37/3-97X (Revision)<sup>12</sup>201 Ethan Allen <u>Ave</u> (Takoma Park Historic District)



#### MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

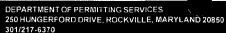
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue Silver Spring, Maryland 20910-3760

	Silver Spring, Maryland 20910-3760  Date: 1-14-98	
	Date: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
MEMORAI	<u>NDUM</u>	
TO:	Robert Hubbard, Director Department of Permitting Services	
FROM:	Gwen Wright, Coordinator Historic Preservation	
SUBJECT:	Historic Area Work Permit	
	omery County Historic Preservation Commission has reviewed the attached application in Area Work Permit. This application was:	
<u> </u>	ApprovedDenied	
	Approved with Conditions:	
		nied
<del></del>		
<del></del>		
	DING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ICE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).	
Applicant:	Robert & Porally Turner	
_	.01 Ethen Allen Avenue. Tekoma Perh	
********	DRIVE AND AGENT AND ANCE FOR A FIFT D DISDECTION DV CALL DIS	

\*\*\*THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DPS/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.





DPS - #8



## HISTORIC PRESERVATION COMMISSION 301/495-4570

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact	Person: JAMIE 12. KARN
Oaytime	Phone No.: (301) 508 - 6409
Tax Account No.:	
Name of Property Owner: POBERT : WORTH TOWNER Daytime	Phone No.: (301) 270 -6800
Address: 10224 LESTE ST. SILVER SPRING Street Number City  Contractor: 0 PUS 3 INC.  Contractor Registration No.: #049 272	MD. ZO90 Z Steet Zip Code
Street Number City	Steet Zip Code
Contractor: UVVS S INC. #0.46 2.77	Phone No.: SUI WO I ICO
1 A MARIO DE MARIA ALIA	
Agent for Owner:	Phone No.: See 4707
LOCATION OF BUILDING/PREMISE	
House Number: 201 Street E  Town/City: TAHOM A PARK NearestCross Street: 5	HAN ALLEN AVE,
Town/City: TAKOM A PARK Nearest Cross Street	YCHMONE ALL
Lot: 37 Block: 19 Subdivision: B. F. 6/1	LBERTS ADDITION
Liber: Folio: Parcet:	
PART ONE: TYPE OF PERMIT ACTION AND USE	B
1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE	5 · · · · · · · · · · · · · · · · · · ·
☐ Construct	 ☐ Room Addition ☐ Porch ☐ Oeck ☐ Shed
	☐ Woodburning Stave ☐ Single Family
•	e Section 4) Kother: AWNING; RAILING
1B. Construction cost estimate: \$ 4500.00	
1C. If this is a revision of a previously approved active permit, see Permit # 97090	2300Xe(0
PARTTWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS	āre .
2A. Type of sewage disposal: 01 USSC 02 Septic 03	] Other:
2B. Type of water supply: 01 $\square$ WSSC 02 $\square$ Well 03 $\square$	Other:
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL	
3A. Height 3 feet 0 inches	
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following local	ations:
☐ On party line/property line	ublic right of way/easement
I hereby certify that I have the authority to make the foregoing application, that the application is	
approved by all agencies listed and I hereby acknowledge and accept this to be a condition for	the issuance of this permit.
las R. Ka	17 19.97
Signature of owner or authorized agent	Date
Approved: For Chairperson, Histo	ric Preservation Commission
Disapproved: Signature:	Date: 1 - 14 - 98
071719101/07/	

**SEE REVERSE SIDE FOR INSTRUCTIONS** 

1.

2.

