

- 37/3-97X 201 Ethan Allen Avenue
(Takoma Park Historic District)

P

8

GENERAL NOTES

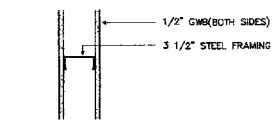
- ABIDE BY AIA DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", 1987 EDITION.
- ALL DIMENSIONS SHOWN ON FLOOR PLANS ARE FINING DIMENSIONS, UNLESS OTHERWISE NOTED.
- ACCESS PANELS SHALL BE PROVIDED AND INSTALLED AT ALL LOCATIONS REQUIRING FUTURE ACCESS (i.e. PIPING VALVES, HVAC CONTROLS, ETC.) WHETHER OR NOT INDICATED ON THE DRAWINGS (EXCEPT @ ADJUST. TILE CEIL.). NOTIFY ARCHITECT FOR LOCATION AND DETAIL APPROVAL.
- PROVIDE BLOCKING OR SUPPORTS AS REQUIRED FOR ALL MILLWORK, HANDRAILS, GRAB RAILS, AND ACCESSORIES.
- INSTALL R-13 BATT INSULATION @ FIRING @ ALL EXTERIOR WALLS.
- INSTALL 3/4" EXTERIOR GRADE PLYWOOD BEHIND ELECTRICAL AND TELEPHONE PANELS, EQUIP.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED TO BE ROT RESISTANT.
- ISOLATE DISSIMILAR METALS IN CONTACT WITH EACH OTHER.
- ALL KITCHEN EQUIPMENT AT DELI/PREPARED FOODS AREA TO BE SEALED TO FLOOR, MOUNTED ON CASTERS OR SPACED TO MEET HEALTH DEPARTMENT REGULATIONS. EQUIPMENT AND INSTALLATION TO MEET ALL HEALTH DEPT. REQUIREMENTS.
- STEEL STAIRS, LANDINGS, PLATFORMS, HANDRAILS, GUARDRAILS & ROOF STRUCTURE SHALL BE DESIGNED, ENGINEERED AND STAMPED BY THE FABRICATOR'S ENGINEER TO MEET ALL APPLICABLE DESIGN CODES AND THE FOLLOWING STANDARDS: THE MAXIMUM LATERAL DEFLECTION SHALL NOT BE MORE THAN HEIGHT/240. THE MAXIMUM VERTICAL DEFLECTION SHALL NOT BE MORE THAN SPAN/360. THE LOADING PLATFORM SHALL BE DESIGNED FOR LIVE LOAD OF 300 PSF.
- ALL KITCHEN EQUIPMENT AT DELI/PREPARED FOODS AREA TO BE SEALED TO FLOOR, MOUNTED ON CASTERS OR SPACED TO MEET HEALTH DEPARTMENT REGULATIONS. EQUIPMENT AND INSTALLATION TO MEET ALL HEALTH DEPT. REQUIREMENTS.

CODE ANALYSIS

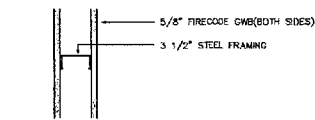
	EXISTING	PROPOSED
USE GROUP:	M	M
TYPE OF CONSTRUCTION:	3B	3B
HEIGHT/NO. OF STOREYS:	17 FT./1 1/2 STOREYS	17 FT./1 1/2 STOREYS
HIGH RISE (Y/N):	NO	NO
COVERED MALL:	NO	NO
FULLY SUPPRESSED?	NO	NO
FLOOR AREA OR AREA OF RENOVATION:	7474 SQ.FT. --TOTAL 5884 SQ.FT. --UPPER LEVEL 1490 SQ.FT. --LOWER LEVEL	7474 SQ.FT. --TOTAL 5884 SQ.FT. --UPPER LEVEL 1490 SQ.FT. --LOWER LEVEL

NOTES:

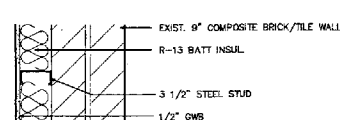
- EXTERIOR WALLS ARE EXIST. 9" COMPOSITE BRICK AND MASON. TILE. NO ASSEMBLY FIRE RATING IS AVAILABLE. FIRE SEPERATION DISTANCE AT ALL WALLS WITH OPENINGS EXCEEDS 30'.
- ROOF/CEILING ASSEMBLY: NO RATING REQUIRED.
- SMOKE ENCLOSURE AT STAIRWAY TO BE CONSTRUCTED OF 1 HR. RATED WALLS & CEILING --PARTITION TYPE #2 (SEE 1/COV)
- ENERGY LOSS/INSULATION: ADD R-13 BATT INSULATION TO CURRENTLY UNINSULATED EXTERIOR WALLS. ADD R-19 BLOWN-IN CELLULOSE ABOVE EXIST. CEILING. REMOVE EXIST. SINGLE PANE STOREFRONT GLAZING AND INSTALL INSULATED GLAZING.



TYPE 1 NON-RATED, NONBEARING PARTITION



TYPE 2 1-HR. RATED, UL DESIGN #U448 NONBEARING PARTITION

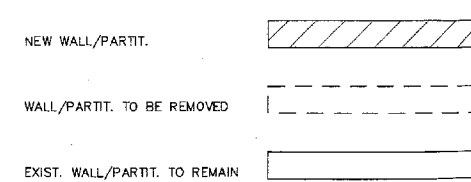


TYPE 3 EXTERIOR WALL W/ FIRING ADDED (NO RATING)

1 WALL/PARTITION TYPES

1/2" = 1'-0"

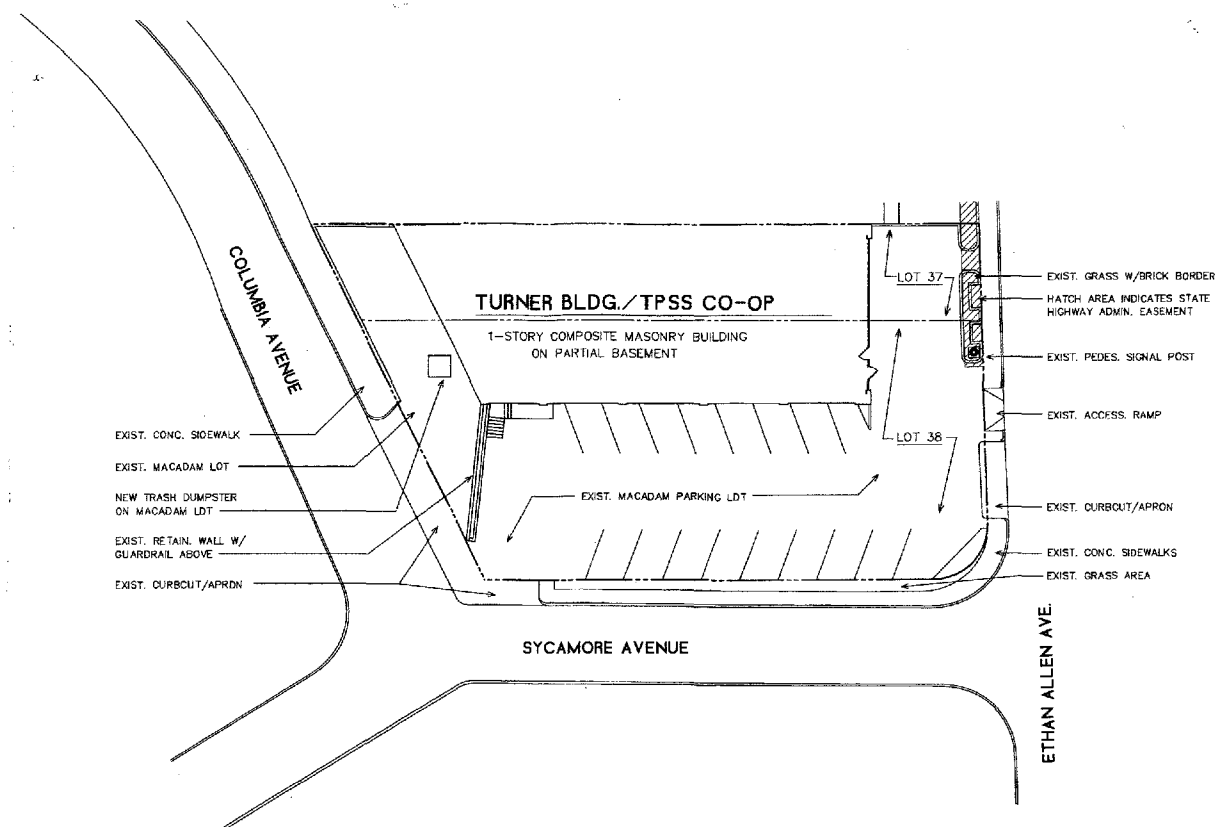
970ICOV1VI



2 WALL LEGEND

1 1/2" = 1'-0"

970ICOV1VI



3 SITE PLAN (201 ETHAN ALLEN AVE.- LOT 38 & PART LOT 37, BLOCK 19)

1" = 20'



970ICOV1VI

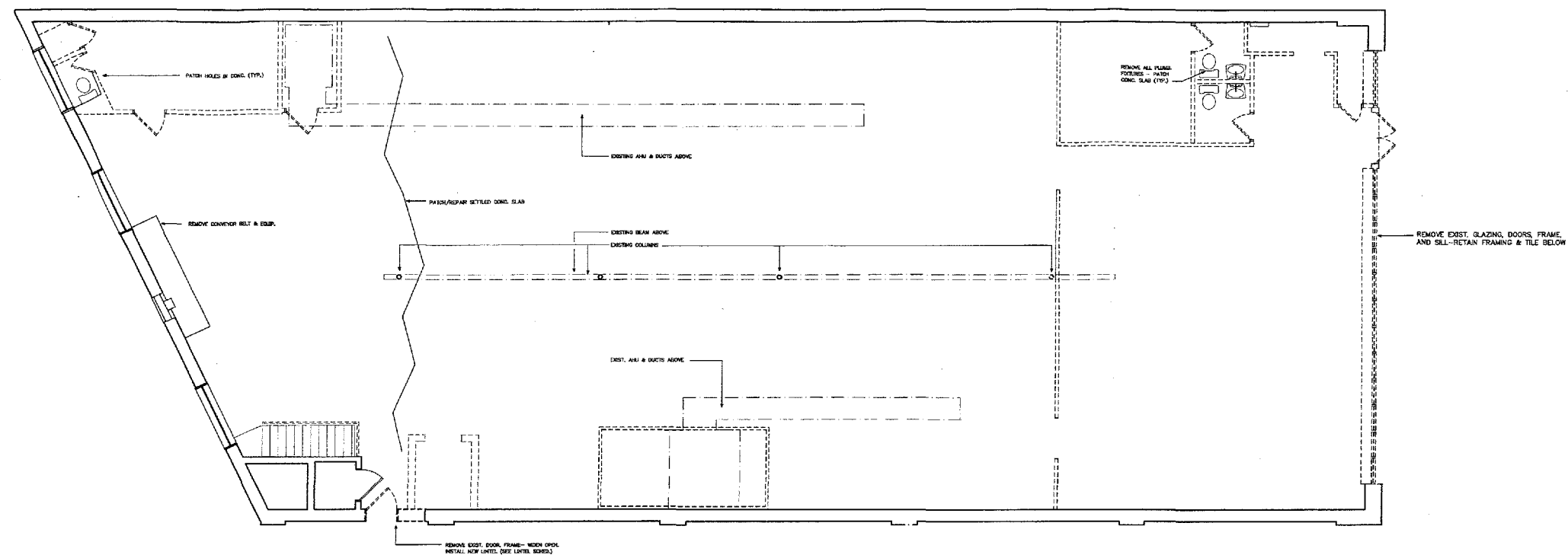
LIST OF DRAWINGS

COVER	SITE PLAN, CODE ANALYSIS, PARTITION TYPES, DRAWING LIST
A-101	EXISTING CONDITIONS/DEMOLITION PLANS
A-102	RETAIL FLOOR PLAN
A-103	LOWER LEVEL FLOOR PLAN, LOWER LEVEL REFLECT. CEIL. PLAN
A-104	RETAIL LEVEL REFLECT. CEIL. PLAN
A-201	INTERIOR ELEVATIONS -- RETAIL AREA
A-202	INTERIOR ELEVATIONS--STORAGE, LDWER LEVEL
A-301	FINISH SCHEDULE, DOOR SCHEDULE & TYPES, DETAILS
A-401	EXTERIOR ELEVATIONS
E-1	LIGHTING -- UPPER LEVEL
E-2	POWER -- UPPER LEVEL
E-3	LIGHTING/POWER -- LOWER LEVEL
E-4	SCHEDULES & RISERS
M-1	HVAC -- UPPER LEVEL
M-2	HVAC -- LOWER LEVEL
M-3	KITCHEN EXHAUST HOOD
P-1	PLUMBING

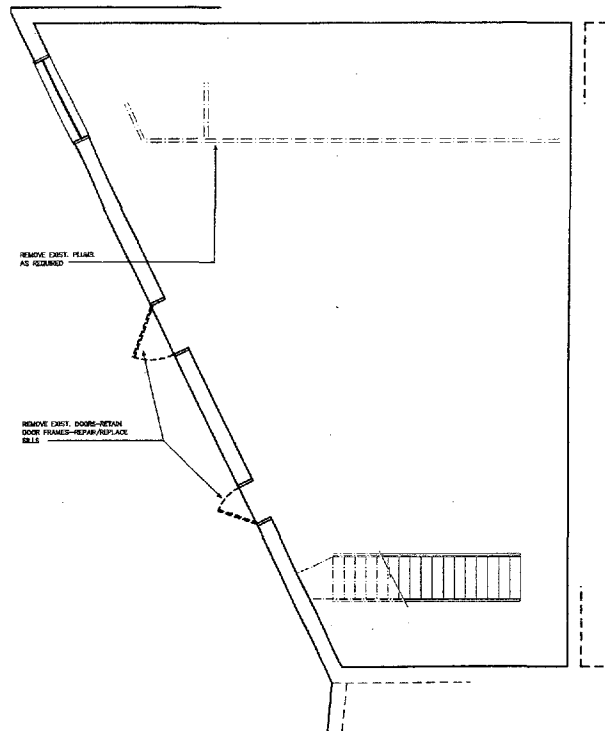
1/2 SIZE SET

KARN ARCHITECTS
 726 DARTMOUTH AVE
 SILVER SPRING, MD.
 20910 (301) 588-8409
 FAX (301) 588-5973

TAKOMA PARK SILVER SPRING CO-OP
 201 ETHAN ALLEN AVENUE
 TAKOMA PARK, MARYLAND



1 RETAIL FLOOR EXIST. CONDITIONS/DEMO PLAN
 ATO/ 1/4" = 1'-0"



2 LOWER LEVEL EXIST. CONDITIONS/DEMO PLAN
 ATO/ 1/4" = 1'-0"

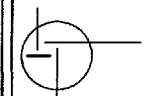

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EXISTING CONDITIONS/DEMOLITION PLANS

REVISIONS	BY

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 201 ETHAN ALLEN AVENUE TAKOMA PARK, MARYLAND

