

37/3-97X (Revision)¹²¹ 201 Ethan Allen Ave
(Takoma Park Historic District)



JRN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/495-4570

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: JAMIE R. KARN
Daytime Phone No.: (301) 588-6409

Tax Account No.: _____
Name of Property Owner: ROBERT & DOROTHY TURNER Daytime Phone No.: (301) 270-6800
Address: 10224 LESLIE ST. SILVER SPRING MD. 20902
Street Number City Street Zip Code
Contractor: OPUS 3 INC. Phone No.: 301-608-9700
Contractor Registration No.: #049272
Agent for Owner: JAMIE R. KARN AIA Daytime Phone No.: 301 588-6409

LOCATION OF BUILDING/PREMISE

House Number: 201 Street: E THAW ALLEN AVE
Town/City: TRAYOMA PARK Nearest Cross Street: SYCAMORE AVE
Lot: 37 Block: 19 Subdivision: B. F. GILBERT'S ADDITION
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Salar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: AWNING; RAILINGS
1B. Construction cost estimate: \$ 4500.00
1C. If this is a revision of a previously approved active permit, see Permit # 9709030066

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 3 feet 0 inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jamie R. Karn 12.19.97
Signature of owner or authorized agent Date

Approved: For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: [Signature] Date: 1-14-98
Application/Permit No.: 97121900162 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

37/3-97X Revision

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 1-14-98

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section *gwr*

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

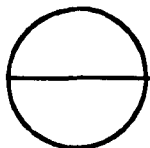
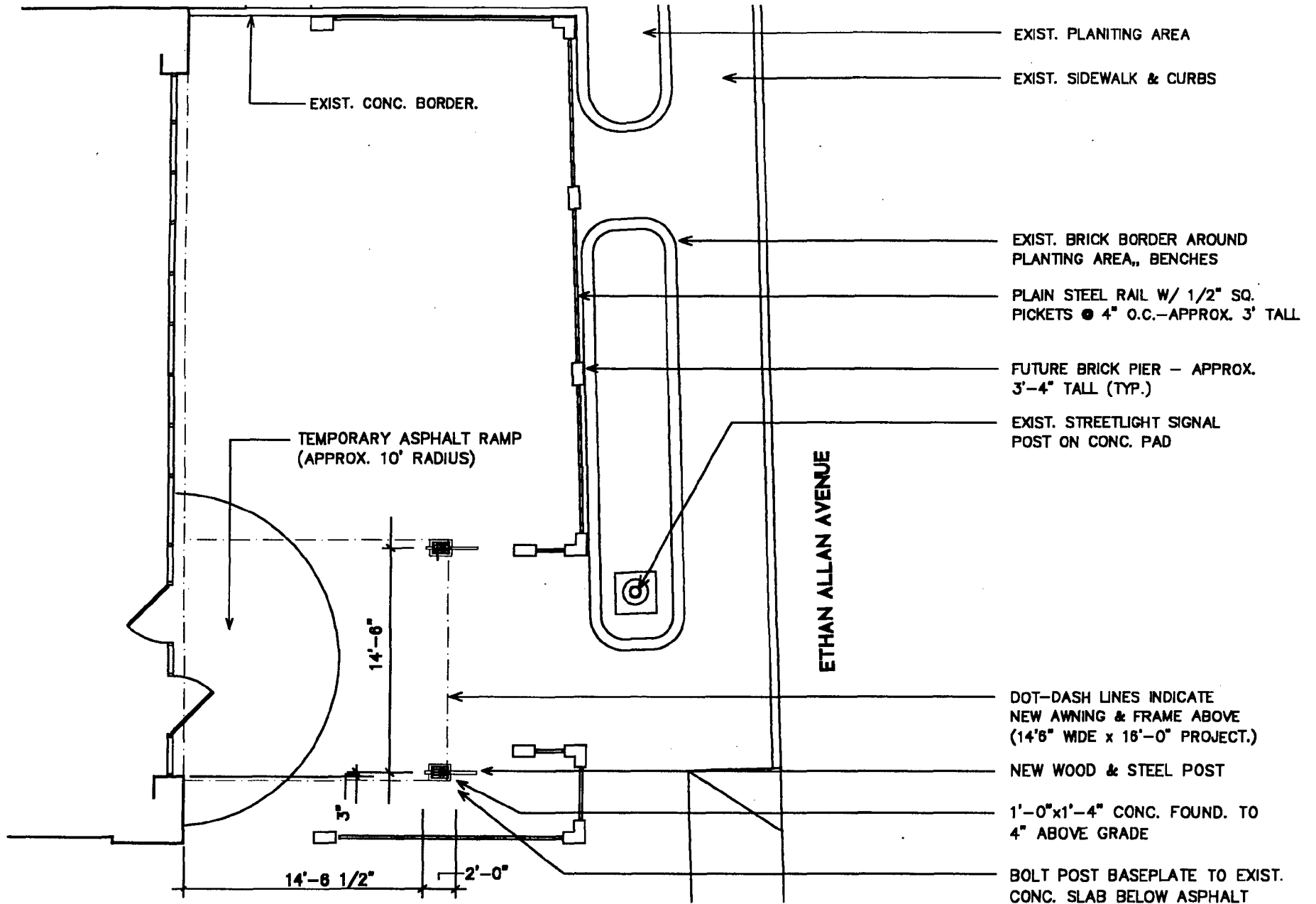
You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



