDUM

TO: Robert Hubbard, Acting Director
Department of Permitting Services

FROM: Gwen Wright, Historic Preservation Coordinator
Montgomery County Department of Park and Planning

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied

Approved with Conditions: _____

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Jamie & Sarah Raskin (Tom Flanagan, Agent)

Address: 7209 HOLLY AVENUE, TACOMA PARK, MD 20912

THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING THE DEPARTMENT OF PERMITTING SERVICES AT 217-6240 FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/495-4570

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: TOM FLANAGAN
Daytime Phone No.: (301) 652-4811

Tax Account No.: 01079337
Name of Property Owner: JAMIN B. & SARAH BLOM RASKIN Daytime Phone No.: (301) 608-3477
Address: 7209 HOLLY AVE TAKOMA PARK MD 20912
Street Number City Street Zip Code
Contractor: TO BE DETERMINED Phone No.: ~~(301) 608~~
Contractor Registration No.: _____
Agent for Owner: TOM FLANAGAN Daytime Phone No.: (301) 652-4811

LOCATION OF BUILDING/PREMISE

House Number: 7209 Street: HOLLY AVE
Town/City: TAKOMA PARK Nearest Cross Street: TULIP AVE
Lot: P6 Block: 6 Subdivision: 25
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 37,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

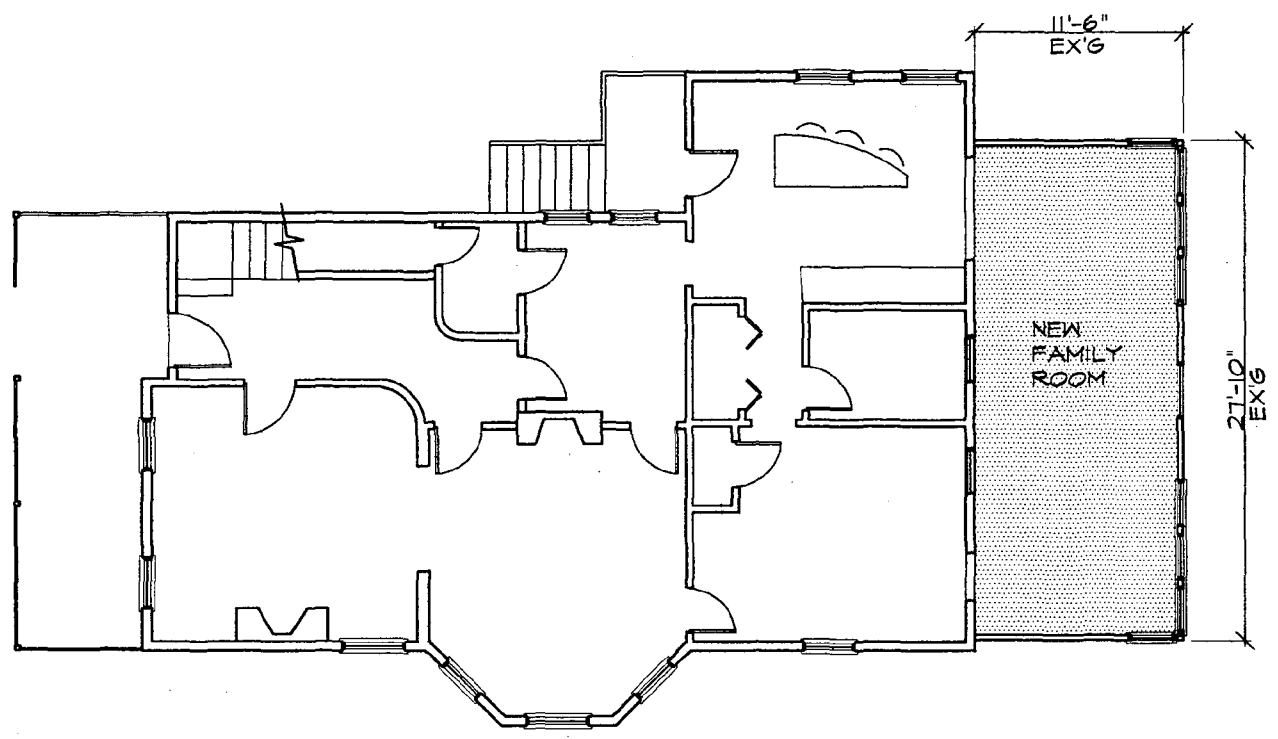
3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owners On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Thomas R. Long AIA 8/20/97
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature _____ Date: 9/10/97
Application/Permit No.: 9708200095 Date Filed: 8-20-97 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



7200
HOLLY
AVENUE
BALTIMORE, MD



DATE: 4/10/97
BY: [Signature]

A-6

PROPOSED FIRST FLOOR PLAN
1/8" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]



7200
HOLLY
AVENUE
WINDY HILLS



DATE: 7/10/97
BY: AS NOTED
CHECKED: R.W./T.W./G.W.
SCALE: 1/8" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION

1/8" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 9/6/97





7200
HOLLY
AVENUE
TOWSON, MD

EX'G 1x6 PTD. GERMAN SIDING
NEW 1x6 PTD. GERMAN SIDING

NEW THRU-
WALL A/C



1
A-8 PROPOSED LEFT SIDE ELEVATION
1/8" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 9/10/97

Project # 478100
Date 09/10/97
Scale 1/8" = 1'-0"
Date 09/10/97





NOTE:
 THE SCOPE OF WORK FOR THIS PROJECT IS LIMITED TO THE ENCLOSURE OF AN EXISTING SCREENED PORCH FOR ADDITIONAL LIVING SPACE.