DRAWN : JRK
 CHECKED : JRK
 DATE : 4/9/97
 SCALE : AS NOTED
 JOB NO. : 94-1001
 SHEET
 1-101
 OF SHEETS



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RETAIL LEVEL FLOOR PLAN

REVISIONS	BY

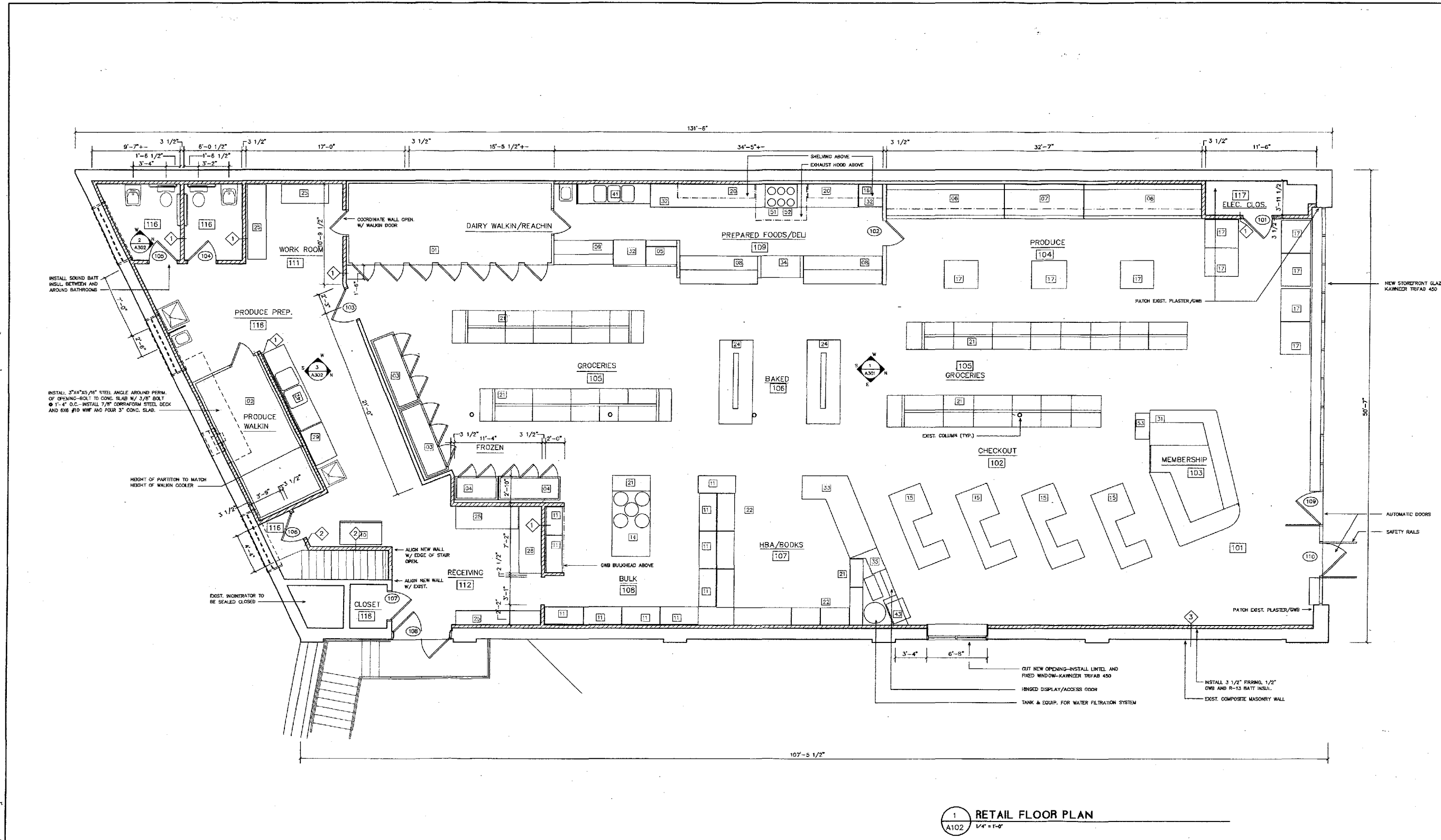
TAKOMA PARK SILVER SPRING CO-OP

201 ETHAN ALLEN AVENUE TAKOMA PARK, MARYLAND

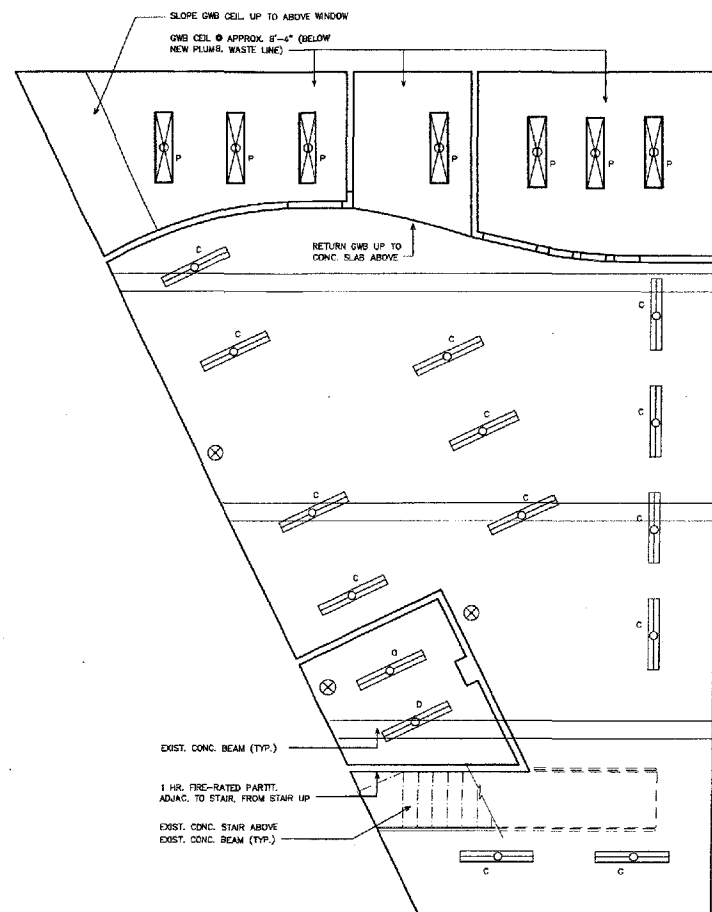
DRAWN : JRK	CHECKED : JRK
DATE : 4/1/11	
SCALE : AS NOTED	
JOB NO. : 41-1001	
SHEET	

1-102

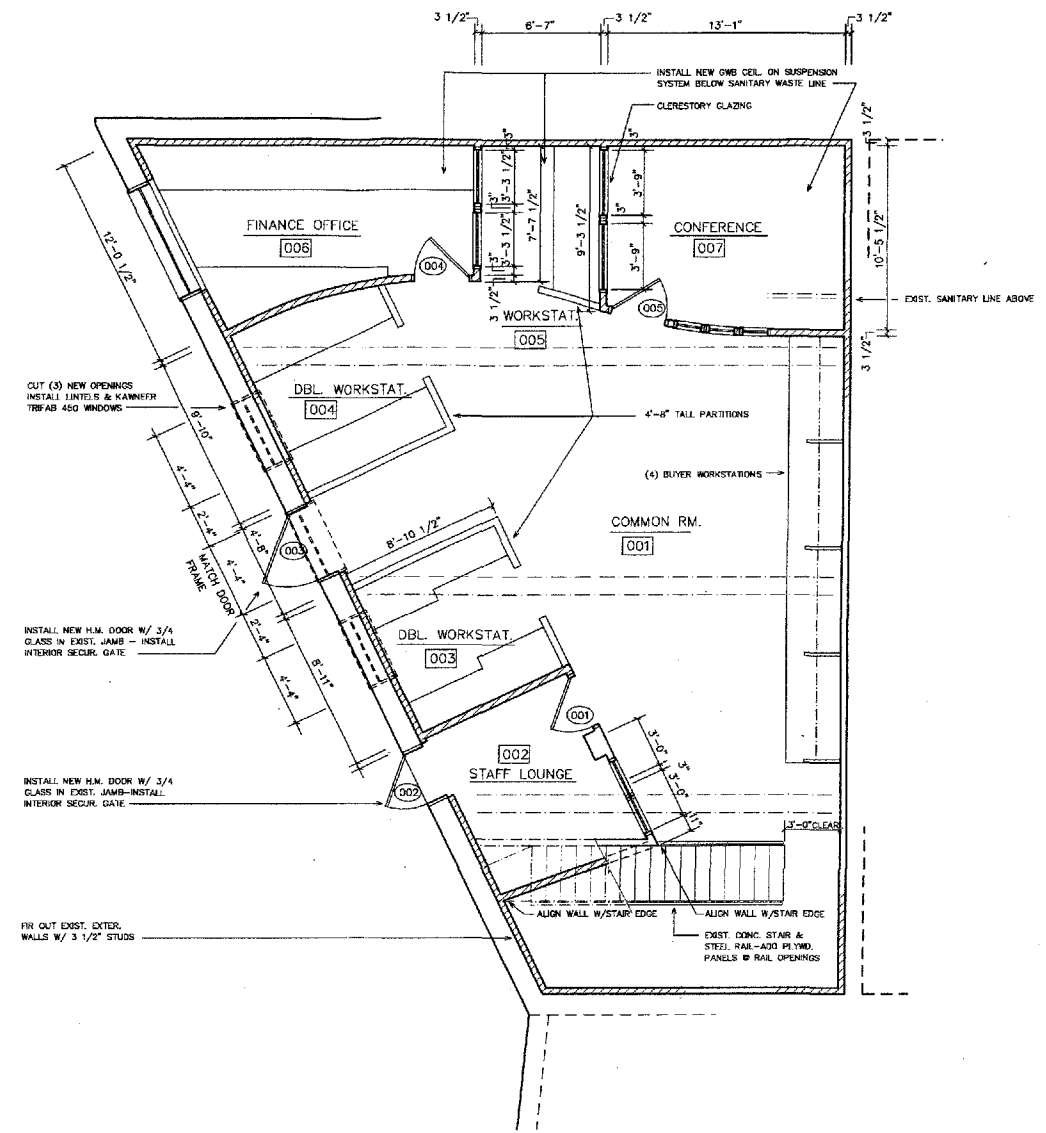
OF SHEETS



1 RETAIL FLOOR PLAN
1/4" = 1'-0"



2 LOWER LEVEL REFLECTED CEILING PLAN
A103 1/4" = 1'-0"



1 LOWER LEVEL FLOOR PLAN
A103 1/4" = 1'-0"

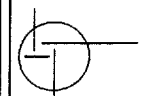
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LOWER LEVEL FLOOR PLAN
LOWER LEVEL REFLECTED
CEILING PLAN

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DRAWN : JRK	CHECKED : JRK
DATE : 4/9/91	
SCALE : AS NOTED	
JOB NO. : 9101	
SHEET	
5 - 103	
OF SHEETS	



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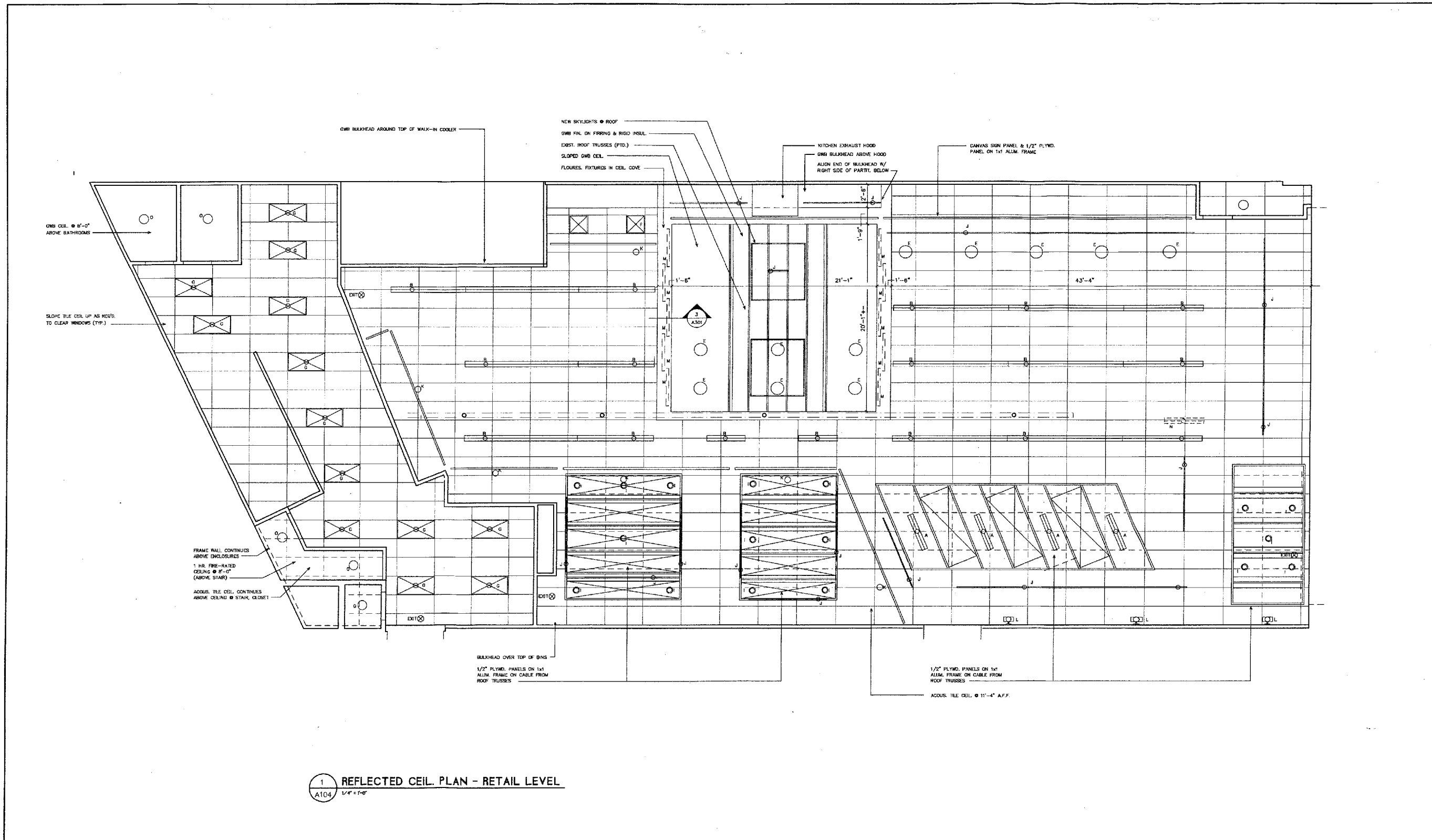
RETAIL LEVEL REFLECTED
CEILING PLAN

REVISIONS	BY

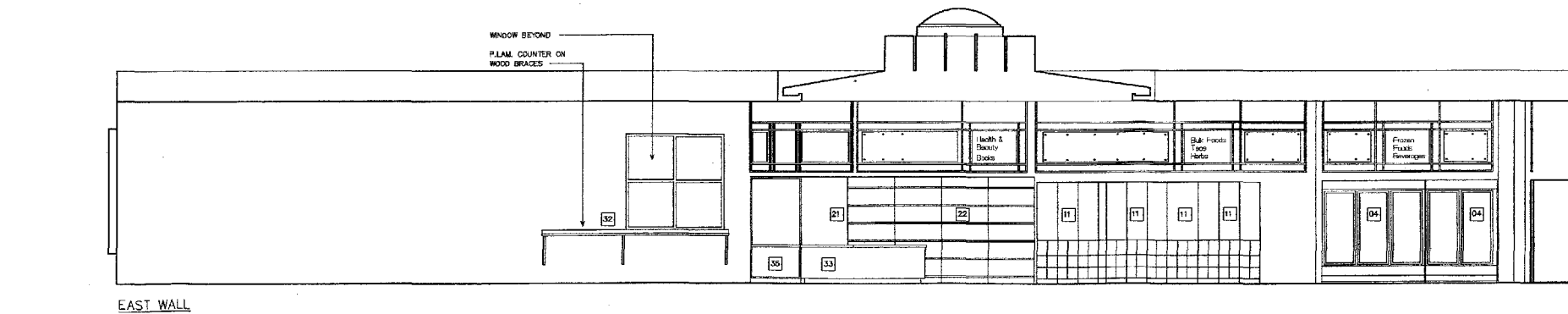
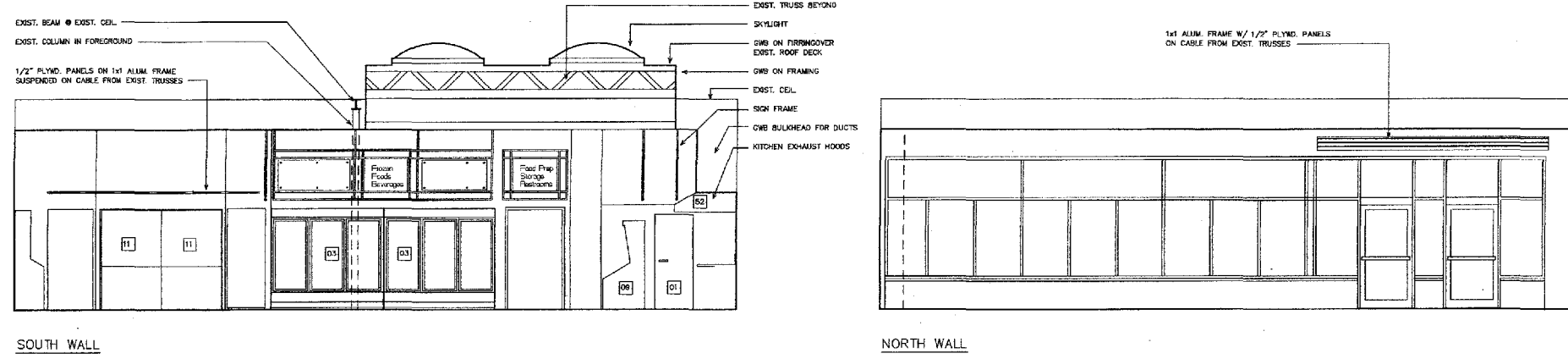
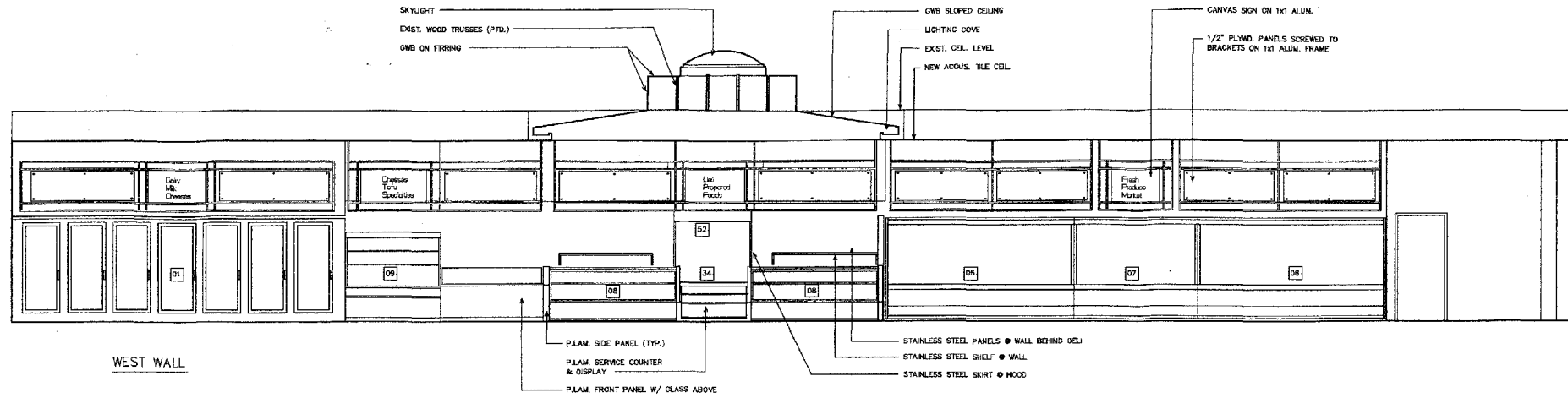
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DRAWN : JRK CHECKED : JRK
 DATE : 4/9/97
 SCALE : AS NOTED
 JOB NO. : 97-1001