PARTIAL SITE PLAN - IMPROVEMENTS @ FRONT

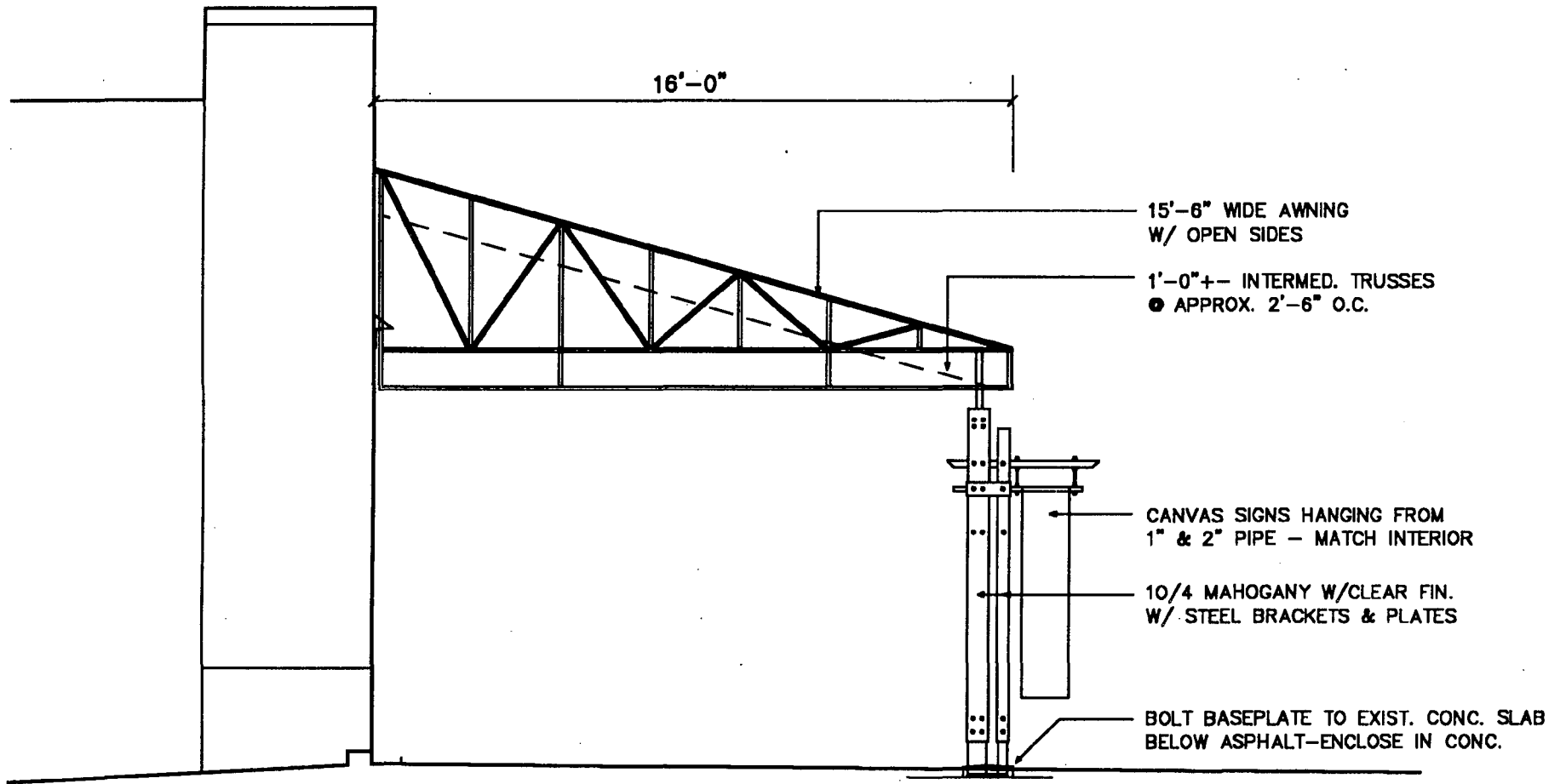
1/8" = 1'-0"