THERE IS NO CHANGE TO THE EXISTING FRONT ELEVATION.

7200 HOLLY AVENUE
 BETHESDA, MARYLAND



- EX'G ROOF TO REMAIN
- PTD. WD. TRIM, TYP.
- PTD. GERMAN SIDING, TYP.
- THRU-WALL A/C UNIT
- PTD. DECORATIVE WD. BRACKET, TYP.
- EX'G WD. COLUMNS

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature] 3/26/97

1
 A-7
 1/8" = 1'-0"

PROPOSED REAR ELEVATION



DATE: 3/26/97
 DRAWN BY: J.P./T.P./C.C./C.C.
 CHECKED BY: J.P./T.P./C.C./C.C.



DATE: 9/10/97

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus^{PM}, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

* (Not out
final application
to owner &
to Architect)

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7209 Holly Avenue

Meeting Date: 9/10/97

Resource: Takoma Park Historic District

Review: HAWP

Case Number: 37/3-97KK

Tax Credit: No

Public Notice: 8/27/97

Report Date: 9/3/97

Applicant: Jamin & Sarah Raskin
(Tom Flanagan, Agent)

Staff: Robin D. Ziek

PROPOSAL: Enclose rear porch

RECOMMENDATIONS: APPROVAL

PROJECT DESCRIPTION

RESOURCE: Outstanding Resource in Takoma Park Historic District

STYLE: Queen Anne

DATE: c1890s

This Victorian home is a 2-1/2 story frame building with a full-width porch across the front, with turned columns and lacey, decorative brackets. This is a simplified Queen Anne, with eccentric massing expressed through a modest planar change on the front elevation, and a large bay window area to one side. The use of german siding and decorative shingles in the gable end are also victorian elements which enliven the house. There are two existing additions at the rear of the house: one with the existing kitchen, bathroom and playroom; and a second with a screened porch at the first floor level, and porch area at the basement level. Both of the additions are first floor/basement only.

PROJECT PROPOSAL

The applicant proposes to enclose the screened porch at the rear of the house for a family room. There will be no changes to the massing of the structure, and communication between the new family room and the rest of the house will be enhanced by the removal of the rear kitchen door and window and the playroom door. At the basement level, new brackets will be designed to help modify the ungainly proportions of the basement columns. These are proposed to be of some design to recall the decorative brackets at the front of the house without being replicative.

The materials will match the existing to the maximum extent possible. The new double-hung windows will be wood, true divided light, and single glazed, with storm windows. The siding

will be wood german siding. The single pendant window at the rear will be a wood window with fixed thermal glazing. A decorative stripe of shingles is proposed adjacent to the pendant window.

STAFF COMMENTS

The proposal is modest; with no change in massing, and the proposed choice of high quality materials, this will have a minimal impact on the historic district. As an Outstanding Resource, the Takoma Park Guidelines are specific in noting that the resources “will receive the most detailed level of design review”, while noting that “it is permissible to make sympathetic alterations, changes and additions.”

Staff feels that the proposed alterations meet the Secretary of the Interior’s Standards for Rehabilitation most notably in the fact that the design is derivative of victorian architecture and details, but not replicative. The alterations will be readily understood as non-original, but staff feels that the proposals are sympathetic to the original structure.

Specifically, the proposed use of the narrow proportioned windows with the unequal sash is in-keeping with the decorative use of architectural materials which is characteristic of victorian architecture. The proposed pendant window is also a decorative feature, highlighted with the decorative striping of shingle siding. While an oval window may be a common feature of victorian architecture, the proposed use of the large oval window as a major window in line with other windows is a modern interpretation of a victorian element. Staff finds this acceptable as it is derivative rather than replicative.

Staff notes that the proposed changes at the rear elevation will not be visible from the public right-of-way at all, and that the changes to the sides of the porch will be only minimally apparent.

STAFF RECOMMENDATION

Staff recommends that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior’s Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and with Secretary of the Interior's Standards for Rehabilitation #9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

and that it meets the Takoma Park Guidelines for Outstanding Resources that state:

preservation of original building materials and use of appropriate, compatible new materials is encouraged.

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: TOM FLANAGAN
Daytime Phone No.: (301) 652-4811

Tax Account No.: 01079337
Name of Property Owner: JAMIN B. & SARAH BLOOM RASKIN Daytime Phone No.: (301) 608-3477
Address: 7209 HOLLY AVE TAKOMA PARK MD 20912
Street Number City State Zip Code
Contractor: TO BE DETERMINED Phone No.: ~~(301) 608-3477~~
Contractor Registration No.: _____
Agent for Owner: TOM FLANAGAN Daytime Phone No.: (301) 652-4811

LOCATION OF BUILDING/PREMISE

House Number: 7209 Street: HOLLY AVE
Town/City: TAKOMA PARK Nearest Cross Street: TULIP AVE
Lot: P6 Block: 6 Subdivision: 25
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 37,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Thomas Raskin AIA 8/20/97
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____

Signature: _____

4

Property owners names and mailing addresses of all properties adjacent to and across from 7209 Holly Avenue, Takoma Park, MD (Block 6, Lot P 6):