SHEET
A-104
 OF SHEETS



1 REFLECTED CEIL. PLAN - RETAIL LEVEL
A104 1/4" = 1'-0"



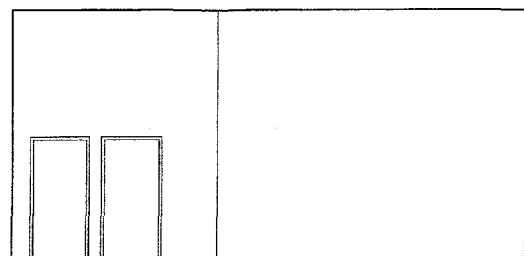
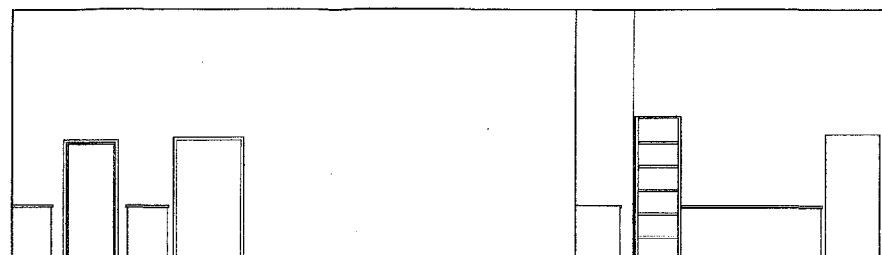
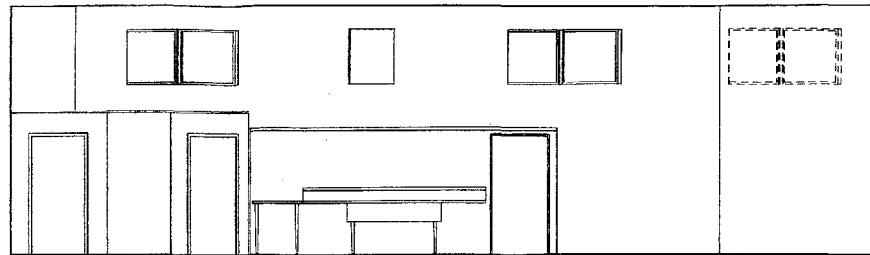
1 INTERIOR ELEVATIONS - RETAIL AREA
A301 1/4" = 1'-0"

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DRAWN : JRK CHECKED : JRK
DATE : 6/1/91
SCALE : AS NOTED
JOB NO. : 94-1001
SHEET
A-201
DF SHEETS

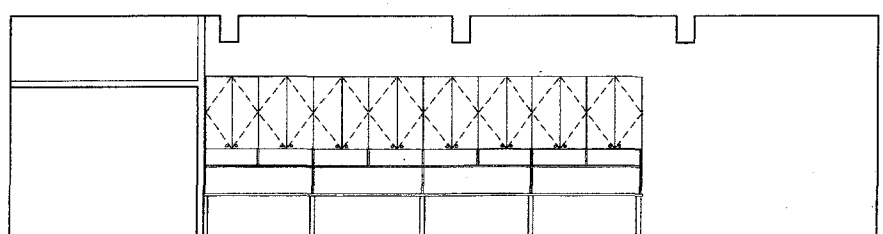


GWB CELL ON STEEL STUD FRAMING - SLOPE UP TO CLEAR WINDOW

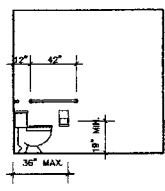
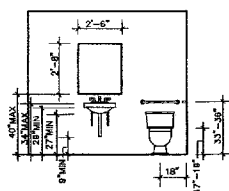
ADD PLYM. PANELS IN RAILING OPEN TO REDUCE TO 4" MAX. OPEN.

1/2" PLYM. PANELS OVER GWB (TYP.)

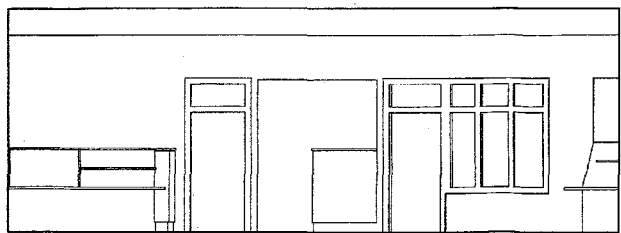
5/4 X 6 WOOD CAP #/ REVEAL (TYP.)



3 INTERIOR ELEVATIONS - STORAGE/PREP. AREA
A302 1/4" = 1'-0"



2 INTERIOR ELEVATIONS - BATHROOM
A302 1/4" = 1'-0"



1 INTERIOR ELEVATIONS - LOWER LEVEL
A302 1/4" = 1'-0"

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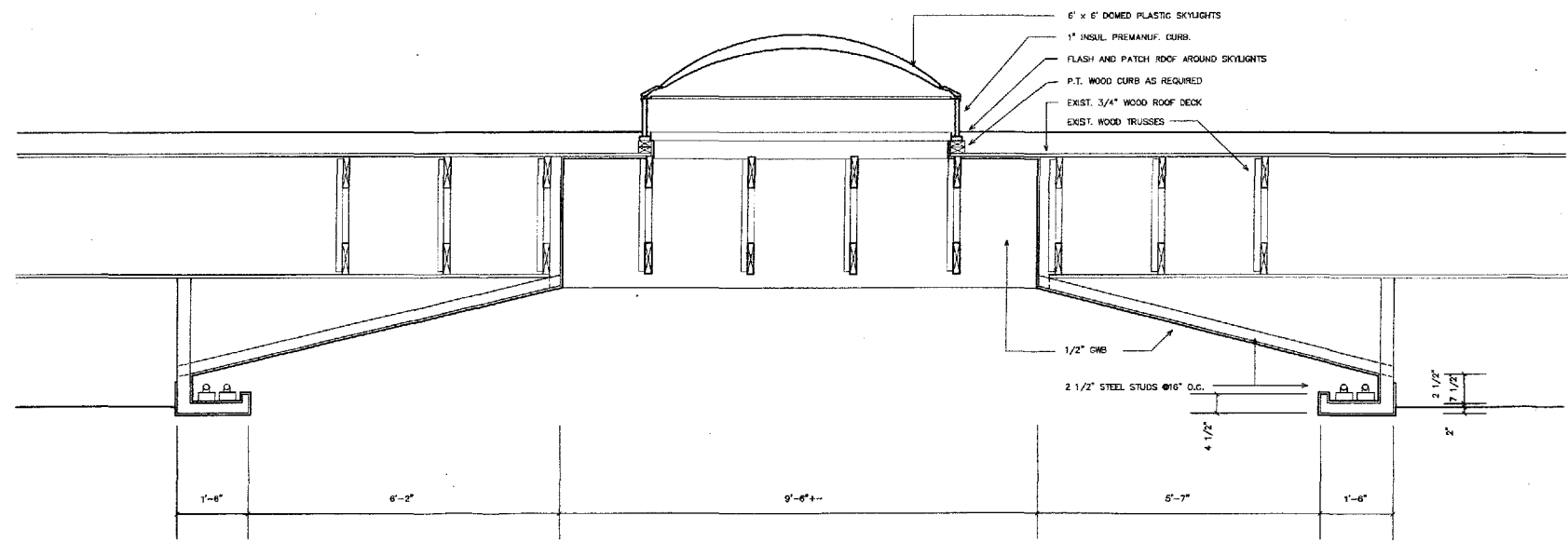
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DRAWN : JRK	CHECKED : JRK
DATE : 6/11/11	
SCALE : AS NOTED	
JOB NO. : 46-1001	
SHEET	
A - 202	
OF	SHEETS

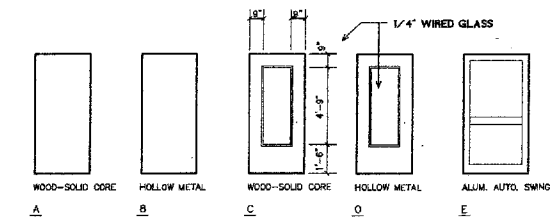
FINISH SCHEDULE											
ROOM	FLOOR	BASE	WALL	CEILING	REMARKS						
	VCT	QUARRY TILE	QUARRY TILE	GWB	FRP PANELS	STAINLESS STEEL	PAINT	ACOUSTIC TILE	GWB	CONCRETE	PAINT
001 COMMON ROOM											PAIN EXIST. CEILING
002 STAFF LOUNGE											PAIN EXIST. CEILING
003 WORKSTATION											PAIN EXIST. CEILING
004 WORKSTATION											PAIN EXIST. CEILING
005 FINANCE OFFICE											PAIN EXIST. CEILING
007 CONFERENCE											PAIN EXIST. CEILING
101 ENTRY											W/ SUSPENDED ALUM./PLYD. PANEL
102 CHECKOUT											W/ SUSPENDED ALUM./PLYD. PANEL
103 MEMBERSHIP											
104 PRODUCE											
105 GROCERIES											
106 BAKED GOODS											GWB SKYLIGHT RECESS
107 HBA/BOOKS											W/ SUSPENDED ALUM./PLYD. PANEL
108 BULK GOODS											W/ SUSPENDED ALUM./PLYD. PANEL
109 PREP. FOODS/DELI											VINY. COVERED TILE @ CEIL./GWB BULKHEAD/RECESS
110 PRODUCE PREP.											FRP PANELS AT GWB WALL BEHIND SINK
111 STORAGE											
112 RECEIVING											
113 BATHROOM #1											
114 BATHROOM #2											EXIST. CONC. FIN. @ STAIR
115 STAIRWAY											
116 CLOSET											EXIST. CEIL./FLOOR, WALL FIN. TO REMAIN-REPAINT
117 ELEC. CLOSET											

DOOR SCHEDULE											
MARK	TYPE	DESCRIPTION				DETAILS				REMARKS	
		WID.	HGT.	THK.	HDWR.	HEAD	JAMB	THRESH.	FR.		
001	C	3'-0"	6'-8"	1 3/4"	SET #2					3	NO RAT.
002	D	3'-0"	6'-8"	1 3/4"	SET #5			ALUM./ADA	EXIST		NO RAT.
003	D	4'-0"	6'-8"	1 3/4"	SET #6			ALUM./ADA	EXIST		NO RAT.
004	C	3'-0"	6'-8"	1 3/4"	SET #7					3	NO RAT.
005	C	3'-0"	6'-8"	1 3/4"	SET #3					3	NO RAT.
101	A	3'-0"	6'-8"	1 3/4"	SET #1					1	NO RAT.
102		3'-0"	3'-0"	1 1/2"	SET #9						NO RAT. PLAS. LAM. DATE
103	C	3'-8"	6'-8"	1 3/4"	SET #2					1	NO RAT.
104	A	3'-0"	6'-8"	1 3/4"	SET #10					1	NO RAT. UNDERCUT DOOR 3/4"
105	A	3'-0"	6'-8"	1 3/4"	SET #10					1	NO RAT. UNDERCUT DOOR 3/4"
106	C	3'-0"	6'-8"	1 3/4"	SET #4					1	1/3 HR
107	A	2'-8"	6'-8"	1 3/4"	SET #8					EXIST	NO RAT.
108	A	(2)3'-0"	6'-8"	1 3/4"	SET #6			ALUM./ADA	2		NO RAT. WIDEN EXIST. OPEN.-INSTALL SPRT-SWING FRAME
109	E	3'-6"	7'-0"	1 3/4"	SET #11			ALUM./ADA	4		NO RAT. UNDERCUT DOOR 3/4"
110	E	3'-8"	7'-0"	1 3/4"	SET #11			ALUM./ADA	4		NO RAT. UNDERCUT DOOR 3/4"

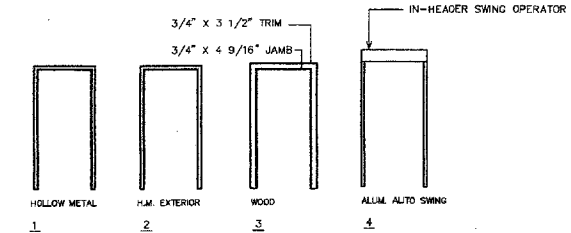
LINTEL SCHEDULE		
OPENING	OPENING WIDTH	LINTEL
WINDOW 'A'	4'-4" ±	(2) L4" X 3 1/2" X 5/16"
WINDOW 'B'	4'-4" ±	(2) L4" X 3 1/2" X 5/16"
WINDOW 'C'	6'-8"	(2) L8" X 3 1/2" X 5/16"
DOOR #108	6'-4"	(2) L8" X 3 1/2" X 5/16"
MISC.	UP TO 4'-0"	(2) L4" X 3 1/2" X 1/4"



3 FRAME TYPES
A301 1/4" = 1'-0"



2 DOOR TYPES
A301 1/4" = 1'-0"



1 FRAME TYPES
A301 1/4" = 1'-0"

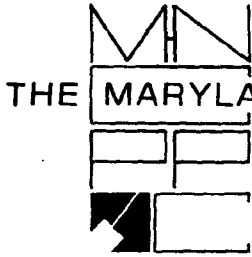
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FAX (301) 588-5973

REVISIONS

NO.	DATE	BY

TAKOMA PARK SILVER SPRING CO-OP
201 ETHAN ALLEN AVENUE TAKOMA PARK, MARYLAND

DRAWN : JRK	CHECKED : JRK
DATE : 4/9/91	SCALE : AS NOTED
JOB NO. : 91-1001	SHEET 5 - 3 - 8 - 1
OF	SHEETS



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 7.9.97

MEMORANDUM

TO: Robert Hubbard, Acting Director
Department of Permitting Services

FROM: Gwen Wright, Historic Preservation Coordinator
Montgomery County Department of Park and Planning

SUBJECT: Historic Area Work Permit

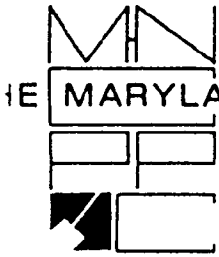
The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied
 Approved with Conditions: _____

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Robert & Dorothy Turner
Address: 201 Ellen Allen Ave Takoma Park

THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING THE DEPARTMENT OF PERMITTING SERVICES AT 217-6240 FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 7-9-97

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division *GM*
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

TAKOMA PARK SILVER SPRING CO-OPERATIVE
201 Ethan Allen Avenue Takoma Park, Maryland

DESCRIPTION OF WORK @ EXTERIOR OF BUILDING

The existing building was constructed as a Safeway grocery store in 1941. The store was bought by the current owner in 1967 and converted to an electric motor repair business. TPSS Co-op is proposing to renovate the interior of the existing building and convert it back to a grocery store. The building is typical of basic commercial structures of the time, with an undecorated brick and terra cotta tile exterior, a flat roof with parapet walls, and a plain aluminum storefront. It is located in the Takoma Park Historic District, but listed as non-contributing.

The exterior renovation work will be limited to the addition of an exterior egress stair, landing, and loading dock, redesign and replacement of the storefront framing and glazing, addition of four windows, addition and replacement of light fixtures and signs, and repairs to masonry, equipment, etc.. New HVAC and refrigeration equipment, and two new skylights will be placed on the roof, but will be far enough from the building edge so as to be hidden from view from the street.

The loading dock and egress stair and the roof above them are to be constructed of steel framing and diamond steel deck. The roof finish is to be corrugated galvanized steel. This type of industrial finish is appropriate to the existing structure and the time in which it was built.

The existing storefront is a combination of original and more recent aluminum framing and single glazing. In recent years the original framing was supplemented by additional vertical members to stiffen the system and allow for smaller panes of glass. We propose to remove the existing framing and glazing and replace it with a new insulated glazing system with a finished aluminum frame that will have a similar pattern to the existing. We will install two automatic doors in the storefront at a location convenient to the onsite parking. In addition we propose to install one new window at the east side of the building and three new windows at the south (rear) of the building will be fixed insulated glazing in aluminum frames. Two new steel and glass doors will be installed in existing frames at the rear of the building.

We will be replacing a few "gooseneck incandescent" light fixtures on the east side of the building, and adding three new similar fixtures at the east side and five at the (north) front side. We will also be removing a few pieces of obsolete equipment, vents, etc. from the exterior of the building, replacing downspouts, and repairing damaged masonry work.

There are ongoing discussions with the City of Takoma Park regarding the possibility of relocating the loading dock to the west side of the building on city owned property. If this option does move forward we will submit an application for a second or revised Historic Area Work Permit. We are also hoping to move forward with a second phase of work at the exterior if our finances allow. This would include a canopy, new sidewalk paving, and new low brick garden walls and planting at the front of the building. Our design decisions on this are being delayed until we know the full costs of the possible loading dock on the west side of the building. We hope to submit the documents and application for this work together with or in lieu of the application for the loading dock.

APPROVED
Montgomery County
Historic Preservation Commission

7/9/97



RETURN TO: Department of Environmental Protection
 Division of Development Services and Regulation
 250 Hungerford Drive, Rockville, Maryland 20850
 (301) 217-6370

Historic Preservation Commission
 (301) 495-4570

**APPLICATION FOR
 HISTORIC AREA WORK PERMIT**

CONTACT PERSON JAMIE R. KARN, AIA
 DAYTIME TELEPHONE NO. (301) 588-6409
 TAX ACCOUNT # _____
 NAME OF PROPERTY OWNER ROBERT & DOROTHY TURNER DAYTIME TELEPHONE NO. (301) 270-6800
 ADDRESS 10224 LESLIE STREET SILVER SPRING, MD. 20902
CITY STATE ZIP CODE
 CONTRACTOR OPUS 3 INC. TELEPHONE NO. (301) 608-9700
 CONTRACTOR REGISTRATION NUMBER #0492721
 AGENT FOR OWNER JAMIE R. KARN, AIA DAYTIME TELEPHONE NO. (301)

LOCATION OF BUILDING/PREMISE
 HOUSE NUMBER 201 STREET ETHAN ALLEN AVENUE
 TOWN/CITY TAKOMA PARK NEAREST CROSS STREET SYCAMORE AVENUE
 LOT 37 BLOCK 19 SUBDIVISION B.F. GILBERT'S ADDITION
 LIBER _____ FOLIO _____ PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other COMMERCIAL RENOVATION

1B. CONSTRUCTION COST ESTIMATE \$ 150,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.
Jamie R. Karn 6-13-97
 Signature of owner or authorized agent Date

APPROVED For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature _____ Date 7-9-97
 APPLICATION/PERMIT NO: 9706130064 DATE FILED: 6-13-97 DATE ISSUED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

TAKOMA PARK SILVER SPRING CO-OPERATIVE
201 Ethan Allen Avenue Takoma Park, Maryland

ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

7126 Sycamore Avenue
Takoma Park, Md. 20912

7129 Sycamore Avenue
Takoma Park, Md. 20912

7131 Sycamore Avenue
Takoma Park, Md. 20912

7133 Sycamore Avenue
Takoma Park, Md. 20910

Public Pavilion
7301 Carrol Avenue
Takoma Park, Md. 20912

Vacant Lot
7215 Carrol Avenue
Takoma Park, Md. 20912
(City of Takoma Park - Takoma Junction)

7302 Carrol Avenue
Takoma Park, Md. 20912

7304 Carrol Avenue
Takoma Park, Md. 20912

Please forward information to the City of Takoma Park:

Ms. Beverly Habada
City Administrator
City of Takoma Park
7500 Maple Avenue
Takoma Park, Md. 20912

TAKOMA PARK SILVER SPRING CO-OPERATIVE
201 Ethan Allen Avenue Takoma Park, Maryland

MATERIAL SPECIFICATIONS - EXTERIOR WORK

Masonry: Masonry work will be limited to cutting, patching and repairing of existing brick and terra cotta tile. The brick and mortar used for this work will match the existing materials.