W	WRITTEN DESCRIPTION OF PROJECT		1.	**		
a.	a. Description of existing structure(s) and environmental setting, inclu	ding their histor	ical features a	ınd significanc	e:	
		· ·	١	• •		
		#	<del></del>	4	- B 6	<del>-:</del>
		· · · · · · · · · · · · · · · · · · ·				<u> </u>
			·			
b.	b. General description of project and its effect on the historic resource	s), the environn	nental setting,	and, where a	plicable, the his	toric district:
	<del></del>					
						· · · · · · · · · · · · · · · · · · ·
		•				,
SI	SITE PLAN					
Sit	Site and environmental setting, drawn to scale. You may use your plat.	Your site plan m	ust include:	,		
<b>a</b> .	a. the scale, north arrow, and dete;					
<b>)</b> .	o. dimensions of all existing and proposed structures; and			•		
G.	c. site features such as walkways, driveways, fences, ponds, streams,	trash dumpster	s, mechanica	l equipment, a	nd landscaping.	San you
		•				1.
J.	PLANS AND ELEVATIONS					, eq.
<u>/o</u>	<u>ou must submit 2 copies of plans and elevations in a format no larger t</u>	han 11" x 17". P	lans on 8 1/2	' x 11" paper a	re preferred.	
1.	<ul> <li>Schematic construction plans, with marked dimensions, indicating fixed features of both the existing resource(s) and the proposed wor</li> </ul>		and general t	ype of walls, v	vindow and doo	r openings, and oth
).	<ul> <li>Elevations (facades), with marked dimensions, clearly indicating pre All materials and fixtures proposed for the exterior must be noted or facade affected by the proposed work is required.</li> </ul>					
	WATERIALS SPECIFICATIONS	. •		of r	i, t	$+v\cdot v = v = v$
	*1			·	1. 1.	ad r
	General description of materials and manufactured items proposed for i lesign drawings.		the work of th		information ma	
Н	PHOTOGRAPHS	÷		٠	. 1	
١.	<ul> <li>Clearly labeled photographic prints of each facade of existing resour front of photographs.</li> </ul>	ce, including det	tails of the aff	ected portions.	All labels shoul	d be placed on the
).	Clearly label photographic prints of the resource as viewed from the front of photographs.	public right-of-v	vay and of the	e adjoining pro	perties. All label	s should be placed o
R	REE SURVEY					
	f you are proposing construction adjacent to or within the dripline of an	v troo 6" or lorge	r in diameter	(at annovimal	alu A faat ahaya	the around) you

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).



#### MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue Silver Spring, Maryland 20910-3760

e: 1-14-98

#### **MEMORANDUM**

TO:

Historic Area Work Permit Applicants

FROM:

Gwen Wright, Coordinator

Historic Preservation Section

U

SUBJECT:

Historic Area Work Permit Application - Approval of Application/Release of

Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

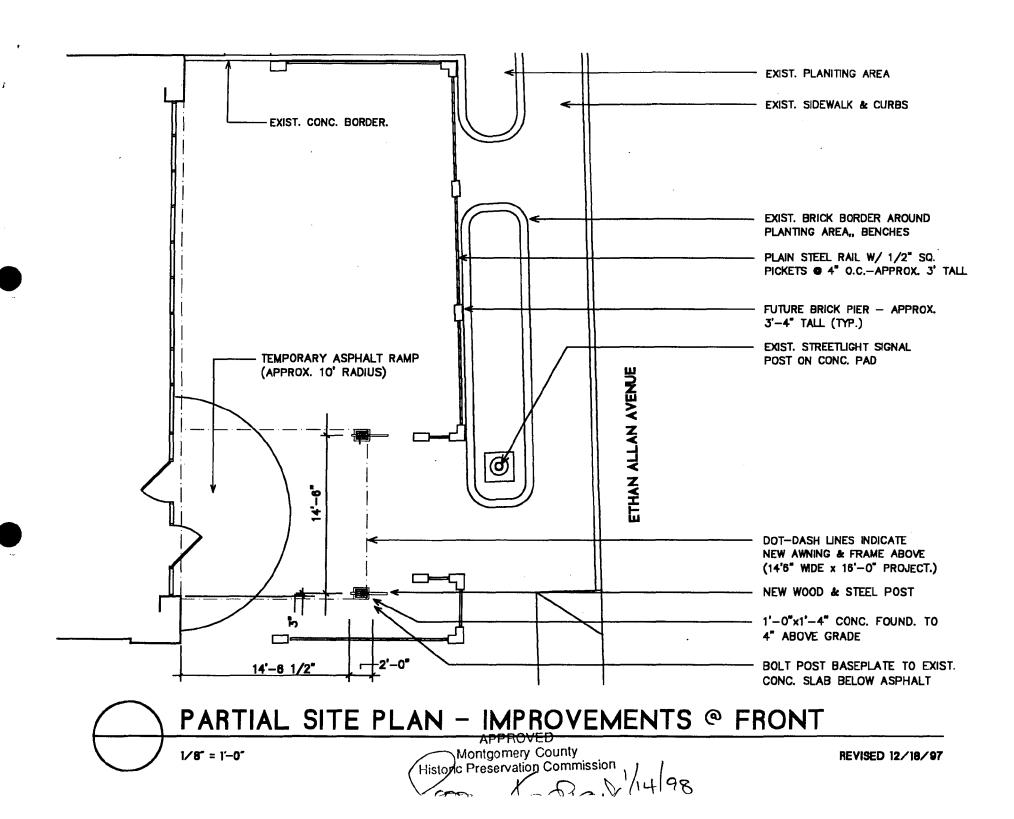
You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