Block 6, Lot P 5

Lynn Vaughan
7207 Holly Ave.
Takoma Park, MD 20912

Block 6, Lot P 7

Nancy Knight
Martin J. Collins
7211 Holly Ave.
Takoma Park, MD 20912

Block 6, Lot 34

Wolfgang J. Mergner
G. W. Mergner
104 Tulip Ave.
Takoma Park, MD 20912

Block 12, Lot P 13

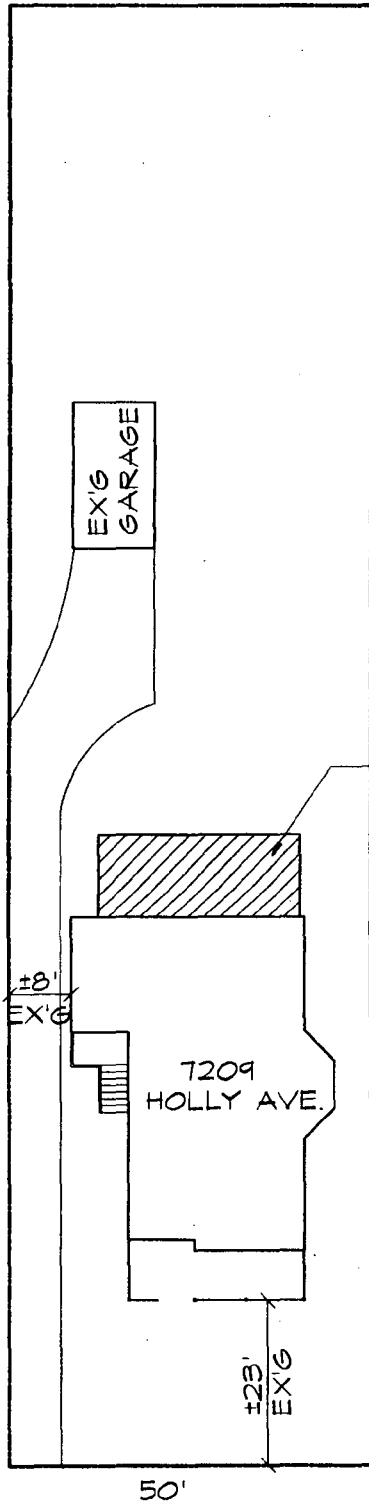
Harold R. Phipps Jr.
F. E. Phipps
7210 Holly Ave.
Takoma Park, MD 20912

Block 12, Lot P 12

Anne F. M. Heasty
R. D. Heasty
9114 Autoville Drive
College Park, MD 20740

Block 12, Lot P 11

Jeffrey C. Anspacher et al
7206 Holly Ave.
Takoma Park, MD 20912



ENCLOSURE OF EX'G
SCREENED PORCH

TAKOMA PARK
SUBDIVISION 25
BLOCK 6 LOT P6

NOTE:
THIS SITE PLAN IS
BASED ON VISUAL
INSPECTION OF SITE
ONLY AND SHOULD
NOT BE RELIED UPON
FOR EXACT LOT SIZE
AND BUILDING LOCATION.

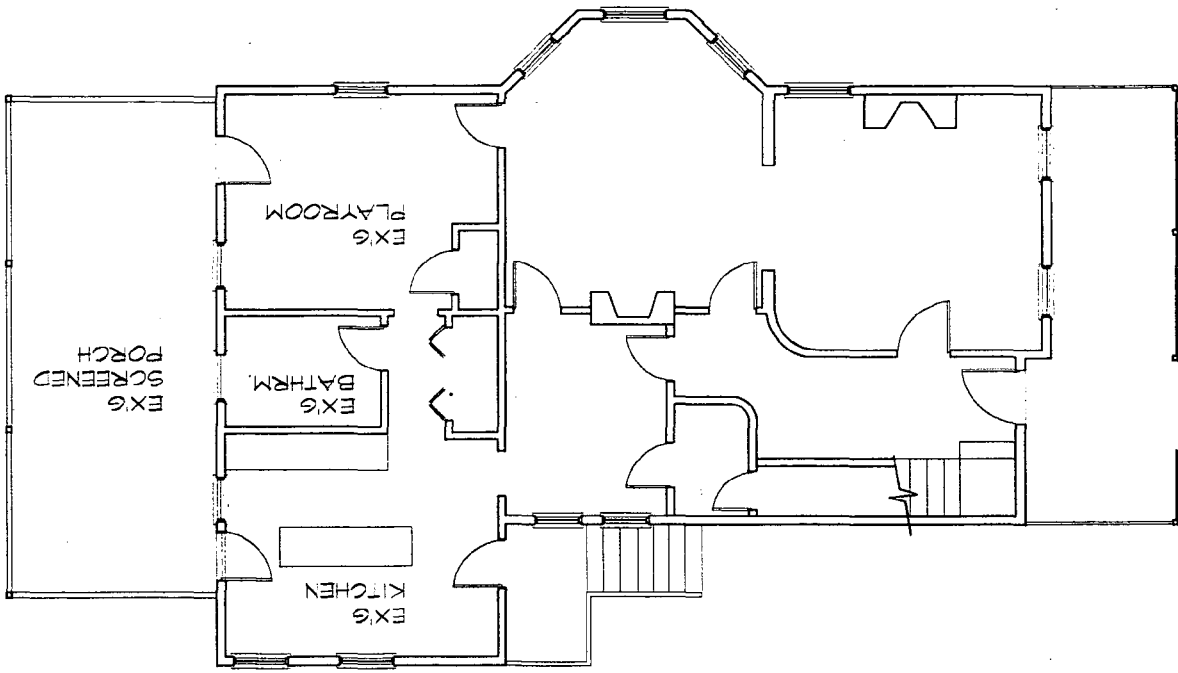
HOLLY AVE

SITE PLAN

1" = 20'-0"

8

EXISTING FIRST FLOOR PLAN
1/8" = 1'-0"



LA. TR. OF
 2008
 1/8" = 1'-0"
 EX'G
 1/8" = 1'-0"
 1/8" = 1'-0"

1/8" = 1'-0"
 1/8" = 1'-0"
 1/8" = 1'-0"
 1/8" = 1'-0"

7200
 HOLLY
 AVENUE
 TOWER PARK

7200 HOLLY AVENUE TOWER PARK
 NEW ORLEANS, LA 70118
 TEL: 504-885-4444
 FAX: 504-885-4444
 WWW: WWW.PLANETEX.COM



7200
HOLLY
AVENUE
CHICAGO PARK

DATE: 11/20/00
BY: AS NOTED
CHECKED BY: TOTT/CSM

EXISTING FRONT ELEVATION
A-2 1/8" = 1'-0"

A-2

1



NOTE:
 THE SCOPE OF WORK FOR THIS PROJECT IS LIMITED TO THE ENCLOSURE OF AN EXISTING SCREENED PORCH FOR ADDITIONAL LIVING SPACE.