APPROVED

Montgomery County
Historic Preservation Commission

REVISED 12/18/97

K. D. D. 1/14/98

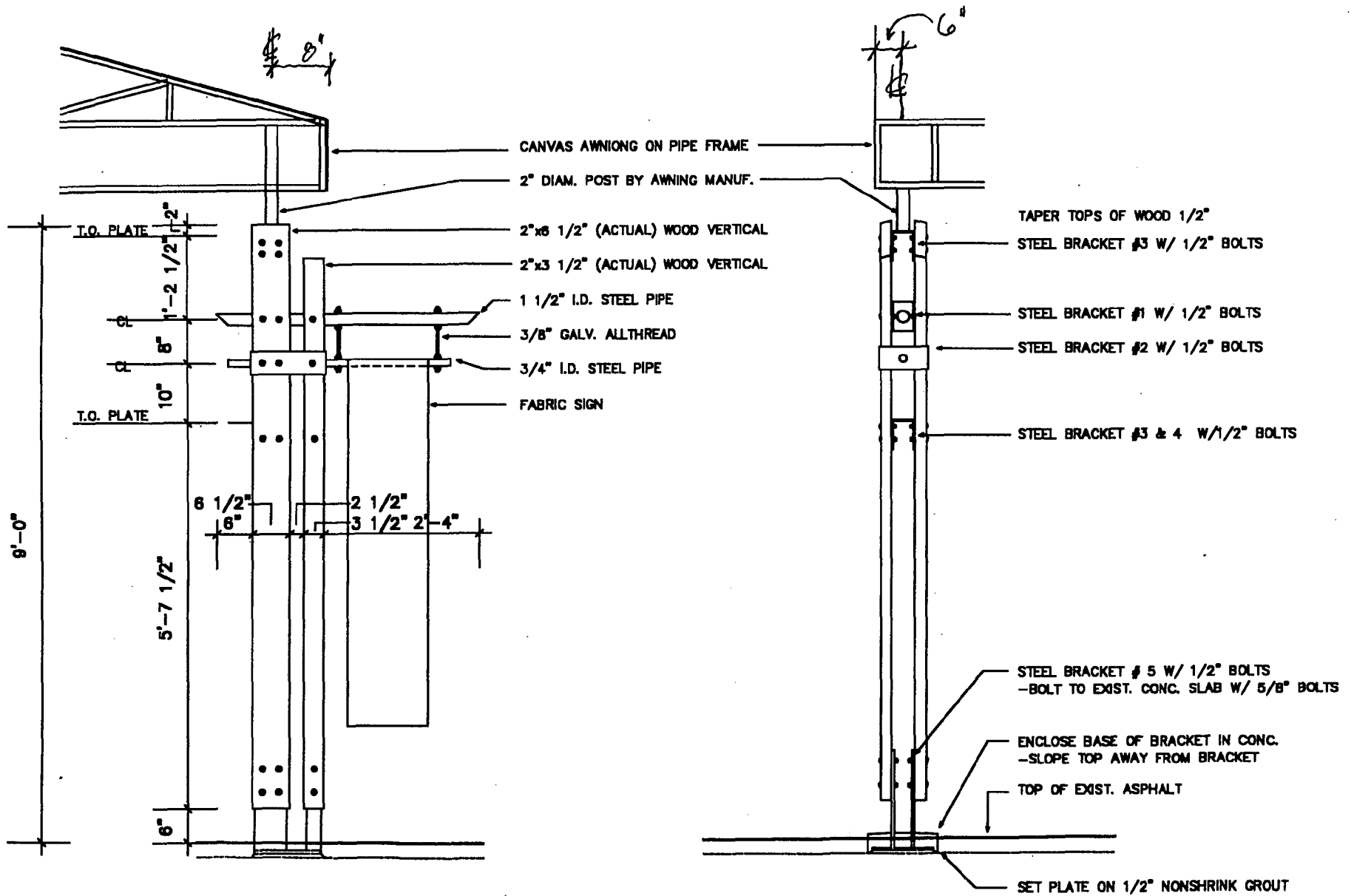


SIDE ELEVATION © AWNING & POST

1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

[Handwritten Signature] 1/14/98

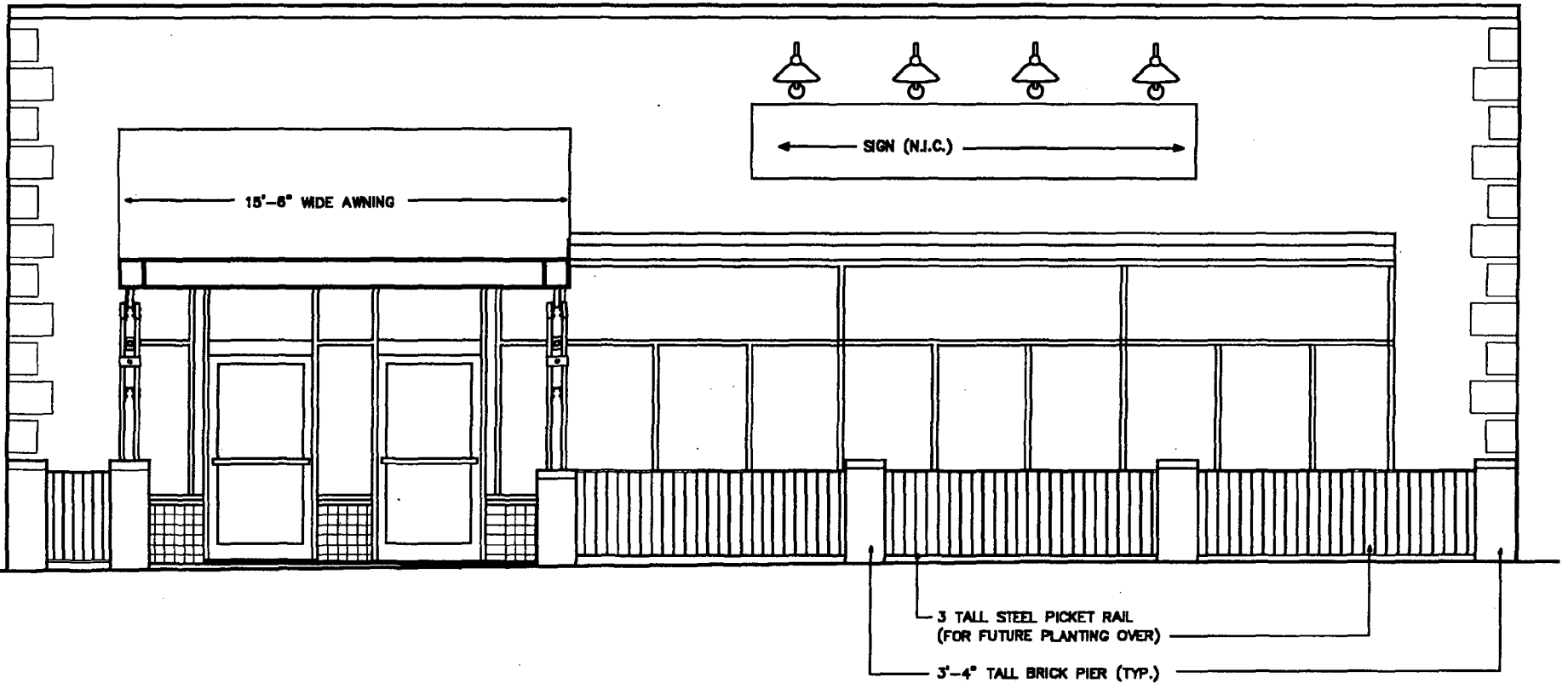


ELEVATIONS @ POSTS

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature] 1/14/98

1/2" = 1'-0"



2 FRONT ELEVATION - NORTH (REVISED)
 A401 3/16" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

[Handwritten signature] 1/14/98

1/6/98

PROPOSAL

Applicant proposes to install a canvas awning with a metal tube frame in place of the metal canopy. The metal canopy previously approved may be installed at a future date. The current proposal is for a 15'6" wide awning to extend 16' from the front entrance. Steel and wood signposts are proposed at the front of the awning area to accommodate canvas hanging signs.