Steel: The loading dock and egress stair at the east side of the building are to be constructed of steel channels, 2" and 1" square tubes and diamond plate steel decking. The steel will be painted black.

Gutters and downspouts: New downspouts will be of copper.

Windows and Doors: The storefront glazing and new windows will be Kawneer "Trifab 450" system. The finish will be dark bronze. The new doors and existing frames at the rear of the building will be painted to match the aluminum windows.

Signs: Signs have not yet been designed and will be installed under a later permit.

Light Fixtures: Primelite Manufacturing Corp. #20-850 Gooseneck Incandescent

HVAC Equipment: All new HVAC equipment will be set back far enough from the building edge to be hidden from view from the street. The equipment will be painted to match the brick.

APPROVED
Montgomery County
Historic Preservation Commission
 7/9/97

All fixtures are constructed of aluminum and are made for outdoor use.

Promelite MANUFACTURING CORP.
407 South Main Street, Freeport, N.Y. 11520
Tel: (516) 868-4411 • Fax: (516) 868-1609

APPROVED
Montgomery County
Historic Preservation Commission

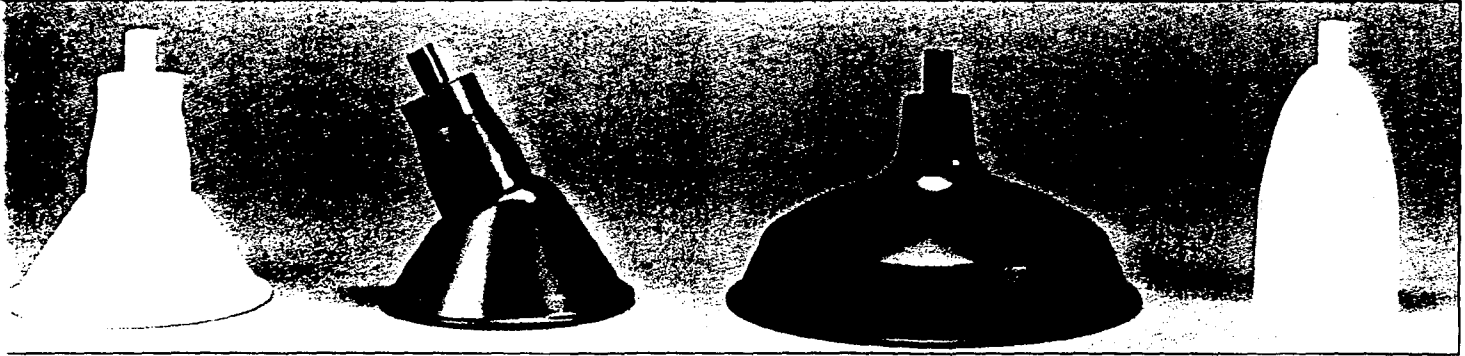
Approved 7/9/97

Cat. # 21-12
9 1/2" Dia., 11" Ht.
For 1/2 Inch IPS Pipe
Cat. #21 - 4 Ft. Cord Suspension
1/200

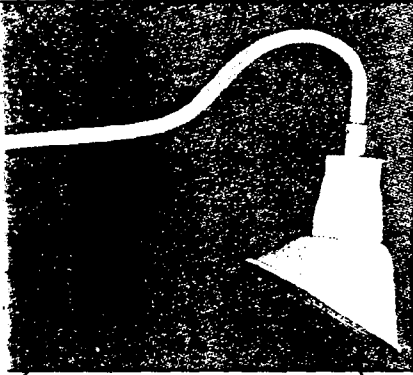
Cat. # 20-12
9 1/2" Dia., 12 1/4" Ht.
1/200

Cat. # 23-12
15 1/4" Dia., 9 1/2" Ht. - 1/200
Cat. # 23/19-12
19" Dia., 11" Ht.

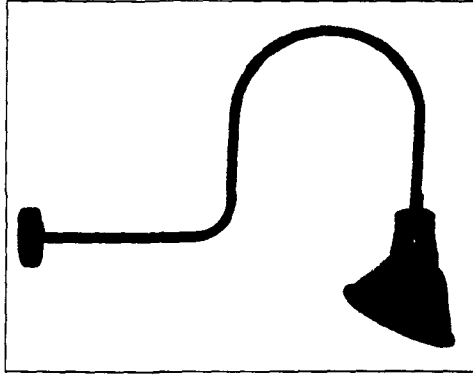
Cat. # 38-12
5 1/4" Dia., 10 1/2" Ht.
1/200



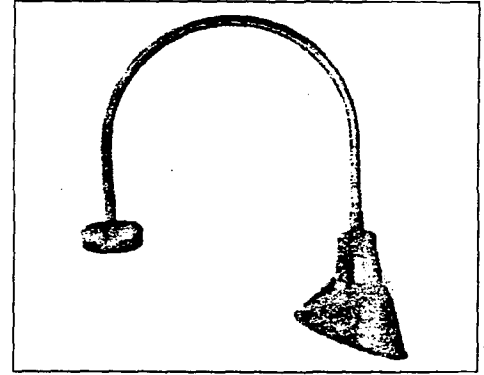
All fixtures above come with 1/2 IPS female thread and terminal sockets.
Heads can be interchanged with arms below and with arms on Page 27A. Arms available as shown or in custom lengths.



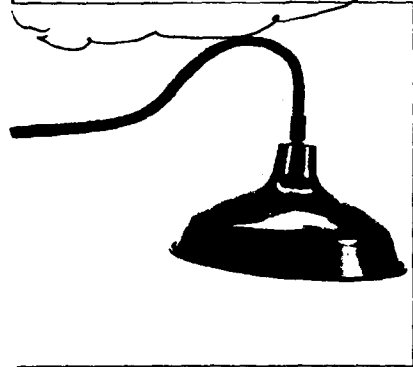
Cat. # 20-850
9 1/2" Dia., 18 1/2" Ht., 26" Ext.
Chrome, PB, Painted Colors - 1/200



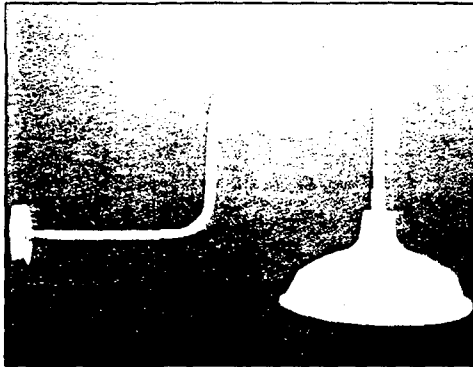
Cat. # 20-851
9 1/2" Dia., 24" Ht., 31" Ext.
Chrome, PB, Painted Colors - 1/200



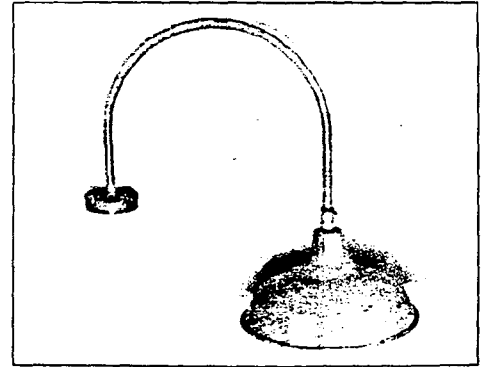
Cat. # 20-852
9 1/2" Dia., 27" Ht., 27" Ext.
Chrome, PB, Painted Colors - 1/200



Cat. # 23/16-850
3 1/4" Dia., 15" Ht., 30 1/2" Ext. - 1/200
Cat. # 23/19-850
9" Dia., 15 1/2" Ht., 32" Ext. - 1/300
Chrome, PB, Painted Colors

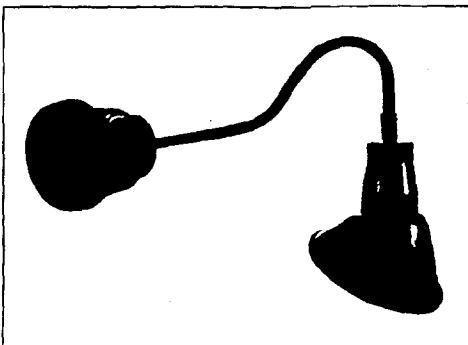
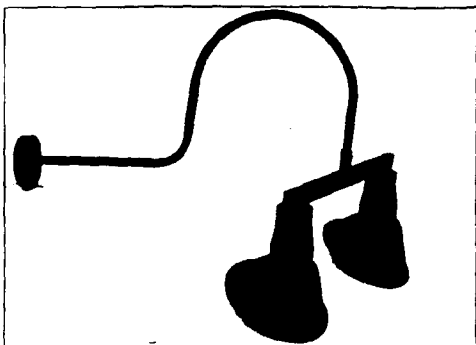


Cat. # 23/16-851
15 1/4" Dia., 23" Ht., 38" Ext. - 1/200
Cat. # 23/19-851
19" Dia., 24 1/2" Ht., 40 1/2" Ext. - 1/300
Chrome, PB, Painted Colors



Cat. # 23/16-852
15 1/4" Dia., 24" Ht., 29" Ext. - 1/200
Cat. # 23/19-852
19" Dia., 25 1/2" Ht., 31" Ext. - 1/300
Chrome, PB, Painted Colors

Cat. # 202-851
Dia., 26" Ht.,
32" Ext.
Chrome,
PB,
Painted Colors
2/200



High Pressure Sodium		Metal Halide
Watts	Cat. #	Cat. #
35	20-850-35HPS	
50	20-850-35HPS	20-850-50MH
70	20-850-70HPS	20-850-70MH
100	20-850-100HPS	20-850-100MH
150	20-850-150HPS	
175	20-850-175HPS	20-850-175MH

9 1/2" Dia., 18" Ht., 31 1/2" Ext.

All fixtures are constructed of aluminum and are made for outdoor use.

Primalite MANUFACTURING CORP.
407 South Main Street, Freeport, N.Y. 11520
Tel: (516) 868-4411 • Fax: (516) 868-1609

APPROVED
Montgomery County
Historic Preservation Commission

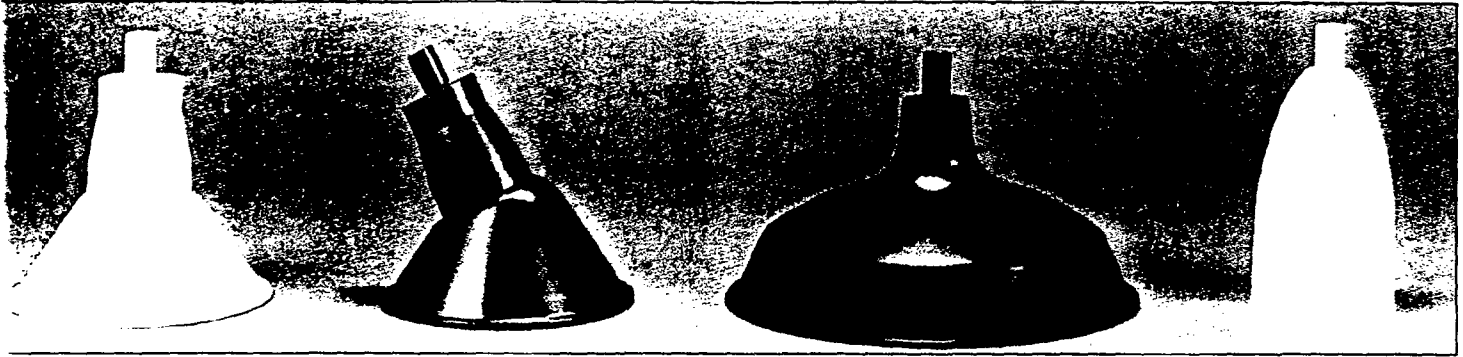
Approved 7/9/97

Cat. # 21-12
9 1/2" Dia., 11" Ht.
For 1/2 Inch IPS Pipe
Cat #21 - 1 Ft. Cord Suspension
1/200

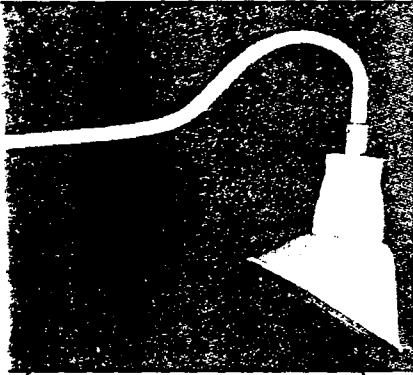
Cat. # 20-12
9 1/2" Dia., 12 1/4" Ht.
1/200

Cat. # 23-12
15 1/4" Dia., 9 1/2" Ht. - 1/200
Cat. # 23/19-12
19" Dia., 11" Ht.

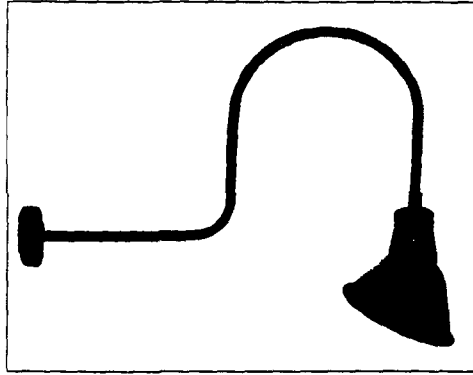
Cat. # 38-12
5 1/4" Dia., 10 1/2" Ht.
1/200



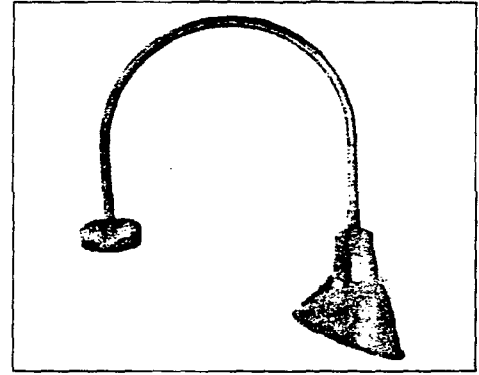
All fixtures above come with 1/2 IPS female thread and terminal sockets.
Heads can be interchanged with arms below and with arms on Page 27A. Arms available as shown or in custom lengths.



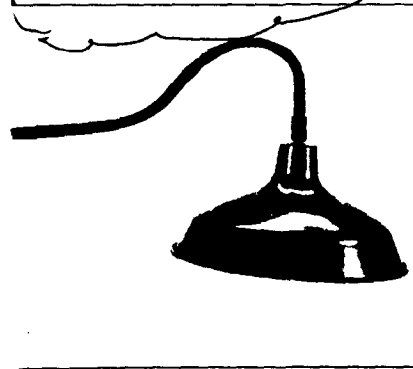
Cat. # 20-850
9 1/2" Dia., 18 1/2" Ht., 26" Ext.
Chrome, PB, Painted Colors - 1/200



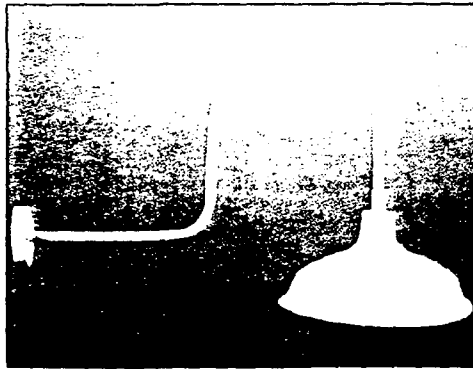
Cat. # 20-851
9 1/2" Dia., 24" Ht., 34" Ext.
Chrome, PB, Painted Colors - 1/200



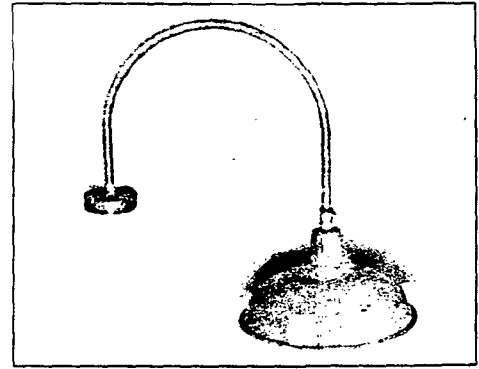
Cat. # 20-852
9 1/2" Dia., 27" Ht., 25" Ext.
Chrome, PB, Painted Colors - 1/200



Cat. # 23/16-850
9 1/2" Dia., 15" Ht., 30 1/2" Ext. - 1/200
Cat. # 23/19-850
9" Dia., 15 1/2" Ht., 32" Ext. - 1/300
Chrome, PB, Painted Colors

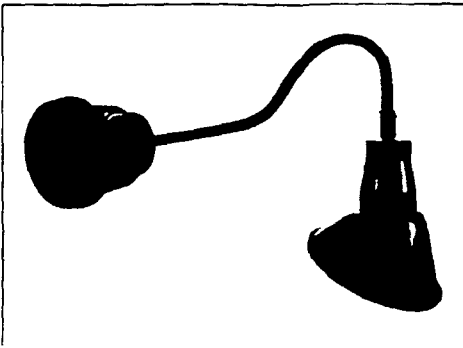
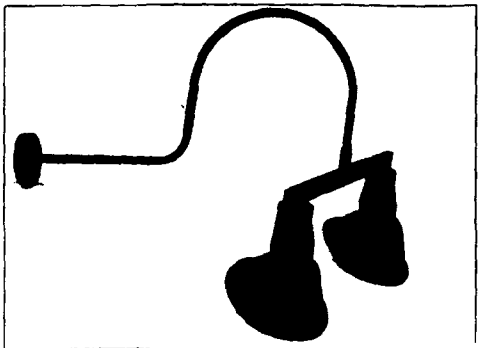


Cat. # 23/16-851
15 1/4" Dia., 23" Ht., 38" Ext. - 1/200
Cat. # 23/19-851
19" Dia., 24 1/2" Ht., 40 1/2" Ext. - 1/300
Chrome, PB, Painted Colors



Cat. # 23/16-852
15 1/4" Dia., 24" Ht., 29" Ext. - 1/200
Cat. # 23/19-852
19" Dia., 25 1/2" Ht., 31" Ext. - 1/300
Chrome, PB, Painted Colors

Cat. # 202-851
Dia., 26" Ht.,
32" Ext.
Chrome,
PB,
Painted Colors
2/200



High Pressure Sodium		Metal Halide
Watts	Cat. #	Cat. #
35	20-850-35HPS	20-850-50MH
50	20-850-35HPS	20-850-70MH
70	20-850-70HPS	20-850-100MH
100	20-850-100HPS	20-850-100MH
150	20-850-150HPS	
175	20-850-175HPS	20-850-175MH

9 1/2" Dia., 18" Ht., 31 1/2" Ext.