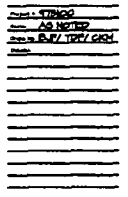
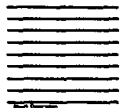
THERE IS NO CHANGE TO THE EXISTING FRONT ELEVATION.

7200
 HOLLY
 AVENUE
 BERKELEY, CA 94702



- EX'G ROOF TO REMAIN
- PTD. WD. TRIM, TYP.
- PTD. GERMAN SIDING, TYP.
- THRU-WALL A/C UNIT
- PTD. DECORATIVE WD. BRACKET, TYP.
- EX'G WD. COLUMNS

1 PROPOSED REAR ELEVATION
 A-7 1/8" = 1'-0"



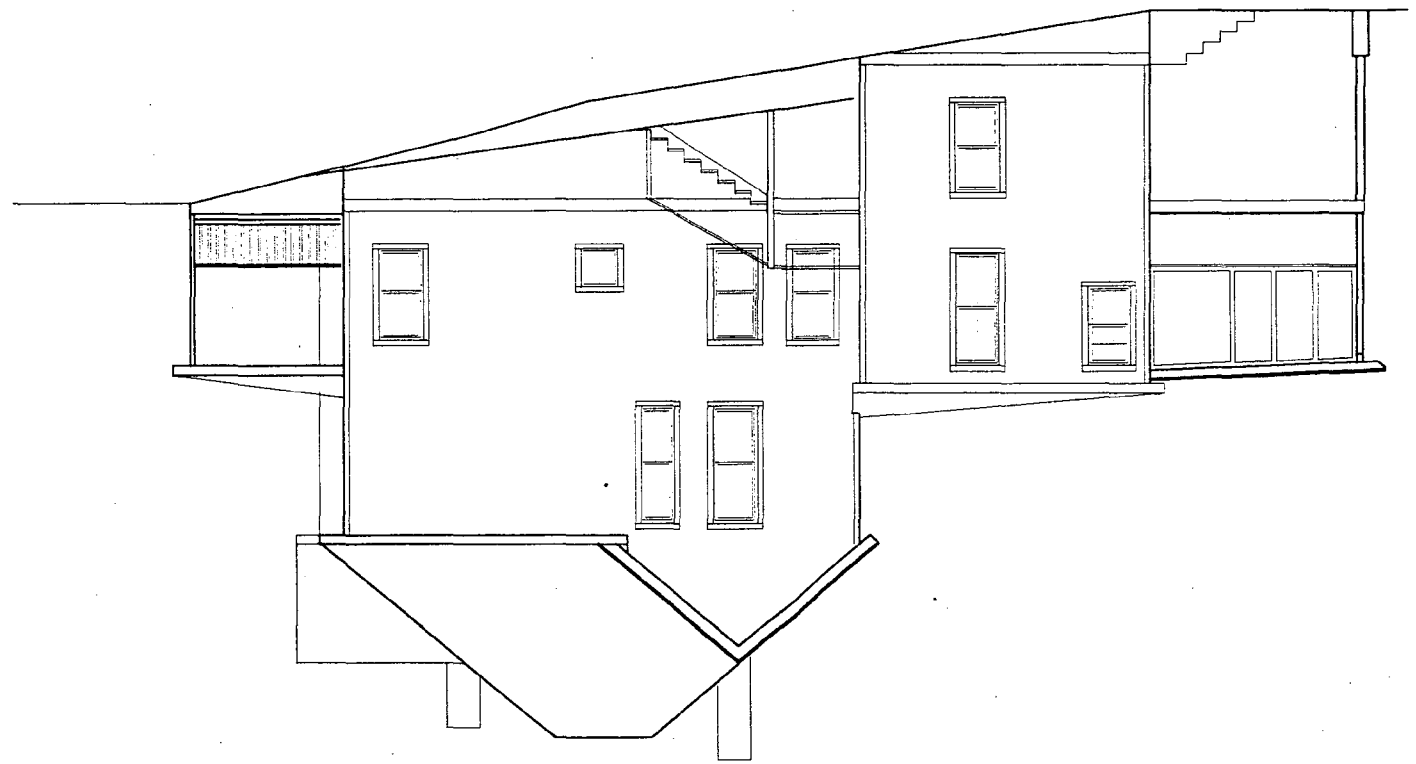
12

13

1
A-4

1/8" = 1'-0"

EXISTING LEFT SIDE ELEVATION



A-4

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE BUILDING CODES AND REGULATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 5. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
 7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 8. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 9. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