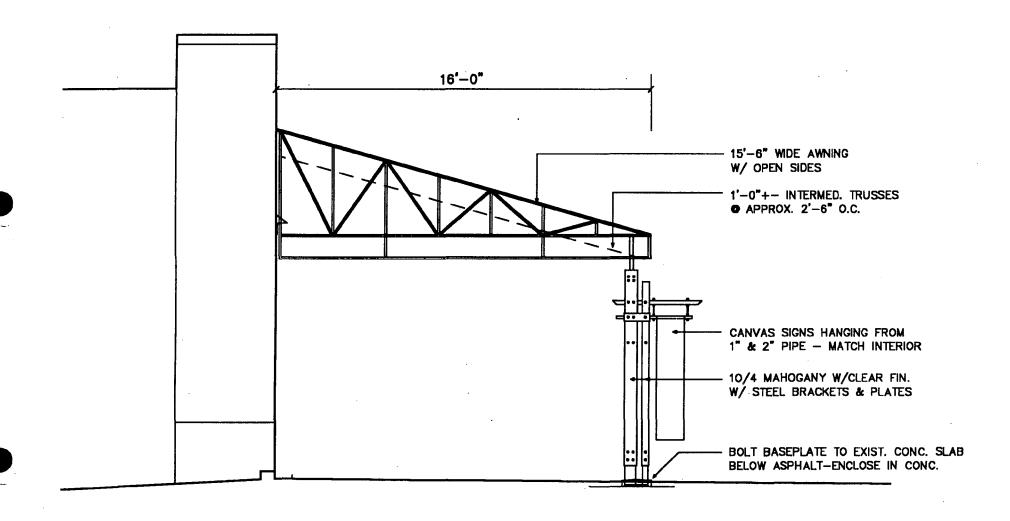
When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!





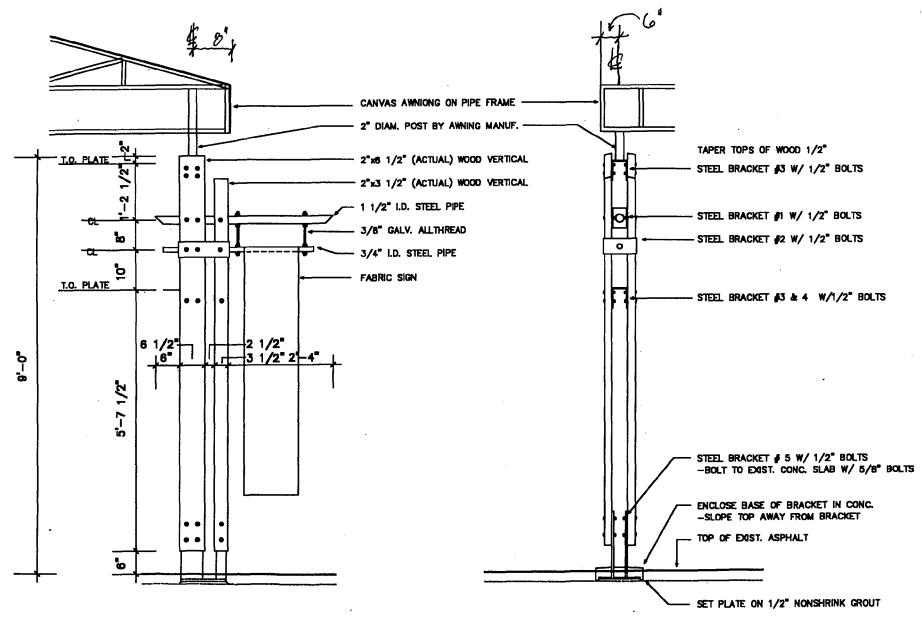
### SIDE ELEVATION @ AWNING & POST

1/4" = 1'-0"