GENERAL NOTES

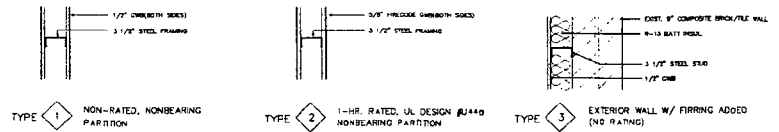
1. ABIDE BY AIA DOCUMENT A301 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", 1987 EDITION.
2. ALL DIMENSIONS SHOWN ON FLOOR PLANS ARE FINISH DIMENSIONS, UNLESS OTHERWISE NOTED.
3. ACCESS PANELS SHALL BE PROVIDED AND INSTALLED AT ALL LOCATIONS REQUIRING FUTURE ACCESS TO PIPING, VALVES, HVAC CONTROLS, ETC.) WHETHER OR NOT INDICATED ON THE DRAWINGS (EXCEPT # ACCESS TO TILE CEIL.). NOTIFY ARCHITECT FOR LOCATION AND DETAIL APPROVAL.
4. PROVIDE BLOODING OR SUPPORTS AS REQUIRED FOR ALL WALLWORK, HANDRAILS, GRAB BARS, AND ACCESSORIES.
5. INSTALL R-13 BATT INSULATION @ FIRING @ ALL EXTERIOR WALLS.
6. INSTALL 3/4" EXTERIOR GRADE PLYWOOD BOUND ELECTRICAL AND TELEPHONE PANELS, EQUIP.
7. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESURE TREATED TO BE ROT RESISTANT.
8. ISOLATE DISSIMILAR METALS IN CONTACT WITH EACH OTHER.
9. ALL KITCHEN EQUIPMENT AT SELF-PREPARED FOODS AREA TO BE SEALED TO FLOOR, MOUNTED ON CASTERS OR SPACED TO MEET HEALTH DEPARTMENT REGULATIONS. EQUIPMENT AND INSTALLATION TO MEET ALL HEALTH DEPT. REQUIREMENTS.
10. STEEL STAIRS, LANDING, PLATFORM, HANDRAILS, GUARDRAILS & ROOF STRUCTURE SHALL BE DESIGNED, ENGINEERED AND STAMPED BY THE FABRICATOR'S ENGINEER TO MEET ALL APPLICABLE DESIGN CODES AND THE FOLLOWING STANDARDS: THE MAXIMUM LATERAL DEFLECTION SHALL NOT BE MORE THAN HEIGHT/240. THE MAXIMUM VERTICAL DEFLECTION SHALL NOT BE MORE THAN SPAN/200. THE LOADING PLATFORM SHALL BE DESIGNED FOR LIVE LOAD OF 300 PSF.
11. ALL KITCHEN EQUIPMENT AT SELF-PREPARED FOODS AREA TO BE SEALED TO FLOOR, MOUNTED ON CASTERS OR SPACED TO MEET HEALTH DEPARTMENT REGULATIONS. EQUIPMENT AND INSTALLATION TO MEET ALL HEALTH DEPT. REQUIREMENTS.

CODE ANALYSIS

	EXISTING	PROPOSED
USE GROUP:	M	M
TYPE OF CONSTRUCTION:	3B	3B
HEIGHT/NO. OF STOREYS:	17 FT./1 1/2 STOREYS	17 FT./1 1/2 STOREYS
HIGH RISE (Y/N):	NO	NO
COVERED WALK:	NO	NO
FULLY SUPPRESSED:	NO	NO
FLOOR AREA OR AREA OF RENOVATION:	7474 SQ.FT. - TOTAL 5984 SQ.FT. - UPPER LEVEL 1490 SQ.FT. - LOWER LEVEL	7474 SQ.FT. - TOTAL 5984 SQ.FT. - UPPER LEVEL 1490 SQ.FT. - LOWER LEVEL

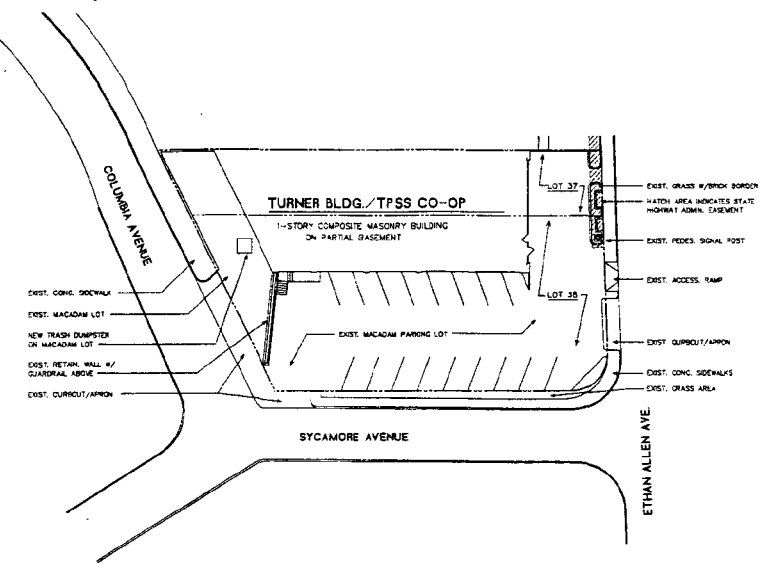
NOTES

1. EXTERIOR WALLS ARE 6" COMP. BRICK AND MASON TILE. NO ASSEMBLY FIRE RATING IS AVAILABLE. (FIRE SEPARATION DISTANCE AT ALL WALLS WITH OPENINGS EXCEEDS 30').
2. ROOF/CEILING ASSEMBLY: NO RATING REQUIRED.
3. SMOKE ENCLOSURE AT STAIRWAY TO BE CONSTRUCTED OF 1 HR. RATED WALLS & CEILING - PARTITION TYPE 2D (SEE 1/20'D).
4. ENERGY LOSS/MITIGATION: ADD R-13 BATT INSULATION TO CURRENTLY UNINSULATED EXTERIOR WALLS. ADD R-19 BLOW-IN CELLULOSE ABOVE EXIST. CEILING. REMOVE EXIST. SINGLE FRAME STOREFRONT GLAZING AND INSTALL INSULATED GLAZING.



WALL/PARTITION TYPES
1 1/2" x 1'-0"

BTG/COV/VI



SITE PLAN (201 ETHAN ALLEN AVE. - LOT 38 & PART LOT 37, BLOCK 19)
1 COV F = 20'

BTG/COV/VI

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 7/9/07

LIST OF DRAWINGS

COVER	SITE PLAN, CODE ANALYSIS, PARTITION TYPES, DRAWING LIST
A-101	EXISTING CONDITIONS/DEMOLITION PLANS
A-102	RETAL FLOOR PLAN
A-103	LOWER LEVEL FLOOR PLAN, LOWER LEVEL REFLECT. CEIL. PLAN
A-104	RETAL LEVEL, REFLECT. CEIL. PLAN
A-201	INTERIOR ELEVATIONS - RETAL AREA
A-202	INTERIOR ELEVATIONS - STORAGE, LOWER LEVEL
A-301	FINISH SCHEDULE, DOOR SCHEDULE & TYPES, DETAILS
A-401	BRICKWORK, SLAB VENTILATION
E-1	LIGHTING - UPPER LEVEL
E-2	POWER - UPPER LEVEL
E-3	LIGHTING/POWER - LOWER LEVEL
E-4	SCHEDULES & RISERS
M-1	HVAC - UPPER LEVEL
M-2	HVAC - LOWER LEVEL
M-3	KITCHEN EXHAUST HOOD
P-1	PLUMBING

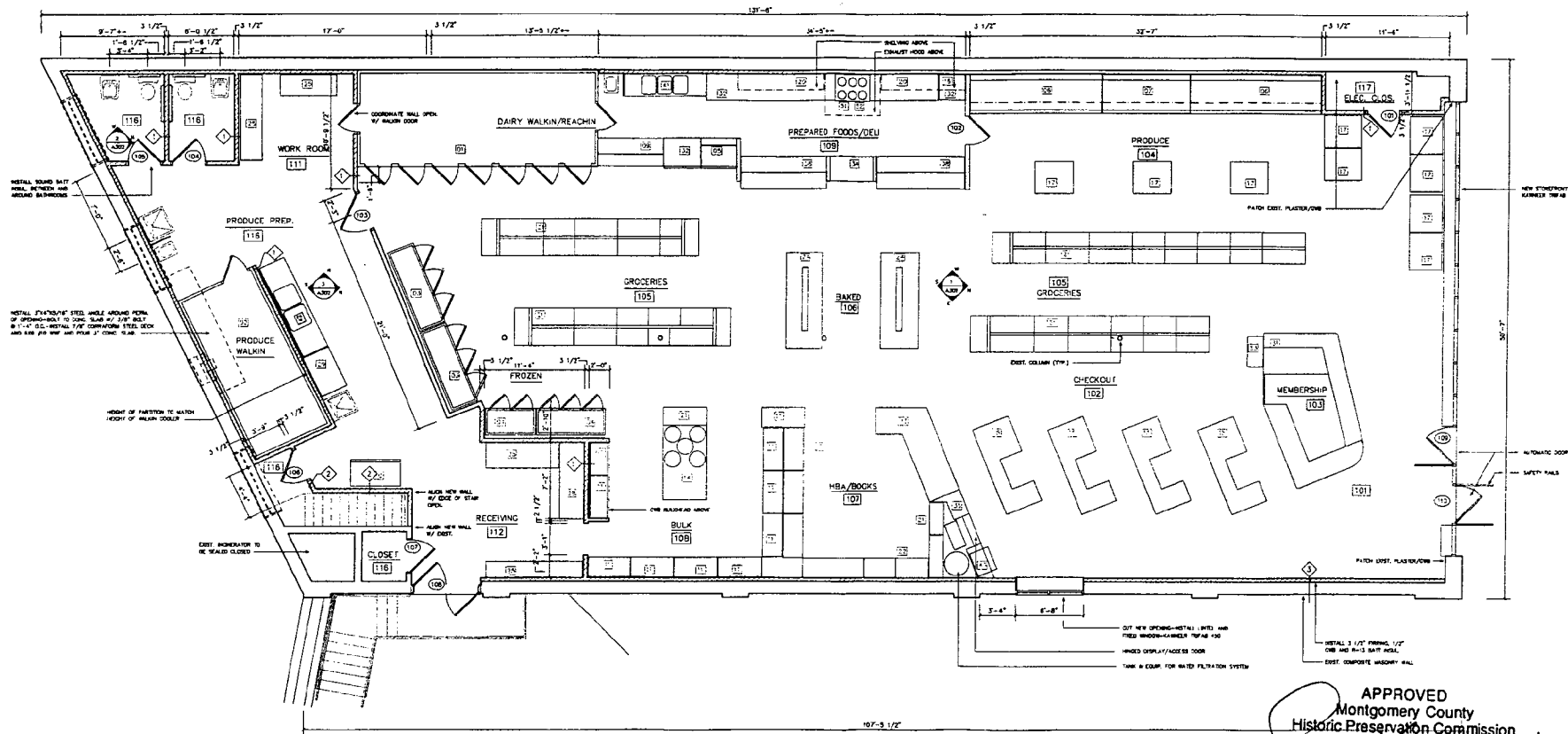
40% SIZE SET

WALL LEGEND
1 COV 1 1/2" x 1'-0"

KARN ARCHITECTS
708 DARTMOUTH AVE.
SILVER SPRING, MD
20901 (301) 586-6403
FAX (301) 586-3972

TAKOMA PARK SILVER SPRING CO-OP
TAKOMA PARK, MARYLAND
201 ETHAN ALLEN AVENUE

9



KARN ARCHITECTS
 726 DARTMOUTH AVE.
 SILVER SPRING, MD.
 2090 (301) 588-8408
 FAX (301) 588-5873

RETAIL LEVEL FLOOR PLAN

REVISIONS	BY

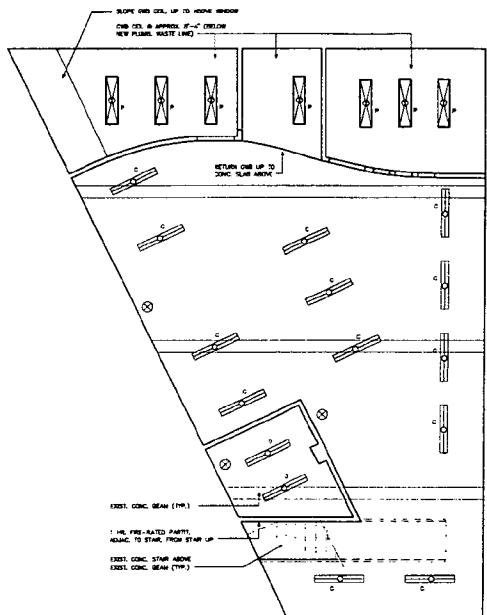
TAKOMA PARK SILVER SPRING CO-OP
 201 ETHEAN ALLEN AVENUE TAKOMA PARK, MARYLAND

APPROVED
 Montgomery County
 Historic Preservation Commission
Sam Kaplan 7/9/97

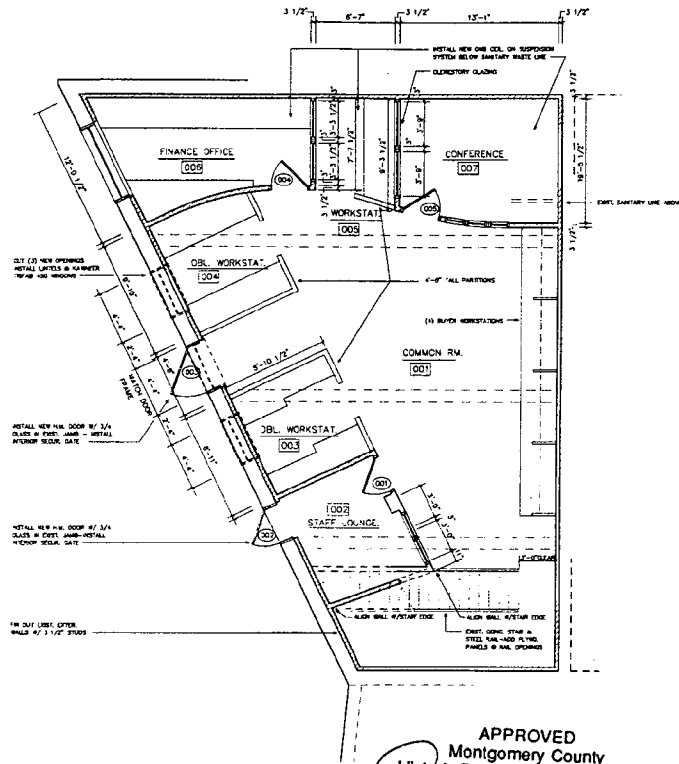
1 RETAIL FLOOR PLAN
 AT02 1/4" = 1'-0"