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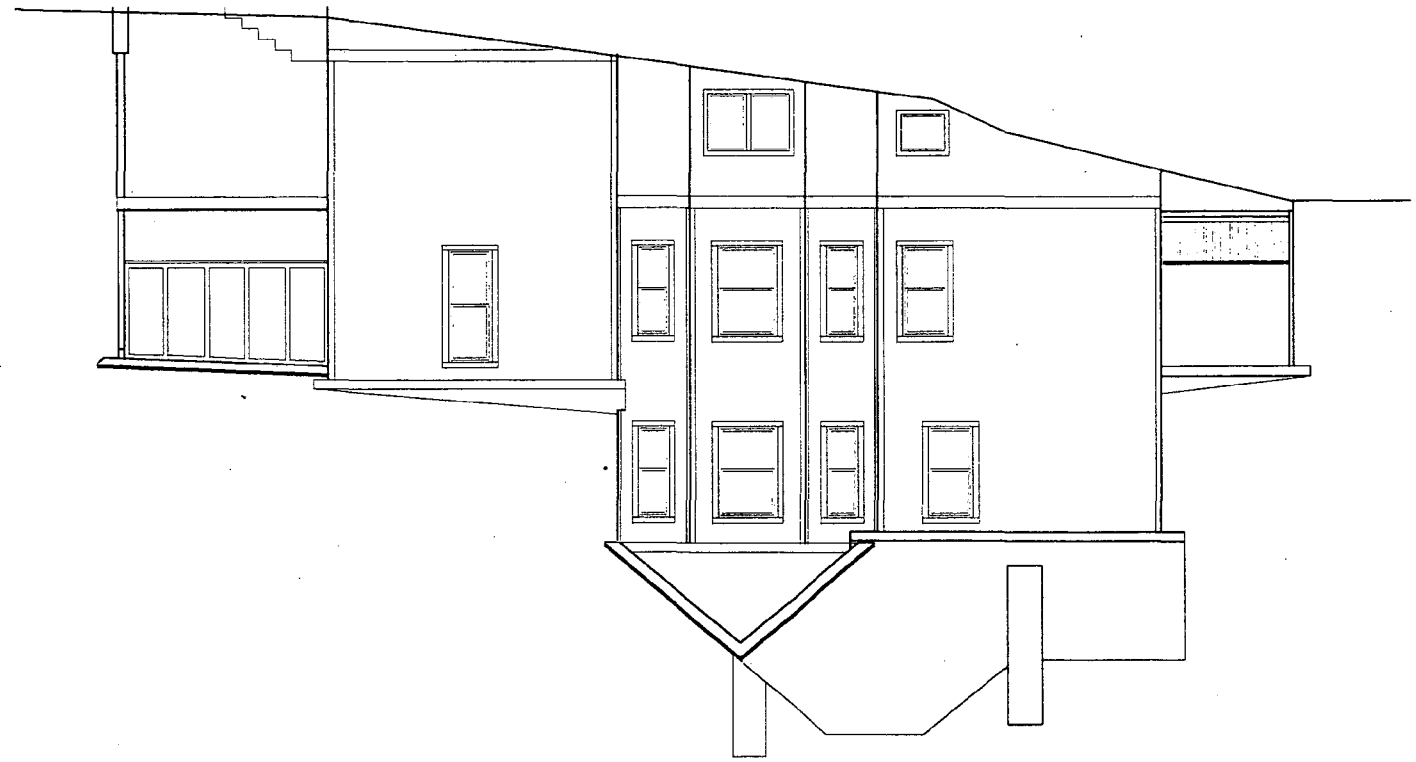
7200 HOLLY AVENUE
 TACOMA WASH

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE BUILDING CODES AND REGULATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
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 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

51

A-5
1/8" = 1'-0"