APPROVED

Montgomery County

Historic Preservation Commission

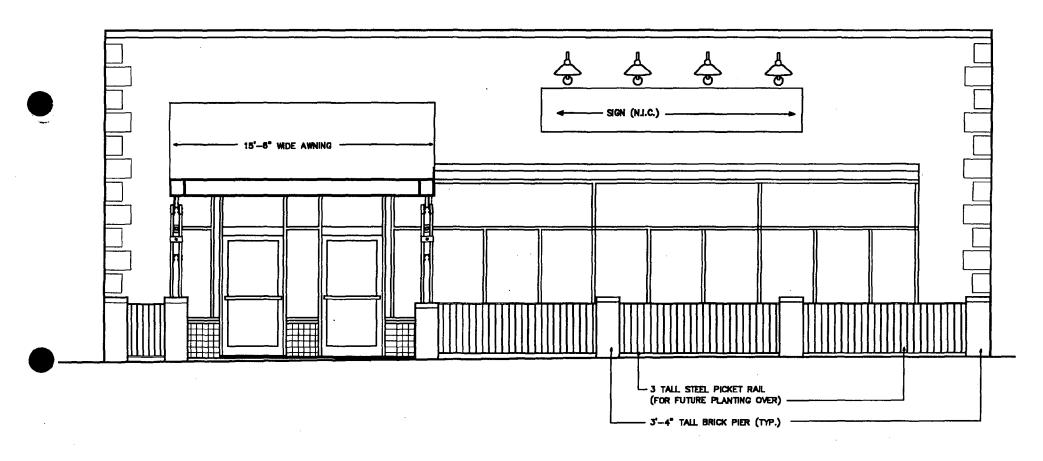


# ELEVATIONS @ POSTS

APPROVED

Montgomery County

Historic Preservation Commission



FRONT ELEVATION - NORTH (REVISED)

3/16" = 1'-0"

APPROVED

Montgomery County

Historic Preservation Commission

[1/6/98]

#### HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 201 Ethan Allen Avenue Meeting Date: 01/14/98

Resource: Takoma Park Historic District Review: HAWP

Case Number: 37/3-97X (REVISION) (2) Tax Credit: None

**Public Notice:** 12/31/97 **Report Date:** 01/07/98

Applicant: Robert & Dorothy Turner Staff: Perry Kephart

PROPOSAL: Commercial Renovation RECOMMEND: Approval

**DATE OF CONSTRUCTION:** ca. 1941

**SIGNIFICANCE:** Non-contributing resource in Takoma Park Historic District.

#### **ARCHITECTURAL DESCRIPTION**

The structure is a one story commercial building with a dark red brick and terra cotta tile exterior with gray stone quoining on the front corners. The building has a flat roof with parapet walls. The store front is aluminum and glass extending the width of the front facade with one entrance on the right side of the front facade. There is colored tile set below the front windows. The left side wall is plain brick with simple buttresses, the right side wall is red terra cotta tile. To the right of the building is a grassy open area. To the left is a paved parking lot that is the corner feature of Sycamore and Ethan Allen Avenues and has a rear retaining wall with a pipe guardrail as the grade slopes steeply to the rear of the store. The rear facade is two story and faces out on Columbia Avenue. There are two doors on the lower level and four window openings on the upper level. A second retaining wall with a guardrail marks the rear edge of the property line where Columbia Avenue drops off steeply to the left.

#### **BACKGROUND**

Built in 1941 as a Safeway, the store has been an electric motor repair business since 1967 and has now being renovated and converted back into a grocery store for the Takoma Park Silver Spring Co-operative. The applicant is completing work on the building in two or three phases depending on arrangements for a west loading dock that are being negotiated with the City of Takoma Park, and on the availability of funds to upgrade the front of the building.

A Historic Area Work Permit was approved on September 24, 1997 for the construction of a metal front canopy with brick and concrete paving at the front of the building. A revision of this proposal has been submitted for review at this time.

#### **PROPOSAL**

Applicant proposes to install a canvas awning with a metal tube frame in place of the metal canopy. The metal canopy previously approved may be installed at a future date. The current proposal is for a 15'6" wide awning to extend 16' from the front entrance. Steel and wood signposts are proposed at the front of the awing area to accommodate canvas hanging signs.