DRAWN	CHECKED
JRC	JRC
DATE:	6/11/97
SCALE:	AS NOTED
JOB NO.:	71-008
SHEET	
OF	SHEETS

10



2 LOWER LEVEL REFLECTED CEILING PLAN
A105 V-F-F-E



APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 7/9/91

1 LOWER LEVEL FLOOR PLAN
A105 V-F-F-E

KARN ARCHITECTS

728 DARTMOUTH AVE
SILVER SPRING, MD.
20902 OOR 588-8409
FAX OOR 588-5873

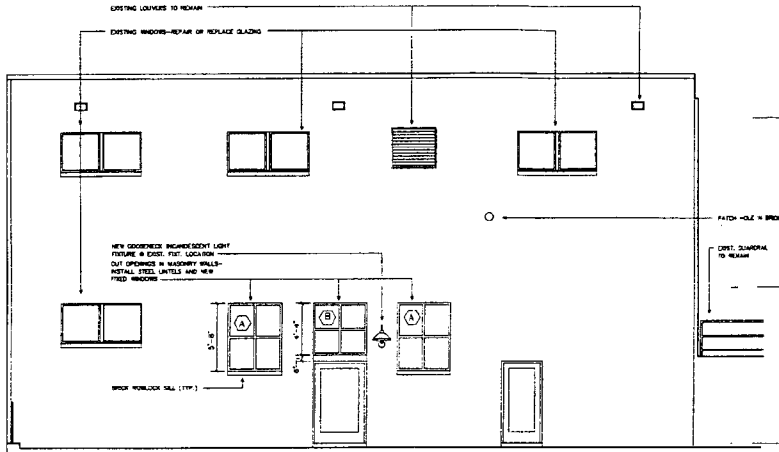
LOWER LEVEL FLOOR PLAN
LOWER LEVEL REFLECTED
CEILING PLAN

REVISIONS	BY

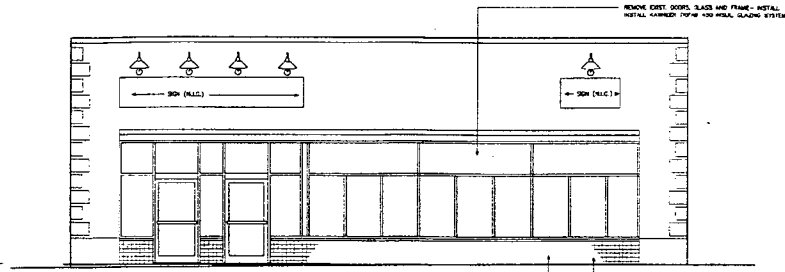
TAKOMA PARK SILVER SPRING CO-OP
201 ETHAN ALLEN AVENUE TAKOMA PARK, MARYLAND

DRAWN:	CHECKED:
JER	JER
DATE:	8/2/91
SCALE:	AS NOTED
JOB NO.:	A105
SHEET:	
OF	SHEETS

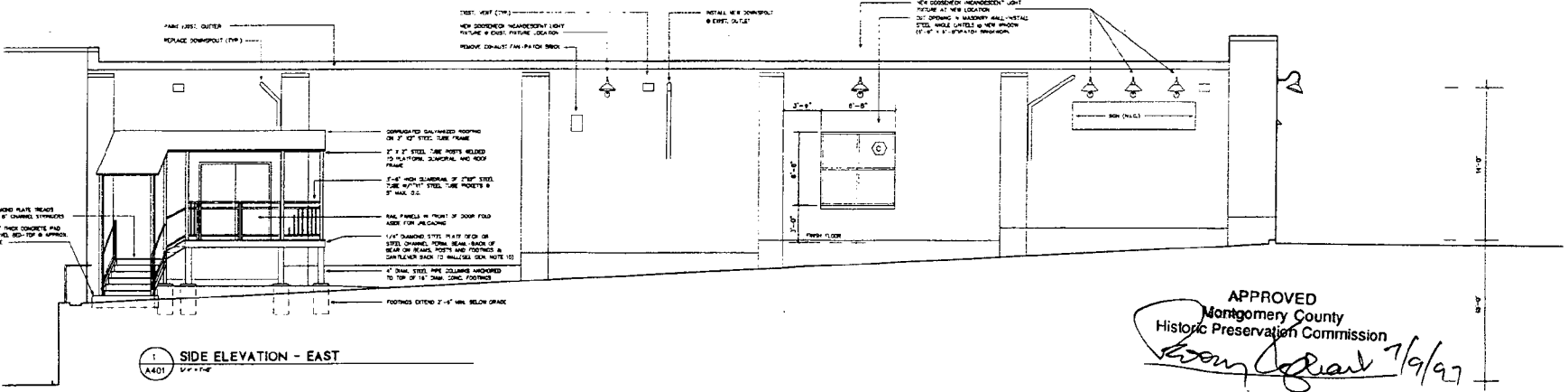
11



3 REAR ELEVATION - SOUTH
A401 1/4" = 1'-0"



2 FRONT ELEVATION - NORTH
A401 1/4" = 1'-0"



1 SIDE ELEVATION - EAST
A401 1/4" = 1'-0"

KARN ARCHITECTS
708 DARTMOUTH AVE.
SILVER SPRING, MD
2090 301-588-9439
FAX 301-588-3173

REVISIONS	BY

TAKOMA PARK SILVER SPRING CO-OP
201 EITHAN ALLEN AVENUE TAKOMA PARK, MARYLAND

APPROVED
Montgomery County
Historic Preservation Commission
Karen Sigurd 7/9/97

DRAWN	CHECKED
JRK	JRK
DATE: 6/27/97	
SCALE: AS NOTED	
JOB NO.: A4-1000	
SHEET	

12

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 201 Ethan Allen Avenue **Meeting Date:** 07/09/97
Resource: Takoma Park Historic District **Review:** HAWP
Case Number: 37/3-97X **Tax Credit:** None
Public Notice: 06/25/97 **Report Date:** 07/02/97
Applicant: Robert & Dorothy Turner **Staff:** Perry Kephart
PROPOSAL: Commercial Renovation **RECOMMEND:** Approval .

DATE OF CONSTRUCTION: ca. 1941

SIGNIFICANCE: Non-contributing resource in Takoma Park Historic District.

ARCHITECTURAL DESCRIPTION

The structure is a one story commercial building with a dark red brick and terra cotta tile exterior with gray stone quoining on the front corners. The building has a flat roof with parapet walls. The store front is aluminum and glass extending the width of the front facade with one entrance on the right side of the front facade. There is colored tile set below the front windows. The left side wall is plain brick with simple buttresses, the right side wall is red terra cotta tile. To the right of the building is a grassy open area. To the left is a paved parking lot that is the corner feature of Sycamore and Ethan Allen Avenues and has a rear retaining wall with a pipe guardrail as the grade slopes steeply to the rear of the store. The rear facade is two story and faces out on Columbia Avenue. There are two doors on the lower level and four window openings on the upper level. A second retaining wall with a guardrail marks the rear edge of the property line where Columbia Avenue drops off steeply to the left.

BACKGROUND

Built in 1941 as a Safeway, the store has been an electric motor repair business since 1967 and has now being renovated and converted back into a grocery store for the Takoma Park Silver Spring Co-operative. As explained in the accompanying notes, the applicant is completing work on the building in two or three phases depending on arrangements for a west loading dock that are being negotiated with the City of Takoma Park, and on the availability of funds to upgrade the front of the building.

PROPOSAL

Applicant proposes to:

①

1. Replace the deteriorated aluminum and glass storefront framing and glazing with a Kawneer Trifab 450 insulated glazing system in dark bronze. The doors would be moved to the left side of the front facade and be two wide single doors with a glass panel between. The ceramic tile below the windows would be covered over with new tile.

2. Install signs above the windows on each side of the front facade. No design has been submitted for the signage, but they are to be lighted with incandescent overhead lights in gooseneck fixtures.

3. Install on the east elevation (facing Sycamore Avenue) a sign (no signage indicated), incandescent gooseneck lighting, a 6'8" square 4-light steel framed window in the second bay.

4. Install as well - on the east elevation at the rear- a door, a concrete loading platform and steel mesh plate side entry stairs with steel pipe railings. The entire feature is to have a corrugated galvanized metal overhang.

5. Install three new windows on the lower level of the rear facade above and on either side of the left door. Also add a gooseneck incandescent light by this door.

STAFF DISCUSSION

The work that is being proposed for this non-contributing resource is in keeping with the period of the building. The changes to the front facade are within the Takoma Park Guidelines and sensitive to the streetscape along which they will be seen.

It should be noted that a Historic Area Work Permit must be approved for the signage when the designs have been developed and that the signs cannot be internally illuminated. This should not be necessary with the gooseneck overhead lighting.

The changes to the side and rear facades on a non-contributing building would not ordinarily be subject to special review except that they are both clearly visible from a public right-of-way. The applicant should be commended for taking this into consideration. All the changes proposed are appropriate to the style, scale and period of the building and in keeping with the commercial nature of the setting.

STAFF RECOMMENDATION

Staff recommends that the Commission approve the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

3

APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON JAMIE R. KARN, AIA
 DAYTIME TELEPHONE NO. (301) 588-6409

TAX ACCOUNT # _____
 NAME OF PROPERTY OWNER ROBERT & DOROTHY TURNER DAYTIME TELEPHONE NO. (301) 270-6800
 ADDRESS 10224 LESLIE STREET, SILVER SPRING, MD. 20902
CITY STATE ZIP CODE
 CONTRACTOR OPUS 3 INC. TELEPHONE NO. (301) 608-9700
 CONTRACTOR REGISTRATION NUMBER #049272
 AGENT FOR OWNER JAMIE R. KARN, AIA DAYTIME TELEPHONE NO. (301)

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 201 STREET ETHAN ALLEN AVENUE
 TOWN/CITY TAKOMA PARK NEAREST CROSS STREET SYCAMORE AVENUE
 LOT 37 BLOCK 19 SUBDIVISION B.F. GILBERT'S ADDITION
 LIBER _____ FOLIO _____ PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other COMMERCIAL RENOVATION
 1B. CONSTRUCTION COST ESTIMATE \$ 150,000
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 () WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Jamie R. Karn Signature of owner or authorized agent 6.13.97 Date

APPROVED _____ For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature _____ Date _____



TAKOMA PARK SILVER SPRING CO-OPERATIVE
201 Ethan Allen Avenue Takoma Park, Maryland

DESCRIPTION OF WORK @ EXTERIOR OF BUILDING

The existing building was constructed as a Safeway grocery store in 1941. The store was bought by the current owner in 1967 and converted to an electric motor repair business. TPSS Co-op is proposing to renovate the interior of the existing building and convert it back to a grocery store. The building is typical of basic commercial structures of the time, with an undecorated brick and terra cotta tile exterior, a flat roof with parapet walls, and a plain aluminum storefront. It is located in the Takoma Park Historic District, but listed as non-contributing.

The exterior renovation work will be limited to the addition of an exterior egress stair, landing, and loading dock, redesign and replacement of the storefront framing and glazing, addition of four windows, addition and replacement of light fixtures and signs, and repairs to masonry, equipment, etc.. New HVAC and refrigeration equipment, and two new skylights will be placed on the roof, but will be far enough from the building edge so as to be hidden from view from the street.

The loading dock and egress stair and the roof above them are to be constructed of steel framing and diamond steel deck. The roof finish is to be corrugated galvanized steel. This type of industrial finish is appropriate to the existing structure and the time in which it was built.

The existing storefront is a combination of original and more recent aluminum framing and single glazing. In recent years the original framing was supplemented by additional vertical members to stiffen the system and allow for smaller panes of glass. We propose to remove the existing framing and glazing and replace it with a new insulated glazing system with a finished aluminum frame that will have a similar pattern to the existing. We will install two automatic doors in the storefront at a location convenient to the onsite parking. In addition we propose to install one new window at the east side of the building and three new windows at the south (rear) of the building will be fixed insulated glazing in aluminum frames. Two new steel and glass doors will be installed in existing frames at the rear of the building.

We will be replacing a few "gooseneck incandescent" light fixtures on the east side of the building, and adding three new similar fixtures at the east side and five at the (north) front side. We will also be removing a few pieces of obsolete equipment, vents, etc. from the exterior of the building, replacing downspouts, and repairing damaged masonry work.

There are ongoing discussions with the City of Takoma Park regarding the possibility of relocating the loading dock to the west side of the building on city owned property. If this option does move forward we will submit an application for a second or revised Historic Area Work Permit. We are also hoping to move forward with a second phase of work at the exterior if our finances allow. This would include a canopy, new sidewalk paving, and new low brick garden walls and planting at the front of the building. Our design decisions on this are being delayed until we know the full costs of the possible loading dock on the west side of the building. We hope to submit the documents and application for this work together with or in lieu of the application for the loading dock.

TAKOMA PARK SILVER SPRING CO-OPERATIVE

201 Ethan Allen Avenue Takoma Park, Maryland

MATERIAL SPECIFICATIONS - EXTERIOR WORK

Masonry: Masonry work will be limited to cutting, patching and repairing of existing brick and terra cotta tile. The brick and mortar used for this work will match the existing materials.

Steel: The loading dock and egress stair at the east side of the building are to be constructed of steel channels, 2" and 1" square tubes and diamond plate steel decking. The steel will be painted black.

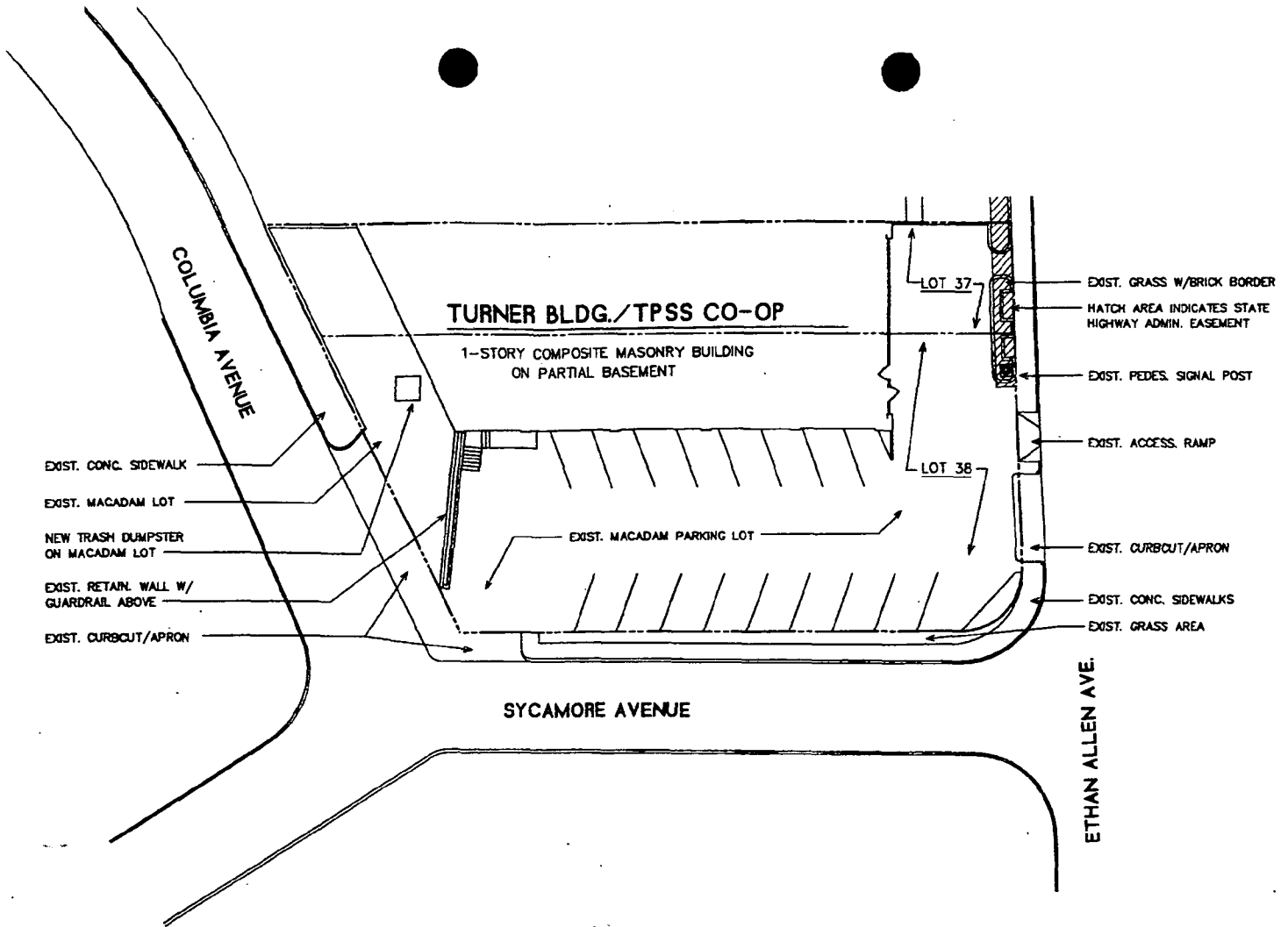
Gutters and downspouts: New downspouts will be of copper.

Windows and Doors: The storefront glazing and new windows will be Kawneer "Trifab 450" system. The finish will be dark bronze. The new doors and existing frames at the rear of the building will be painted to match the aluminum windows.

Signs: Signs have not yet been designed and will be installed under a later permit.

Light Fixtures: Primelite Manufacturing Corp. #20-850 Gooseneck Incandescent

HVAC Equipment: All new HVAC equipment will be set back far enough from the building edge to be hidden from view from the street. The equipment will be painted to match the brick.



3 SITE PLAN (201 ETHAN ALLEN AVE. - LOT 38 & PART LOT 37, BLOCK 19)
COV 1" = 20'

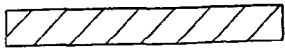
8701COV1.V1

LIST OF DRAWINGS

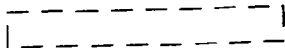
COVER	SITE PLAN, CODE ANALYSIS, PARTITION TYPES, DRAWING LIST
A-101	EXISTING CONDITIONS/DEMOLITION PLANS
A-102	RETAIL FLOOR PLAN
A-103	LOWER LEVEL FLOOR PLAN, LOWER LEVEL REFLECT. CEIL PLAN
A-104	RETAIL LEVEL REFLECT. CEIL PLAN
A-201	INTERIOR ELEVATIONS - RETAIL AREA
A-202	INTERIOR ELEVATIONS-STORAGE, LOWER LEVEL
A-301	FINISH SCHEDULE, DOOR SCHEDULE & TYPES, DETAILS
A-401	EXTERIOR ELEVATIONS
E-1	LIGHTING - UPPER LEVEL
E-2	POWER - UPPER LEVEL
E-3	LIGHTING/POWER - LOWER LEVEL
E-4	SCHEDULES & RISERS
M-1	HVAC - UPPER LEVEL
M-2	HVAC - LOWER LEVEL
M-3	KITCHEN EXHAUST HOOD
P-1	PLUMBING

1/2 SET
SET 7

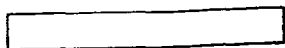
NEW WALL/PARTIT.