EXISTING RIGHT SIDE ELEVATION



A-5

ALL WORK TO BE
 DONE IN ACCORDANCE
 WITH THE CITY OF
 LOS ANGELES
 SPECIFICATIONS

ALL WORK TO BE
 DONE IN ACCORDANCE
 WITH THE CITY OF
 LOS ANGELES
 SPECIFICATIONS

7200
 HOLLY
 AVENUE
 TRUMAN PARK

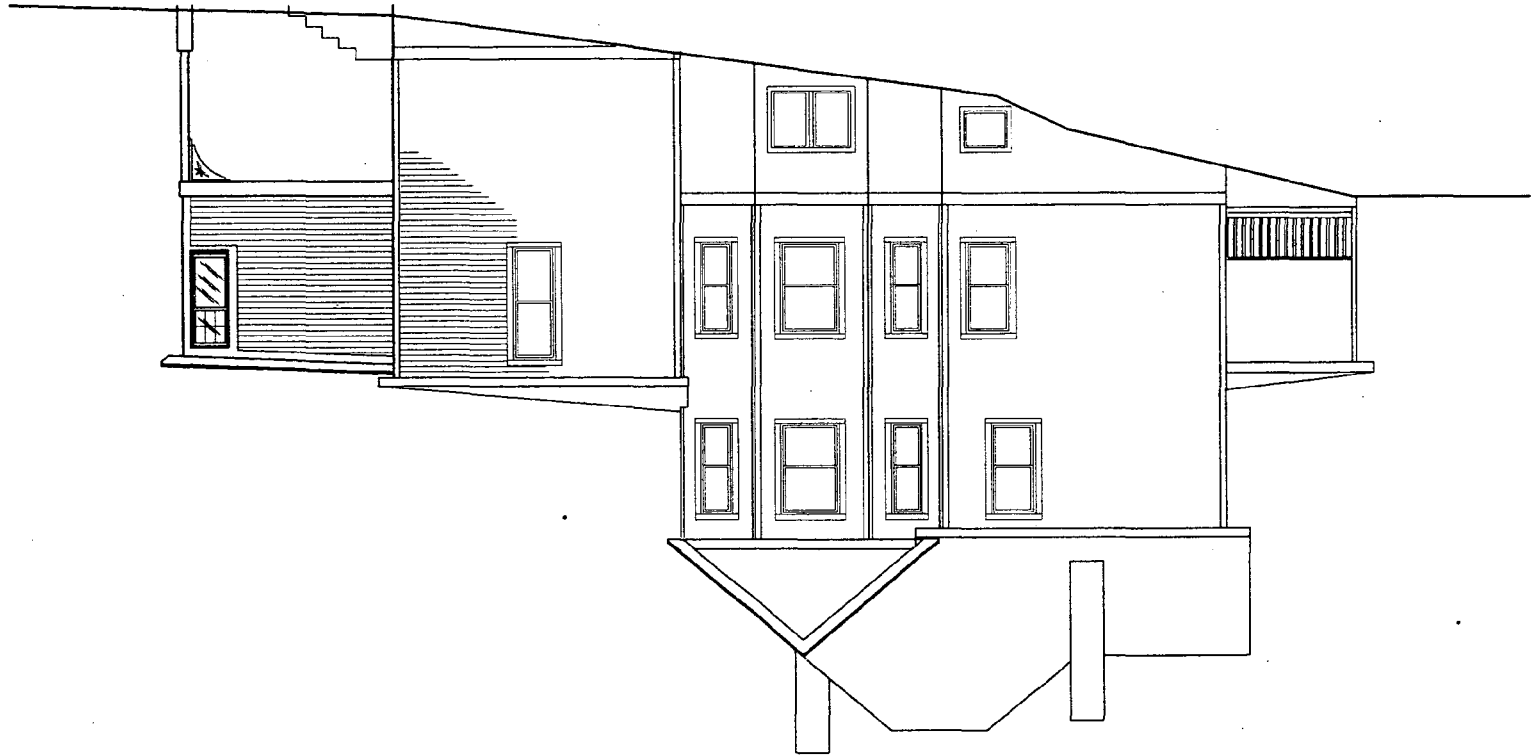
ALL WORK TO BE
 DONE IN ACCORDANCE
 WITH THE CITY OF
 LOS ANGELES
 SPECIFICATIONS

FARMINGTON
 ARCHITECTS, P.C.
 11111
 11111
 11111

9/6

1/8" = 1'-0" (A-9)

PROPOSED RIGHT SIDE ELEVATION



A-9

DATE: 11/11/11
 DRAWN BY: [REDACTED]
 CHECK BY: [REDACTED]
 APPROVED BY: [REDACTED]