A plain steel railing with 1/2" square pickets @ 4" o.c. to be 3 feet high is proposed on either side of the entrance and around the front sitting area that is separated from the street by existing brick planter benches.

A temporary asphalt ramp with a radius of approximately 10' is proposed at the front entrance.

#### STAFF DISCUSSION

The revisions that are being proposed for this non-contributing resource are in keeping with the period of the building. The changes to the front facade are within the Takoma Park Guidelines and sensitive to the streetscape along which they will be seen. Awnings are seen throughout the commercial areas of the Takoma Park Historic District.

#### STAFF RECOMMENDATION

Staff recommends that the Commission approve the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

# HISTORIE AREA WORKPERMIT

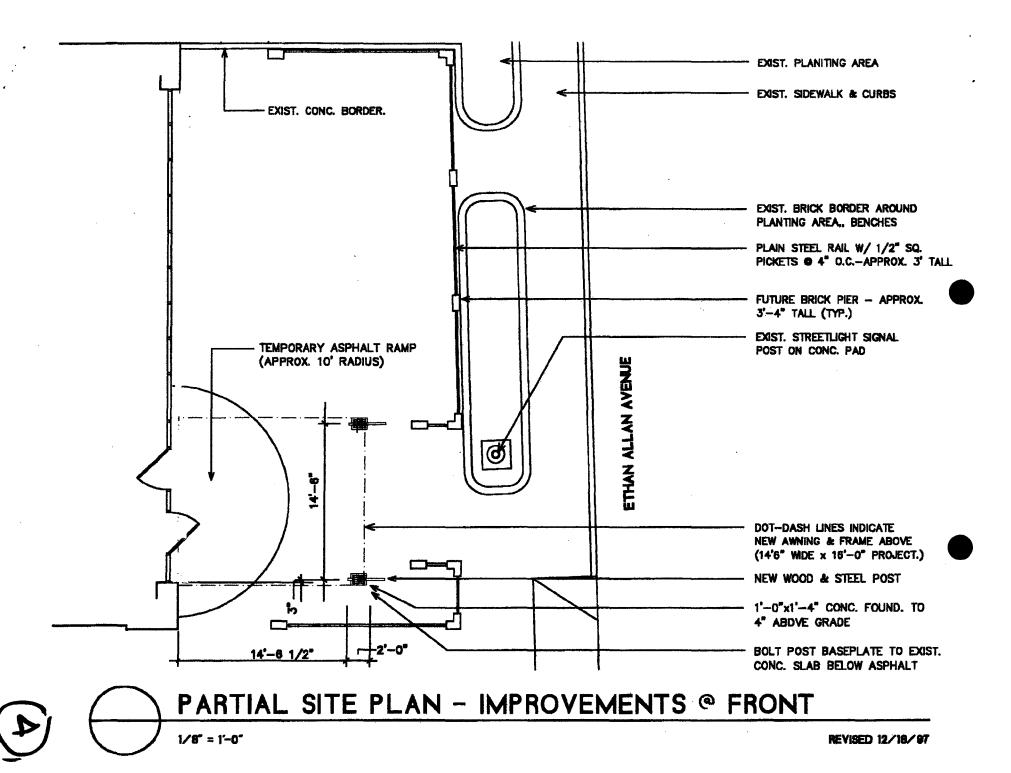
		Contact Person:	MIK 12. K	FRA
		Daytime Phone No.: 3		74
ax Account No.:		<del></del>		<del></del>
Name of Property Owner: POBERT:	MATH! TOMUL		01 21/2 -10/2	<u></u> <b>7</b> 71
				2/12
Address: 10224 LESUE ST. Street Number				ie .
Contractor: OPUS 3 INC.	<u> </u>	Phone No.:	301-608-97	100_
Contractor Registration No.: #049 27	2		THE STATE OF THE S	
Agent for Owner: JAMIE R.	KHEN ATA	Daytime Phone No.:	01 588-646	79
OCATION OF BUILDING/PREMISE	_	F. THAN	4/(4r) MA	
House Number: 201 TOWN/City: TAKOMA PARK	Street	- INNN K	C N.	्य द्वार ३
Town/City: (HH) A PARC	Nearest Cross Street:	>YCHWICK	T AVE	2. 2
.ot: 37 Block: 19 Subdivis	sion:	GILBERTS	ATO DI TION	
Liber: Folio: Pa	arcel:	<u> </u>	ž . 34	
PART ONE: TYPE OF PERMIT ACTION AND USE	227	9,5,161	ovith of bijonic	esi .
IA. CHECK ALL APPLICABLE:		APPLICABLE:	200 N	· • • • • • • • • • • • • • • • • • • •
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☐ Move ☐ Install ☐ Wreck/Raze		☐ Fireplace ☐ Woodburniı		1
☐ Revision ☐ Repair ☐ Revocable	Fence/V	Vall (complete Section 4)	Cother: AWDING	TO KERILI
IB. Construction cost estimate: \$ 400.		070002000	e de j	<del> </del>
C. If this is a revision of a previously approved active per	nit, see Permit #	<u>970903006A</u>	<b>2</b>	att W
PART TWO: COMPLETE FOR NEW CONSTRUCTION	N AND EXTEND/ADDIT	ONS		
2A. Type of sewage disposal: 01 ☐ WSSC	02 🗌 Septic	03 🗆 Other:	24611911.71	\$ 175 <b>R</b> (
2B. Type of water supply: 01 🔲 WSSC	02 🗆 Well		1 20 0 00 0 <del>00 0</del> 00 00 00 00	
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PART THREE: COMPLETE ONLY FOR FENCE/RETAIL	NING WALL			
3A. Height 3 feet 0 inches	ing the second of the second	1	kişa ili n <del>a</del> n il	14, 11 at
3B. Indicate whether the fence or retaining wall is to be				
☐ On party line/property line Kentirely	on land of owner 🖖 🔻	On public right of way	/easement 3 2 2 3	.:×a.0 ::
hereby certify that I have the authority to make the foreg	noing application, that the	annlication is correct, and the	t the construction will comple	with nlans
approved by all agencies listed and I hereby acknowledge				<u> </u>
1 0 1/				: 23 <sub>3</sub>
Jan 14 fam		·	12.19.97	
Signature of owner or authorized agent			Date	