A plain steel railing with 1/2" square pickets @ 4" o.c. to be 3 feet high is proposed on either side of the entrance and around the front sitting area that is separated from the street by existing brick planter benches.

A temporary asphalt ramp with a radius of approximately 10' is proposed at the front entrance.

STAFF DISCUSSION

The revisions that are being proposed for this non-contributing resource are in keeping with the period of the building. The changes to the front facade are within the Takoma Park Guidelines and sensitive to the streetscape along which they will be seen. Awnings are seen throughout the commercial areas of the Takoma Park Historic District.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

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 Lot: 37 Block: 19 Subdivision: B. F. GILBERT'S ADDITION
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

<input type="checkbox"/> Construct	<input checked="" type="checkbox"/> Extend	<input checked="" type="checkbox"/> Alter/Renovate	<input type="checkbox"/> A/C	<input type="checkbox"/> Slab	<input type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)	<input checked="" type="checkbox"/> Other: <u>AWNING, RAILINGS</u>				

1B. Construction cost estimate: \$ 4500.00

1C. If this is a revision of a previously approved active permit, see Permit # 9709030066

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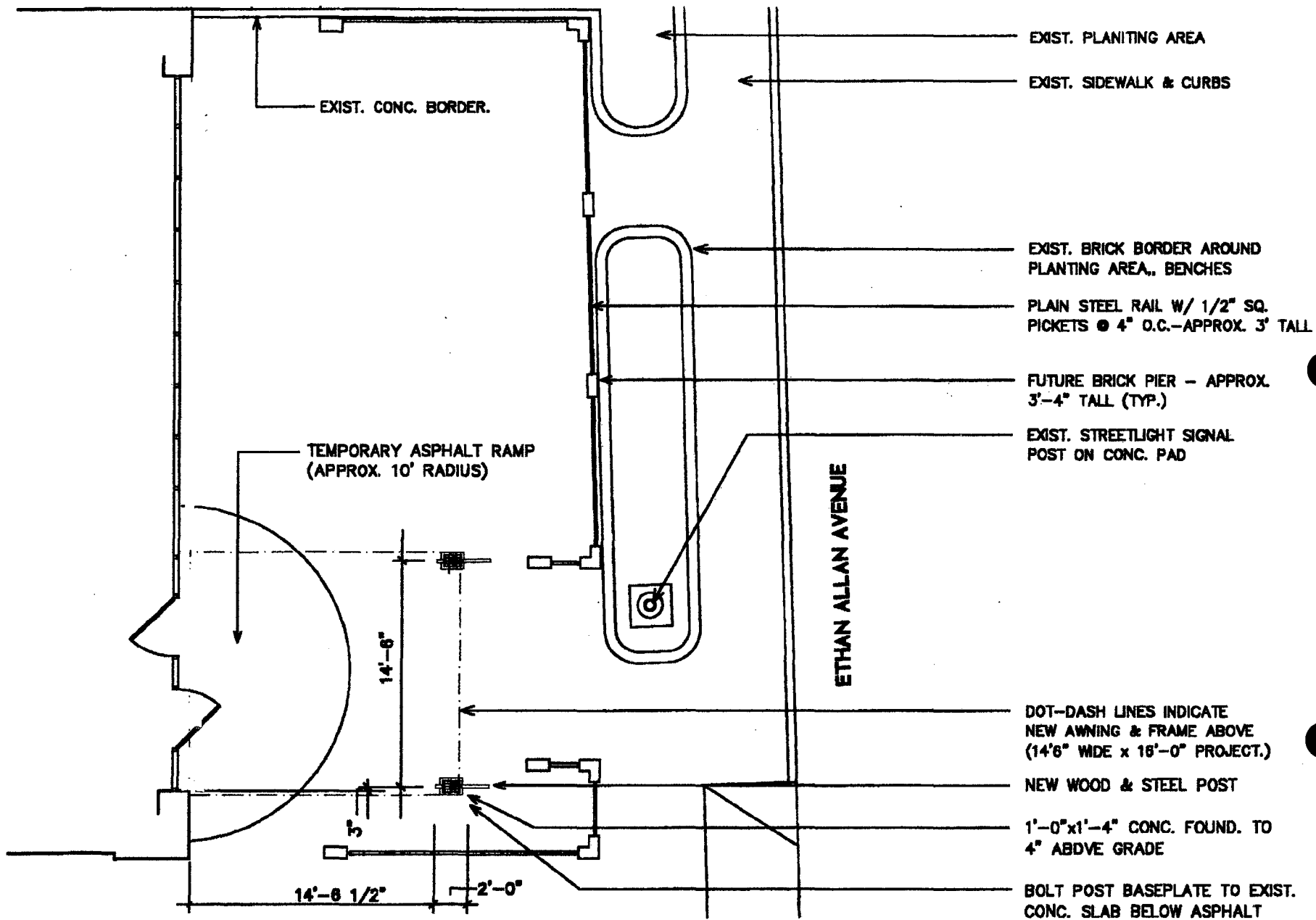
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Jamie R. Karn 12-19-97
 Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