7200 HOLLY AVENUE
 CHICAGO, IL 60631

7200
 HOLLY
 AVENUE
 CHICAGO, ILL.

11/11/11
 11/11/11
 11/11/11
 11/11/11
 11/11/11



VIEW FROM STREET OF FRONT



LEFT SIDE OF SCREENED PORCH



VIEW OF REAR ELEVATION



VIEW OF RIGHT SIDE ELEVATION



VIEW FROM STREET OF FRONT



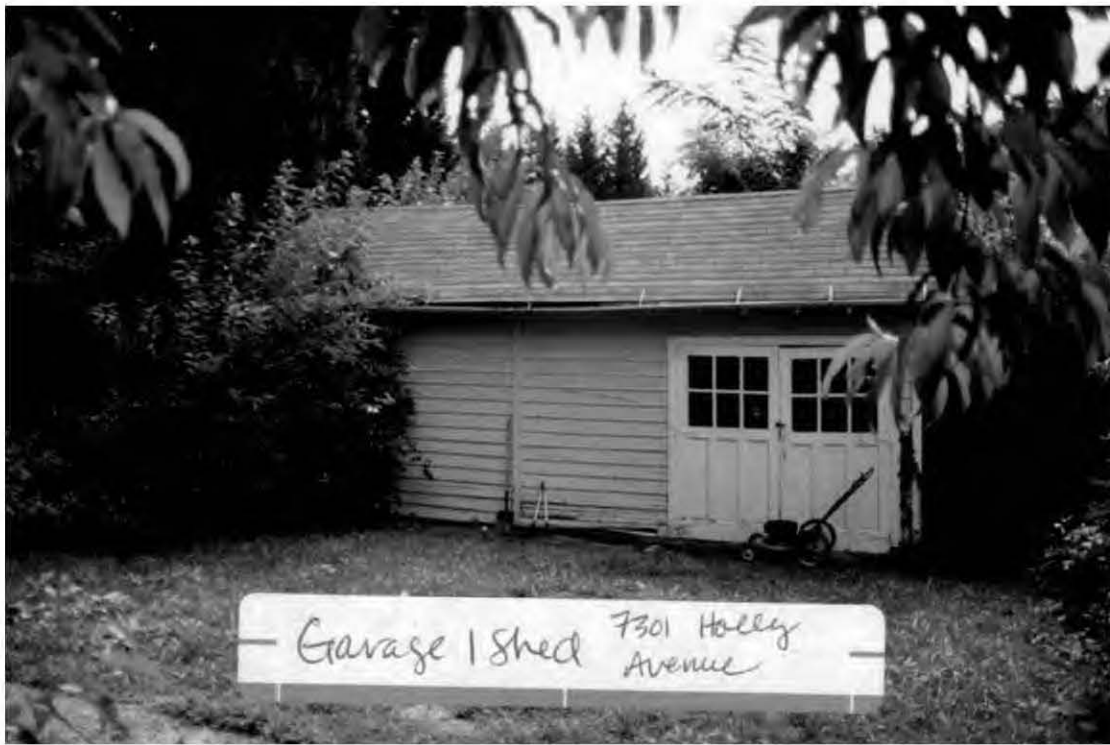
LEFT SIDE OF SCREENED PORCH



VIEW OF REAR ELEVATION



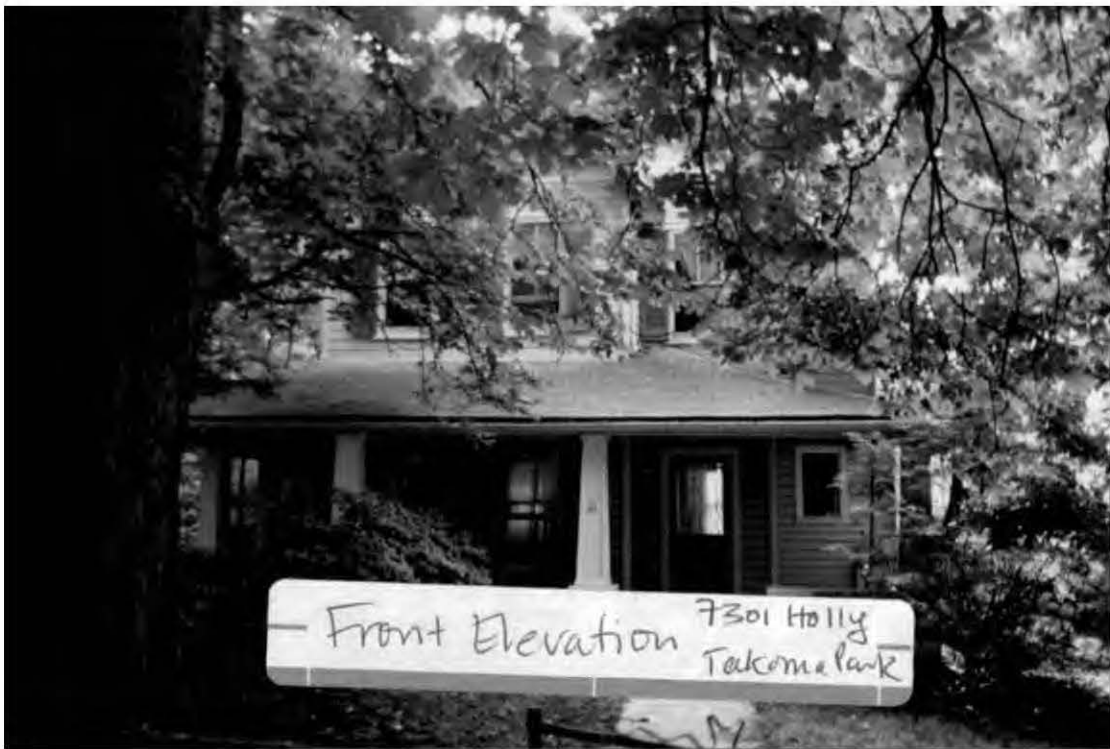
VIEW OF RIGHT SIDE ELEVATION



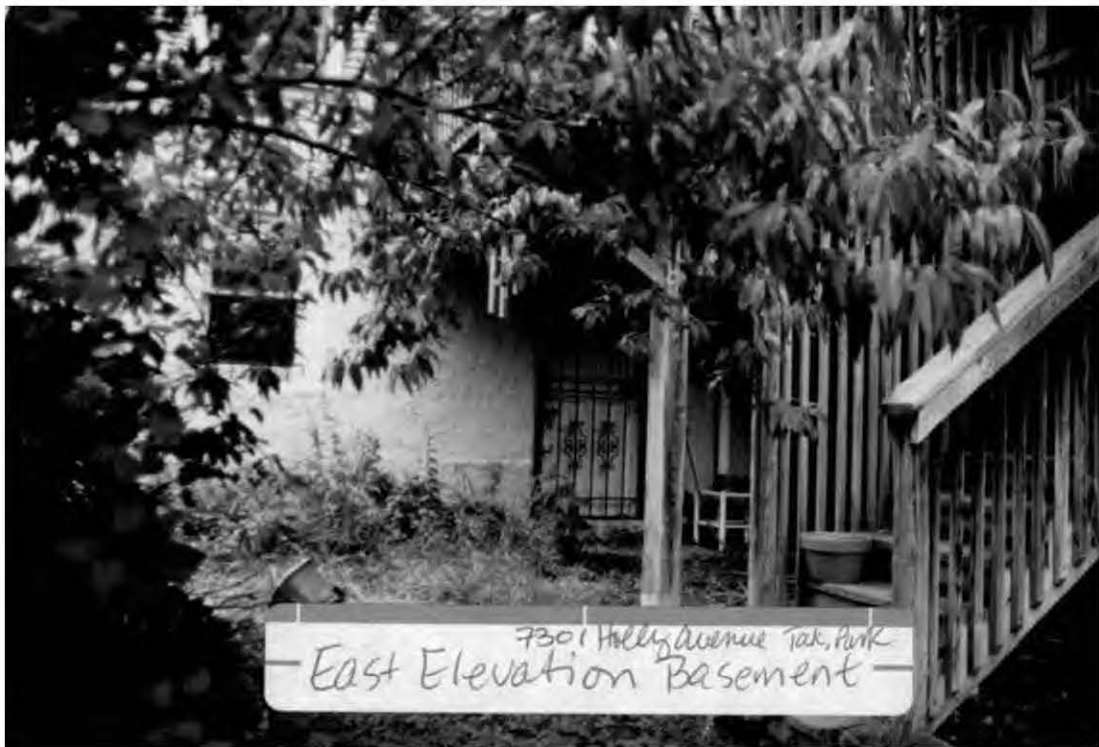