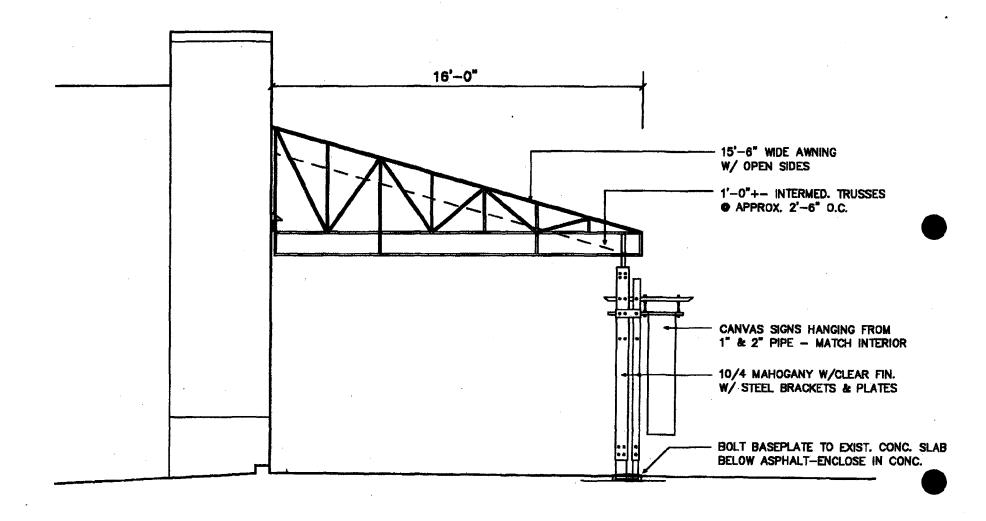
For Chairperson, Historic Preservation Commission

Approved:

Disa 'rr'