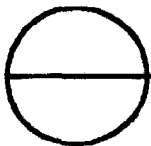
63

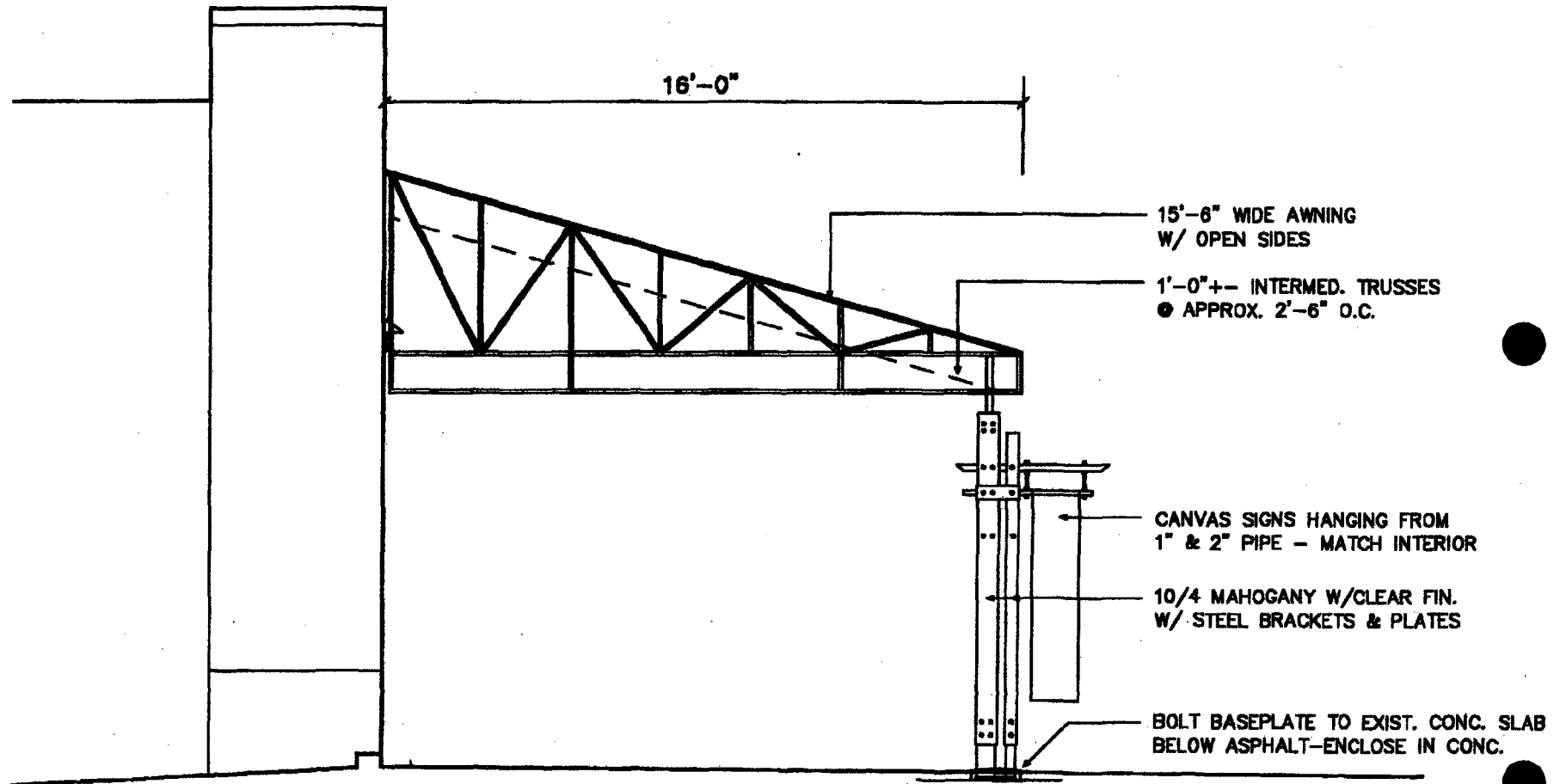


PARTIAL SITE PLAN - IMPROVEMENTS @ FRONT

1/8" = 1'-0"