Garage | Shed 7301 Holly Avenue



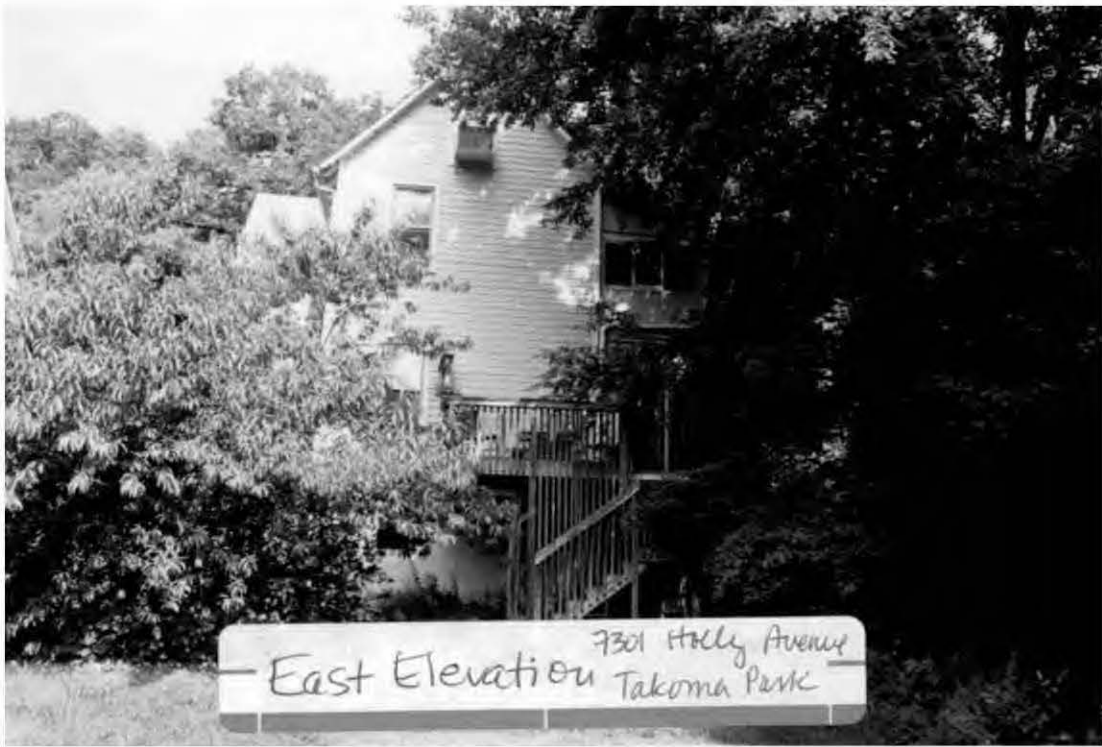
7301 Holly Avenue
Front - upper elevation



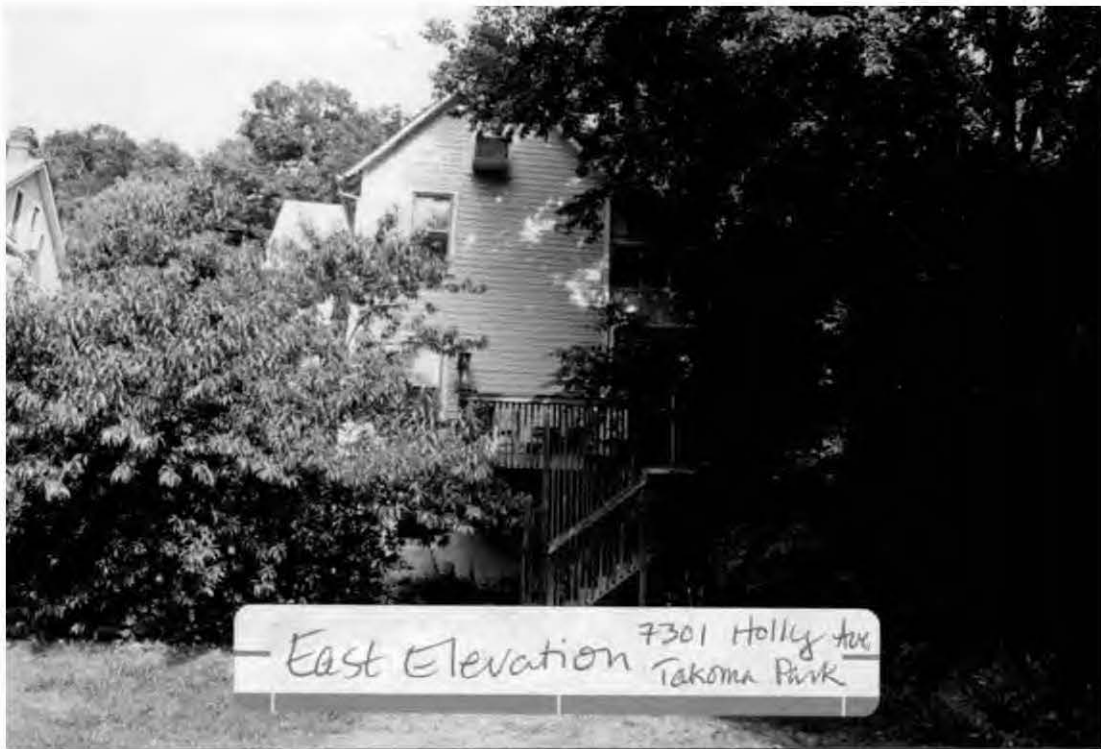
— Front Elevation 7301 Holly
Takoma Park



7301 Holly Avenue Tak, Park
— East Elevation Basement —



East Elevation 7301 Holly Avenue
Takoma Park



— East Elevation 7301 Holly Ave
Takoma Park



— South Elevation
7301 Holly Avenue, Tacoma, Wash —



South Elevation
7301 Holly Avenue
Takoma Park MD