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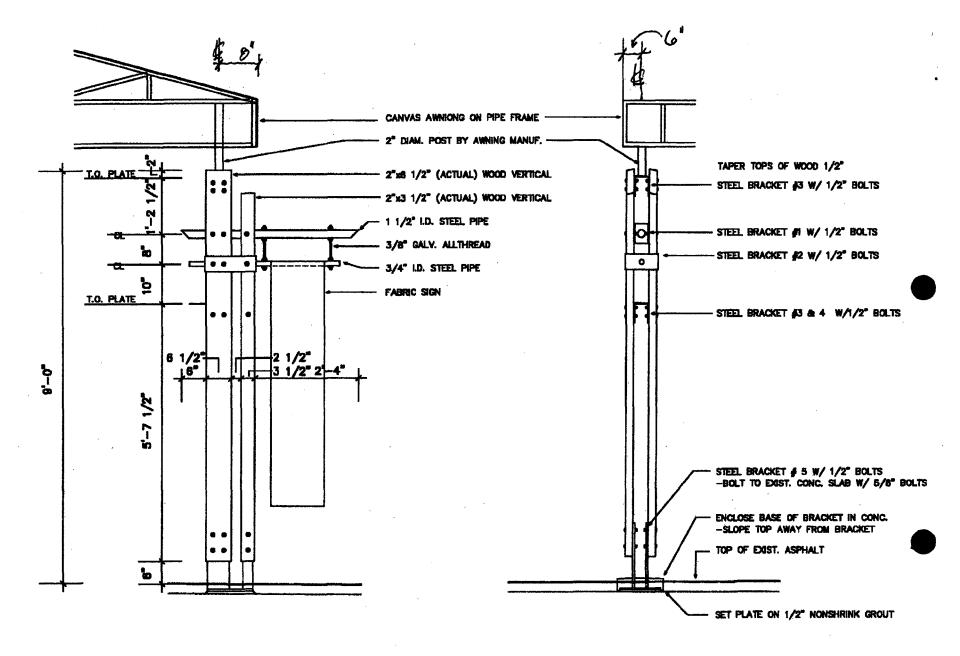




## SIDE ELEVATION @ AWNING & POST

1/4" = 1'-0"





## ELEVATIONS @ POSTS



#### TAKOMA PARK SILVER SPRING CO-OPERATIVE

201 Ethan Allen Avenue Takoma Park, Maryland

#### ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

7126 Sycamore Avenue Takoma Park, Md. 20912 7129 Sycamore Avenue Takoma Park, Md. 20912

7131 Sycamore Avenue Takoma Park, Md. 20912 7133 Sycamore Avenue Takoma Park, Md. 20910

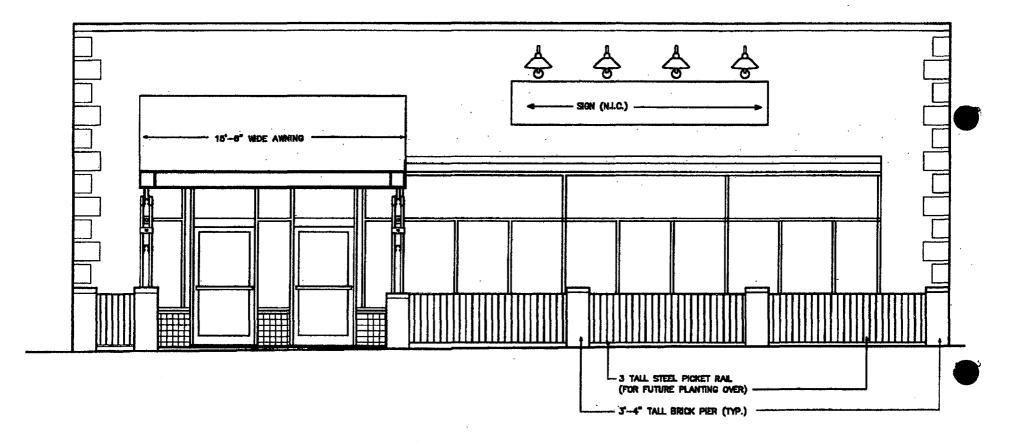
Public Pavilion
7301 Carrol Avenue
Takoma Park, Md. 20912

Vacant Lot 7215 Carrol Avenue Takoma Park, Md. 20912 (City of Takoma Park -Takoma Junction)

7302 Carrol Avenue Takoma Park, Md. 20912 7304 Carrol Avenue Takoma Park, Md. 20912

Please forward information to the City of Takoma Park:

Ms. Beverly Habada City Administrator City of Takoma Park 7500 Maple Avenue Takoma Park, Md. 20912



FRONT ELEVATION - NORTH (REVISED)