WALL/PARTIT. TO BE REMOVED



EXIST. WALL/PARTIT. TO REMAIN



2 WALL LEGEND
COV 1 1/2" = 1'-0"

GENERAL NOTES

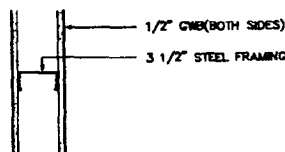
1. ABIDE BY AIA DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", 1987 EDITION
2. ALL DIMENSIONS SHOWN ON FLOOR PLANS ARE FRAMING DIMENSIONS, UNLESS OTHERWISE NOTED.
3. ACCESS PANELS SHALL BE PROVIDED AND INSTALLED AT ALL LOCATIONS REQUIRING FUTURE ACCESS (i.e. PIPING VALVES, HVAC CONTROLS, ETC.) WHETHER OR NOT INDICATED ON THE DRAWINGS (EXCEPT @ ACoust. TILE CEIL.). NOTIFY ARCHITECT FOR LOCATION AND DETAIL APPROVAL.
4. PROVIDE BLOCKING OR SUPPORTS AS REQUIRED FOR ALL MILLWORK, HANDRAILS, GRAB RAILS, AND ACCESSORIES.
5. INSTALL R-13 BATT INSULATION @ FIRING @ ALL EXTERIOR WALLS.
6. INSTALL 3/4" EXTERIOR GRADE PLYWOOD BEHIND ELECTRICAL AND TELEPHONE PANELS, EQUIP.
7. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED TO BE ROT RESISTANT.
8. ISOLATE DISSIMILAR METALS IN CONTACT WITH EACH OTHER.
9. ALL KITCHEN EQUIPMENT AT DELI/PREPARED FOODS AREA TO BE SEALED TO FLOOR, MOUNTED ON CASTERS OR SPACED TO MEET HEALTH DEPARTMENT REGULATIONS. EQUIPMENT AND INSTALLATION TO MEET ALL HEALTH DEPT. REQUIREMENTS.
10. STEEL STAIRS, LANDINGS, PLATFORM, HANDRAILS, GUARDRAILS & ROOF STRUCTURE SHALL BE DESIGNED, ENGINEERED AND STAMPED BY THE FABRICATOR'S ENGINEER TO MEET ALL APPLICABLE DESIGN CODES AND THE FOLLOWING STANDARDS: THE MAXIMUM LATERAL DEFLECTION SHALL NOT BE MORE THAN HEIGHT/240. THE MAXIMUM VERTICAL DEFLECTION SHALL NOT BE MORE THAN SPAN/360. THE LOADING PLATFORM SHALL BE DESIGNED FOR LIVE LOAD OF 300 PSF.
9. ALL KITCHEN EQUIPMENT AT DELI/PREPARED FOODS AREA TO BE SEALED TO FLOOR, MOUNTED ON CASTERS OR SPACED TO MEET HEALTH DEPARTMENT REGULATIONS. EQUIPMENT AND INSTALLATION TO MEET ALL HEALTH DEPT. REQUIREMENTS.

CODE ANALYSIS

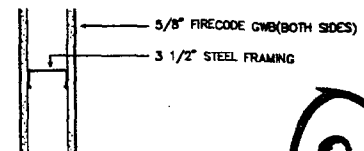
	EXISTING	PROPOSED
USE GROUP:	M	M
TYPE OF CONSTRUCTION:	3B	3B
HEIGHT/NO. OF STOREYS:	17 FT./1 1/2 STOREYS	17 FT./1 1/2 STOREYS
HIGH RISE (Y/N):	NO	NO
COVERED MALL:	NO	NO
FULLY SUPPRESSED?:	NO	NO
FLOOR AREA OR AREA OF RENOVATION:	7474 SQ.FT. -TOTAL 5984 SQ.FT. -UPPER LEVEL 1490 SQ.FT. -LOWER LEVEL	7474 SQ.FT. -TOTAL 5984 SQ.FT. -UPPER LEVEL 1490 SQ.FT. -LOWER LEVEL

NOTES:

1. EXTERIOR WALLS ARE EXIST. 9" COMPOSITE BRICK AND MASON. TILE. NO ASSEMBLY FIRE RATING IS AVAILABLE. FIRE SEPERATION DISTANCE AT ALL WALLS WITH OPENINGS EXCEEDS 30'.
2. ROOF/CEILING ASSEMBLY: NO RATING REQUIRED.
3. SMOKE ENCLOSURE AT STAIRWAY TO BE CONSTRUCTED OF 1 HR. RATED WALLS & CEILING -PARTITION TYPE #2 (SEE 1/COV)
4. ENERGY LOSS/INSULATION: ADD R-13 BATT INSULATION TO CURRENTLY UNINSULATED EXTERIOR WALLS, ADD R-19 BLOWN-IN CELLULOSE ABOVE EXIST. CEILING, REMOVE EXIST. SINGLE PANE STOREFRONT GLAZING AND INSTALL INSULATED GLAZING.



TYPE 1 NON-RATED, NONBEARING PARTITION



TYPE 2 1-HR. RATED, UL DESIGN NONBEARING PARTITION

8

TYP

GENERAL NOTES

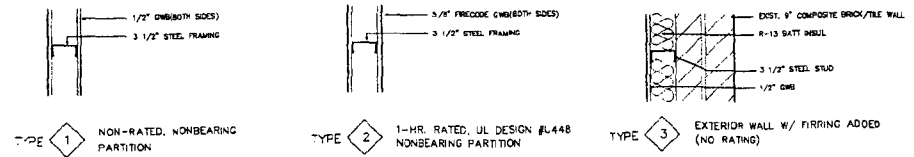
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- INSTALL R-13 BATT INSULATION @ FIRING @ ALL EXTERIOR WALLS.
- INSTALL 3/4" EXTERIOR GRADE PLYWOOD BEHIND ELECTRICAL AND TELEPHONE PANELS, EDP.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESURE TREATED TO BE ROT RESISTANT.
- ISOLATE DISSIMILAR METALS IN CONTACT WITH EACH OTHER.
- ALL KITCHEN EQUIPMENT AT DELI/PREPARED FOODS AREA TO BE SEALED TO FLOOR, MOUNTED ON CASTERS OR SPACED TO MEET HEALTH DEPARTMENT REGULATIONS. EQUIPMENT AND INSTALLATION TO MEET ALL HEALTH DEPT. REQUIREMENTS.
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CODE ANALYSIS

	EXISTING	PROPOSED
USE GROUP:	M	M
TYPE OF CONSTRUCTION:	30	3B
HEIGHT/NO. OF STOREYS:	17 FT./1 1/2 STOREYS	17 FT./1 1/2 STOREYS
HQ. ROSE (Y/N):	NO	NO
COVERED WALK:	NO	NO
FULLY SUPPRESSED:	NO	NO
FLOOR AREA OR AREA OF RENOVATION:	7474 SQ.FT. - TOTAL 5984 SQ.FT. - UPPER LEVEL 1490 SQ.FT. - LOWER LEVEL	7474 SQ.FT. - TOTAL 5984 SQ.FT. - UPPER LEVEL 1490 SQ.FT. - LOWER LEVEL

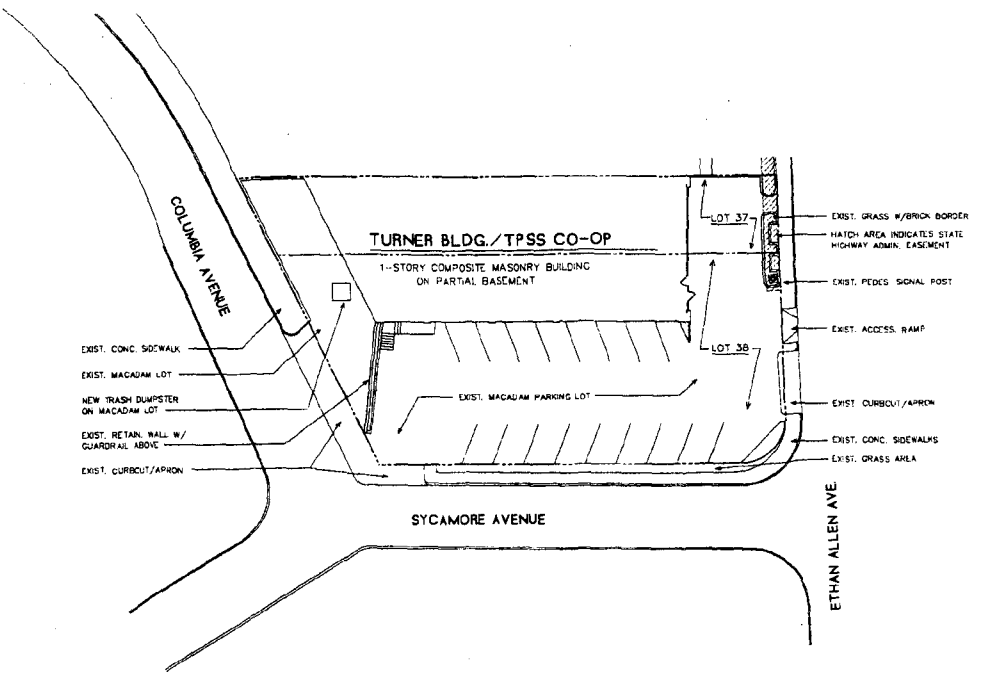
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WALL/PARTITION TYPES
1 1/2" = 1'-0"

8701COV1V1



3 SITE PLAN (201 ETHAN ALLEN AVE - LOT 38 & PART LOT 37, BLOCK 19)
1" = 20'

8701COV1V1

LIST OF DRAWINGS

COVER	SITE PLAN, CODE ANALYSIS, PARTITION TYPES, DRAWING LIST
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A-103	LOWER LEVEL FLOOR PLAN, LOWER LEVEL REFLECT. CEIL. PLAN
A-104	RETAIL LEVEL REFLECT. CEIL. PLAN
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E-1	LIGHTING - UPPER LEVEL
E-2	POWER - UPPER LEVEL
E-3	LIGHTING/POWER - LOWER LEVEL
E-4	SCHEDULES & RISERS
M-1	HVAC - UPPER LEVEL
M-2	HVAC - LOWER LEVEL
M-3	KITCHEN EXHAUST HOOD
P-1	PLUMBING

40% SIZE SET

2 WALL LEGEND
1 1/2" = 1'-0"

8701COV1V1

KARN ARCHITECTS
728 DARTMOUTH AVE.
SILVER SPRING, MD
20910 (301) 588-6408
FAX (301) 588-5879

TAKOMA PARK SILVER SPRING CO-OP
201 ETHAN ALLEN AVENUE
TAKOMA PARK, MARYLAND

9



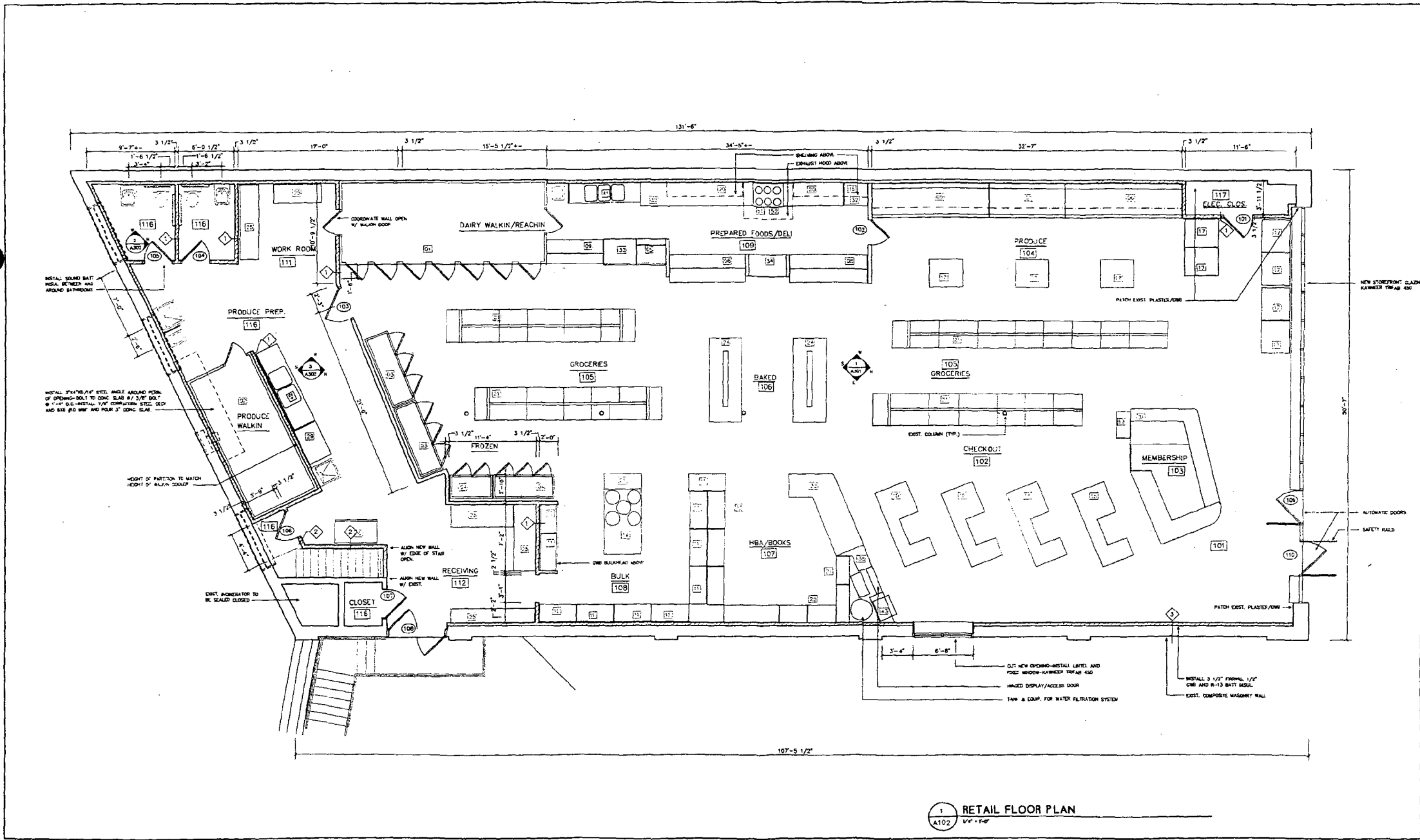
KARN ARCHITECTS
 726 DARTMOUTH AVE
 SILVER SPRING, MD.
 20901 (301) 588-6400
 (301) 588-5875