REVISED 12/18/97

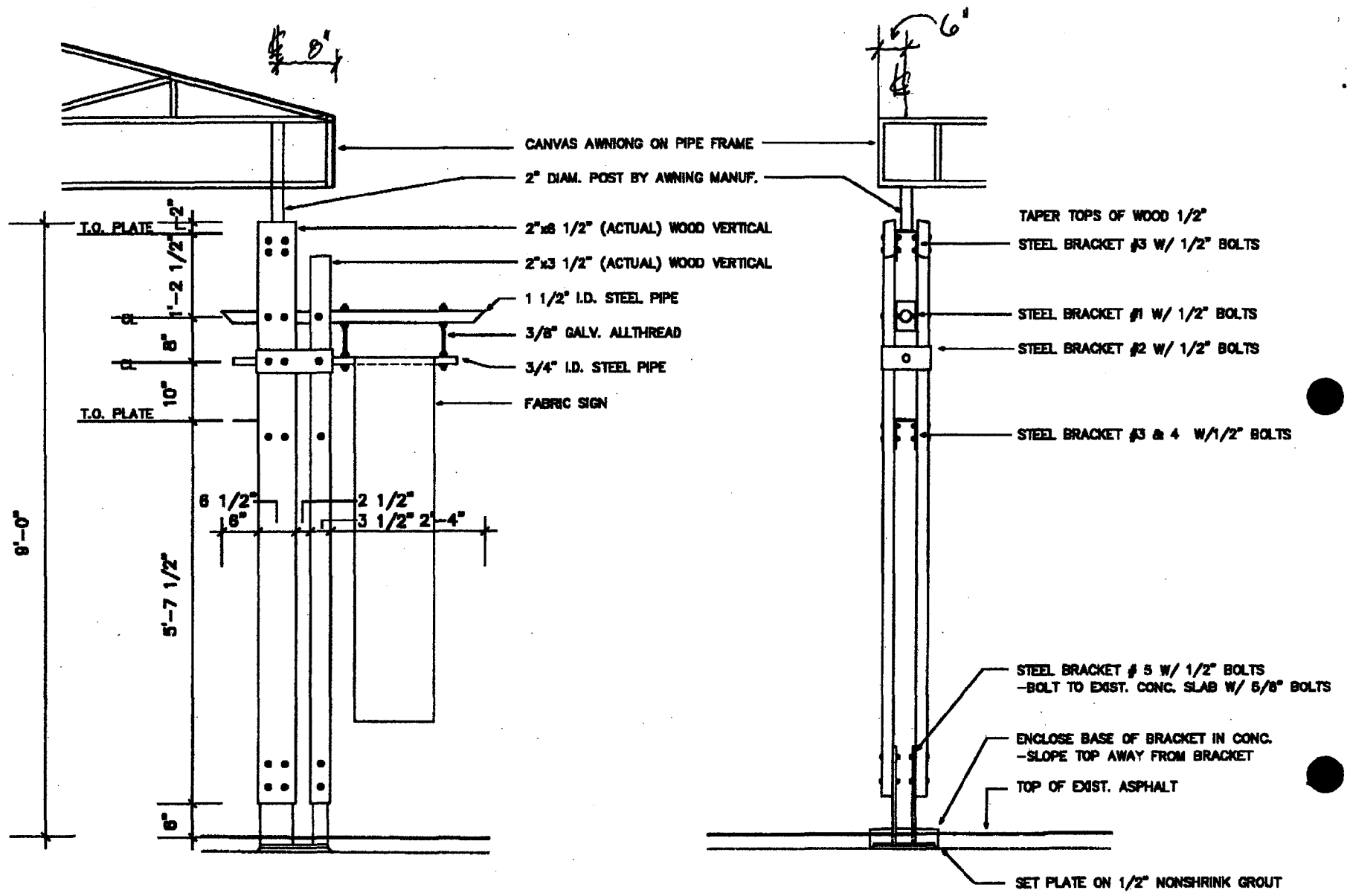




SIDE ELEVATION @ AWNING & POST

1/4" = 1'-0"

5



ELEVATIONS @ POSTS

1/2" = 1'-0"