RETAIL LEVEL FLOOR PLAN

REVISIONS	BY

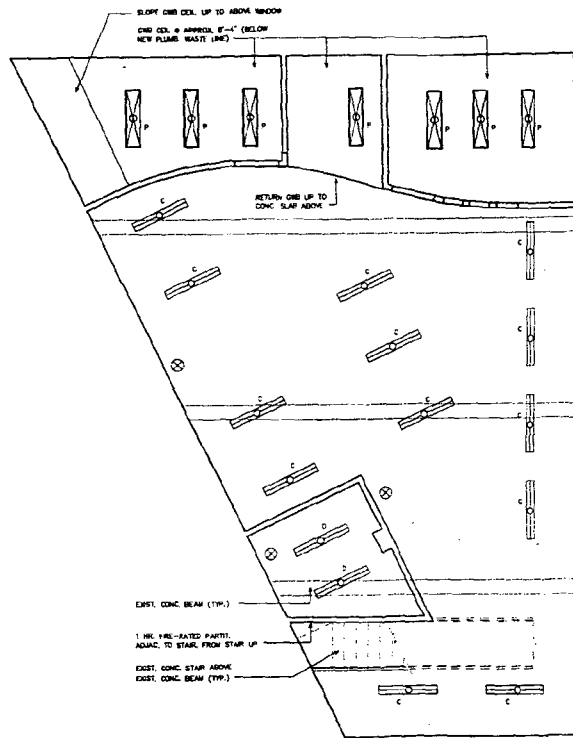
TAKOMA PARK SILVER SPRING CO-OP
 201 ETHAN ALLEN AVENUE TAKOMA PARK, MARYLAND

DRAWN : JRK
 CHECKED : JRK
 DATE : 4/9/91
 SCALE : AS NOTED
 JOB NO. : 41-10-C
 SHEET :
 A-108
 OF SHEETS

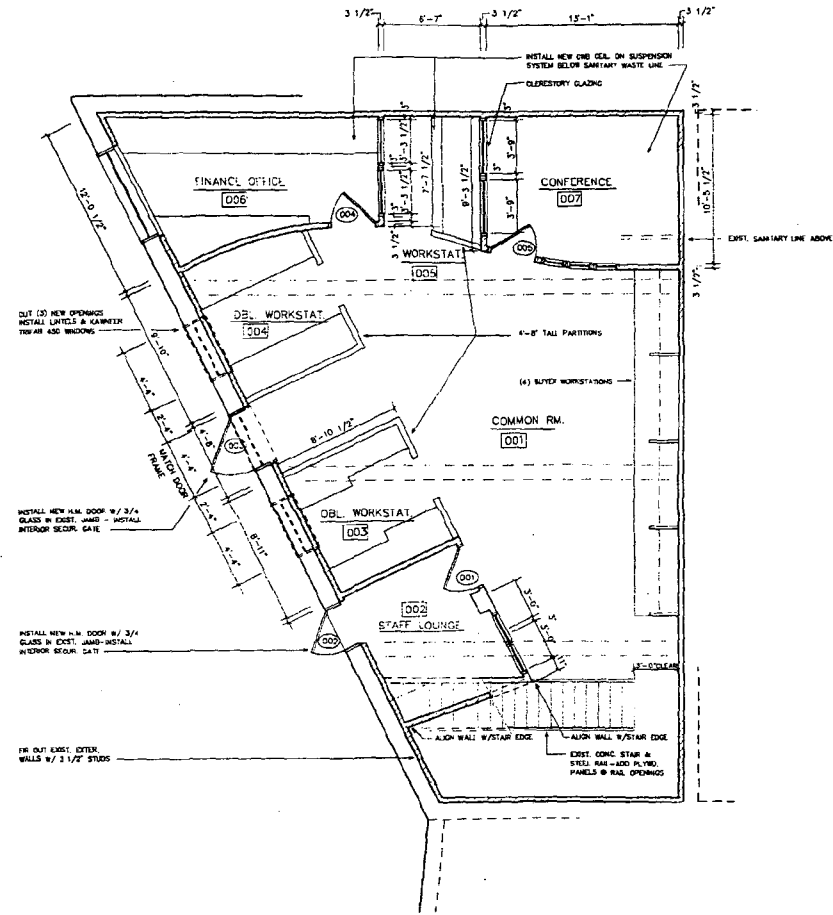


1 RETAIL FLOOR PLAN
 A102 1/8" = 1'-0"

10



2 LOWER LEVEL REFLECTED CEILING PLAN
A103 1/4" = 1'-0"



1 LOWER LEVEL FLOOR PLAN
A103 1/4" = 1'-0"

KARN ARCHITECTS
 726 DARTMOUTH AVE.
 SILVER SPRING, MD
 20910 (301) 586-6406
 FAX (301) 588-5973

LOWER LEVEL FLOOR PLAN
 LOWER LEVEL REFLECTED
 CEILING PLAN

REVISIONS	BY

TAKOMA PARK SILVER SPRING CO-OP

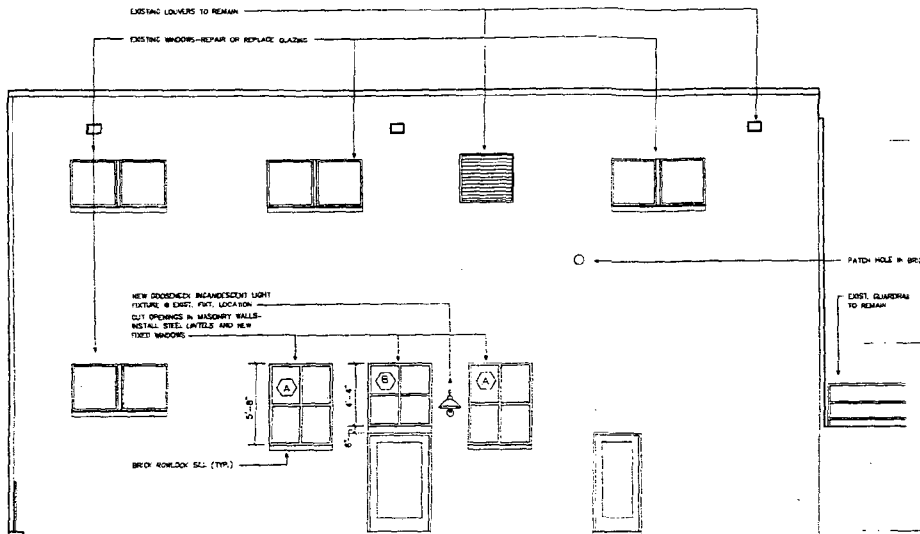
201 ETHAN ALLEN AVENUE TAKOMA PARK, MARYLAND

DRAWN :	CHECKED :
JRK	JRK
DATE :	6/7/91
SCALE :	AS NOTED
JOB NO. :	9101
SHEET	

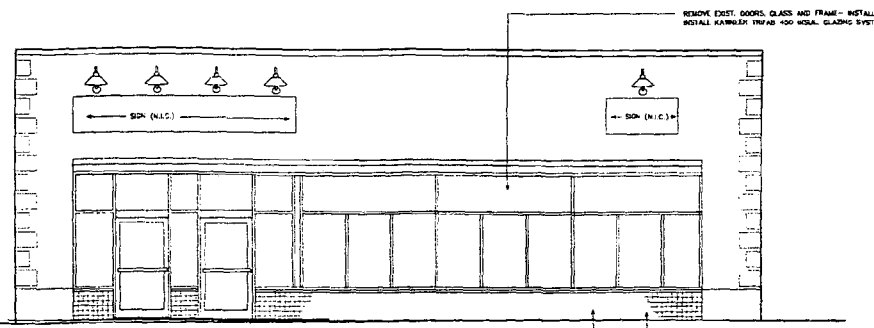
A-103

OF SHEETS

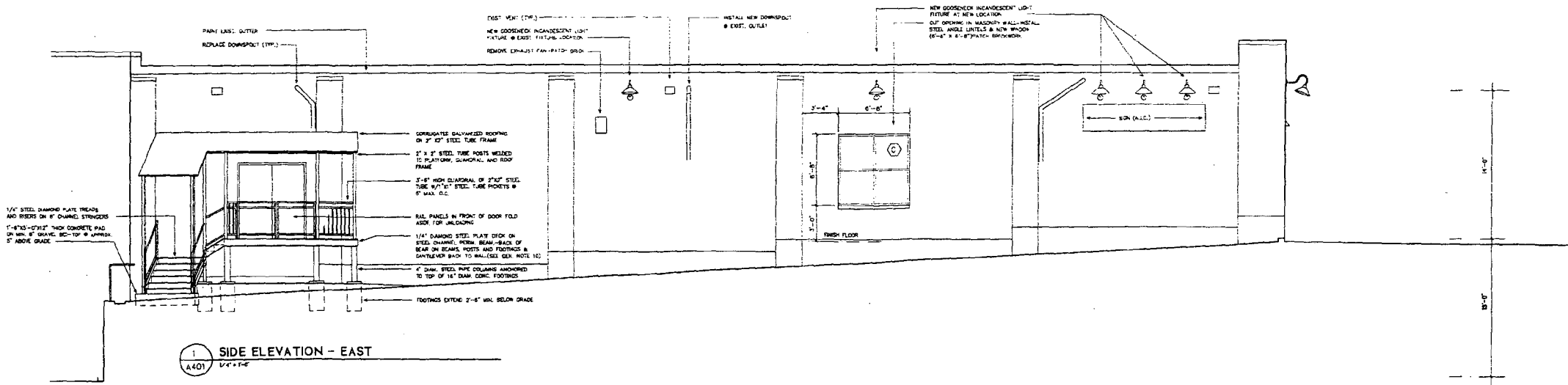
11



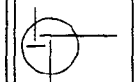
3 REAR ELEVATION - SOUTH
A401 1/4" = 1'-0"



2 FRONT ELEVATION - NORTH
A401 1/4" = 1'-0"



1 SIDE ELEVATION - EAST
A401 1/4" = 1'-0"



KARN ARCHITECTS
726 DARTMOUTH AVE.
SILVER SPRING, MD.
20901 (301) 588-6408
FAX (301) 588-5873

REVISIONS	BY

TAKOMA PARK SILVER SPRING CO-OP
201 ETHAN ALLEN AVENUE TAKOMA PARK, MARYLAND

DRAWN : JRK	CHECKED : JRK
DATE : 6/9/97	SCALE : AS NOTED
JOB NO. : 96-007	SHEET

A-401

12

Primalite MANUFACTURING CORP.
 407 South Main Street, Freeport, N.Y. 11520
 Tel: (516) 868-4411 • Fax: (516) 868-4609

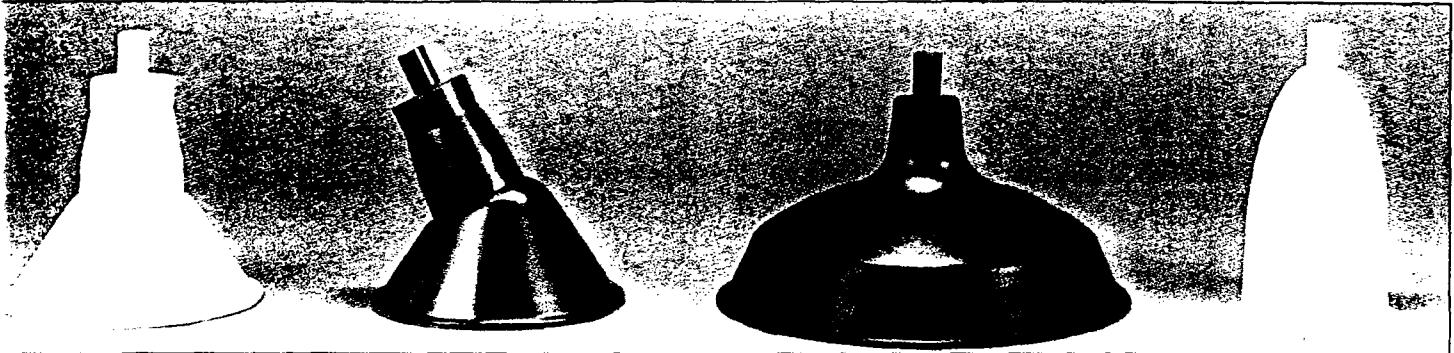
All fixtures are constructed of aluminum and are made for outdoor use.

Cat. # 21-12
 9 1/2" Dia., 11" Ht.
 For 1/2 inch IPS Pipe
Cat. #21 - 1 Ft. Cord Suspension
 1/200

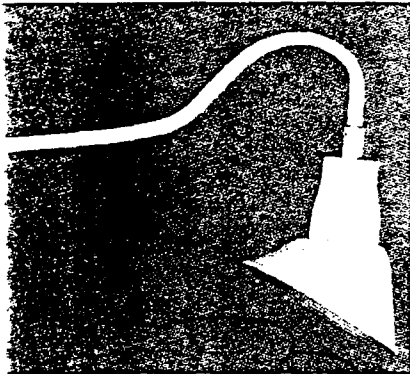
Cat. # 20-12
 9 1/2" Dia., 12 1/4" Ht.
 1/200

Cat. # 23-12
 15 1/4" Dia., 9 1/2" Ht. - 1/200
Cat. # 23/19-12
 19" Dia., 11" Ht.

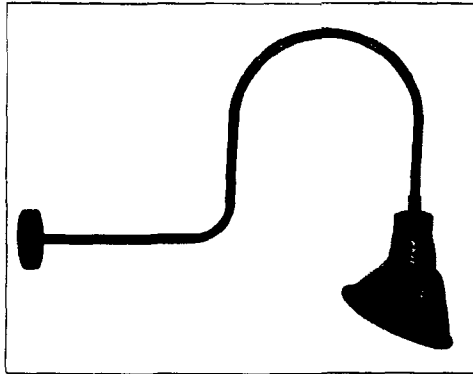
Cat. # 38-12
 5 1/4" Dia., 10 1/2" Ht.
 1/200



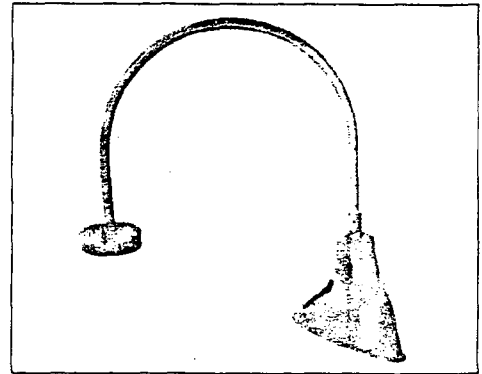
All fixtures above come with 1/2 IPS female thread and terminal sockets.
 Heads can be interchanged with arms below and with arms on Page 27A. Arms available as shown or in custom lengths.



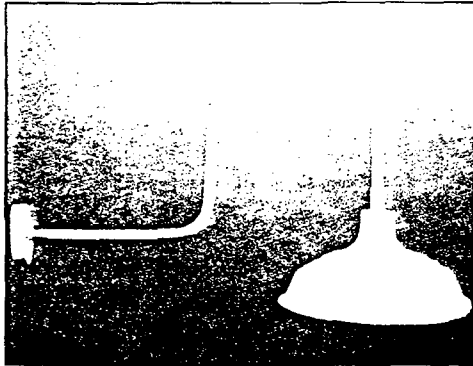
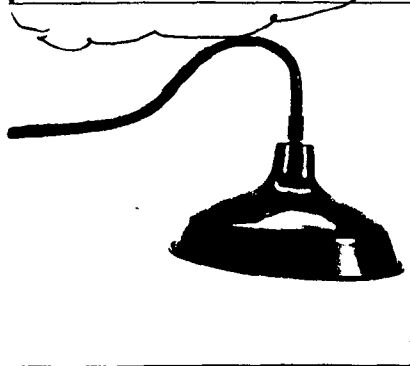
Cat. # 20-850
 9 1/2" Dia., 18 1/2" Ht., 26" Ext.
 Chrome, PB, Painted Colors - 1/200



Cat. # 20-851
 9 1/2" Dia., 24" Ht., 34" Ext.
 Chrome, PB, Painted Colors - 1/200

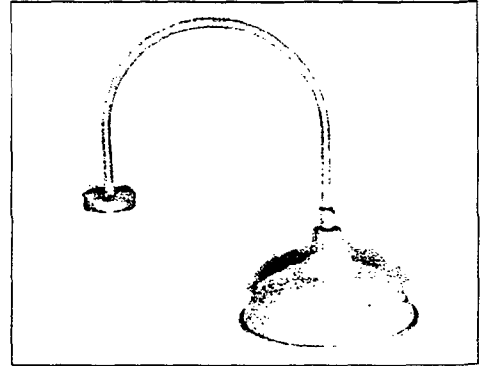


Cat. # 20-852
 9 1/2" Dia., 27" Ht., 27" Ext.
 Chrome, PB, Painted Colors - 1/200



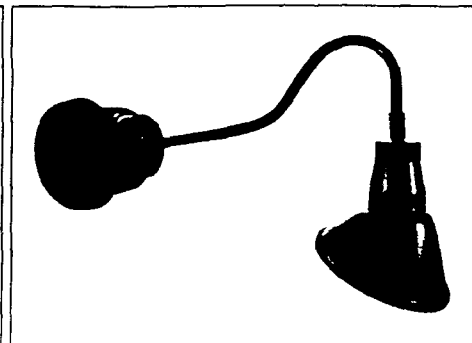
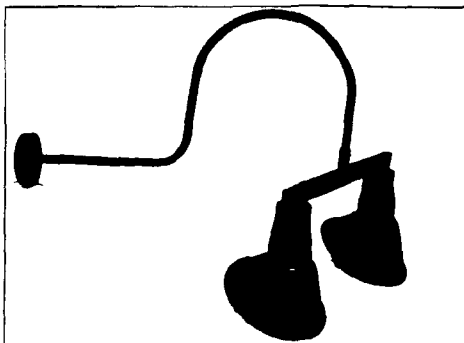
Cat. # 23/16-850
 5 1/4" Dia., 15" Ht., 30 1/2" Ext. - 1/200
Cat. # 23/19-850
 19" Dia., 15 1/2" Ht., 32" Ext. - 1/300
 Chrome, PB, Painted Colors

Cat. # 23/16-851
 15 1/4" Dia., 23" Ht., 33" Ext. - 1/200
Cat. # 23/19-851
 19" Dia., 24 1/2" Ht., 10 1/2" Ext. - 1/300
 Chrome, PB, Painted Colors



Cat. # 23/16-852
 15 1/4" Dia., 24" Ht., 29" Ext. - 1/200
Cat. # 23/19-852
 19" Dia., 25 1/2" Ht., 31" Ext. - 1/300
 Chrome, PB, Painted Colors

Cat. # 202-851
 19" Dia., 26" Ht.,
 32" Ext.
 Chrome,
 PB,
 Painted Colors
 2/200



High Pressure Sodium		Metal Halide
Watts	Cat. #	Cat. #
35	20-850-35HPS	20-850-50MH
50	20-850-35HPS	20-850-70MH
70	20-850-70HPS	20-850-100MH
100	20-850-100HPS	20-850-150MH
150	20-850-150HPS	20-850-175MH
175	20-850-175HPS	

9 1/2" Dia., 18" Ht., 31 1/2" Ext.

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TAKOMA PARK SILVER SPRING CO-OPERATIVE
201 Ethan Allen Avenue Takoma Park, Maryland



FRONT OF STORE (NORTH -FACING ETHAN ALLEN) AND PARTIAL R. WEST SIDE



EAST SIDE OF STORE (FACING SYCAMORE AVENUE)

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REAR OF STORE (SOUTH - FACING COLUMBIA AVE.) & PARTIAL EAST SIDE



PARTIAL REAR (SOUTH) & PARTIAL WEST SIDE (FACING TAKOMA JUNCTION)

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TAKOMA PARK SILVER SPRING CO-OPERATIVE
201 Ethan Allen Avenue Takoma Park, Maryland

ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

✓ Dan Treadwell
7126 Sycamore Avenue
Takoma Park, Md. 20912

7129 Sycamore Avenue
Takoma Park, Md. 20912

7131 Sycamore Avenue
Takoma Park, Md. 20912

7133 Sycamore Avenue
Takoma Park, Md. 20910

Public Pavilion
7301 Carrol Avenue
Takoma Park, Md. 20912

Vacant Lot
7215 Carrol Avenue
Takoma Park, Md. 20912
(City of Takoma Park -Takoma Junction)

7302 Carrol Avenue
Takoma Park, Md. 20912

7304 Carrol Avenue
Takoma Park, Md. 20912

Please forward information to the City of Takoma Park:

Ms. Beverly Habada
City Administrator
City of Takoma Park
7500 Maple Avenue
Takoma Park, Md. 20912

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TAKOMA PARK SILVER SPRING CO-OPERATIVE

201 Ethan Allen Avenue Takoma Park, Maryland



FRONT OF STORE (NORTH-FACING ETHAN ALLEN) AND PARTIAL R. WEST SIDE



EAST SIDE OF STORE (FACING SYCAMORE AVENUE)



REAR OF STORE (SOUTH - FACING COLUMBIA AVE.) & PARTIAL EAST SIDE



PARTIAL REAR (SOUTH) & PARTIAL WEST SIDE (FACING TAKOMA JUNCTION)