9

TAKOMA PARK SILVER SPRING CO-OPERATIVE

201 Ethan Allen Avenue Takoma Park, Maryland

ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

7126 Sycamore Avenue
Takoma Park, Md. 20912

7129 Sycamore Avenue
Takoma Park, Md. 20912

7131 Sycamore Avenue
Takoma Park, Md. 20912

7133 Sycamore Avenue
Takoma Park, Md. 20910

Public Pavilion
7301 Carrol Avenue
Takoma Park, Md. 20912

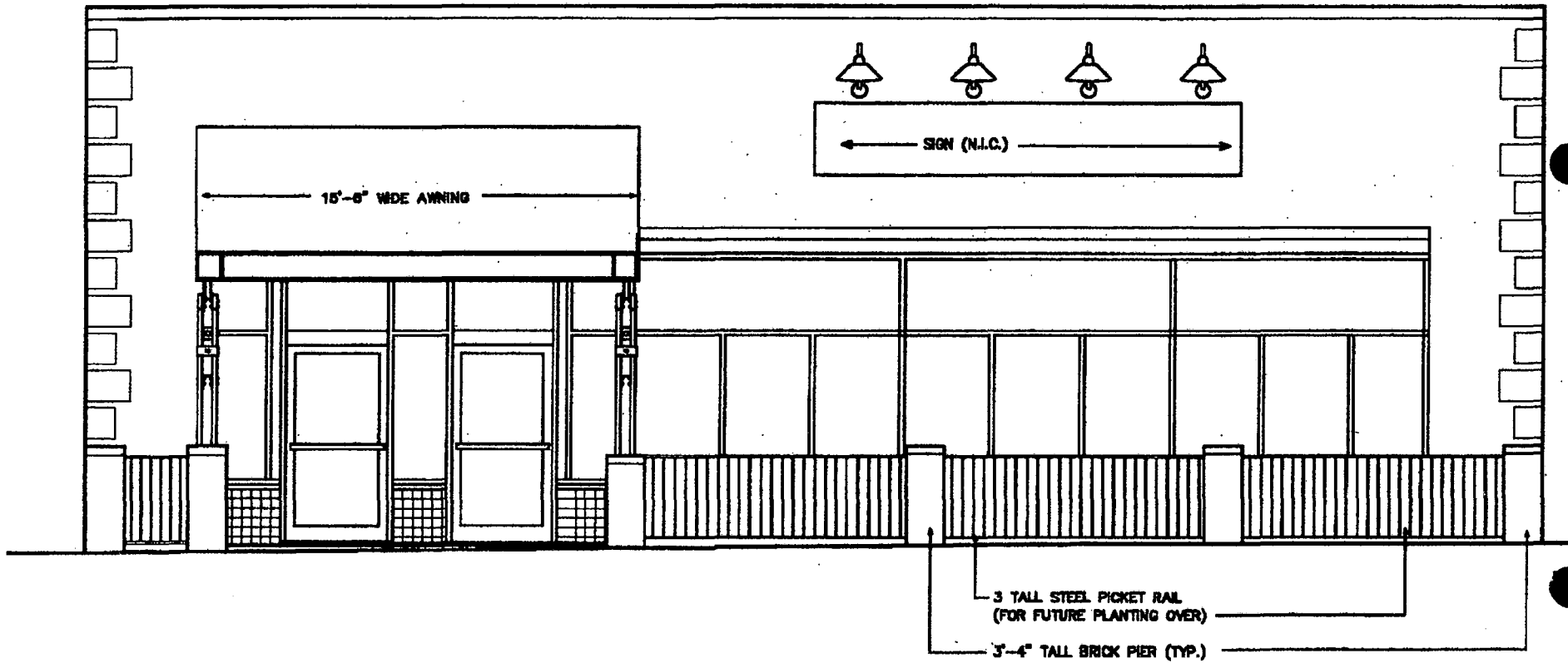
Vacant Lot
7215 Carrol Avenue
Takoma Park, Md. 20912
(City of Takoma Park -Takoma Junction)

7302 Carrol Avenue
Takoma Park, Md. 20912

7304 Carrol Avenue
Takoma Park, Md. 20912

Please forward information to the City of Takoma Park:

Ms. Beverly Habada
City Administrator
City of Takoma Park
7500 Maple Avenue
Takoma Park, Md. 20912



2 FRONT ELEVATION - NORTH (REVISED)
 A401 3/10" = 1'-0"

8

1/6/98